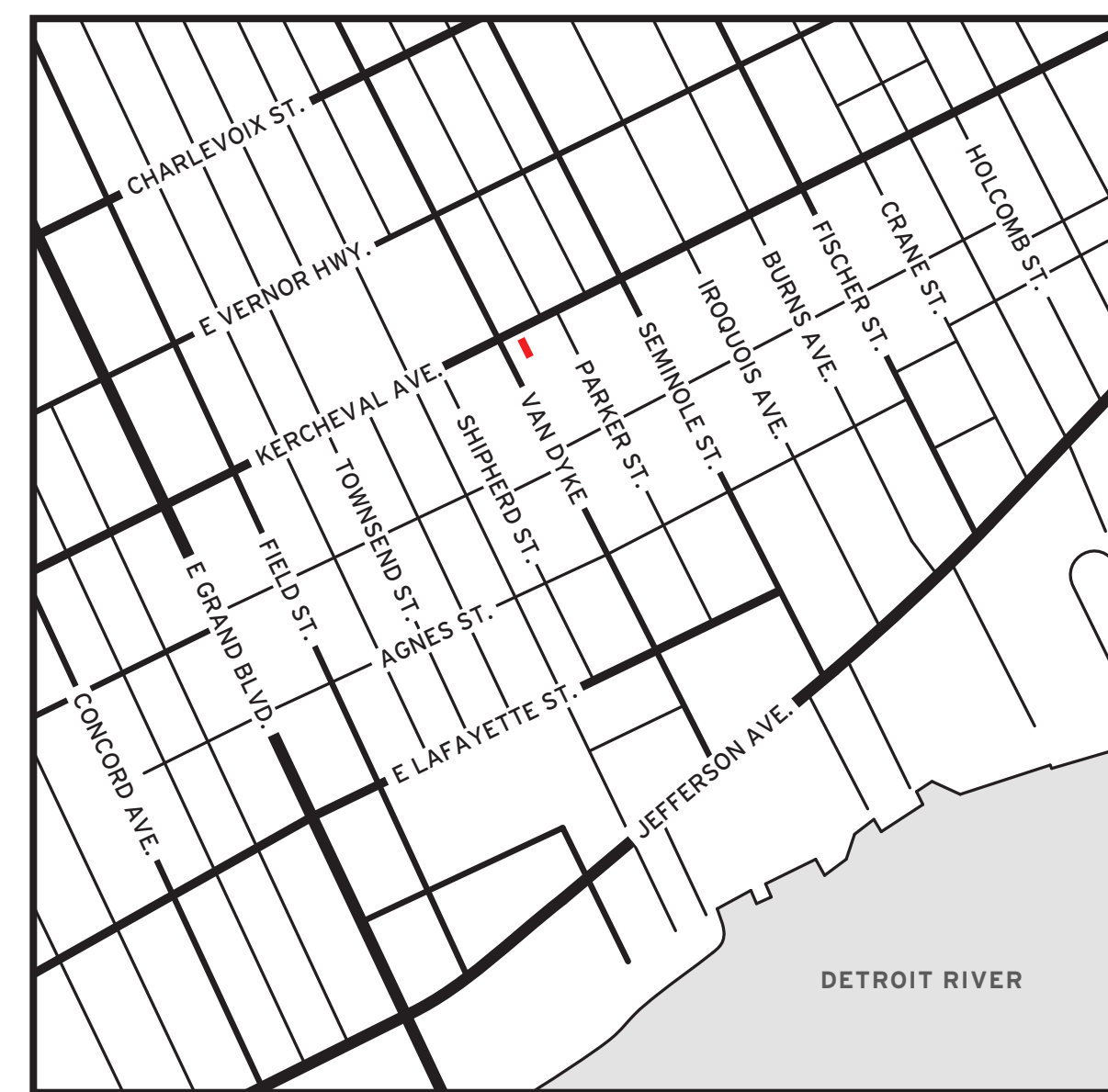


# INTANDEM CAFE + BIKE STUDIO

## HISTORIC DISTRICT COMMISSION REVIEW



1 LOCATION MAP  
SCALE: NOT TO SCALE



2 SITE AREA MAP  
SCALE: NOT TO SCALE

### PROJECT TEAM

#### OWNERS:

LINDSAY SPENCER, BLAKE YARD  
DAVID SPENCER & LILY SPENCER  
8022 KERCHEVAL AVE.  
DETROIT, MI 48214  
lcs Spencer@sffoodsinc.com

#### ARCHITECT:

SUBJECT STUDIO  
1577 ASH ST.  
DETROIT, MI 48208  
hi@subject-studio.com

#### STRUCTURAL ENGINEER:

TBD

#### MEP ENGINEER:

TBD

### PROJECT INFORMATION

#### LOCATION:

8022 KERCHEVAL AVENUE  
DETROIT, MI 48214

#### PROJECT DESCRIPTION:

RENOVATION OF EXISTING HISTORIC DUPLEX STRUCTURE INTO NEW CAFE AND BIKE SHOP AT BASEMENT AND FIRST LEVEL, AND RENOVATED LIVING UNIT AT SECOND AND THIRD LEVEL.

#### LEGAL DESCRIPTION:

S KERCHEVAL E 30 FT OF W 119 FT OF N 91.72 FT OF 65 LYG S & ADJ KERCHEVAL AVE AND E & ADJ VAN DYKE AVE PLAT OF SUB OF VAN DYKE FARM L1 P156 PLATS, W C R 17/38 30 X 91.72

#### PARCEL ID:

17000115

#### REGULATORY BODY:

CITY OF DETROIT

#### HISTORIC DISTRICT:

WEST VILLAGE HISTORIC DISTRICT

### DRAWING INDEX

- A-000 COVER SHEET
- G-000 CODE REVIEW
- A-100 SITE PLAN & SURVEY
- D-100 DEMOLITION PLANS
- A-101 ARCHITECTURE PLANS
- A-102 ARCHITECTURE PLANS
- A-200 EXTERIOR ELEVATIONS

### BUILDING INFORMATION

#### CONSTRUCTION TYPE:

TYPE VB

#### FIRE PROTECTION:

NON-SPRINKLERED

#### NUMBER OF STORIES:

2 STORIES (+ FULL BASEMENT AND ATTIC)

#### BUILDING AREAS:

BASEMENT:	1307 SF
FIRST FLOOR:	1307 SF
SECOND FLOOR:	1300 SF
THIRD FLOOR/ATTIC:	712 SF

**TOTAL: 4626 SF**

#### ALTERATION TYPE:

LEVEL 3

#### YEAR BUILDING CONSTRUCTED:

1907

PROJECT

**2302**

HDC REVIEW



DATE	SET
05/15/23	HDC REVIEW

SEAL

COVER SHEET

**A-000**



**ZONING REVIEW**

**LOCAL ORDINANCE:**  
2019 DETROIT CITY CODE

**ZONING CLASSIFICATION:**  
B4 - GENERAL BUSINESS DISTRICT

**PROPOSED USE CATEGORY:**  
MIXED-USE

FIRST LEVEL: RESTAURANT, STANDARD WITHOUT DRIVE-UP OR DRIVE-THRU FACILITIES; RETAIL SALES AND PERSONAL SERVICES IN BUSINESS OR PROFESSIONAL OFFICES (BY-RIGHT RETAIL, SERVICE, AND COMMERCIAL USES)

SECOND LEVEL: RESIDENTIAL USE COMBINED IN STRUCTURES WITH PERMITTED COMMERCIAL USE (CONDITIONAL RESIDENTIAL USES)

**INTENSITY AND DIMENSIONAL STANDARDS:**

	REQUIRED	EXISTING	PROPOSED
LOT DIMENSIONS	-	30' x 92'	-
LOT AREA	-	2760 SF	-
LOT COVERAGE	-	48%	48%
FLOOR AREA RATIO	-	0.94'	0.94
BUILDING HEIGHT	35 FT (MAX)	37 FT.	37 FT.
FRONT SETBACK	-	7'-9"	7'-9"
REAR SETBACK	-	28'-8"	28'-8"
SIDE SETBACK	-	1'-10" / 2'-7"	1'-10" / 2'-7"

**PARKING REQUIREMENTS**

COMMERCIAL SPACE (JOINT USE CAFE AND BICYCLE REPAIR SHOP):  
SPACES REQUIRED: 0\*  
SPACES PROVIDED: 0

\*SEC. 50-14-7-3: "NO ADDITIONAL OFF-STREET PARKING, BEYOND THAT ALREADY PROVIDED, SHALL BE REQUIRED FOR STRUCTURES ERECTED PRIOR TO APRIL 9, 1998, OTHER THAN RELIGIOUS INSTITUTIONS, THAT DO NOT EXCEED 3,000 SQUARE FEET OF GROSS FLOOR AREA"

ADA ACCESSIBLE SPOTS REQUIRED: 1  
ADA ACCESSIBLE SPOTS PROVIDED: 1 (AT REAR OFF ALLEY)

RESIDENTIAL DWELLING UNIT (LOFT):  
SPACES REQUIRED: 1\*  
SPACES PROVIDED: 1 (AT REAR OFF ALLEY)

\*SEC. 50-14-34: "WHERE LOCATED WITHIN 0.50 MILES OF A BUS RAPID TRANSIT, STREET CAR/TROLLEY OR LIGHT RAIL LINE... 0.75 PER DWELLING UNIT"

**OFF-STREET LOADING REQUIREMENTS**

SPACES REQUIRED: 1 SPACE (12' x 35')  
SPACES PROVIDED: 1 SPACE IN ALLEY\* (ALLEY MAINTANANCE AGREEMENT REQUIRED)

\*SEC. 50-14-111A: "AN OPEN, ADJACENT ALLEY MAY BE CREDITED TOWARD ONE OFF STREET LOADING SPACE FOR RETAIL, SERVICE, OR COMMERCIAL USES IF ACCESS FOR LOADING INTO THE BUILDING IS AVAILABLE IN THE REAR AND THE ALLEY IS NOT LESS THAN 18 FEET WIDE."

**BUILDING CODE REVIEW**

**APPLICABLE CODES:**  
2015 MICHIGAN REHAB CODE FOR EXISTING BUILDINGS (MRCEB)  
2015 MICHIGAN BUILDING CODE (MBC)  
2015 MICHIGAN MECHANICAL CODE (MCC)  
2015 MICHIGAN PLUMBING CODE (MPC)  
2017 NATIONAL ELECTRICAL CODE (NEC)  
2015 MICHIGAN UNIFORM ENERGY CODE (MUEC)  
2009 ICC/NSI + MICHIGAN BARRIER FREE CODE  
2015 INTERNATIONAL FIRE CODE NFPA 1, UNIFORM FIRE CODE

**COMPLIANCE METHOD:**  
WORK AREA COMPLIANCE METHOD (MRCEB 301.1)

**APPLICABLE CHAPTERS:**  
LEVEL 3 (MRCEB CHAPTER 9)  
CHANGE OF USE (MRCEB CHAPTER 10)

**USE CLASSIFICATION:**

EXISTING USES:  
BASEMENT: STORAGE GROUP S-2 (ANCILLARY STORAGE)  
FIRST FLOOR: RESIDENTIAL R-2 (APARTMENT UNIT, VACANT)  
SECOND FLOOR: RESIDENTIAL R-2 (APARTMENT UNIT, VACANT)

PROPOSED USES:  
BASEMENT: BUSINESS GROUP B (OFFICE)  
STORAGE GROUP S-2 (STORAGE AND MECHANICAL)

FIRST FLOOR: BUSINESS GROUP B (COFFEE SHOP + BICYCLE SHOP)\*

\*MBC 303.1.2: A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY."

