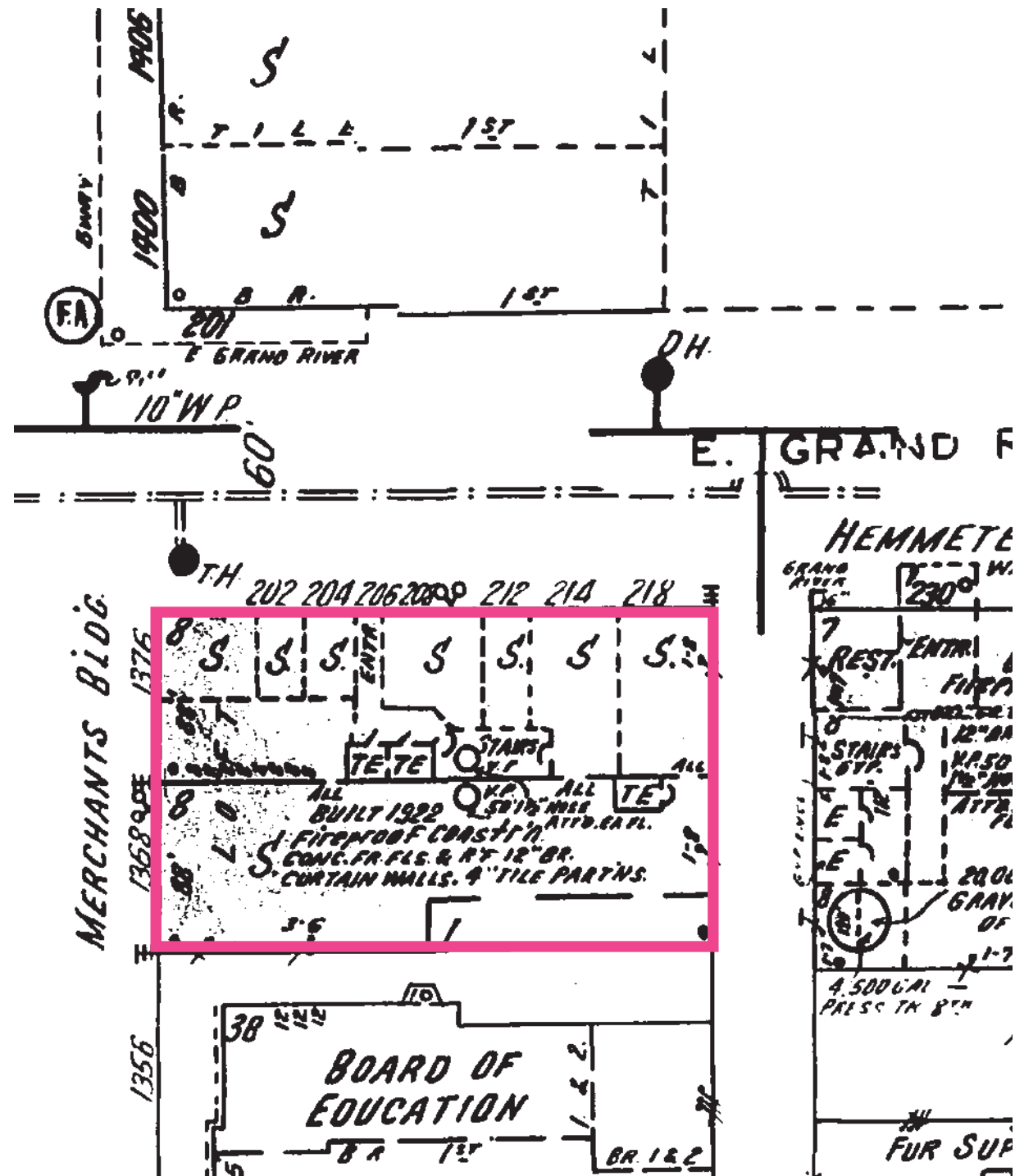


MERCHANTS BUILDING - 206 E. Grand River

HDC Review

May 2023





1922 SANBORN

REPLACE BROADWAY LANDMARK

BUILDING FOR JOHN J. BARLUM.
Preliminary work is under way for the construction of a modern eight-story and basement, fireproof shop and office building for John J. Barlum on the southeast corner of Broadway and East Grand River avenue. Bonnah & Chaffee are the architects. The mason contract has been awarded to the Otto Misch company.

The new building is to be of classic design with ornate front of terra cotta. The entrance will be from East Grand River avenue. Four shops will front on that street and two on Broadway. Careful attention has been given the matter of lighting, assuring sunlight for all floors. No detail in the matter of safety or fire-prevention has been overlooked, the architects say. Two high speed elevators, provided with the latest safety features, will be installed. It is expected the building space will be available for shops, offices and commercial purposes about August 15.

The building takes the site formerly occupied by the Abend Post building, which was erected in 1890 and was one of the first commercial structures on Broadway, then known as Miami avenue.

EARLY 1922 DFP ARTICLE

BARLUM BUILDING
Broadway and Grand River

Space in This Fine Modern Fireproof Building for Lease at Terms That Are Very Attractive

Some of Our Present Tenants

| | |
|--------------------------------|-------------------------------------|
| Abso-Clean Sales & Service Co. | Ralph & Reed. |
| Belf, Wm. H. Co. | Smith, L. C. & Bro., Typewriter Co. |
| City Loan & Credit Co. | Sonnenburg, Tailor. |
| Juzek Bros. | Twin City Scenic Co. |
| Korby, Dr. Geo. J. | Tromley, Claud. |
| Lang, Dr. Otto, Jr. | Wolverine Woolen Co. |
| Merchants Credit Bureau. | |
| Piper, Walter C., Inc. | |

