



SEABROOK SATTERLUND

SEABROOK@DETROITBUILD.COM • WWW.DETROITBUILD.COM
1201 N.MAIN ST. ROYAL OAK MI 48067 • 248-677-0551

1490 Iroquois
Detroit, MI 48214
Homeowner: Tammie Soto & Mike Wong

Existing Conditions:

At 1490 Iroquois the roof on the carriage house needs to be replaced. There are multiple places in the roof that are causing interior water damage. The roof is beyond repair / patching and needs all new shingles on the carriage house only, which will match the shingles on the main house.

Description of Project:









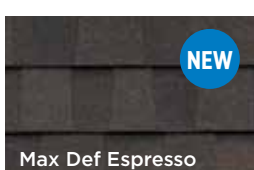
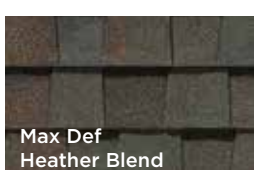
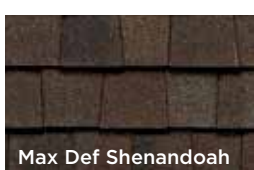

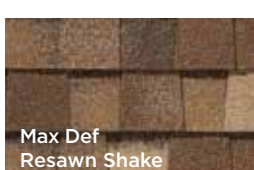

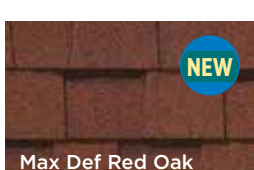
- Rear off existing clay shingles on carriage house only
- Install ice and water shield along eaves up 6' and in valleys, tarpaper and ventilation to code
- Install new Certainteed Pro shingles in color "Red Oak"
- Install new cap on all hips and reidges
- Install new pipe covers on all pipes
- Install new ridge vent on all ridges
- *Gutters, facia, and soffits will remain untouched*

A handwritten signature in black ink, appearing to read 'Seabrook Satterlund'.



Landmark Pro, shown in Max Def Moiré Black

COLOR AVAILABILITY

 Max Def Cobblestone Gray	 Max Def Georgetown Gray
 Max Def Colonial Slate	 Max Def Weathered Wood
 Max Def Driftwood	 Max Def Prairie Wood
 Max Def Pewter	 Max Def Moiré Black
 Max Def Espresso	 Max Def Heather Blend
 Max Def Shenandoah	 Max Def Burnt Sienna
 Max Def Resawn Shake	 Max Def Coastal Blue
 Max Def Red Oak	

LANDMARK® PRO

- Two-piece laminated fiberglass-based construction
- Classic shades and dimensional appearance of natural wood or slate
- Lifetime limited transferable warranty - residential*
- 50-year limited transferable warranty - group-owned or commercial*
- 15-year **StreakFighter**® algae-resistance warranty
- **NailTrak**® extra-wide nailing area for accurate installation
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required
- CertainTeed Starter and hip and ridge accessory available (see details in back of brochure)

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

Impact Resistance:

- UL2218 Class 3



Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537

* See warranty for specific details and limitations.

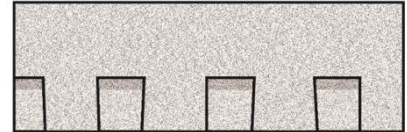


Scan code for more information

Landmark® PRO Shingles

PRODUCT INFORMATION

Landmark® PRO shingles reflect the same high manufacturing standards and superior warranty protection as the rest of CertainTeed's line of roofing products. Landmark PRO (and Algae Resistant-AR) are built with the industry's toughest fiber glass mat base, and their strict dimensional tolerance assures consistency. Complex granule color blends and subtle shadow lines produce a distinctive color selection. Landmark PRO is produced with the unique NailTrak® nailing feature.



Landmark PRO algae-resistant (AR) shingles are algae-resistant and help protect against dark or black discoloration, sometimes called staining or streaking, caused by blue-green algae. AR shingles are not available in all regions.

