

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: 02-10-2023

PROPERTY INFORMATION

ADDRESS(ES): 761 Whitmore AKA: Rosemor Apartments

PARCEL ID: 02002581-2 HISTORIC DISTRICT: Palmer Park Apt Blds Historic District

SCOPE OF WORK: (Check ALL that apply)

<input checked="" type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Walls/ Siding	<input type="checkbox"/> Painting	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/Deck/ Balcony	<input type="checkbox"/> Addition
<input type="checkbox"/> Demolition	<input type="checkbox"/> Signage	<input type="checkbox"/> New Building	<input type="checkbox"/> Major Alteration (3+ scope items)	<input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.)	

BRIEF PROJECT DESCRIPTION: Replacement of windows.
Replacement of windows.

APPLICANT IDENTIFICATION

Property Owner/ Homeowner Contractor Tenant or Business Occupant Architect/Engineer/ Consultant

NAME: Kevin Brandon COMPANY NAME: BmK Design+Planning, LLC

ADDRESS: 54048 Mound Road CITY: Shelby Township STATE: MI ZIP: 48316

PHONE: 248-303-1446 MOBILE: EMAIL: kmb@bmkdp.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

Completed Building Permit Application (highlighted portions only)

ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)

Current Photographs: Including the front of the building & detailed photographs of the area(s) affected by the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.

Description of existing conditions (including materials and design)

Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)

Detailed scope of work (formatted as bulleted list)

Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.
See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: **HDC@DETROITMI.GOV**

P2 - BUILDING PERMIT APPLICATION

Date: 02-10-2023

PROPERTY INFORMATION

Address: 761 Whitmore Floor: Suite#: Stories:
AKA: Rosemor Apartments Lot(s): Subdivision:
Parcel ID#(s): Total Acres: Lot Width: Lot Depth:
Current Legal Use of Property: Proposed Use:
Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations
Foundation Only Change of Use Temporary Use Other:
Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

Window Replacement

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building
Other: Size of Structure to be Demolished (LxWxH) cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: Type of Construction (per current MI Bldg Code Table 601)

Estimated Cost of Construction \$ By Contractor \$ By Department

Structure Use

Residential-Number of Units: Office-Gross Floor Area Industrial-Gross Floor Area
Commercial-Gross Floor Area: Institutional-Gross Floor Area Other-Gross Floor Area

Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? No

Permit Description:

Permit #:

Current Legal Land Use: Proposed Use:

Permit#: Date Permit Issued: Permit Cost: \$

Zoning District: Zoning Grant(s):

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:



IDENTIFICATION (All Fields Required)**Property Owner/Homeowner** Property Owner/Homeowner is Permit ApplicantName: Robert Christoph Company Name: RCI-17664 Manderson, LLCAddress: 10 E. Main Street, Suite 201 City: Bridgeport State: CT Zip: 06608

Phone: _____ Mobile: _____

Driver's License #: _____ Email: _____

Contractor Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit ApplicantName: Kevin Brandon State Registration#: _____ Expiration Date: _____Address: 54048 Mound Road City: Shelby Township State: MI Zip: 48316Phone: 248-303-1446 Mobile: _____ Email: kmb@bmkdp.com**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: Kevin Brandon Signature: Kevin Brandon Digitally signed by Kevin Brandon
Date: 2022.11.30 12:14:52 -05'00' Date: 10-10-2022
(Permit Applicant)Driver's License #: B653465603638 Expiration: 08-15-2023

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: Kevin Brandon Digitally signed by Kevin Brandon
Date: 2023.02.09 18:34:40 -05'00' My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



54048 Mound Road Shelby Township Michigan 48316

March 3, 2023

Historic District Commission Review
761 Whitmore-Rosemor Apartment Window Replacement

Description of Existing Conditions

The Rosemor Apartments building was constructed in 1948 and designed by Wiedmaier & Gay Architects. Wiedmaier & Gay, who had once designed many of the eclectic apartment buildings of the 1920s in Palmer Park, later designed Modernistic buildings including the Rosemor Apartments. It is a two and one-half story, hip roof, buff brick, irregular shaped, garden court apartment building. This thirty-unit apartment building is at the corner of Whitmore and Third and has one entrance that opens onto Whitmore (761 Whitmore Road) and two entrances that open onto the court (17450 and 17452 Third Avenue).

The building has received a Certificate of Appropriateness (COA 19-6423) on September 4, 2019, for brick and roof repair. This work was permitted, work completed, inspected, and approved by the building department. New replacement windows were installed in the Summer of 2020 when the work noted above was being performed.

Description of Project

A prior application was heard at the February 8, 2023, HDC meeting and was given a denial by the commission. However, during the discussions, we suggested some possible modifications to the current window installation. This was met positively by commission members. With this current submittal, the applicant is seeking the board's approval for the installed windows with new modifications.

Detailed Scope of Work:

- The windows as installed are double-hung, composite vinyl replacement windows. A window schedule with sizes and quantities are provide on Sheet A200 provided with this submittal. There are 179 windows installed. All windows are Earthtone color and have a 2/2 horizontal muntin bar pattern internal to the glass panes. Of these, 169 windows have brake metal installed around windows. There are 19 windows that were installed in the rebuilt sections of the building and do not have brake metal surrounds..

- **MUNTINS**
 We propose to add a 7/8" wide external simulated divided lite to the exterior panes matching the current 2/2 horizontal muntin bar pattern. The current internal muntin is 5/8" wide and will be obscured by the new external muntin. The color will match the current window manufacturer color of Earthtone. The muntin profile will be secured to the glass with a 3M adhesive tape and supplied by the window manufacture. Adding an exterior applied SDL muntin will give the 3d visual division of the glass pane matching the prior window look. A profile detail of the muntin is provided with the attached plans. This will be typical for all 466 windowpanes. All windows have installed a permanent window stop limiting the opening to 4". Even if the window is allowed to fully open, the installed muntin will not interfere with this operation.
- **BRICK MOULDS AND STOOL (CURRENT WINDOW CONDITION)**
 We propose to remove the current brick metal brick mould around each window that have them. We selected one window and removed the metal surround and found that the original wood brick mould and window stool remained. With this discovery, we plan on scraping the existing paint, repairing any blemishes, and repainting the wood. For any pieces that need to be replaced, we will source or have milled replacement pieces. Each window will be inspected and, if required, readjusted within the opening. A flat stock filler of 1" x 1/2" wood will need to be installed between the back side of the brick mould and the window frame. This will be painted to match as well. The windows will then be recaulked with a matching color.
- **WINDOWS AT REBUILT AREAS**
 There are 19 windows that were installed in the rebuilt sections of the building. The new brick work was installed to the size of the new window openings. A wood flat stock filler of 3" x 1/2" will be installed between the back side of the brick and the window frame. This will be painted to match as well. The windows will then be caulked with a matching color.
- All existing brick rowlock and stone sills will be stripped of the paint to their original color.

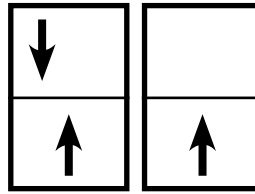
Product Data

See attached brochure and cut sheet for additional information.