SECOND FLOOR: RESIDENTIAL R-2 (APARTMENT UNIT)

**OCCUPANCY LOAD: (MBC TABLE 1004.1.2)**

SPACE	FUNCTION	AREA	LOAD	OCCUPANTS
<b>BASEMENT</b>				
OFFICE	BUSINESS	320 SF	100 SF	4
BICYCLE SERVICE	BUSINESS	280 SF	100 SF	3
KITCHEN	KITCHEN	200 SF	200 SF	1
STORAGE	STORAGE	105 SF	300 SF	1
UTILITY ROOM	MECHANICAL	114 SF	300 SF	1
<b>FIRST FLOOR</b>				
CAFE + BIKE SHOP	BUSINESS	1038 SF	100 SF	11
<b>SECOND FLOOR/ATTIC</b>				
DWELLING UNIT	RESIDENTIAL	1545 SF	200 SF	8
UTILITY ROOM	MECHANICAL	88 SF	200F	1

**TOTAL BASEMENT OCCUPANTS: 10**  
**TOTAL FIRST FLOOR OCCUPANTS: 11**  
**TOTAL SECOND LEVEL/ATTIC OCCUPANTS: 9**

**TOTAL OCCUPANTS: 30**

**FIRE RESISTANCE RATINGS: (MBC TABLE 601 & 602)**

CONSTRUCTION TYPE: TYPE VB  
PRIMARY STRUCTURAL FRAME: 0 HOURS  
EXTERIOR BEARING WALLS: 0 HOURS  
INTERIOR BEARING WALLS: 0 HOURS  
INTERIOR NON-BEARING WALLS: 0 HOURS  
FLOOR CONSTRUCTION: 0 HOURS  
ROOF CONSTRUCTION: 0 HOURS

**FIRE PROTECTION SYSTEMS:**

**AUTOMATIC FIRE SUPPRESSION SYSTEM: (MBC SEC. 903.2)**  
(SPRINKLER SYSTEM NOT REQUIRED WHERE) "GROUP B (GROUP A-2 < 50 PERSONS) FIRE AREA AT LEVEL OF EXIT DISCHARGE WITH OCCUPANT LOAD LESS THAN 100 PEOPLE

AUTOMATIC SPRINKLER SYSTEM NOT PROVIDED

**PORTABLE FIRE EXTINGUISHERS (MBC SEC. 906 / TABLE 906.3(1))**

- MAXIMUM TRAVEL DISTANCE = 75 FT.
- WITHIN 30 FEET OF COMMERCIAL COOKING EQUIPMENT

**FIRE ALARM AND DETECTION SYSTEM (MBC SEC. 907.2.1)**

FIRE ALARM AND DETECTION SYSTEM NOT REQUIRED WHERE GROUP B OCCUPANT LOAD < 500 PERSONS

-

**MEANS OF EGRESS: (MBC SEC. 1006 / TABLE 1006.2.1)**

**BASEMENT/FIRST FLOOR (BUSINESS - COFFEE AND BIKE SHOP)**

- COMMON PATH OF TRAVEL: 75 FT. MAX
- 1 EXIT REQUIRED / OCCUPANT LOAD < 49

**SECOND FLOOR/ATTIC (RESIDENTIAL - DWELLING UNIT)**

- 1 EXIT REQUIRED WHERE OCCUPANT LOAD FROM SINGLE DWELLING UNIT < 10 PERSONS AND COMMON PATH OF TRAVEL DISTANCE DOES NOT EXCEED 125 FT.

**2 EXITS PROVIDED**

**EXIT ACCESS TRAVEL DISTANCE AND OCCUPANT LOAD: (MBC SEC. 1017 / 1017.2)**

- MAXIMUM ALLOWABLE TRAVEL DISTANCE: 200 FT.

**ACCESSIBILITY: (MRCEB SEC. 705, 806, 906, 1012 & MBC SEC. 1104.4)**

- 1 ACCESSIBLE ROUTE REQUIRED TO PRIMARY FUNCTIONS AT FIRST LEVEL
- ACCESSIBLE ROUTE NOT REQUIRED TO BASEMENT DUE TO SIZE (< 3000 SF) (MBC 1104.4, EXCEPTION 1)
- ACCESSIBLE ROUTE NOT REQUIRED TO SEOCND LEVEL DWELLING UNIT (MCREB 906.2, EXCEPTION 1)

**PLUMBING FIXTURE REQUIREMENTS:**

USE GROUP: BUSINESS (B)  
RESIDENTIAL (ONE-FAMILY DWELLING)

OCCUPANT LOAD: B = 21 OCCUPANTS (10 BASEMENT + 11 FIRST FLOOR)

**REQUIRED PLUMBING FIXTURES: (MPC TABLE 403.1)**

BUSINESS (B): CAFE + BIKE SHOP  
WATER CLOSETS REQUIRED: 1 PER 25 FOR THE FIRST 50  
LAVATORIES REQUIRED: 1 PER 40 FOR THE FIRST 80  
DRINKING FOUNTAINS REQUIRED: NONE REQUIRED (MPC 410.4)  
SERVICE SINKS REQUIRED: 1 REQUIRED

**RESIDENTIAL (R): ONE-FAMILY DWELLING UNIT**

WATER CLOSETS REQUIRED: 1 PER DWELLING UNIT (MIN.)  
LAVATORIES REQUIRED: 1 PER DWELLING UNIT (MIN.)  
BATHTUB/SHOWERS REQUIRED: 1 PER DWELLING UNIT (MIN.)  
KITCHEN SINKS: 1 PER DWELLING UNIT (MIN.)  
CLOTHESE WASHER CONNECTION: 1 PER DWELLING UNIT (MIN.)

**PLUMBING FIXTURES PROVIDED:**

FIRST FLOOR  
WATER CLOSETS: 11 OCCUPANTS / 25 = 0.44  
1 REQUIRED / 1 PROVIDED

LAVATORIES: 11 OCCUPANTS / 40 = 0.28  
1 REQUIRED / 1 PROVIDED

SERVICE SINK: 1 REQUIRED / 1 PROVIDED

DRINKING FOUNTAIN: NOT REQUIRED IN FOOD SERVICE OCCUPANCIES THAT PROVIDE WATER FREE OF CHARGE (MPC SEC. 410.4)

BASEMENT  
WATER CLOSETS: 10 OCCUPANTS / 25 = 0.4  
1 REQUIRED / 1 PROVIDED

LAVATORIES: 11 OCCUPANTS / 40 = 0.28  
1 REQUIRED / 1 PROVIDED

SERVICE SINK: NOT REQUIRED FOR RETAIL OR BUSINESS OCCUPANCIES WITH OCCUPANT LOAD < 15 PEOPLE (MPC TABLE 403.1, NOTE G)

DRINKING FOUNTAIN: NOT REQUIRED FOR SPACES WITH OCCUPANT LOAD < 15 PEOPLE (MPC TABLE 403.1, NOTE F)

**INTANDEM CAFE + BIKE STUDIO**

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313.364.9859

1577 ASH ST. DETROIT, MI 48208 USA

SUBJECT STUDIO

PROJECT  
**2302**  
HDC REVIEW



DATE SET  
05/15/23 HDC REVIEW

SEAL

**CODE REVIEW**

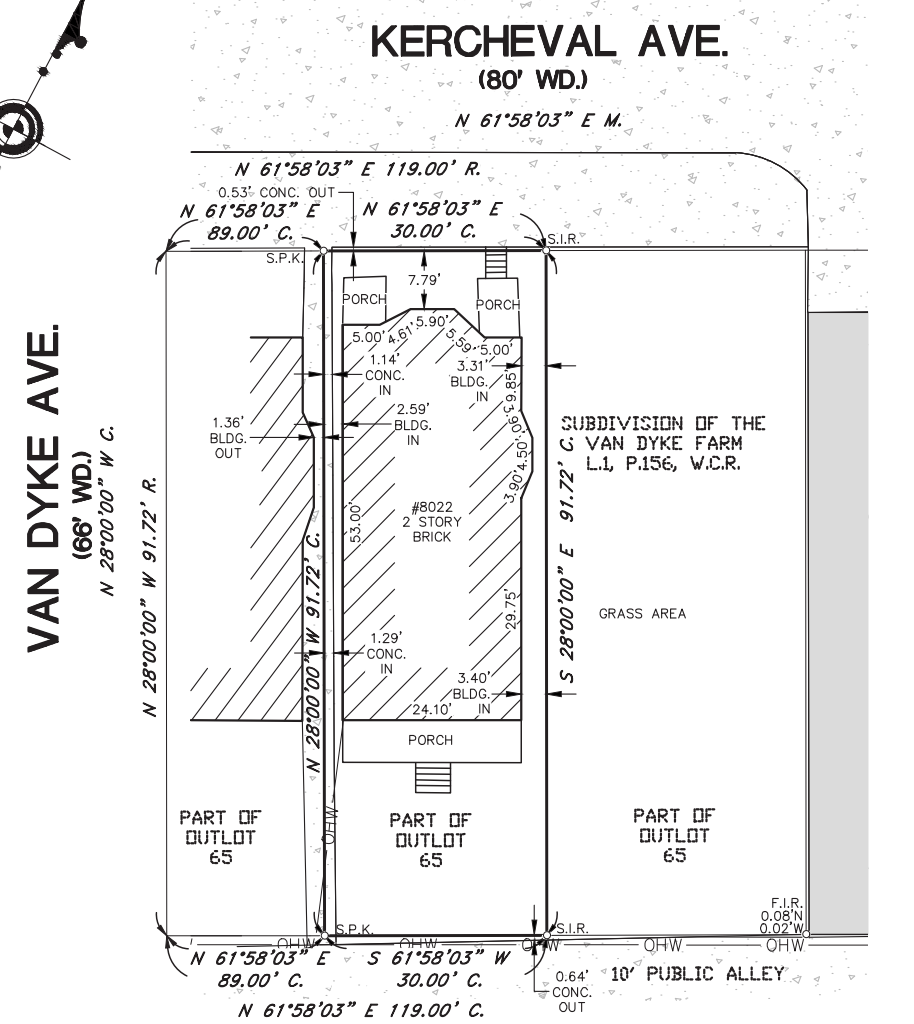
**G-000**



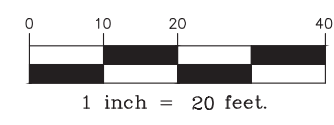


**BOUNDARY SURVEY**  
8022 KERCHEVAL AVE, DETROIT

CONSULTING MUNICIPAL & CIVIL ENGINEERS • SURVEYORS • 28304 HAYES • ROSEVILLE, MI 48066 • (586)774-3000  
www.GeorgeJerome.com  
LEGAL DESCRIPTION OF PROPERTY (First American Title Insurance Commitment, No. 979404 Oct. 28, 2022)  
Land Situated in the City of Detroit, County of Wayne, State of Michigan described as follows:  
The East 30 feet of the West 119 feet of the North 91.72 feet of Outlot No. 65, Plat of the Subdivision of the Van Dyke Farm being Private Claims 100 & 679 from Mack St. to Jefferson Ave., City of Detroit, Wayne County, Michigan, according to the plat thereof as recorded in Liber 1 of Plats, Page 156 of Wayne County Records.