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

Limitations: Use on roofs with slopes greater than 2" per foot. Low-slope applications (2:12 to < 4:12) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

Product Composition: Landmark PRO shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. Two pieces of the shingle are firmly laminated together in a special, tough asphaltic cement. All Landmark shingles have self-sealing adhesive strips.

Applicable Standards

ASTM D3018 Type I
ASTM D3462
ASTM E108 Class A Fire Resistance
ASTM D3161 Class F Wind Resistance
ASTM D7158 Class H Wind Resistance
UL 790 Class A Fire Resistance

ICC-ES ESR-1389 and ESR-3537
CSA Standard A123.5 (Regional)
Miami-Dade Product Control Approved (Regional)
Florida Product Approval # FL5444
Meets TDI Windstorm Requirements
UL 2218 Class 3 Impact Resistance
(at time of manufacture)

Technical Data:

	Landmark PRO (and AR)
Weight/Square (approx.)	234 to 240 lb *
Dimensions (overall)	13 1/4" x 38 3/4"
Shingles/Square (approx.)	66
Weather Exposure	5 5/8"

*Dependent on manufacturing location

INSTALLATION

Detailed installation instructions are supplied on each bundle of Landmark PRO shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

Hips and Ridges: For capping hip and ridge apply CertainTeed Shadow Ridge®, Cedar Crest® or Mountain Ridge® shingles of a like color.

MAINTENANCE

These shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY

Landmark PRO (and AR) shingles carry a lifetime limited, transferable warranty to the consumer against manufacturing defects when applied to stated CertainTeed application instructions for this product. In addition, Landmark PRO (and AR) carry up to 10-years of SureStart™ Protection. Landmark PRO AR shingles carry a 15-year algae resistance warranty. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

TECHNICAL SUPPORT

Technical Service Department: 800-345-1145
e-mail: RPG.T.Services@saint-gobain.com

FOR MORE INFORMATION

Customer Experience Team: 800-233-8990
e-mail: gethelp@saint-gobain.com
Web site: www.certainteed.com

CertainTeed
20 Moores Road
Malvern, PA 19355





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Detroit, MI 48214
Homeowner: Tammie Soto & Mike Wong

Carriage house roof:

When we (Detroit Build) were contracted to perform work at 1490 Iroquois, the carriage house had significant water damage caused by the deteriorating roof deck. There is plaster damage on the interior of the house and there were areas where water would pour into the house when it rained. The clay tile has since been removed and disposed of. There are no clay tiles left onsite. Currently the carriage house roof remains tarped to prevent any further water damage. I have attached photos of the deteriorating roof deck on the carriage house. There are also photos from the inspection that show where there were failing tiles prior to removal.

Due to budget constraints, the client has opted to do asphalt shingles. When the carriage house roof was quoted to remove and replace the clay tile, the cost totaled \$135,000. See supporting documents below.



1201 North Main Street
 P. O. Box 143
 Royal Oak, MI 48068-0143

Estimate

Date	7/20/2023
Estimate No.	4069

Client

Tammie Soto
 1490 Iroquois
 Detroit, MI 48214

Job/Project

Tammie Soto
 1490 Iroquois
 Detroit, MI 48214

Description	Qty	Price Each	Amount
Carriage House roof Demo (1) existing layer of Clay roofing on carriage house Install ice and water shield along eaves up 6' and in valleys, tar paper, and ventilation to code. Install new 1.5:" drip edge along all eaves and rakes on carriage house Install GAF Timberline dimensional shingles or Certaineed Landmark with new drip edge on carriage house Install new cap on all hips and ridges Install new pipe covers on all pipes Install new ridge vent on all ridges Re-flash chimney		15,461.00	15,461.00

This quote is valid for thirty (30) days from date of proposal.

seabrook@detroitbuild.com
 248.677.0551
 www.detroitbuild.com

Total \$15,461.00

Detroit Build
 Signature



Client
 Signature
 Page 1

DETROIT CORNICE & SLATE CO., INC.