- Windows: Manchester Series by Quaker, Color: Earthtone
- Photos of Conditions at Time of Building Purchase



QUAKER
COMMERCIAL WINDOWS AND DOORS



Manchester
SERIES

Manchester Series

R-40/R-35

3 1/4" Frame Depth

Double Hung/Single Hung

MANCHESTER SERIES DOUBLE HUNG/SINGLE HUNG

The Quaker Manchester Series Double Hung/Single Hung window is ideal for a variety of applications including - Energy Efficient, Apartments, Assisted Living and Housing Authority.

FEATURES

- ◇ **Commercial Framing System**
 - 3 1/4" main frame
 - 0.060" wall thickness of frame, 0.070" wall thickness of sash
- ◇ **Enhanced Design**
 - Mitered and welded corners
- ◇ **Glazing**
 - 3/4" insulated glass
- ◇ **Hardware**
 - Block and tackle balancers
- ◇ **Screen**
 - Roll form aluminum screen frame with BetterVue™ mesh

OPTIONS

- ◇ **Available Configurations**
 - Double Hung
 - Single Hung
 - Geometric shapes
- ◇ **Muntin Choices**
 - Internal or simulated divided lites available
- ◇ **Limited travel Hardware**
- ◇ **Nailing Fin**
- ◇ **Screen**
 - Roll form aluminum screen frame with aluminum wire mesh
 - Roll form aluminum screen frame with sunscreen mesh
 - Roll form aluminum screen frame with stainless steel 0.009" thickness mesh
- ◇ **Glazing**
 - Capillary tubes
 - Argon gas
 - Wide variety of glazing, tinting and thickness options
- ◇ **Panning & Trim Choices**
 - Wide variety of panning, receptor and trim available
- ◇ **Mulling**
 - Wide variety of structural mulls

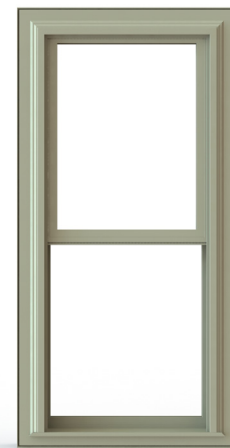
BENEFITS

- ◇ The capacity to match exterior colors for unique project facades
- ◇ The ability to facilitate large sizes for taller and wider window openings

PERFORMANCE

- ◇ Structural & Thermal (test reports or thermal simulations available upon request)

Model	Double Hung	Single Hung
AAMA/WDMA/CSA 101/IS.2/A440-08 Rating	R-40	R-35
Structural Load P.S.F.	60.15	52.63
Air at 50 MPH (cfm/ft ²)	0.16	0.1
Water (No Penetration) P.S.F.	7.52	5.43
U-Value (with Low-E and Argon)	0.25-0.29	0.25-0.29
SHGC (with Low-E and Argon)	0.14-0.32	0.14-0.33
Window Test Size	40" × 63"	40" × 63"



Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.



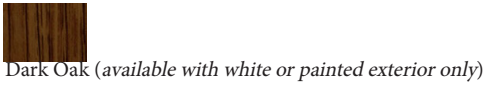
QUAKER
COMMERCIAL WINDOWS AND DOORS

VINYL COLORS AND ARCHITECTURAL EXTERIOR PAINT COATINGS AND FINISHES

◇ Solid Vinyl Colors (interior & exterior)



◇ Optional Faux Wood Grain (interior only)



◇ Optional Painted Colors (exterior only)



◇ Optional Unlimited Custom Painted Colors (exterior only)



* Printed colors shown here may not accurately depict actual vinyl or painted colors. Color samples are available upon request.

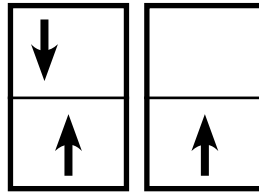
Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.



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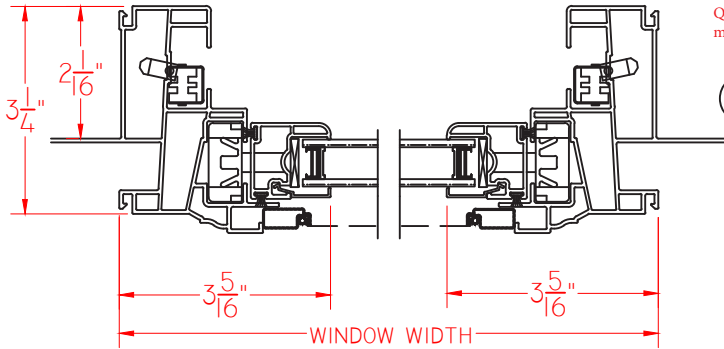


Manchester
SERIES

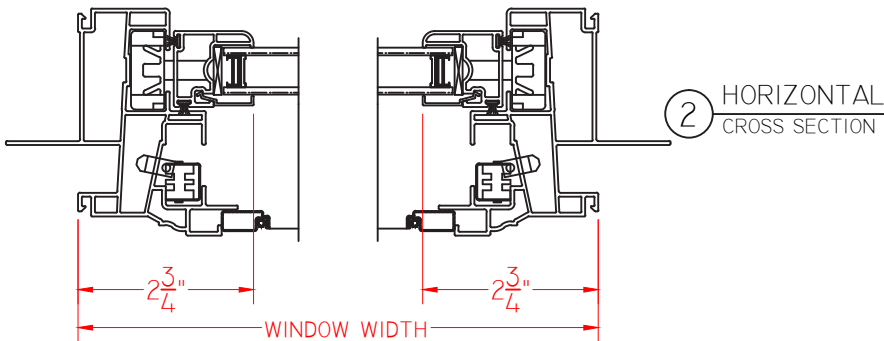
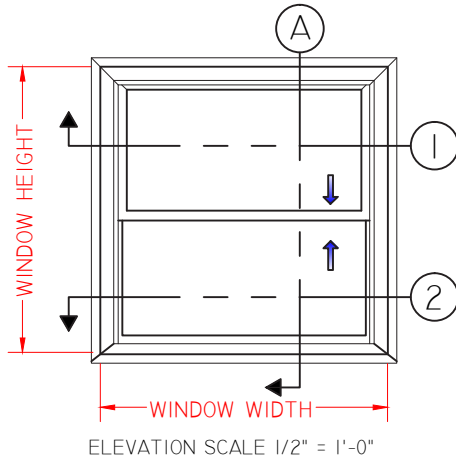
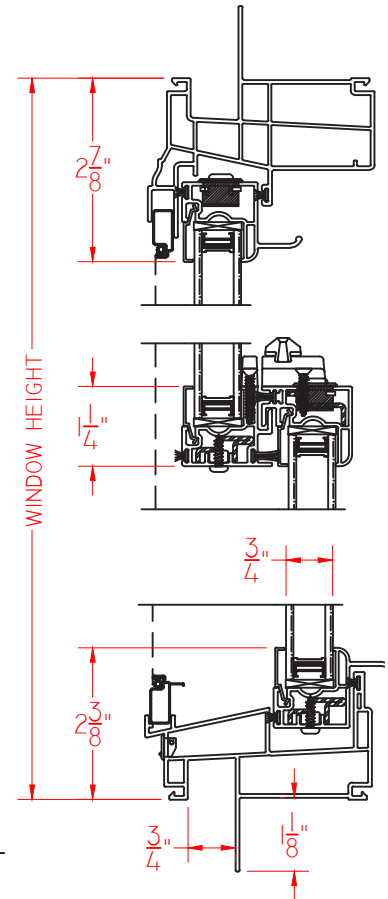
Manchester Series
R-40/R-35
3 1/4" Frame Depth
Double Hung/Single Hung

MANCHESTER DOUBLE HUNG

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Quaker reserves the right to change any/all designs without notice. Due to periodic re-certification requirements, result shown may vary.



