THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department 2 Woodward Avenue, Suite 808 Detroit, Michigan 48226

DATE: 02-10-2023

PROPERTY II	NFORMATION					
ADDRESS(ES): 761 Whitmore			ака: Roser	KA: Rosemor Apartments		
PARCEL ID: 02002	2581-2		ISTRICT: Palme	er Park Apt Blds	Historic District	
SCOPE OF WORK: (Check ALL that apply)		alls/ Painting	Roof/Gutters/ Chimney	Porch/Deck/ Balcony	Addition	
	Demolition Si	gnage New Building	Major Alteratio (3+ scope items		ments es, fences, patios, etc.)	
BRIEF PROJECT D Replacement of v	DESCRIPTION: Repla windows.	cement of window	WS.			
APPLICANT	IDENTIFICATIO	N				
Property Owne Homeowner	er/ Conti	actor	Tenant or Business Occup	ant 🔽	Architect/Engineer/ Consultant	
NAME: Kevin Brar	ndon	COI	MPANY NAME:	3mK Design+Pla	anning,LLC	
ADDRESS: 54048	Mound Road	CITY: Shelb	y Townsip	STATE: MI	ZIP: 48316	
PHONE: 248-303-	1446 мові	LE:	EM	AIL: kmb@bmk	dp.com	
PROJECT RE	VIEW REQUES	T CHECKLIST				
	following document	• •		IOTE:		
Completed E	Building Permit App portions only)		I Ba	ased on the scope ocumentation may	of work, additional be required.	
	mit Number (only ap ermits through ePLA		Iroody (ee www.detroitmi.g pecific requirement		
	tographs: Including t work. All photograph					
Description of	of existing conditio	ns (including mate	rials and design)			
	of project (if replacin rather than repair				to why	

Detailed scope of work (formatted as bulleted list)

Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: 02-10-2023

AKA: Rosemor Apartments Lot(s): Subdivision: Parcel ID#(s): Total Acres: Lot Width: Lot Depth: Current Legal Use of Property: Proposed Use:	AKA: Rosemor Apartments			_Suite#:	Stories:
Current Legal Use of Property: Proposed Use; Are there any existing buildings or structures on this parcel? Yes No PROJECT INFORMATION Permit Type: New Alteration Addition Demolition Correct Viola Foundation Only Change of Use Temporary Use Other:		Lot	(s): S	Subdivisio	n:
Are there any existing buildings or structures on this parcel? Yes No PROJECT INFORMATION Permit Type: New Alteration Addition Demolition Correct Viola Foundation Only Change of Use Temporary Use Other:	Parcel ID#(s):	Total Acres:	Lot Widt	h:	Lot Depth:
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Permit Type: New Alteration Addition Demolition Correct Viola Foundation Only Change of Use Temporary Use Other:	Are there any existing buildin	gs or structures on this parc	el? 🗌 Y	es 🗌] No
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Structure Use Residential-Number of Units: Office-Gross Floor Area Industrial-Gross Floor Area Commercial-Gross Floor Area: Institutional-Gross Floor Area Other-Gross Floor Area Proposed No. of Employees: List materials to be stored in the building: P PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurement (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all building existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page) For Building Department Use Only Intake By: Date: Fees Due: DngBld? Permit Description: Proposed Use: Permit Cost: \$					
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Name: Robert Christoph Company Name: RCI-17664 Manderson, LI Address: 10 E. Main Street, Suite 201 City: Bridgeport State: CT Zip: 06608 Phone: Mobile:	Undert Christe		Property Ow			•••
Phone: Mobile: Driver's License #: Email: Contractor Contractor is Permit Applicant Representative Name: Company Name: Address:		-				
Driver's License #:Email:						
Contractor Contractor is Permit Applicant Representative Name: Company Name: Address: City: State: Zip: Phone: Mobile: Email: City of Detroit License #: City of Detroit and take fluit responses City: Shelby Township State: City of Detroit and take full responses City: Shelby Township State: City Contractor of the subject property and the work describe on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to a other person, firm or corporation any portion of the work covered by this building permit. Print Name: (Notary Public) PERMIT APPLICANT SIGNATURE I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I city that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to confrom to all applicable leave and conducted within 180 days of the date of issuance or the date the previous Inspection and that expired permits cannot be Print Name: Kevin Brandon (Permit Applicant) (Netary						
Representative Name: Company Name: Address: City: State: Zip: Phone: Mobile: Email: City: State: Zip: Phone: Mobile: Email: City: State: Zip: TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant Name: Phone: Email: ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant Name: Revin Brandon State Registration#: Expiration Date: Address: 54048 Mound Road City: Shelby Township State: MI Zip: 48316 Phone: Phone: Email: kmb@bmkdp.com HOMEOWNER AFFIDAVIT Contract of the subject property and the work describon on this permit applicable oshal be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the insultation/work herein described. I shall neither hire nor sub-contract to a other person, firm or corporation any portion of the work covered by this building permit. Print Name:				:		
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Signature:						
PERMIT APPLICANT SIGNATURE I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date the previous inspection and that expired permits cannot be Print Name: Kevin Brandon (Permit Applicant) Signature: Kevin Brandon (Permit Applicant) Date: 10-10-20 Driver's License #: B653465603638 Expiration: 08-15-2023 Subscribed and sworn to before me this day of202020						
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I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date the previous inspection and that expired permits cannot be Print Name: Kevin Brandon (Permit Applicant) Signature: Kevin Brandon (Permit Applicant) Date: 10-10-20 Driver's License #: B653465603638 Expiration: 08-15-2023 Subscribed and sworn to before me this day of 20 A.D. County, Michig Signature: (Notary Public) Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.15234 prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.	Subscribed and sworn to b	pefore me this	day of	20/	A.D.	_County, Michig
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This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.	Subscribed and sworn to be Signature: I hereby certify that the restrictions that may app certify that the proposed to make this application all applicable laws and co inspections are request the previous inspection Print Name: Kevin Bran (Perr Driver's License #: B653 Subscribed and sworn to be Signature: Kevin Bran	(Notary Public) (Notary Public) PERMIT information on thi oby to this construct d work is authorized as the property of ordinances of jurised ted and conducted and that expired and that expired and that expired and on mit Applicant) 3465603638 before me this bate: 2023.02.09 18:34	day of APPLICANT s application ction and am a ed by the own wner(s) autho diction. I am a ed within 180 d permits car Signature: 	20 My Comm SIGNATURE is true and co aware of my re er of the reco rized agent. I aware that a days of the mot be Kevin Brandor spiration: 08 204	A.D mission Expires prrect. I have re- responsibility t ord and I have Further I agree permit will ex- date of issuar Detaily signed by Keyin Brandon Detaily Signed by Keyin Brandon	County, Michig s: eviewed all deed hereunder. I been authorized to conform to cpire when no nce or the date
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54048 Mound Road Shelby Township Michigan 48316