1315 ACADEMY
FERNDALE, MICHIGAN 48220



PHONE (248) 398-7690
FAX (248) 398-9794

ROOFING, SHEET METAL & HISTORIC RESTORATION
SLATE, TILE, COPPER, BUILT-UP & SINGLE PLY

ESTABLISHED 1888

August 31, 2023

Kristy Thornton
Detroit Build
(248) 825-6687
kristy@detroitbuild.com

Subject: 1490 Iroquois Ave - Carriage House – Detroit, MI 48214 (**Budget Pricing**)

Kristy,

This quote includes labor, material, tools and hoisting to complete the following:

Carriage House Roof

- Remove tile on roof and store for reinstallation
- Inspect and repair deteriorated roof deck
- Install new Ice & Water Shield on eave edges and hips
- Install two layers of UL30 rated roof felts over entire roof deck
- Fabricate and install 16oz. copper drip edge on eave edges
- Fabricate and install 16oz. copper valleys
- Fabricate and install 16oz. copper chimney saddle and flashings
- Reinstall the previously removed tile replacing any broken/damaged pieces

For the sum of: \$ 135,000.00

Terms: 1/3 deposit, balance due on completion. Offer expires in 30 days.

For acceptance of this proposal, please sign and return to our office with your deposit.

Payment options available: Cash/Check, ACH, Credit/Debit (3.5% convenience fee)

Thank you,

Mike Wilson

Accepted By: _____

Date: _____

visit our website at detroitcornice.com

(2) The carriage house roof covering is at the end of its useful life and should be replaced at this time. Cost estimates should be obtained.

1490 Iroquois Ave

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Jeffries Inspection Services, LLC

Soto

There is evidence of past leaks in the carriage house. In our opinion, leaks could still exist in one or more areas. - SUGGESTION: A qualified roofing contractor should evaluate the roof and make repairs or modifications as necessary.

Damaged/missing/loose tiles should be replaced to reduce risk of leaks.