① VERTICAL CROSS SECTION



SCALE 1:3

Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.



QUAKER
COMMERCIAL WINDOWS AND DOORS

761 Whitmore - Exterior Conditions 2019

These photos depict the general existing conditions of the building facades at 761 Whitmore when the building was purchased by the current owner.



Photo 1: South elevation



Photo 3: South elevation of east courtyard



Photo 2: Partial east elevation with view of east courtyard



Photo 4: West elevation of East courtyard



Photo 5: North elevation at east courtyard



Photo 8: Partial north elevation



Photo 6: Partial east elevation



Photo 9: Partial north elevation



Photo 7: Partial north elevation



Photo 10: Partial west elevation



Photo 11: North elevation at west courtyard



Photo 14: Partial south elevation at west courtyard



Photo 12: Partial east elevation at west courtyard



Photo 13: Partial east elevation at west courtyard

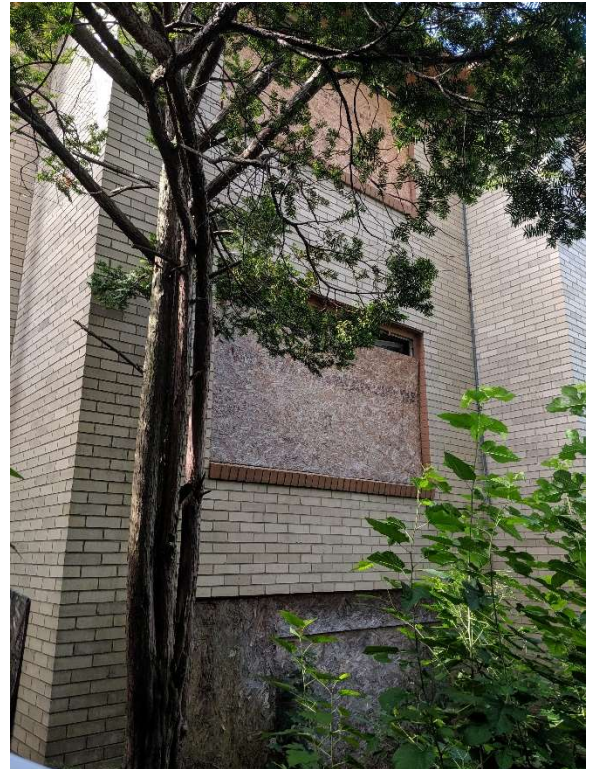


Photo 15: Partial south elevation at west courtyard



Photo 16: Partial south elevation at West courtyard



Photo 17: Partial west elevation



Photo 18: Roof at the northeast wing of the building.



Photo 19: Roof at northeast wing of the building



Photo 20: Roof at the center of the building.



Photo 21: Bowed and separating brick cladding at fire damaged wall



Photo 23: Exterior masonry at fire damaged wall



Photo 22: Interior studs and joists at fire damaged wall

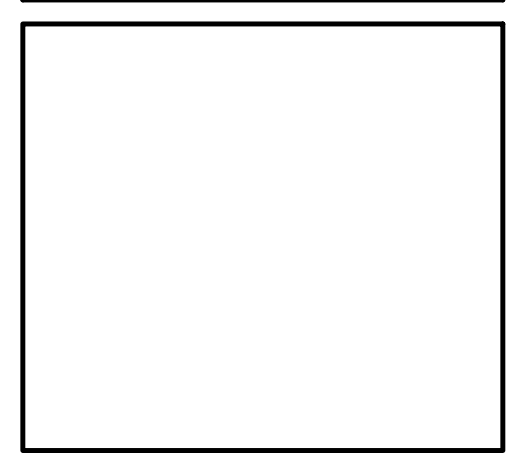


Photo 24: Interior studs at fire damaged wall

PROJECT:
Window Replacement Alterations
761 Whitmore Road
Detroit, MI 48203

CLIENT:
RCI-761 Whitmore, LLC
10 E. Main Street
Suite 201
Bridgeport, CT 06608

HDC PROJECT REVIEW-REV	02/22/2023
HDC PROJECT REVIEW	10/10/2022
DESCRIPTION	DATE



SHEET TITLE:
OVERALL FOOTPRINT PLAN

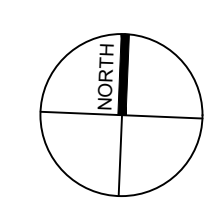
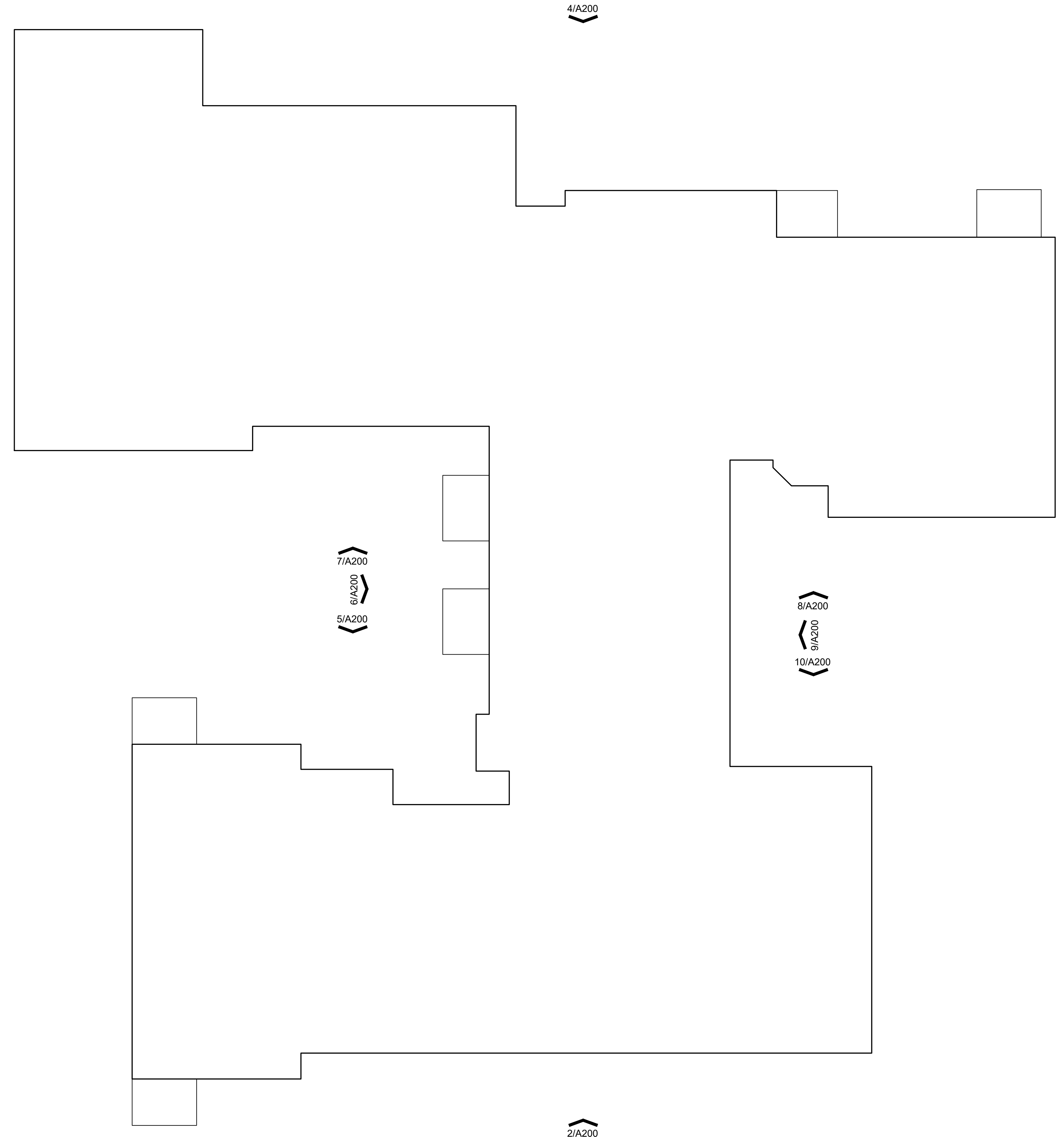
PROJECT NUMBER:
2020-122

