#### **Detroit Historic District Commission**

Signage Guidelines and Landscape Assessment & Planting Plan Submission

Hamilton Anderson Associates, February 13, 2023

#### ARETHA FRANKLIN AMPHITHEATER/CHENE PARK HISTORIC DISTRICT

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  - 3. Annotated drawings describing all proposed sign types; including colors, materials, size and proposed typical graphics.
- Landscape Recommendations 12-29-2022
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  - 2. Detailed, annotated site plans with photographs indicating existing plant material conditions throughout site.
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Existing Landscape Assessment and Corrective Action.

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**Detroit Historic District Commission** 

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Hamilton Anderson Associates, February 13, 2023

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Detailed Scope of Work

Signage Guidelines Package Scope of Work:

- Owner and/or Contractor to engage qualified, professional sign vendor to provide final sign design and details.
- Sign vendor to submit for, and acquire all required City of Detroit permits and approvals.
- Determine final locations and quantities of signs.
- All work to be per attached Sign Guidelines, dated 02-13-2023.
- Refurbish existing pylon signs as indicated in the Sign Guidelines.
- Refurbish existing seating specific signage as indicated in the Sign Guidelines.
- Remove existing non-original signage as indicated in the Sign Guidelines.
- Fabricate and install new signage in strict adherence with Sign Guidelines, especially as indicated in Proposed Sign Types.

Landscape Recommendations & Planting Plan Package Scope of Work:

- Remove all dead, damaged and invasive plant and landscape material as indicated on the landscape documents.
- Install new plant and landscape material as indicated on the landscape documents.
- Provide maintenance activities as indicated on the landscape documents.
- Provide restoration as indicated on the landscape documents to all impacted areas.
- All work to be per attached Landscape Recommendations Package, dated 12-29-2022 and Landscape Planting Plan Package.

End of Detailed Scope of Work.



Hamilton Anderson Associates 1435 Randolph St, Ste 200, Detroit, MI 48226 Phone: 313-964-0270 Project# 2020022.01

## SIGNAGE GUIDELINES 13 February 2023

#### PURPOSE

This report is intended to provide conceptual designs and guidelines for new signage throughout the Aretha Franklin Amphitheater site. The new signage is intended to use updated branding and wayfinding that will help users navigate through the various site amenities and facilities. Because the entire AFT site is a registered Detroit Historic District, the signage must be sensitive to the history and character of the existing building and site conditions. Also included in this report will be a summary of required agency approvals and a brief assessment of existing signage. This report will focus on establishing appropriate signage character and sign types, and will not establish all final sign locations. This report will be presented in four sections; Sign Guidelines, Summary of Approvals, Existing Conditions and Proposed Signage Types. Also included for reference is the Detroit HDC "Signs & Awnings Guidelines".

#### SIGNAGE GUIDELINES

- All proposed signage is subject to Detroit Historic District Commission and City of Detroit BSEED review, approval and permitting.
- Proposed signage to reflect current branding, including naming, colors, logos and style.
- Proposed signage to reflect the Detroit HDC "Signs & Awnings Guidelines "as closely as possible, while updating and strengthening the overall signage package. Key elements include:
  - 1. Recognize the scale, massing, style, materials and colors of the building and the district,
  - 2. Size and shape must fit within the building design, not obscure architectural elements and be consistent with the character of the historic district.
  - 3. Wayfinding signs not mounted on buildings to be ground, monumental or pylon sign.
- All signage shall be professionally designed, manufactured and installed by others under separate contract.
- Signage shall be of a durable material that matches and/or is harmonious with existing building materials, including colors and textures. Font for all new signage to match existing cast metal signs in concrete walls.
- Signage shall be of a size and scale appropriate to its location and intended function:
- 1. Pedestrian Large-scale, Identifiable by pedestrians from afar.
- 2. Pedestrian Small-scale, Identifiable by pedestrians on nearby sidewalk
- 3. Pedestrian Informational, Barrier free, menu information, etc., provided for adjacent pedestrians.
- Proposed Sign Types;
  - 1. Pylon wayfinding signs. Design to be respectful of existing historic pylon signs.
  - 2. Building mounted flat signs.
  - 3. Projecting blade signs.
  - 4. Door and/or wall mounted barrier free and identification signage.
- Prohibited Sign Types
- 1. Roof mounted signs
- 2. Light box signs
- 3. Any sign that is deemed incompatible with the existing historic architectural character.
- 4. Any sign that restricts or obstructs ingress or egress from a required door or other required exit way.
- 5. Any sign that restricts or obstructs a window, door or other opening for providing light or air, or interferes with proper functioning of the building.

#### SUMMARY OF APPROVALS

Beyond owner/client approval, there are two levels of approval required: Detroit Historic District Commission approval and City of Detroit BSEED approval/permit.

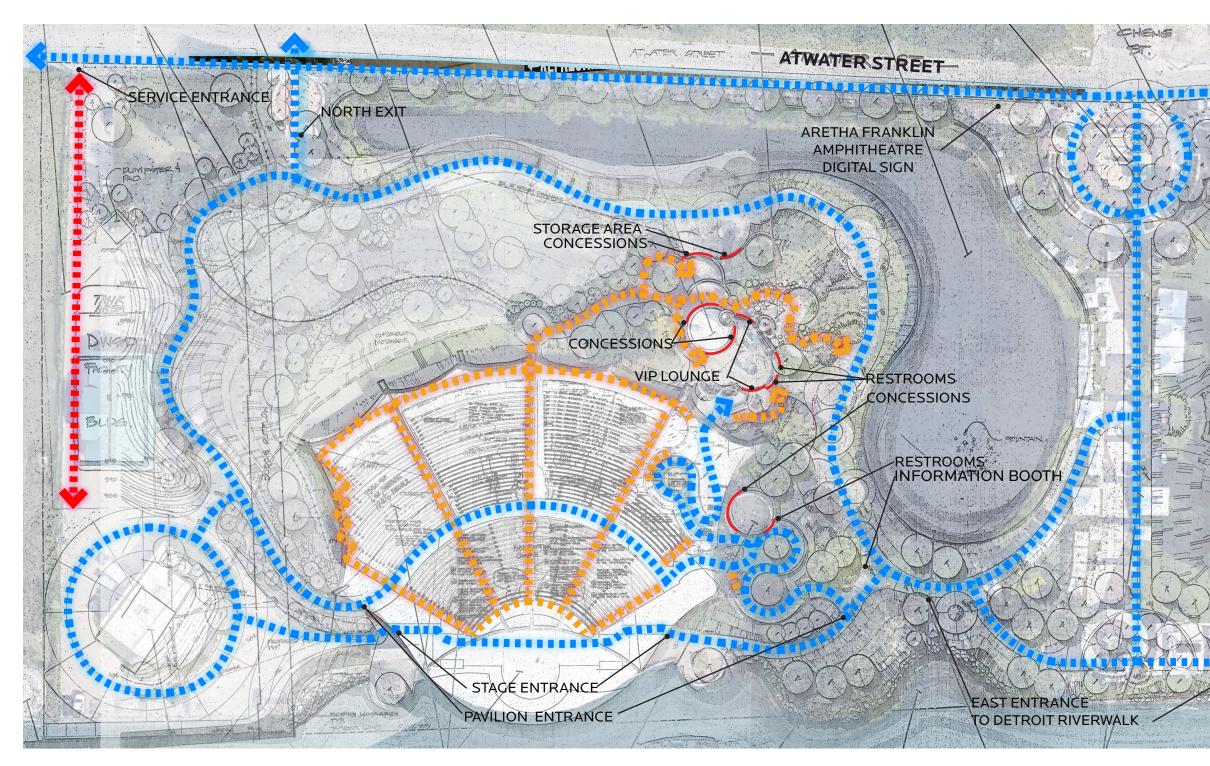
- 1. Detroit Historic District Commission will require full review and approval of proposed signage. The approval may be handled by HDC staff administratively, or may require full board approval. This will be determined by HDC, after the application is submitted and the scope of work is assessed by HDC staff. Approval will be contingent upon sensitivity to the existing condition and adherence to the Detroit HDC "Signs & Awnings Guidelines", attached at end of this document for reference. The submission will include the required Project Review Request and appropriate back up drawings and photographs to explain existing and proposed conditions.
- 2. Owner to contract directly with selected signage vendor/ installer. The signage vendor/installer will be required to submit a complete permit application with appropriate back up information to City of Detroit BSEED for approval. Back up information may include sign drawings, locations, material specifications and mounting details. Architectural and structural elements of signage, such as concrete pylons and foundations, to be provided by HAA under a separate scope and package. For specific information and complete requirements, see Detroit Municipal Code-Part IV City Code, Chapter 4 Advertising and Signs. For information detailing permit submittal requirements, see Sec. 4-4-19..

For information included in the Detroit Municipal Code that is specific to the overall Aretha Franklin Amphitheater Historic District, see Chapter 21, Sec. 21-2-243.

#### **EXISTING SIGNAGE**

There are multiple types of existing signage throughout the site which are past their useful life. They are in generally poor condition, and no longer serve their original purpose. It has become necessary to utilize portable signage for basic user navigation. Some existing signage is original to the project, but is in poor condition. Some has been added over time, and does not appropriately match the character of the architecture. None of the existing signage incorporates the current branding, style, logo's, etc.

- Existing concrete pylon wayfinding signs are original to the project, but they are in poor condition, they don't contain the correct information and may not be optimally located. The lighting/electrical for the existing pylon signs are no longer in use and should be terminated back to source if not already completed.
- Existing restroom and venue signage consist of painted and applied flat metal signage. They are not appropriate to the character of the existing architecture and do not reflect the necessary updated branding.
- Existing cast metal signage imbedded in the concrete walls are original to the project and have historical significance. Although they will not be part of the overall signage scheme, they will be essential for HDC approval and will remain.



#### LEGEND

ADA ACCESSIBLE NON-ADA AC SERVICE VEHICLE ACCESS

Photos 1-4: Existing pylon signs. Concrete pylon to be cleaned and refurbished. Signage to be removed and replaced with smooth concrete cap.

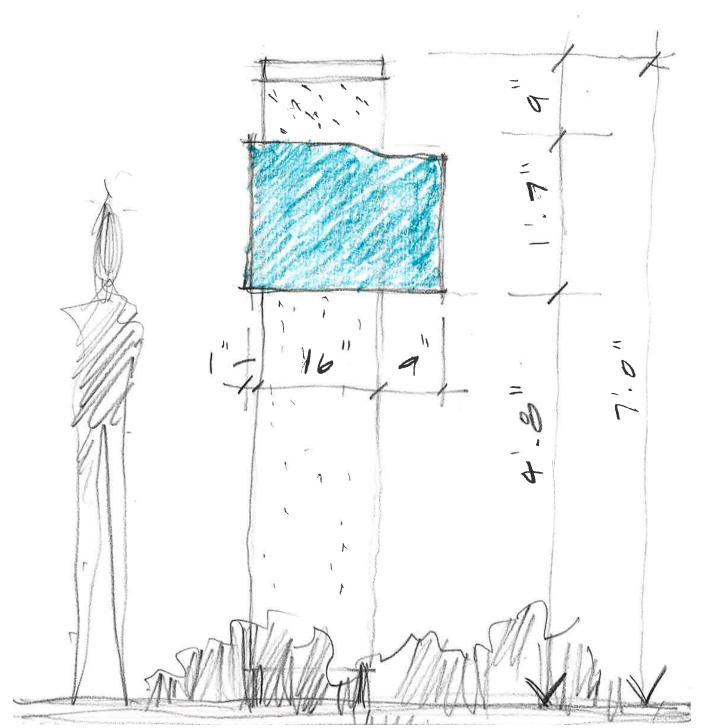
Photos 5-8: Existing signage not original to the site to be removed.

Photo 9: Existing cast metal signage inset in concrete walls (including dedication plaque) to remain

Photo 10: Existing seating specific signage to be refurbished as required.



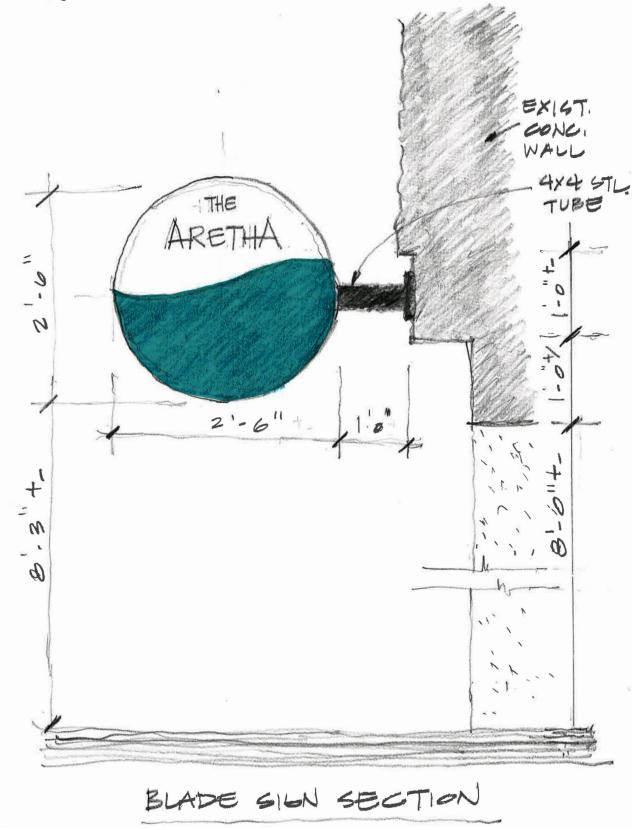
Pylon Wayfinding Signs – To be used throughout the site for all user navigation and barrier free routes. To be ground mounted. Can be pedestrian large-scale and small-scale as required.



PAINTED METAL OR ARETHA COMPOSITE SIGNAGE WITH RAISED LETTERS. APPROX. 19" X 25". COLOR TO BE DEEP LAGOON TO MATCH RESTROOMS EXISTING SITE ELEMENTS CONCESSIONS > OVERLOOK STAGE 7'-0" HIGH EXPOSED AGGREGATE CONCRETE PLYLON WITH SMOOTH CONCRETE CAP AND BASE. 16" DIAMETER.



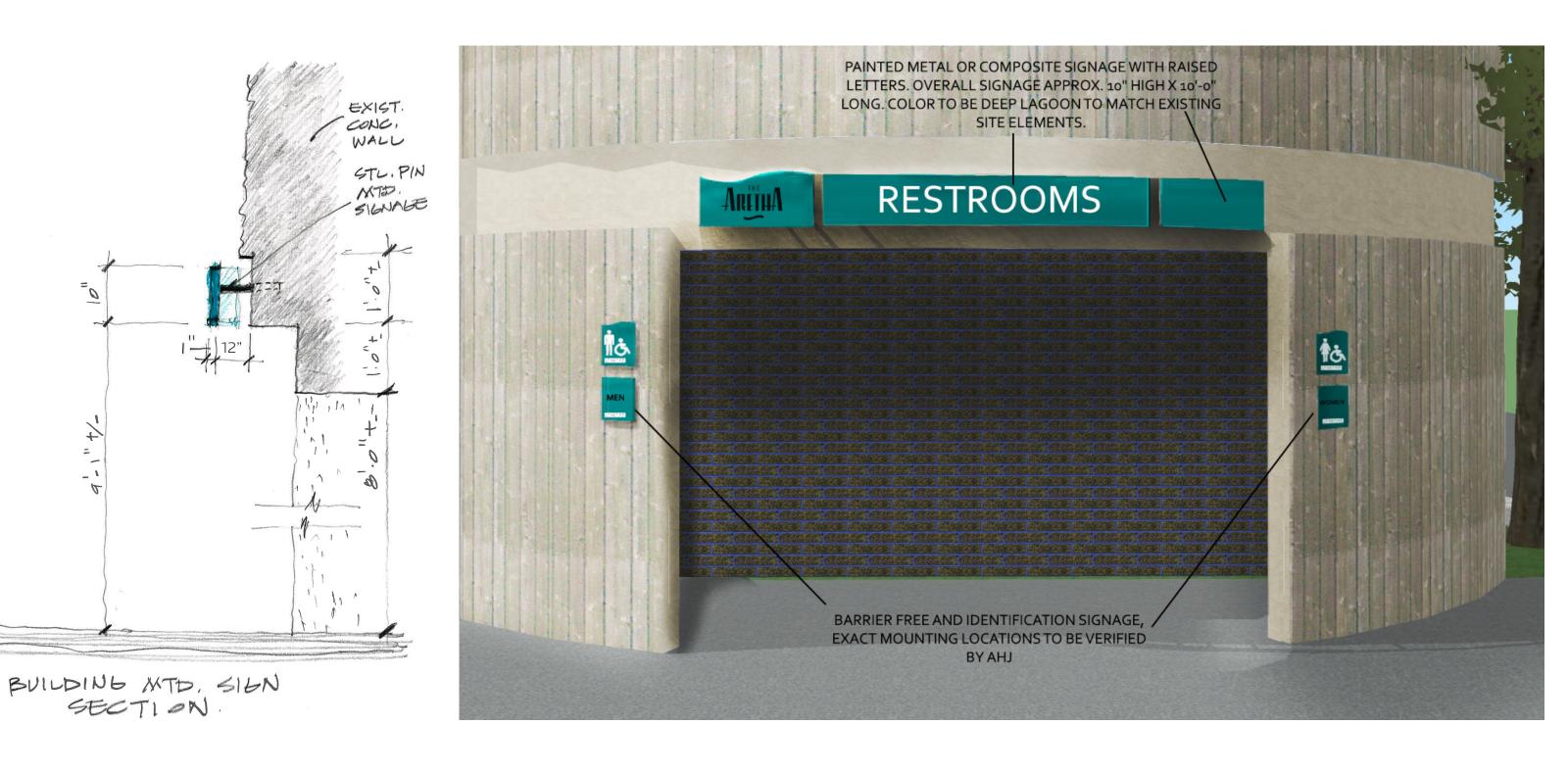
Venue Blade Signs – To be used at branded concession venues as applicable. To be building mounted.





1" THICK METAL OR COMPOSITE SIGN FACES, BOTH SIDES. 2'-6" DIAMETER. 6" BLACK METAL BETWEEN SIGN FACES. COLOR TO BE DEEP LAGOON TO MATCH EXISTING SITE ELEMENTS

Venue and Facilities Building Mounted Flat Signs – To be used for venue and facilities wayfinding and pedestrian large-scale identification.



Door and/or Building Wall Mounted Barrier Free and Room/Area Identification Signs – To be used per code requirements and as determined for building and grounds operations. To be pedestrian informational scale.



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#### Signs & Awning Guidelines



"Signs often become so important to a community that they are valued long after their role as commercial markers has ceased. They become landmarks, loved because they have been visible at certain street corners--or from many vantage points across the city--for a long time. Such signs are valued for their familiarity, their beauty, their humor, their size, or even their grotesqueness. In these cases, signs transcend their conventional role as vehicles of information, as identifiers of something else. When signs reach this stage, they accumulate rich layers of meaning. They no longer merely advertise, but are valued in and of themselves. They become icons."

Signs as Icons, "The Preservation of Historic Signs," by Michael J. Auer. Preservation Brief, #25 (Technical Preservation Services), National Park Service, U.S. Department of the Interior

The cultural significance of signs combined with their often transitory nature makes the preservation of historic signs fraught with questions, problems, and paradoxes. If the common practice in every period has been to change signs with regularity, when and how should historic signs be kept? If the business is changing hands, how can historic signs be reused? The subject is an important one, and offers opportunities to save elements that convey the texture of daily life from the past.

The Preservation of Historic Signs," by Michael J. Auer. Preservation Brief, #25 (Technical Preservation Services), National Park Service, U.S. Department of the Interior

#### <u>SIGNS</u>

Objective

• To enhance the integrity of the buildings and community by preserving and appropriately restoring historic signs

Purpose of signage:

- To indicate the original occupants and the area's past. Even with a change in business, retaining historic signage as part of the community memory is desirable
- To identify current businesses and stores

#### Guidelines

1. Preserve historic signage when possible



- 2. Restore signs only when the original has lost its visibility through age, damage, or excessive/inappropriate cleaning
- 3. Create attractive commercial signs that promote business, both pedestrian and vehicular, but are free of visual clutter

- 4. Require that new signage compliment the historic integrity of the building and community. Signs must relate to the building(s) they serve
- 5. Signs shall be restricted to those which identify the name of the establishment and/or the primary business or service provided within.
- 6. Advertising related to businesses or services not provided on the premises shall be prohibited unless, with the approval of the Commission, such advertising is deemed historically appropriate.
- 7. Signage should make an attempt to recognize the stylistic features and characteristics of the historical districts in their materials and graphics
- 8. Signage should recognize the scale, massing, style, materials and colors of the building and the district

Common elements of historic signage include:

- Painted facades and fascia signs
- Material inlaid into the buildings façade
- Hanging signs and older neon signs
- Gold leaf or gilded lettering in storefront windows



#### **Signs Mounted on Buildings**

#### <u>Size</u>

Signage must fit within the building design and its storefront and be historically compatible with the site and context; must be compatible with building; and must not obscure architectural elements.

#### Shape

Shape of sign must be consistent with the character of the historic district in which the signage is located.

#### Materials

- Material inlaid or carved into the buildings façade should be retained
- Sign materials should be compatible with the design theme and use of materials on the building where the sign is to be placed.
- Painted wood and metal are preferred materials for the signs.
- Metal signs, wood signs, glass signs, and signs painted on masonry are permitted.

#### Position

- Locate signage above the storefront opening so that it does not conceal architectural details and features
- Signs should be located where architectural features or details suggest a location, size, or shape for the sign
- Signs should be placed on buildings consistent with sign location on adjacent buildings
- Limit the number of projecting signs
- In pedestrian areas, orient signs to sidewalk instead of motorists.

- The bottom of hanging signs should maintain at least a 10 foot pedestrian clearance from the sidewalk.
- Signs on canopies should be twelve (12) inches away from the end edges of such canopies.
- Maintain a physical separation between individual store signs so that it is clear that the sign relates to a particular store below

#### <u>Illumination</u>

- Consider if the sign needs to be lighted
- Use external or halo lighting to illuminate building and/or storefront signage
- Lighting should fit within the building design and its storefront and be architecturally compatible with the site and context
- With internally illuminated channel letters, limit raceways depth behind letter to five (5) inches (2 inches when using LED light source)

#### Typeface/Legibility

- Use cast or fabricated metal dimensional graphics
   letters and logos in lieu of plastic or vinyl dimensional graphics
- Use a minimum of <sup>1</sup>/<sub>2</sub> deep metal dimensional graphics letters and logos.
- Selected materials should contribute to the legibility of the sign
- Avoid faddish or bizarre typefaces
- Avoid hard to read typefaces and symbols
- Limit the number of lettering styles



#### <u>Color</u>

- Sign colors should complement the colors used on the structures and the project as a whole
- Sign colors should reflect the color system appropriate to the period of the building
- Limit the total number of colors used in any one sign

## Signs not mounted on buildings (commercial development or multi-tenants identification) should reference the following guidelines:

- 1. Use a ground or monumental sign not to exceed six-feet in height including the base
- 2. Provide a sign base of masonry, granite, or concrete with an architectural finish. A metal base on grade is prohibited unless it is 12 inches above grade
- 3. Include landscaping around the base of ground and monument signs
- 4. Limit commercial development identification signage to a maximum of two signs (double face) when development is on two major streets, not to exceed 150 square foot of signage
- 5. For *pylon* sings, limit height to a maximum of (12) twelve foot in height above grade including its base and post. Limit post width to 12 inch face.

- 6. Provide professionally made signage, including design, material, painting and construction.
- 7. Use signage materials that are architecturally appropriate to the historic character of the neighborhood

#### **AWNINGS\CANOPIES**

Objective

• To enhance the integrity of the buildings and community by preserving and appropriately restoring historic awnings and canopies

Purpose of awning

• Awnings and canopies provide protection form the elements, expand floor space, provide unity of appearance, and create a decorative backdrop for identification.

Guidelines

- 1. Design awnings and canopies so as not to conceal building features such as pilasters or windows.
- 2. Use color schemes to coordinate with building façade colors
- 3. Use simple and triangular shape awnings with valance face not to exceed ten (10) inches
- 4. Install into mortar joints no fastening into brick, stone or arch details.

Standards

- 1. Locate awnings, canopies and marquees and their supporting structure at a minimum of eight (8) feet, six (6) inches above public sidewalk
- 2. Project awnings and canopies not more than one half the width of the sidewalk and not more than 10 feet, six inches.
- 3. Project awnings and canopy material such as metal, glass, or woven fabric.
- 4. Limit signage on awning to the valance area (e.g., front fascia of the awning, not the sloped area.) Include business name, address, logo, or business "slogan," but not to exceed 40% of the awning valance surface area. Product advertising is unacceptable.
- Limit the signage area of awnings and canopies to tat allowed per Section 61-140292(5) of the City of Detroit Zoning Ordinance.



6. Use external lighting to illuminate awnings. Internally illuminated awnings are unacceptable.

- 7. Use awnings to define individual storefront openings. Continuous awnings along blank walls or awnings located at upper floor windows are unacceptable.
- 8. Use exposed awning design with open ends and no ceiling.

#### Other

The awning may be attached either just below the storefront cornice or between the transom and display windows (allowing light into the store while shading merchandise and pedestrians from the sun.)

The awning should fit within the storefront opening; i.e., should not cover the piers or space above the cornice. Aluminum awnings or canopies generally detract from the historic character and should not be erected.

New coverings for existing – previously approved – awnings may be administratively approved by the coordinator if the colors, content, placement of printing and materials are appropriate.

".... signs (and awnings) convey the texture of daily life from the past."

Variance to the above guidelines may be granted by the Historic District Commission.

The Historic District Commission reserves all rights to amend and/or update this policy statement. Any questions pertaining to this policy shall be directed to the Historic District Commission, 65 Cadillac Square, Suite 1300, Detroit, Michigan 48226, telephone (313) 224-06536

Use these guidelines in conjunction with the City of Detroit Zoning Ordinance: Signs – Article VI and Awnings-Article XIV General Development Standards

Adopted:August 13, 2008Effective:August 13, 2008Revised:May 12, 2010 and November 13, 2013

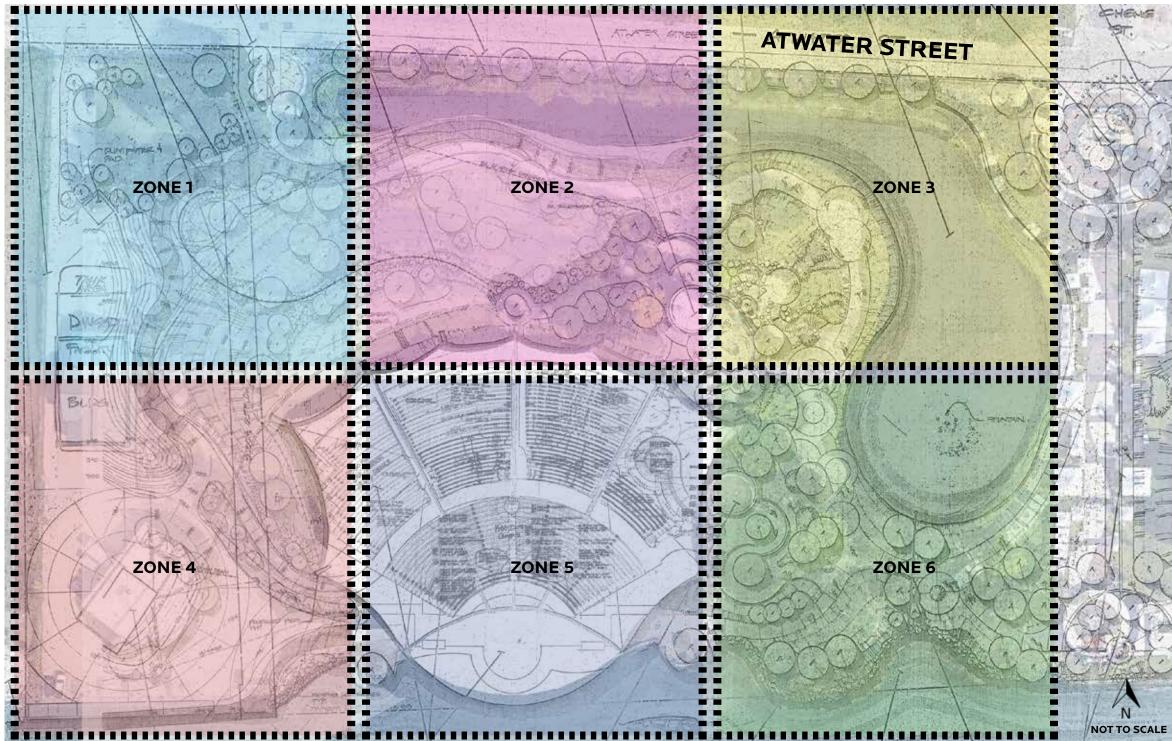
DETROIT HISTORIC DISTRICT COMMISSION



Hamilton Anderson Associates 1435 Randolph St, Ste 200, Detroit, MI 48226 Phone: 313-964-0270 Project# 2020022.01



## LANDSCAPE RECOMMENDATIONS 29 DECEMBER 2022



## LEGEND

On December 7th, 2022, Hamilton Anderson Associates performed a site inventory and analysis on the existing conditions of the landscape within the Aretha Franklin Amphitheatre property. Photos and descriptions of the landscape conditions have been compiled in this document and recommendations have been provided for landscape improvements.

#### Historic District Requirements

Chapter 21- History Division 5. Designated Districts Section 21-2-243 - Aretha Franklin Amphitheatre/Chene Park Historic District

## Detroit, MI Code of Ordinances

#### Chapter 57 - Vegetation Article II - Trees and Shrubs Along Streets

#### Section 57-2-1 - Definitions:

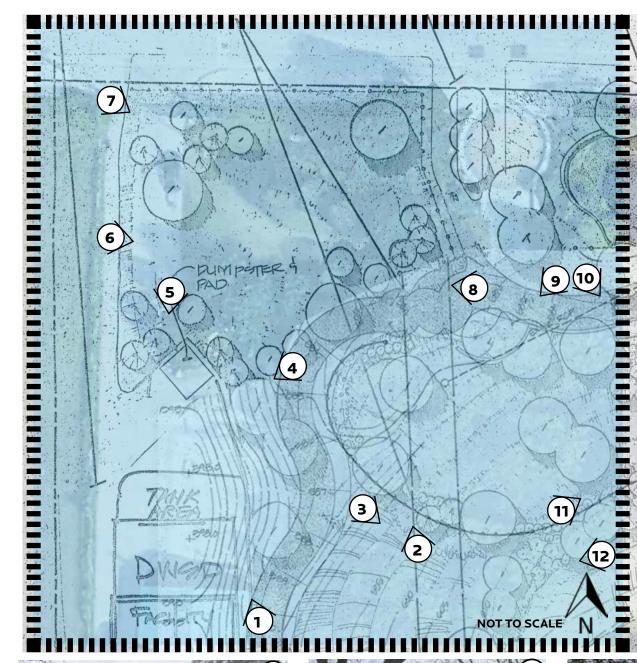
- Place shall include any park, parkway, park lot, grass plot, golf course, playground, recreation area, open place or square or other property under the control of the recreation department
- Section 54-2-4 Permit required to trim, spray, etc. Trees; exception.
  No person shall prune, cut, molest, break, deface, destroy, spray, repair or do surgery work upon any tree or part thereof or any manner interfere with, disturb or injure any tree, shrub or plant upon the public highways or places of the city; nor shall any chemical be used for the control of insects or other diseases or for any other reason; nor shall any person permit any chemical, either solids or fluids, to seep , drain or be emptied on or about any tree, shrub or plant growing upon any public highway or place within the city, without first obtaining a permit from the recreation department

Section 57-2-8 - Trimming of branches overhanging streets.

- Every owner of any tree, shrub or plant overhanging the streets or highways within the city shall trim the branches so that they shall not obstruct the light from any street lamp or obstruct the view of any street intersection, and so that there shall be a clear space of (10) feet above the surface of the street or sidewalk.
   Such owners shall remove all dead, diseased or dangerous trees, broken or decayed limbs which may be considered a menace to the safety of the public
- Section 57-2-18 Permit required for planting of trees and shrubs
  It shall be unlawful for any person to plant any trees, shrubs or any other plant in any public highway with the city, either for himself or for anyone else, until he has secured a written permit therefor from the recreation department, which permit shall be complied with in strict accordance with the rules and regulations prescribed. The application for such permit shall designate the locations and species of trees shrubs, or plants to be planted and the method proposed to be followed. The recreation department shall have the authority to refuse the granting of such permits when such planting is likely to create a public danger or a nuisance.

Section 57-2-18 - Permit required for planting of trees and shrubs

 It shall be the duty of the recreation department to remove or cause to be removed all trees, shrubs, or plants planted upon the public highways and public places within the city when, in its judgment, such removal shall be beneficial to the peace, health, and safety of the public, for public improvements or where such trees, shrubs, or plants detrimental to the growth of adjacent trees, but in such cases where, in the judgment of the recreation department, there exists the necessity of replacing these trees, shrubs, or plants the cost thereof shall be at the expense of the abutting property owner, either by direct payment of such amount to the city treasurer or by assessment as provided by this article. The cost for such removals shall be from funds provided therefor from general taxation.





(5) Overgrown Austrian Pines and (1) White Pine no longer provide screening. Consider removing, replace with Norwar Spruce or approved equivalent



Burning Bush is overgrown and suffocated by vines. Remove shrubs and replace with smaller non-invasive shrubs. Remove stumps and weeds from bed, add topsoil, perennials, and mulch

Competition in the interior of the Austrian Pine stand has caused dieback; Prune dead branches. Reseed lawn with shade fescue variety. Shrubs along fence are overgrown; Consider pruning or replacing. Re-install metal landscape edging



(3) Overgrown Austrian Pines. Consider removing, replace with Blue Spruce or equivalent. Remove volunteer shrubs along wall. Reseed lawn



Blue Spruce and Norway Maple in this location are in good condition; no action needed. Consider reseeding lawn



Mature Austrian Pines and Norway Maple are in good condition. Consider reseeding lawn



(3) Mature Cottonwood trees and (1) Red Oak Tree in good condition. Consider planting row of evergreen shrubs along top of retaining wall



(1) Red Oak in good condition. Remove shrubs in plating bed. Consider replacing Blue Spruce trees due to overgrowth and dieback. Reseed lawn



Reinstall landscape edging



Remove all invasive shrubs here. Reset landscape edging, add topsoil, mulch, and new shrubs along fence

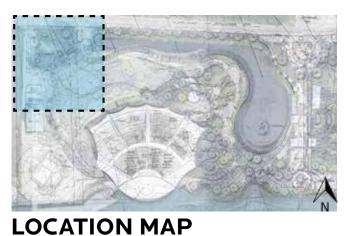


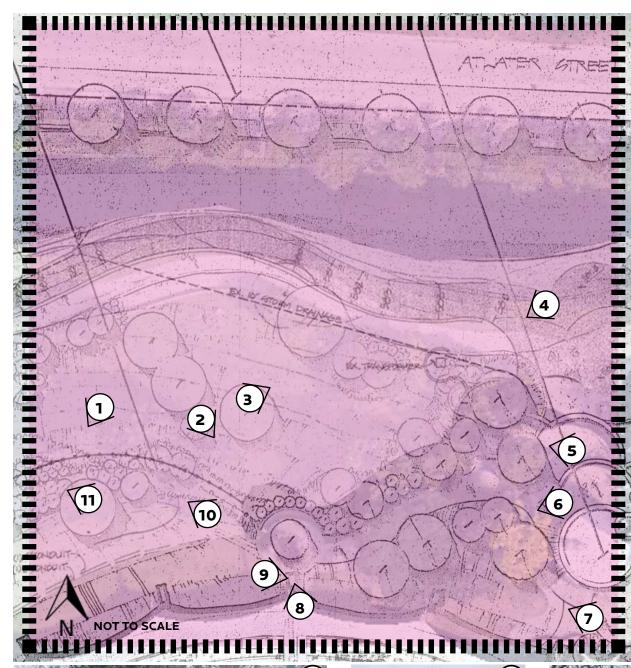


(2) Overgrown Blue Spruce trees; Consider replacing with Norway Spruce or approved variety



Prune (3) Crabapple trees (suckering growth), and consider screening mechanical unit with shrubs. Large Siberian Elm and Blue Spruce in good condition.







Remove volunteer pear saplings, prune suckers on mature trees. Prune overgrown shrubs along fence



Prune suckers on Crabapple tree. Austrian Pines are in fair condition (mild competition with each other). Reinstall landscape edging atop hill



Beech tree is in good condition but crowded by Burning Bush and small ornamental tree. We suggest removing the burning bush and small tree to showcase Beech. Plant new columnar evergreens along foundation



White Pine in good condition. Prune branches overhanging steps. Weed bed, mulch, and plant with annuals in growing season



Shrubs are overgrown, prune back to reduce size. Reinstall landscape edging. Red Oak and Austrian Pine in good condition, but prune any dead limbs



(1) American Beech in fair condition. Monitor for dead limbs in growing season



Grass area to be reseeded; typical of the lawn areas



Austrian Pines in fair condition (competition). Reset landscape edging, remove weeds, add landscape fabric, topsoil and mulch, and add shrubs/perennials



Prune Crabapple suckers, remove invasive shrubs, reset landscape edging, remove weeds. Add topsoil, and mulch beds

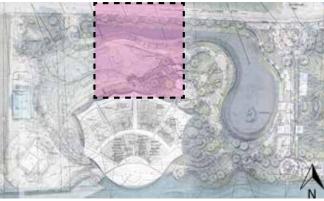


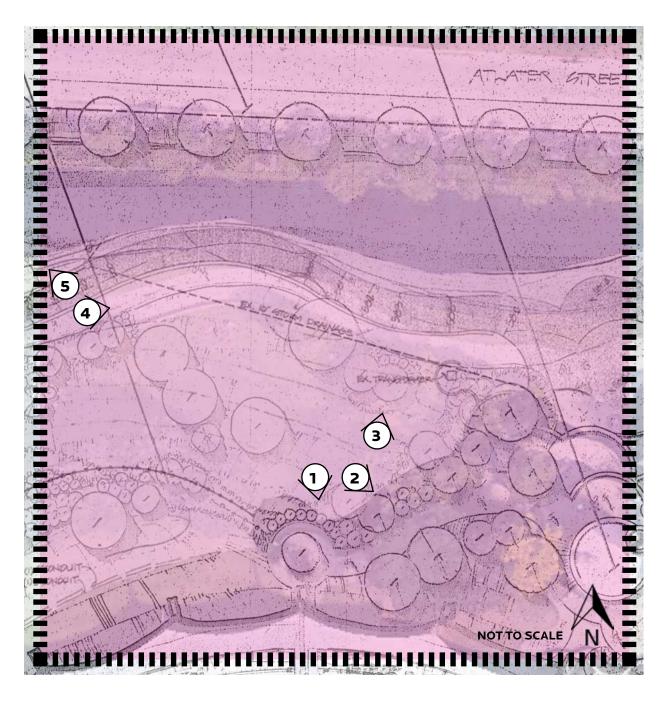
Prune suckers of ornamental tree, remove unhealthy Redbud tree and replace with same species. Consider pruning the Burning Bush shrubs or replace with noninvasive species





Shrubs are overgrown, prune back to reduce size; especially the shrub growing into the sidewalk







Pear tree in fair condition; prune suckers. Remove pear tree stump and suckers, remove weeds, and prune yew shrubs. Reset landscape edging and add topsoil and mulch



Remove stump and reseed



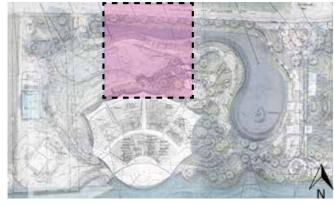
Shrubs are overgrown, prune to reduce size. Remove invasive honeysuckle in these beds. Reset landscape edging, add topsoil and mulch. Prune lower limbs of Pear Trees, and prune suckers from Hawthorn Trees

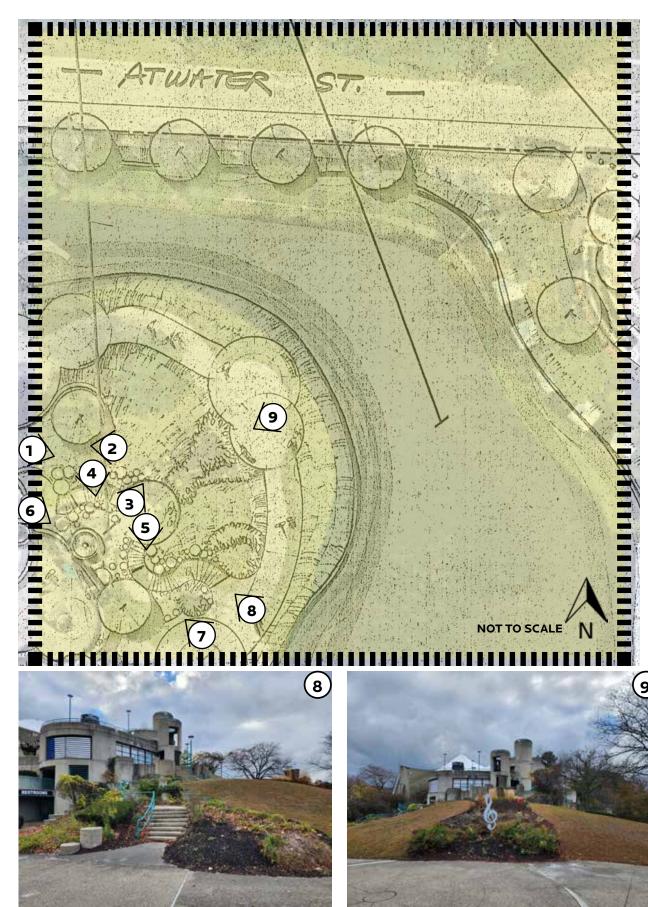


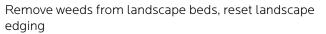
Remove stump and reseed



Remove (1) Redbud Tree. Replace with same species. Prune shrubs in this bed to reduce size. Add topsoil and mulch to bed







Remove weeds from landscape beds, reset landscape edging



Prune branches of ornamental tree that are against wall, and prune suckers. Add mulch for aesthetics



(1) Honeylocust tree and ornamental tree in planter are in good condition. Reset landscape edging, remove weeds from planing beds, add landscape fabric, topsoil, mulch, and ground cover. Reseed grass area leading up to sidewalk



Remove invasive euonymous vines, replace with noninvasive, native ground cover. Trim English Ivy back, and reseed lawn area where needed



add landscape fabric, topsoil, and mulch. Plant new shrubs such as Juniper or Hydrangea





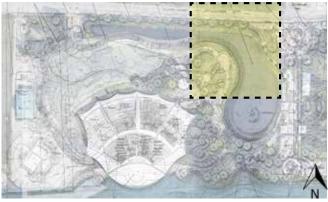
Remove herbaceous weeds, add new mulch where it is necessary

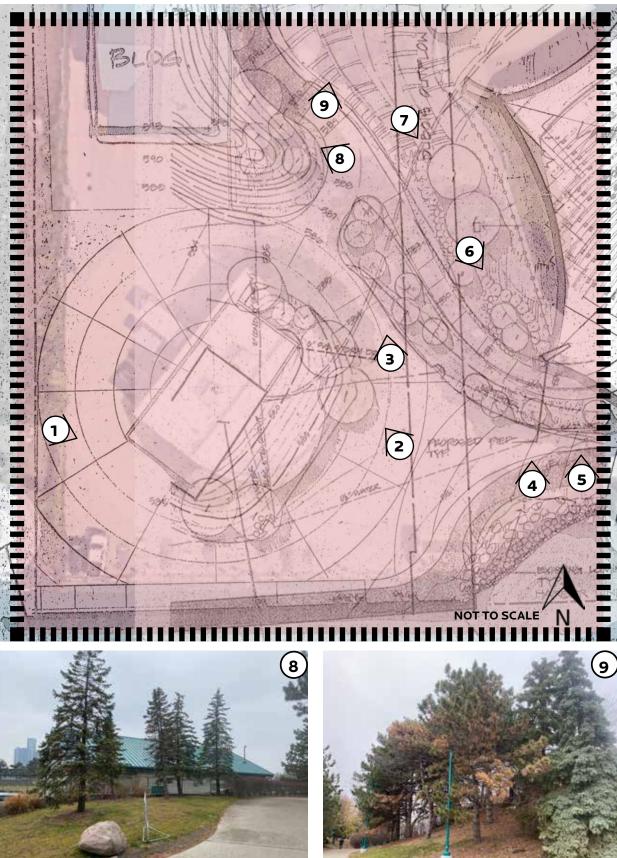


Add evergreen shrubs such as juniper to match planters under pavilion



Reset landscape edging, clean up landscape beds, remove euonymous vines, and reseed lawn where necessary







Fill landscape area with topsoil and reseed. Prune Honeylocust branches away from building



Fill landscape area with topsoil and reseed. Prune honeylocust branches away from building



(3) Austrian Pines are in fair condition; prune dead limbs. Consider removing overgrown shrubs and replacing with perennials or new shrubs. Grind stump, re-install landscape edging and remove grass from planter bed



Plant shrubs in bare landscape bed; consider juniper. Stones can be used throughout area as outcropping



Austrian Pine trees. Reinstall landscape edging and add topsoil with ground cover or perennials



(5) Colorado Blue Spruce trees are in poor condition. Consider removing and replacing with Norway Spruce or approved variety. Opportunity to use new spruce to screen building and parking area



in poor condition. Area may be cleared for future building. If trees remain, prune dead limbs. Remove invasive white mulberry. Red Maple at north end of stand to remain



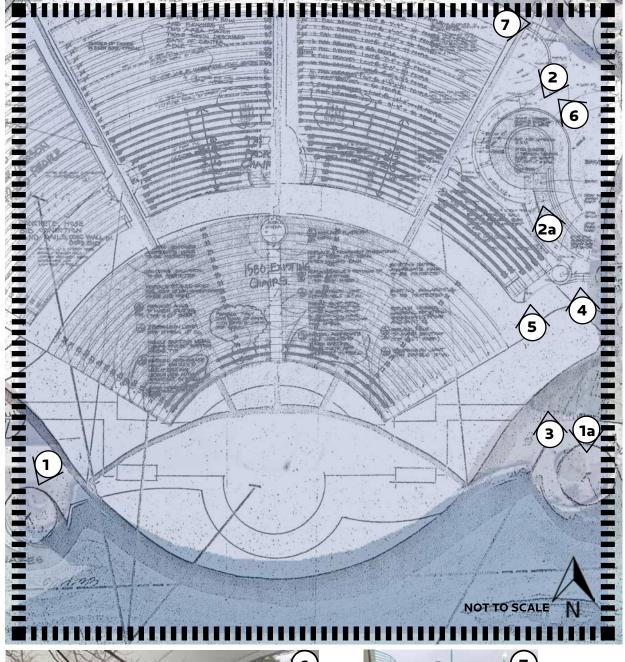
(5) Austrian Pines are in good condition, though overgrown and block views of the river from pavilion seating. If removed, provide large massings of shrubs such as oak leaf hydrangea along with perennial plantings near drive



Remove (2) invasive boxelder trees, prune suckers of (3) crabapples and prune dead branches on (3) Austrian Pine trees. Reinstall landscape edging and add topsoil with ground cover or perennials



LOCATION MAP





Add new White Fir tree to match planter on east side of pavilion



plant same species and size

in planter to the west of the

pavilion



Prude dead limbs in canopy of Red Oak tree, see picture to the right for reference



Define planting bed edge with metal landscape edging; provide plant material in bed



Burning Bush in good condition, though overgrown. It is considered invasive and should be replaced with a native variety. If it is kept, consider pruning when dormant to reduce size



English Ivy is overgrown, prune back to reveal seatwall



Remove grass from bed, plant new juniper shrubs and add mulch.



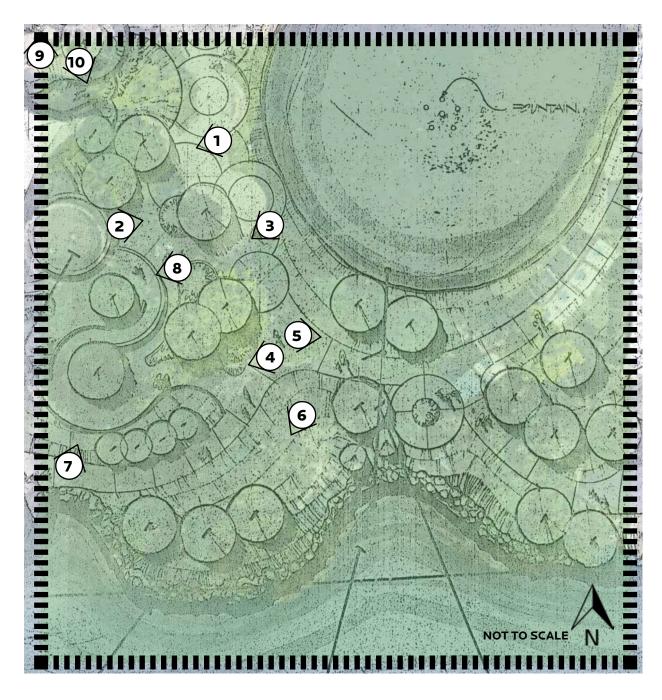
Oak trees should be pruned when dormant, this images identifies a dead leader



This photo shows more dead limbs that should be pruned

Juniper shrubs in good condition







(2) Norway Maple trees and yew shrubs in good condition. Deciduous shrubs are overgrown, consider pruning back to reduce size. Also consider resetting the landscape edging



(2) Crabapple trees under Pear tree are suppressed and in poor health. Recommend removing Pear tree limbs that overhang the sidewalk and crabapples, or removing crabapples and replacing with a row of shrubs



Yew shrubs are in poor condition; it is recommended to remove stunted shrubs and replace with similar variety. Deciduous shrub is in good condition but overgrown; consider pruning back to reduce size



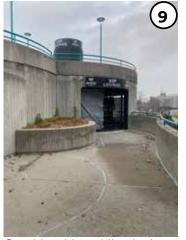
(1) Honeylocust (left) in good condition. (1) Scotch Pine (Right) in fair condition, prune any dieback. (2) Hydrangea shrubs along walk in good condition; consider planting more to form an attractive border along walk



(1) Scotch Pine in poor condition from suppression. Consider removing and replacing with ornamental tree that is tolerant to shade. Reseed lawn area. Other trees south of walk are in good condition



(1) Honeylocust in good condition



Consider sider adding juniper shrubs and mulch



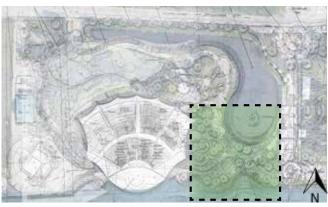
Shrubs vastly overgrown, prune back significantly to reduce size

Red Oak

(2) Red Oaks and (1) Pear Tree in fair condition due to interior competition; prune dead limbs. Yew shrubs in good condition, though several are dead and need replacement. Deciduous shrubs in good condition but overgrown; consider pruning to reduce size



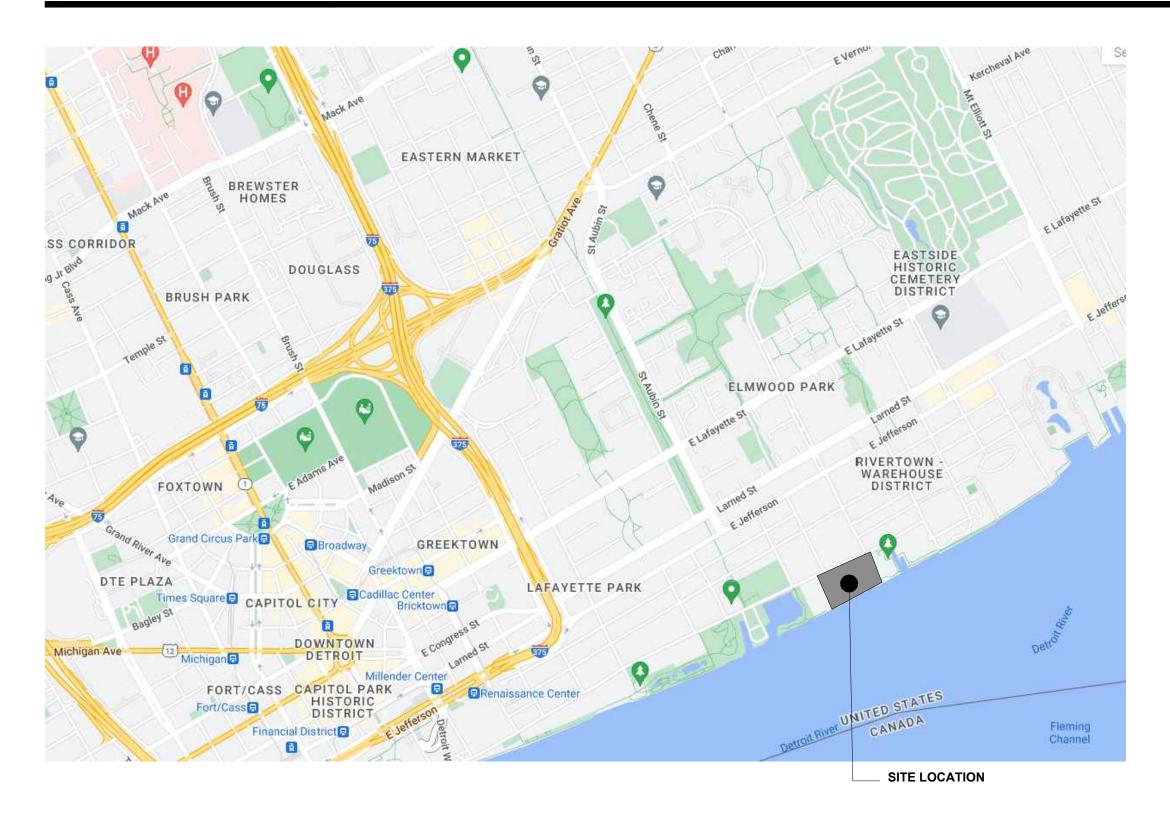
(1) American Beech and Yew shrubs are in good condition



# AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

## 2600 ATWATER ST., DETROIT MI, MICHIGAN 48207 HDC SUBMISSION - 13 FEBRUARY 2023

LOCATION MAP:



HAMILTON ANDERSON PROJECT NUMBER: 2022022.01

HamiltonAnderson architecture landscape architecture urban design

> Hamilton Anderson Associates, Inc 1435 Randolph Suite 200 Detroit, Michigan 48226 p 313 964 0270 f 313 964 0170 www.hamilton-anderson.com

SITE MAP:



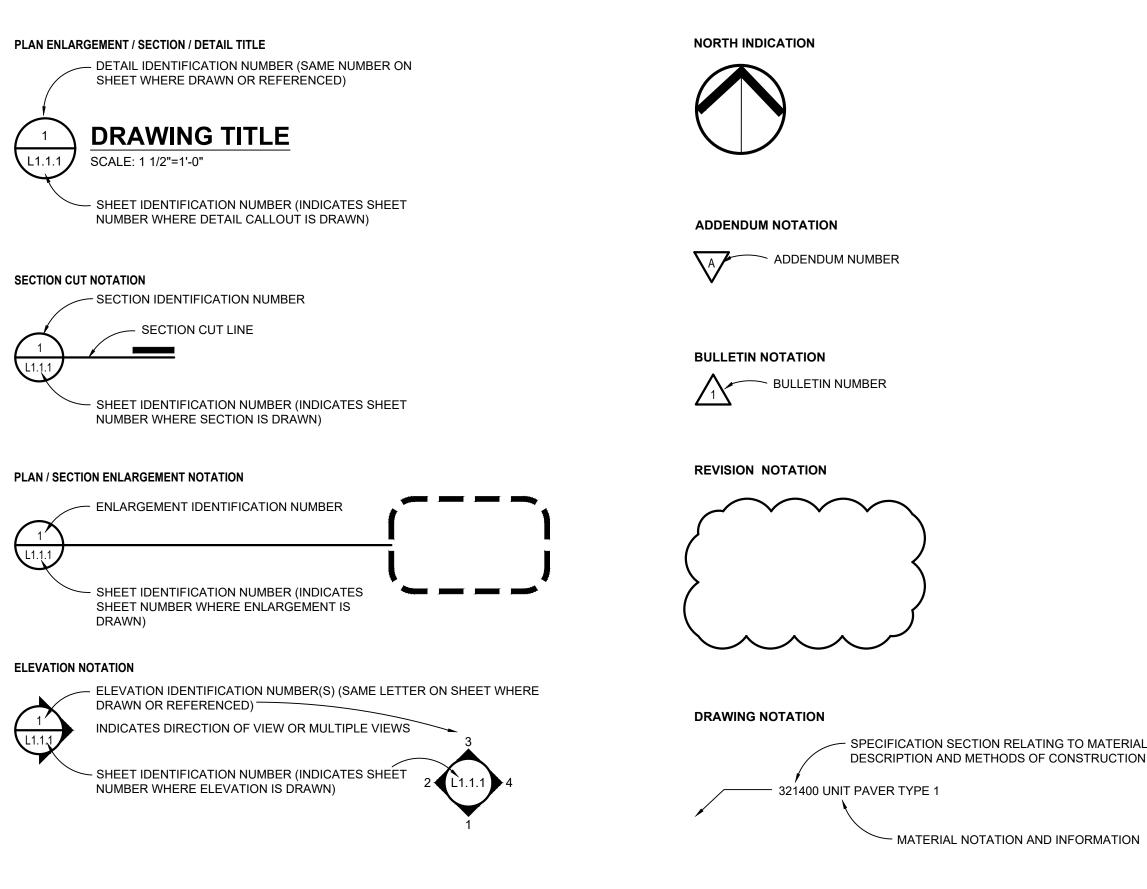


DRAWING INDEX:

SHEET #	SHEET DESCRIPTION	SHEET ISSUE DESCRIPTION	SHEET ISSUE DATE
CS.1	COVER SHEET	HDC SUBMISSION	02/13/2023
1440			00/40/0000
L1.1.0	GENERAL NOTES		02/13/2023
L1.1.1	SPECIFICATIONS	HDC SUBMISSION	02/13/2023
LD1.1.1	SITE DEMOLITION PLAN	HDC SUBMISSION	02/13/2023
L6.1.0	PLANTING PLAN - OVERALL	HDC SUBMISSION	02/13/2023
L6.1.1	PLANTING PLAN - ENLARGED	HDC SUBMISSION	02/13/2023
L6.1.2	PLANTING PLAN - ENLARGED	HDC SUBMISSION	02/13/2023
L9.1.1	PLANTING DETAILS	HDC SUBMISSION	02/13/2023

NOTFORCONSTRUCTION

## SYMBOLS LEGEND



DIMENSION LINE NOTATION

4'-11<sup>1</sup>/<sub>2</sub>"

NOTE: DO NOT SCALE DRAWINGS

NOTE: THIS LIST DEFINES THE TYPICAL NOTATION FORMAT, THOUGH NOTATIONS WITHIN DRAWINGS MAY DIFFER FROM NOTATIONS INCLUDED ABOVE. CONTRACTOR TO CLARIFY ANYTHING UNCLEAR WITH LANDSCAPE ARCHITECT. ANY NOTATION THAT IS UNCLEAR AND NOT INCLUDED WITHIN THIS LIST SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

## **GENERAL NOTES**

- 1. THE DRAWINGS AND SPECIFICATIONS DESCRIBE IN GENERAL THE QUALITY AND CHARACTER OF THE MATERIALS, SHAPE AND CONFIGURATION OF IMPROVEMENTS AND THE DESIGN INTENT OF THE COMPLETED, INSTALLED WORK OF THIS SPECIFIC PROJECT AND ONLY THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION COORDINATION, EQUIPMENT, METHODS AND MATERIALS REQUIRED FOR SUCCESSFUL COMPLETION OF THE PROJECT, WHETHER OR NOT MENTIONED IN THE SPECIFICATIONS OR SHOWN IN THE DRAWINGS. THIS INCLUDES BUT IS NOT LIMITED TO THE QUALITY OF WORKMANSHIP AND MATERIALS REQUIRED FOR EXECUTION OF THESE DOCUMENTS AND ALL WORK OR MATERIALS SUPPLIED BY ANY SUBCONTRACTORS.
- 2. CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND UNDERSTANDING CONTRACT DOCUMENTS FOR THE PROJECT, INCLUDING BUT NOT LIMITED TO THE PROJECT MANUAL AND PROJECT DRAWINGS. PROJECT MANUAL CONTAINS MATERIAL DESCRIPTIONS AND DETAILED INSTRUCTION NOT INCLUDED IN THE DRAWINGS. CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS.
- 3. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- 4. CONTRACTOR SHALL PROTECT EXISTING FACILITIES FROM DAMAGE. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED IN KIND AT NO ADDITIONAL COST TO THE OWNER. BARRICADES, SIGNS, LIGHTS, ETC., REQUIRED FOR THE PROTECTION OF PUBLIC, PERSONNEL, PROPERTY AND MATERIAL SHALL BE PROVIDED FOR AND MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR AND SHALL CONFORM TO ALL GOVERNING CODES, ORDINANCES AND REGULATIONS.
- 5. CONTRACTOR SHALL PROVIDE ALL TOOLS, TRANSPORTATION, UTILITIES, TEMPORARY FACILITIES, AND OTHER SERVICES AS NECESSARY FOR PROPER EXECUTION OF THE WORK, AND SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF THESE ELEMENTS DURING CONSTRUCTION, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IN ADVANCE FOR APPROVAL OF THE MATERIAL STORAGE AREA AT THE JOB SITE.
- 6. CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE, AND OTHER IMPROVEMENT WITH A SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALKS, GRADING, ETC. AND TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPE, LOW SPOTS, OR HAZARDOUS CONDITIONS.
- SPECIFICATION SECTION RELATING TO MATERIAL DESCRIPTION AND METHODS OF CONSTRUCTION
- 7. ALL EXISTING UTILITIES AND UTILITY COVERS SHALL BE PROTECTED UNLESS NOTED OTHERWISE ON THE DRAWINGS. PROVIDE ADEQUATE COVER FOR THE PROTECTION OF ALL PROPOSED AND EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY DIFFERENCES IN LOCATIONS OF EXISTING UTILITIES FROM THAT SHOWN, OR ANY CONFLICTS WITH THE DESIGN BEFORE CONTINUING WORK IN THAT AREA.
- 8. ALL EXISTING TREES SHALL BE PROTECTED UNLESS NOTED OTHERWISE IN DRAWINGS. PROVIDE TREE PROTECTION FENCING AS SHOWN IN THE DRAWINGS AND DESCRIBED IN SPECIFICATIONS. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DIFFERENCES IN LOCATIONS OF EXISTING TREES AND VEGETATION FROM THAT SHOWN, OR ANY CONFLICTS WITH THE DESIGN BEFORE CONTINUING WORK IN THAT AREA.
- 9. ANY REVISIONS OR ADDITIONAL WORK REQUIRED AS A RESULT OF FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, WORK PERFORMED BY THE CONTRACTOR WITHOUT WRITTEN AUTHORIZATION SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR WHO SHALL BEAR ALL COSTS ATTRIBUTABLE THERETO. ANY AND ALL REVISIONS SHALL BE IN WRITTEN CHANGE ORDER FORM AND APPROVED AND AUTHORIZED BY THE OWNER BEFORE BEGINNING WORK.

## TABLE OF ABBREVIATIONS

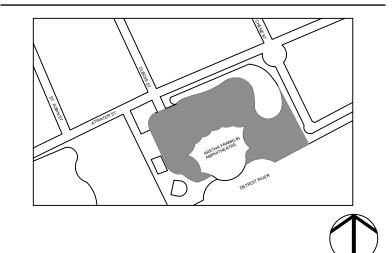
APPROX	APPROXIMATE
-	-
ARCH	ARCHITECT
AVG	AVERAGE
B&B	BALLED AND BURLAPPED
	-
BC	BOTTOM OF CURB
BLDG	BUILDING
BM	BENCHMARK
	-
BOC	BACK OF CURB
BR	BOTTOM OF RAMP
BS	BOTTOM OF STAIR
BW	BOTTOM OF WALL
BYD	BEYOND
CAL	CALIPER
-	-
CB	CATCH BASIN
CF	CUBIC FEET
CIP	CAST IN PLACE
-	
CL	CENTERLINE
CLR	CLEARANCE
CM	CENTIMETER
	-
CO	CLEAN OUT
CONC	CONCRETE
CONT	CONTINUOUS
CY	CUBIC YARD
DEG	DEGREE
DEMO	DEMOLISH, DEMOLITION
-	
DIA	DIAMETER
DIM	DIMENSION
DTL	DETAIL
DWG	DRAWING
E	EAST
EA	EACH
	-
EL	ELEVATION
ENG	ENGINEER
EQ	EQUAL, EQUIDISTANT
EST	ESTIMATE
E.W.	EACH WAY
EXIST	EXISTING
EXP	EXPANSION, EXPOSED
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
	-
FL	FLOW LINE
FOC	FACE OF CURB
FT	FOOT, FEET
FTG	FOOTING
GA	GAUGE
GEN	GENERAL
GR	
-	GRADE ELEVATION
HORIZ	HORIZONTAL
HP	HIGH POINT
HT	HEIGHT
	-
ID	INSIDE DIAMETER
INV	INVERT ELEVATION
IN	INCHES
	-
INCL	INCLUDE(D)
JT	JOINT
LF	LINEAR FEET
LP	LOW POINT
MANUF	MANUFACTURER
MAX	MAXIMUM
	-
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS

NOTE: LIST IS NON-EXHAUSTIVE. ANY NOTATION THAT IS UNCLEAR AND NOT INCLUDED WITHIN THIS LIST SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

#### HamiltonAnderson architecture landscape architecture urban desig

Hamilton Anderson Associates, Inc 1435 Randolph Suite 200 Detroit, Michigan 48226 p 313 964 0270 f 313 964 0170 www.hamilton-anderson.com

City of Detroit GSD 115 Erksine St. Detroit, MI 48201



NORTH

NUMBER

NOMINAL

PAVING

QUANTITY

REFERENCE

REQUIRED

SANITARY

SHEET

SIMILAR

STATION

THICK

STANDARD

SYMMETRICAL

TOP OF CURB

TOPOGRAPHY TOP OF RAMP

TOP OF STEP

TOP OF WALL

TYPICAL

VARIES

VOLUME

WITHOUT

WATER LEVEL

WELDED WIRE FABRIC

WEIGHT

WITH

YARD

AT

TOP AND BOTTOM

TOP OF FOOTING

REINFORCED(D)

RIGHT OF WAY SOUTH

STORM DRAIN

SPECIFICATIONS

STORM SEWER

SQUARE YARDS

**REVISION, REVISED** 

SQUARE FOOT (FEET)

RADIUS

NOT TO SCALE

ON CENTER

NIC

NO

NOM

NTS

OC

OD

OPCI

PAV

PC

PE

PT

PVC

QTY

REF

REINF

REQ'D

REV

ROW

SAN

SD

SF SHT

SIM

ST

SY

STA

STD

SYM

T&B

TF

TH

TOPO

TR

ΤW

TYP

VAR

VOL

W/O

W/

WΤ

WL

WWF

YD

ΤS

SPECS

S

R

NOT IN CONTRACT

OUTSIDE DIAMETER

POINT OF CURVATURE

POLYVINYL CHLORIDE

POINT OF INTERSECTION PROPERTY LINE POINT OF TANGENCY

POLYURETHANE

OWNER PROVIDED, CONTRACTOR INSTALLED

HDC SUBMISSION

Project

02-13-2023

## AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

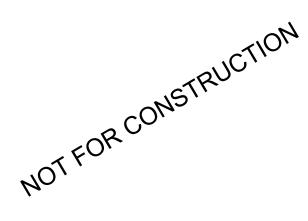
Drawing Title **GENERAL NOTES** 

#### Project Number: 2020022.01

Approved By: MC Drawn By: NC

Scale:

Seal:



Signature:

Drawing No:

L1.1.0

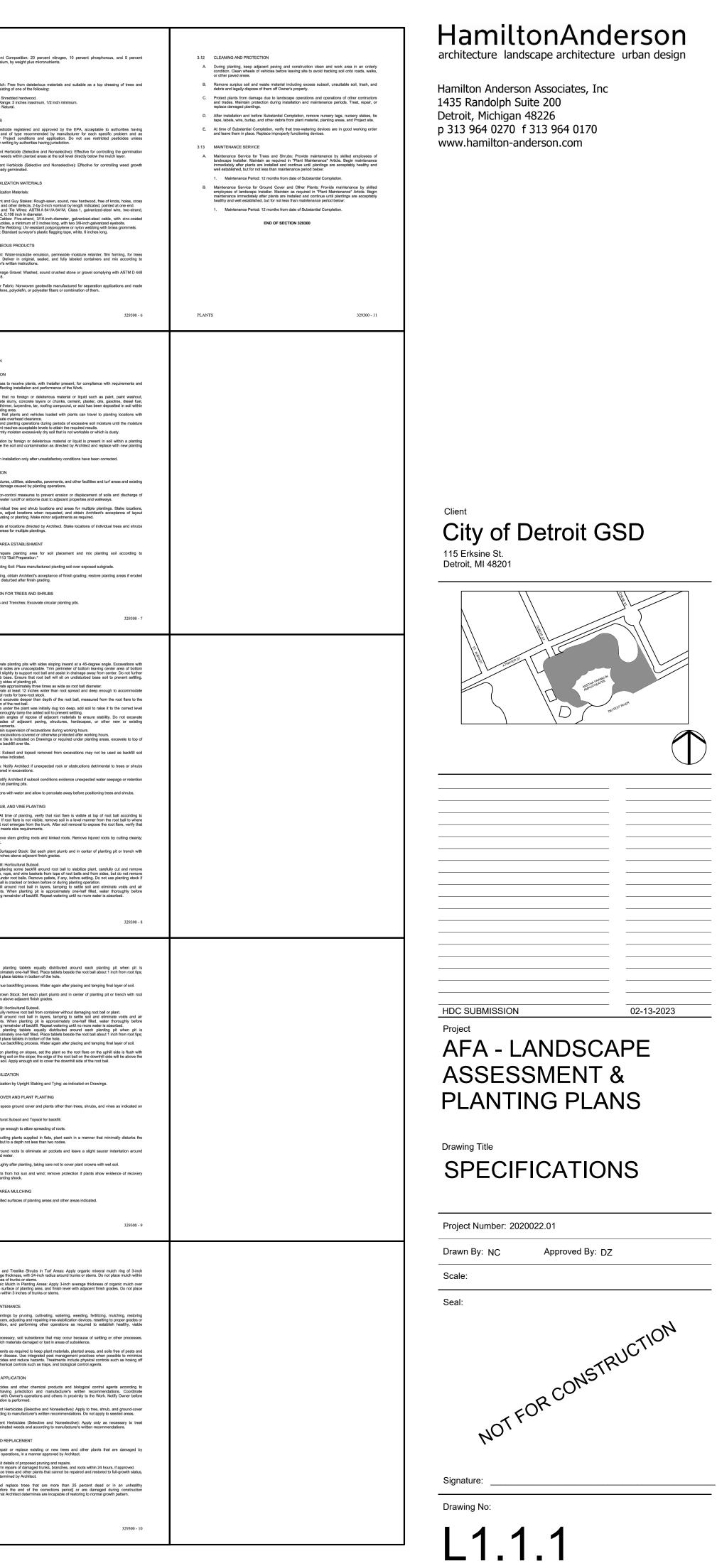


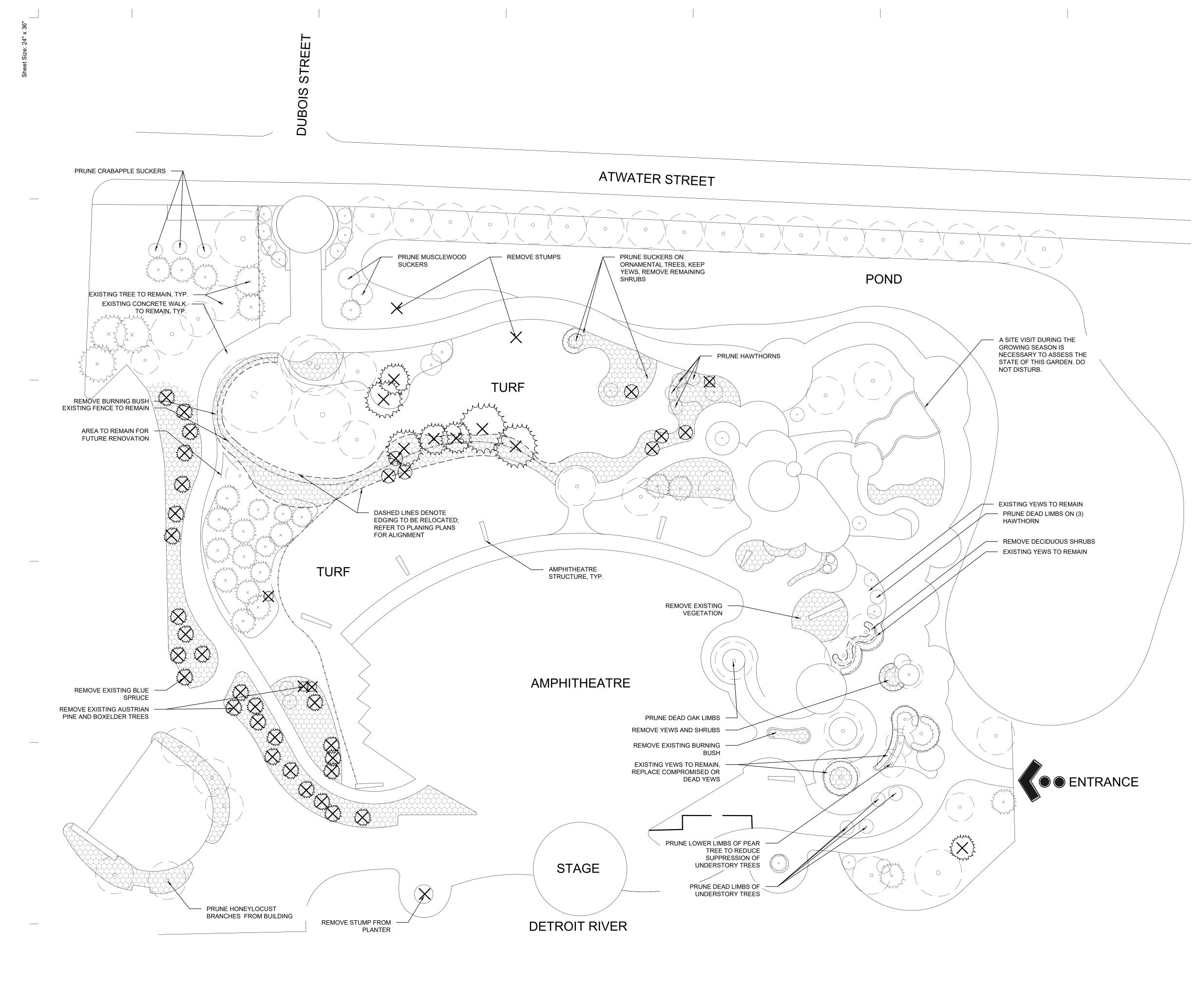
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<ul> <li>P. Surface Soil: Soil that is present at the top layer of the existing soil profile. In undisturbed areas, surface soil can be subsoil.</li> <li>Q. USCC: U.S. Composting Council.</li> <li>1.4 SUBMITTALS</li> <li>A. Submittals to be made in accordance with Section 013300 "Submittal Procedures".</li> <li>B. Product Data: For each type of product.</li> <li>1. Include test data substantiating that products complex markets.</li> <li>3. Include test data substantiating that products complex markets.</li> <li>4. Material Certificates: For each type of analyses for aggregate materials.</li> <li>4. Material Certificates: For each type of all amendment and fertilizer before delivery to the site, according to the following:</li> <li>a. Manufacturer's qualified testing agency's certified analysis of standard products.</li> <li>b. Analysis of fortilizers, by a qualified testing agency, made according to AAPFCO methods for testing and labeling and according to AAPFCO methods.</li> <li>c. Analysis of nonstantand materials, by a qualified testing agency, made according to ASPFCO</li> <li>c. Analysis of nonstantand materials, by a qualified testing agency.</li> <li>c. Qualification Data: For each type agency.</li> </ul>	<ul> <li>C. Proceed with placement only after unsatisfactory conditions have been corrected.</li> <li>3.2 PREPARATION OF UNAMENDED, ON-SITE SOIL BEFORE AMENDING</li> <li>A. Excavation: Excavate soil from designated area(s) to a depth of 6 inches and stockpile until amended.</li> <li>B. Unacceptable Materials: Clean soil of concrete slurry, concrete layers or chunks, cement, plaster, building debris, oils, gasoline, dissel fuel, paint thinner, tupentine, tar, roofing compound, acid, and other extraneous materials that are harmful to plant growth.</li> <li>C. Unsuitable Materials: Clean soil to contain a maximum of 8 percent by dry weight of stones, roots, plants, sod, clay lumps, and pockets of coarse sand.</li> <li>3.3 PLACING AND MIXING PLANTING SOIL OVER EXPOSED SUBGRADE</li> <li>A. General: Apply and mix unamended soil with amendments on-site to produce required planting soil. Do not apply materials or till if existing soil or subgrade is frozen, muddy, or excessively wet.</li> <li>B. Subgrade Preparation: Till subgrade to a minimum depth of 6 inches. Remove stones larger than 2 inches in any dimension and stocks, roots, rubbish, and other extraneous matter and legally dispose of them off Owner's property.</li> </ul>
C. Guainization Data. For each sening agency.     C. Guainization Data. For exercising agency.     C. Laboratories: Subject to compliance with requirements, provide testing by the following:     C. Environmental/Hazardous Metals Testing:     C. University Laboratories, 22530 Heslip Drive, Novi, MI 4837, 248-615-8000 (support@universitylaboratories.com)     SOIL PREPARATION 328113-2	<ol> <li>Apply, add soil amendments, and mix approximately half the thickness of unamended soil over prepared, loosened subgrade according to "Mking" Paragraph below. Mix thoroughly into text of inches duramender of planting soil.</li> <li>Mking: Spread unamended soil to total depth of 6 inches, but not less than required to meet finish grades after mixing with amendments and natural settlement. Do not spread if soil or subgrade is focen, muddy, or excessively wet.</li> <li>Amendments: Apply soil amendments and fertilizer, if required, evenly on surface, and thoroughly then with unamended soil to produce planting soil.</li> <li>Mix fertilizer with planting soil no more than seven days before planting.</li> <li>Lifts: Apply and mix unamended soil and amendments in fits not exceeding linches in loose depth for material compacted by hand-operated tampers.</li> <li>SOIL PREPARATION</li> </ol>
<ul> <li>e) Or Approved Equal.</li> <li>b. Soli Physical Testing: <ol> <li>Soli Physical Testing:</li> <li>Soli Partial de Soli Diagnostice, 35 King Street, Trumansburg, NY 14886, 855-769-4231 (<u>ala88turitian.com</u>).</li> <li>Or Approved Equal</li> <li>Soli Partility Testing</li> <li>CLC Labs, 325 Venture Drive, Lewis Center, OH 43035, 614-888-1683 (clabs@gaol.com)</li> </ol> </li> <li>15. PRECONSTRUCTION TESTING</li> <li>A Preconstruction Testing Service: Engage a qualified testing agency to perform preconstruction soli analyses on existing, on-site sol.</li> <li>Notify Architect seven days in advance of the dates and times when laboratory samples will be taken.</li> <li>Preconstruction Soli Analyses: For each unamended soil type, perform testing aro soli samples and furnish soli analyses and a written report containing soli-amendment and fertilizer recommendations by a qualified testing agency performing the testing according to "Soli-Samping Requirements" and "Testing Requirements" articles.</li> <li>Preconstruction Soli Analyses: For each unamended soil type, perform testing aro soli samples and furnish soli analysis and a written report containing soli-amendment and fertilizer recommendations by a qualified testing agency forming the testing according to "Soli-Samping Requirements" and "Testing Requirements" articles.</li> <li>Have testing agency identify and label samples and test reports according to "Soli-Samping Requirements" and "testing agency.</li> <li>Mercents tructor soli samples according to requirements in this article.</li> <li>Sample Collection and Labeling: Have samples taken and labeled by Contractor in presence of Architect under the direction of the testing agency.</li> <li>Division of Samples: Shift each sample in two, equal parts. Send half to the testing agency to each sample in the samples from varied locations for each sail to be used or annehed for landscaping purpose.</li> <li>Division of Samples: Shift each sample with the date, location keyed to a site plan or other location system</li></ul>	<ol> <li>Compaction: Compact each blended lift of planting soil to 75 to 82 percent of maximum standard Proctor density according to ASTM D 698 and tested in-place.</li> <li>Finish Grading: Grade planting soil to a smooth, uniform surface plane with loose, uniformly fine texture. Roll and rake, remove ridges, and fill depressions to meel finish grades.</li> <li>PROTECTION</li> <li>Protection Zone: Identify protection zones according to Section 015639 "Temporary Tree and Plant Protection."</li> <li>Protect areas of in-place soil from additional compaction, disturbance, and contamination. Prohibit the following practices within these areas except as required to perform planting operations:</li> <li>Strage of construction materials, debris, or excavated material.</li> <li>Vehide traffice:</li> <li>Terection of sheds or structure.</li> <li>Teroit raffice:</li> <li>Te</li></ol>
B. Physical Testing: SOIL PREPARATION 329113 - 3	SOIL PREPARATION 329113 - 8
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2018 Hamilton Anderson Assoc., Inc

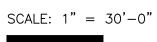
	2 Kara kalamilik aliki anna dalamidal and kana fara andra aliki alika alami
SECTION 329200 - TURF AND GRASSES	<ol> <li>Keep hydromulch within areas designated and keep from contact with other plant material.</li> <li>Slurry mixture which has not been applied within four (4) hours of mixing shall not be used and shall be removed from the site.</li> </ol>
1.1 RELATED DOCUMENTS	<ol> <li>After application, the Contractor shall not operate any equipment over the covered area.</li> <li>Immediately after application, thoroughly wash off any plant material, planting areas, or</li> </ol>
A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.	<ul> <li>paved areas not intended to receive slurry mix. Keep all paved and planting areas clean during maintenance operations.</li> </ul>
1.2 SUMMARY A. Section includes:	3.6 All areas designed on drawings shall be covered uniformly with specified materials using hydromuching processes. If surfaces remain uncovered within the designated area, the Contractor shall seed with required grasses or ground cover materials those areas missed by the hydromuchi application. Nethod used to seed these missed surfaces shall be an alternate
1. Sodding. 2. Hydromulching.	the high management of the second state of the
3. Turf renovation.	3.7 TURF RENOVATION A. Renovate existing turf where indicated.
1.3 DEFINITIONS     A. Finish Grade: Elevation of finished surface of planting soil.	B. Renovate turf damaged by Contractor's operations, such as storage of materials or equipment and movement of vehicles.
B. Pesticida: A substance or mixture intended for preventing, destroying, regelling, or mitigating a post. Pesticides include insectides, miticides, herbicides, Individeis, and molluscicides. They also include substances or mixtures intended for use as a plant regulator, defoliant, or desiccant.	<ol> <li>Reestabilish turf where settlement or washouts occur or where minor regrading is required.</li> <li>Install new planting soil as required.</li> </ol>
C. Pests: Living organisms that occur where they are not desired or that cause damage to plants, animals, or people. Pests include insects, miltes, grubs, mollusks (snails and slugs), rodents	<ul> <li>Remove sod and vegetation from diseased or unsatisfactory turf areas; do not bury in soil.</li> <li>Remove topsoil containing foreign materials, such as oil drippings, tuel spills, stones, gravel, and other construction materials resulting from Contractor's operations, and replace with new</li> </ul>
(gophers, moles, and mice), unwanted plants (weeds), fungi, bacteria, and viruses. D. Planting Soli: Existing, on-site soli; imported soli; or manufactured soli that has been modified with soli amendments and perhaps fertilizers to produce a soli mixture best for plant growth.	and the domatical materials resulting from Contractor's operations, and repace with new planting soli. E. Mow, dethatch, core aerate, and rake existing turf.
See Section 329113 "Soil Preparation" and drawing designations for planting soils. E. Subgrade: The surface or elevation of subsoil remaining after excavation is complete, or the top surface of a fli or backfill before planting soil is placed.	F. Remove weeds before seeding. Where weeds are extensive, apply selective herbicides as required. Do not use pre-emergence herbicides.
1.4 SUBMITTALS	<ul> <li>Remove waste and foreign materials, including weeds, soil cores, grass, vegetation, and turf, and legally dispose of them off Owner's property.</li> <li>Till stripped, bare, and compacted areas thoroughly to a soil depth of 6 inches.</li> </ul>
A. Submittals to be made in accordance with Section 013300 "Submittal Procedures".     B. Qualification Data: For landscape Installer.	<ol> <li>Apply intersepting the engineer of an establishing new turf and mix thoroughly into top 4 inches of existing soil. Install new planting soil to fill low spots and meet finish grades.</li> </ol>
C. Certification of Grass Seed: From seed vendor for each grass-seed monostand or mixture, stating the botanical and common name, parcentage by weight of each species and variety, and percentage of purity, germination, and weat seed. Include the year of production and date of	<ul> <li>J. Apply seed and hydromulch as required for new turf.</li> <li>K. Water newly planted areas and keep moist until new turf is established.</li> </ul>
packaging. TURF AND GRASSES 329200 - 1	TURF AND GRASSES \$29200 - 6
D. Product Certificates: For fertilizers, from manufacturer. E. Pesticides and Herbicides: Product label and manufacturer's application instructions specific to	C. Erect temporary fencing or barricades and warning signs as required to protect newly planted areas from traffic. Maintain fencing and barricades throughout initial maintenance period and remove after planting are established.
Project.	D. Remove nondegradable erosion-control measures after grass establishment period.
<ol> <li>CLOSEOUT SUBMITTALS</li> <li>Maintenance Data: Recommended procedures to be established by Owner for maintenance of turf during a calendar year. Submit before expiration of required maintenance periods.</li> </ol>	3.11 MAINTENANCE SERVICE A. Turf Maintenance Service: Provide full maintenance by skilled employees of landscape Installer.
1.6 QUALITY ASSURANCE	Maintain as required in "Turf Maintenance" Article. Begin maintenance immediately after each area is planted and continue until acceptable turf is established, but for not less than the following periods:
A. Installer Qualifications: A qualified landscape installer whose work has resulted in successful turf establishment.     1. Professional Membership: Installer shall be a member in good standing of the Michigan	Sodded Turf: 30 days from date of Substantial Completion.     END OF SECTION 329200
<ol> <li>Trotestation methods by an analysis share be a memory in good seminary or the mixing an Green Industry Association.</li> <li>Installer's Field Supervision: Require Installer to maintain an experienced full-time supervision Project site when work is in progress.</li> </ol>	
<ol> <li>Pesticide Applicator: State licensed, commercial.</li> <li>Warranty: The Contractor shall and hereby does warranty that all work in this section shall be</li> </ol>	
free from defects of materials and workmanship, and that turf areas meet a green uniform standard of appearance, until the Contractor has maintained the burif from substantial completion through three mowings. The Contractor shall correct any imperfect work whenever discovered until termination of warranty to obligations. Whene the work is accepted in part, the warranty	
periods extend from each partial acceptance to the terminal date of the last warranty period. Thus all turf warranty periods terminate on the same date.	
<ol> <li>DELIVERY, STORAGE, AND HANDLING</li> <li>A. Seed and Other Packaged Materials: Deliver packaged materials in original, unopaned containers showing weight certified apalesis, page, and address of manufacturer, and</li> </ol>	
containers showing weight, certified analysis, name and address of manufacturer, and indication of compliance with state and Federal takes, as applicable. B. Sod: Harvest, deliver, store, and handle sod according to requirements in "Specifications for	
Turdrass Sod Materials* and "Specifications for Turdrass Sod Transplanting and Installation" sections in TP's "Guideline Specifications to Turdrass Sodding." Deliver sod within 24 hours of harvesting and in time for planting promptly. Protect sod from breakage and drying.	
C. Bulk Materials:     Do not dump or store bulk materials near structures, utilities, walkways and pavements, or on existing turf areas or plants.	
<ol> <li>Provide erosion-control measures to prevent erosion or displacement of bulk materials; discharge of soil-bearing water runoff; and airborne dust reaching adjacent properties, water conveyance systems, or walkways.</li> </ol>	
<ol> <li>Accompany each delivery of bulk materials with appropriate certificates.</li> </ol>	
TURF AND GRASSES 329200 - 2	TURF AND GRASSES 329200 - 8
1.8 FIELD CONDITIONS	
A. Planting Restrictions: Plant during one of the following periods. Coordinate planting periods with initial maintenance periods to provide required maintenance from date of Substantial Completion.	
Spring Planting: April 1 through June 30.     Fall Planting: August 15 to October 31.     Weather Limitations: Proceed with planting only when existing and forecasted weather	
b. vesatiler Limitations: Proceed with paining only when existing and indecased weather conditions permit planting to be performed when beneficial and optimum results may be obtained. Apply products during favorable weather conditions according to manufacturer's written instructions.	
PART 2 - PRODUCTS	
2.1 TURFGRASS SOD A. Turfgrass Sod: Certified, complying with "Specifications for Turfgrass Sod Materials" in TPI's	
"Guideline Specifications to Turgrass Sodding." Furnish viable sod of uniform density, color, and texture that is strongly rooted and capable of vigorous growth and development when planted.	
<ol> <li>Turfgrass Species: Society of grass species as follows, with not less than 85 percent germination, not less than 95 percent pure seed, and not more than 0.5 percent weed seed:</li> </ol>	
full Sun: Kentucky bluegrass (Poa pratensis), a minimum of three cultivars.     Sun and Partial Shade: Proportioned by weight as follows:     a. 50 percent Kentucky bluegrass (Poa pratensis).	
b. 30 percent chewings red fescue (Festuca rubra variety).     c. 10 percent percential regranse (Lolium perenne).     d. 10 percent redtop (Agrostis alba).	
2.2 FERTILIZERS	
A. Commercial Fertilizer: Commercial-grade complete fertilizer of neutral character, consisting of fast- and slow-release nitrogen, 50 percent derived from natural organic sources of urea	
formaldehyde, phosphorous, and potassium in the following composition:	
formaldehyde, phosphorous, and potassium in the following composition: 1. Composition: Nitrogen, phosphorous, and potassium in amounts recommended in soil reports from a qualified soil-testing laboratory. 2.3 MULCHES A. Fiber Mulch: Biodegradable, dyed-wood, cellulose-fiber mulch; nontoxic and free of plant-growth	
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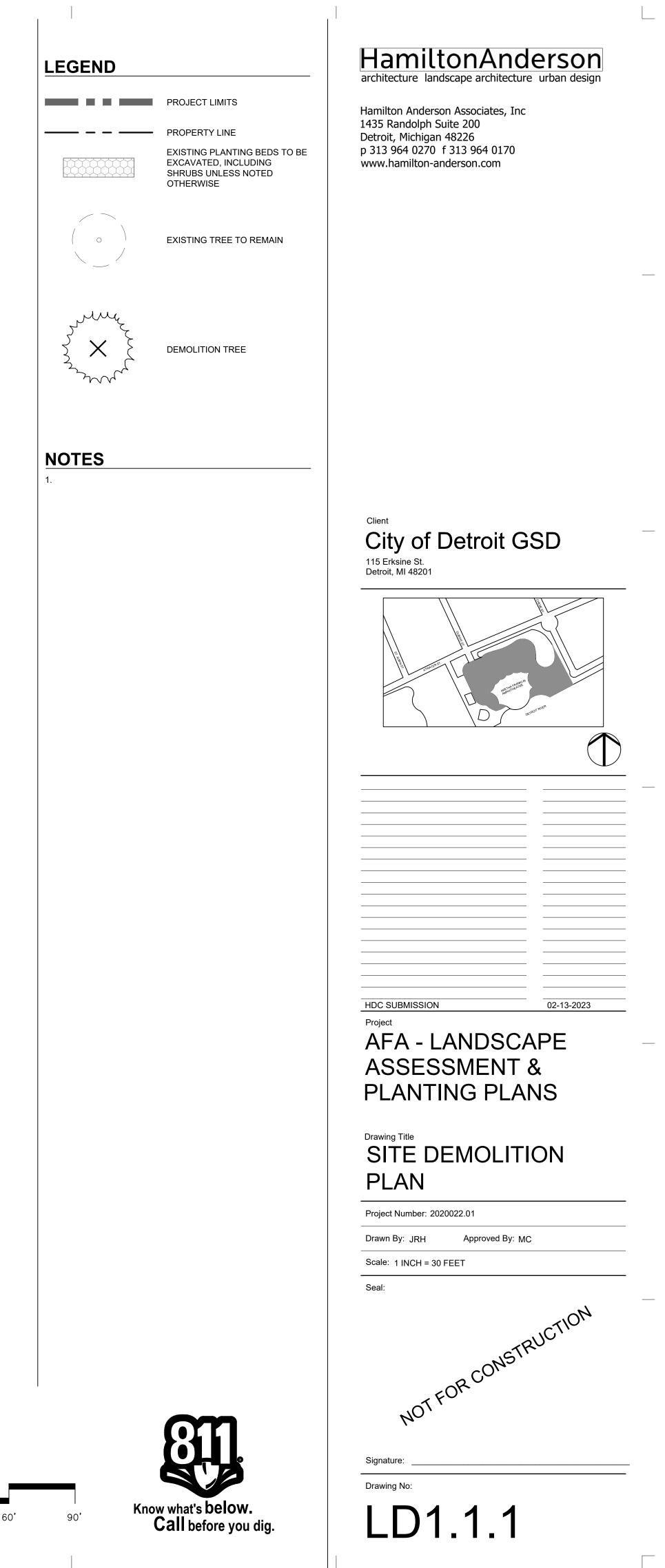
PART 1 - G	SECTION 329300 - PLANTS	<ol> <li>Nutrient Co potassium,</li> <li>2.3 MULCHES</li> </ol>
А. П	ELATED DOCUMENTS rawings and general provisions of the Contract, including General and Supplementary	<ul> <li>A. Organic Mulch: F shrubs, consisting</li> <li>1. Type: Shree</li> </ul>
1.2 S	onditions and Division 01 Specification Sections, apply to this Section.	2. Size Range     3. Color: Natu     2.4 PESTICIDES
A. S 1 2	Ptants. Tree stabilization.	A. General: Pesticid jurisdiction, and required for Proj authorized in writi
	EFINITIONS ackfill: The earth used to replace or the act of replacing earth in an excavation.	<ul> <li>B. Pre-Emergent He or growth of weed</li> <li>C. Post-Emergent H</li> </ul>
9 a tv	alled and Burdapped Stock: Plants dug with firm, natural balls of earth in which they were own, with a ball size not less than diameter and depth recommended by ANSI 260.1 for type of size of plant required; wrapped with burdap, tied, rigidly supported, and drum laced with ine with the root flare visible at the surface of the ball as recommended by ANSI 260.1.	that has already g
p A D. C	alled and Potted Stock: Plants dug with firm, natural balls of earth in which they are grown and eace, uhoroken, in a container. Ball size is not less than diameter and depth recommended by NSI 260.1 for type and size of plant required.	A. Trunk-Stabilization 1. Upright and grain, and c 2. Guys and
fr	stabilished root system reaching sides of container and maintaining a firm ball when removed m container. Container shall be rigid enough to hold ball shape and protect root mass during hipping and be sized according to ANSI 250.1 for type and size of plant required. nish Grade: Elevation of finished surface of planting soil.	twisted, 0.1 3. Guy Cable turnbuckles 4. Tree-Tie W 5. Flags: Stan
F. P p	esticide: A substance or mixture intended for preventing, destroying, repelling, or mitigating a st. Pesticides include insecticides, miticides, herbicides, fungicides, rodenticides, and olluscicides. They also include substances or mixtures intended for use as a plant regulator, folant, or desicant. Some sources classify herbicides separately from pesticides.	2.6 MISCELLANEOU A. Antidesiccant: Wa
G. P a	ests: Living organisms that occur where they are not desired or that cause damage to plants, imais, or people. Pests include insects, miles, grubs, mollusks (snails and slugs), rodents ophers, moles, and mice), unwanted plants (weeds), fungi, bacteria, and viruses.	and shrubs. Deli manufacturer's wr B. Planter Drainage for Size No. 8.
I. P W	anting Area: Areas to be planted. anting Soil: Existing, on-site soil; imported soil; or manufactured soil that has been modified th soil amendments and perhaps fertilizers to produce a soil mixture best for plant growth. es Section 3291173 Soil Preparation' for drawing designations for planting soils.	C. Planter Filter Fab of polypropylene,
PLANTS	329300 - 1	PLANTS
v	ant; Plants; Plant Material: These terms refer to vegetation in general, including trees, shrubs, nes, ground covers, omamental grasses, bulbs, corms, tubers, or herbaceous vegetation.	PART 3 - EXECUTION
s	oot Flare: Also called "trunk flare." The area at the base of the plant's stem or trunk where the em or trunk broadens to form roots; the area of transition between the root system and the em or trunk.	3.1 EXAMINATION A. Examine areas to conditions affectin
S	ubgrade: The surface or elevation of subsoil remaining after excavation is complete, or the top rface of a fill or backfill before planting soil is placed.	<ol> <li>Verify that concrete si paint thinne a planting a</li> <li>Verify that</li> </ol>
A. P 1	JBMITTALS roduct Data: For each type of product. Plant Materials: Include quantities, sizes, quality, and sources for plant materials.	adequate o 3. Suspend pi content rea 4. Uniformly n
2	Plant Photographs: include color photographs in digital format of each required species and size of plant material as it will be fumished to Project. Take photographs from an angle depicting true size and condition of the typical plant to be fumished. Include a scale or d or other measuring device in each photograph. For species where more than 20 plants are required, include a minimum of three photographs showing the average plant, the best quality plant, and the worst quality plant to be fumished. Identify each	<ul> <li>B. If contamination the area, remove the soil.</li> <li>C. Proceed with insta</li> </ul>
В. С	photograph with the full scientific name of the plant, plant size, and name of the growing nursery. ualification Data: For landscape Installer. Include list of similar projects completed by Installer	3.2 PREPARATION A. Protect structures
d yı C. P	emonstrating installer's capabilities and experience. Include project names, addresses, and ar completed, and include names and addresses of owners' contact persons. roduct Certificates: For each type of manufactured product, from manufacturer, and complying th the following:	plants from damag B. Install erosion-cor soil-bearing water
1 2	Manufacturer's certified analysis of standard products. Analysis of other materials by a recognized laboratory made according to methods established by the Association of Official Analytical Chemists, where applicable.	C. Lay out individual outline areas, ad before excavating D. Lay out plants at
Р	esticides and Herbicides: Product label and manufacturer's application instructions specific to roject.	D. Lay out plants at and outline areas     3.3 PLANTING AREA
A. N	aintenance Data: Recommended procedures to be established by Owner for maintenance of ants during a calendar year. Submit before expiration of required maintenance periods.	A. General: Prepare Section 329113 "S B. Placing Planting S
A. Ir	UALITY ASSURANCE staller Qualifications: A qualified landscape installer whose work has resulted in successful tablishment of plants.	C. Before planting, o or otherwise distu
1	Professional Membership: Installer shall be a member in good standing of the Michigan Green Industry Association.	3.4 EXCAVATION FC A. Planting Pits and
PLANTS	329300 - 2	PLANTS
2 3 4	Experience: Three years' experience in landscape installation in addition to requirements in Section 014000 "Quality Requirements." Installer's Field Supervision: Require Installer to maintain an experienced full-time supervisor on Project site when work is in progress. Pesticide Applicator: State licensed, commercial.	1. Excavate p vertical sidd raised sligh disturb bas Scarify side
re	rovide quality, size, genus, species, and variety of plants indicated, complying with applicable quirements in ANSI Z50.1.	2. Excavate a 3. Excavate a vertical rool 4. Do not exc bottom of th
1	Trees and Shrubs: Measure with branches and trunks or canes in their normal position. Take height measurements from or near the top of the root flare for field-grown stock and container-grown stock. Measure main body of tree or shrub for height and spread; do not	5. If area und and thoroug 6. Maintain an subgrades improveme
2 D. P	ant Material Observation: Architect may observe plant material either at place of growth or at	7. Maintain su 8. Keep exca 9. If drain tile porous bac
a a u	Is before planting for compliance with requirements for genus, species, varlety, cultivar, isze, di quality. Architect may also observe tress and shunba further for size and condition of balls and root systems, pests, disease symptoms, injuries, and latent defects and may reject statisfactory or defective material at any time during progress of work. Remove rejected trees shrubs immediately from Project site.	<ul> <li>B. Backfill Soil: Sub- unless otherwise i</li> <li>C. Obstructions: Not</li> </ul>
1 1.7 D	Notify Architect of sources of planting materials two weeks in advance of delivery to site.	are encountered i D. Drainage: Notify A in tree or shrub pl
A. P W	ackaged Materials: Deliver packaged materials in original, unopened containers showing eight, certified analysis, name and address of manufacturer, and indication of compliance with ate and Federal laws if applicable.	E. Fill excavations w 3.5 TREE, SHRUB, A
B. B 1 2	or on existing turf areas or plants.	A. Inspection: At tim ANSI Z60.1. If roo the top-most root root ball still meet
3	discharge of soil-bearing water runoff; and airborne dust reaching adjacent properties, water conveyance systems, or walkways.	<ul> <li>B. Roots: Remove s do not break.</li> <li>C. Balled and Burlag root flare 2 inches</li> </ul>
si b p	In cald, driving, wind burn, sweating, whipping, and dher handling and tying damage. Do not and or bind-lie trees or shrubs in such a manner as to destroy their natural shape. Provide otechive covering of plants during shipping and delivery. Do not drop plants during delivery dhandling.	1. Backfill: Ho 2. After placin burlap, rop from under
E. A	andle planting stock by root ball. pply antidesiccant to trees and shrubs using power spray to provide an adequate film over unks (before wrapping), branches, stems, twigs, and foliage to protect during digging, unding, and transportation.	root ball is a 3. Backfill arc pockets. W placing rem
PLANTS	329300 - 3	PLANTS
1	If deciduous trees or shrubs are moved in full leaf, spray with antidesiccant at nursery before moving and again two weeks after planting.	4. Place plar approximate
p G D	frap trees and shrubs with burlap fabric over trunks, branches, stems, twigs, and foliage to otect from wind and other damage during digging, handling, and transportation. eliver plants after preparations for planting have been completed, and install immediately. If	do not place 5. Continue ba D. Container-Grown
pi a ro 1		flare 2 inches abo 1. Backfill: Ho 2. Carefully re 3. Backfill arc
2 3 4	acceptable material. Do not remove container-grown stock from containers before time of planting. Water root systems of plants stored on-site deepiy and thoroughly with a fine-mist spray.	pockets. W placing rem 4. Place plar approximat do not plac
1.8 F	Water as often as necessary to maintain root systems in a moist, but not overly wet condition.	<ol> <li>Continue be</li> <li>Slopes: When pla the surrounding se surrounding soll. A</li> </ol>
A. F si p	eld Measurements: Verify actual grade elevations, service and utility locations, irrigation stem components, and dimensions of plantings and construction configuous with new antings by field measurements before proceeding with planting work.	3.6 TREE STABILIZA A. Trunk Stabilization
ן g יין ת	anting Limitations: The spring season for planting shall be from approximately April 1 through ne 30; and the fail season is from August 15 to October 31, Plants shall be installed when the uord is in a workable condition and temperatures are less than 85 degrees Fahrenheit. Vorkable' ground condition is defined as ground conditions which are neither frozen nor udgy. Planting shall not commence when ground surface is frozen or during extended	A. GROUND COVER A. Set out and space
d w C. V	ought. Special conditions exist which may warrant a variance in the planting dates. Submit a ritten request for such variance to Architect.	<ul> <li>A. Set out and space Drawings.</li> <li>B. Use Horticultural \$</li> <li>C. Dig holes large en</li> </ul>
0	eather Limitations: Proceed with planting only when existing and forecasted weather anditions permit planting to be performed when beneficial and optimum results may be	
	earner Limitations: Proceed with planting only when existing and torecasted weather onditions permit planting to be performed when beneficial and optimum results may be talaned. Apply products during favorable weather conditions according to manufacturer's ritten instructions and warranty requirements. ARRANTY	root system but to E. Work soil around
1.9 V A. S	nditions permit planting to be performed when beneficial and optimum results may be tained. Apply products during favorable weather conditions according to manufacturer's ritten instructions and warranty requirements. ARRANTY pecial Warranty: Installer agrees to repair or replace plantings and accessories that fail in aterials, workmanship, or growth within specified warranty period.	root system but to E. Work soil around plants to hold wat F. Water thoroughly G. Protect plants fro
1.9 V A. S m	nditions permit planting to be performed when beneficial and optimum results may be tained. Apply products during favorable weather conditions according to manufacturer's ritten instructions and warranty requirements. ARRANTY becial Warranty: Installer agrees to repair or replace plantings and accessories that fail in aterials, workmanship, or growth within specified warranty period.	root system but to E. Work soil around plants to hold wat F. Water thoroughly G. Protect plants fro from transplanting
1.9 V A. S m	Inditions permit planting to be performed when beneficial and optimum results may be taihed. Apply products during favorable weether conditions according to manufacturer's itten instructions and warranty requirements. ARRANTY becial Warranty: Installer agrees to repair or replace plantings and accessories that fail in aterials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: a. Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequade maintenance, or neglect by Owner. b. Structural failures including plantings failing or blowing over.	root system but to E. Work soil arcund plants to hold wat F. Water thoroughly G. Protect plants fro from transplanting
1.9 W A. S m 1	Inditions permit planting to be performed when beneficial and optimum results may be taihed. Apply products during favorable weether conditions according to manufacturer's itten instructions and warranty requirements. ARRANTY becial Warranty: Installer agrees to repair or replace plantings and accessories that fail in aterials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: a. Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner. b. Structural failures including plantings failing or blowing over. Warranty Periods: From date of Substantial Completion.	root system but to E. Work soil around plants to hold wait F. Water thoroughly G. Protect plants for from transplanting 3.8 PLANTING AREA
1.9 V A. S n 1 2	nditions permit planting to be performed when beneficial and optimum results may be statend. Apply produets during favorable weather conditions according to manufacturers itten instructions and warranty requirements. ARRANTY pecial Warranty: Installer agrees to repair or replace plantings and accessories that fail in aterials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: a. Death and unsatificatory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner. b. Structural failures including plantings failing or blowing over. Warranty Periods: From date of Substantial Completion. a. Trees, Shrubs, Vines, and Ornamental Grasses: 12 months. 329300 - 4	Vot system but to E. Work soil around plants to hold wat F. Water thoroughly G. Protect plants fro from transplanting 3.8 PLANTING AREA A. Mulch backfilled s PLANTS
1.9 V A. S n 1 2	nditions permit planting to be performed when beneficial and optimum results may be statend. Apply produets during favorable weather conditions according to manufacturer's ritten instructions and warranty requirements. ARRANTY pacial Warranty: Installer agrees to repair or replace plantings and accessories that fail in aterials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: a. Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner. b. Structural failures including planting stalling or blowing over. Warranty Periods: From date of Substantial Completion. a. Trees, Shrubs, Vines, and Ornamental Grasses: 12 months. 10. b. Ground Covers, Blennials, Perennials, and Other Plants: 12 months. 10. 10. 10. 10. 10. 10. 10. 1	root system but to E. Work soil around plants to hold wat F. Water thoroughly G. Protect plants fro from transplanting 3.8 PLANTING AREA A. Mulch backfilled s PLANTS 1. Trees and average this 3. Organic M. Workels suff
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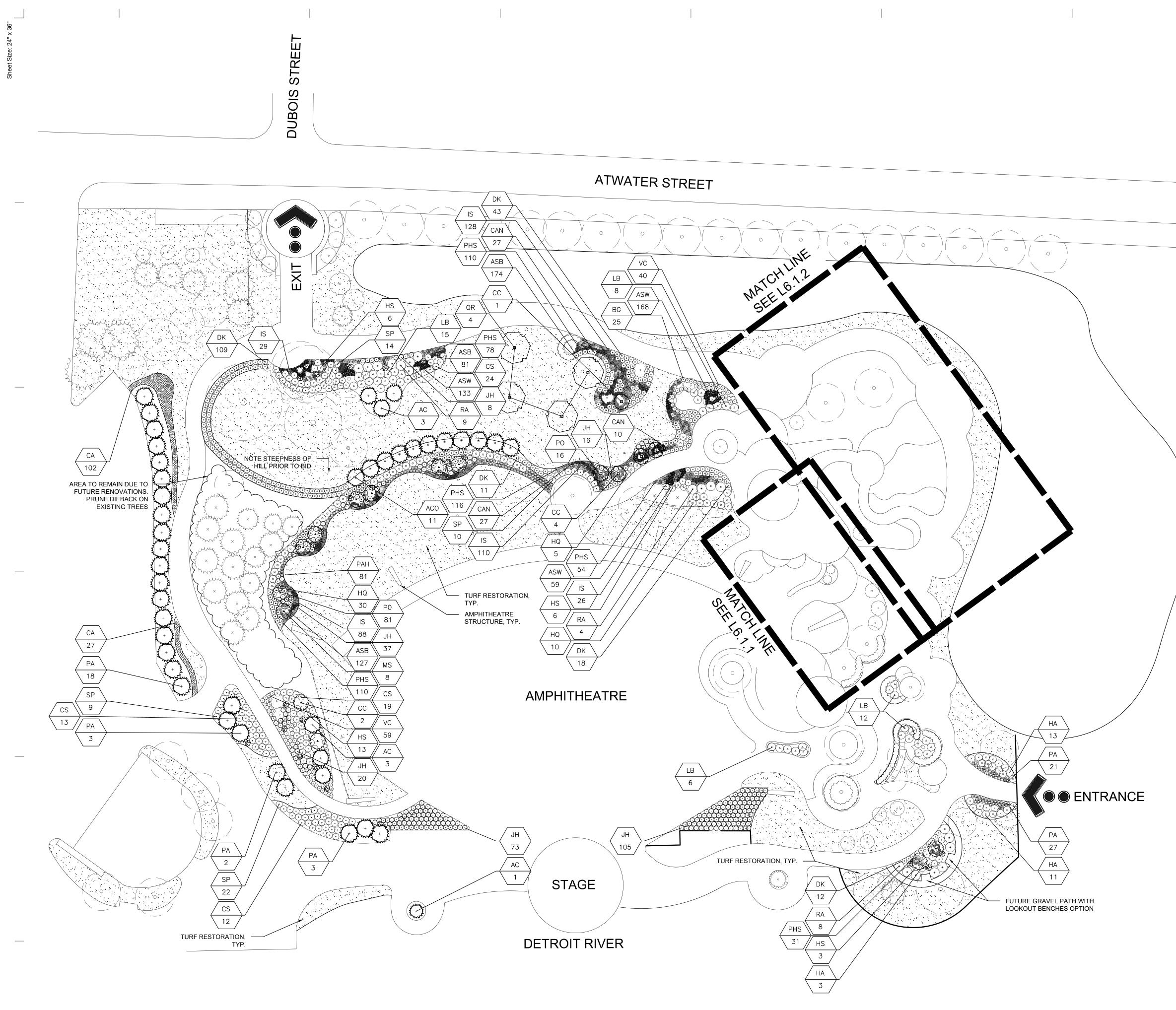














## LEGEND

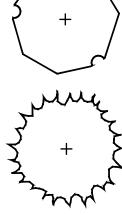
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PROJECT LIMITS

- PROPERTY LINE

EXISTING PLANTING BEDS TO **RECEIVE MINIMUM 4" DEPTH** BROWN PINEBARK MULCH

EXISTING TREE TO REMAIN 0 SHADE TREE



EVERGREEN TREE

## NOTES

- CONTRACTOR TO FIELD VERIFY EXACT LOCATION OF PLANTINGS.
- 2. PLANT QUANTITIES TO BE VERIFIED BY CONTRACTOR.
- 3. ALL DISTURBED AREAS TO BE SEEDED WITH HYDROMULCH OVER 4" OF TOPSOIL.
- 4. REFER TO PLANT DETAILS SHEET L9.1.1 FOR PLANT LIST

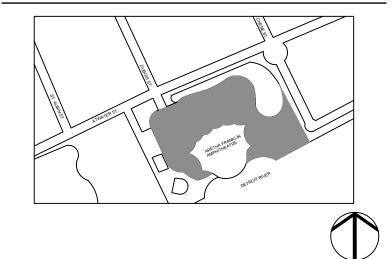
## **IRRIGATION DESIGN-BUILD** NOTES

- 1. IRRIGATION SYSTEM TO BE A DESIGN-BUILD RETROFIT OF THE EXISTING SYSTEM. INFORMATION REGARDING THE EXISTING SYSTEM IS AVAILABLE FROM THE OWNER.
- 2. IRRIGATION DESIGN-BUILD CONTRACTOR TO PROVIDE PROPOSED DESIGN FOR REVIEW BY OWNER AND LANDSCAPE ARCHITECT.
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### HamiltonAnderson architecture landscape architecture urban design

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## City of Detroit GSD 115 Erksine St. Detroit, MI 48201





HDC SUBMISSION

## Drawing Title PLANTING PLAN -OVERALL - OVERALL

02-13-2023

Project Number: 2020022.01

Approved By: MC Drawn By: JRH

Scale: 1 INCH = 30 FEET

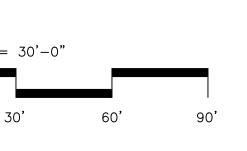
Seal:

NOTFORCONSTRUCTION

Signature:

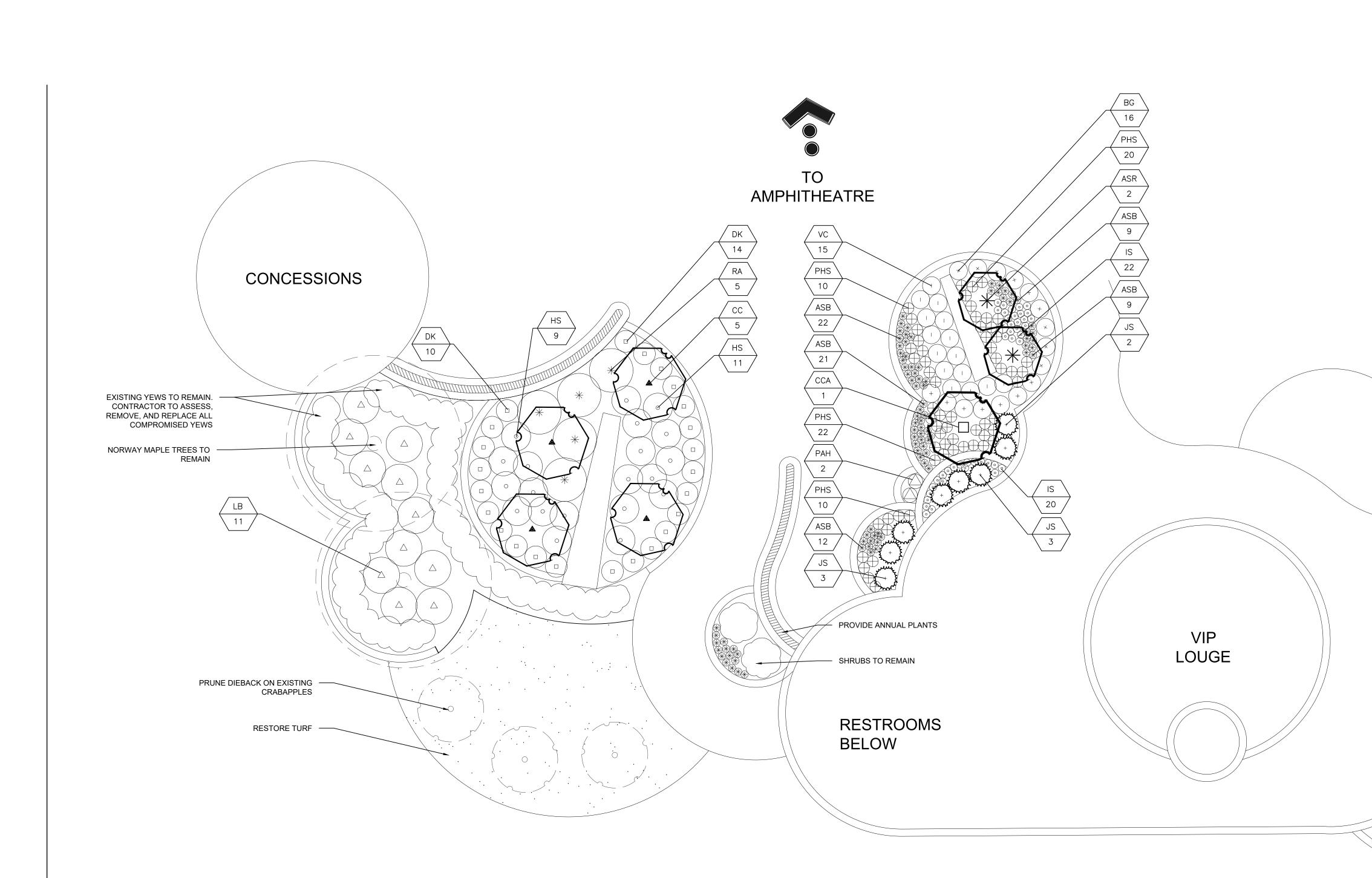
Drawing No:

L6.1.0

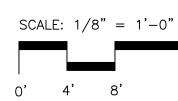




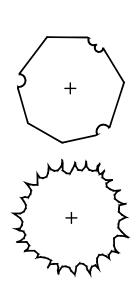








## LEGEND PROJECT LIMITS EXISTING PLANTING BEDS TO RECEIVE MINIMUM 4" DEPTH BROWN PINEBARK MULCH / EXISTING TREE TO REMAIN 0 $\overline{}$



SHADE TREE

EVERGREEN TREE

## NOTES

- CONTRACTOR TO FIELD VERIFY EXACT LOCATION OF PLANTINGS.
- 2. PLANT QUANTITIES TO BE VERIFIED BY CONTRACTOR.
- 3. ALL DISTURBED AREAS TO BE SEEDED WITH HYDROMULCH OVER 4" OF TOPSOIL.
- 4. REFER TO PLANT DETAILS SHEET L9.1.1 FOR PLANT LIST

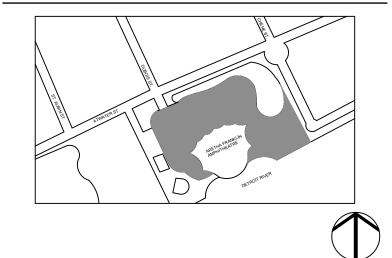
## **IRRIGATION DESIGN-BUILD** NOTES

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# City of Detroit GSD 115 Erksine St. Detroit, MI 48201





02-13-2023

## Drawing Title PLANTING PLAN -ENLARGED

Project Number: 2020022.01

Approved By: MC Drawn By: JRH

Scale: 1/8" = 1'-0"

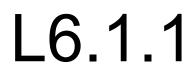
HDC SUBMISSION

Seal:

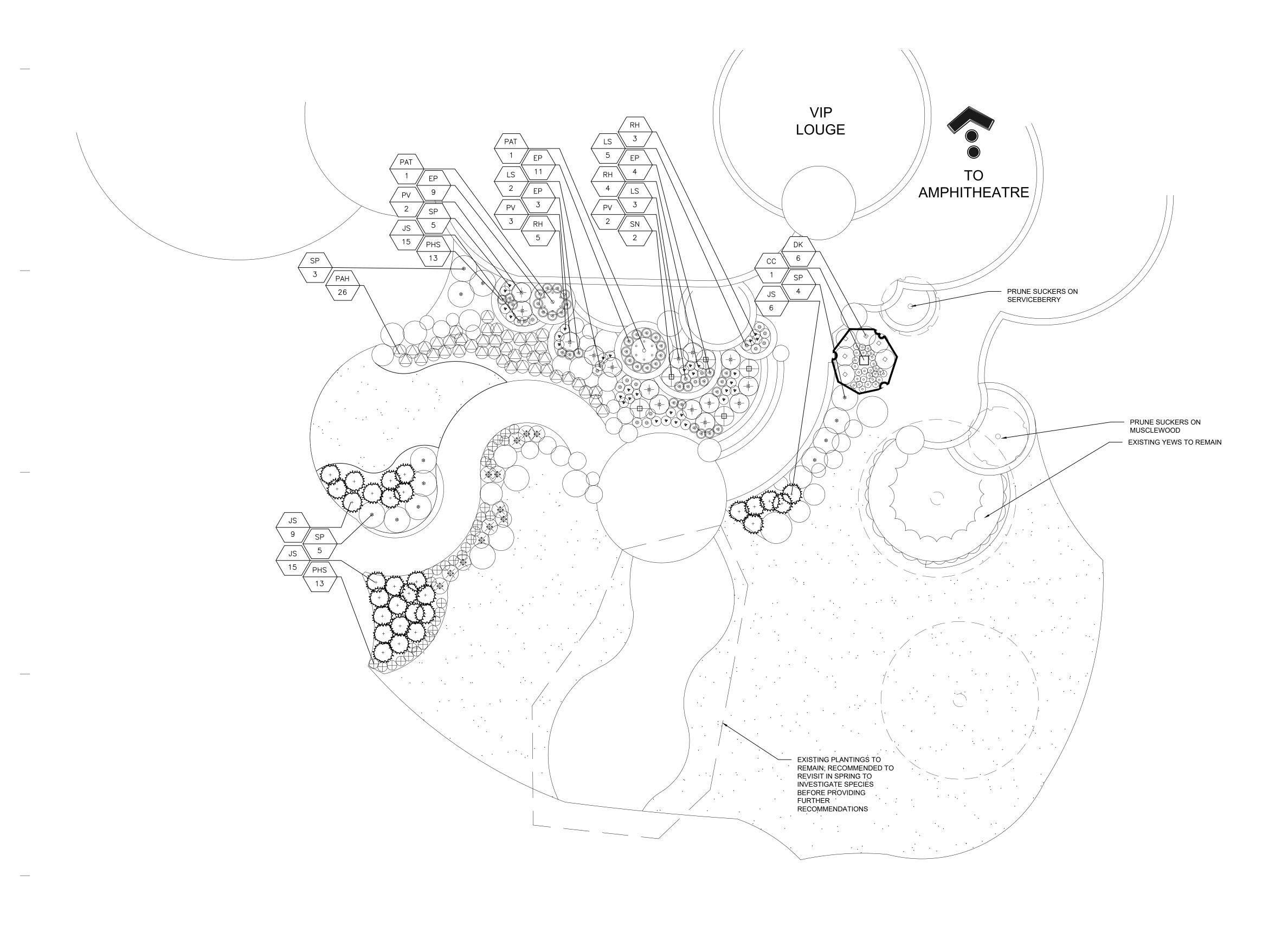


Signature:

Drawing No:

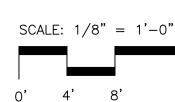














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PROPERTY LINE

EXISTING PLANTING BEDS TO RECEIVE MINIMUM 4" DEPTH BROWN PINEBARK MULCH

EXISTING TREE TO REMAIN

SHADE TREE

EVERGREEN TREE

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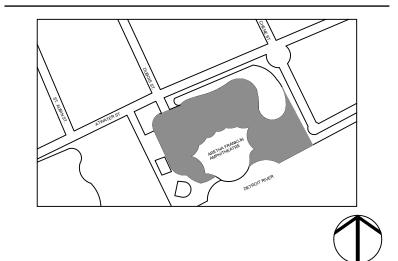
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City of Detroit GSD 115 Erksine St. Detroit, MI 48201





## ASSESSMENT & PLANTING PLANS

02-13-2023

## Drawing Title PLANTING PLAN -ENLARGED

Project Number: 2020022.01

Approved By: MC Drawn By: JRH

Scale: 1/8" = 1'-0"

Seal:



Signature:

Drawing No:



## **PLANT LIST**

CODE QTY.

MATERIAL AND SIZE

COMMENTS

## SHADE TREES

AC	X	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE' SERVICEBERRY 'AUTUMN BRILLANCE'	B&B <sup>1</sup>
ACO	X	ABIES CONCOLOR WHITE SPRUCE	B&B
AR	X	ACER RUBRUM RED MAPLE	B&B
ASR	×	AMELANCHIER SANGUINEA ROUNDLEAF SERVICEBERRY	B&B
СС	X	COTINUS COGGYGRIA SMOKETREE	B&B
CCA	X	CERCIS CANADENSIS EASTERN REDBUD	B&B
MS	X	MALUS 'ADAMS' ADAMS CRABAPPLE	B&B
PA	X	PICEA ABIES NORWAY SPRUCE	B&B
QR	X	QUERCUS RUBRA NORTHERN RED OAK	B&B

## SHRUBS

BG	Х	BUXUS X 'GREEN MOUNTAIN' GREEN MOUNTAIN BOXWOOD	36" O.C.
CAN	Х	CEANOTHUS AMERICANUS NEW JERSEY TEA	36" O.C.
CS	Х	CORNUS SERICEA REDTWIG DOGWOOD	36" O.C.
DK	Х	DIERVILLA X 'KODIAK ORANGE' KODIAK ORANGE BUSH HONEYSUCKLE	36" O.C.
HA	Х	HYDRANGEA ANNABELLE HYDRANGEA	60" O.C.
HQ	Х	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	60" O.C.
JH	Х	JUNIPERUS HORIZONTALIS CREEPING JUNIPER	36" O.C.
JS	Х	JUNIPERUS SQUAMATA ' BLUE STAR' BLUE STAR JUNIPER	36" O.C.
LB	Х	LINDERA BENZOIN SPICEBUSH	72" O.C.
PO	Х	PHYSOCARPUS OPULIFOLIUS NINEBARK	36" O.C.
RA	Х	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	60" O.C.
SP	Х	SYRINGA PUBESCENS 'MISS KIM' MISS KIM LILAC	36" O.C.
VC	Х	VIBURNUM CARLESII ' SMVCB' SPICE BABY SPICEBUSHKOREAN SPICE VIBURNUM 'SPICE BABY'	36" O.C.

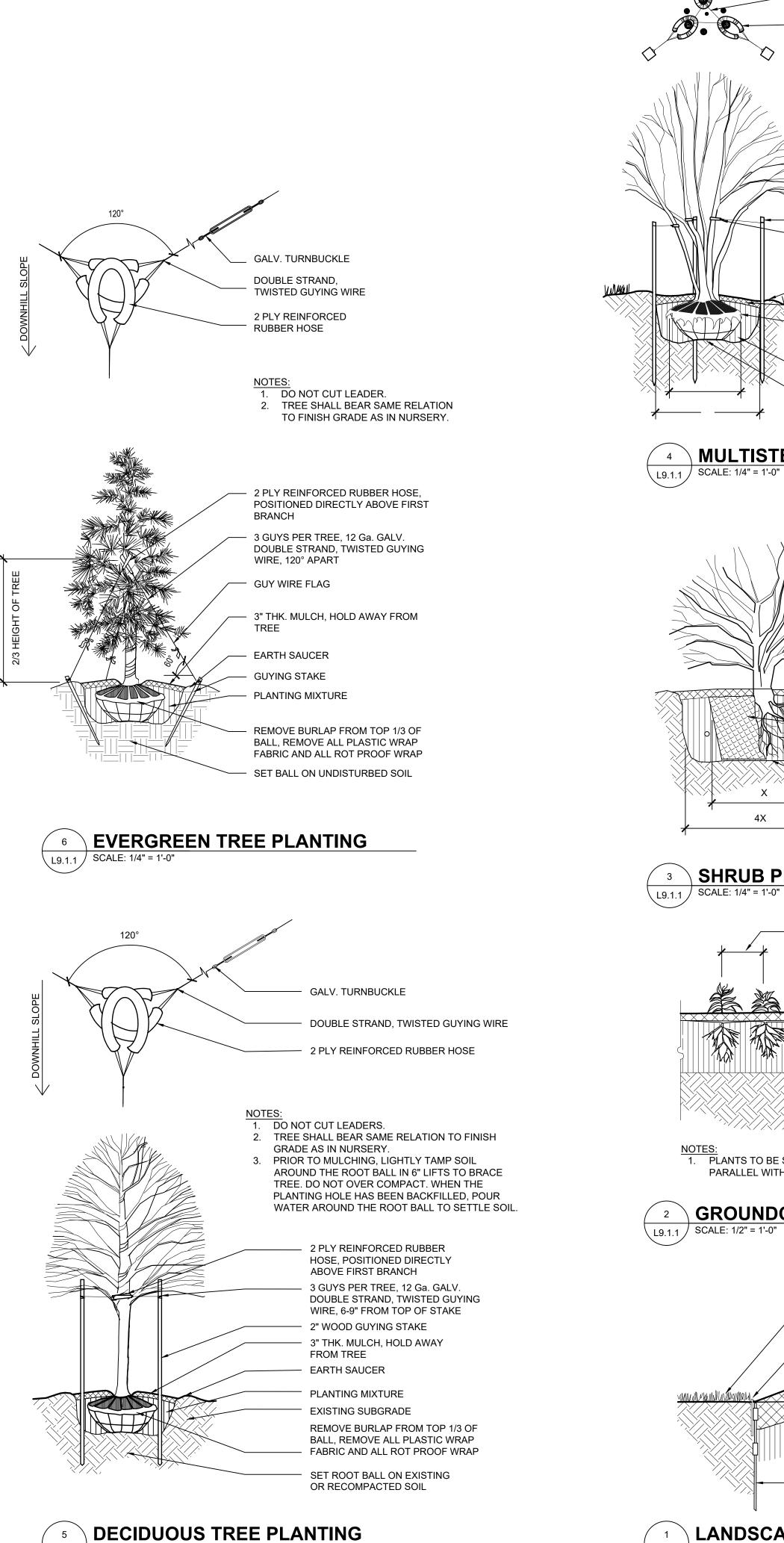
## PERENNIALS

СА	X	CALAMAGROSTIS × ACUTIFLORA 'KARL FORESTER' KARL FORESTER REED GRASS	24" O.C
CV	X	COREOPSIS VERTICILLATA THREADLEAF COREOPSIS	24" O.C
EP	X	ECHINACEA PURPUREA PURPLE CONEFLOWER	24" O.C
HCW	Х	HEMEROCALLIS 'CATHERINE WOODBURY' DAYLILY	24" O.C
HS	X	HOSTA – 'SUM AND SUBSTANCE' 'SUM AND SUBSTANCE'	48" O.C.
LS	Х	LIATRIS SPICATA BLAZING STAR	12" O.C
РАН	Х	PENNISETUM ALOPECUROIDES 'HAMELN' FOUNTAIN GRASS	24" O.C
PAT	X	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	24" O.C
PHS	X	PHLOX SUBULATA CREEPING PHLOX	12" O.C
PV	X	PANICUM VIRGATUM SWITCHGRASS	36" O.C.
RH	Х	RUDBECKIA HIRTA BLACK EYED SUSAN	12" O.C
SN	Х	SYMPHYOTRICHUM NOVAE-ANGLIAE NEW ENGLAND ASTER	36" O.C.

## **GROUND COVER**

ASW	Х	ASARUM CANADENSE WILD GINGER	12" O.C
ASB	Х	AURINIA SAXATILIS 'BASKET OF GOLD' BASKET–OF–GOLD	12" O.C
IS	Х	IBERIS SEMPERVIRENS EVERGREEN CANDYTUFT	12" O.C

<sup>1</sup>B&B = BALLED & BURLAPED



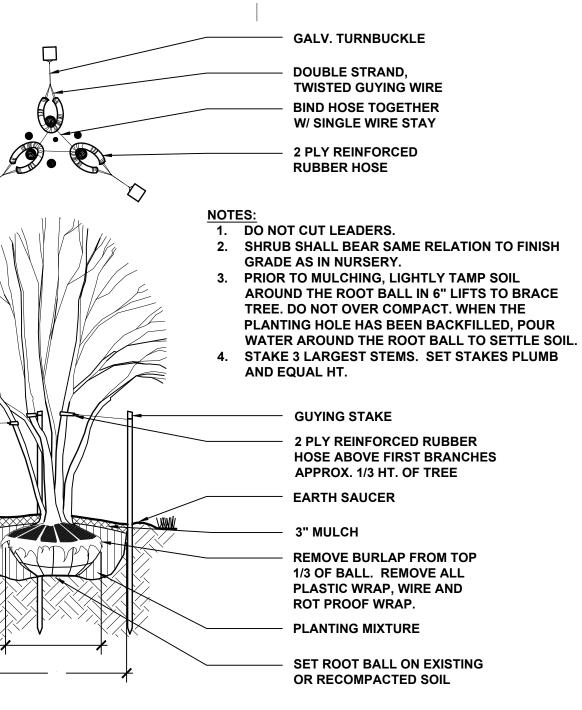
SCALE: 1/4" = 1'-0"

L9.1.1 /

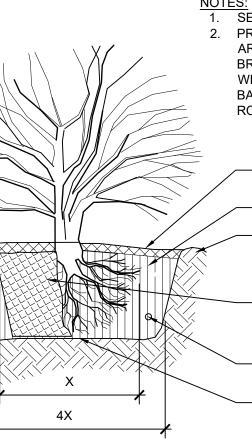
L9.1.1 SCALE: 1/2" = 1'-0"

MARINALYSAUDIUN





## MULTISTEM TREE PLANTING



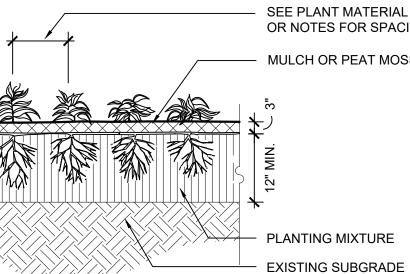
SEE SPECS FOR SOIL PREP 2. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE SHRUB. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND THE ROOT BALL TO SETTLE SOIL.

> - 3" THK. MULCH, HOLD 2" FROM SHRUB - PLANTING MIXTURE - EARTH SAUCER

REMOVE FROM FIBER POT AND PUNCTURE TO ALLOW ROOT GROWTH.

SLOW RELEASE FERTILIZER TABLETS SET ROOT BALL ON EXISTING OR RECOMPACTED SOIL

#### SHRUB PLANTING / SCALE: 1/4" = 1'-0"



SEE PLANT MATERIAL PLAN OR NOTES FOR SPACING MULCH OR PEAT MOSS

PLANTING MIXTURE

NOTES: 1. PLANTS TO BE SET WITH BOTTOM LEAVES TO BE SET WITH ODADE AFTER MULCH. PARALLEL WITH GRADE AFTER MULCH.

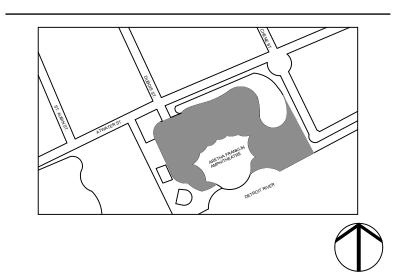
## **GROUNDCOVER AND PERENNIAL PLANTING**

LAWN AREA OR GROUND COVER METAL EDGING WITH 18" LONG STAKES 1/2" ABOVE GRADE. MULCH - EXISTING GRADE PLANTING MIXTURE STAKE

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HDC SUBMISSION

02-13-2023 Project AFA - LANDSCAPE ASSESSMENT &

## PLANTING PLANS Drawing Title

## PLANTING DETAILS