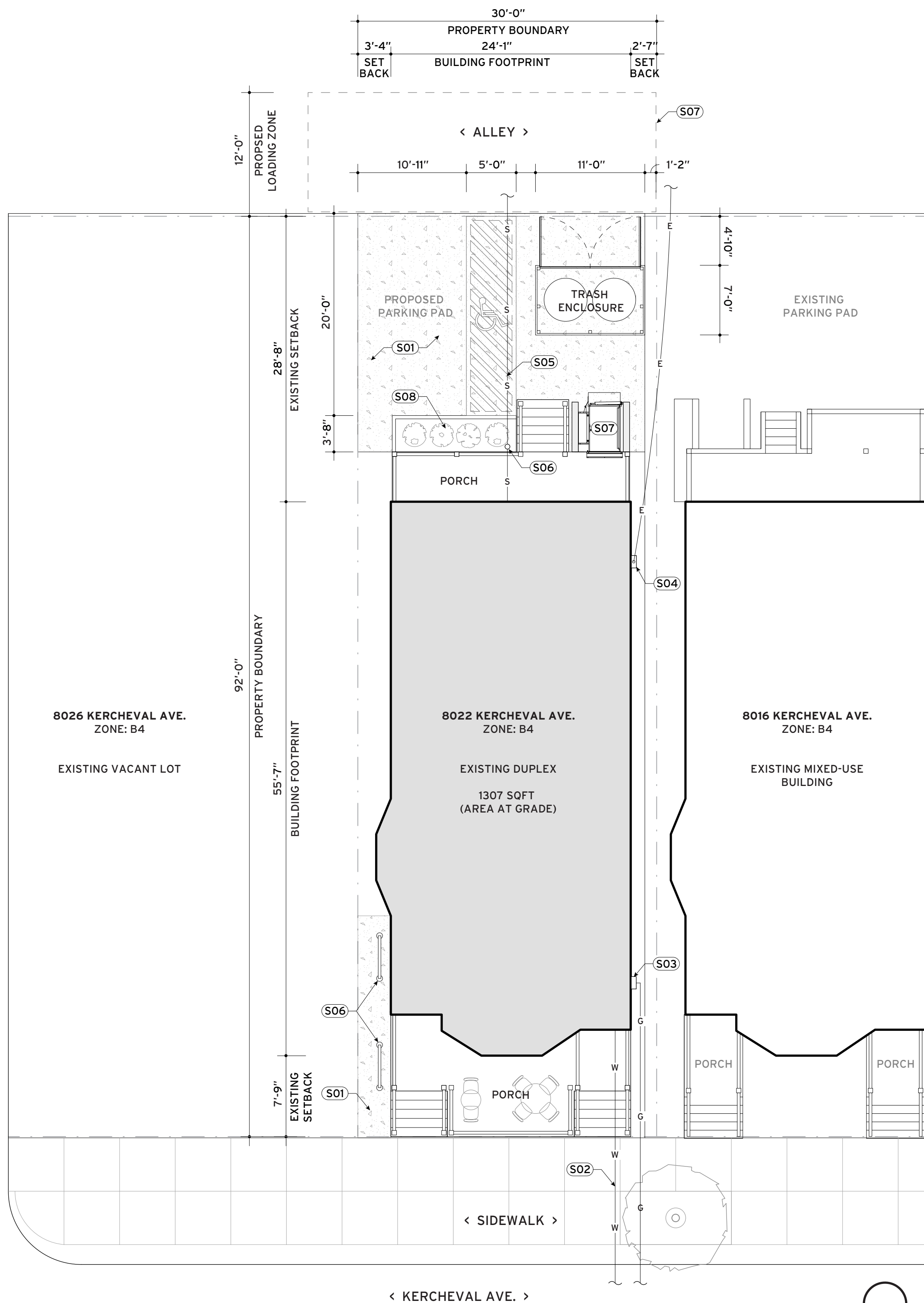


**LEGEND**  
R. RECORD  
F.I.P. FOUND IRON PIPE  
F.I.R. FOUND IRON ROD  
F.M.K. FOUND IRON MARK  
S.I.R. SET IRON ROD  
FENCE  
O.U.L. OVERHEAD UTILITY LINES



GEORGE JEROME & CO. HEREBY CERTIFIES TO David Spencer  
THAT IT HAS SURVEYED THE ABOVE DESCRIBED PROPERTY, DESCRIPTION FURNISHED BY YOU, FOR THE  
PURPOSE OF ESTABLISHING OUTLINE BOUNDARIES, AND THAT THE BOUNDARIES AND CORNERS OF SAID  
PROPERTY ARE AS INDICATED HEREIN.  
SURVEY BY S.D. GEORGE G. JEROME, JR., P.S. P.E. JOB NO. 26-529  
DRAWN BY N.L.R. NO. 46672 DATE 11-15-22  
SCALE 1" = 20' FIELD BOOK NO. 1434-28

**SITE SURVEY**



**LEGAL DESCRIPTION**

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE AND STATE OF MICHIGAN, TO WIT.

EAST 30 FEET OF THE WEST 119 FEET OF THE NORTH 91.72 FEET OF OUTLOT NO. 65, PLAT OF THE SUBDIVISION OF THE VAN DYKE FARM BEING PRIVATE CLAIMS 100 & 679 FROM MACK ST. TO JEFFERSON AVE. CITY OF DETROIT, WAYNE COUNTY, MICHIGAN ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 1 OF PLATS, PAGE 156 OF WAYNE COUNTY RECORDS

COMMONLY KNOW AS:  
8022 KERCHEVAL AVE, DETROIT, MI 48214

**SITE PLAN NOTES**

- S01 INSTALL CONCRETE FLATWORK WALKWAYS/ DRIVEWAY TO THE EXTENT OF THE PROPERTY LINE. COORDINATE ELEVATION OF WALKWAYS WITH FINAL GRADE AND SLOPE FLATWORK TO PUBLIC RIGHT-OF-WAY WHERE POSSIBLE.
- S02 INCOMING WATER SERVICE, METER, AND SHUT-OFF. CONTRACTOR IS TO COORDINATE WITH OWNER AND UTILITY PROVIDER (DWS) TO SIZE/LOCATE METER(S) AND SERVICE LINES PER APPLICABLE CODES.
- S03 INCOMING GAS SERVICE, METER, AND SHUT-OFF TO BE RELOCATED TO SIDE OF BUILDING. CONTRACTOR IS TO COORDINATE WITH UTILITY PROVIDER (DTE) TO SIZE/LOCATE METER(S) AND SERVICE LINES PER APPLICABLE CODES.
- S04 LOCATION OF ELECTRICAL METER SUPPLIED BY OVERHEAD SERVICE LINE. CONTRACTOR IS TO COORDINATE WITH UTILITY PROVIDER (DTE) TO SIZE/LOCATE METER(S) AND SERVICE LINES PER APPLICABLE CODES.
- S05 CONTRACTOR IS TO INSPECT EXISTING SEWER LINE AND DETERMINE CONDITION AND FEASIBILITY OF REUSE WITH OWNER. IF NEW SEWER LINE IS REQUIRED, CONTRACTOR IS TO COORDINATE NEW PVC LINE WITH DWS AND INSTALLER TO TIE NEW LINE INTO EXISTING TAP IF CLEAR AND FREE OF OBSTRUCTION OR CRACKS.
- S06 LOCATE REQUIRED SEWER CLEAN-OUT IN PLANTING BED
- S07 WHEELCHAIR ACCESSIBLE UNENCLOSED VERTICAL PLATFORM LIFT AND CMU BLOCK WING WALLS ADJACENT TO REBUILD REAR DECK. ADHERE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- S08 PLANTING BED AT GRADE BORDERED BY 6" CONCRETE CURBS. COORDINATE WITH OWNER FOR PLANT SELECTIONS.

**SYMBOLS**

- - - - Property Boundary
- S - Sanitary Service Line
- W - Water Service Line
- G - Gas Service Line
- E - Overhead Primary Electrical Service Line

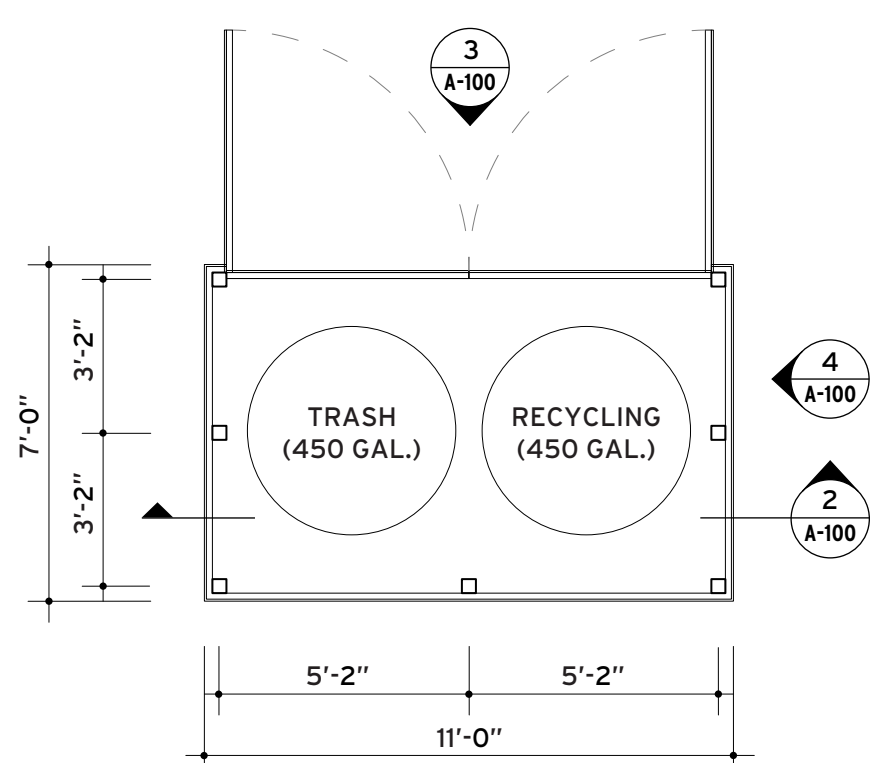
**GENERAL NOTES**

1. THIS SITE AND BUILDING PLAN ARE DIAGRAMMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR.
2. THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK
3. THE GENERAL CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION (WHETHER SHOWN ON THE PLANS OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE/SHE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM HIS/HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES FOR CONSTRUCTION.
6. EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES, AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED OR CAUSE INJURY TO WORKERS.
7. THE CONTRACTOR SHALL FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILL OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY.
8. ALL EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OF.
9. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS.

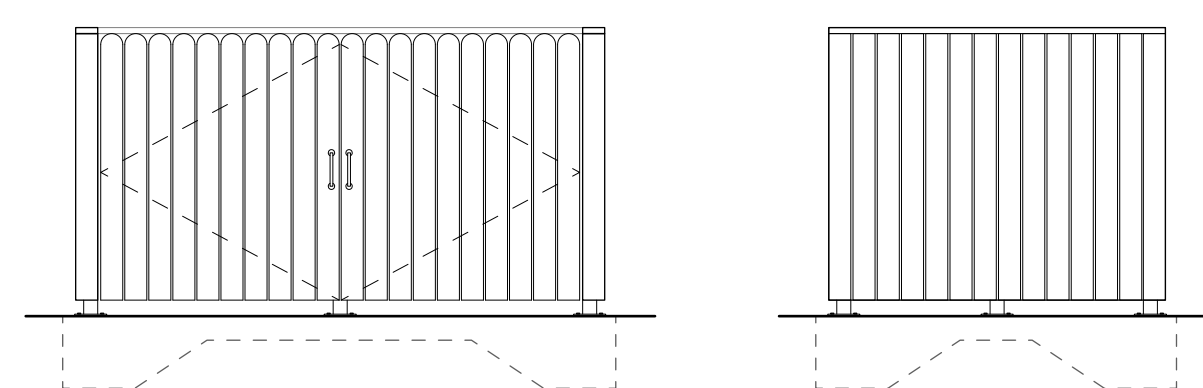
**CONCRETE PAVING NOTES**

1. EXISTING PAVING IS TO BE PROTECTED WHERE REQUIRED TO PREVENT DAMAGE. PATCH, REPAIR, AND REPLACE ANY ROADWAY, ALLEY, OR WALKWAY AREAS ADJACENT TO CONSTRUCTION DAMAGED DURING THE CONSTRUCTION PROCESS ACCORDING TO AN EXISTING OR BETTER CONDITION THAN ENCOUNTERED.
2. CONCRETE PAVING SHALL BE OF THE TYPE, THICKNESS, AND CROSS SECTIONS AS INDICATED ON THE PLANS AND AS FOLLOWS: PORTLAND CEMENT TYPE 1A (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MIN. 28-DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1-1/2 TO 3 IN.
3. ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB, GUTTER, ETC. SHALL BE SPRAY-CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING
4. ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT-POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAW-CUT OPERATION, PER FEDERAL SPECIFICATION 55-S164
5. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
6. ALL TOP OF CURB ELEVATIONS ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
7. CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY
8. FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTION.
9. EXISTING CONCRETE, DEBRIS, TOPSOIL, AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
10. EXPANSION JOINTS SHALL BE INSTALLED AT THE END OF ALL INTERSECTION RADII