DRAWN BY:
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CHECKED BY:
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SHEET NUMBER:
A100

Permit No.:



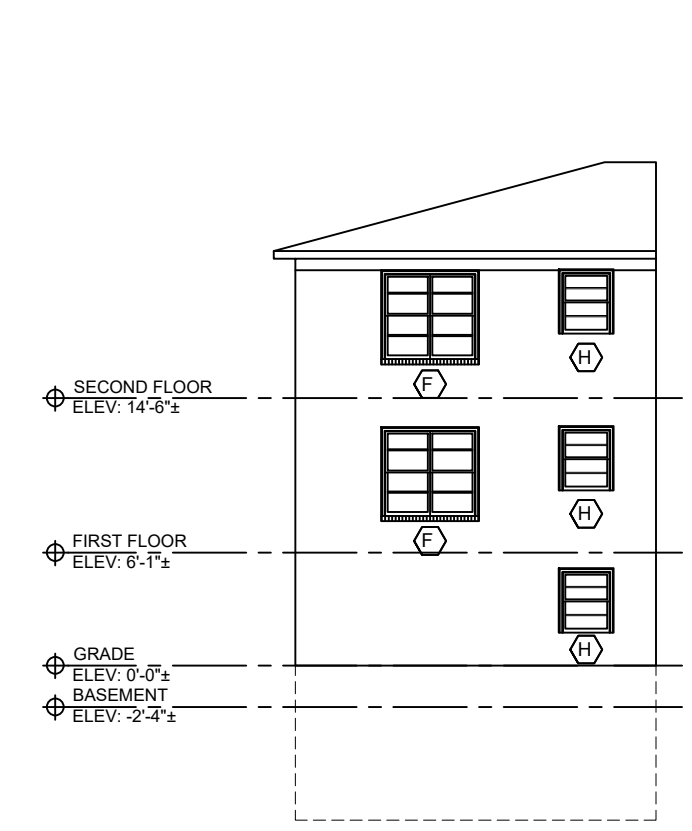
1/A100 overall footprint plan

window schedule			
TAG	QTY	NOM. WINDOW SIZE	TYPE
A	34	2'-6" x 3'-6"	DOUBLE HUNG
B	68	3'-0" x 5'-0"	DOUBLE HUNG
C	18	7'-6" x 5'-0"	(2) DOUBLE HUNG
D	12	9'-0" x 5'-0"	(3) DOUBLE HUNG
E	15	6'-0" x 5'-0"	(2) DOUBLE HUNG
F	25	5'-6" x 5'-0"	(2) DOUBLE HUNG
G	1	8'-0" x 5'-0"	(3) DOUBLE HUNG
H	6	3'-0" x 3'-6"	DOUBLE HUNG

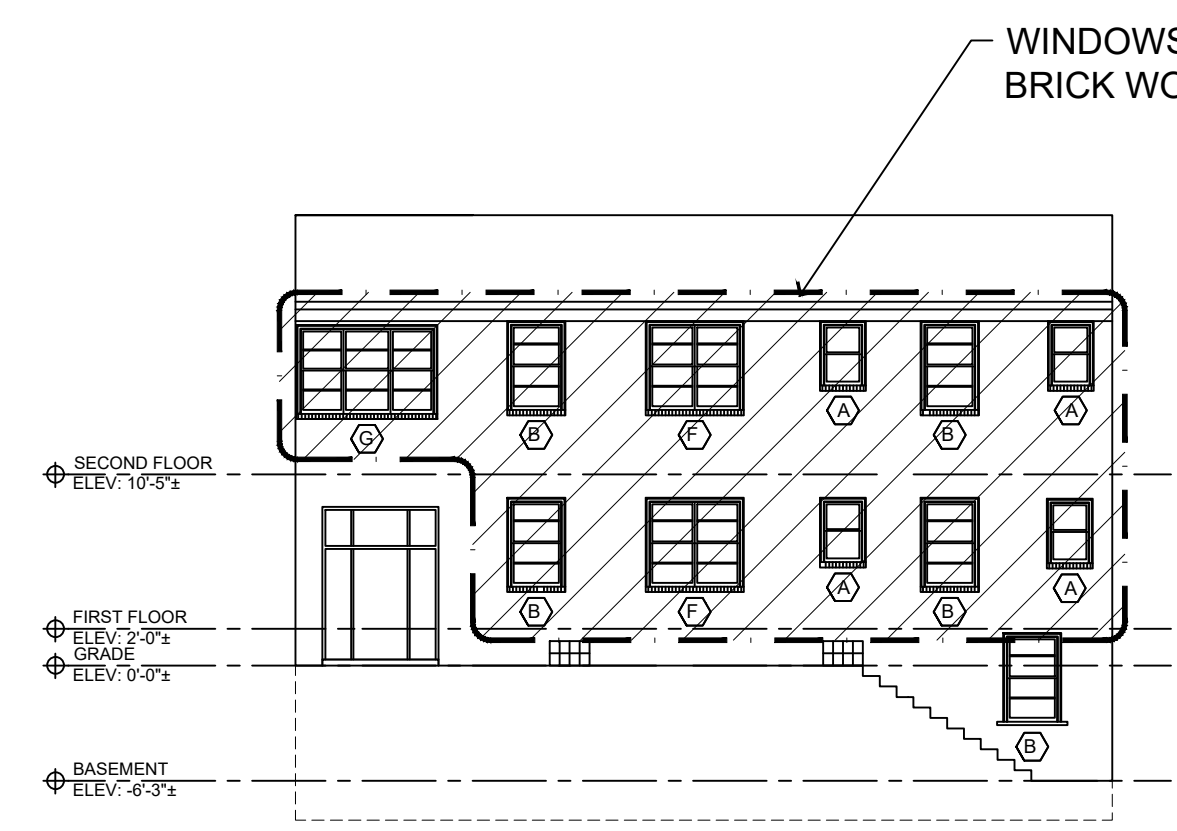
ALL UNITS ARE LOW-E, DOUBLE PANE

179 WINDOWS TOTAL

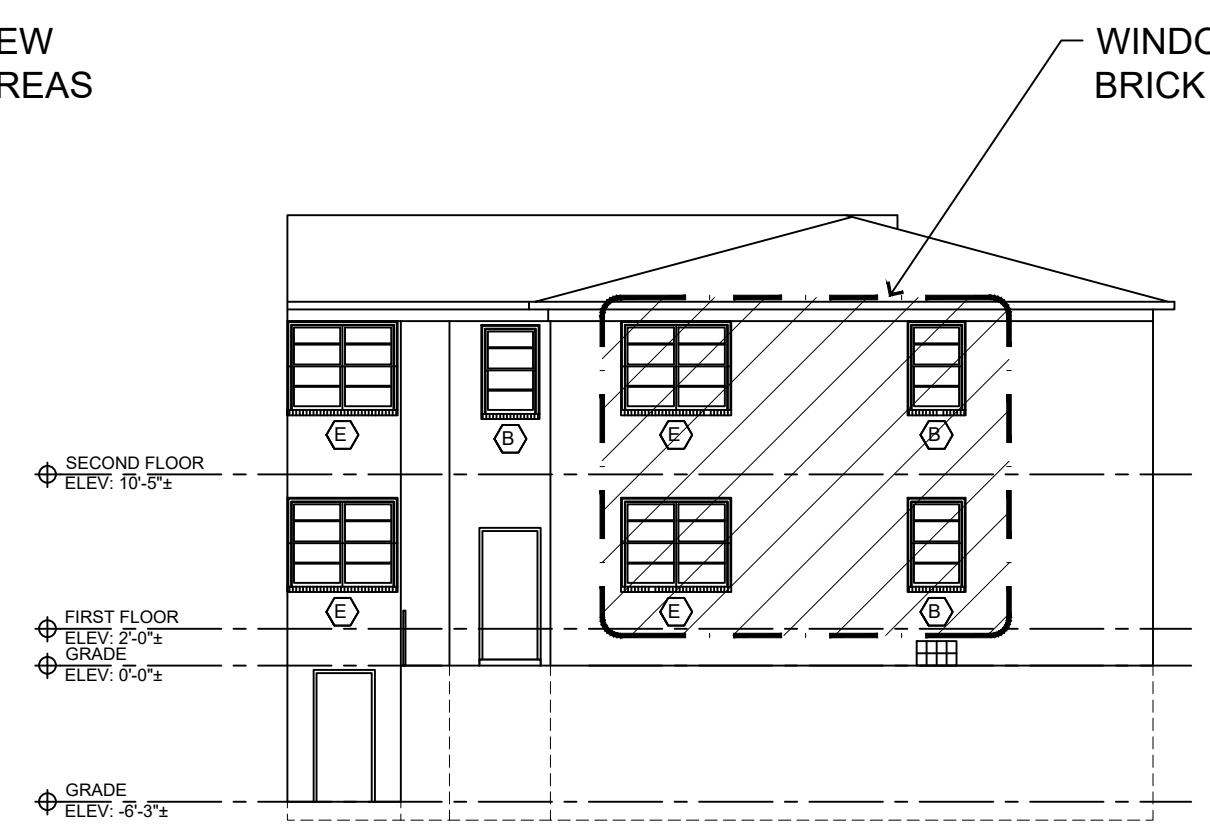
19 WINDOW IN AREAS IN RECONSTRUCTED AREAS. (SHADED ON ELEVATION DRAWINGS)



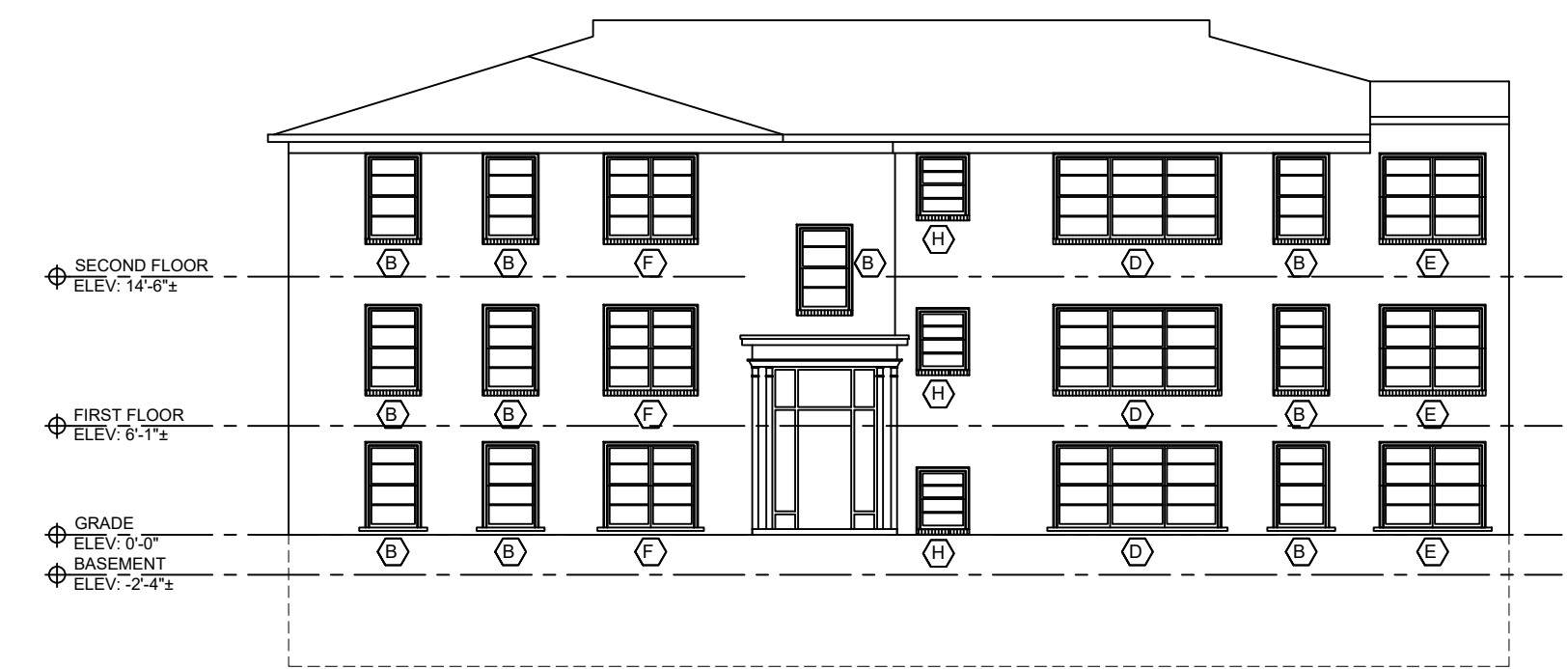
10/A200 south elevation at east courtyard
SCALE: 3/32" = 1'-0"



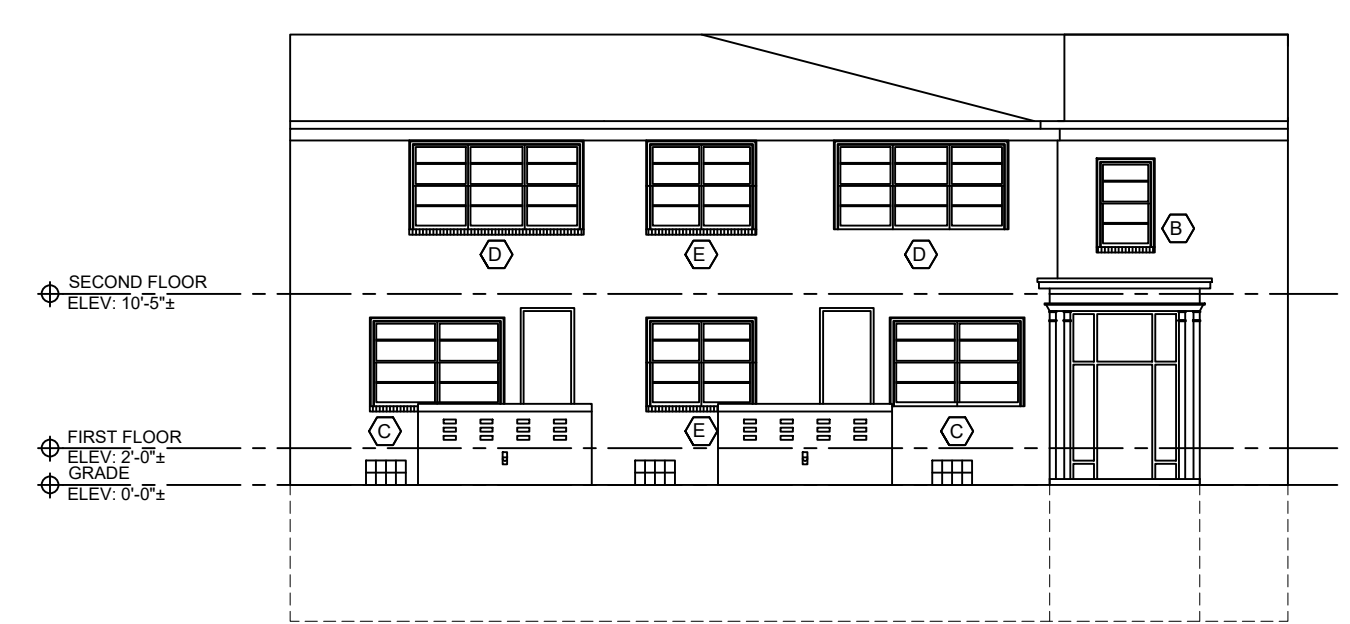
9/A200 west elevation at east courtyard



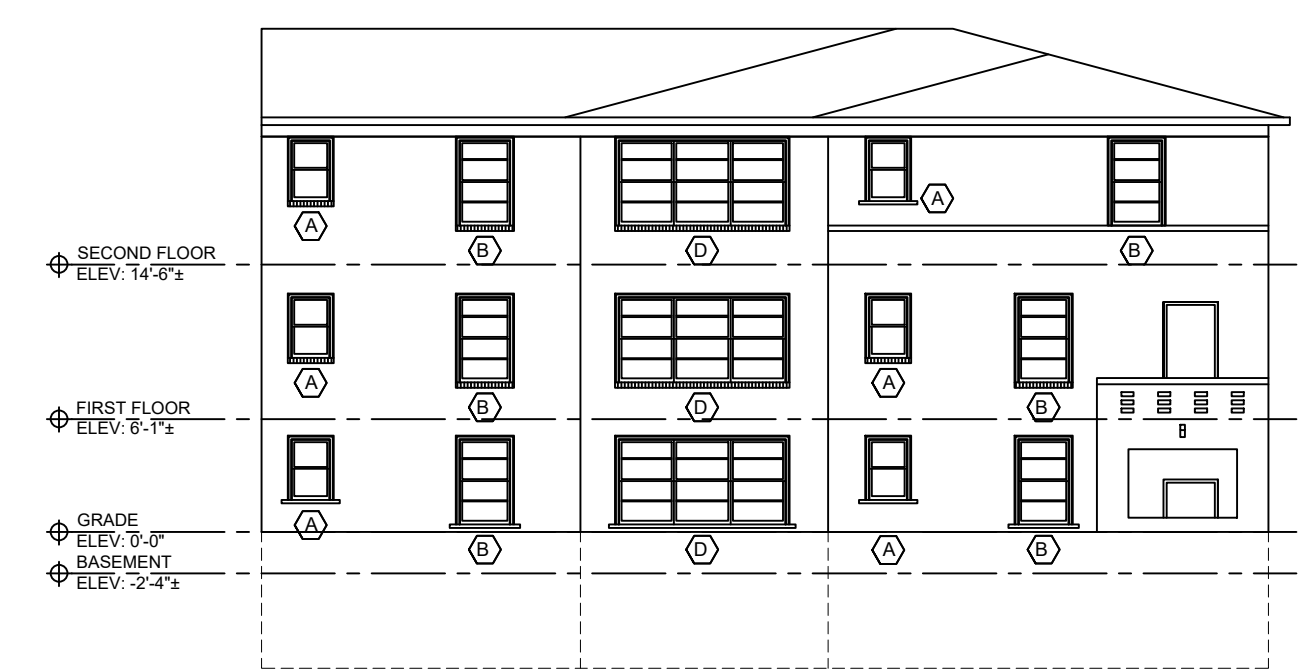
8/A200 north elevation at east courtyard



7/A200 north elevation at west courtyard
SCALE: 3/32" = 1'-0"



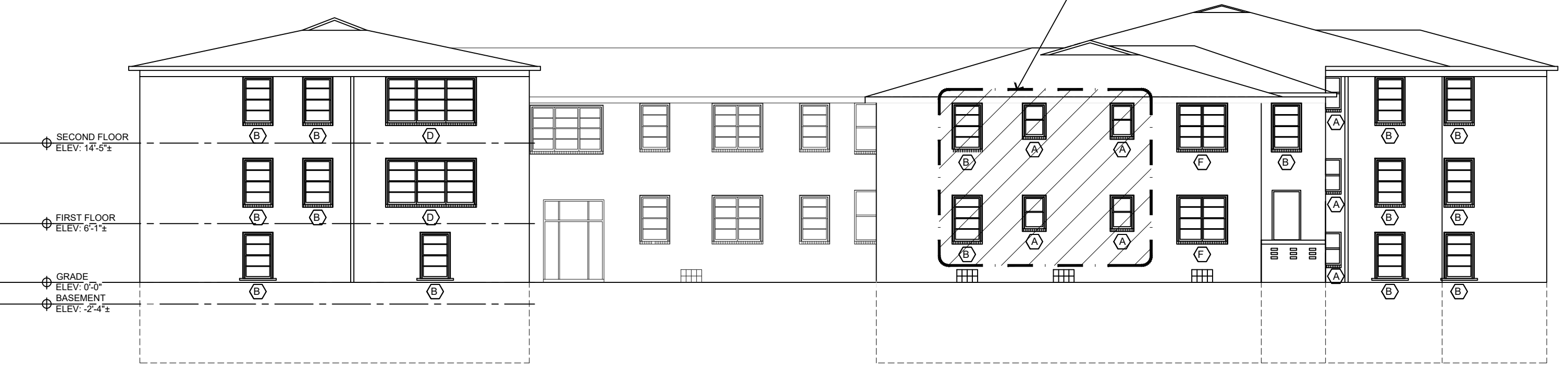
6/A200 east elevation at west courtyard
SCALE: 3/32" = 1'-0"



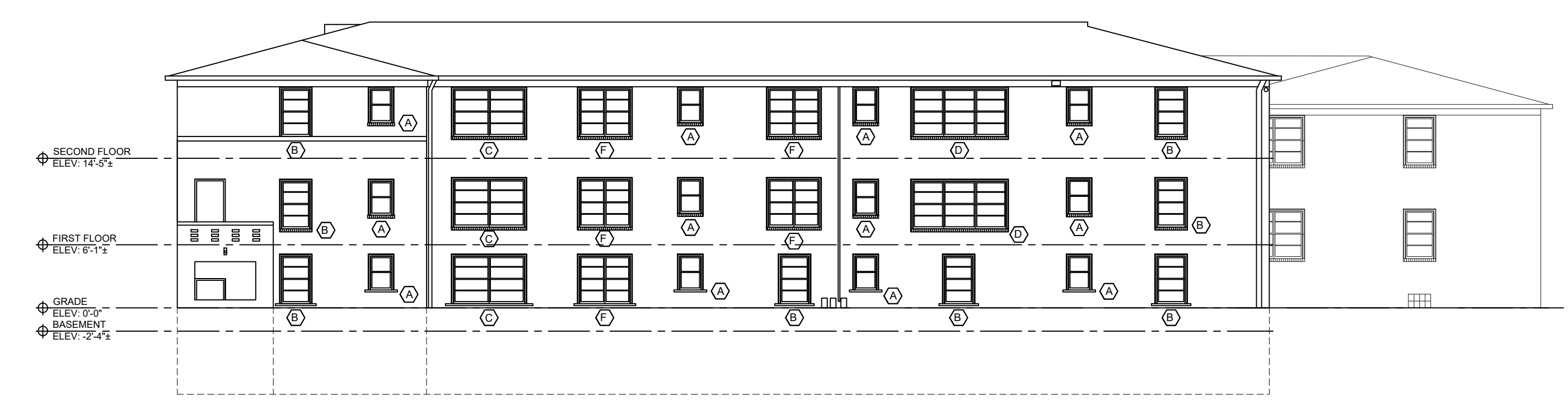
5/A200 south elevation at west courtyard
SCALE: 3/32" = 1'-0"



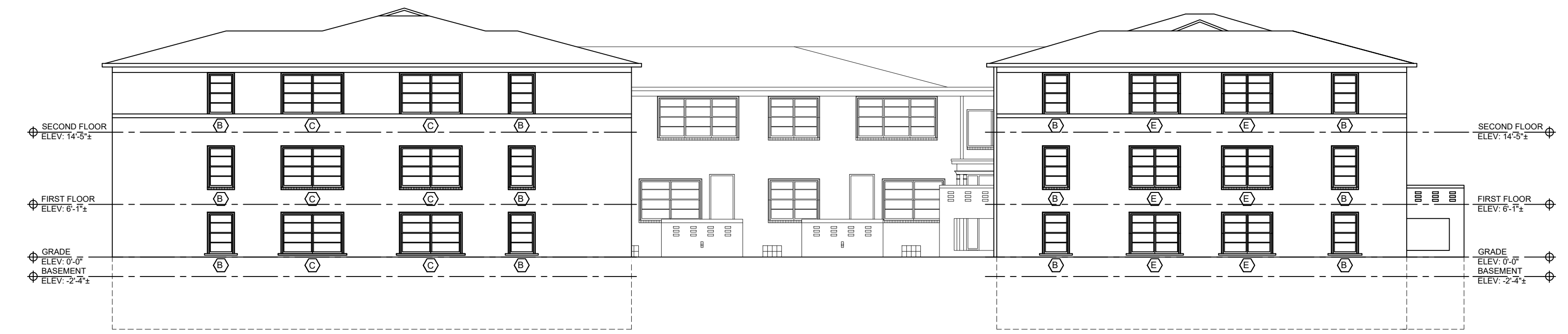
4/A200 north elevation
SCALE: 3/32" = 1'-0"



3/A200 east elevation
SCALE: 3/32" = 1'-0"



2/A200 south elevation
SCALE: 3/32" = 1'-0"



1/A200 west elevation
SCALE: 3/32" = 1'-0"

PROJECT:
Window Replacement Alterations
761 Whimore Road
Detroit, MI 48203

CLIENT:
RCI-761 Whitmore, LLC
10 E. Main Street
Suite 201
Bridgeport, CT 06608

DESCRIPTION	DATE
HDC PROJECT REVIEW-REV	02/22/2023
HDC PROJECT REVIEW	10/10/2022

SHEET TITLE:
EXTERIOR ELEVATIONS

PROJECT NUMBER:
2020-122

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CHECKED BY:
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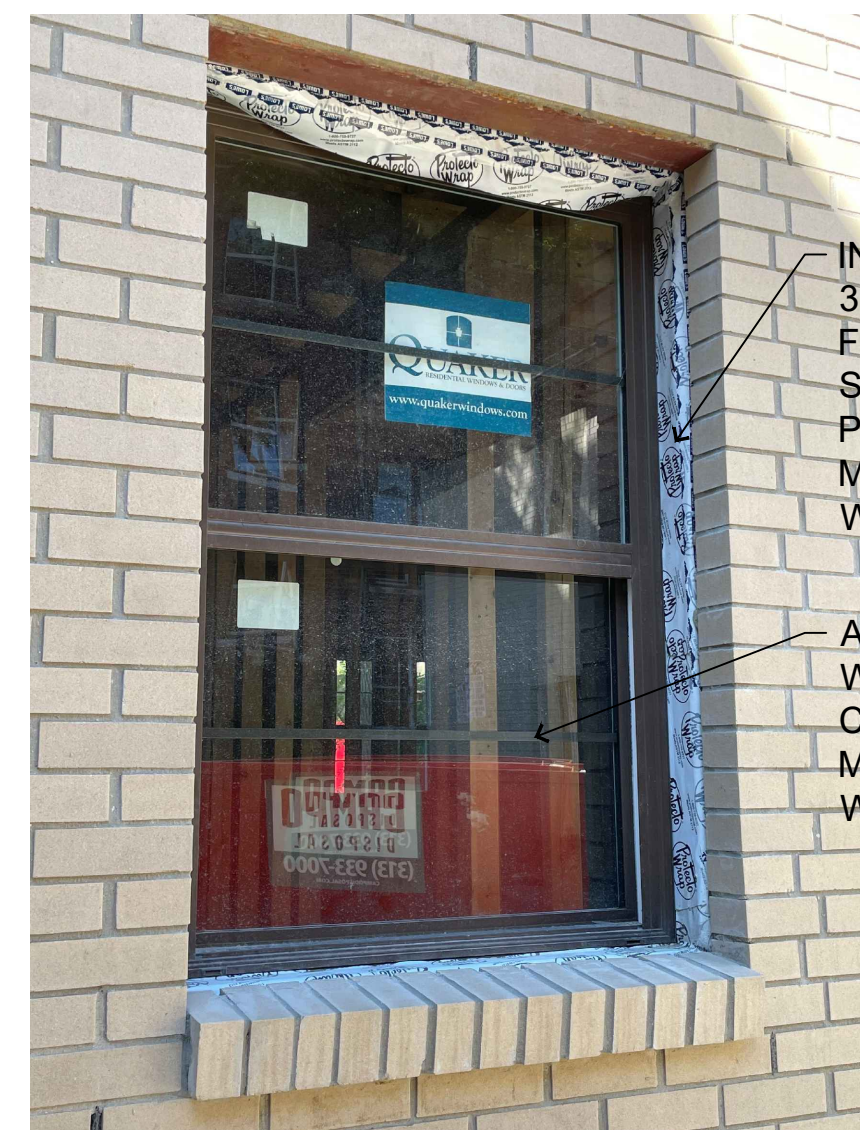
SHEET NUMBER:

A200

Permit No.:



current window condition (typical for 160 windows)



window condition at rebuilt areas (typical for 19 windows)



window with metal removed (bottom right view)



window with metal removed (bottom stool view)



window with metal removed (top head view)



window with metal removed (top right view)



window interior view



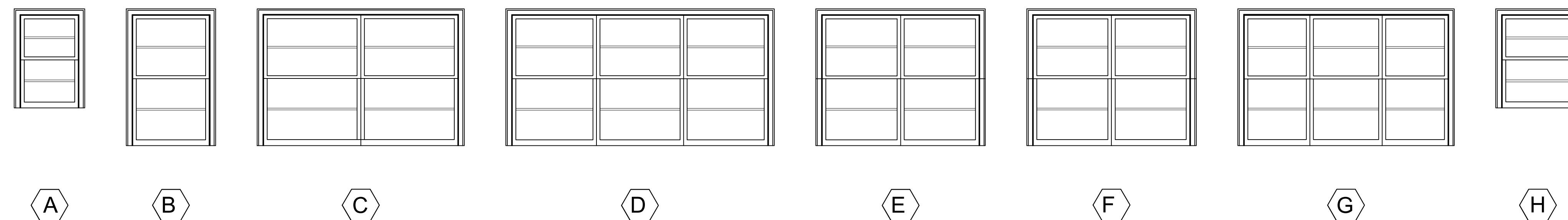
window view at rebuilt areas



window interior view at rebuilt areas

2/A700 photo documentation of windows

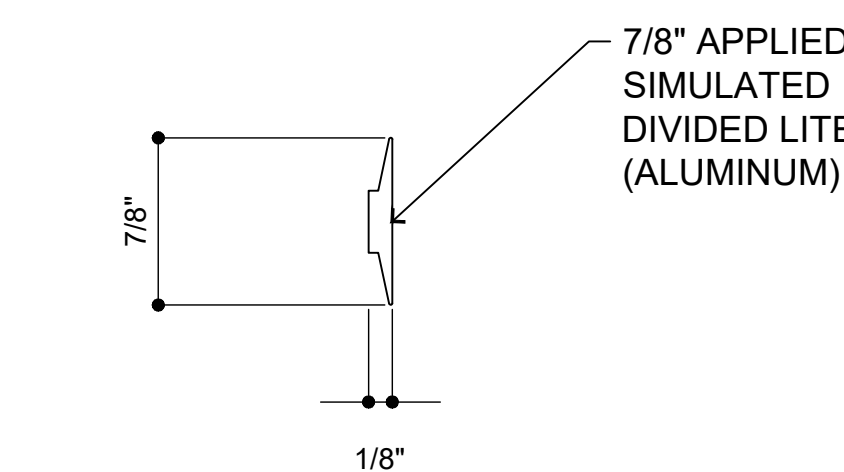
NOTE:
ALL WINDOWS WILL BE INSPECTED AND READJUSTED WITHIN THE WINDOW FRAME.



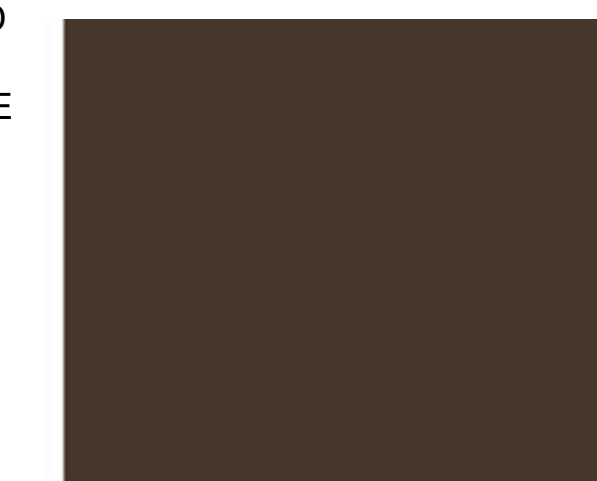
1/A700 window elevations

ALL OPERABLE WINDOWS HAVE PERMANENT SAFETY DEVICE STOPS. WINDOWS OPENING SPACE IS 4".

SCALE: 3/8" = 1'-0"



HORIZONTAL MUNTIN PROFILE COLOR: EARTHSTONE TO MATCH INSTALLED WINDOW COLOR SUPPLIED BY WINDOW MANUFACTURER.



NEW PAINT / MUNTIN COLOR: EARTHSTONE TO MATCH INSTALLED WINDOW COLOR

PROJECT:

Window Replacement Alterations

761 Whitmore Road
Detroit, MI 48203

CLIENT:

RCI-761 Whitmore, LLC

10 E. Main Street
Suite 201
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DESCRIPTION	DATE
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SHEET NUMBER:
A700

Permit No.: