

1407 RANDOLPH STREET DETROIT, MI 48226

NEW TENANT FIT OUT OF EXISTING RESTAURANT



1 LOCATION MAP
N.T.S.

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Project:

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SCOPE OF WORK:

THIS IS AN EXISTING RESTAURANT/ BAR IN OPERATION THROUGH 2017 BEING REWORKED FOR NEW TENANT.

NEW WORK:

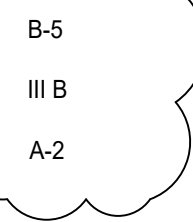
- MAIN FLOOR:**
- NEW PARTIAL HEIGHT PARTITION AT FOOD PICK UP
 - REPAIR AND REFINISH WOOD FLOOR
 - NEW TILE FLOORING BEHIND BAR AND AT FOOD PICK UP AREA
 - NEW WALL FINISHES AND PAINT
 - REPLACING LIGHTING
 - NEW FOOD SERVICE EQUIPMENT AT KITCHEN AND BAR
 - NEW BAR FINISHES
 - NEW MILLWORK INCLUDING SETTEES, NEW BAR TOP & FURNITURE

BASEMENT LEVEL:

- NEW ENTRANCE WALL TO LOUNGE
- NEW FLOORING IN LOUNGE
- REPLACE WATER DAMAGED GYPSUM BOARD AND METAL STUD FRAMING
- NEW MILLWORK INCLUDING BAR, SETTEES AND WALL TREATMENTS
- NEW LIGHTING
- DEFERRED SUBMITTAL FOR NEW HVAC IN LOUNGE TO MEET FRESH AIR REQUIREMENT
- DEFERRED SUBMITTAL FOR NEW PLUMBING ASSOCIATED WITH REWORKED BAR
- FURNITURE

CODE DATA:

PROPERTY ZONING:



BUILDING CONSTRUCTION TYPE:

USE GROUP:

BUILDING AREA:

BASEMENT 2948 GROSS SQ FT
MAIN 2948 GROSS SQ FT

CURRENT CODES:

- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
- 2009 ICC/ANSI A 117.1 MICHIGAN BARRIER FREE DESIGN LAW
- 2015 MICHIGAN PLUMBING CODE
- 2015 MICHIGAN MECHANICAL CODE
- 2017 MICHIGAN ELECTRICAL CODE
- 2015 MICHIGAN ENERGY CODE, ANSI/ASHRAE/IESNA STANDARD 90.1-2013
- 2015 INTERNATIONAL FIRE CODE

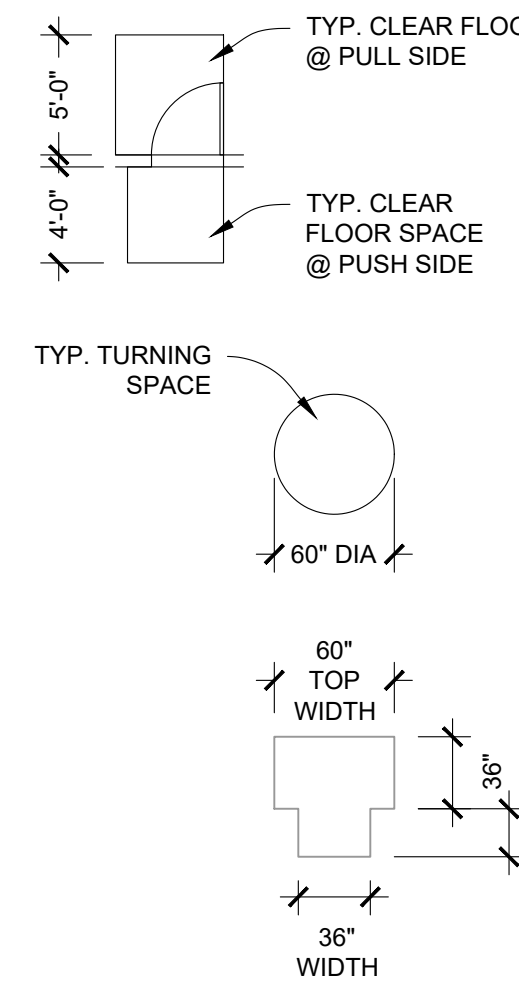
THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODE IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THE PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS, AND/OR CITY OF DETROIT CONSTRUCTION BOARD OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE:
ROMAN BONISLAWSKI, R.A. LICENSE #: 1301037397

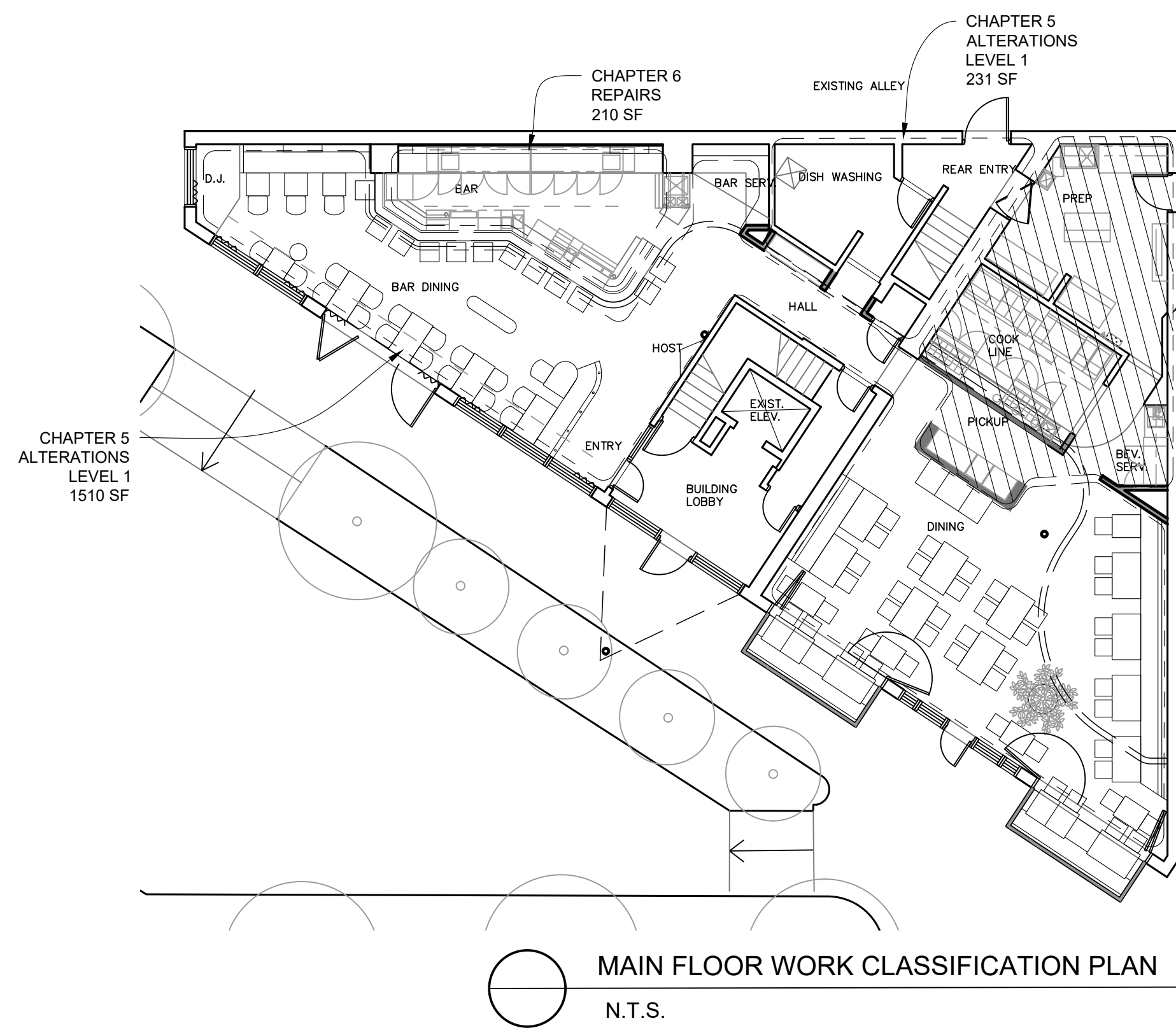
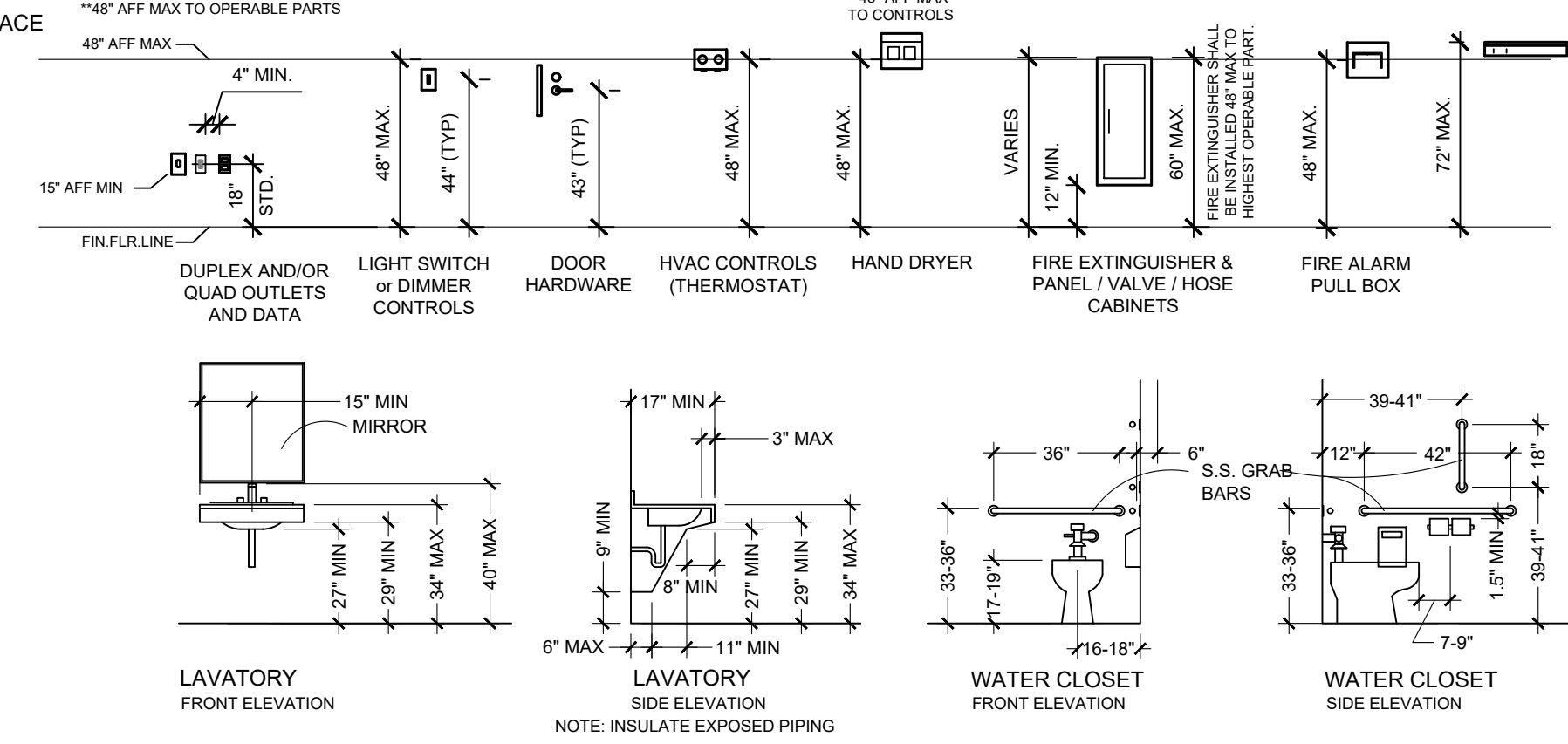
GENERAL DEMOLITION NOTES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS SO AS TO FAMILIARIZE HIMSELF WITH DEMOLITION AND REMOVAL WORK WHICH MAY BE REQUIRED TO PRODUCE THE END RESULTS INTENDED BY THIS DRAWING.
- IT IS THE INTENT THAT EACH PORTION OF THE DEMOLITION WORK BE DONE BY THE SPECIALTY TRADE INVOLVED IN THE ORIGINAL INSTALLATION, THEREBY ASSURING EXISTING SYSTEM OR PORTIONS OF ORIGINAL CONSTRUCTION TO REMAIN WILL NOT BE ADVERSELY AFFECTED. THEREFORE, ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE PROPOSED WORK AND MAKE ALLOWANCE IN THEIR PROPOSALS TO INCLUDE ALL REQUIRED DEMOLITION AND REMOVAL.
- CONTRACTOR SHALL BE REGISTERED WITH THE CITY OF DETROIT AS REQUIRED, LICENSED AND BONDABLE.
- IF REQUIRED, CONTRACTORS SHALL PROVIDE CERTIFICATES OF INSURANCE BEFORE STARTING ANY WORK. VERIFY TYPES AND AMOUNTS OF COVERAGE WITH OWNER.
- INSPECT EXISTING BUILDING CONSTRUCTION AS REQUIRED AND PROVIDE ALL NECESSARY PROTECTION MEASURES TO ENSURE THE HEALTH AND SAFETY OF ALL WORKMEN AND THE GENERAL PUBLIC PRIOR TO THE START OF DEMOLITION WORK.
- THE OWNER SHALL PROVIDE AND PAY FOR ALL TEMPORARY POWER AND WATER.
- ABANDONED MECHANICAL AND ELECTRICAL LINES ARE TO BE REMOVED TO A POINT BEHIND OR WITHIN THE FINISHED FLOOR, WALL OR CEILING UNLESS OTHERWISE NOTED. ABANDONED ELECTRICAL WIRING IS TO BE REMOVED TO POINT OF ORIGIN UNLESS OTHERWISE NOTED. ALL OTHER LINES SHALL BE GROUNDED AND CAPPED, AND GENERALLY MADE SAFE.
- COORDINATE TRASH REMOVAL REQUIREMENTS WITH THE CITY OF DETROIT GENERAL CONTRACTOR IS TO PROVIDE APPROVED TRASH CONTAINERS AS MAY BE REQUIRED, AND LEGALLY DISPOSE OF ALL TRASH.
- UNDER NO CIRCUMSTANCES SHALL EXISTING STRUCTURAL MEMBERS AND SYSTEMS BE ALTERED OR REMOVED UNLESS DOCUMENTED OR DIRECTED BY ARCHITECT.
- EXISTING AREAS TO REMAIN THAT ARE DAMAGED DURING DEMOLITION WORK SHALL BE PATCHED, REPAIRED AND FINISHED AS REQUIRED TO MATCH EXISTING SURROUNDS AT NO ADDITIONAL CHARGE TO THE OWNER.
- ALL EXISTING ITEMS WITHIN THE BUILDING ARE TO BE REVIEWED BY THE OWNER AND ARE CONSIDERED THE PROPERTY OF THE OWNER UNLESS OTHERWISE SPECIFIED. ALL FOOD SERVICE AND UNDERBAR EQUIPMENT TO BE SAVED FOR FUTURE USE.
- LEAVE ENTIRE CONSTRUCTION AREA BROOM CLEANED ON COMPLETION OF DEMOLITION WORK DAILY.
- PRESERVE EXISTING CIRCUIT WIRING FOR FUTURE LIGHTING LAYOUT AND FIXTURES.
- PRESERVE EXISTING RIGID DUCTING AND FLEX DUCTING AND DIFFUSERS.
- ALL EXISTING EMERGENCY EXIT LIGHTING TO BE PRESERVED AND MAINTAINED.

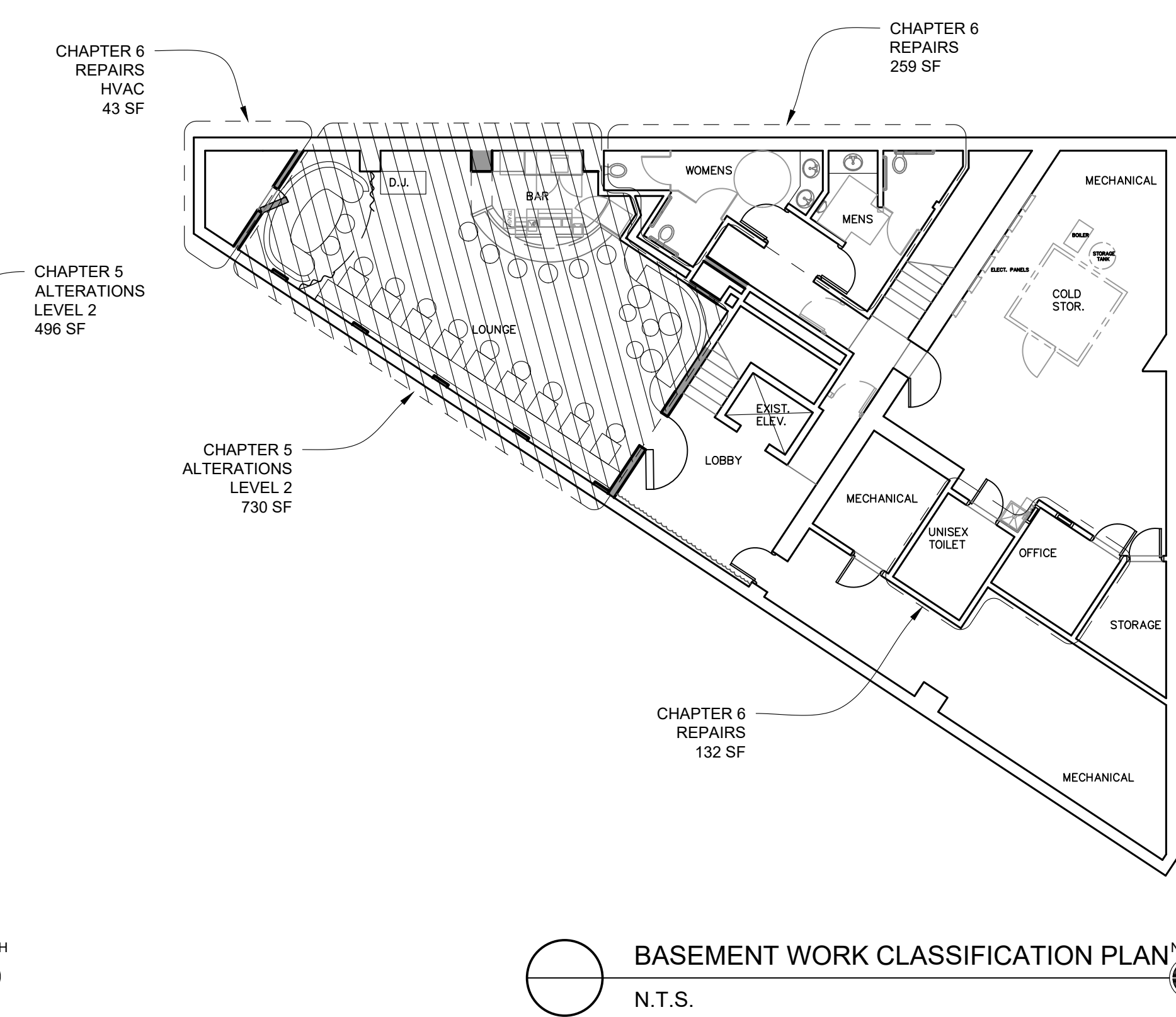
TYPICAL REQUIRED CLEARANCES



BARRIER FREE COMPLIANCE STANDARDS:



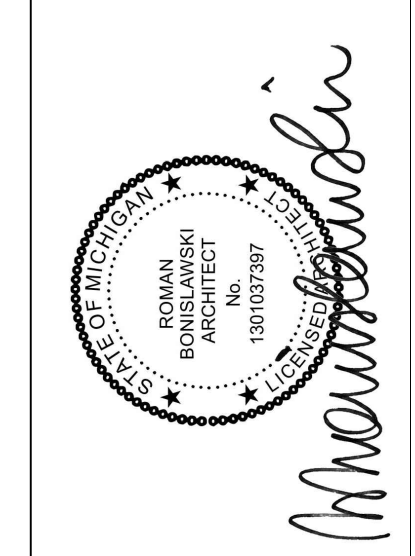
MAIN FLOOR WORK CLASSIFICATION PLAN
N.T.S.



BASEMENT WORK CLASSIFICATION PLAN
N.T.S.

**1407 RANDOLPH STREET
DETROIT, MI 48226**

Seal:



Issue Date:

PERMIT	9/8/2022
PERMIT	1/12/2023
REVISION 1	2/7/2023

Sheet Title:

GENERAL INFORMATION

Sheet Number:

G101-NEW