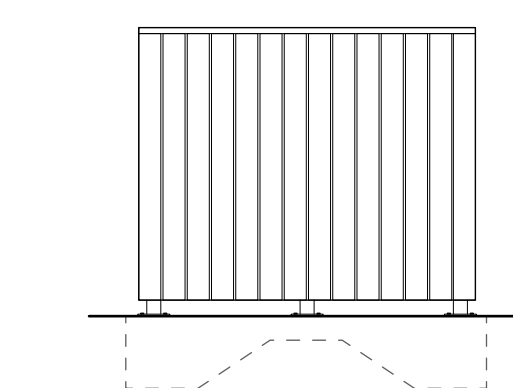
**1 SITE PLAN**  
SCALE: 3/16" : 1'-0"



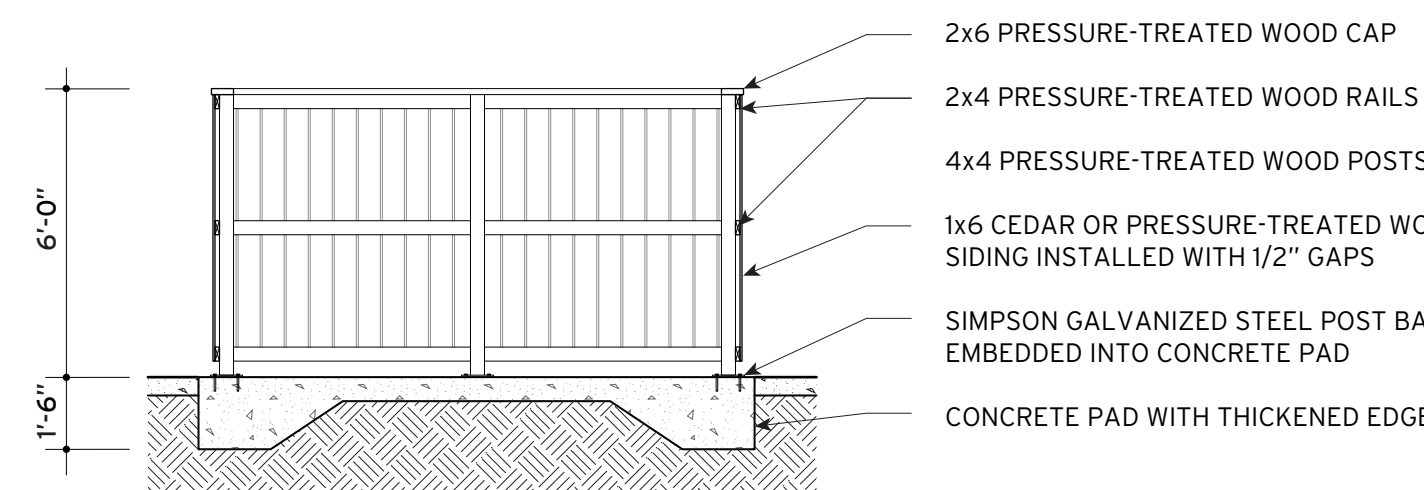
**2 WASTE ENCLOSURE PLAN**  
SCALE: 1/4" : 1'-0"



**3 ALLEY ELEVATION**  
SCALE: 1/4" : 1'-0"



**4 SIDE ELEVATION**  
SCALE: 1/4" : 1'-0"



**5 SECTION**  
SCALE: 1/4" : 1'-0"

**INTANDEM CAFE + BIKE STUDIO**  
8022 KERCHEVAL AVE, DETROIT, MI 48214

**PROJECT 2302**

**HDC REVIEW**

DATE	SET
05/15/23	HDC REVIEW

**SEAL**

**SUBJECT STUDIO**

1577 ASH ST. DETROIT, MI 48208 USA

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**SITE PLAN**

**A-100**



**SYMBOLS**

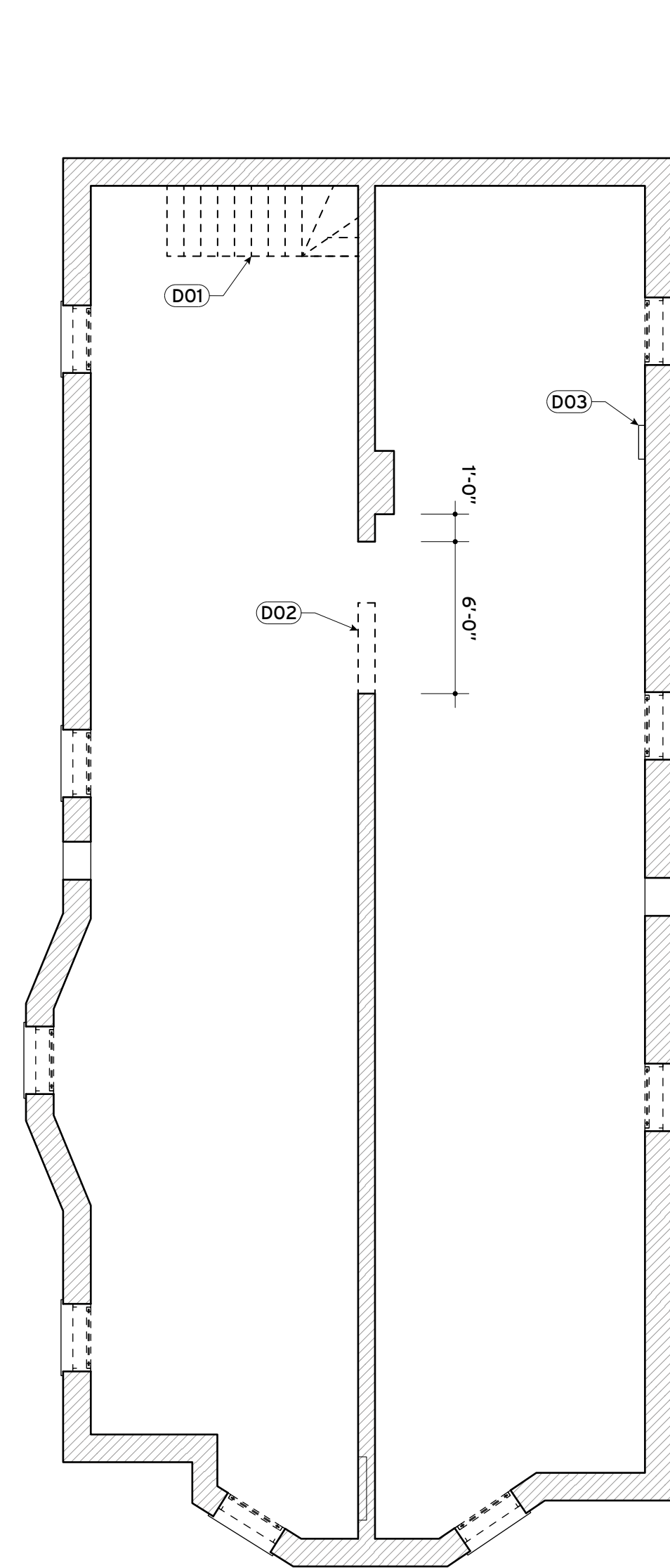
- Element to be Removed
- ////// Portion of Floor to be Removed

**GENERAL NOTES**

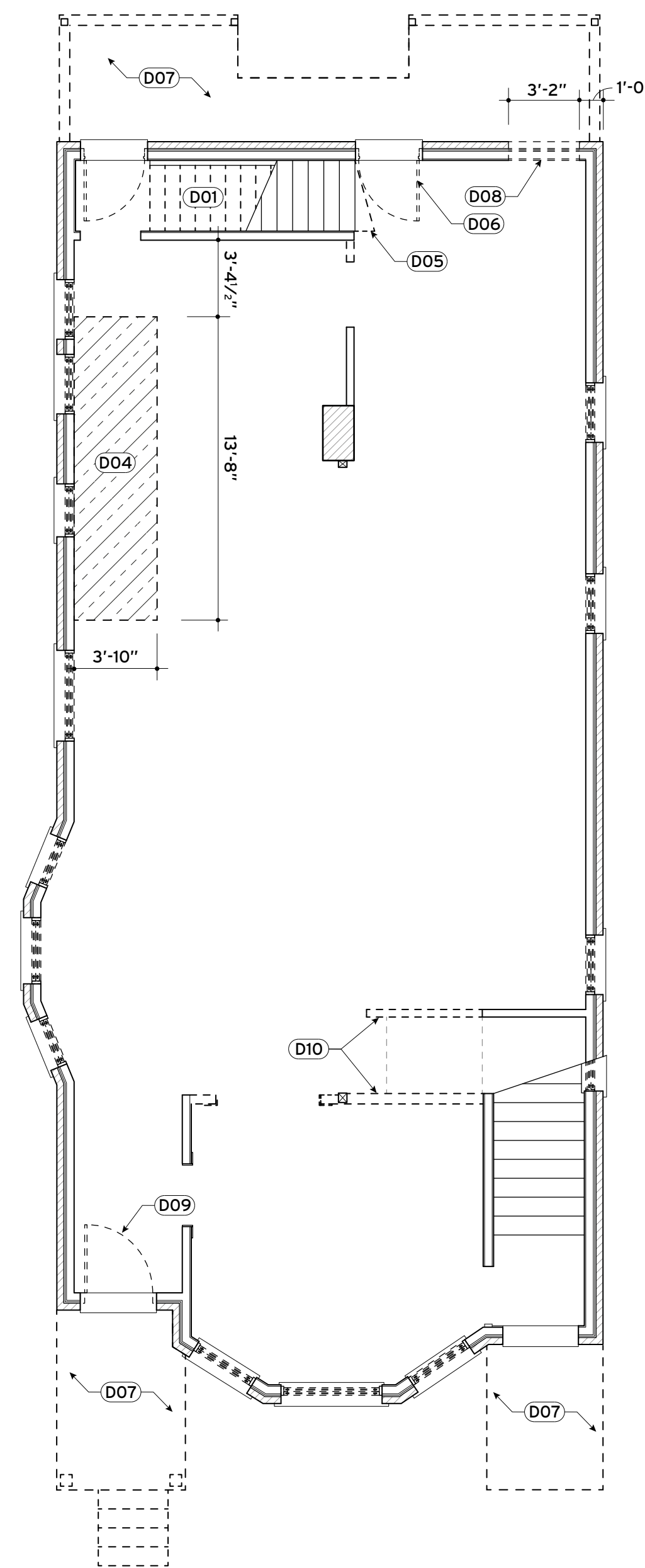
1. ALL DEMOLITION WORK REQUIRED MAY NOT BE LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. COORDINATE SCOPE AND EXTENT OF DEMOLITION WORK WITH NEW WORK PLANS AND DETAILS.
2. PROVIDE SAFE AND SECURE JOB SITE PRIOR TO, DURING AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS
3. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING AND SUPPORT TO HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY, AND INSPECTION OF BRACING, SHORING, AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. LOADING APPLIED TO THE STRUCTURE DURING THE CONSTRUCTION PROCESS SHALL NOT EXCEED THE SAFE LOAD-CARRYING CAPACITY OF THE STRUCTURAL MEMBERS.
5. GENERAL CONTRACTOR IS TO PROTECT ALL ASSEMBLIES. SPACES/AREAS FROM WEATHER AT ALL TIMES AND DURING ENTIRETY OF PROJECT.
6. COORDINATE/CONSULT WITH PLUMBING CONTRACTOR PRIOR TO REMOVAL OF ANY EXISTING PLUMBING FIXTURES, PIPING, AND ASSOCIATED DEVICES.
7. COORDINATE/CONSULT WITH ELECTRICAL CONTRACTOR PRIOR TO REMOVAL OF ANY EXISTING ELECTRICAL FIXTURES, WIRING, CONDUITS, AND ASSOCIATED DEVICES.
8. COORDINATE WITH OWNER REGARDING ALL ELEMENTS TO BE REMOVED FOR SALVAGE OR REUSE.
9. PREPARE ALL DEMOLITION AREAS FOR NEW FINISHES.
10. REMOVE ALL EXISTING WINDOWS AND FRAMES AND PREPARE OPENINGS FOR NEW REPLACEMENT WINDOWS. CAREFULLY REMOVE ALL INTERIOR WINDOW TRIM AND MOULDING FOR POTENTIAL REUSE.