For information inquire at office John J. Barlum
Glendale 2943

OCT 1922 DFP ARTICLE





North Elevation



West Elevation

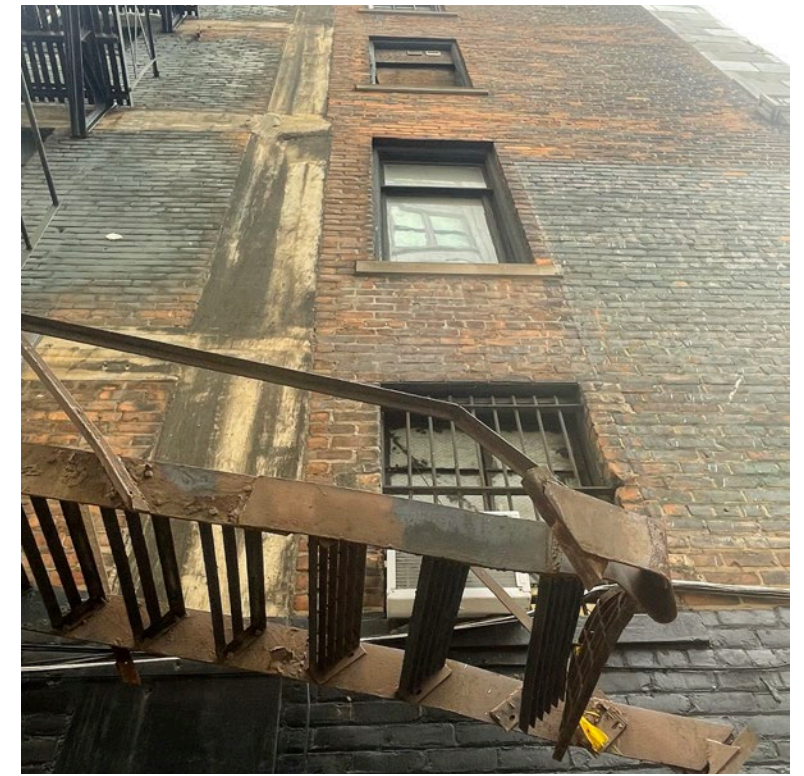


South Elevation



East Elevation

EXISTING CONDITIONS



Typical fire escape condition photos, 4/17/23.