4.3 Picture 2



4.3 Picture 3



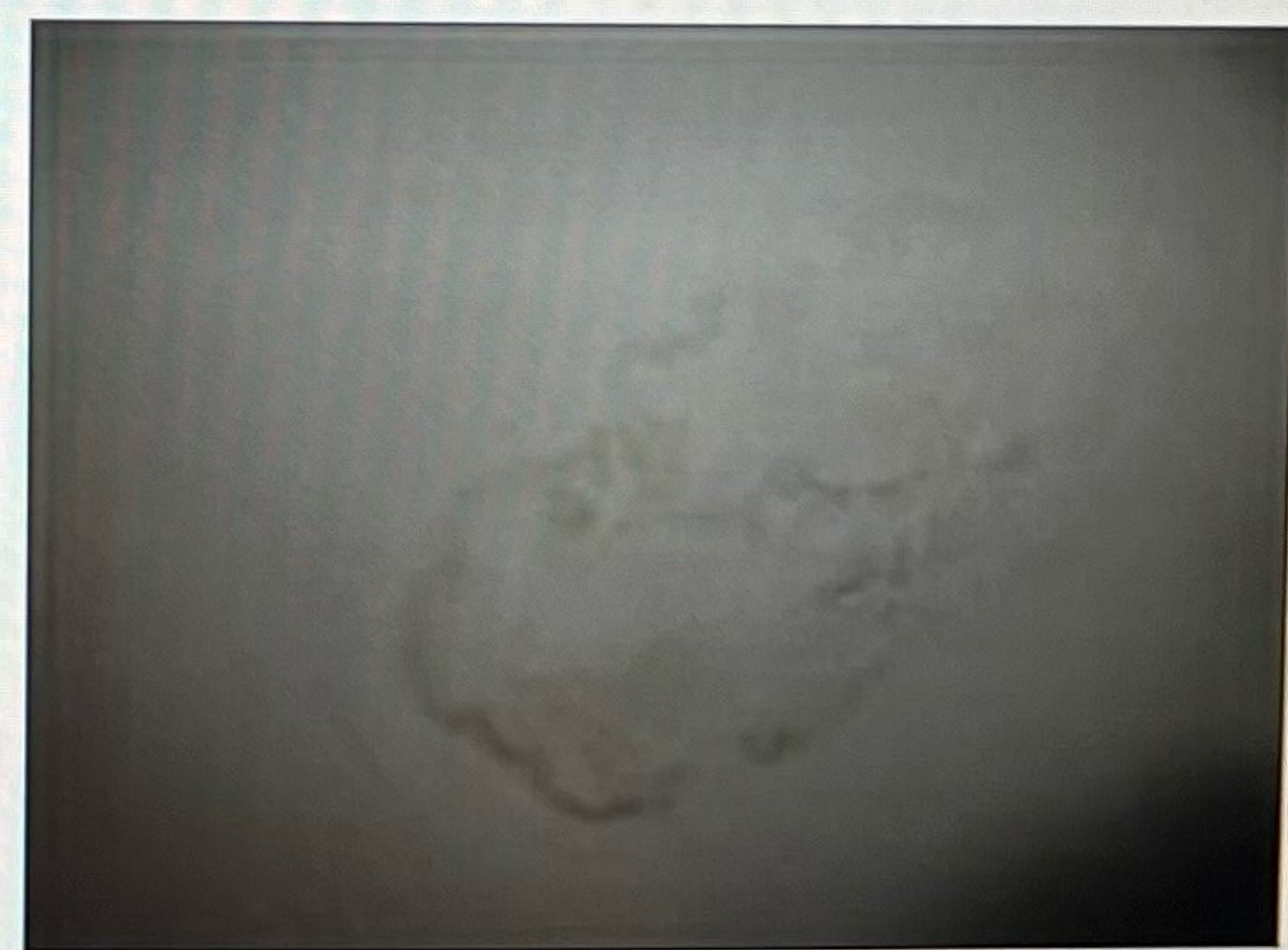
4.3 Picture 4



4.3 Picture 5



4.3 Picture 6



4.3 Picture 7



4.3 Picture 8



1490











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Carriage house railing:

On the West side of the carriage house is a railing that sits on top of the flat roof. As it stands now, the railing is unsafe as it is poorly constructed. It is extremely wobbly and the wood shows signs of deterioration. We are proposing to replace the existing railing with the following materials to recreate the existing railing:

- 4x4 lumber for the posts in the exact same location.
- 2x4 lumber that will be attached to the house as it does now
- 2x2 square spindles spaced less than 4 inches apart. These spindles will fit into the top and bottom rails
- 2x4 top and bottom rail
- Deck railing will be stained after a year's time using semi-transparent stain in a medium brown color

*See attached photos of existing railing on carriage house that we are proposing to remove and replace**

🔍 **2.8 (1)** The railing at the carriage house balcony has spaces between the balusters that are wider than current standards permit. Large openings can allow a child or pet to fall through or get a head stuck. For safety, railing balusters should be spaced close enough to prevent the passage of a 4-inch sphere through any part of the railing. Consider modifications to reduce the width of the openings to meet current standards. A qualified carpenter can perform the work.



2.8 Picture 1

🔧 **(2)** The carriage house balcony railing has loose joints and connections. Secure as necessary for safety.



2.8 Picture 2



2.8 Picture 3











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Overgrown Juniper Tree:

There was a large Juniper tree that was removed from the front yard. Attached is a photo of the tree as well as a letter from the arborist.





To Whom It May Concern at the HDC:

My Client, Tammy Soto, who lives at 1490 Iroquois in Indian Village, recently had a juniper tree removed from the front of her house. This tree was planted, extremely close to the structure of the building. It is my opinion that it was planted 40 years ago as part of a new landscape plan but the full grown size of the species was not taken into account when the landscaper placed it one foot from the house. In addition, a foliar fungal disease was causing a large number of leaves to fall which made the tree look sparse. In conclusion, I recommended removing this tree in order to replace it with a tree that will be planted farther away from the house. Please note that this client is interested in preserving many of the original features of the yard including a 100+ year old lilac. I have consulted with the homeowners and have suggested historically appropriate replacements. Please do not hesitate to reach out to me if necessary. My cell phone number is 734-417-7910 and my email is emibrent@umich.edu.

Sincerely,

Emily Brent
ISA Certified Arborist and TRAQ
MI-4353A
Singing Tree LLC