**DEMOLITION NOTES**

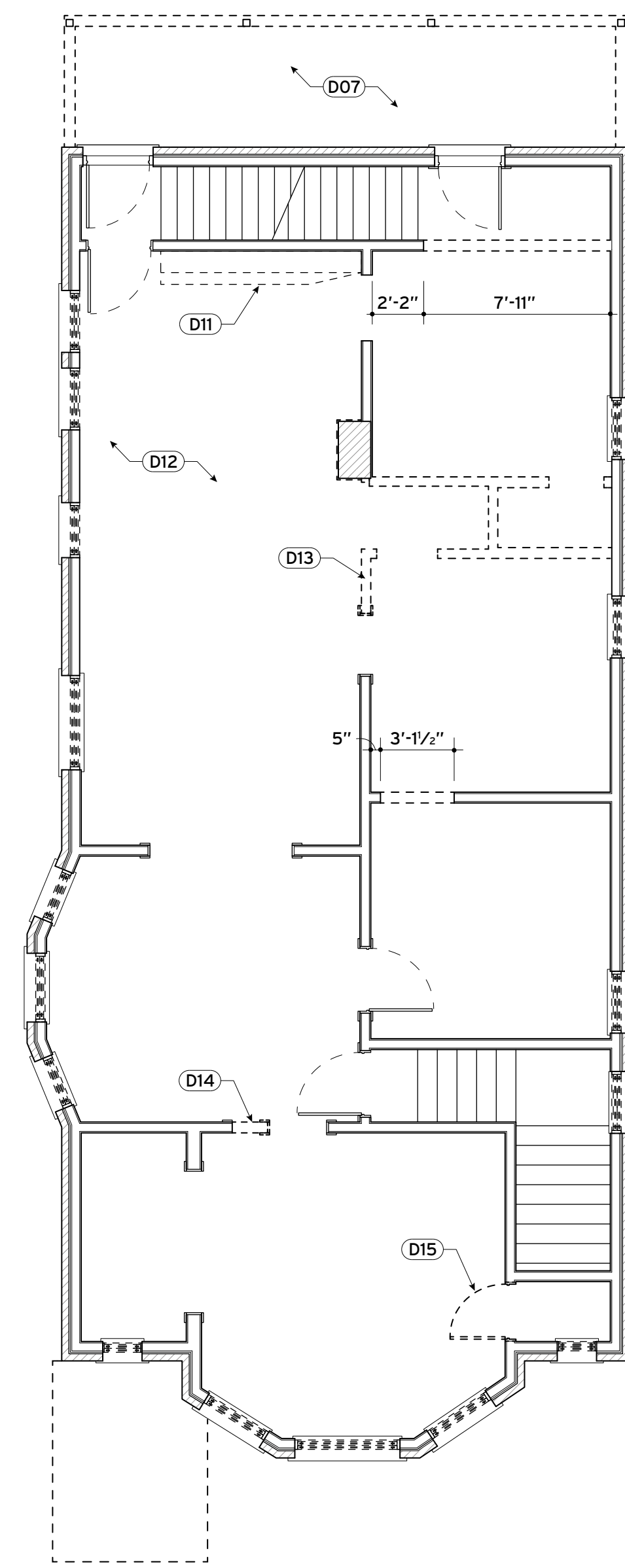
- D01 COMPLETELY REMOVE EXISTING BASEMENT STAIRWAY AND PREPARE STAIR OPENING TO BE INFILLED
- D02 PROVIDE SECURE TEMPORARY BRACING BEFORE REMOVING PORTION OF BRICK MASONRY FOUNDATION WALL. REFER TO STRUCTURAL PLANS FOR BEAM AND REINFORCEMENT SPECIFICATIONS.
- D03 RETAIN EXISTING ELECTRICAL PANEL TO PROVIDE TEMPORARY POWER DURING CONSTRUCTION AND COORDINATE WITH DTE AND ELECTRICAL CONTRACTOR FOR REPLACEMENT REQUIREMENTS.
- D04 REMOVE PORTION OF FLOOR STRUCTURE AND PREPARE OPENING FOR NEW STAIRWAY.
- D05 REMOVE EXISTING ANGLED BOTTOM TREAD/RISER AND PREPARE STAIR STRINGER FOR NEW LANDING TREAD/RISER
- D06 REMOVE EXISTING DOOR AND FRAME AND PREPARE OPENING FOR NEW WINDOW AND BASE INFILL WITH BRICK VENEER
- D07 COMPLETELY REMOVE EXISTING PORCH AND BALCONY INCLUDING FOUNDATION, JOISTS, POSTS, DECKING, AND GUARDRAILS. PRESERVE EXISTING REAR BALCONY ROOF PROJECTION AND PROVIDE TEMPORARY SUPPORT.
- D08 REMOVE PORTION OF WALL TO A HEIGHT MATCHING EXISTING ADJACENT DOOR HEIGHT AND PREPARE FOR NEW DOOR AND FRAME.
- D09 REMOVE EXISTING DOOR AND FRAME AND PREPARE FOR NEW DOOR AND FRAME. CONSULT WITH ARCHITECT FOR POTENTIAL REUSE OF STONE THRESHOLD.
- D10 REMOVE PORTION OF EXISTING WALLS BACK TO BASE OF STAIR/TOP OF LANDING. RETAIN EXISTING LOAD BEARING WOOD POST.
- D11 CONSULT WITH OWNER FOR SALVAGE OR REUSE OF BUILT-IN CABINET.
- D12 REMOVE ANY ROTTED OR DETERIORATED FLOOR SHEATHING IN THIS AREA AND PATCH/REPAIR WITH BOARDS OF MATCHING THICKNESS.
- D13 PROVIDE TEMPORARY BRACING BELOW LOAD-BEARING WALL PRIOR TO REMOVING PORTION OF WALL.
- D14 REMOVE PORTION OF WALL BACK TO ORIGINAL CASED OPENING
- D15 REMOVE EXISTING DOOR AND FRAME
- D16 REMOVE PORTION OF ROOF STRUCTURE AND PROVIDE TEMPORARY SHORING FOR NEW DORMER
- D17 REMOVE EXISTING ATTIC VENT AND PREPARE FOR NEW WINDOW. RETAIN EXISTING EXTERIOR TRIM.



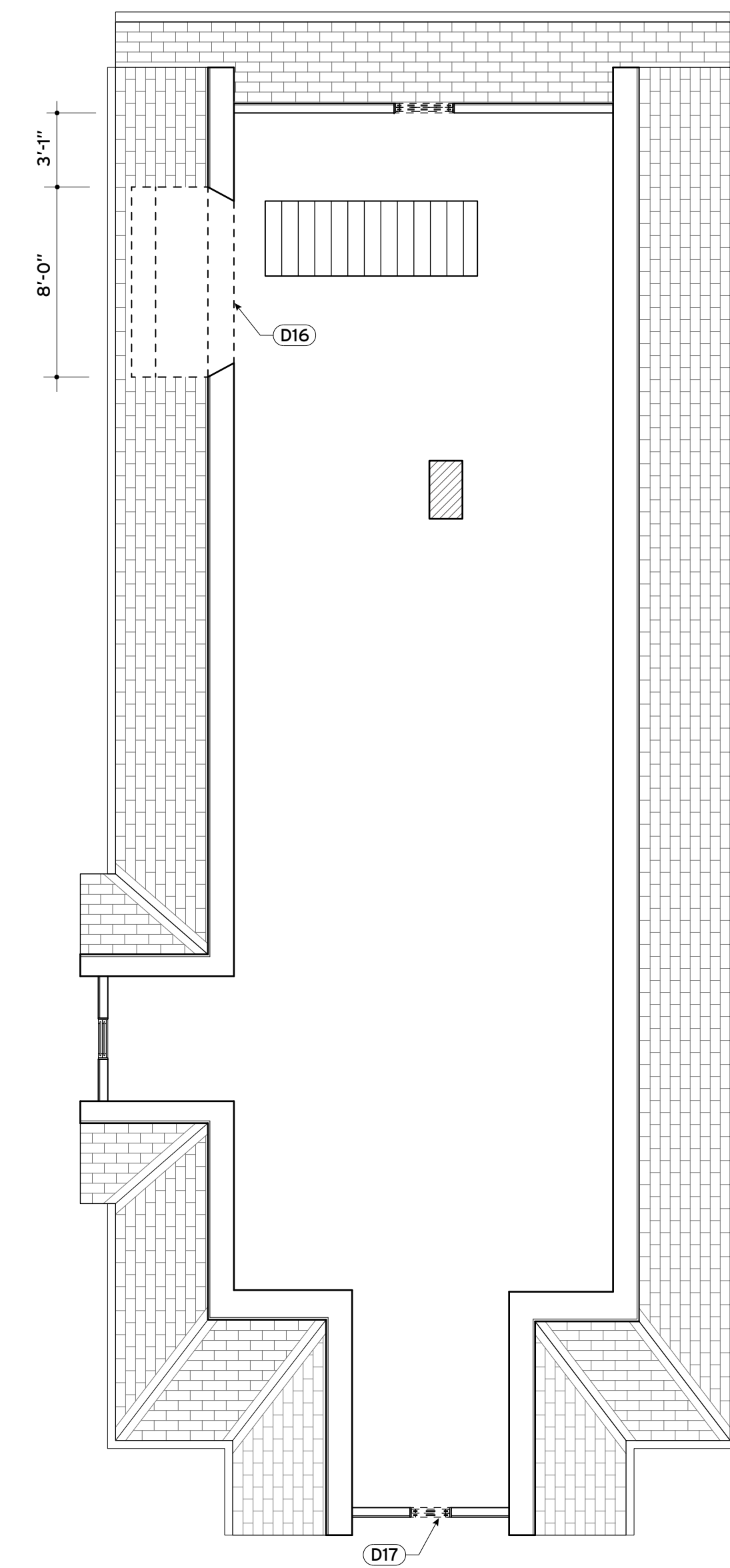
**1** BASEMENT DEMOLITION PLAN  
SCALE: 3/16" : 1'-0"



**2** FIRST FLOOR DEMOLITION PLAN  
SCALE: 3/16" : 1'-0"



**3** SECOND FLOOR DEMOLITION PLAN  
SCALE: 3/16" : 1'-0"



**4** ATTIC DEMOLITION PLAN  
SCALE: 3/16" : 1'-0"

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PROJECT  
**2302**  
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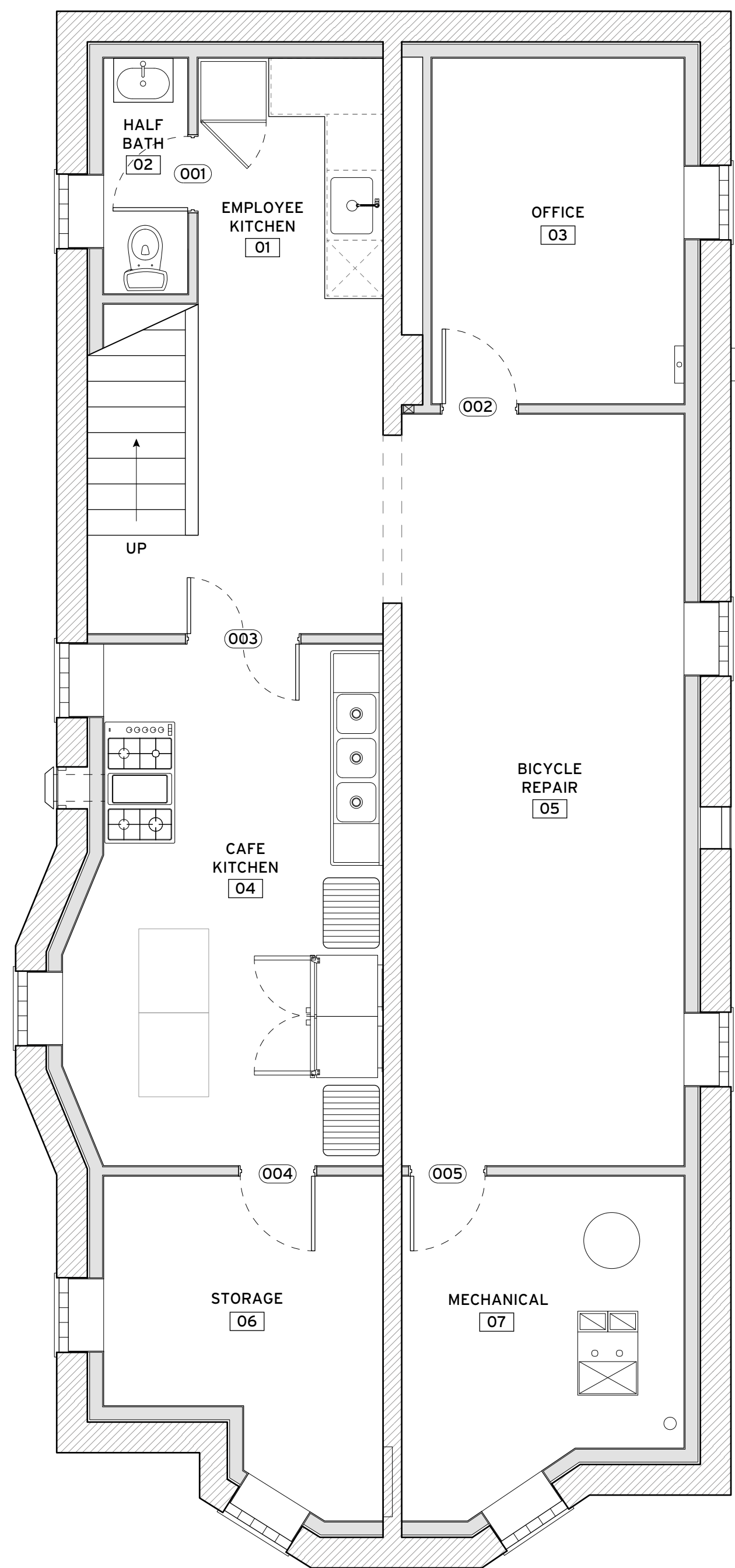


