

Detroit Historic District Commission

Signage Guidelines and Landscape Assessment & Planting Plan Submission

Hamilton Anderson Associates, February 13, 2023

ARETHA FRANKLIN AMPHITHEATER/CHENE PARK HISTORIC DISTRICT

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Detailed Scope of Work

Signage Guidelines Package Scope of Work:

- Owner and/or Contractor to engage qualified, professional sign vendor to provide final sign design and details.
- Sign vendor to submit for, and acquire all required City of Detroit permits and approvals.
- Determine final locations and quantities of signs.
- All work to be per attached Sign Guidelines, dated 02-13-2023.
- Refurbish existing pylon signs as indicated in the Sign Guidelines.
- Refurbish existing seating specific signage as indicated in the Sign Guidelines.
- Remove existing non-original signage as indicated in the Sign Guidelines.
- Fabricate and install new signage in strict adherence with Sign Guidelines, especially as indicated in Proposed Sign Types.

Landscape Recommendations & Planting Plan Package Scope of Work:

- Remove all dead, damaged and invasive plant and landscape material as indicated on the landscape documents.
- Install new plant and landscape material as indicated on the landscape documents.
- Provide maintenance activities as indicated on the landscape documents.
- Provide restoration as indicated on the landscape documents to all impacted areas.
- All work to be per attached Landscape Recommendations Package, dated 12-29-2022 and Landscape Planting Plan Package.

End of Detailed Scope of Work.



## PURPOSE

This report is intended to provide conceptual designs and guidelines for new signage throughout the Aretha Franklin Amphitheater site. The new signage is intended to use updated branding and wayfinding that will help users navigate through the various site amenities and facilities. Because the entire AFT site is a registered Detroit Historic District, the signage must be sensitive to the history and character of the existing building and site conditions. Also included in this report will be a summary of required agency approvals and a brief assessment of existing signage. This report will focus on establishing appropriate signage character and sign types, and will not establish all final sign locations. This report will be presented in four sections; Sign Guidelines, Summary of Approvals, Existing Conditions and Proposed Signage Types. Also included for reference is the Detroit HDC “Signs & Awnings Guidelines”.

## SIGNAGE GUIDELINES

- All proposed signage is subject to Detroit Historic District Commission and City of Detroit BSEED review, approval and permitting.
- Proposed signage to reflect current branding, including naming, colors, logos and style.
- Proposed signage to reflect the Detroit HDC “Signs & Awnings Guidelines” as closely as possible, while updating and strengthening the overall signage package. Key elements include;
  1. Recognize the scale, massing, style, materials and colors of the building and the district,
  2. Size and shape must fit within the building design, not obscure architectural elements and be consistent with the character of the historic district.
  3. Wayfinding signs not mounted on buildings to be ground, monumental or pylon sign.
- All signage shall be professionally designed, manufactured and installed by others under separate contract.
- Signage shall be of a durable material that matches and/or is harmonious with existing building materials, including colors and textures. Font for all new signage to match existing cast metal signs in concrete walls.
- Signage shall be of a size and scale appropriate to its location and intended function;
  1. Pedestrian Large-scale, Identifiable by pedestrians from afar.
  2. Pedestrian Small-scale, Identifiable by pedestrians on nearby sidewalk
  3. Pedestrian Informational, Barrier free, menu information, etc., provided for adjacent pedestrians.
- Proposed Sign Types;
  1. Pylon wayfinding signs. Design to be respectful of existing historic pylon signs.
  2. Building mounted flat signs.
  3. Projecting blade signs.
  4. Door and/or wall mounted barrier free and identification signage.
- Prohibited Sign Types
  1. Roof mounted signs
  2. Light box signs
  3. Any sign that is deemed incompatible with the existing historic architectural character.
  4. Any sign that restricts or obstructs ingress or egress from a required door or other required exit way.
  5. Any sign that restricts or obstructs a window, door or other opening for providing light or air, or interferes with proper functioning of the building.

## SUMMARY OF APPROVALS

Beyond owner/client approval, there are two levels of approval required: Detroit Historic District Commission approval and City of Detroit BSEED approval/permit.

1. Detroit Historic District Commission will require full review and approval of proposed signage. The approval may be handled by HDC staff administratively, or may require full board approval. This will be determined by HDC, after the application is submitted and the scope of work is assessed by HDC staff. Approval will be contingent upon sensitivity to the existing condition and adherence to the Detroit HDC “Signs & Awnings Guidelines”, attached at end of this document for reference. The submission will include the required Project Review Request and appropriate back up drawings and photographs to explain existing and proposed conditions.
2. Owner to contract directly with selected signage vendor/installer. The signage vendor/installer will be required to submit a complete permit application with appropriate back up information to City of Detroit BSEED for approval. Back up information may include sign drawings, locations, material specifications and mounting details. Architectural and structural elements of signage, such as concrete pylons and foundations, to be provided by HAA under a separate scope and package. For specific information and complete requirements, see Detroit Municipal Code-Part IV City Code, Chapter 4 Advertising and Signs. For information detailing permit submittal requirements, see Sec. 4-4-19..

For information included in the Detroit Municipal Code that is specific to the overall Aretha Franklin Amphitheater Historic District, see Chapter 21, Sec. 21-2-243.

## EXISTING SIGNAGE

There are multiple types of existing signage throughout the site which are past their useful life. They are in generally poor condition, and no longer serve their original purpose. It has become necessary to utilize portable signage for basic user navigation. Some existing signage is original to the project, but is in poor condition. Some has been added over time, and does not appropriately match the character of the architecture. None of the existing signage incorporates the current branding, style, logo's, etc.

- Existing concrete pylon wayfinding signs are original to the project, but they are in poor condition, they don't contain the correct information and may not be optimally located. The lighting/electrical for the existing pylon signs are no longer in use and should be terminated back to source if not already completed.
- Existing restroom and venue signage consist of painted and applied flat metal signage. They are not appropriate to the character of the existing architecture and do not reflect the necessary updated branding.
- Existing cast metal signage imbedded in the concrete walls are original to the project and have historical significance. Although they will not be part of the overall signage scheme, they will be essential for HDC approval and will remain.

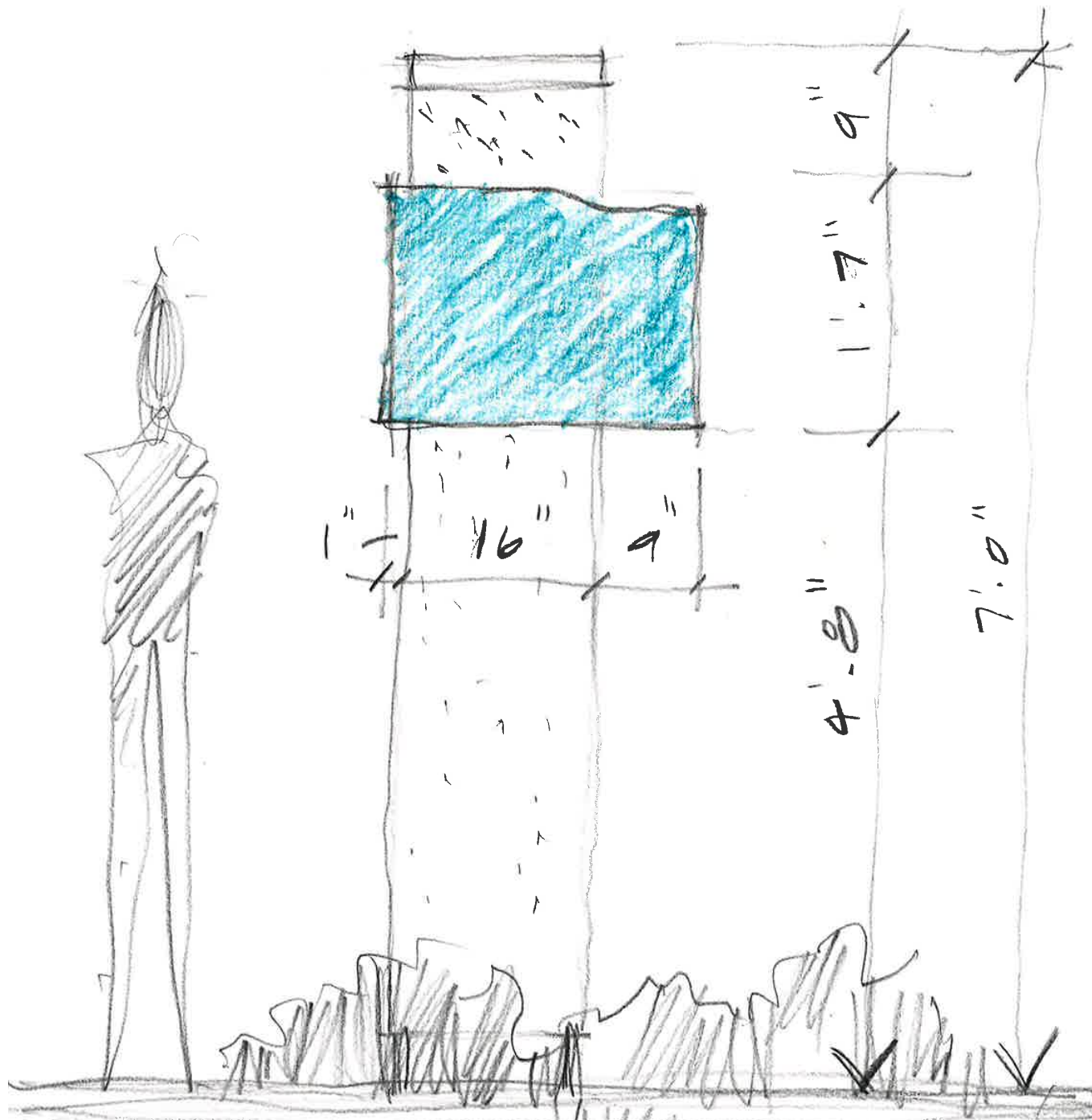






**PROPOSED SIGNAGE TYPES:**

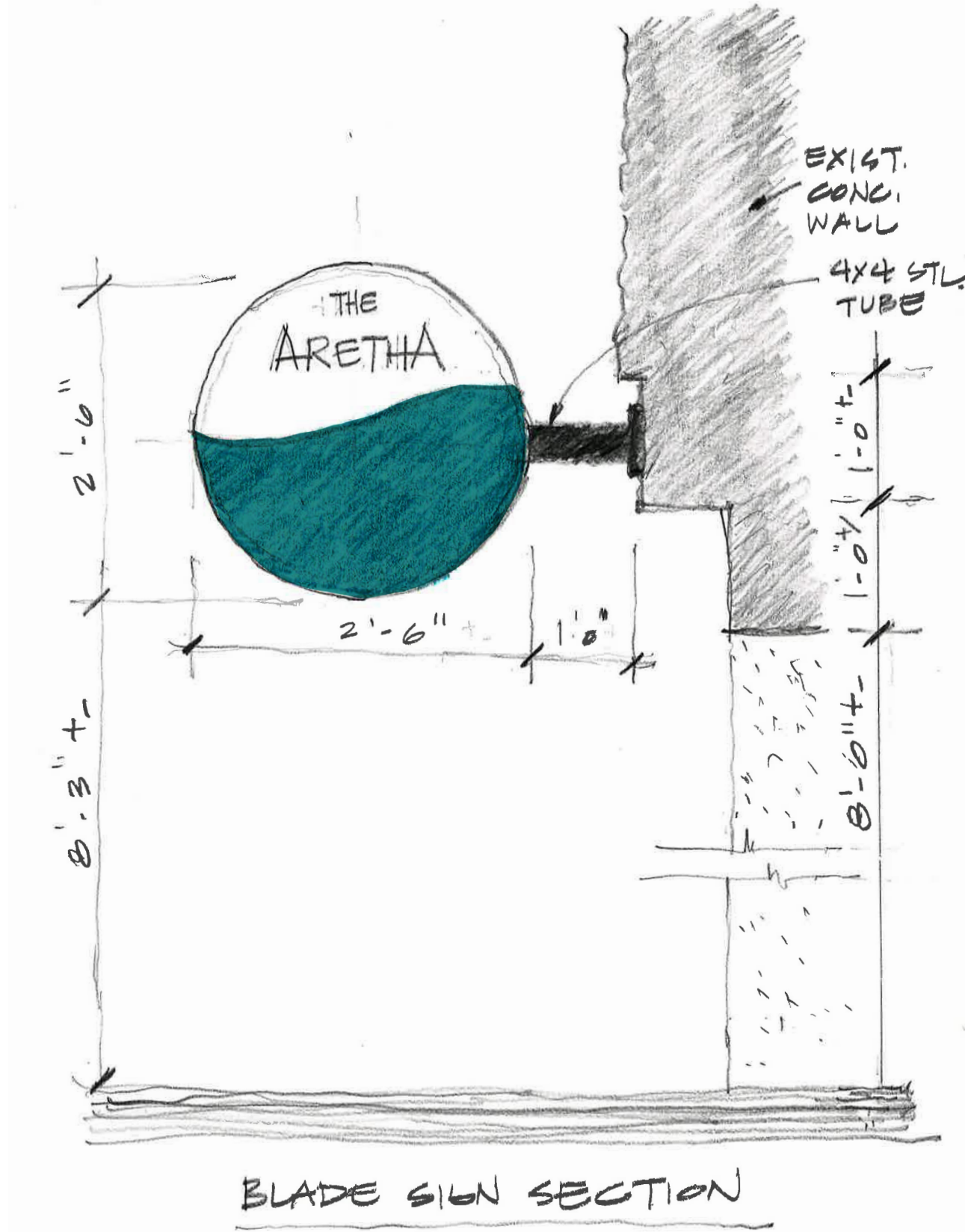
Pylon Wayfinding Signs – To be used throughout the site for all user navigation and barrier free routes. To be ground mounted. Can be pedestrian large-scale and small-scale as required.





**PROPOSED SIGNAGE TYPES:**

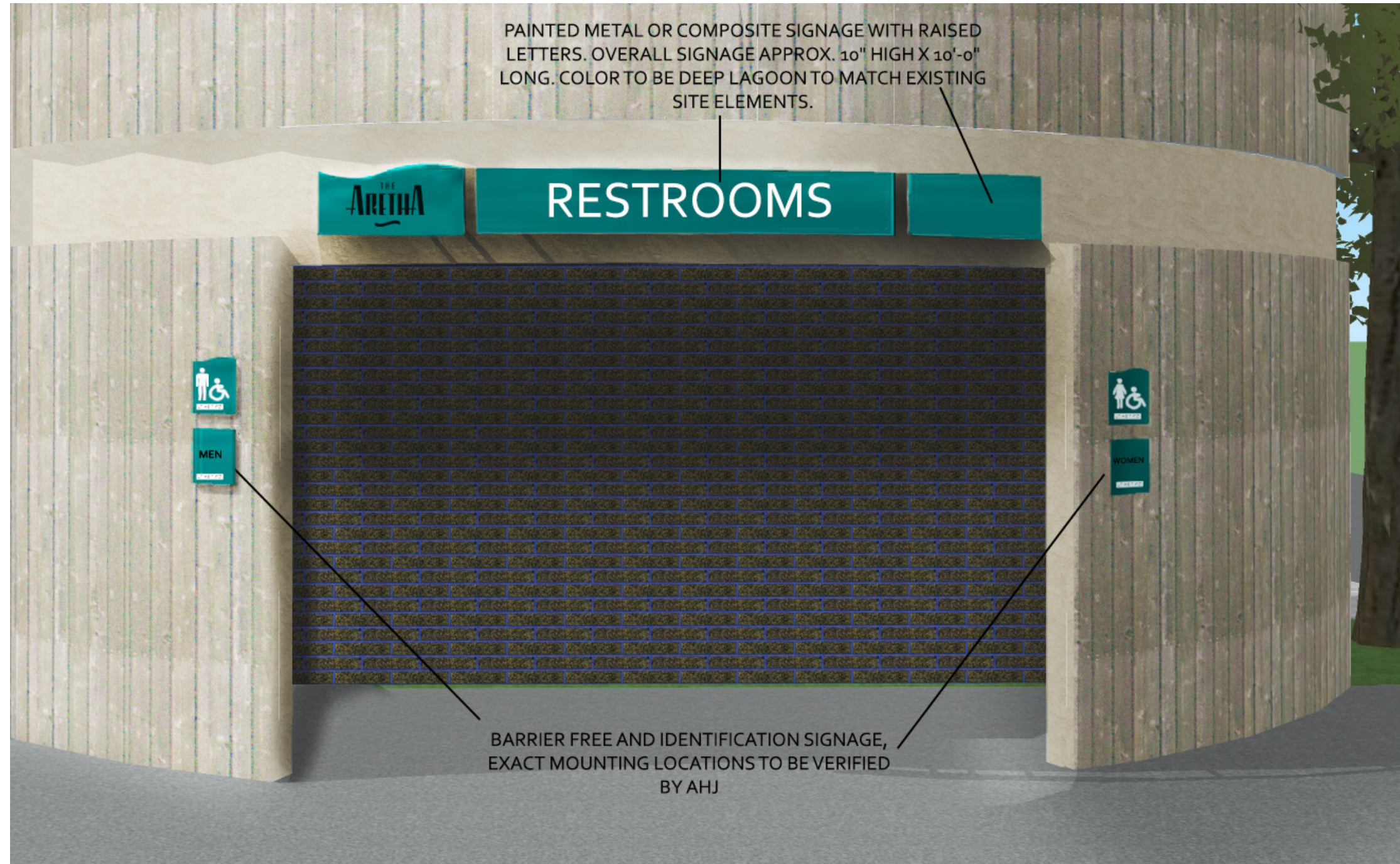
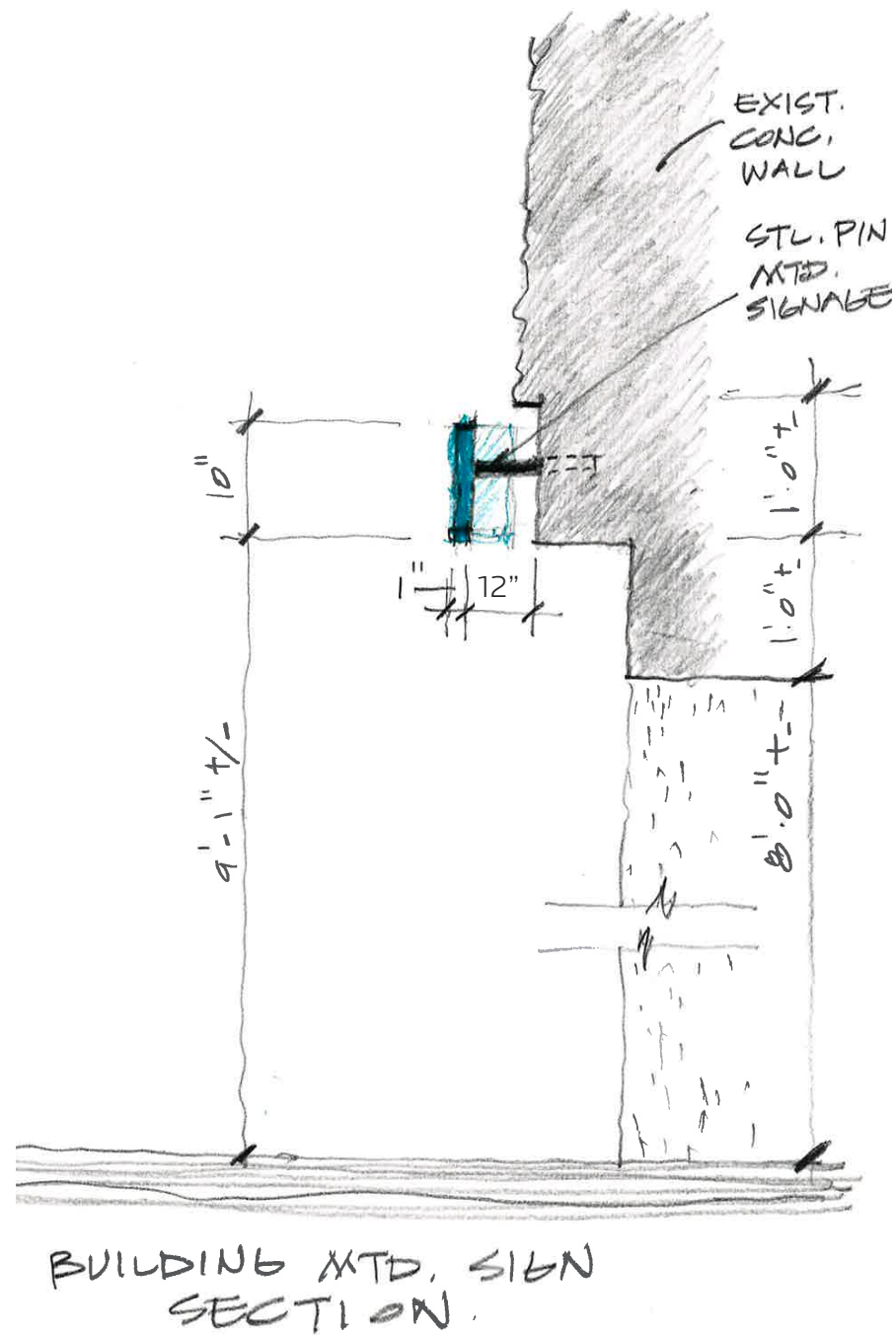
Venue Blade Signs – To be used at branded concession venues as applicable. To be building mounted.





**PROPOSED SIGNAGE TYPES:**

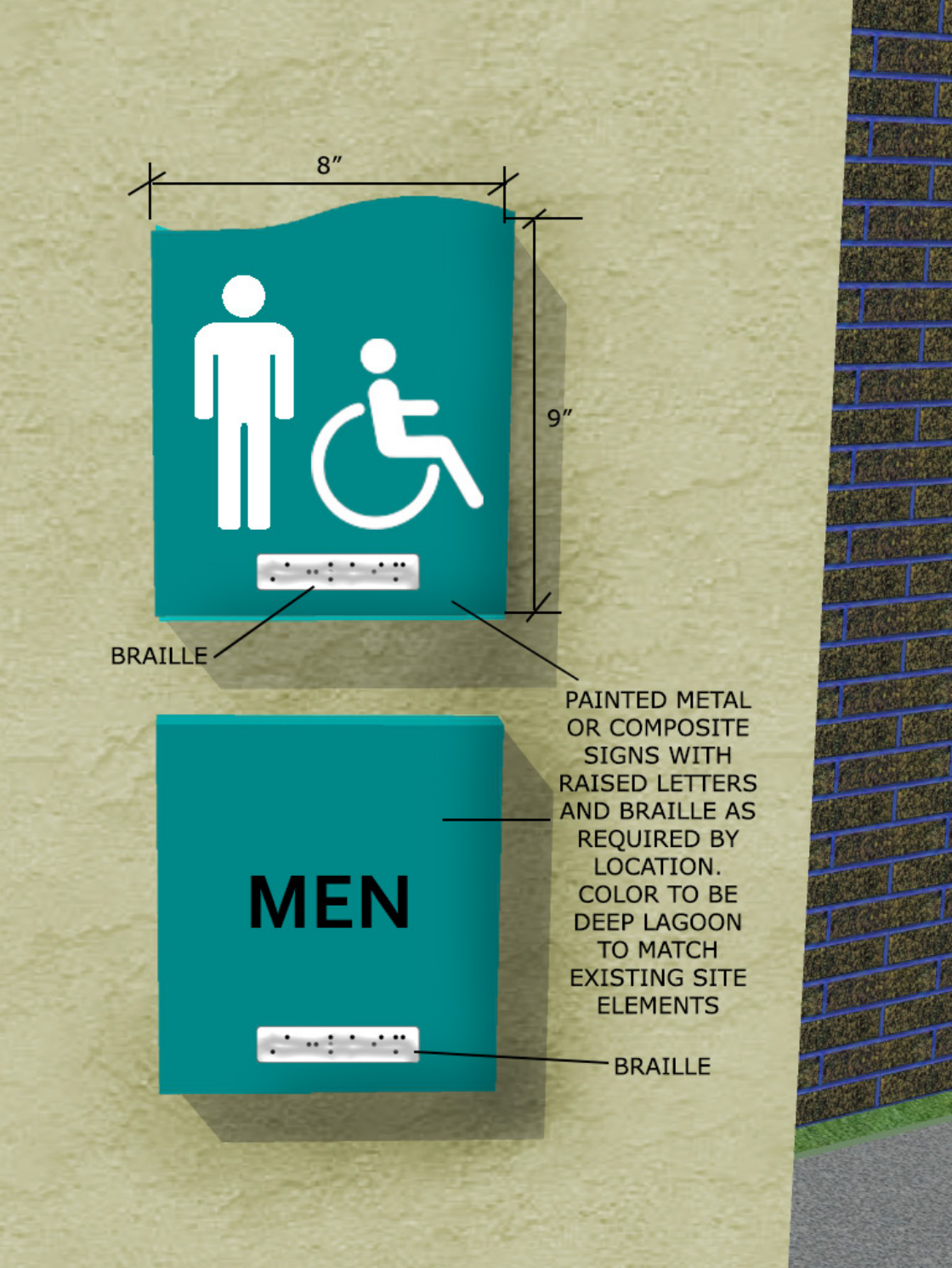
Venue and Facilities Building Mounted Flat Signs – To be used for venue and facilities wayfinding and pedestrian large-scale identification.





**PROPOSED SIGNAGE TYPES:**

Door and/or Building Wall Mounted Barrier Free and Room/Area Identification Signs – To be used per code requirements and as determined for building and grounds operations. To be pedestrian informational scale.



# Signs & Awning Guidelines

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*“Signs often become so important to a community that they are valued long after their role as commercial markers has ceased. They become landmarks, loved because they have been visible at certain street corners--or from many vantage points across the city--for a long time. Such signs are valued for their familiarity, their beauty, their humor, their size, or even their grotesqueness. In these cases, signs transcend their conventional role as vehicles of information, as identifiers of something else. When signs reach this stage, they accumulate rich layers of meaning. They no longer merely advertise, but are valued in and of themselves. They become icons.”*

Signs as Icons, “The Preservation of Historic Signs,” by Michael J. Auer. Preservation Brief, #25 (Technical Preservation Services), National Park Service, U.S. Department of the Interior

The cultural significance of signs combined with their often transitory nature makes the preservation of historic signs fraught with questions, problems, and paradoxes. If the common practice in every period has been to change signs with regularity, when and how should historic signs be kept? If the business is changing hands, how can historic signs be reused? The subject is an important one, and offers opportunities to save elements that convey the texture of daily life from the past.

“The Preservation of Historic Signs,” by Michael J. Auer. Preservation Brief, #25 (Technical Preservation Services), National Park Service, U.S. Department of the Interior

## SIGNS

### Objective

- To enhance the integrity of the buildings and community by preserving and appropriately restoring historic signs

### Purpose of signage:

- To indicate the original occupants and the area’s past. Even with a change in business, retaining historic signage as part of the community memory is desirable
- To identify current businesses and stores

### Guidelines

1. Preserve historic signage when possible
2. Restore signs only when the original has lost its visibility through age, damage, or excessive/inappropriate cleaning
3. Create attractive commercial signs that promote business, both pedestrian and vehicular, but are free of visual clutter



4. Require that new signage compliment the historic integrity of the building and community. Signs must relate to the building(s) they serve
5. Signs shall be restricted to those which identify the name of the establishment and/or the primary business or service provided within.
6. Advertising related to businesses or services not provided on the premises shall be prohibited unless, with the approval of the Commission, such advertising is deemed historically appropriate.
7. Signage should make an attempt to recognize the stylistic features and characteristics of the historical districts in their materials and graphics
8. Signage should recognize the scale, massing, style, materials and colors of the building and the district

Common elements of historic signage include:

- Painted facades and fascia signs
- Material inlaid into the buildings façade
- Hanging signs and older neon signs
- Gold leaf or gilded lettering in storefront windows



### **Signs Mounted on Buildings**

#### Size

Signage must fit within the building design and its storefront and be historically compatible with the site and context; must be compatible with building; and must not obscure architectural elements.

#### Shape

Shape of sign must be consistent with the character of the historic district in which the signage is located.

#### Materials

- Material inlaid or carved into the buildings façade should be retained
- Sign materials should be compatible with the design theme and use of materials on the building where the sign is to be placed.
- Painted wood and metal are preferred materials for the signs.
- Metal signs, wood signs, glass signs, and signs painted on masonry are permitted.

#### Position

- Locate signage above the storefront opening so that it does not conceal architectural details and features
- Signs should be located where architectural features or details suggest a location, size, or shape for the sign
- Signs should be placed on buildings consistent with sign location on adjacent buildings
- Limit the number of projecting signs
- In pedestrian areas, orient signs to sidewalk instead of motorists.



- The bottom of hanging signs should maintain at least a 10 foot pedestrian clearance from the sidewalk.
- Signs on canopies should be twelve (12) inches away from the end edges of such canopies.
- Maintain a physical separation between individual store signs so that it is clear that the sign relates to a particular store below

### Illumination

- Consider if the sign needs to be lighted
- Use external or halo lighting to illuminate building and/or storefront signage
- Lighting should fit within the building design and its storefront and be architecturally compatible with the site and context
- With internally illuminated channel letters, limit raceways depth behind letter to five (5) inches (2 inches when using LED light source)

### Typeface/Legibility

- Use cast or fabricated metal dimensional graphics – letters and logos – in lieu of plastic or vinyl dimensional graphics
- Use a minimum of ½ deep metal dimensional graphics – letters and logos.
- Selected materials should contribute to the legibility of the sign
- Avoid faddish or bizarre typefaces
- Avoid hard to read typefaces and symbols
- Limit the number of lettering styles



### Color

- Sign colors should complement the colors used on the structures and the project as a whole
- Sign colors should reflect the color system appropriate to the period of the building
- Limit the total number of colors used in any one sign

### **Signs not mounted on buildings (commercial development or multi-tenants identification) should reference the following guidelines:**

1. Use a *ground or monumental* sign not to exceed six-feet in height including the base
2. Provide a sign base of masonry, granite, or concrete with an architectural finish. A metal base on grade is prohibited unless it is 12 inches above grade
3. Include landscaping around the base of ground and monument signs
4. Limit commercial development identification signage to a maximum of two signs (double face) when development is on two major streets, not to exceed 150 square foot of signage
5. For *pylon* signs, limit height to a maximum of (12) twelve foot in height above grade including its base and post. Limit post width to 12 inch face.



6. Provide professionally made signage, including design, material, painting and construction.
7. Use signage materials that are architecturally appropriate to the historic character of the neighborhood

## AWNINGS\CANOPIES

### Objective

- To enhance the integrity of the buildings and community by preserving and appropriately restoring historic awnings and canopies

### Purpose of awning

- Awnings and canopies provide protection form the elements, expand floor space, provide unity of appearance, and create a decorative backdrop for identification.

### Guidelines

1. Design awnings and canopies so as not to conceal building features such as pilasters or windows.
2. Use color schemes to coordinate with building façade colors
3. Use simple and triangular shape awnings with valance face not to exceed ten (10) inches
4. Install into mortar joints – no fastening into brick, stone or arch details.

### Standards

1. Locate awnings, canopies and marquees and their supporting structure at a minimum of eight (8) feet, six (6) inches above public sidewalk
2. Project awnings and canopies not more than one half the width of the sidewalk and not more than 10 feet, six inches.
3. Project awnings and canopy material such as metal, glass, or woven fabric.
4. Limit signage on awning to the valance area (e.g., front fascia of the awning, not the sloped area.) Include business name, address, logo, or business “slogan,” but not to exceed 40% of the awning valance surface area. Product advertising is unacceptable.
5. Limit the signage area of awnings and canopies to tat allowed per Section 61-140292(5) of the City of Detroit Zoning Ordinance.
6. Use external lighting to illuminate awnings. Internally illuminated awnings are unacceptable.



7. Use awnings to define individual storefront openings. Continuous awnings along blank walls or awnings located at upper floor windows are unacceptable.
8. Use exposed awning design with open ends and no ceiling.

#### Other

The awning may be attached either just below the storefront cornice or between the transom and display windows (allowing light into the store while shading merchandise and pedestrians from the sun.)

The awning should fit within the storefront opening; i.e., should not cover the piers or space above the cornice. Aluminum awnings or canopies generally detract from the historic character and should not be erected.

New coverings for existing – previously approved – awnings may be administratively approved by the coordinator if the colors, content, placement of printing and materials are appropriate.

*"... signs (and awnings) convey the texture of daily life from the past."*

Variance to the above guidelines may be granted by the Historic District Commission.

The Historic District Commission reserves all rights to amend and/or update this policy statement. Any questions pertaining to this policy shall be directed to the Historic District Commission, 65 Cadillac Square, Suite 1300, Detroit, Michigan 48226, telephone (313) 224-06536

Use these guidelines in conjunction with the City of Detroit Zoning Ordinance: Signs – Article VI and Awnings-Article XIV General Development Standards

Adopted: August 13, 2008  
Effective: August 13, 2008  
Revised: May 12, 2010 and November 13, 2013





Section 57-2-1 - Definitions:

- Place shall include any park, parkway, park lot, grass plot, golf course, playground, recreation area, open place or square or other property under the control of the recreation department

Section 54-2-4 - Permit required to trim, spray, etc. Trees; exception.

- No person shall prune, cut, molest, break, deface, destroy, spray, repair or do surgery work upon any tree or part thereof or any manner interfere with, disturb or injure any tree, shrub or plant upon the public highways or places of the city; nor shall any chemical be used for the control of insects or other diseases or for any other reason; nor shall any person permit any chemical, either solids or fluids, to seep, drain or be emptied on or about any tree, shrub or plant growing upon any public highway or place within the city, without first obtaining a permit from the recreation department

Section 57-2-8 - Trimming of branches overhanging streets.

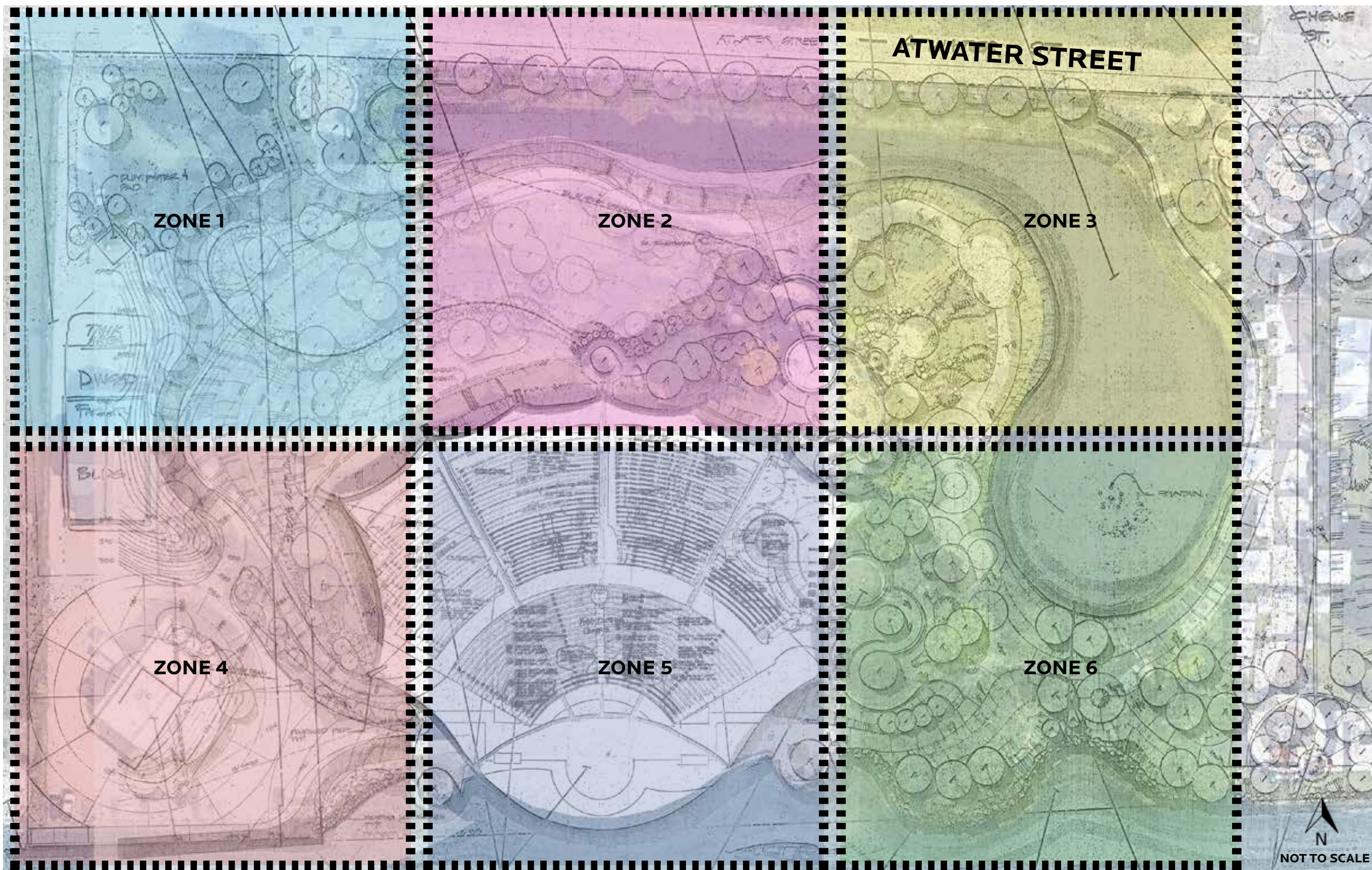
- Every owner of any tree, shrub or plant overhanging the streets or highways within the city shall trim the branches so that they shall not obstruct the light from any street lamp or obstruct the view of any street intersection, and so that there shall be a clear space of (10) feet above the surface of the street or sidewalk. Such owners shall remove all dead, diseased or dangerous trees, broken or decayed limbs which may be considered a menace to the safety of the public

Section 57-2-18 - Permit required for planting of trees and shrubs

- It shall be unlawful for any person to plant any trees, shrubs or any other plant in any public highway with the city, either for himself or for anyone else, until he has secured a written permit therefor from the recreation department, which permit shall be complied with in strict accordance with the rules and regulations prescribed. The application for such permit shall designate the locations and species of trees shrubs, or plants to be planted and the method proposed to be followed. The recreation department shall have the authority to refuse the granting of such permits when such planting is likely to create a public danger or a nuisance.

Section 57-2-18 - Permit required for planting of trees and shrubs

- It shall be the duty of the recreation department to remove or cause to be removed all trees, shrubs, or plants planted upon the public highways and public places within the city when, in its judgment, such removal shall be beneficial to the peace, health, and safety of the public, for public improvements or where such trees, shrubs, or plants detrimental to the growth of adjacent trees, but in such cases where, in the judgment of the recreation department, there exists the necessity of replacing these trees, shrubs, or plants the cost thereof shall be at the expense of the abutting property owner, either by direct payment of such amount to the city treasurer or by assessment as provided by this article. The cost for such removals shall be from funds provided therefor from general taxation.



**LEGEND**

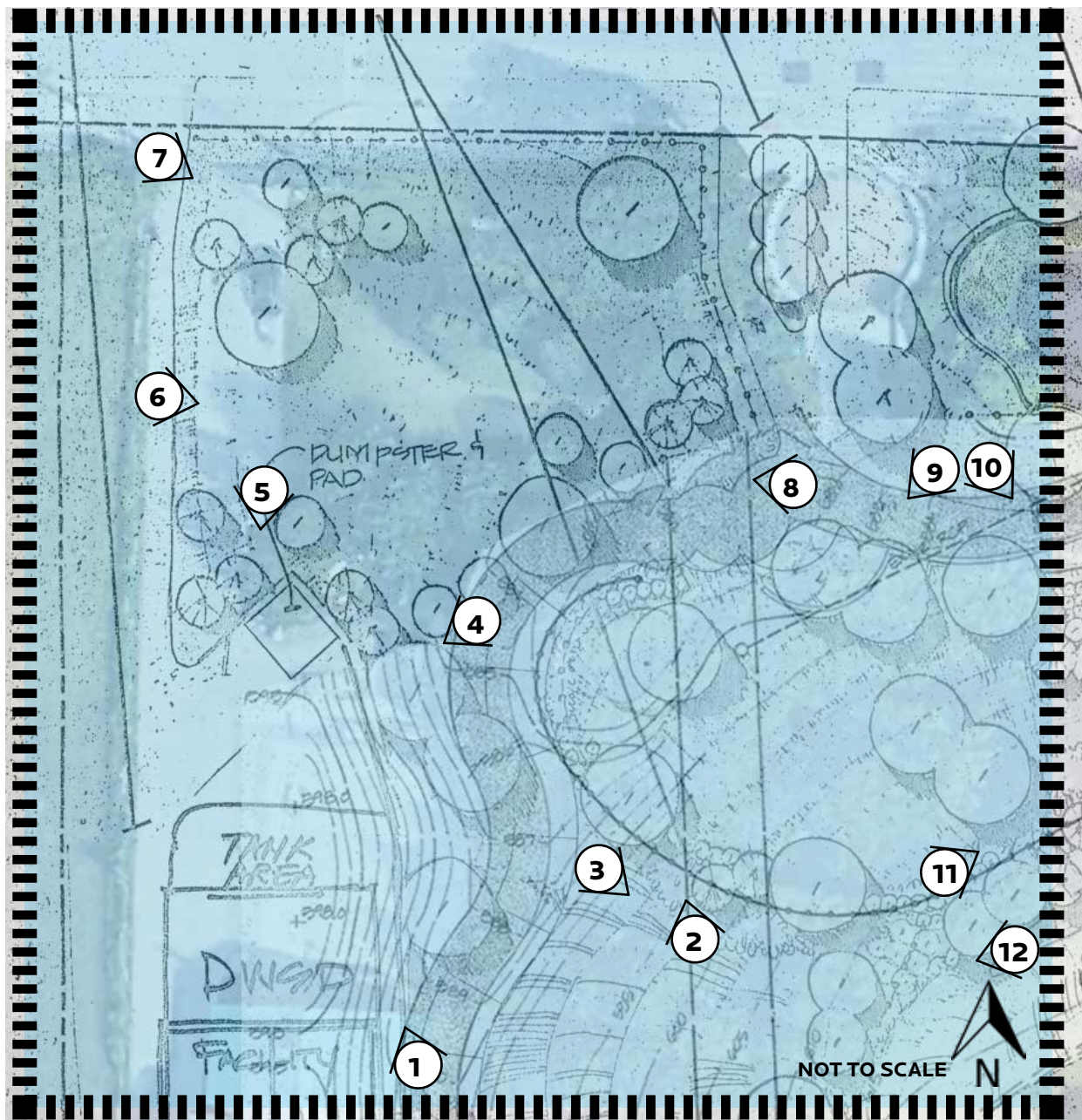
■■■■■■■■ ZONES

On December 7th, 2022, Hamilton Anderson Associates performed a site inventory and analysis on the existing conditions of the landscape within the Aretha Franklin Amphitheatre property. Photos and descriptions of the landscape conditions have been compiled in this document and recommendations have been provided for landscape improvements.

**Historic District Requirements**

Chapter 21- History  
Division 5. Designated Districts  
Section 21-2-243 - Aretha Franklin Amphitheatre/Chene Park Historic District





(5) Overgrown Austrian Pines and (1) White Pine no longer provide screening. Consider removing, replace with Norway Spruce or approved equivalent



Burning Bush is overgrown and suffocated by vines. Remove shrubs and replace with smaller non-invasive shrubs. Remove stumps and weeds from bed, add topsoil, perennials, and mulch



Competition in the interior of the Austrian Pine stand has caused dieback; Prune dead branches. Reseed lawn with shade fescue variety. Shrubs along fence are overgrown; Consider pruning or replacing. Re-install metal landscape edging



(2) Overgrown Blue Spruce trees; Consider replacing with Norway Spruce or approved variety



(3) Overgrown Austrian Pines. Consider removing, replace with Blue Spruce or equivalent. Remove volunteer shrubs along wall. Reseed lawn



Blue Spruce and Norway Maple in this location are in good condition; no action needed. Consider reseeding lawn



Prune (3) Crabapple trees (suckering growth), and consider screening mechanical unit with shrubs. Large Siberian Elm and Blue Spruce in good condition.



Mature Austrian Pines and Norway Maple are in good condition. Consider reseeding lawn



(3) Mature Cottonwood trees and (1) Red Oak Tree in good condition. Consider planting row of evergreen shrubs along top of retaining wall



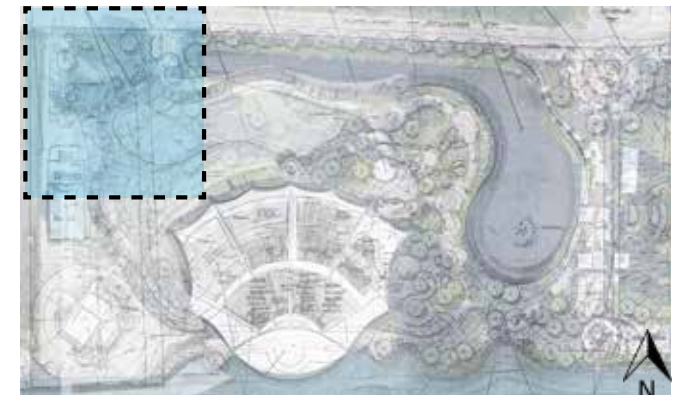
(1) Red Oak in good condition. Remove shrubs in planting bed. Consider replacing Blue Spruce trees due to overgrowth and dieback. Reseed lawn



Reinstall landscape edging

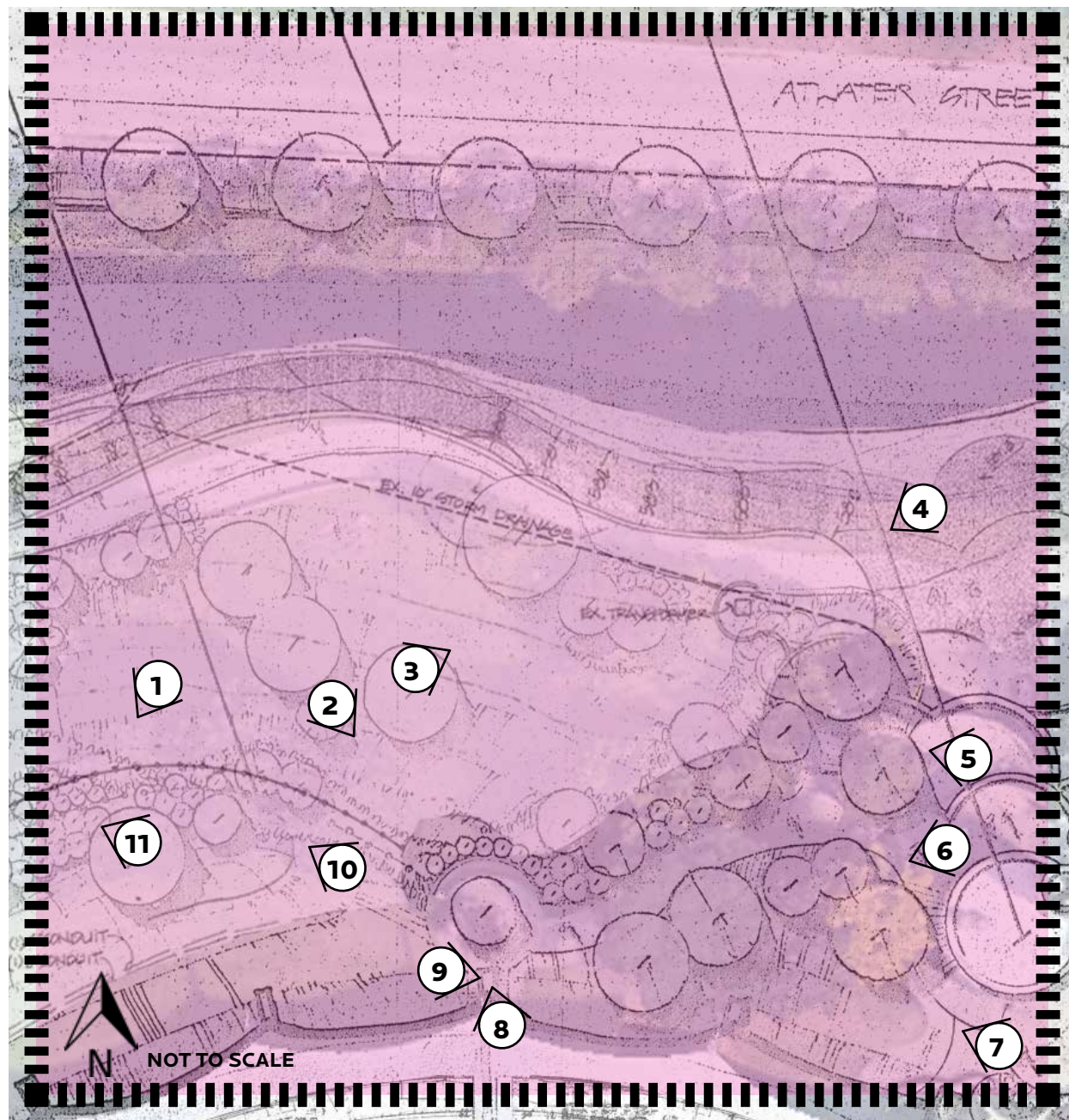


Remove all invasive shrubs here. Reset landscape edging, add topsoil, mulch, and new shrubs along fence



**LOCATION MAP**





1 Remove volunteer pear saplings, prune suckers on mature trees. Prune overgrown shrubs along fence



2 Prune suckers on Crabapple tree. Austrian Pines are in fair condition (mild competition with each other). Reinstall landscape edging atop hill



3 Prune suckers of ornamental tree, remove unhealthy Redbud tree and replace with same species. Consider pruning the Burning Bush shrubs or replace with non-invasive species



4 Beech tree is in good condition but crowded by Burning Bush and small ornamental tree. We suggest removing the burning bush and small tree to showcase Beech. Plant new columnar evergreens along foundation



5 White Pine in good condition. Prune branches overhanging steps. Weed bed, mulch, and plant with annuals in growing season



6 Shrubs are overgrown, prune back to reduce size; especially the shrub growing into the sidewalk



7 Shrubs are overgrown, prune back to reduce size. Reinstall landscape edging. Red Oak and Austrian Pine in good condition, but prune any dead limbs



8 (1) American Beech in fair condition. Monitor for dead limbs in growing season



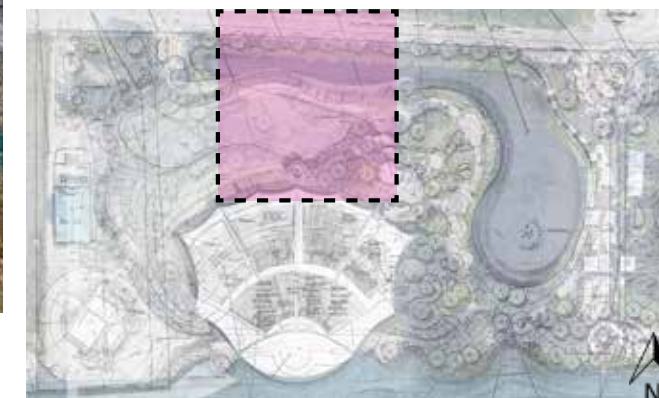
9 Grass area to be reseeded; typical of the lawn areas



10 Austrian Pines in fair condition (competition). Reset landscape edging, remove weeds, add landscape fabric, topsoil and mulch, and add shrubs/perennials

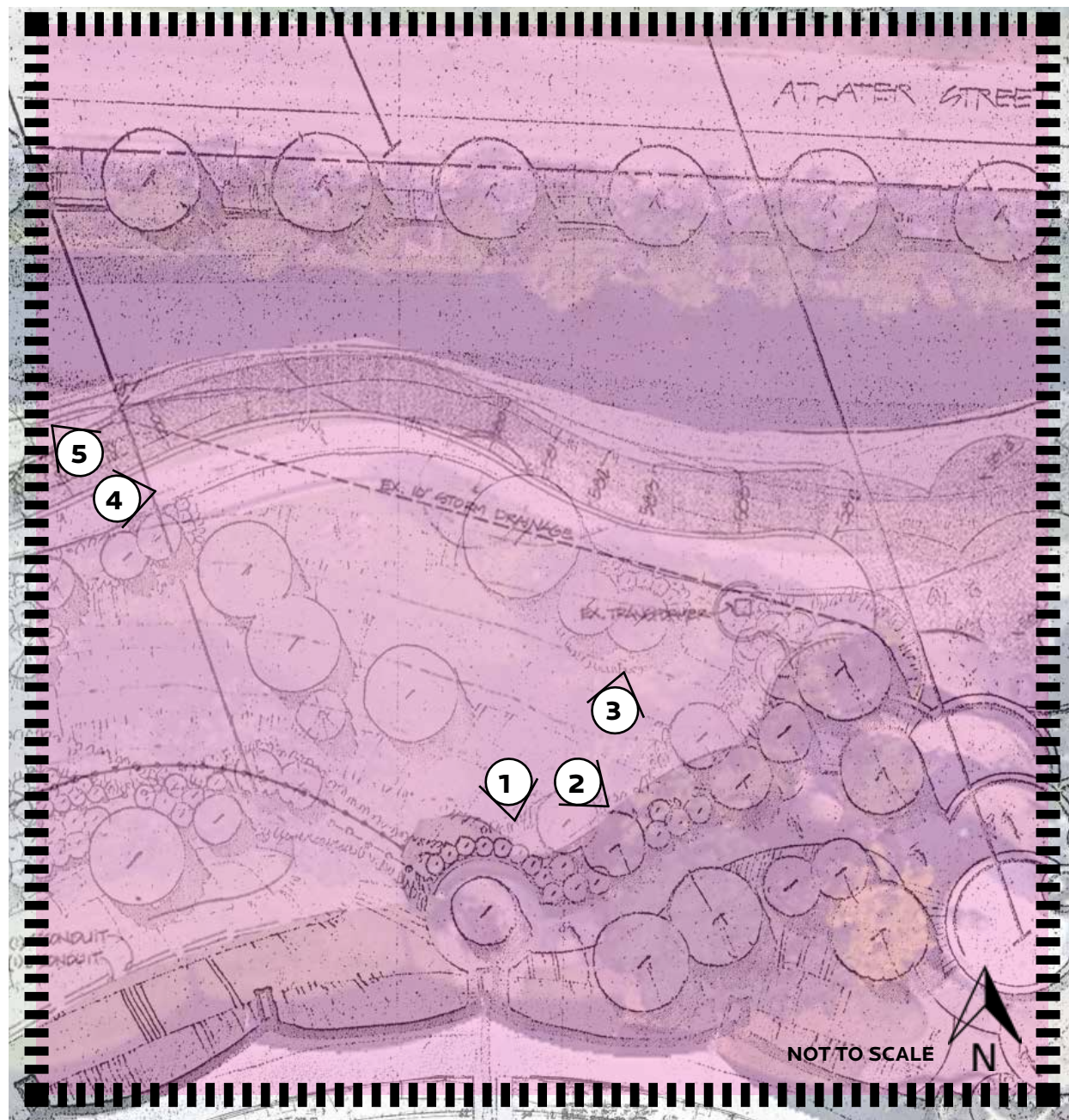


11 Prune Crabapple suckers, remove invasive shrubs, reset landscape edging, remove weeds. Add topsoil, and mulch beds



LOCATION MAP





1 Pear tree in fair condition; prune suckers. Remove pear tree stump and suckers, remove weeds, and prune yew shrubs. Reset landscape edging and add topsoil and mulch



2 Shrubs are overgrown, prune to reduce size. Remove invasive honeysuckle in these beds. Reset landscape edging, add topsoil and mulch. Prune lower limbs of Pear Trees, and prune suckers from Hawthorn Trees



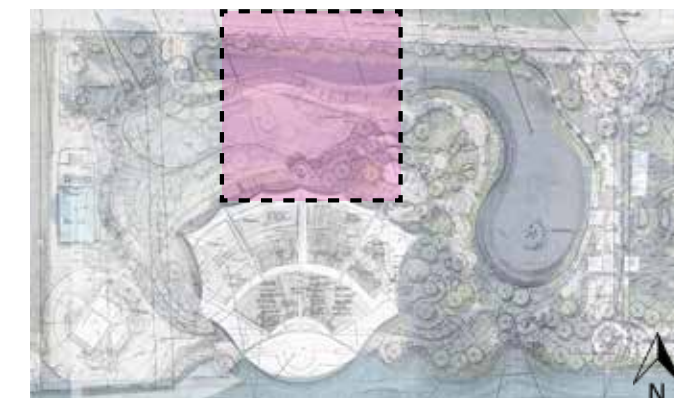
3 Remove (1) Redbud Tree. Replace with same species. Prune shrubs in this bed to reduce size. Add topsoil and mulch to bed



4 Remove stump and reseed

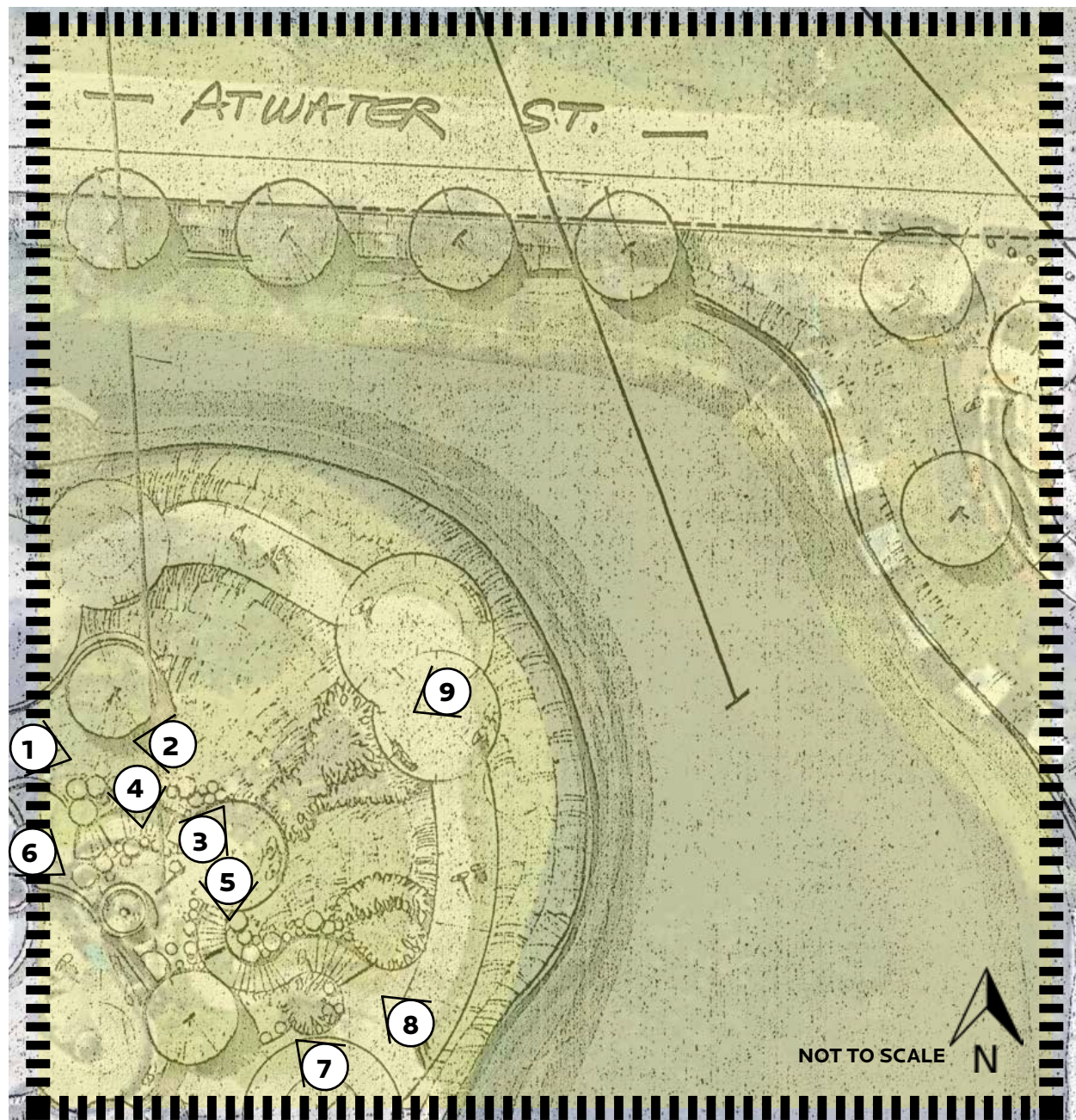


5 Remove stump and reseed



LOCATION MAP





Prune branches of ornamental tree that are against wall, and prune suckers. Add mulch for aesthetics



(1) Honeylocust tree and ornamental tree in planter are in good condition. Reset landscape edging, remove weeds from planing beds, add landscape fabric, topsoil, mulch, and ground cover. Reseed grass area leading up to sidewalk



Remove herbaceous weeds, add new mulch where it is necessary



Add evergreen shrubs such as juniper to match planters under pavilion



Remove invasive euonymous vines, replace with non-invasive, native ground cover. Trim English Ivy back, and reseed lawn area where needed



Remove weeds from planters, add landscape fabric, topsoil, and mulch. Plant new shrubs such as Juniper or Hydrangea



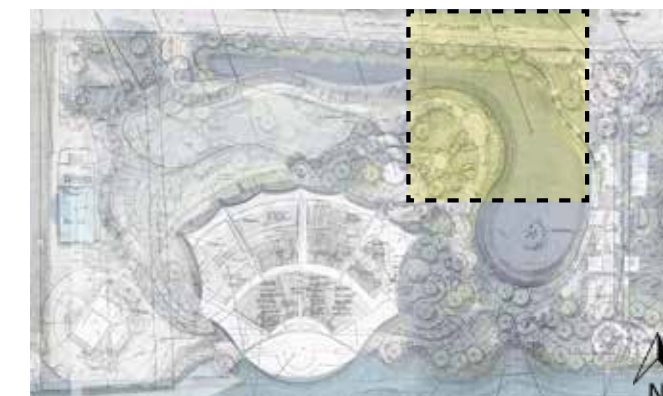
Reset landscape edging, clean up landscape beds, remove euonymous vines, and reseed lawn where necessary



Remove weeds from landscape beds, reset landscape edging

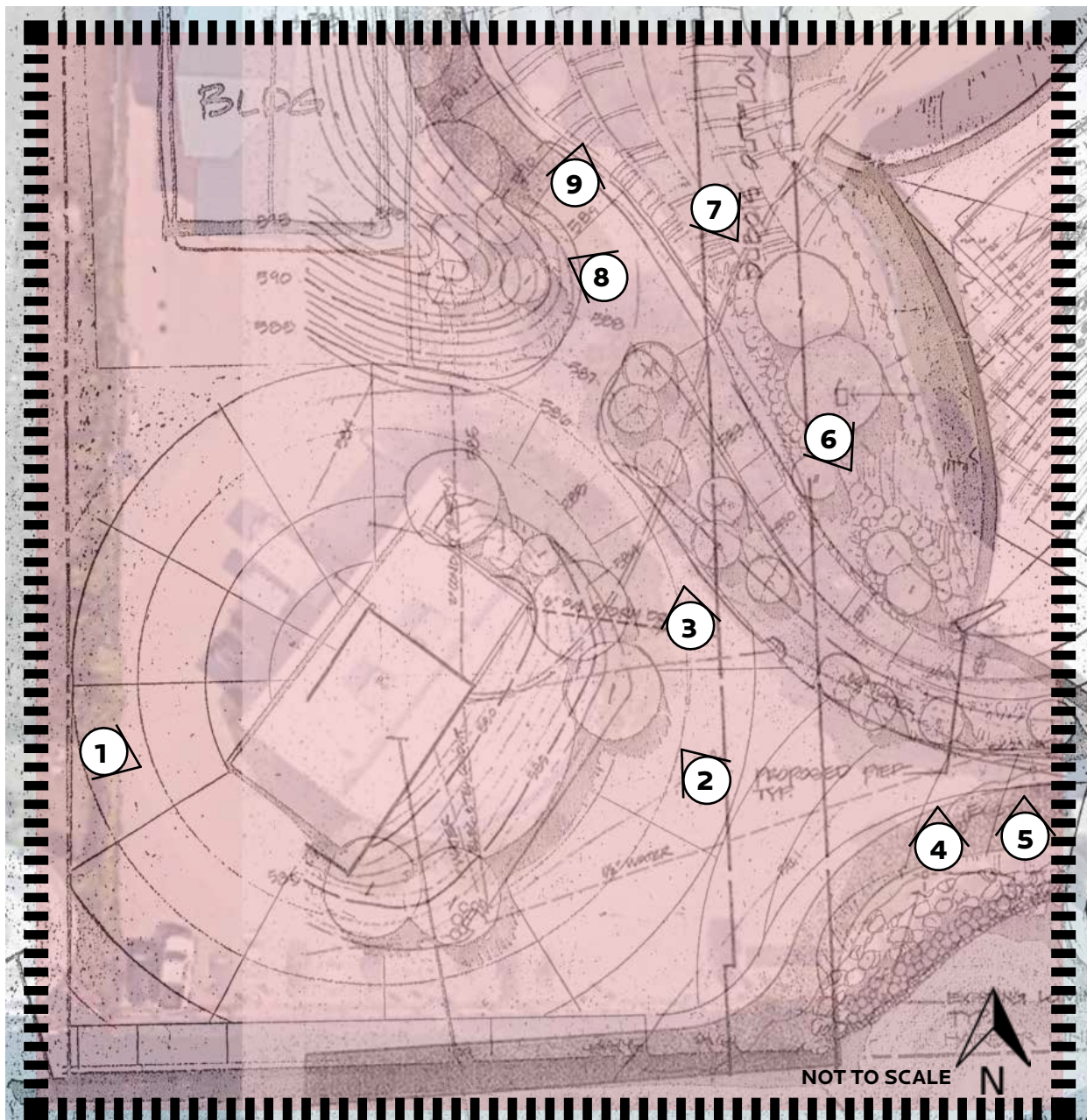


Remove weeds from landscape beds, reset landscape edging



**LOCATION MAP**





1 Fill landscape area with topsoil and reseed. Prune Honeylocust branches away from building



2 Fill landscape area with topsoil and reseed. Prune honeylocust branches away from building



3 (3) Austrian Pines are in fair condition; prune dead limbs. Consider removing overgrown shrubs and replacing with perennials or new shrubs. Grind stump, re-install landscape edging and remove grass from planter bed



4 (5) Austrian Pines are in good condition, though overgrown and block views of the river from pavilion seating. If removed, provide large massings of shrubs such as oak leaf hydrangea along with perennial plantings near drive



5 Plant shrubs in bare landscape bed; consider juniper. Stones can be used throughout area as outcropping



6 (3) Prune dead branches of Austrian Pine trees. Reinstall landscape edging and add topsoil with ground cover or perennials



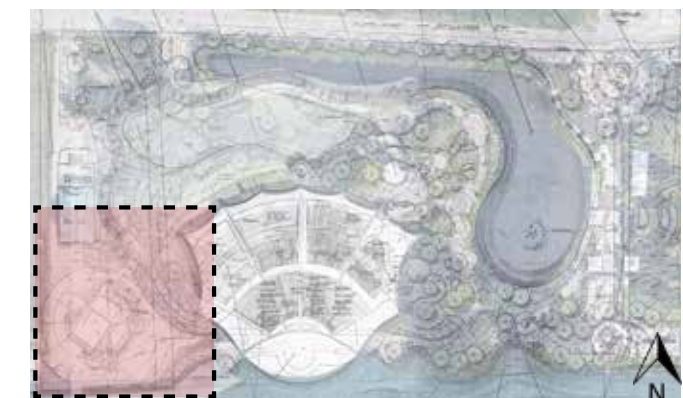
7 Remove (2) invasive boxelder trees, prune suckers of (3) crabapples and prune dead branches on (3) Austrian Pine trees. Reinstall landscape edging and add topsoil with ground cover or perennials



8 (5) Colorado Blue Spruce trees are in poor condition. Consider removing and replacing with Norway Spruce or approved variety. Opportunity to use new spruce to screen building and parking area

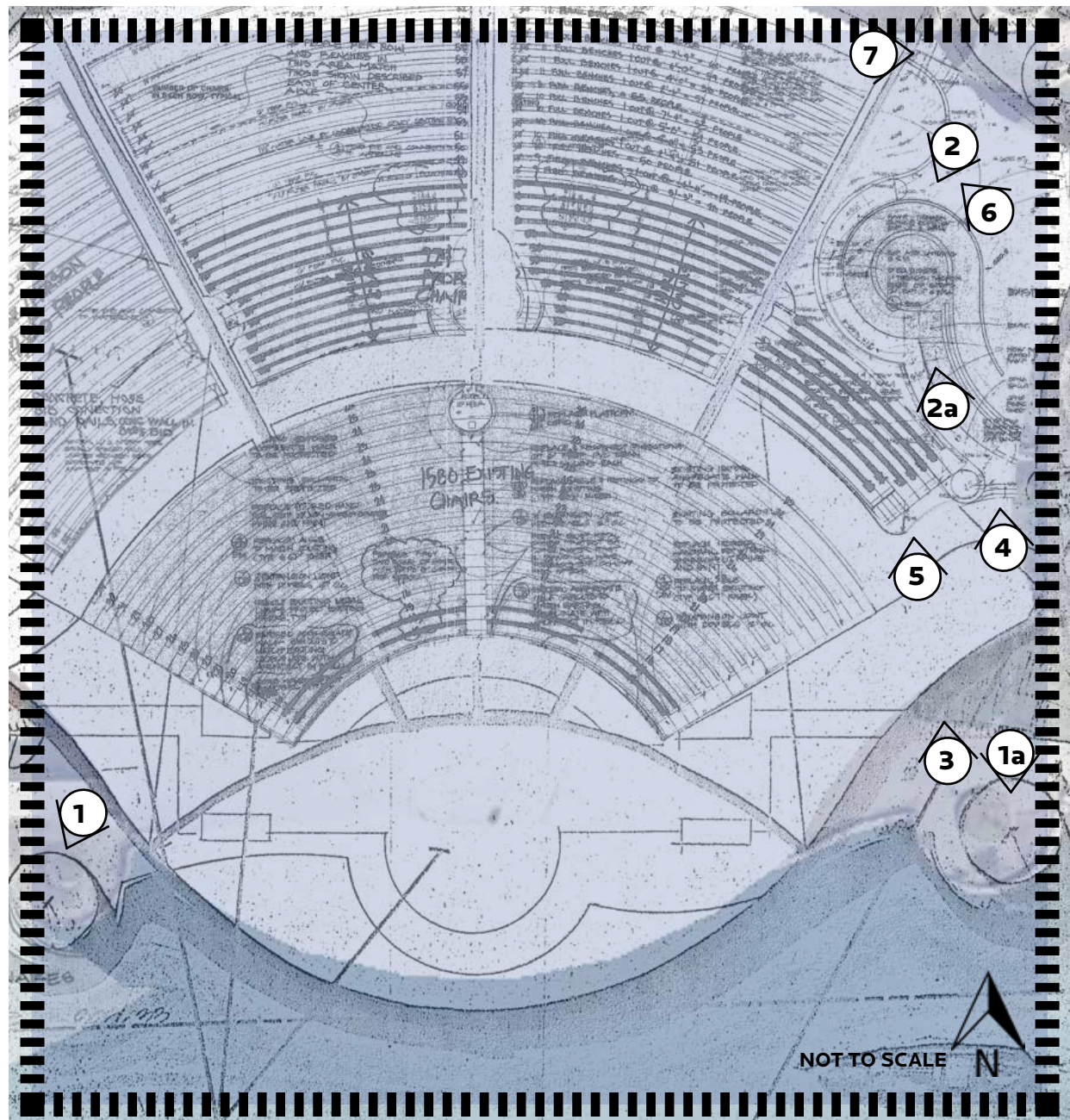


9 Austrian Pines, Blue Spruce, and White Pine are in poor condition. Area may be cleared for future building. If trees remain, prune dead limbs. Remove invasive white mulberry. Red Maple at north end of stand to remain



LOCATION MAP





1 Add new White Fir tree to match planter on east side of pavilion



1a White Fir in good condition; plant same species and size in planter to the west of the pavilion



2 Prune dead limbs in canopy of Red Oak tree, see picture to the right for reference



2a Oak trees should be pruned when dormant, this images identifies a dead leader



2a This photo shows more dead limbs that should be pruned



3 Define planting bed edge with metal landscape edging; provide plant material in bed



4 Burning Bush in good condition, though overgrown. It is considered invasive and should be replaced with a native variety. If it is kept, consider pruning when dormant to reduce size



5 Juniper shrubs in good condition



6 English Ivy is overgrown, prune back to reveal seatwall

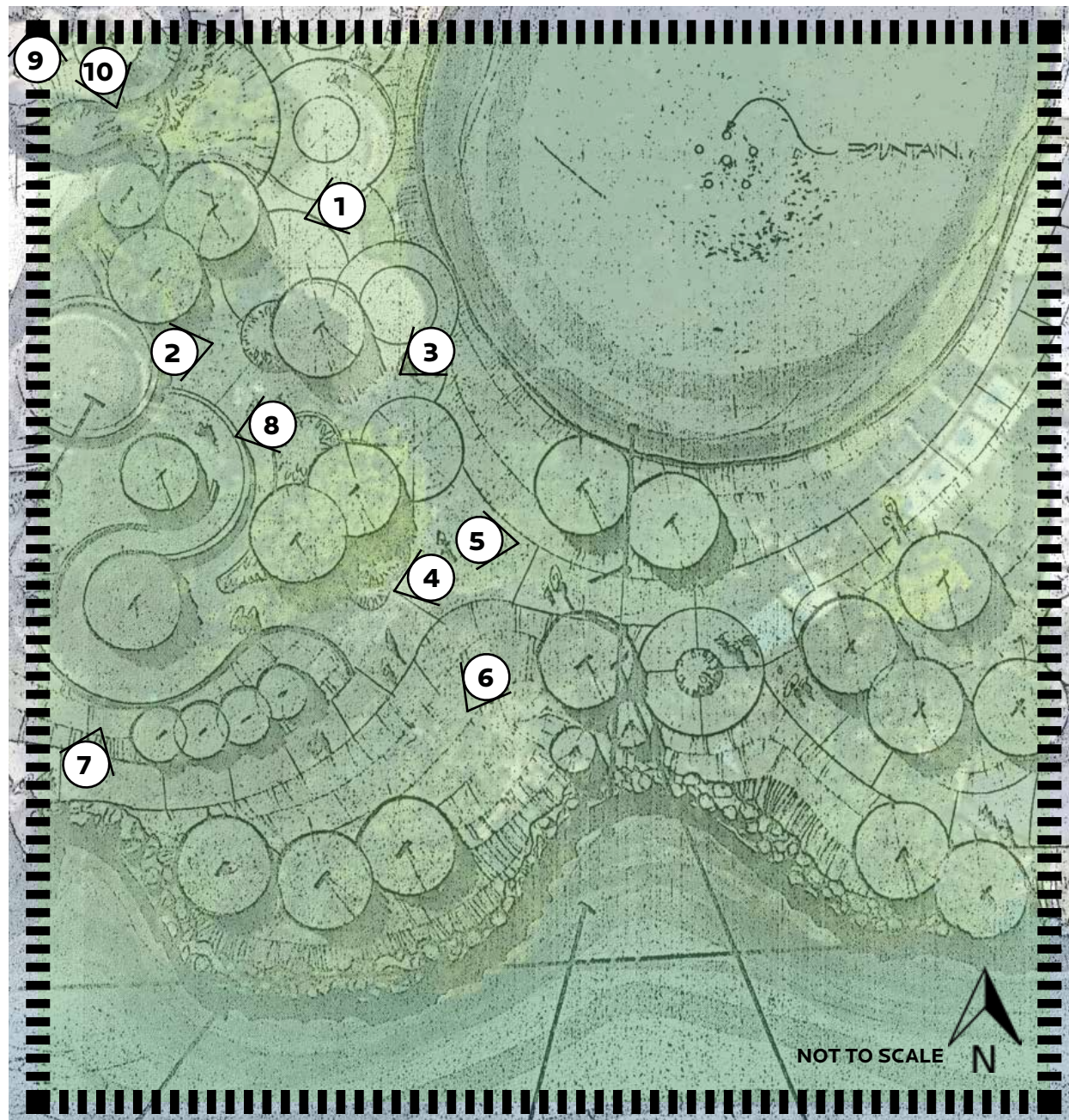


7 Remove grass from bed, plant new juniper shrubs and add mulch.



LOCATION MAP





(2) Norway Maple trees and yew shrubs in good condition. Deciduous shrubs are overgrown, consider pruning back to reduce size. Also consider resetting the landscape edging



Yew shrubs are in poor condition; it is recommended to remove stunted shrubs and replace with similar variety. Deciduous shrub is in good condition but overgrown; consider pruning back to reduce size



(2) Red Oaks and (1) Pear Tree in fair condition due to interior competition; prune dead limbs. Yew shrubs in good condition, though several are dead and need replacement. Deciduous shrubs in good condition but overgrown; consider pruning to reduce size



(2) Crabapple trees under Pear tree are suppressed and in poor health. Recommend removing Pear tree limbs that overhang the sidewalk and crabapples, or removing crabapples and replacing with a row of shrubs



(1) Honeylocust (left) in good condition. (1) Scotch Pine (Right) in fair condition, prune any dieback. (2) Hydrangea shrubs along walk in good condition; consider planting more to form an attractive border along walk



(1) Scotch Pine in poor condition from suppression. Consider removing and replacing with ornamental tree that is tolerant to shade. Reseed lawn area. Other trees south of walk are in good condition



(1) American Beech and Yew shrubs are in good condition



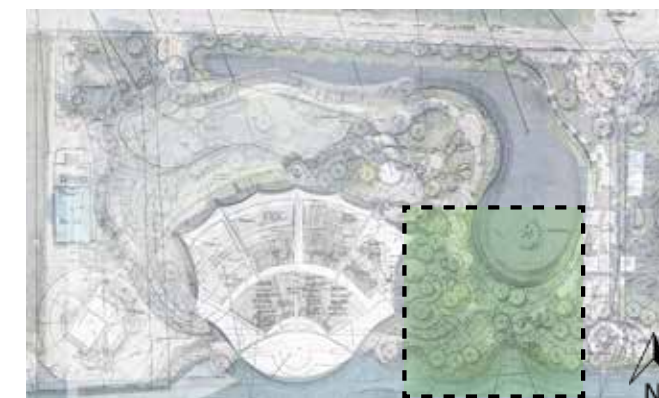
(1) Honeylocust in good condition



Consider sider adding juniper shrubs and mulch



Shrubs vastly overgrown, prune back significantly to reduce size



**LOCATION MAP**



# AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

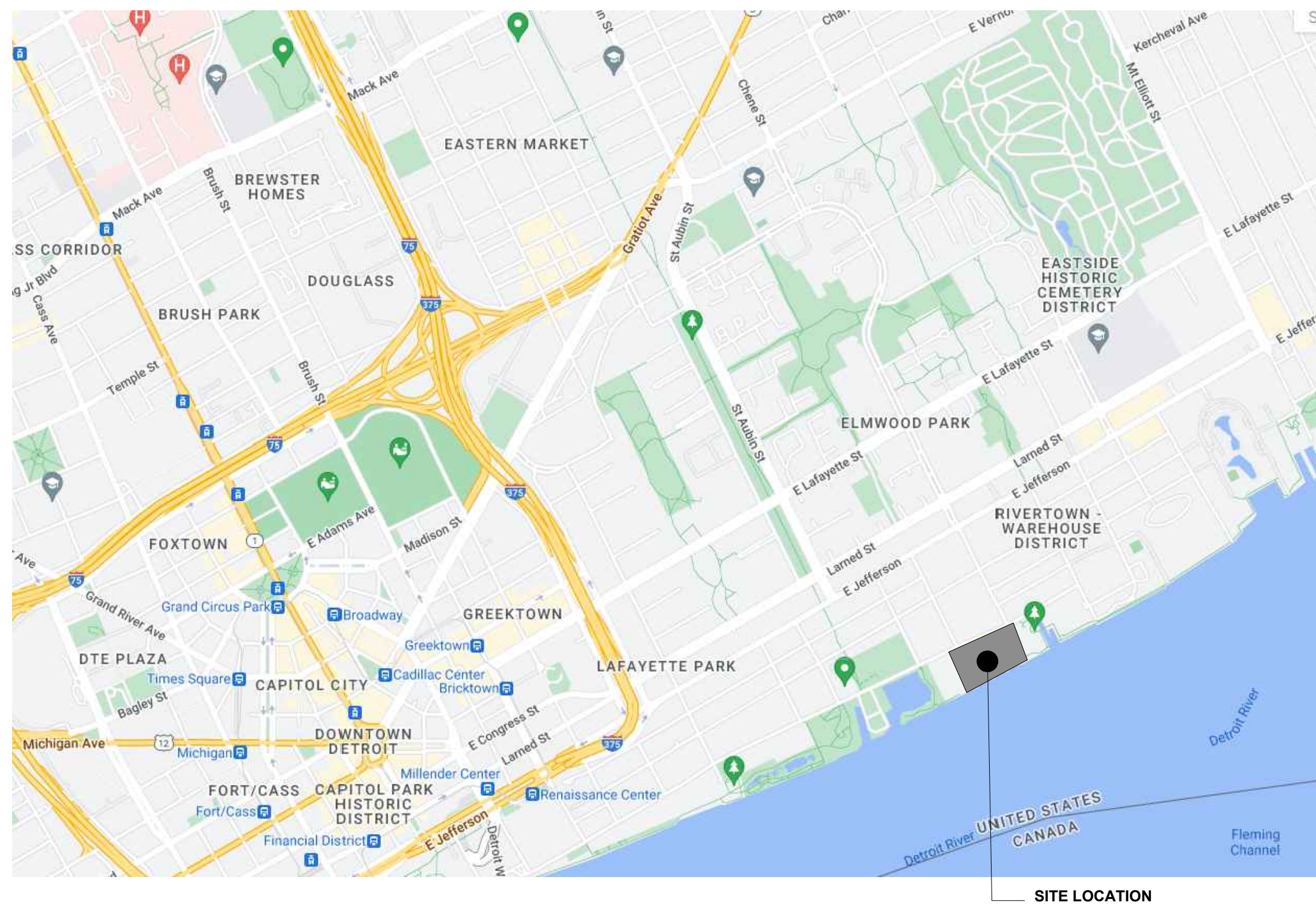
2600 ATWATER ST., DETROIT MI, MICHIGAN 48207  
HDC SUBMISSION - 13 FEBRUARY 2023

HAMILTON ANDERSON PROJECT NUMBER: 2022022.01

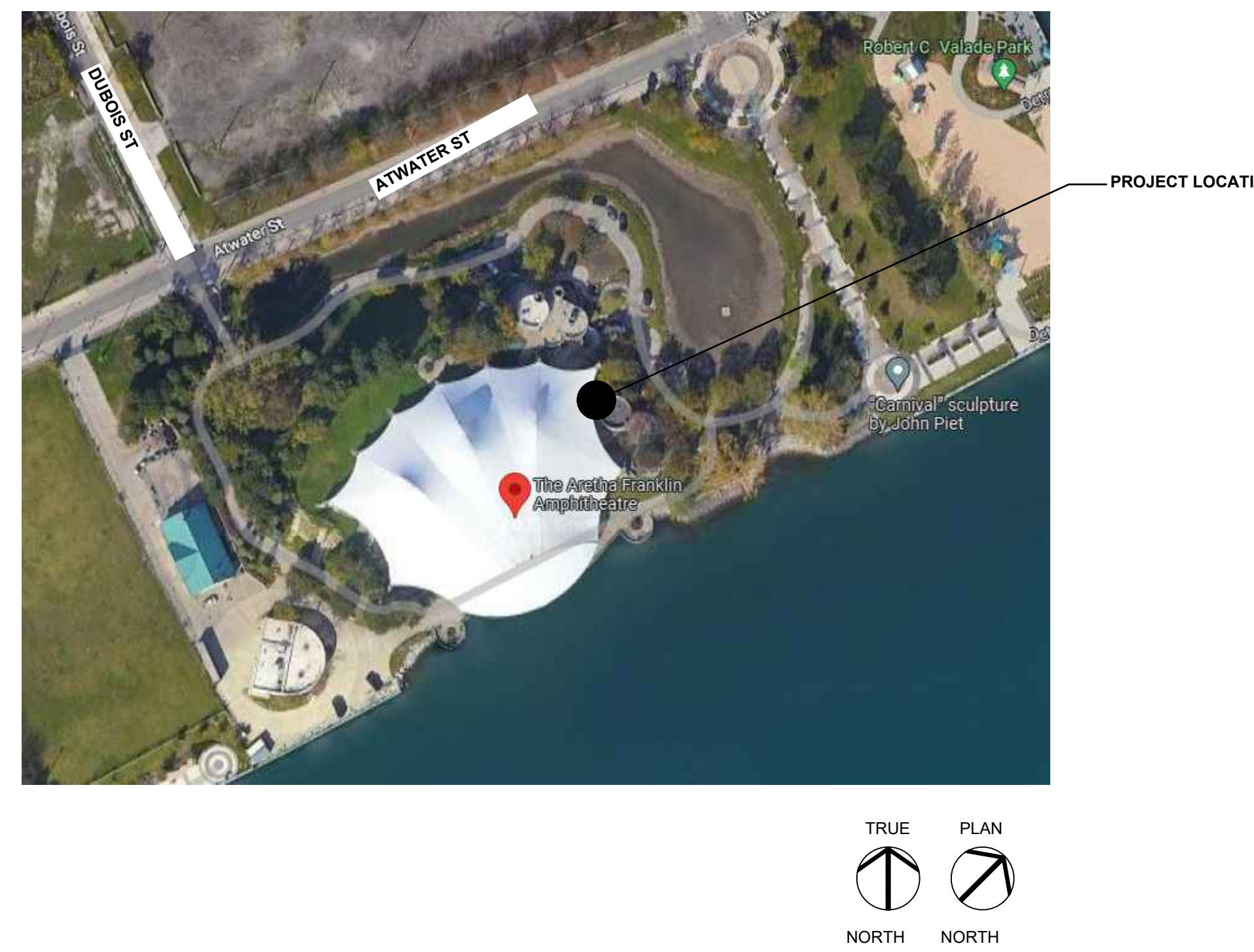
**HamiltonAnderson**  
architecture landscape architecture urban design

Hamilton Anderson Associates, Inc  
1435 Randolph Suite 200  
Detroit, Michigan 48226  
p 313 964 0270 f 313 964 0170  
www.hamilton-anderson.com

LOCATION MAP:



SITE MAP:



DRAWING INDEX:

SHEET #	SHEET DESCRIPTION	SHEET ISSUE DESCRIPTION	SHEET ISSUE DATE
CS.1	COVER SHEET	HDC SUBMISSION	02/13/2023
L1.1.0	GENERAL NOTES	HDC SUBMISSION	02/13/2023
L1.1.1	SPECIFICATIONS	HDC SUBMISSION	02/13/2023
LD1.1.1	SITE DEMOLITION PLAN	HDC SUBMISSION	02/13/2023
L6.1.0	PLANTING PLAN - OVERALL	HDC SUBMISSION	02/13/2023
L6.1.1	PLANTING PLAN - ENLARGED	HDC SUBMISSION	02/13/2023
L6.1.2	PLANTING PLAN - ENLARGED	HDC SUBMISSION	02/13/2023
L9.1.1	PLANTING DETAILS	HDC SUBMISSION	02/13/2023

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DUBOIS STREET

ATWATER STREET

POND

TURF

TURF

AMPHITHEATRE

STAGE

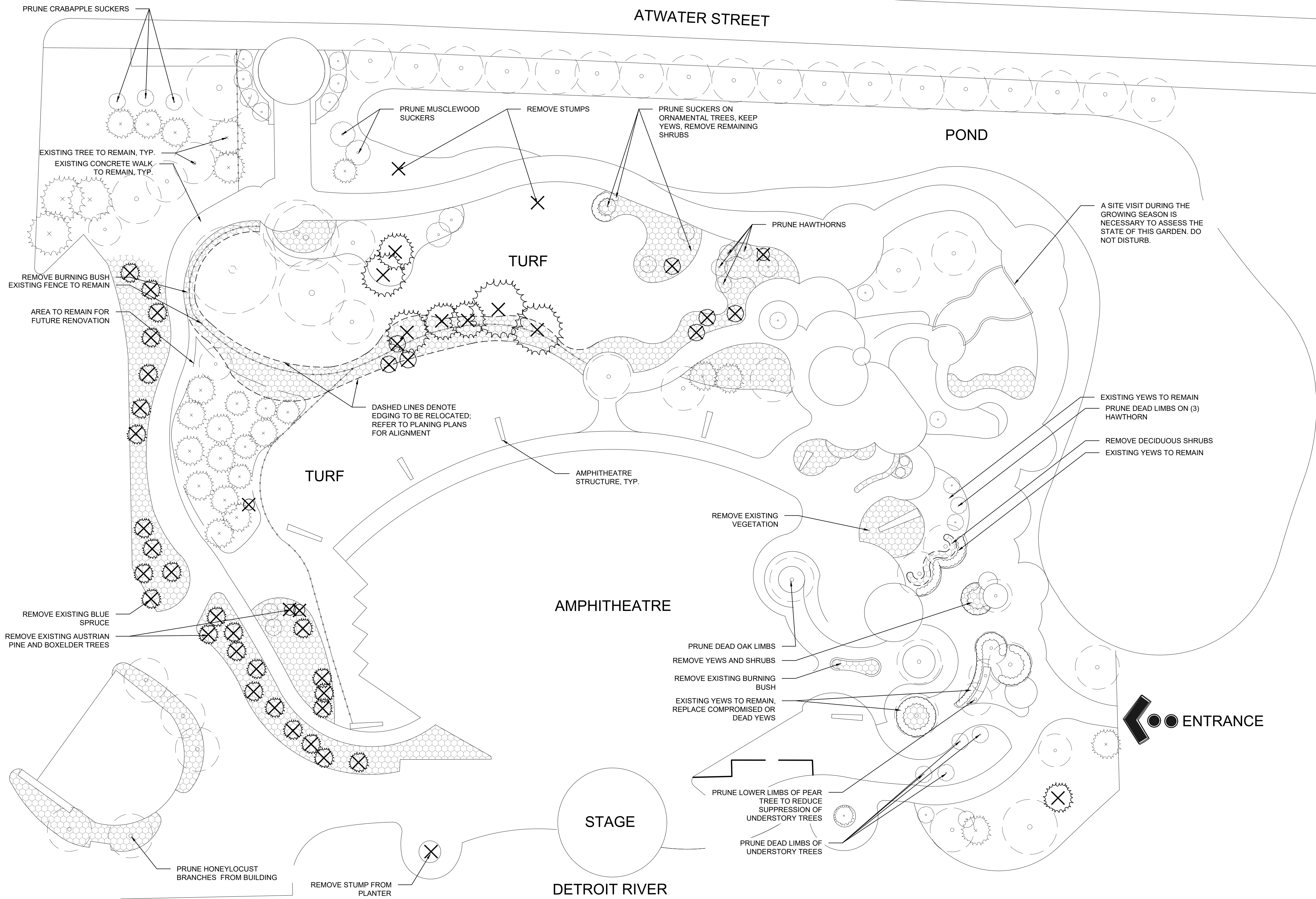
DETROIT RIVER

LEGEND

- PROJECT LIMITS
- PROPERTY LINE
- EXISTING PLANTING BEDS TO BE EXCAVATED, INCLUDING SHRUBS UNLESS NOTED OTHERWISE
- EXISTING TREE TO REMAIN
- DEMOLITION TREE

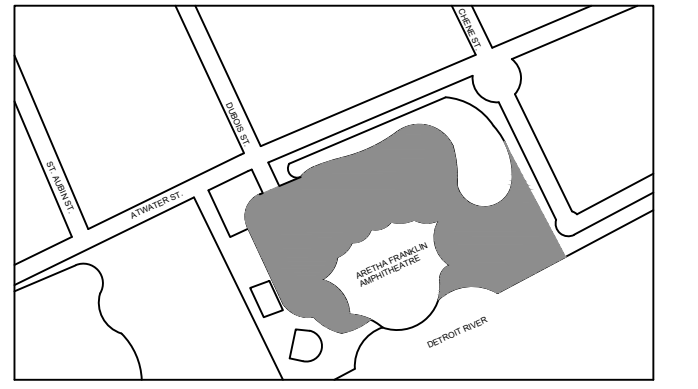
NOTES

1.



A SITE VISIT DURING THE GROWING SEASON IS NECESSARY TO ASSESS THE STATE OF THIS GARDEN. DO NOT DISTURB.

Client  
**City of Detroit GSD**  
115 Erksine St.  
Detroit, MI 48201



HDC SUBMISSION 02-13-2023

Project  
**AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS**

Drawing Title  
**SITE DEMOLITION PLAN**

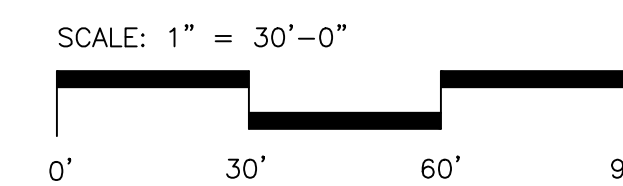
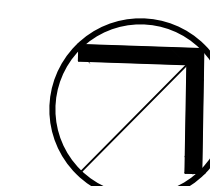
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Drawn By: JRH Approved By: MC  
Scale: 1 INCH = 30 FEET

Seal:

Signature: \_\_\_\_\_  
Drawing No:

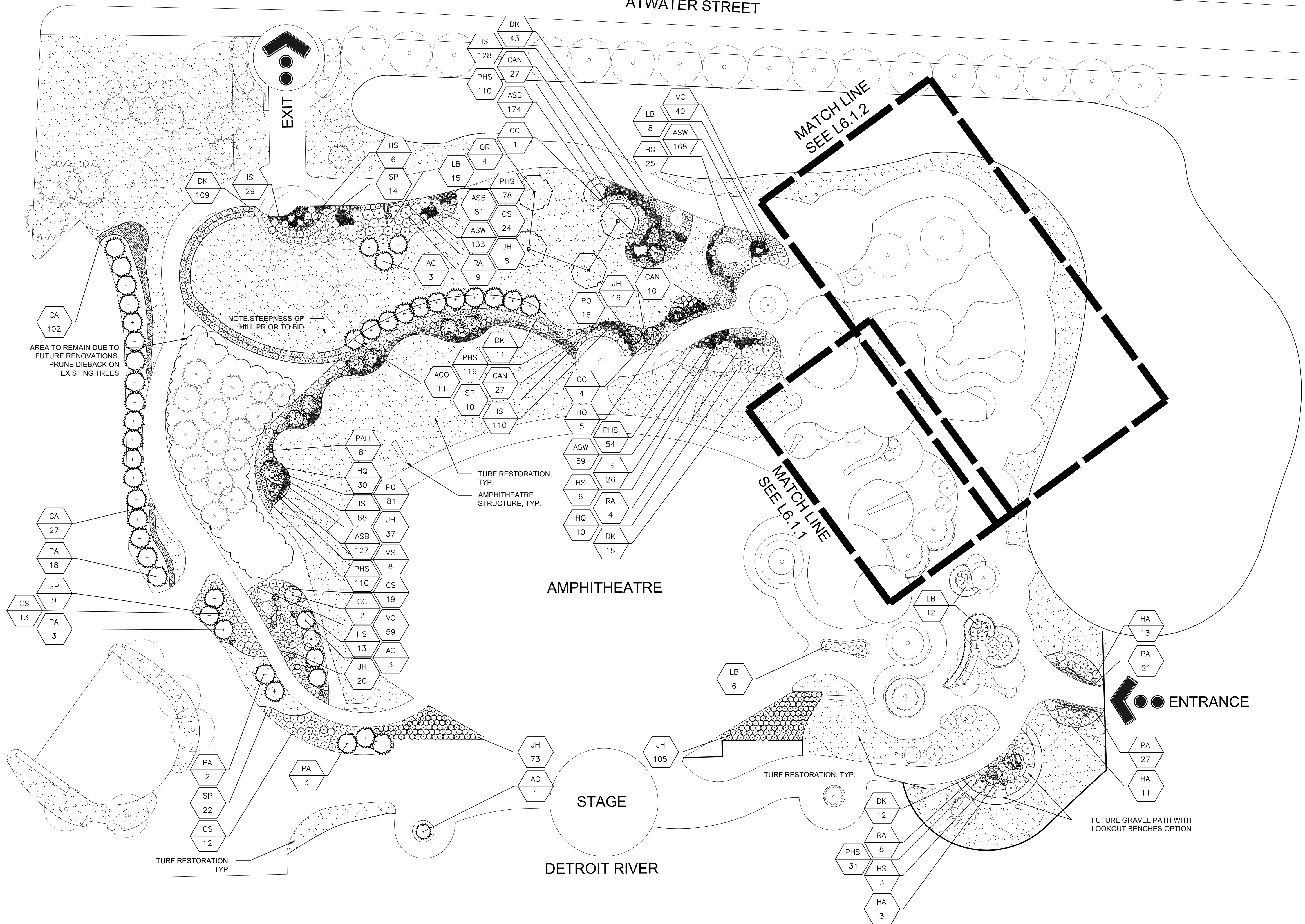
**LD1.1.1**

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DUBOIS STREET

ATWATER STREET



LEGEND

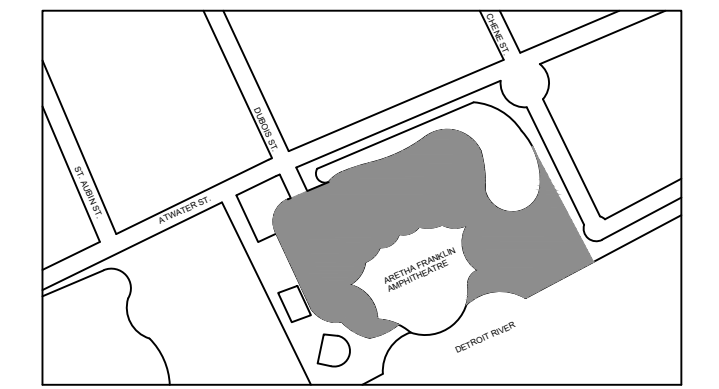
- PROJECT LIMITS
- PROPERTY LINE
- [Patterned Box] EXISTING PLANTING BEDS TO RECEIVE MINIMUM 4" DEPTH BROWN PINEBARK MULCH
- [Circle with Center] EXISTING TREE TO REMAIN
- [Circle with Cross] SHADE TREE
- [Circle with Spikes and Cross] EVERGREEN TREE

NOTES

1. CONTRACTOR TO FIELD VERIFY EXACT LOCATION OF PLANTINGS.
2. PLANT QUANTITIES TO BE VERIFIED BY CONTRACTOR.
3. ALL DISTURBED AREAS TO BE SEEDDED WITH HYDROMULCH OVER 4" OF TOPSOIL.
4. REFER TO PLANT DETAILS SHEET L9.1.1 FOR PLANT LIST

IRRIGATION DESIGN-BUILD NOTES

1. IRRIGATION SYSTEM TO BE A DESIGN-BUILD RETROFIT OF THE EXISTING SYSTEM. INFORMATION REGARDING THE EXISTING SYSTEM IS AVAILABLE FROM THE OWNER.
2. IRRIGATION DESIGN-BUILD CONTRACTOR TO PROVIDE PROPOSED DESIGN FOR REVIEW BY OWNER AND LANDSCAPE ARCHITECT.
3. ALL LATERAL LINES, VALVES, HEADS, AND OTHER EQUIPMENT WITHIN THE AREA OF WORK SHALL BE NEW.
4. ALL LANDSCAPE AREAS WITHIN THE AREA OF WORK SHALL BE IRRIGATED.
  - 4.1. RAISED PLANTERS AND OTHER PLANTING AREAS WITH SHRUBS, PERENNIALS, OR ORNAMENTAL GRASSES SHALL RECEIVE SUB-SURFACE DRIP IRRIGATION OR POINT-SOURCE IRRIGATION, SUCH AS FLOOD BUBBLERS.
  - 4.2. TURF AREAS SHALL RECEIVE HEAD-TO-HEAD SPRAY IRRIGATION COVERAGE.
5. RETROFITTED SYSTEM SHALL ENSURE CONTINUED IRRIGATION TO ALL AREAS OF EXISTING SITE WHICH ARE CURRENTLY IRRIGATED.
6. CONTRACTOR TO ENSURE ADEQUATE TEMPORARY IRRIGATION OF ALL EXISTING AREAS OF SITE IMPACTED BY INSTALLATION OF RETROFITTED SYSTEM THROUGHOUT SAID INSTALLATION.

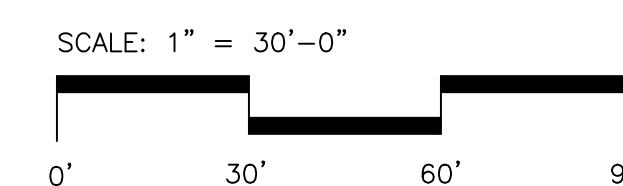
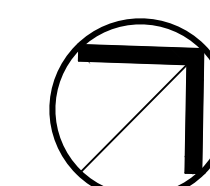


AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

Planting Plan - Overall - Overall

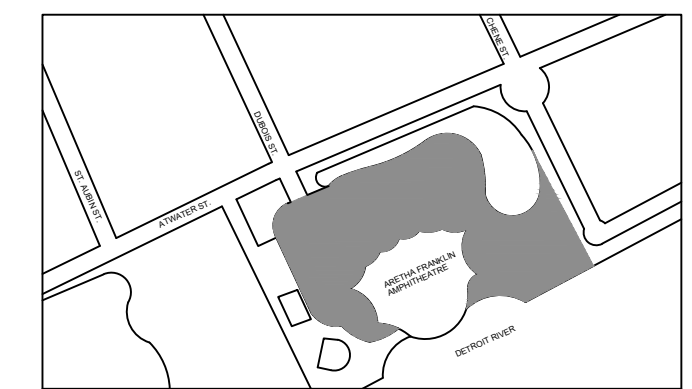
L6.1.0

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Project  
**AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS**

Drawing Title  
**PLANTING PLAN - ENLARGED**

Project Number: 2020022.01

Drawn By: JRH Approved By: MC

Scale: 1/8" = 1'-0"

Seal:

Signature: \_\_\_\_\_

Drawing No: \_\_\_\_\_

**L6.1.2**

**LEGEND**

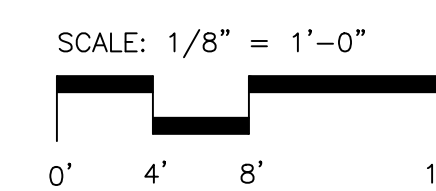
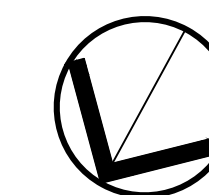
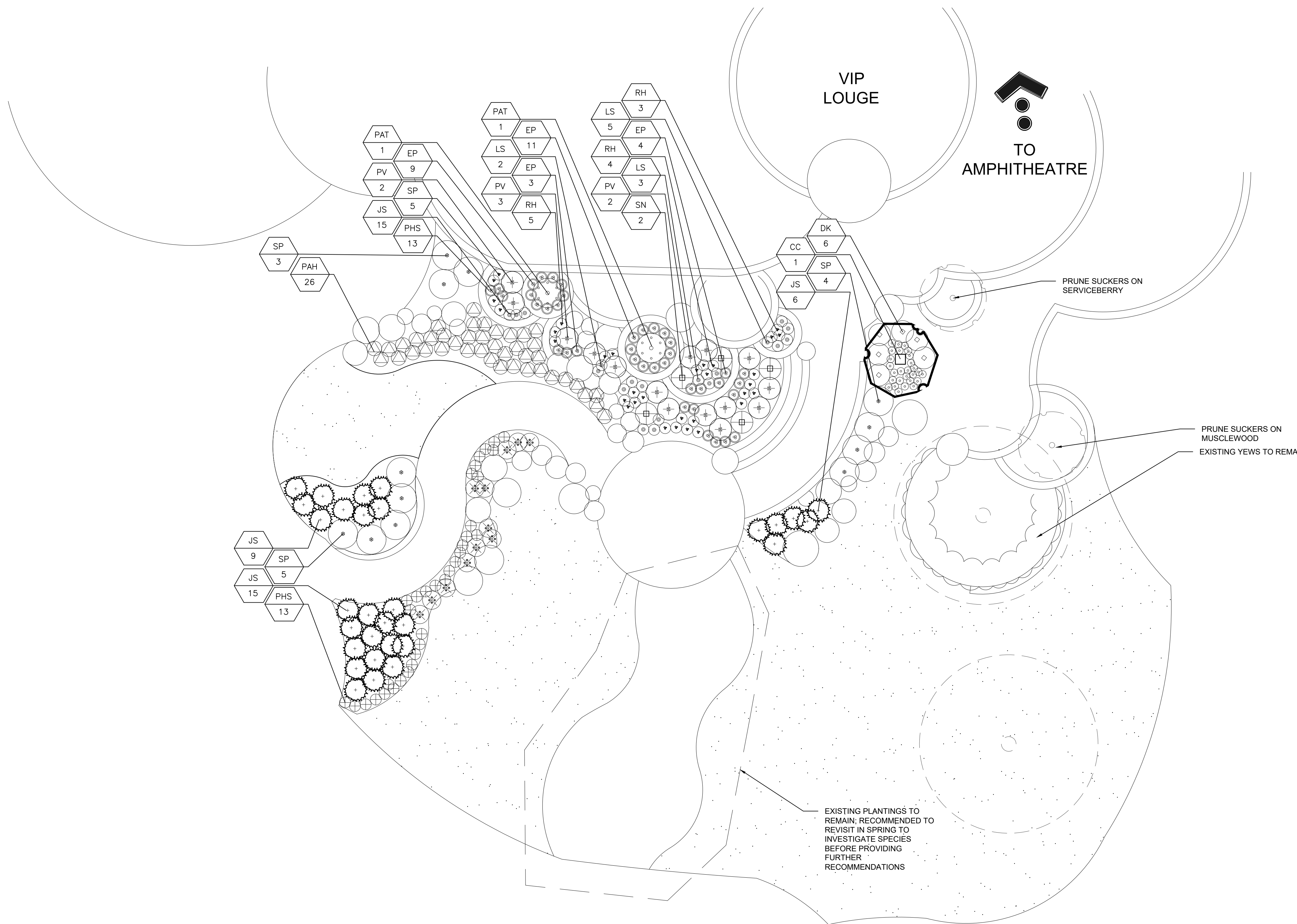
- — — — — PROJECT LIMITS
- — — — — PROPERTY LINE
- EXISTING PLANTING BEDS TO RECEIVE MINIMUM 4" DEPTH BROWN PINEBARK MULCH
- EXISTING TREE TO REMAIN
- SHADE TREE
- EVERGREEN TREE

**NOTES**

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Know what's below.  
Call before you dig.

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PLANT LIST			
CODE	QTY.	MATERIAL AND SIZE	COMMENTS

**SHADE TREES**

AC	X	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE' SERVICEBERRY 'AUTUMN BRILLIANCE'	B&B
ACO	X	ABIES CONCOLOR WHITE SPRUCE	B&B
AR	X	ACER RUBRUM RED MAPLE	B&B
ASR	X	AMELANCHIER SANGUINEA ROUNDLEAF SERVICEBERRY	B&B
CC	X	COTINUS COGGYGRIA SMOKETREE	B&B
CCA	X	CERCIS CANADENSIS EASTERN REDBUD	B&B
MS	X	MALUS 'ADAMS' ADAMS CRABAPPLE	B&B
PA	X	PICEA ABIES NORWAY SPRUCE	B&B
QR	X	QUERCUS RUBRA NORTHERN RED OAK	B&B

**SHRUBS**

BG	X	BUXUS X 'GREEN MOUNTAIN' GREEN MOUNTAIN BOXWOOD	36" O.C.
CAN	X	CEANOTHUS AMERICANUS NEW JERSEY TEA	36" O.C.
CS	X	CORNUS SERICEA REDTWIG DOGWOOD	36" O.C.
DK	X	DIERVILLA X 'KODIAK ORANGE' KODIAK ORANGE BUSH HONEYSUCKLE	36" O.C.
HA	X	HYDRANGEA ANNABELLE HYDRANGEA	60" O.C.
HQ	X	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	60" O.C.
JH	X	JUNIPERUS HORIZONTALIS CREEPING JUNIPER	36" O.C.
JS	X	JUNIPERUS SQUAMATA 'BLUE STAR' BLUE STAR JUNIPER	36" O.C.
LB	X	LINDERA BENZOIN SPICEBUSH	72" O.C.
PO	X	PHYSOCARPUS OPULIFOLIUS NINEBARK	36" O.C.
RA	X	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	60" O.C.
SP	X	SYRINGA PUBESCENS 'MISS KIM' MISS KIM LILAC	36" O.C.
VC	X	VIBURNUM CARLESII 'SMVCB' SPICEBABY SPICEBUSHKOREAN SPICE VIBURNUM 'SPICE BABY'	36" O.C.

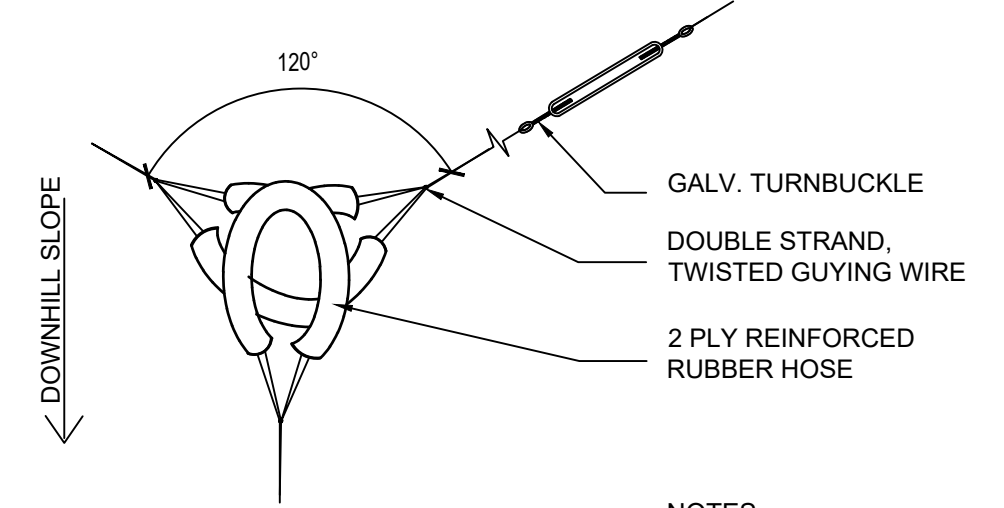
**PERENNIALS**

CA	X	CALAMAGROSTIS x ACUTIFLORA 'KARL FORESTER' KARL FORESTER REED GRASS	24" O.C.
CV	X	COREOPSIS VERTICILLATA THREADLEAF COREOPSIS	24" O.C.
EP	X	ECHINACEA PURPUREA PURPLE CONEFLOWER	24" O.C.
HCW	X	HEMEROCALLIS 'CATHERINE WOODBURY' DAYLILY	24" O.C.
HS	X	HOSTA - 'SUM AND SUBSTANCE' 'SUM AND SUBSTANCE'	48" O.C.
LS	X	LIATRIS SPICATA BLAZING STAR	12" O.C.
PAH	X	PENNISETUM ALOPECUROIDES 'HAMELN' FOUNTAIN GRASS	24" O.C.
PAT	X	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	24" O.C.
PHS	X	PHLOX SUBULATA CREEPING PHLOX	12" O.C.
PV	X	PANICUM VIRGATUM SWITCHGRASS	36" O.C.
RH	X	RUDBECKIA HIRTA BLACK EYED SUSAN	12" O.C.
SN	X	SYMPHYOTRICHUM NOVAE-ANGLIAE NEW ENGLAND ASTER	36" O.C.

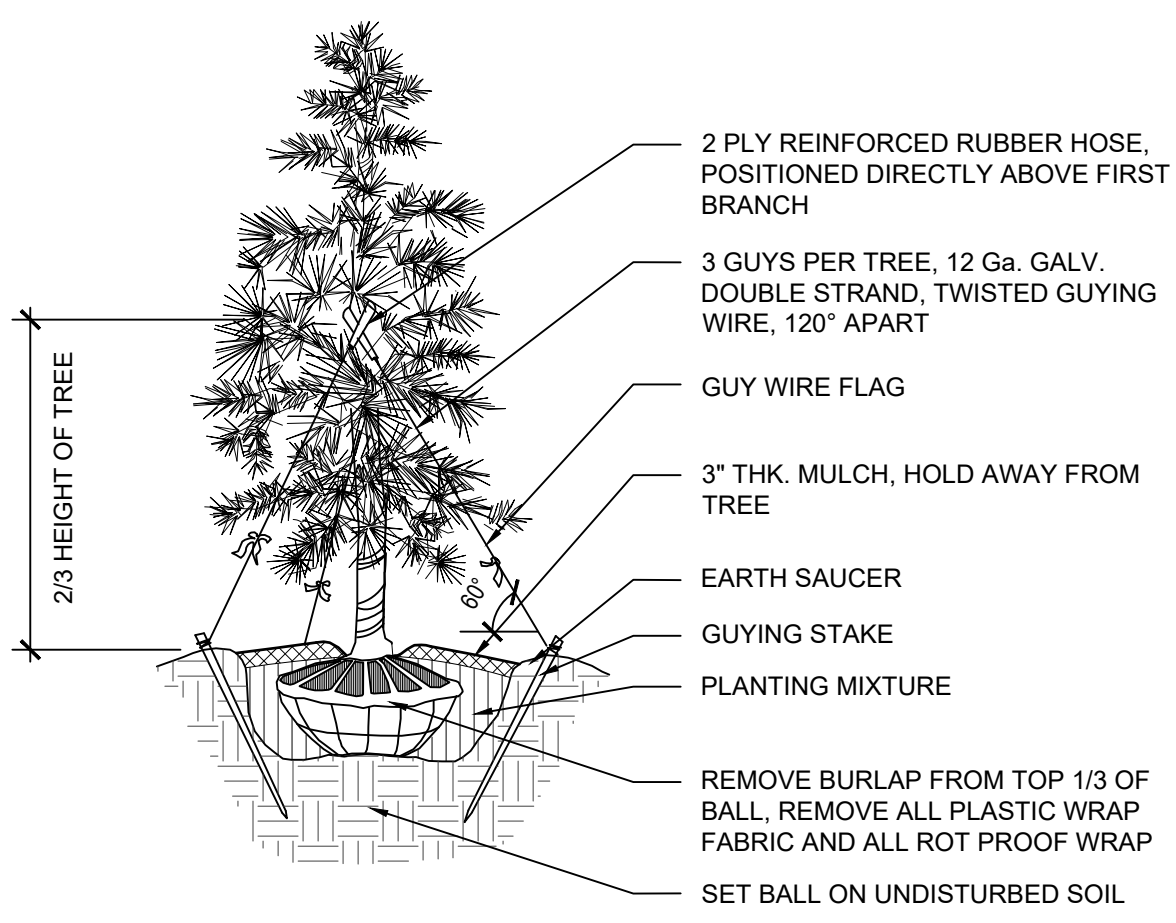
**GROUND COVER**

ASW	X	ASARUM CANADENSE WILD GINGER	12" O.C.
ASB	X	AURINIA SAXATILIS 'BASKET OF GOLD' BASKET-OF-GOLD	12" O.C.
IS	X	IBERIS SEMPERVIRENS EVERGREEN CANDYTUFT	12" O.C.

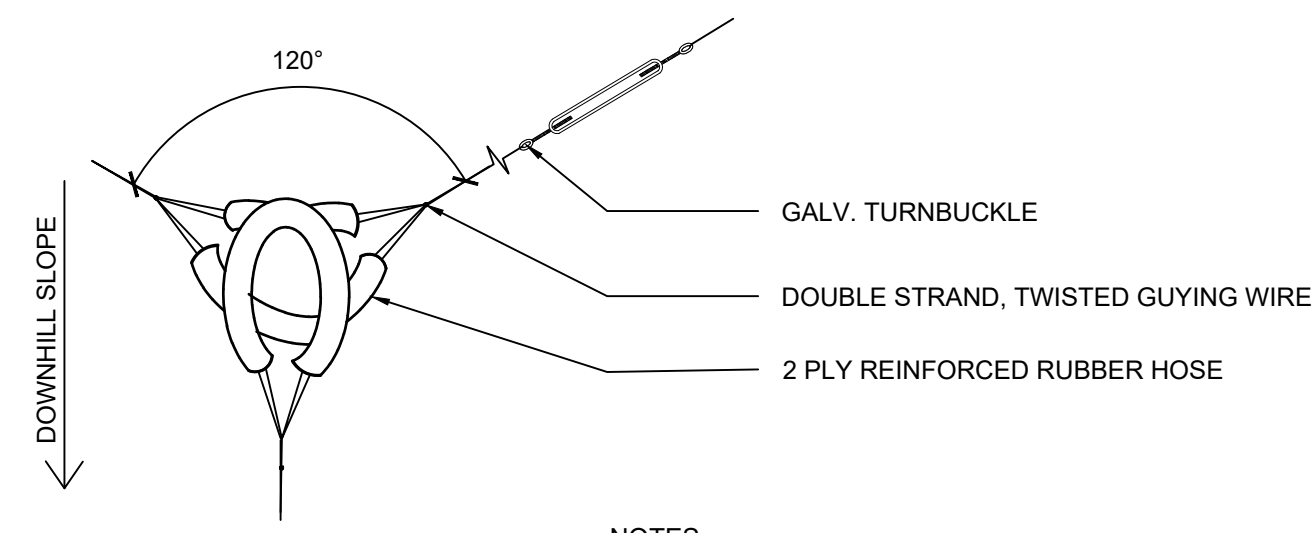
B&B = BALLED & BURLAPED



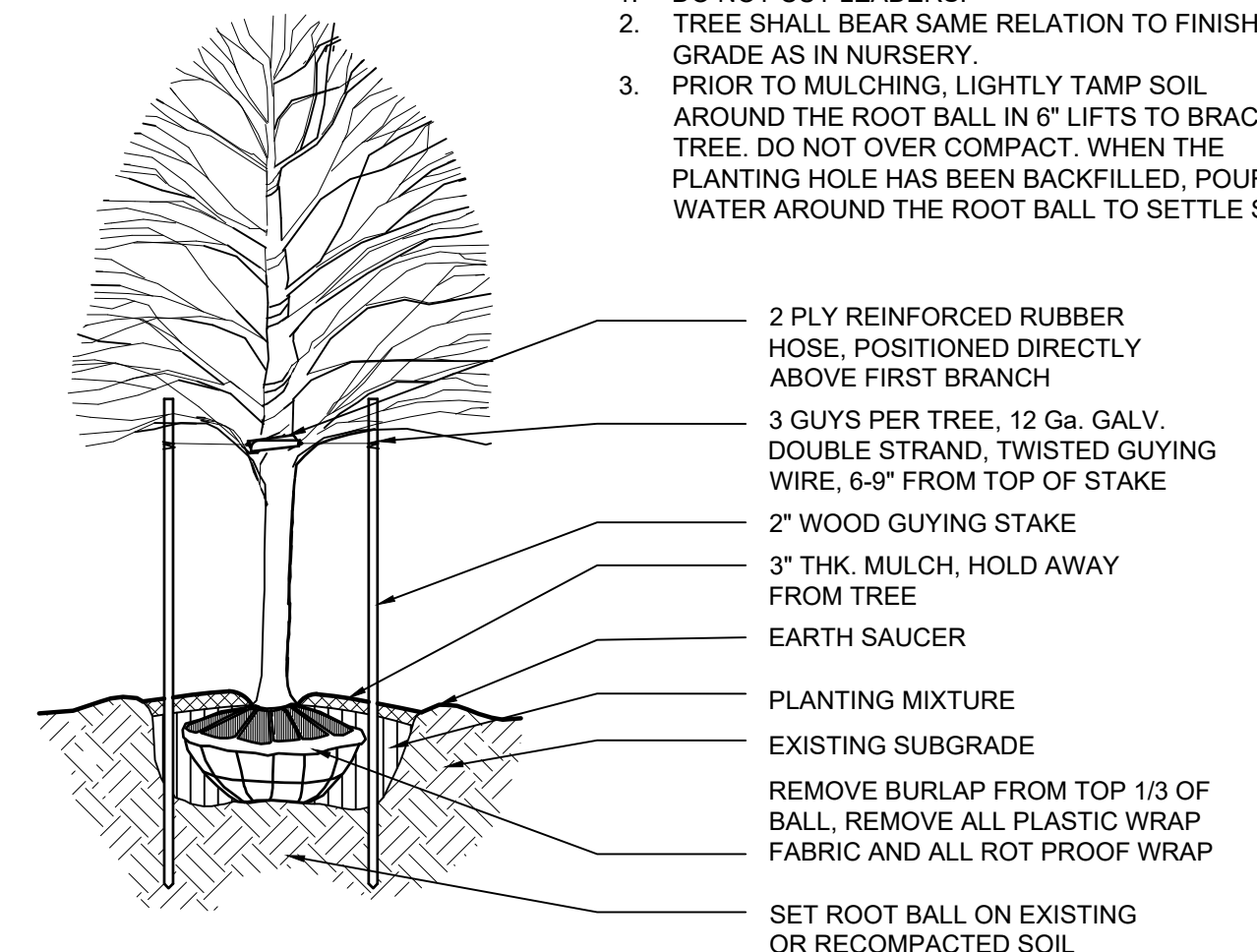
- NOTES:**
- DO NOT CUT LEADER.
  - TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IN NURSERY.



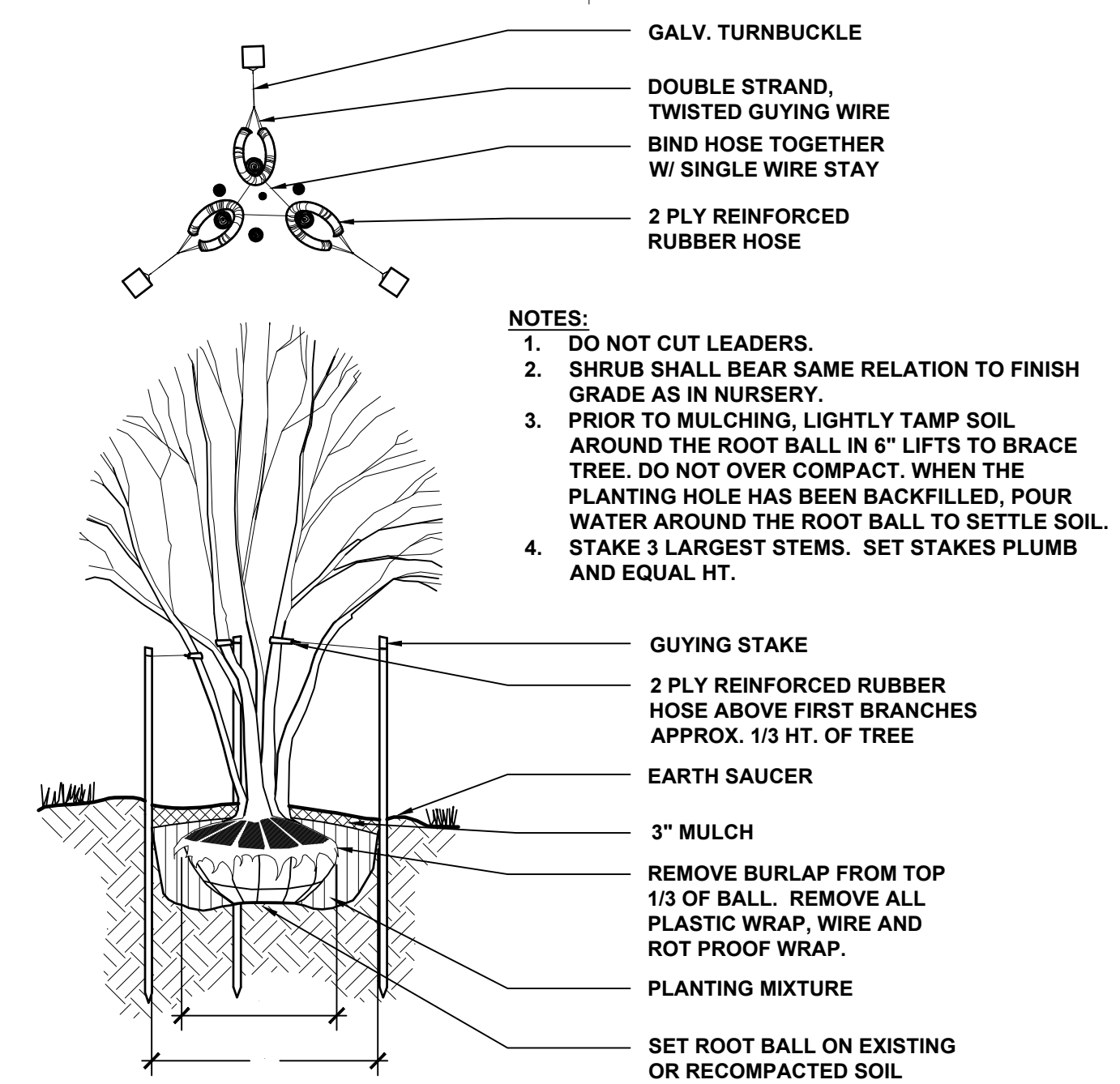
**6 EVERGREEN TREE PLANTING**  
SCALE: 1/4" = 1'-0"



- NOTES:**
- DO NOT CUT LEADERS.
  - TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IN NURSERY.
  - PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND THE ROOT BALL TO SETTLE SOIL.

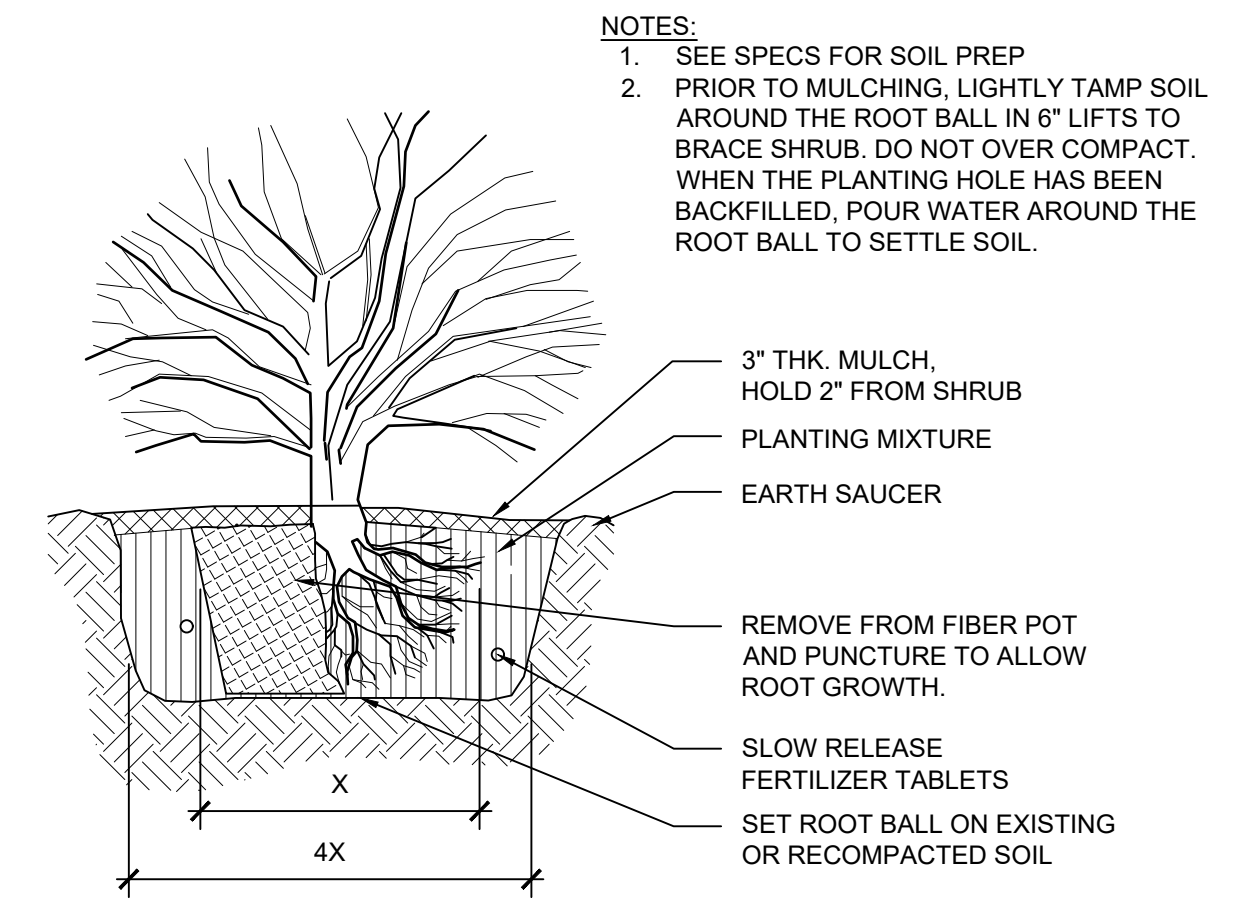


**5 DECIDUOUS TREE PLANTING**  
SCALE: 1/4" = 1'-0"



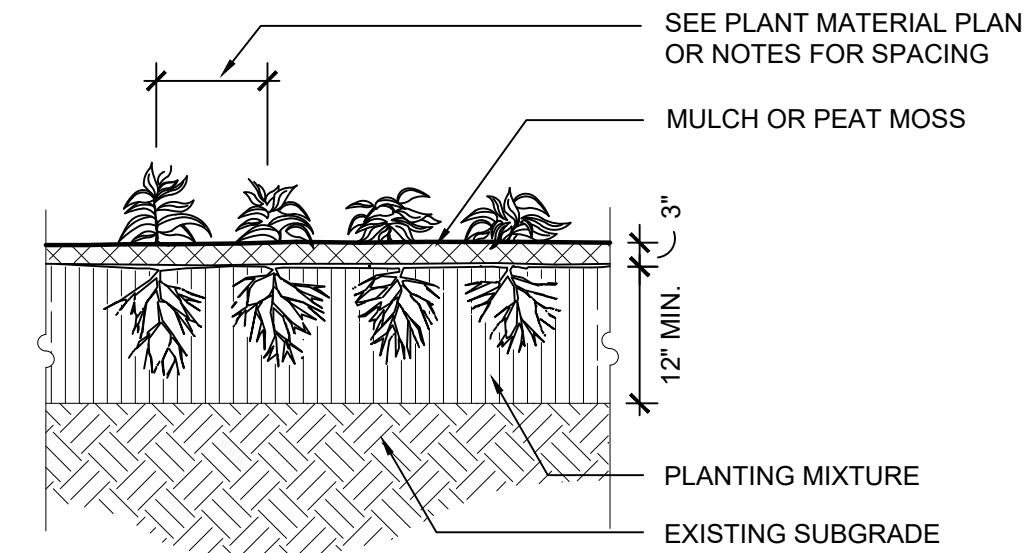
- NOTES:**
- DO NOT CUT LEADERS.
  - SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS IN NURSERY.
  - PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND THE ROOT BALL TO SETTLE SOIL.
  - STAKE 3 LARGEST STEMS. SET STAKES PLUMB AND EQUAL HT.

**4 MULTISTEM TREE PLANTING**  
SCALE: 1/4" = 1'-0"



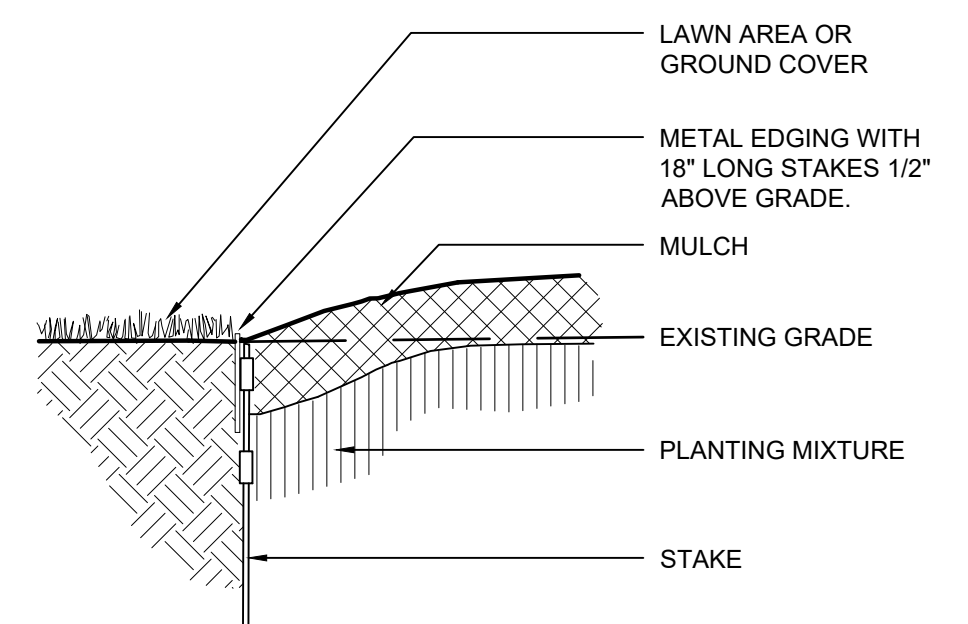
- NOTES:**
- SEE SPECS FOR SOIL PREP
  - PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE SHRUB. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND THE ROOT BALL TO SETTLE SOIL.

**3 SHRUB PLANTING**  
SCALE: 1/4" = 1'-0"

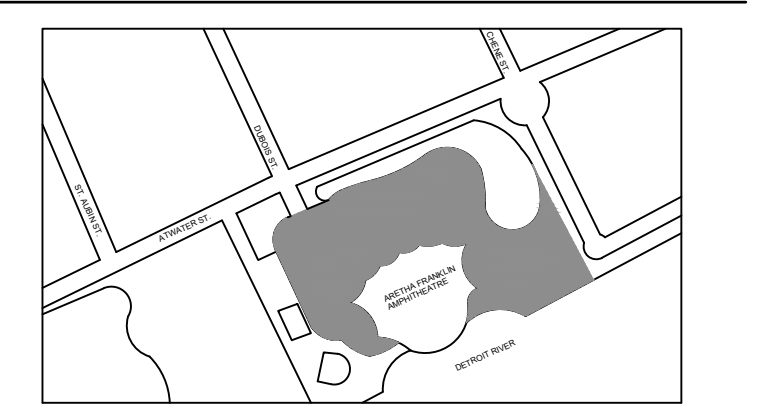


- NOTES:**
- PLANTS TO BE SET WITH BOTTOM LEAVES PARALLEL WITH GRADE AFTER MULCH.

**2 GROUNDCOVER AND PERENNIAL PLANTING**  
SCALE: 1/2" = 1'-0"



**1 LANDSCAPE EDGE**  
SCALE: 1" = 1'-0"



Project  
**AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS**

Drawing Title  
**PLANTING DETAILS**

NOT FOR CONSTRUCTION