March 3, 2023

Historic District Commission Review 761 Whitmore-Rosemor Apartment Window Replacement

Description of Existing Conditions

The Rosemor Apartments building was constructed in 1948 and designed by Wiedmaier & Gay Architects. Wiedmaier & Gay, who had once designed many of the eclectic apartment buildings of the 1920s in Palmer Park, later designed Modernistic buildings including the Rosemor Apartments. It is a two and one-half story, hip roof, buff brick, irregular shaped, garden court apartment building. This thirty-unit apartment building is at the corner of Whitmore and Third and has one entrance that opens onto Whitmore (761 Whitmore Road) and two entrances that open onto the court (17450 and 17452 Third Avenue).

The building has received a Certificate of Appropriateness (COA 19-6423) on September 4, 2019, for brick and roof repair. This work was permitted, work completed, inspected, and approved by the building department. New replacement windows were installed in the Summer of 2020 when the work noted above was being performed.

Description of Project

A prior application was heard at the February 8, 2023, HDC meeting and was given a denial by the commission. However, during the discussions, we suggested some possible modifications to the current window installation. This was met positively by commission members. With this current submittal, the applicant is seeking the board's approval for the installed windows with new modifications.

Detailed Scope of Work:

 The windows as installed are double-hung, composite vinyl replacement windows. A window schedule with sizes and quantities are provide on Sheet A200 provided with this submittal. There are 179 windows installed. All windows are Earthtone color and have a 2/2 horizontal muntin bar pattern internal to the glass panes. Of these, 169 windows have brake metal installed around windows. There are 19 windows that were installed in the rebuilt sections of the building and do not have brake metal surrounds..

• MUNTINS

We propose to add a 7/8" wide external simulated divided lite to the exterior panes matching the current 2/2 horizontal muntin bar pattern. The current internal muntin is 5/8" wide and will be obscured by the new external muntin. The color will match the current window manufacturer color of Eatrhtone. The muntin profile will be secured to the glass with a 3M adhesive tape and supplied by the window manufacture. Adding an exterior applied SDL muntin will give the 3d visual division of the glass pane matching the prior window look. A profile detail of the muntin is provided with the attached plans. This will be typical for all 466 windowpanes. All windows have installed a permanent window stop limiting the opening to 4". Even if the window is allowed to fully open, the installed muntin will not interfere with this operation.