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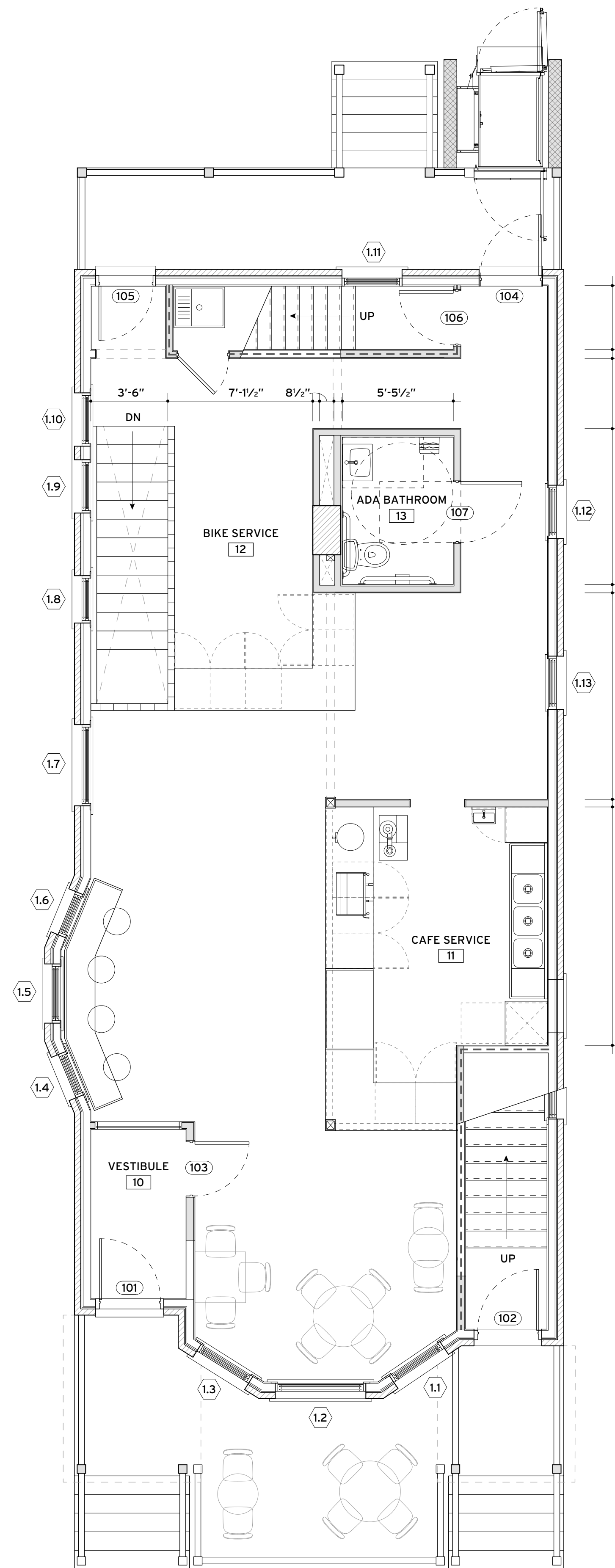
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**DEMOLITION PLANS**

**D-100**



**1** BASEMENT ARCHITECTURE PLAN  
SCALE: 1/4" : 1'-0"



**2** FIRST FLOOR ARCHITECTURE PLAN  
SCALE: 1/4" : 1'-0"

**SYMBOLS**

- Existing Wood Stud Wall
- New Wood Stud Wall
- Exterior Wall Assembly with Brick Veneer
- Fire-Rated Wall Assembly

**GENERAL NOTES**

1. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS AND THE PHYSICAL CONDITIONS, CONTACT THE ARCHITECT UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION.
2. ALL INTERIOR WALL PARTITIONS ARE TO BE 'A1/A-101', UNLESS OTHERWISE NOTED OR REQUIRED BY CODE. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND SPECIFICATIONS.
3. ALL INTERIOR DIMENSIONS ARE MEASURED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED.
4. COORDINATE ALL BUILDING ASSEMBLY AND MATERIAL TRANSITIONS WITH ALL ASSOCIATED TRADES.
5. FIRE-SEAL/FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES PER APPLICABLE CODE.
6. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A COLD ZONE ARE TO RECEIVE A MINIMUM OF R-21 INSULATION PER CODE.
7. ALL LOCATIONS OF CEMENTITIOUS BACKER BOARD ARE TO BE COORDINATED BY THE CONTRACTOR AND SCHEDULED CONSTRUCTION ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS.
8. FRAMING CONTRACTOR TO PROVIDE BLOCKING WHERE REQUIRED FOR MILLWORK, EQUIPMENT, OR OTHER FINISHES AND ACCESSORIES - REFER TO INTERIOR ELEVATIONS.

**ARCHITECTURE NOTES**

A01

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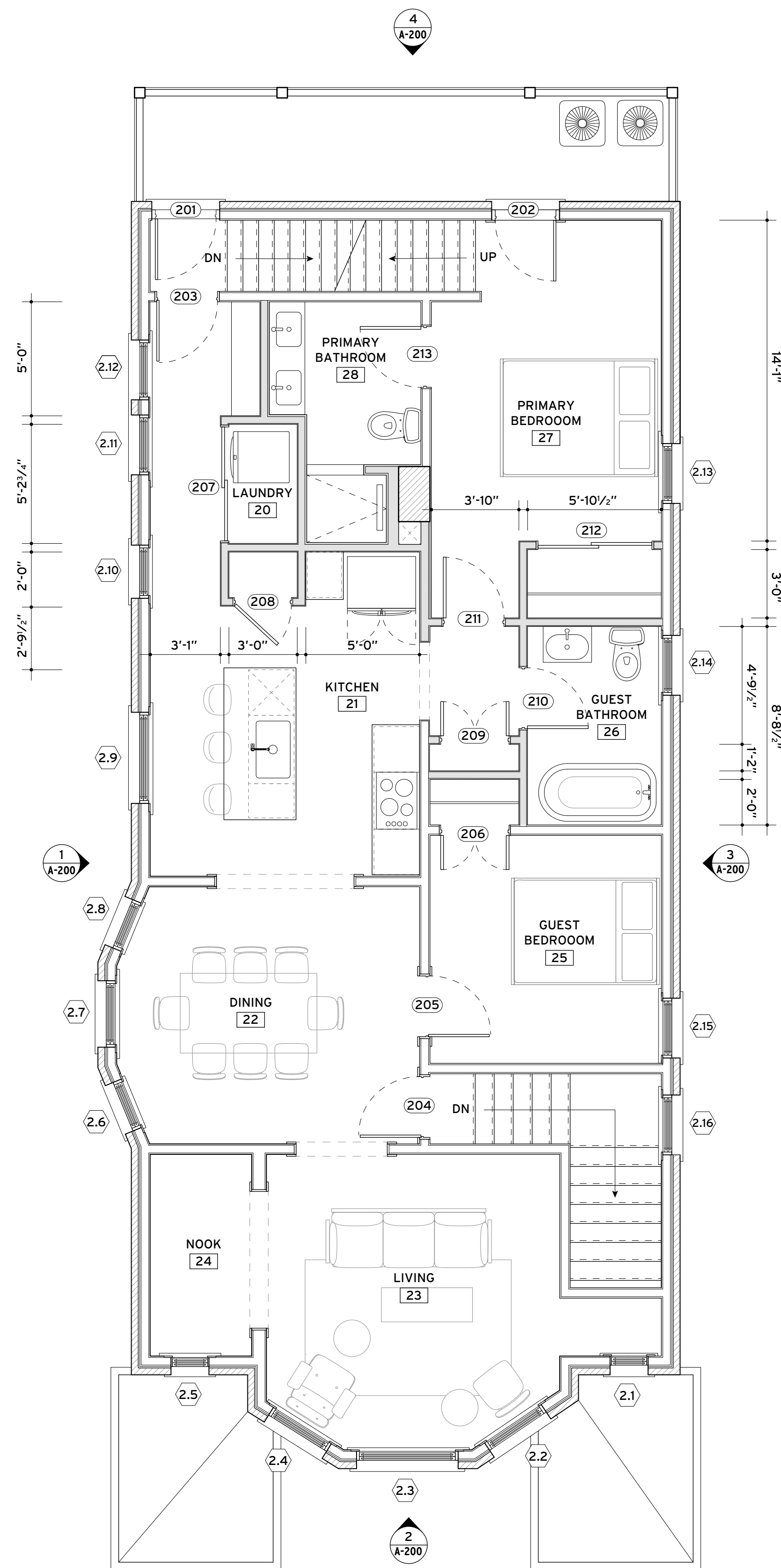
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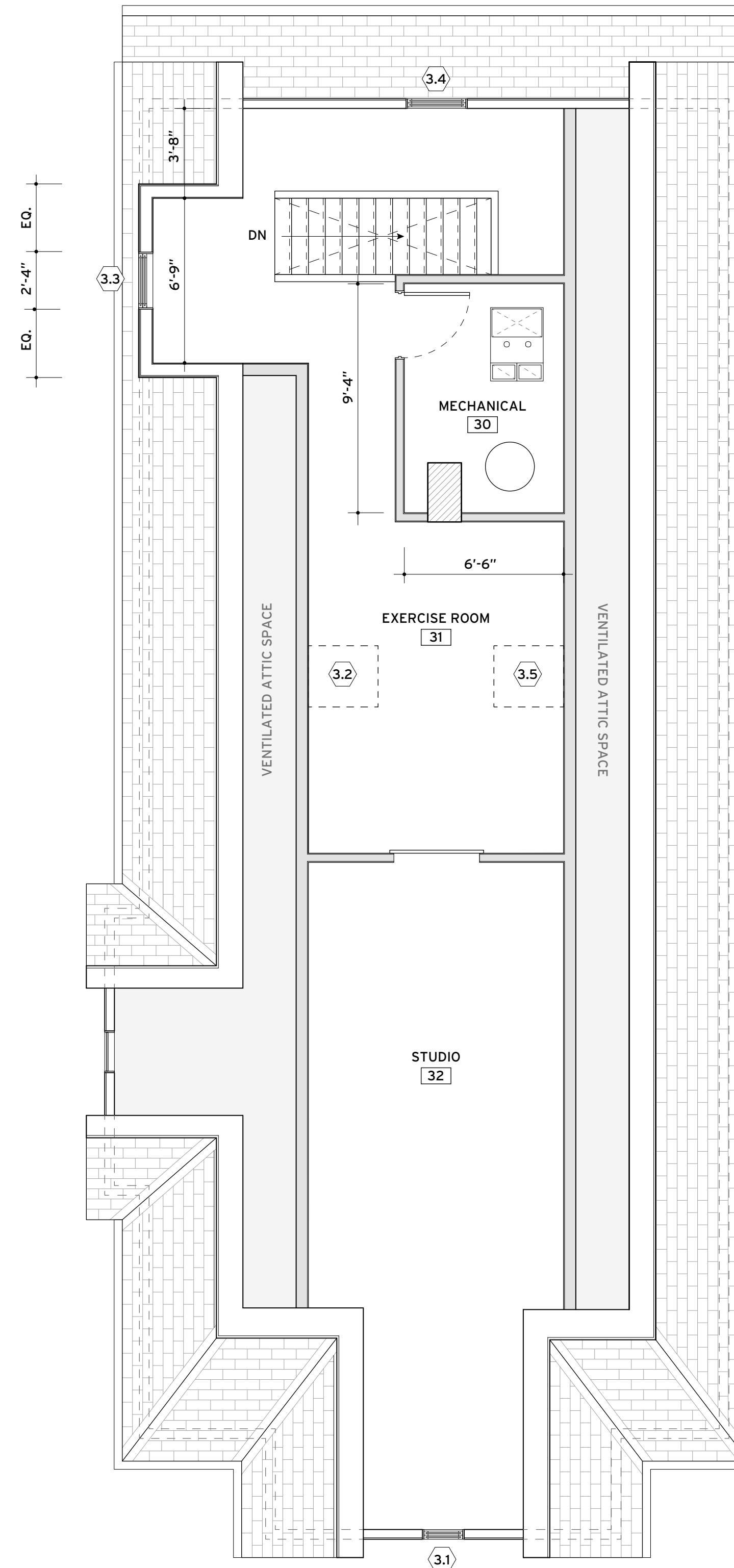
ARCHITECTURE  
PLANS