Example of exposed concrete structure spalling, April 2023



Example of terracotta cracking and delamination at water table, April 2023



Example of typical brick efflorescence and deterioration, April 2023



Example of typical terracotta delamination, April 2023





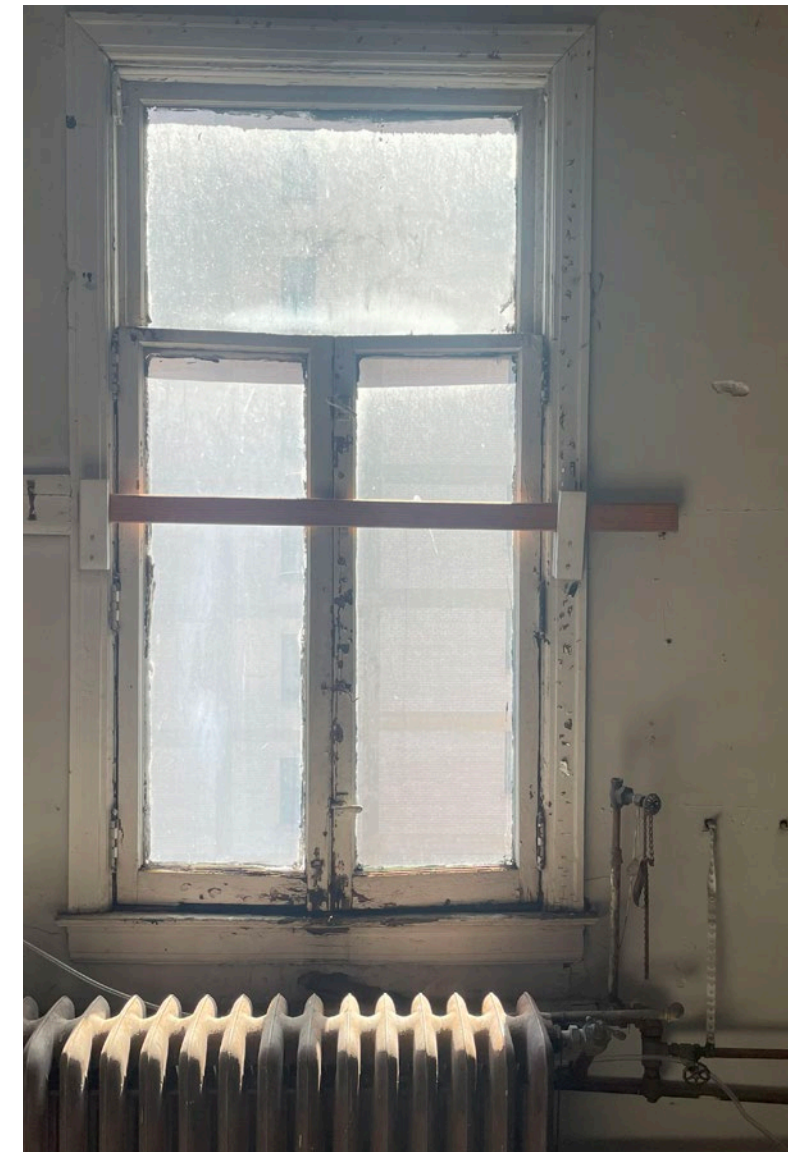
TYPICAL GROUPING OF IN-SWING CASEMENTS WITH FIXED TRANSOMS ATOP



TYPICAL STEEL FACTORY STYLE WINDOW



DETAIL ILLUSTRATING FIXED TRANSOM OFFSET FROM CASEMENT BELOW



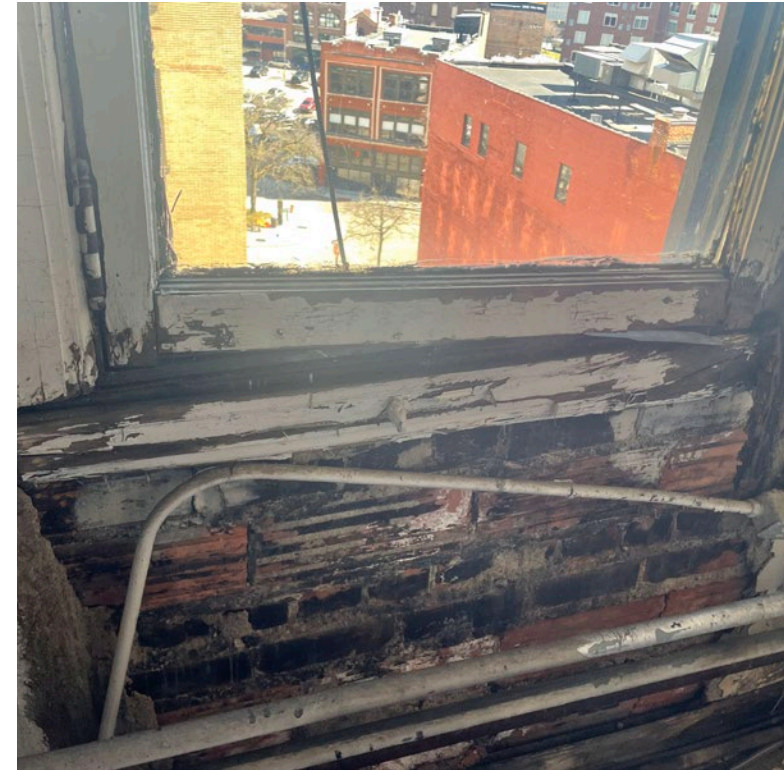
TYPICAL DOUBLE IN-SWING CASEMENT BELOW SINGLE FIXED TRANSOM ABOVE



TYPICAL JAMB CONDITION



TYPICAL JAMB CONDITION



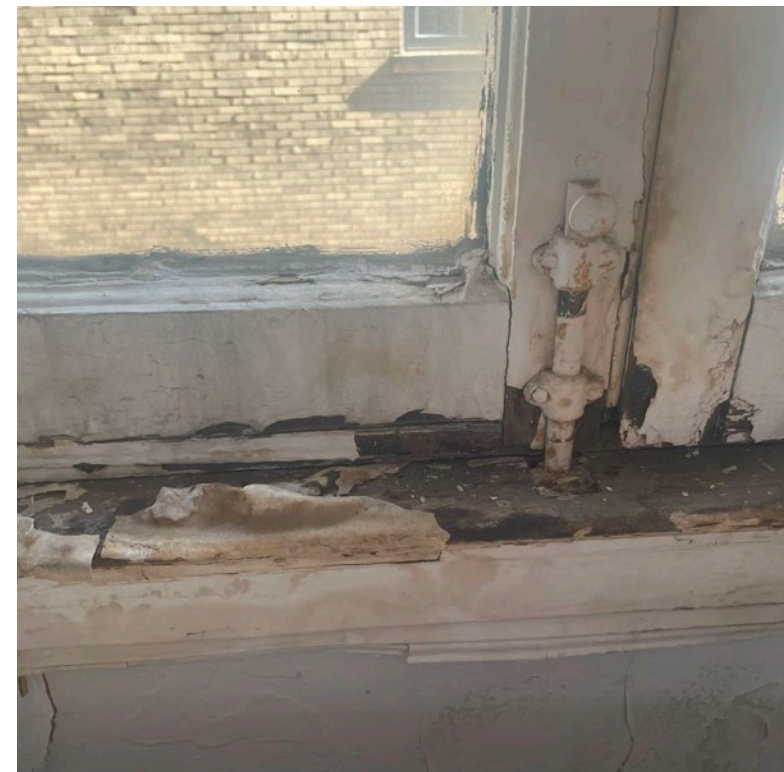
TYPICAL DETERIORATED INTERIOR SILL CONDITION



TYPICAL SILL CONDITION



TYPICAL OVERALL WOOD CONDITION



TYPICAL SASH CONDITION



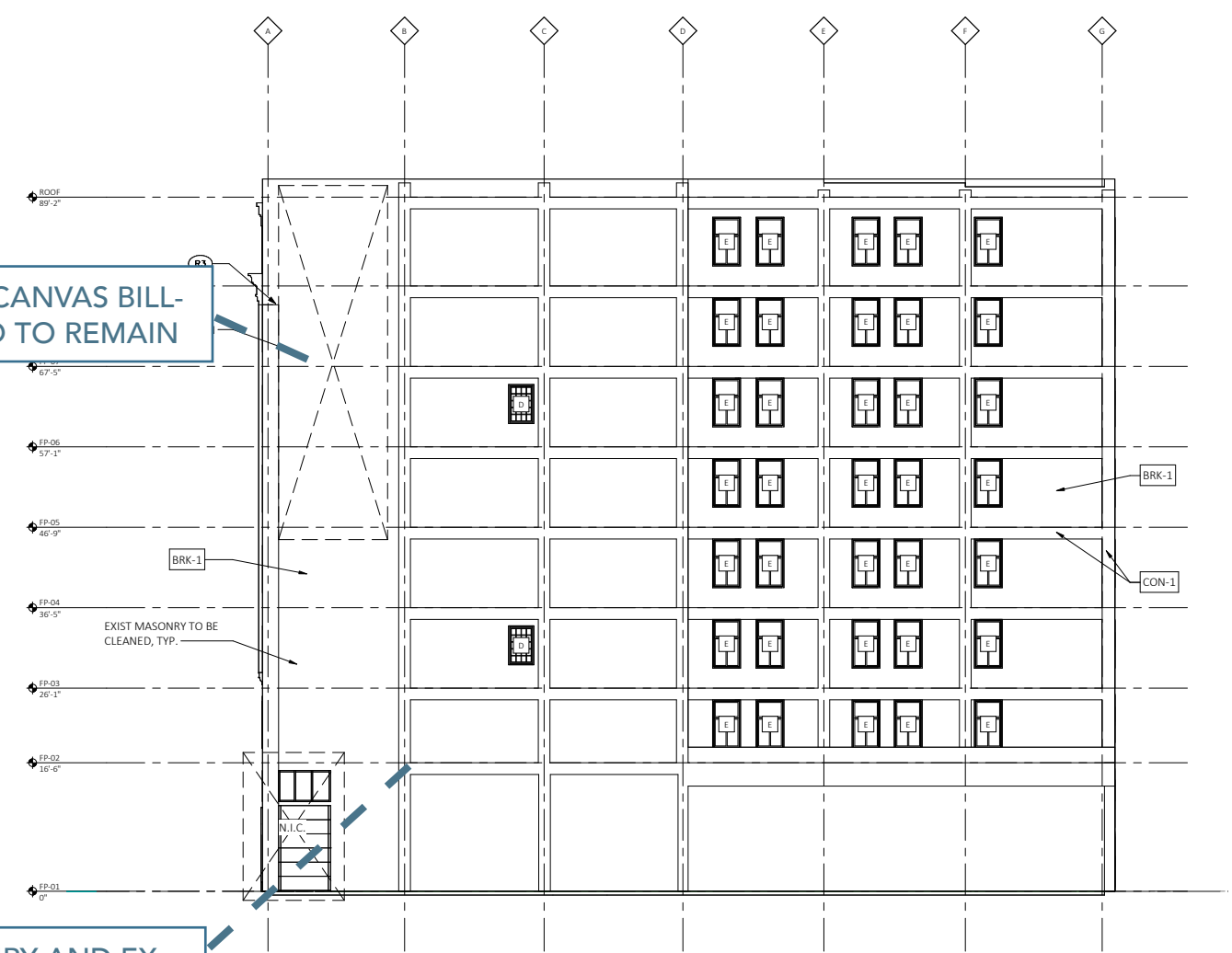
NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXIST CANVAS BILL-BOARD TO REMAIN

TERRACOTTA TO BE CLEANED, TYP.

EXIST METAL SPANDREL PANELS TO BE REPAIRED AND RETAINED

MASONRY AND EXPOSED CONCRETE TO BE REPAIRED AND CLEANED, TYP.



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

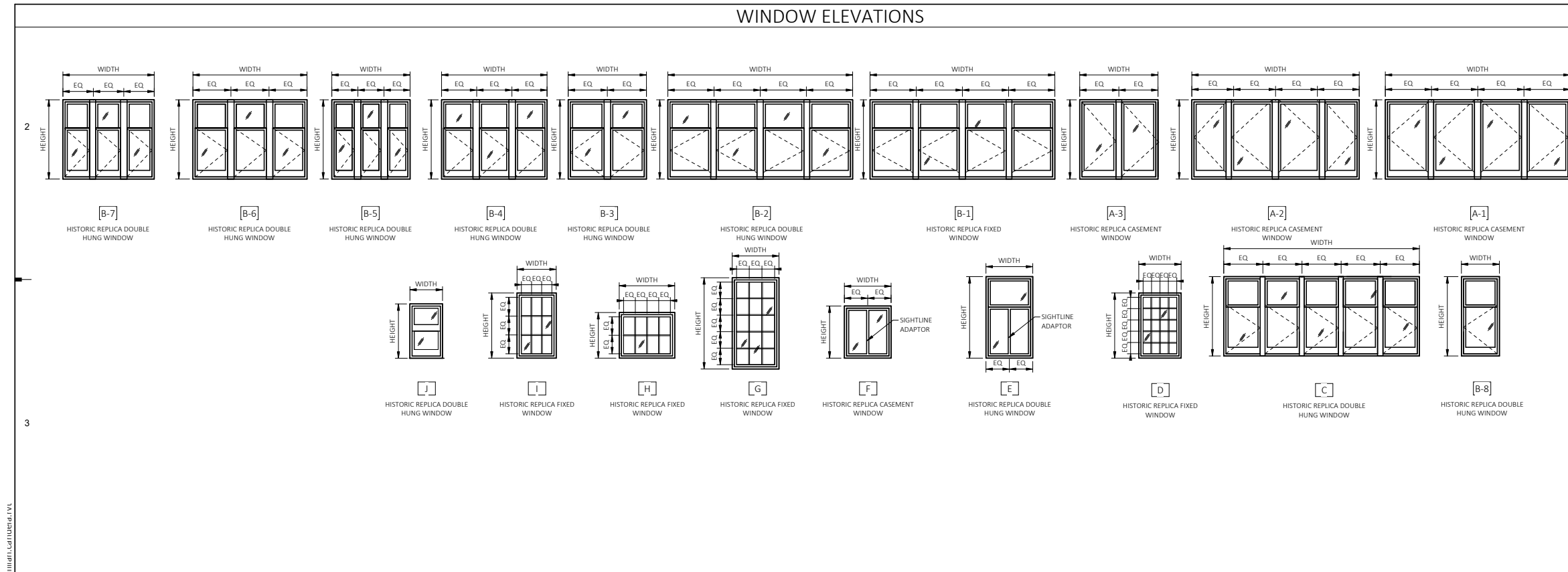




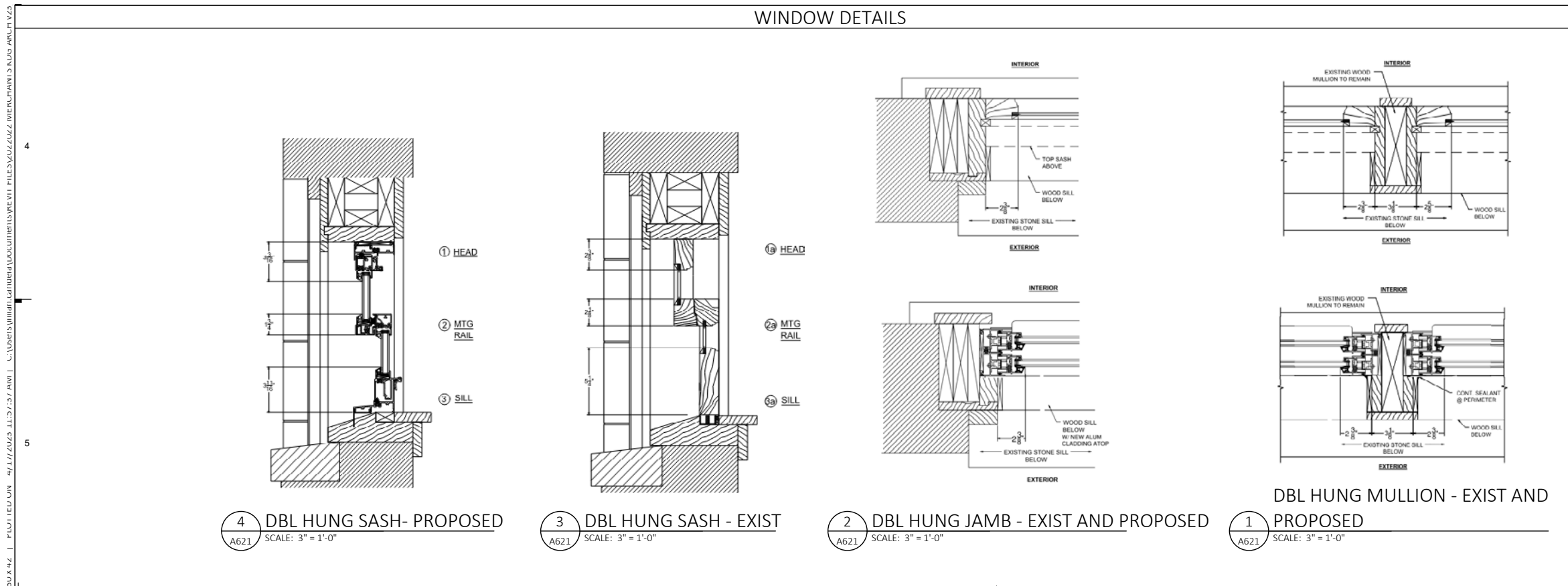
WEST ELEVATION
SCALE: 1/8" = 1'-0"

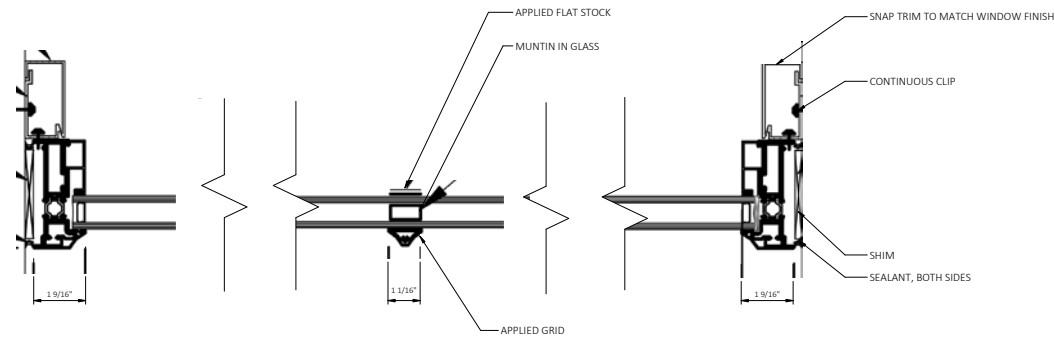
EAST ELEVATION
SCALE: 1/8" = 1'-0"



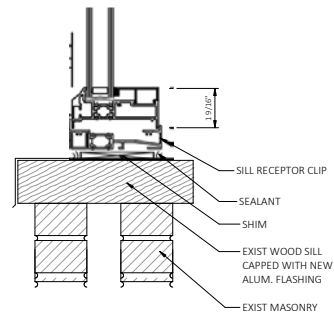
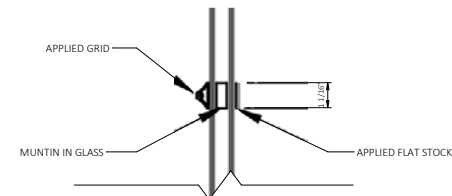
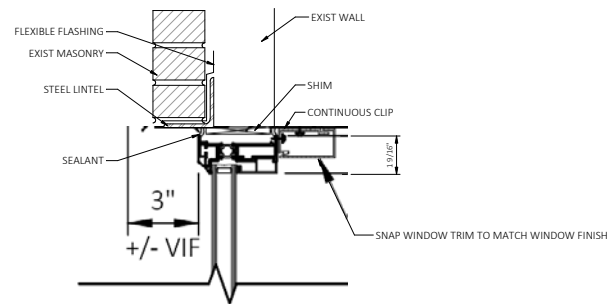


DOUBLE HUNG STYLE REPLICA WINDOW DETAILS



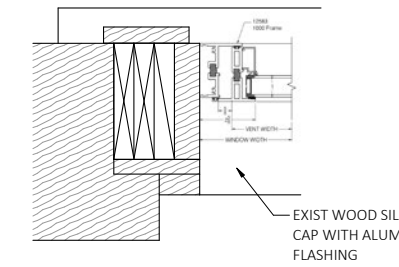
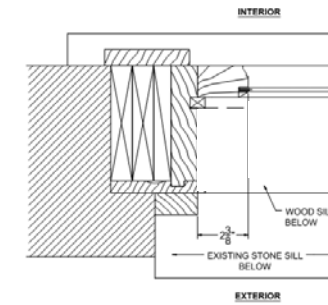


3 FACTORY PLAN DETAILS - PROPOSED
A622 SCALE: 3" = 1'-0"

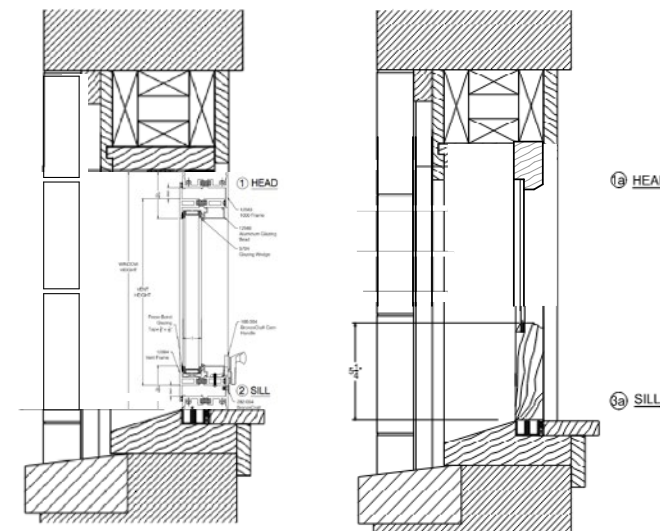


4 FACTORY SECTION DETAILS - PROPOSED
A622 SCALE: 3" = 1'-0"

FACTORY STYLE REPLICA WINDOW DETAILS



1 CASEMENT JAMB - EXIST AND PROPOSED
A622 SCALE: 3" = 1'-0"



2 CASEMENT SASH - EXIST AND PROPOSED
A622 SCALE: 3" = 1'-0"

CASEMENT STYLE REPLICA WINDOW DETAILS





PRELIMINARY WEST ELEVATION REPAIRS

SCALE: 1/8" = 1'-0"

| HATCH PATTERN / LINE TYPE | TAG | REPAIR TYPE | RE QUANTITY | TOTAL QUANTITY | NOTE |
|---------------------------|------|--|-------------|----------------|------|
| 1.0 TERRA COTTA | | | | | |
| | TC-1 | REGLAZE DELAMINATED TERRA-COTTA SURFACES. REPLACE ALL BROKEN TERRA COTTA. | 650 SF | | |
| 2.0 LIMESTONE | | | | | |
| | LS-1 | REMOVE AND PATCH SPALLED LIMESTONE | 15 SF | | |
| 3.0 STEEL SUPPORT | | | | | |
| | SL-1 | CORRODED SHELF ANGLE LIKELY TO BE REPLACED. FOR TERRACOTTA, REMOVE AND REPLACE 1 COURSE ABOVE AND BELOW. FOR BRICK, REMOVE AND REPLACE 4 COURSES ABOVE AND 2 COURSES BELOW. | | | |
| | SL-2 | CORRODED SHELF ANGLE LIKELY TO BE EXPOSED, CLEANED, AND FLASHED. FOR TERRACOTTA, REMOVE AND REPLACE 1 COURSE ABOVE AND BELOW. BRICK, REMOVE AND REPLACE 3 COURSES ABOVE, 1 COURSE BELOW. | | | |
| | SL-3 | SHELF ANGLE WITH MINOR CORROSION | | | |
| 4.0 MISCELLANEOUS | | | | | |
| | MH-1 | METAL PAN PEELING PAINT TO BE REMOVED TO INSPECT CONDITION. REPAIR AS NEEDED | 1010 SF | | |
| | MH-2 | METAL PAN PEELING PAINT TO BE REMOVED TO INSPECT CONDITION. REPAIR AS NEEDED | 60 SF | | |
| | MH-3 | TERRA COTTA COPING STONE TO BE REGLAZED AND RESET WITH WATERPROOFING BETWEEN COPING STONES AND PARAPET BELOW. BROKEN STONES TO BE REPLACED. | 70 LF | | |
| | MH-4 | FURTHER INVESTIGATION REQUIRED AT METAL PAN WINDOW SILL AND HEADER. | 500 LF | | |