- BRICK MOULDS AND STOOL (CURRENT WIDNWO CONDITION)
 We propose to remove the current brake metal brick mould around each
 window that have them. We selected one window and removed the metal
 surround and found that the original wood brick mould and window stool
 remained. With this discovery, we plan on scraping the existing paint, repairing
 any blemishes, and repainting the wood. For any pieces that need to be
 replaced, we will source or have milled replacement pieces. Each window will
 Inspected and, if required, readjusted within the opening. A flat stock filler of 1"
 x 1/2" wood will need to be installed between the back side of the brick mould
 and the window frame. This will be painted to match as well. The windows will
 then be recaulked with a matching color.
- WINDOWS AT REBUILT AREAS
 There are 19 windows that were installed in the rebuilt sections of the building.
 The new brick work was installed to the size of the new window openings. A
 wood flat stock filler of 3" x 1/2" will be installed between the back side of the
 brick and the window frame. This will be painted to match as well. The windows
 will then be caulked with a matching color.
- All existing brick rowlock and stone sills will be stripped of the paint to their original color.

Product Data

See attached brochure and cut sheet for additional information.

- Windows: Manchester Series by Quaker, Color: Earthtone
- Photos of Conditions at Time of Building Purchase



Manchester Series Manchester **R-40/R-35** 3¹/₄" Frame Depth **Double Hung/Single Hung**

MANCHESTER SERIES DOUBLE HUNG/SINGLE HUNG

The Quaker Manchester Series Double Hung/Single Hung window is ideal for a variety of applications including - Energy Efficient, Apartments, Assisted Living and Housing Authority.

FEATURES

- Δ **Commercial Framing System**
 - 3 ¹/₄" main frame
 - 0.060" wall thickness of frame, 0.070" wall thickness of sash
- \Diamond **Enhanced Design**
 - Mitered and welded corners
- Glazing \Diamond
 - ³/₄" insulated glass •
- 0 Hardware
 - Block and tackle balancers
- ۵ Screen
 - Roll form aluminum screen frame with BetterVue[™] mesh

OPTIONS

- ٥ **Available Configurations**
 - Double Hung
 - Single Hung
 - Geometric shapes
- **Muntin Choices** \Diamond
 - Internal or simulated divided lites available
- \Diamond Limited travel Hardware
 - **Nailing Fin**
- \Diamond Screen

 \Diamond

- Roll form aluminum screen frame with aluminum wire . mesh
- Roll form aluminum screen frame with sunscreen mesh
- Roll form aluminum screen frame with stainless steel 0.009" thickness mesh

BENEFITS

- \Diamond The capacity to match exterior colors for unique project facades
- \Diamond The ability to facilitate large sizes for taller and wider window openings

\Diamond Glazing

- Capillary tubes .
- Argon gas
- Wide variety of glazing, tinting and thickness options
- Panning & Trim Choices \Diamond
 - Wide variety of panning, receptor and trim available
- \Diamond Mulling
 - Wide variety of structural mulls •

PERFORMANCE

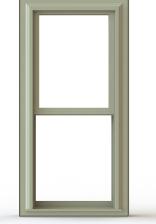
 \Diamond Structural & Thermal (test reports or thermal simulations available upon request)

Model	Double Hung	Single Hung
AAMA/WDMA/CSA 101/I.S.2/A440-08 Rating	R-40	R-35
Structural Load P.S.F.	60.15	52.63
Air at 50 MPH (cfm/ft ²)	0.16	0.1
Water (No Penetration) P.S.F.	7.52	5.43
U-Value (with Low-E and Argon)	0.25-0.29	0.25-0.29
SHGC (with Low-E and Argon)	0.14-0.32	0.14-0.33
Window Test Size	40" × 63"	40" × 63"

Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.











VINYL COLORS AND ARCHITECTURAL EXTERIOR PAINT COATINGS AND FINISHES

Solid Vinyl Colors (interior & exterior)



♦ Optional Faux Wood Grain (interior only)



Dark Oak (available with white or painted exterior only)

♦ Optional Painted Colors (exterior only)



◊ Optional Unlimited Custom Painted Colors (exterior only)



* Printed colors shown here may not accurately depict actual vinyl or painted colors. Color samples are available upon request.

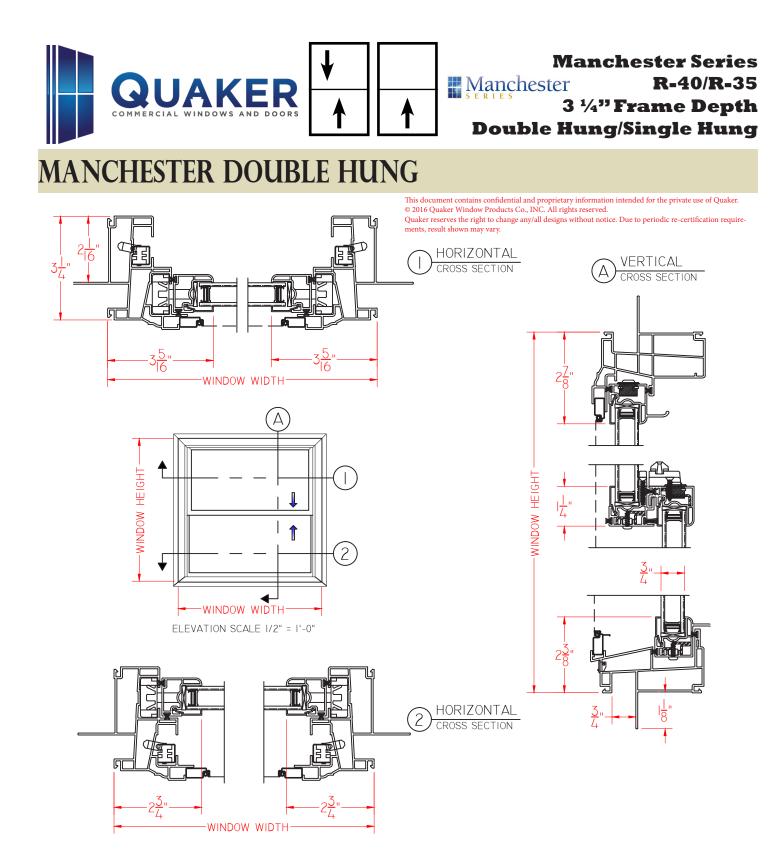
Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.