**A-101**





1 SECOND FLOOR ARCHITECTURE PLAN  
SCALE: 1/4" : 1'-0"



2 ATTIC ARCHITECTURE PLAN  
SCALE: 1/4" : 1'-0"

**SYMBOLS**

- Existing Wood Stud Wall
- New Wood Stud Wall
- Exterior Wall Assembly with Brick Veneer
- Fire-Rated Wall Assembly

**GENERAL NOTES**

1. IF CONFLICTS EXIST BETWEEN THESE DRAWINGS AND THE PHYSICAL CONDITIONS, CONTACT THE ARCHITECT UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION.
2. ALL INTERIOR WALL PARTITIONS ARE TO BE 'A1/A-101', UNLESS OTHERWISE NOTED OR REQUIRED BY CODE. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND SPECIFICATIONS.
3. ALL INTERIOR DIMENSIONS ARE MEASURED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED.
4. COORDINATE ALL BUILDING ASSEMBLY AND MATERIAL TRANSITIONS WITH ALL ASSOCIATED TRADES.
5. FIRE-SEAL/FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES PER APPLICABLE CODE.
6. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A COLD ZONE ARE TO RECEIVE A MINIMUM OF R-21 INSULATION PER CODE.
7. ALL LOCATIONS OF CEMENTITIOUS BACKER BOARD ARE TO BE COORDINATED BY THE CONTRACTOR AND SCHEDULED CONSTRUCTION ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS.
8. FRAMING CONTRACTOR TO PROVIDE BLOCKING WHERE REQUIRED FOR MILLWORK, EQUIPMENT, OR OTHER FINISHES AND ACCESSORIES - REFER TO INTERIOR ELEVATIONS.

**ARCHITECTURE NOTES**

A01

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ARCHITECTURE  
PLANS

**A-102**

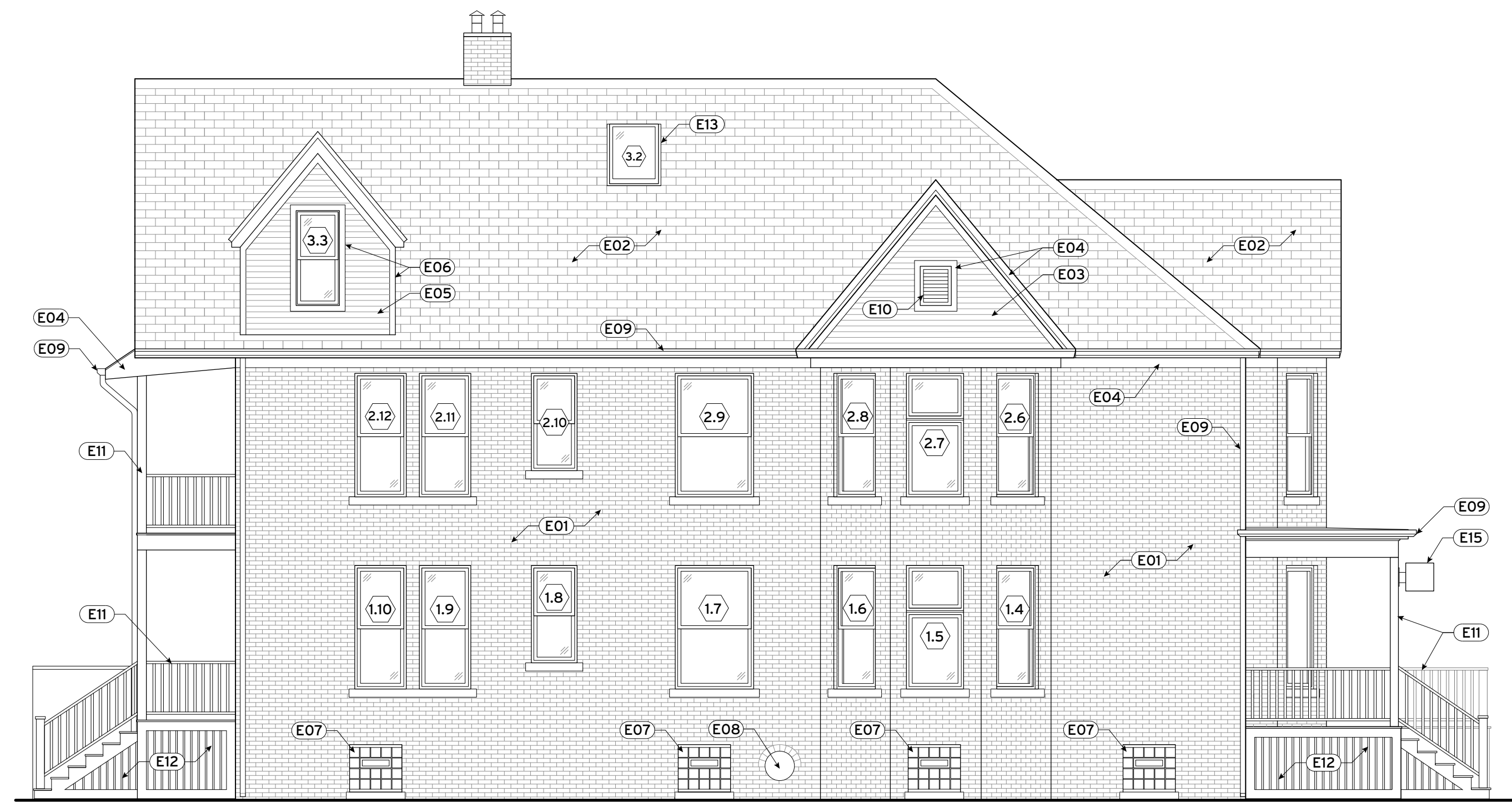
TOP OF ROOF  
36'-9" A.G.

THIRD LEVEL/ATTIC  
23'-10" A.G.

SECOND LEVEL  
14'-0" A.G.

FIRST LEVEL  
4'-3" A.G.

GRADE  
0'-0" ABOVE GRADE



1 SIDE ELEVATION  
SCALE: 3/16" : 1'-0"

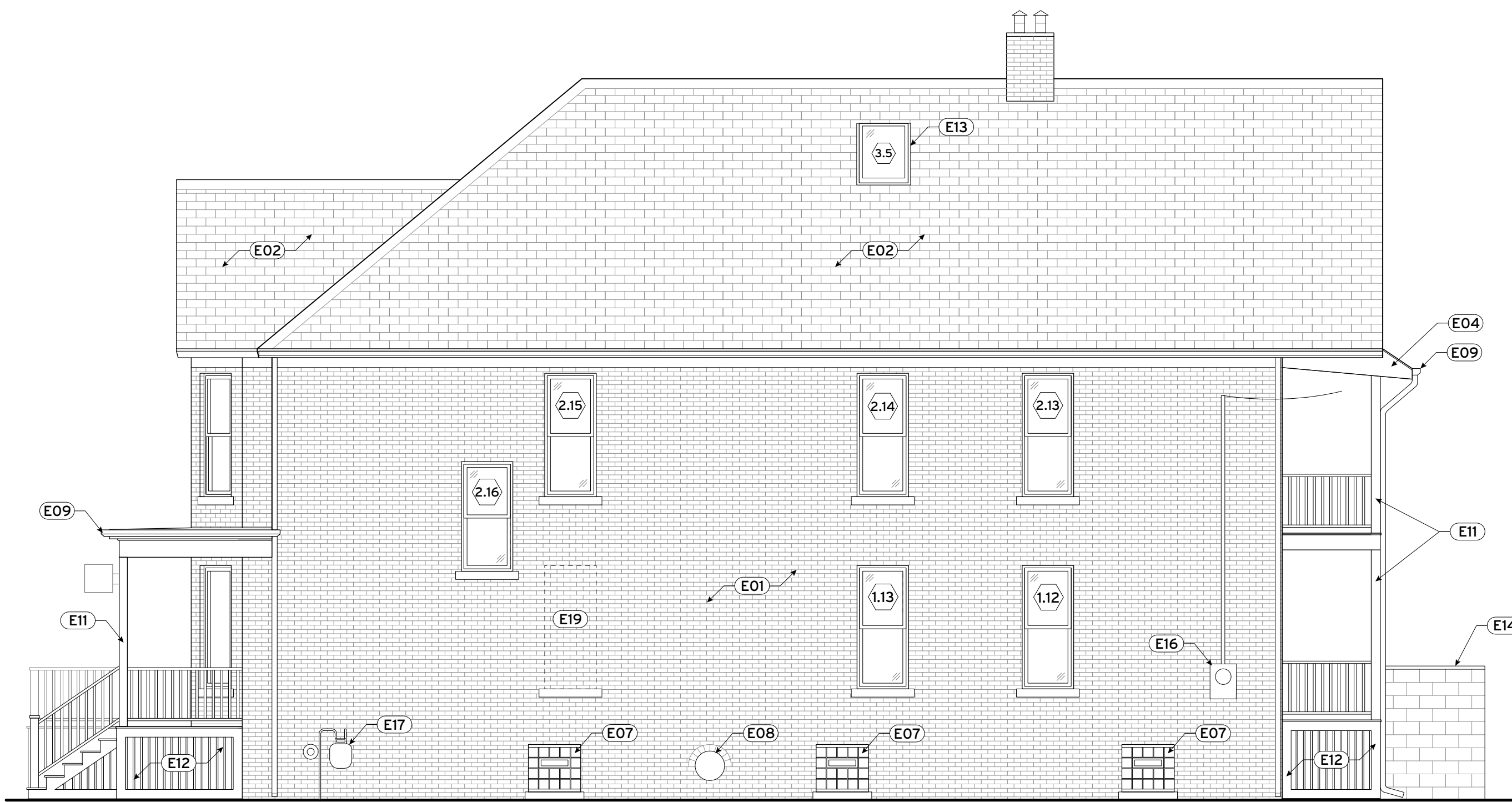
TOP OF ROOF  
36'-9" A.G.

THIRD LEVEL/ATTIC  
23'-10" A.G.

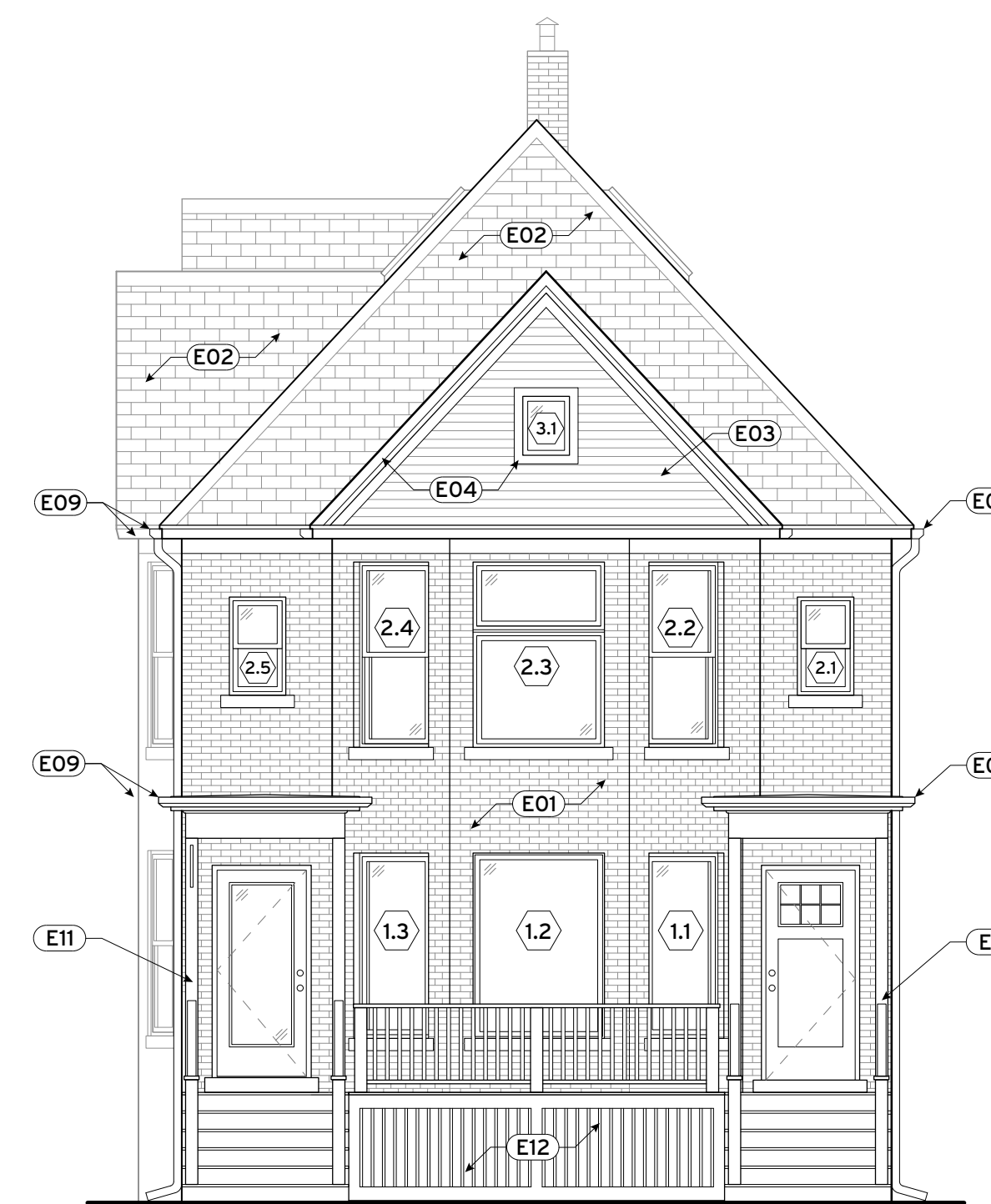
SECOND LEVEL  
14'-0" A.G.

FIRST LEVEL  
4'-3" A.G.

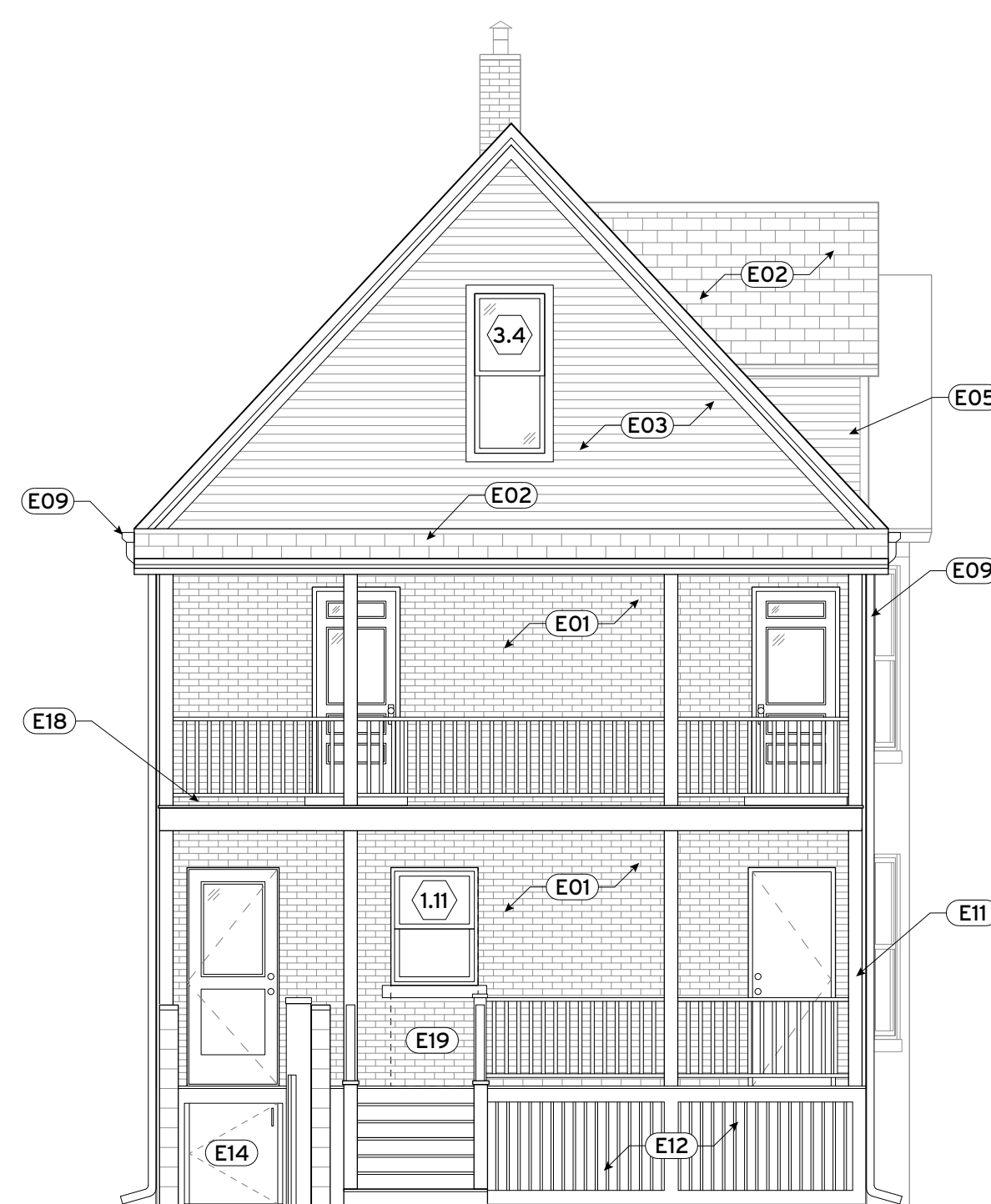
GRADE  
0'-0" ABOVE GRADE



3 SIDE ELEVATION  
SCALE: 3/16" : 1'-0"



2 FRONT ELEVATION (KERCHEVAL AVE.)  
SCALE: 3/16" : 1'-0"



4 REAR ELEVATION  
SCALE: 3/16" : 1'-0"

**GENERAL NOTES**

- IF CONFLICTS EXIST BETWEEN THESE DRAWINGS AND OTHER WITHIN THIS SET OR WITH THE PHYSICAL CONDITIONS, NOTIFY THE ARCHITECT UPON DISCOVERY PRIOR TO FURTHER PHYSICAL CONSTRUCTION.
- ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS, AND THE SPECIFICATIONS.
- PROVIDE PRE-FINISHED ALUMINUM FLASHING, COUNTER FLASHING, AND DRIP EDGES WHEREVER NECESSARY OR INDICATED ON DRAWINGS TO MAINTAIN A WEATHER AND WATER TIGHT SEAL, AND TO PRESERVE ALL WARRANTIES.
- PREPARE ALL WINDOW AND AND DOOR OPENINGS WITH CONTINUOUS FLASHING APPROPRIATE FOR THE ASSEMBLY AND MATERIAL APPLICATION.

**ELEVATION NOTES**

- PATCH, REPAIR, REPLACE, AND RE-POINT EXISTING MASONRY VENEER WHERE NEEDED WITH MATCHING MASONRY UNITS AND MORTAR COLOR (BELDEN MADRID BLD 20-20).
- NEW ROOF ASSEMBLY INCLUDING NEW UNDERLAYMENT, ICE AND WATER SHIELD, EDGE VENT SYSTEM, AND ASPHALT ROOF SHINGLES (CERTAINTED XT-25 'WEATHERED WOOD').
- PATCH AND REPLACE WOOD LAP SIDING IF ROTTED OR DETERIORATED WITH WOOD LAP SIDING MATCHING IN PROFILE AND EXPOSURE AND PAINT BODY COLOR - REFER TO PAINT SPECIFICATIONS.
- SAND AND REFINISH ALL EXISTING WOOD TRIM INCLUDING SOFFITTS, FASCIA, FRIEZE BOARD, AND WINDOW/VENT TRIM AND PAINT TRIM COLOR - REFER TO PAINT SPECIFICATIONS.
- WOOD LAP-SIDING TO MATCH EXISTING GABLE SIDING IN EXPOSURE - PAINT BODY COLOR.
- 1X4 WOOD TRIM - PAINT TRIM COLOR.
- INFILL EXISTING BASEMENT WINDOW OPENING WITH 6"X6" GLASS BLOCK WITH EMBEDDED OPERABLE VENT.
- LOCATE ANY REQUIRED MECHANICAL EXHAUST VENTS OR MAKE-UP AIR UNIT INTAKE AT EXISTING CIRCULAR OPENINGS WHERE POSSIBLE AND ALLOWABLE PER APPLICABLE CODES.
- PRE-FINISHED SEAMLESS 0.27 GAUGE ALUMINUM GUTTER AND DOWNSPOUTS, DARK BRONZE FINISH TO MATCH NEW WINDOW FINISH. INSTALL WITH FULLY CONCEALED BRACKETS, SUPPORTS, AND ANCHORS.
- EXISTING ATTIC VENT TO REMAIN, REPAINT TRIM COLOR
- WOOD-FRAMED PORCH REBUILT IN EXISTING FOOTPRINT
- WOOD PORCH SKIRTING AND TRIM BOARDS STAINED LIGHT TAN/BROWN TO MATCH BODY COLOR
- VELUX DECK-MOUNTED FIXED SKYLIGHT, DARK BRONZE FRAME TO MATCH REPLACEMENT WINDOWS. ADHERE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- WHEELCHAIR ACCESSIBLE UNENCLOSED VERTICAL PLATFORM LIFT AND 8x8x16 CMU BLOCK WING WALLS ADJACENT TO REBUILT REAR DECK. ADHERE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- METAL BLADE SIGN (16" X 16") FASTENED TO PORCH COLUMN
- ELECTRICAL METER(S) LOCATION - COORDINATE WITH DTE.
- GAS METER(S) LOCATION - COORDINATE WITH DTE.
- CONTRACTOR TO COORDINATE WITH HVAC INSALLER TO LOCATE AIR CONDENSER UNITS AT REAR BALCONY BEHIND GUARDRAIL
- AREA OF BRICK INFILL FLUSH WITH ADJACENT VENEER USING MATCHING MASONRY UNITS AND MORTAR (BELDEN MADRID BLD 20-20).
- NEW STONE SILL TO MATCH EXISTING

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**EXTERIOR ELEVATIONS**

**A-200**