ADDITIONAL WORK ITEMS AND NOTES:

- REPAIR AREAS AND QUANTITIES ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION.
- REPAIR THE CRAZY CRACKING AT ALL TERRA COTTA SURFACES.
- TUCK AND REPOINT TERRA-COTTA AND BRICK JOINTS AS REQUIRED TO RESTORE DETERIORATED JOINTS.
- ALL REPLACEMENT BRICK TO BE BRICK RECLAIMED FOR DEMO AREAS.
- REMOVE ALL CAULK AND SEALANT FROM FACADE. REPLACE UPPER SIDE HORIZONTAL AND VERTICAL SEALANT JOINTS. DO NOT INSTALL SEALANT ON SOFFIT JOINTS OR JOINTS THAT DRAIN WATER FROM CAVITY.
- REMOVE PAINT/GRAFFITI AND WASH ALL MASONRY, TERRA-COTTA AND STONE SURFACES.
- CLEAN AND REMOVE RUST FROM ALL EXPOSED STEEL SURFACES. PRIME AND EPOXY COAT.
- PROVIDE 3.500 - 3/8" DIAMETER STAINLESS STEEL HELICAL ANCHORS TO BE DRILLED AND INSTALLED THROUGH MORTAR JOINT AND INTO CONCRETE BEAMS AND COLUMNS. HELICAL ANCHOR AT 2'X2' MAXIMUM SPACING.
- TOTAL QUANTITIES INCLUDE NO CONTINGENCY.
- REFER TO SPECIFICATIONS AND GENERAL NOTES FOR OTHER REQUIREMENTS FOR ALL RESTORATION WORK.
- REFER TO ARCHITECTURAL DRAWINGS FOR WINDOW REPLACEMENT SPECIFICATIONS AND DETAILS.





PRELIMINARY EAST ELEVATION REPAIRS
SCALE: 1/8" = 1'-0"

| HATCH PATTERN / LINE TYPE | TAG | REPAIR TYPE | RE QUANTITY | TOTAL QUANTITY | NOTE |
|---------------------------|------|--|-------------|----------------|------|
| 1.0 TERRA COTTA | | | | | |
| [Red cross-hatch] | TC-1 | REGLAZE DELAMINATED TERRA-COTTA SURFACES. REPLACE ALL BROKEN TERRA COTTA. | 30 SF | | |
| 2.0 BRICK | | | | | |
| [Blue diagonal hatch] | BR-1 | LOOSE BRICK TO BE REMOVE AND RESET, BROKEN PIECES TO BE REPLACED | 50 SF | | |
| 3.0 CONCRETE | | | | | |
| [Green diagonal hatch] | CO-1 | REMOVE AND PATCH SPALLED CONCRETE | 550 SF | | |
| 4.0 STEEL SUPPORT | | | | | |
| [Red dashed line] | SL-1 | CORRODED SHELF ANGLE LIKELY TO BE REPLACED. FOR TERRACOTTA, REMOVE AND REPLACE 1 COURSE ABOVE AND BELOW. FOR BRICK, REMOVE AND REPLACE 4 COURSES ABOVE AND 2 COURSES BELOW. | 30 LF | | |
| [Orange dashed line] | SL-2 | CORRODED SHELF ANGLE LIKELY TO BE EXPOSED, CLEANED, AND FLASHED. FOR TERRACOTTA, REMOVE AND REPLACE 1 COURSE ABOVE AND BELOW. BRICK, REMOVE AND REPLACE 3 COURSES ABOVE, 1 COURSE BELOW. | 65 LF | | |
| [Green dashed line] | SL-3 | SHELF ANGLE WITH MINOR CORROSION | | | |
| 5.0 MISCELLANEOUS | | | | | |
| [Yellow diagonal hatch] | MI-1 | ADDITION OR MODIFICATION TO ORIGINAL FACADE | 625 SF | | |
| [Purple vertical lines] | MI-2 | EGRESS STAIR TO BE REPAIRED | 1100 SF | | |
| [Red solid line] | MI-3 | TERRA COTTA COPING STONE TO BE REGLAZED AND RESET WITH WATERPROOFING BETWEEN COPING STONES AND PARAPET BELOW. BROKEN STONES TO BE REPLACED | 75 LF | | |
| [Purple solid line] | MI-4 | WINDOW SILL DAMAGE | 15 LF | | |

ADDITIONAL WORK ITEMS AND NOTES:

- REPAIR AREAS AND QUANTITIES ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION.
- REPAIR THE CRAZY CRACKING AT ALL TERRA COTTA SURFACES.
- TUCK AND REPOINT TERRA-COTTA AND BRICK JOINTS AS REQUIRED TO RESTORE DETERIORATED JOINTS.
- ALL REPLACEMENT BRICK TO BE BRICK RECLAIMED FOR DEMO AREAS.
- REMOVE ALL CAULK AND SEALANT FROM FACADE. REPLACE UPPER SIDE HORIZONTAL AND VERTICAL SEALANT JOINTS. DO NOT INSTALL SEALANT ON SOFFIT JOINTS OR JOINTS THAT DRAIN WATER FROM CAVITY.
- ADD ALTERNATE PRICING FOR APPLYING CRYSTALLINE PENETRATING WATER PROOFING SUCH AS XYPEX TO EXPOSED CONCRETE FRAME MEMBERS.
- REMOVE PAINT/GRAFFITI AND WASH ALL MASONRY, TERRA-COTTA AND STONE SURFACES.
- CLEAN AND REMOVE RUST FROM ALL EXPOSED STEEL SURFACES, PRIME AND EPOXY COAT.
- PROVIDE 3,500 - 3/8" DIAMETER STAINLESS STEEL HELICAL ANCHORS TO BE DRILLED AND INSTALLED THROUGH MORTAR JOINT AND INTO CONCRETE BEAMS AND COLUMNS. HELICAL ANCHOR AT 2'X2' MAXIMUM SPACING.
- TOTAL QUANTITIES INCLUDE NO CONTINGENCY.
- REFER TO SPECIFICATIONS AND GENERAL NOTES FOR OTHER REQUIREMENTS FOR ALL RESTORATION WORK.
- REFER TO ARCHITECTURAL DRAWINGS FOR WINDOW REPLACEMENT SPECIFICATIONS AND DETAILS.



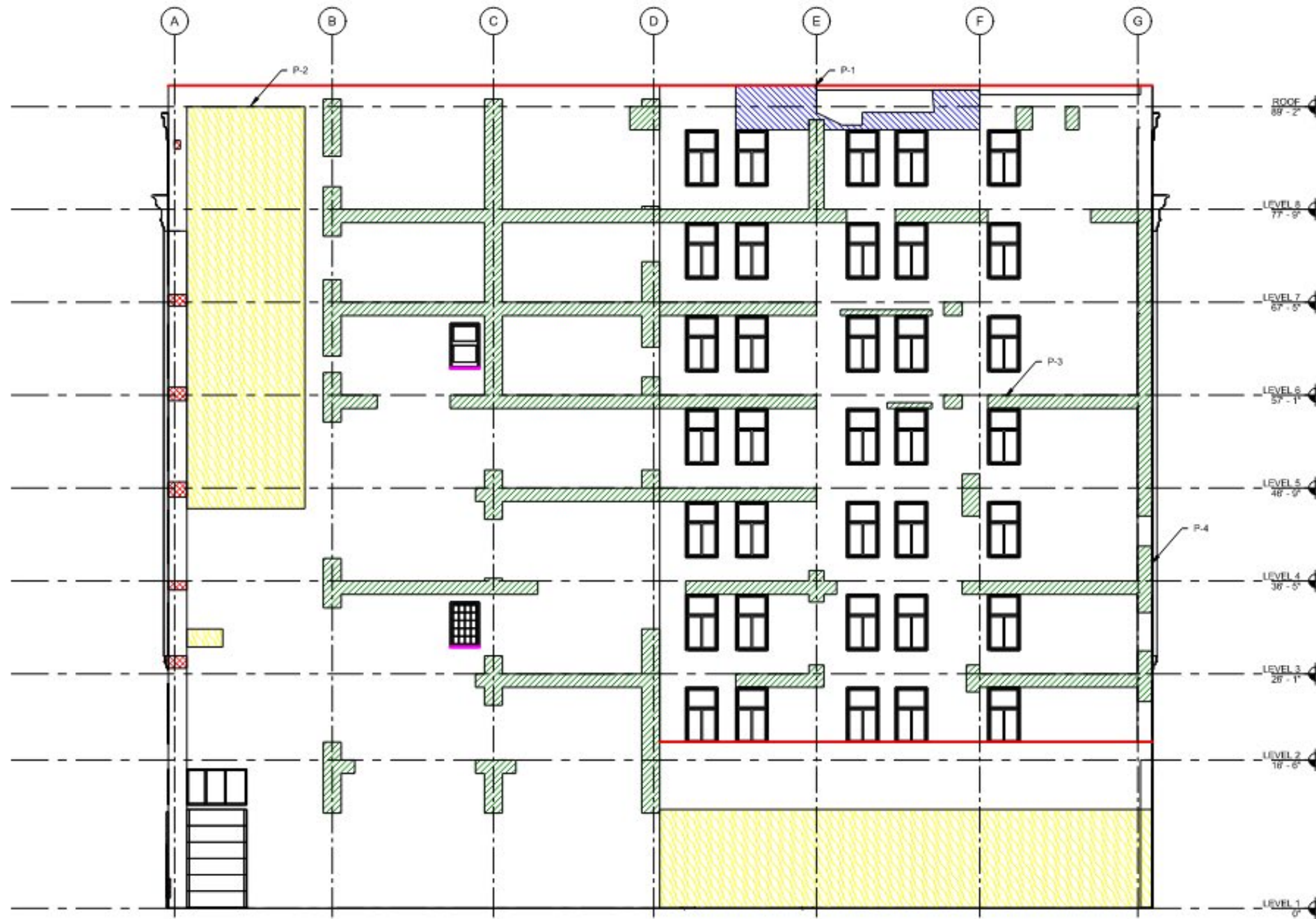


| HATCH PATTERN / LINE TYPE | TAG | REPAIR TYPE | RE QUANTITY | TOTAL QUANTITY | NOTE |
|-----------------------------|------|--|-------------|----------------|------|
| 1.0 TERRA COTTA | | | | | |
| [Red cross-hatch] | TC-1 | REGLAZE DELAMINATED TERRA-COTTA SURFACES. REPLACE ALL BROKEN TERRA COTTA. | 950 SF | | |
| 2.0 CONCRETE | | | | | |
| [Purple grid] | LS-1 | REMOVE AND PATCH SPALLED LIMESTONE | 40 SF | | |
| 3.0 STEEL SUPPORT | | | | | |
| [Red dashed line] | SL-1 | CORRODED SHELF ANGLE LIKELY TO BE REPLACED. FOR TERRACOTTA, REMOVE AND REPLACE 1 COURSE ABOVE AND BELOW. FOR BRICK, REMOVE AND REPLACE 4 COURSES ABOVE AND 2 COURSES BELOW. | | | |
| [Orange dashed line] | SL-2 | CORRODED SHELF ANGLE LIKELY TO BE EXPOSED, CLEANED, AND FLASHED. FOR TERRACOTTA, REMOVE AND REPLACE 1 COURSE ABOVE AND BELOW. BRICK, REMOVE AND REPLACE 3 COURSES ABOVE, 1 COURSE BELOW. | | | |
| [Green dashed line] | SL-3 | SHELF ANGLE WITH MINOR CORROSION | | | |
| 4.0 MISCELLANEOUS | | | | | |
| [Light blue diagonal hatch] | MI-1 | METAL PAN PEELING PAINT TO BE REMOVED TO INSPECT CONDITION AND REPAIR AS NEEDED. REPAIR/REPLACE WARPED METAL AS NEEDED. | 2060 SF | | |
| [Light blue diagonal hatch] | MI-2 | WOOD PANELS TO BE REMOVED AND REPLACED | 105 SF | | |
| [Red solid line] | MI-3 | TERRA COTTA COPING STONE TO BE REGLAZED AND RESET WITH WATERPROOFING BETWEEN COPING STONES AND PARAPET BELOW. BROKEN STONES TO BE REPLACED. | 110 SF | | |
| [Pink solid line] | MI-4 | WINDOW SILL DAMAGE | 1100 SF | | |

- ADDITIONAL WORK ITEMS AND NOTES:**
- REPAIR AREAS AND QUANTITIES ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION.
 - REPAIR THE CRAZY CRACKING AT ALL TERRA COTTA SURFACES.
 - TUCK AND REPOINT TERRA-COTTA AND BRICK JOINTS AS REQUIRED TO RESTORE DETERIORATED JOINTS.
 - ALL REPLACEMENT BRICK TO BE BRICK RECLAIMED FOR DEMO AREAS.
 - REMOVE ALL CAULK AND SEALANT FROM FACADE. REPLACE UPPER SIDE HORIZONTAL AND VERTICAL SEALANT JOINTS. DO NOT INSTALL SEALANT ON SOFFIT JOINTS OR JOINTS THAT DRAIN WATER FROM CAVITY.
 - REMOVE PAINT/GRAFFITI AND WASH ALL MASONRY, TERRA-COTTA AND STONE SURFACES.
 - CLEAN AND REMOVE RUST FROM ALL EXPOSED STEEL SURFACES, PRIME AND EPOXY COAT.
 - PROVIDE 3,500 - 3/8" DIAMETER STAINLESS STEEL HELICAL ANCHORS TO BE DRILLED AND INSTALLED THROUGH MORTAR JOINT AND INTO CONCRETE BEAMS AND COLUMNS. HELICAL ANCHOR AT 2'X2' MAXIMUM SPACING.
 - TOTAL QUANTITIES INCLUDE NO CONTINGENCY.
 - REFER TO SPECIFICATIONS AND GENERAL NOTES FOR OTHER REQUIREMENTS FOR ALL RESTORATION WORK.
 - REFER TO ARCHITECTURAL DRAWINGS FOR WINDOW REPLACEMENT SPECIFICATIONS AND DETAILS.

PRELIMINARY NORTH ELEVATION REPAIRS
SCALE: 1/8" = 1'-0"





| HATCH PATTERN / LINE TYPE | TAG | REPAIR TYPE | RE QUANTITY | TOTAL QUANTITY | NOTE |
|---------------------------|------|--|-------------|----------------|------|
| | TC-1 | REGLAZE DELAMINATED TERRA-COTTA SURFACES. REPLACE ALL BROKEN TERRA COTTA. | 30 SF | | |
| 2.0 BRICK | | | | | |
| | BR-1 | LOOSE BRICK TO BE REMOVE AND RESET. BROKEN PIECES TO BE REPLACED | 100 SF | | |
| 3.0 CONCRETE | | | | | |
| | CO-1 | REMOVE AND PATCH SPALLED CONCRETE | 900 SF | | |
| 3.0 STEEL SUPPORT | | | | | |
| | SL-1 | CORRODED SHELF ANGLE LIKELY TO BE REPLACED. FOR TERRACOTTA, REMOVE AND REPLACE 1 COURSE ABOVE AND BELOW. FOR BRICK, REMOVE AND REPLACE 4 COURSES ABOVE AND 2 COURSES BELOW. | | | |
| | SL-2 | CORRODED SHELF ANGLE LIKELY TO BE EXPOSED, CLEANED, AND FLASHED. FOR TERRACOTTA, REMOVE AND REPLACE 1 COURSE ABOVE AND BELOW. BRICK, REMOVE AND REPLACE 3 COURSES ABOVE. 1 COURSE BELOW. | | | |
| | SL-3 | SHELF ANGLE WITH MINOR CORROSION | | | |
| 4.0 MISCELLANEOUS | | | | | |
| | M-3 | ADDITION OR MODIFICATION TO ORIGINAL FACADE DESIGN | 1200 SF | | |
| | M-4 | TERRA COTTA COPING STONE TO BE REGLAZED AND RESET WITH WATERPROOFING BETWEEN COPING STONES AND PARAPET BELOW. BROKEN STONES TO BE REPLACED. | 170 LF | | |
| | M-6 | WINDOW SILL DAMAGE | 7 LF | | |

ADDITIONAL WORK ITEMS AND NOTES:

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- TUCK AND REPOINT TERRA-COTTA AND BRICK JOINTS AS REQUIRED TO RESTORE DETERIORATED JOINTS.
- ALL REPLACEMENT BRICK TO BE BRICK RECLAIMED FOR DEMO AREAS.
- REMOVE ALL CAULK AND SEALANT FROM FACADE. REPLACE UPPER SIDE HORIZONTAL AND VERTICAL SEALANT JOINTS. DO NOT INSTALL SEALANT ON SOFFIT JOINTS OR JOINTS THAT DRAIN WATER FROM CAVITY.
- ADD ALTERNATE PRICING FOR APPLYING CRYSTALLINE PENETRATING WATER PROOFING SUCH AS XYPEX TO EXPOSED CONCRETE FRAME MEMEBERS
- REMOVE PAINT/GRAFFITI AND WASH ALL MASONRY, TERRA-COTTA AND STONE SURFACES.
- CLEAN AND REMOVE RUST FROM ALL EXPOSED STEEL SURFACES. PRIME AND EPOXY COAT.
- PROVIDE 3,500 - 3/8" DIAMETER STAINLESS STEEL HELICAL ANCHORS TO BE DRILLED AND INSTALLED THROUGH MORTAR JOINT AND INTO CONCRETE BEAMS AND COLUMNS. HELICAL ANCHOR AT 2X2' MAXIMUM SPACING.
- TOTAL QUANTITIES INCLUDE NO CONTINGENCY.
- REFER TO SPECIFICATIONS AND GENERAL NOTES FOR OTHER REQUIREMENTS FOR ALL RESTORATION WORK.
- REFER TO ARCHITECTURAL DRAWINGS FOR WINDOW REPLACEMENT SPECIFICATIONS AND DETAILS.

PRELIMINARY SOUTH ELEVATION REPAIRS

SCALE: 1/8" = 1'-0"