Freeburg, MO



scale 1:3

Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.

MANUFACTURERS ASSOCIATION M E M B E R

www.QuakerCommercialWindows.com

Freeburg, MO

761 Whitmore - Exterior Conditions 2019

These photos depict the general existing conditions of the building facades at 761 Whitmore when the building was purchased by the current owner.



Photo 1: South elevation



Photo 2: Partial east elevation with view of east courtyard



Photo 3: South elevation of east courtyard



Photo 4: West elevation of East courtyard



Photo 5: North elevation at east courtyard



Photo 6: Partial east elevation



Photo 8: Partial north elevation



Photo 9: Partial north elevation



Photo 7: Partial north elevation



Photo 10: Partial west elevation



Photo 11: North elevation at west courtyard



Photo 12:Partial east elevation at west courtyard



Photo 13: Partial east elevation at west courtyard



Photo 14: Partial south elevation at west courtyard



Photo 15: Partial south elevation at west courtyard



Photo 16: Partial south elevation at West courtyard



Photo 17:Partial west elevation



Photo 18: Roof at the northeast wing of the building.



Photo 19Roof at northeast wing of the building



Photo 20: Roof at the center of the building.



Photo 21: Bowed and separating brick cladding at fire damaged wall



Photo 23: Exterior masonry at fire damaged wall



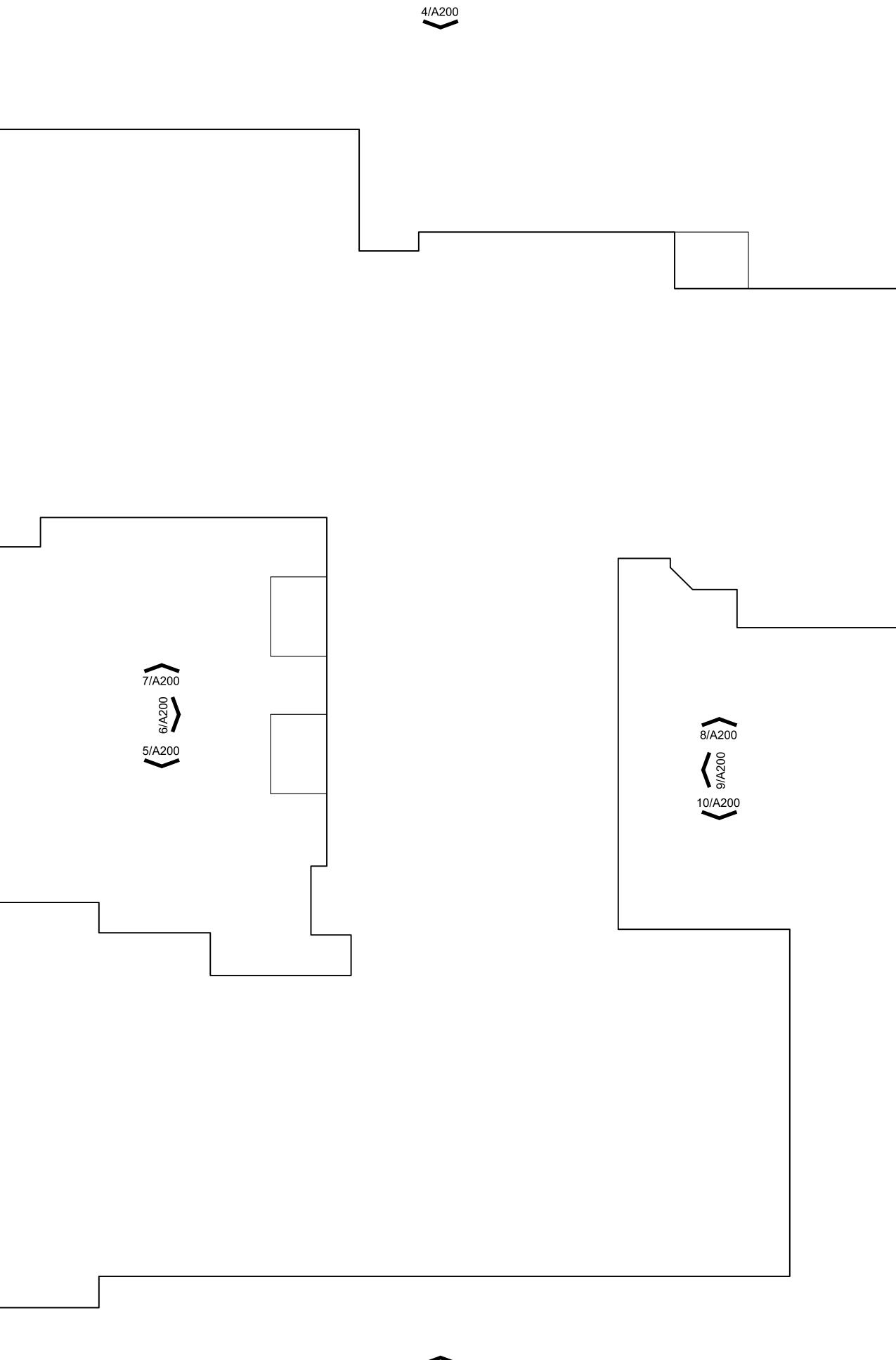
Photo 22: Interior studs and joists at fire damaged wall



Photo 24: Interior studs at fire damaged wall

1/A200

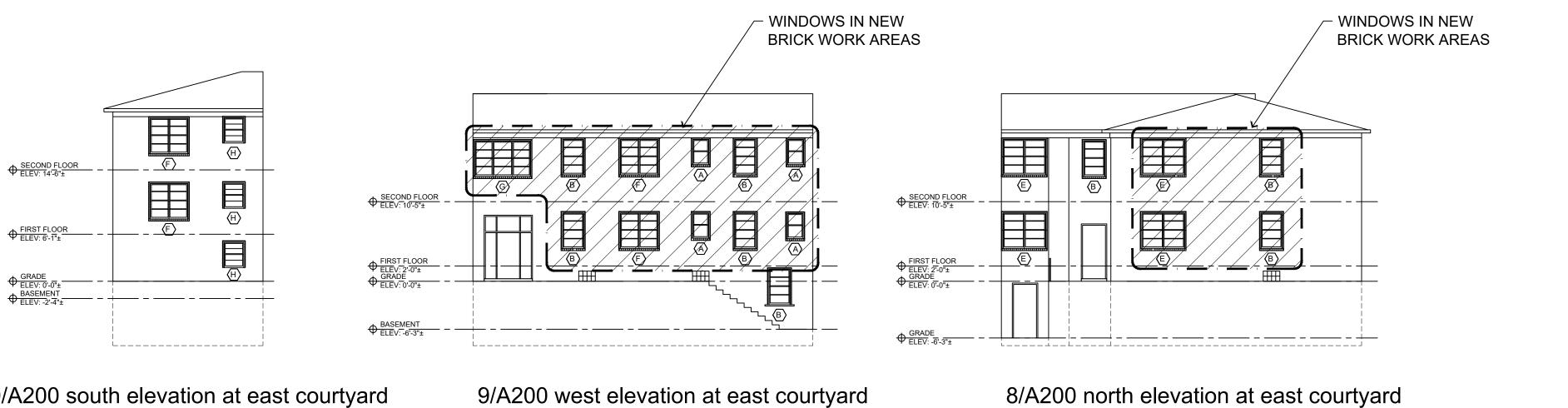




Copyright 2023 - BmK DESIGN+PLANNI Back DESIGN + PLANNI DESIGN + PLANNI 0, 24048 Mound Road - 80316 1446 - Wichigan - 48316 1446 - Wichigan - 48316 1446 - Shelby Township - Michigan - 48316 Ph 248.303.1446 - Shelby Township - 483	
Window Replacement Alterations 761 Whimore Road Detroit, MI 48203	C
	2/22/2023 D/10/2022 DATE
SHEET TITLE: OVERALL FOOTPRINT PLA PROJECT NUMBER: 2020-122 DRAWN BY: CHECKED BY: SHEET NUMBER: A100	

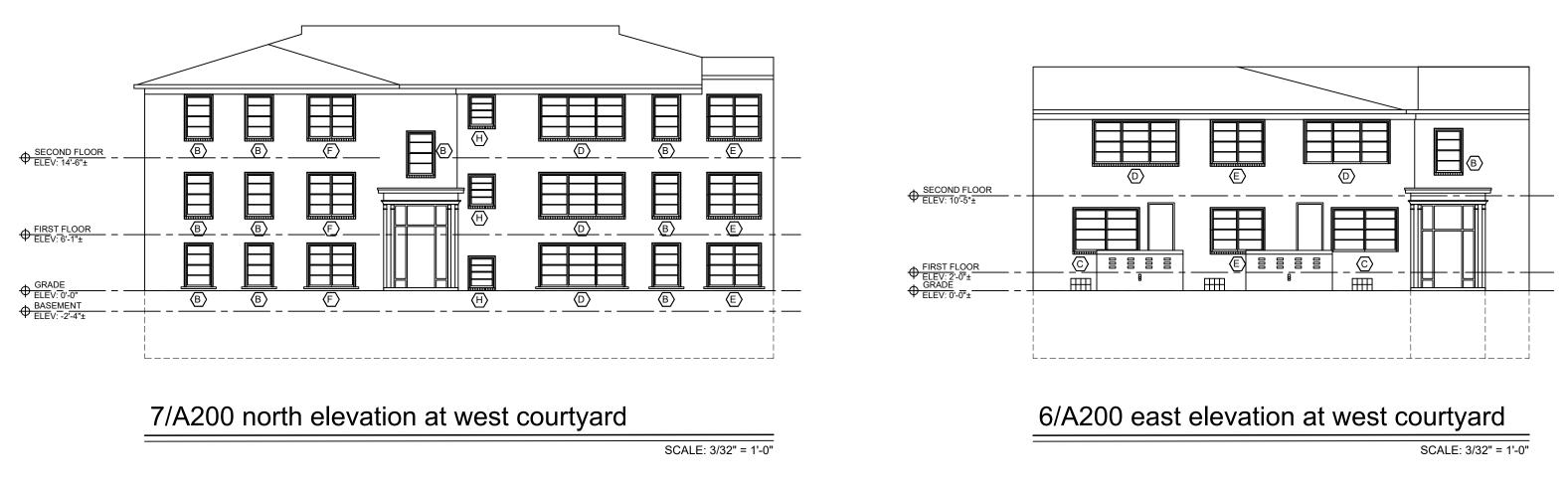
Permit No.:

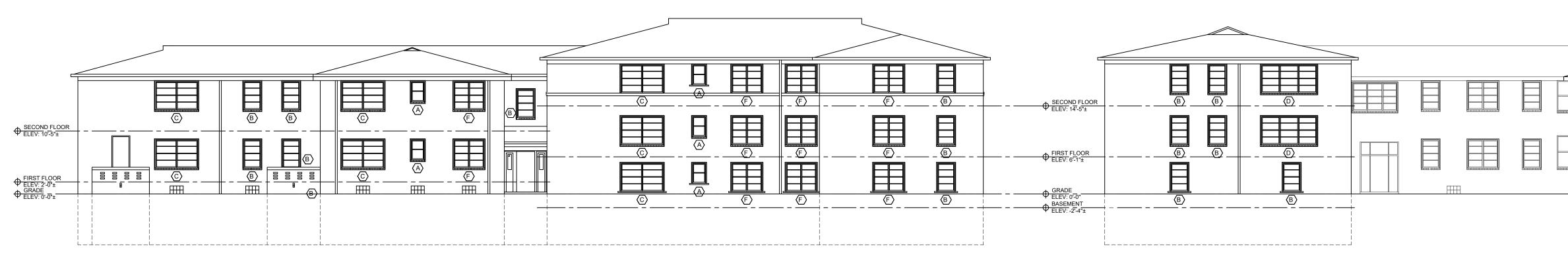




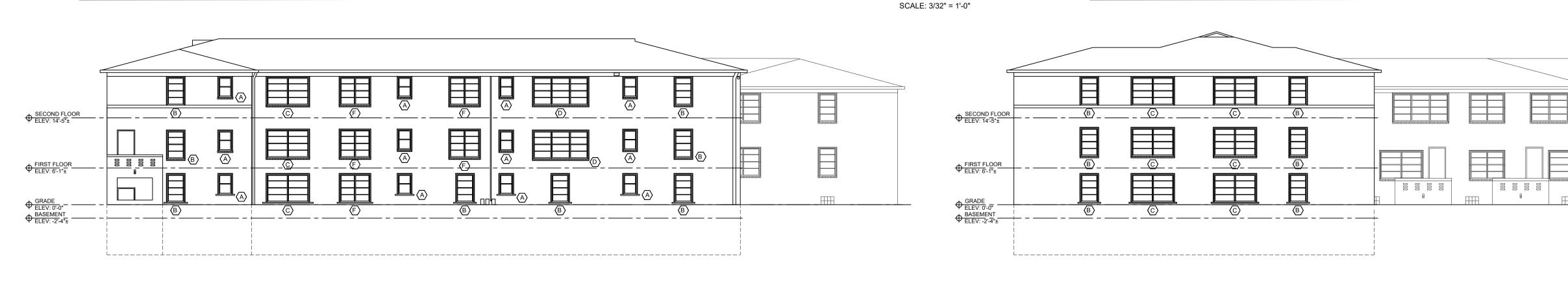
10/A200 south elevation at east courtyard

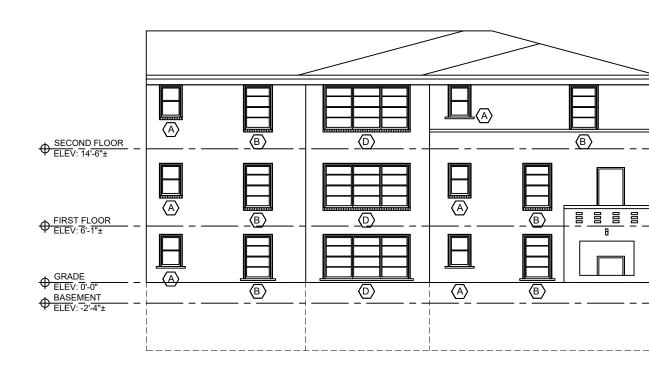






4/A200 north elevation





5/A200 south elevation at west courtyard

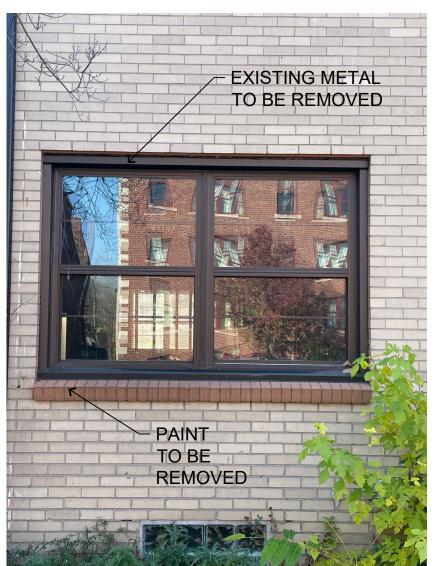
SCALE: 3/32" = 1'-0"

3/A200 east elevation

1/A200 west elevation

			Copyright 2023 - BmK DESIGN+PLANNING LLC
window	w schedule		BmK
TAG Q	TY NOM. WINDOW SIZE	TYPE	DESIGN+PLANNING
	34 2'-6" x 3'-6"	DOUBLE HUNG	INING, LLC Michigan - 48316 kmb@bmkdp.com
	68 3'-0" x 5'-0" 18 7'-6" x 5'-0"	DOUBLE HUNG (2) DOUBLE HUNG	kdp.
	12 9'-0" x 5'-0"	(3) DOUBLE HUNG	
	15 6'-0" x 5'-0" 25 5'-6" x 5'-0"	(2) DOUBLE HUNG (2) DOUBLE HUNG	N nigan b@dr
	1 8'-0" x 5'-0"	(3) DOUBLE HUNG	
	6 3'-0" x 3'-6" ARE LOW-E, DOUBLE F	DOUBLE HUNG	
	WS TOTAL		
	V IN AREAS IN RECONS		GN+PLA Shelby Township
(SHADED C	ON ELEVATION DRAWIN	GS)	+ -
			s, G
			<u> </u>
			BMK DE 54048 Mound Road Ph 248.303.1446
			oun X
			18 Mo 248.3(
			Window
			Replacement
			Alterations
			761 Whimore Road
			Detroit, MI 48203
			CLIENT:
			CLIENT.
			RCI-761
	NDOWS IN NEW ICK WORK AREAS		Whitmore, LLC
			10 E. Main Street Suite 201
			Bridgeport, CT 06608
	Ē		
	 _		HDC PROJECT REVIEW-REV 02/22/2023
			HDC PROJECT REVIEW 10/10/2022 DESCRIPTION DATE
		SCALE: 3/32" = 1'-0"	
			SHEET TITLE:
			EXTERIOR
			ELEVATIONS
		B	PROJECT NUMBER: 2020-122
			DRAWN BY:
			 CHECKED BY:
			 SHEET NUMBER:
		SCALE: 3/32" = 1'-0"	A200

Permit No.:



current window condition (typical for 160 windows)

APPLY 7/8" WIDE MUNTIN

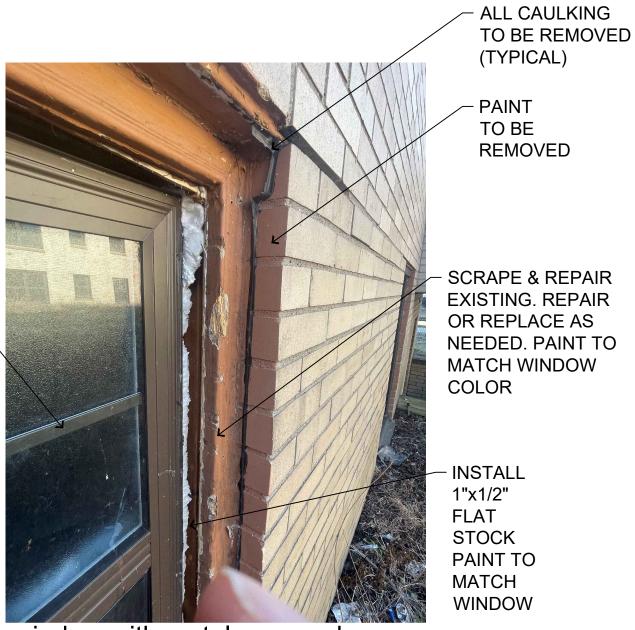
COLOR TO

MATCH

WINDOW



window condition at rebuilt areas (typical for 19 windows)

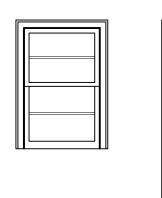


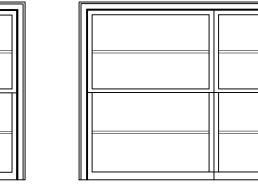
window with metal removed (top right view)

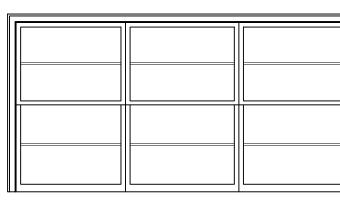


window interior view

2/A700 photo documentation of windows







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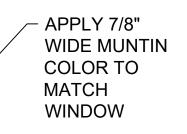


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window with metal removed (bottom right view)





window with metal removed (bottom stool view)

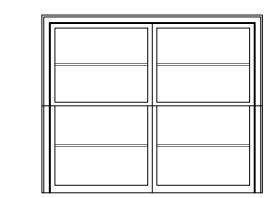
– PAINT TO BE REMOVED



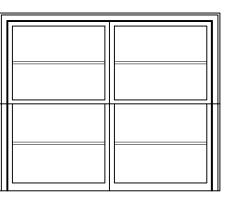


window view at rebuilt areas

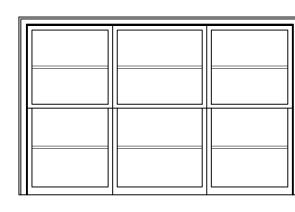












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ALL OPERABLE WINDOWS HAVE PERMANENT SAFETY DEVICE STOPS. WINDOWS OPENING SPACE IS 4".

INSTALL 1"x1/2" FLAT STOCK PAINT TO MATCH WINDOW

> window with metal removed (top head view)

PAINT

TO BE REMOVED

SCRAPE & REPAIR -EXISTING. REPAIR OR REPLACE AS NEEDED. PAINT TO MATCH WINDOW COLOR

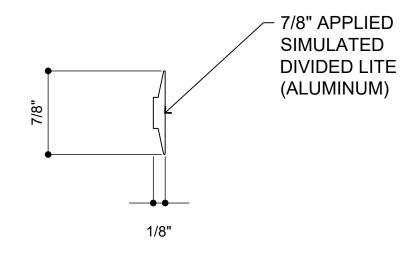
APPLY 7/8" WIDE MUNTIN

COLOR TO MATCH

WINDOW

window interior view at rebuilt areas

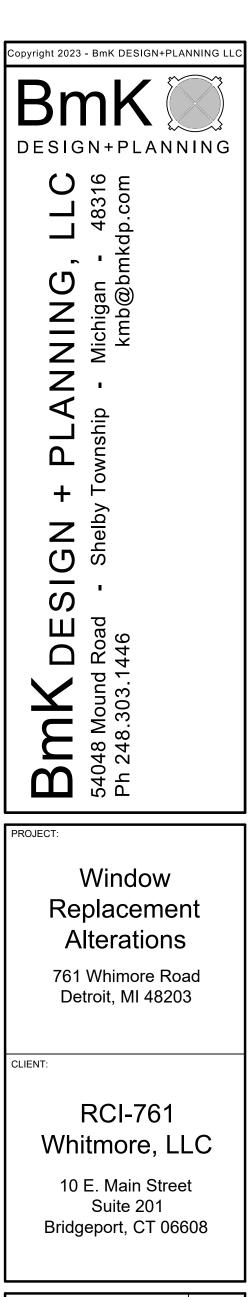
NOTE: ALL WINDOWS WILL BE INSPECTED AND READJUSTED WITHIN THE WINDOW FRAME.



HORIZONTAL MUNTIN PROFILE COLOR: EARTHTONE TO MATCH INSTALLED WINDOW COLOR SUPPLIED BY WINDOW MANUFACTURER.



NEW PAINT / MUNTIN COLOR: EARTHTONE TO MATCH INSTALLED WINDOW COLOR



HDC PROJECT REVIEW-REV	02/22/2023
HDC PROJECT REVIEW	10/10/2022
DESCRIPTION	DATE

SHEET TITLE:

PROJECT NUMBER: 2020-122

DRAWN BY:

CHECKED BY:

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SHEET NUMBER:

