EXISTING STRUCTURE

THIS BUILDING IS REVIEWED UNDER THE 2018 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS, CHAPTER 14 PERFORMANCE COMPLIANCE METHODS.

1401.2 APPLICABILITY. STRUCTURES EXISTING BEFORE NOVEMBER 6, 1974, IN WHICH THERE IS WORK INVOLVING ADDITIONS, ALTERATIONS, OR CHANGES OF OCCUPANCY SHALL BE MADE TO CONFORM TO THE REQUIREMENTS OF THIS CHAPTER. THE PROVISIONS IN SECTIONS 1401.2.1 TO 1401.2.5 SHALL APPLY TO EXISTING OCCUPANCIES THAT WILL CONTINUE TO BE OR ARE PROPOSED TO BE, IN GROUPS A, B, E, F, I-2, M, R, AND S. THIS RULE SHALL NOT APPLY TO BUILDINGS WITH OCCUPANCIES IN GROUP H OR I-1, I-3 OR I-4.

1401.2.1 CHANGE IN OCCUPANCY. THIS EXISTING BUILDING IS CHANGED TO A NEW OCCUPANCY CLASSIFICATION AND THIS SECTION IS APPLICABLE, THE PROVISIONS OF THIS SECTION FOR THE NEW OCCUPANCY HAS BEEN USED TO DETERMINE COMPLIANCE WITH THIS

PREVIOUS USE GROUP(S): GROUP B PROPOSED USE GROUP(S): GROUPS R-2, B, A-2

1401.2.3 ADDITIONS. ADDITIONS TO THE EXISTING BUILDING COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, AND THIS CODE FOR NEW CONSTRUCTION. THE COMBINED HEIGHT AND AREA OF THE EXISTING BUILDING AND THE NEW ADDITION DO NOT EXCEED THE HEIGHT AND AREA ALLOWED BY CHAPTER 5 OF THE INTERNATIONAL BUILDING CODE. IF A FIRE WALL THAT COMPLIES WITH SECTION 706 OF THE INTERNATIONAL BUILDING CODE IS PROVIDED BETWEEN THE ADDITION AND THE EXISTING BUILDING, THE ADDITION SHALL BE CONSIDERED A SEPARATE BUILDING.

1401.2.4 ALTERATIONS AND REPAIRS. THE EXISTING BUILDING OR PORTION THEREOF THAT DOES NOT COMPLY WITH THE REQUIREMENTS OF THIS CODE FOR NEW CONSTRUCTION SHALL NOT BE ALTERED OR REPAIRED IN SUCH A MANNER THAT RESULTS IN THE BUILDING BEING LESS SAFE OR SANITARY THAN SUCH BUILDING IS CURRENTLY. IF, IN THE ALTERATION OR REPAIR, THE CURRENT LEVEL OF SAFETY OR SANITATION IS TO BE REDUCED, THE PORTION ALTERED OR REPAIRED CONFORMS TO THE REQUIREMENTS OF CHAPTERS 2 THROUGH 12 AND CHAPTERS 14 THROUGH 33 OF THE INTERNATIONAL BUILDING CODE.

1401.2.5 ACCESSIBILITY REQUIREMENTS. ALL PORTIONS OF THE BUILDINGS PROPOSED FOR CHANGE OF OCCUPANCY SHALL CONFORM TO THE ACCESSIBILITY PROVISIONS OF SECTION



1133-1145 GRISWOLD STREET

ALTERATIONS AND ADDITION TO AN EXISTING BUILDING HDC APPLICATION 02-13-23

PROJECT LOCATION:

1133 GRISWOLD STREET DETROIT, MI 48226

LANSING, MI 48933

STRUCTURAL ENGINEER:

OWNER:

DETROIT & NORTHERN LLC 401 S. WASHINGTON, STE 102

> MECHANICAL AND **ELECTRICAL ENGINEER:**

ARCHITECT OF RECORD:

KRAEMER DESIGN GROUP, LLC

ROBERT J. KRAEMER, RA, NCARB, IIDA STATE OF MICHIGAN CERTIFICATE NO. 1301040246

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STEVE A. ELVER, P.E., S.E. LICENSE #

120 W. MADISON ST. STE 1305 CHICAGO, IL 60602

STRATEGIC ENERGY SOLUTIONS

NATE STALKER, PE

CODE SUMMARY

EXISTING BUILDING IS 6 STORIES PLUS A BASEMENT. MEZZANINE AND PENTHOUSE. THIS BUILDING WILL BE ANNEXED TO THE ADJACENT BUILDING AT 1145 GRISWOLD. ADAPTIVE REUSE WORK INCLUDES COMPLETE GUT REHAB WORK AND

CHANGE IN OCCUPANCY AND ADDITION OF NEW FLOOR LEVELS.

ZONING:

PROJECT DESCRIPTION:

OCCUPANCY CLASSIFICATION: (R-2, B, A-2) SEPARATED

APPLICABLE CODES:

MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB) 2015 - CHAPTER 14 PERFORMANCE COMPLIANCE METHODS.

MICHIGAN BUILDING CODE (MBC) 2015, AS REFERENCED

MICHIGAN PLUMBING CODE (MPC) 2018

MICHIGAN MECHANICAL CODE (MMC) 2015

MICHIGAN/NATIONAL ELECTRICAL CODE (NEC) 2017 WITH PART 8 AMENDMENTS

MICHIGAN BUILDING CODE (MBC) 2015

NFPA 101 2013

DETROIT FIRE CODE MICHIGAN UNIFORM ENERGY CODE (MUEC) 2018

> A BUILDING THAT HAS BEEN SPECIFICALLY DESIGNATED AS HISTORICALLY SIGNIFICANT BY THE ADOPTING AUTHORITY OR IS LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES OR HAS BEEN DETERMINED TO BE ELIGIBLE FOR LISTING BY THE U.S. SECRETARY OF THE INTERIOR NEED NOT COMPLY WITH THE PROVISIONS OF SECTIONS 5, 6, 7, 8, 9 AND 10 OF THE ASHRAE 90.1 STANDARD. (ASHRAE 90.1, EXCEPTION 1 TO PARAGRAPH 4.2.1.3, REFERENCED BY MUEC C503.1)

MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS

(MRCEB) 2015, SECTION 410 ICC/ANSI A117.1 2009 AS REFERENCED BY MRCEB WITH

SECTIONS 611 AND 707 EXEMPTED. MICHIGAN BUILDING CODE (MBC) 2015 AS REFERENCED

DETROIT ELEVATOR CODE 2019

ADA ACCESSIBILITY GUIDELINES (ADAAG) 2010

ASME A17.3-2011 FOR EXISTING ELEVATORS AS REFERENCED

BID ALTERNATES

BASE BID: GLASS FIBER REINFORCED PLASTIC PANELS DEDUCT ALTERNATE: ALUMINUM CLADDING PANELS

BID ALTERNATE 2: BASE BID:

DEDUCT ALTERNATE:

DEFERRED SUBMITTALS

NOTE: THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE LOCAL CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

THE FOLLOWING SUBMITTALS SHALL BE PREPARED BY OTHERS AND INCLUDED AS PART OF THE CONSTRUCTION DOCUMENTS AS THEY BECOME AVAILABLE: (PER SECTION 107.3.4.2)

LOCATION MAP

[∠] 1133

GRISWOLD

IRRIGATION SYSTEMS

PLUMBING SYSTEMS

SIGNAGE

SKYLIGHTS

STONE VENEER

PREFABRICATED STAIRS

RAISED FLOOR SYSTEMS

SMOKE AND HEAT VENTS

SPECIAL RETAINING WALLS

FLOOR OR ROOF TRUSSES

SHELVING/RACK SYSTEMS

MATERIAL SAFETY AND DATA SHEETS

(MSDS) FOR INTERIOR FINISHES

- AUXILIARY POWER SYSTEMS
- AWNINGS
- CURTAIN WALL SYSTEMS • ELECTRICAL SYSTEMS (DESIGN-BUILD)
- EMERGENCY CALL SYSTEMS
- EXIT ILLUMINATION FIRE ALARM SYSTEMS

INTERCOM SYSTEMS

STATE S

MICHIGAN AVE

GRAND RIVER AVE

- FIRE STOPPING SYSTEMS FIRE SUPPRESSION SYSTEMS
- GLAZING SYSTEMS
- GUARD RAILS / HAND RAILS HVAC SYSTEMS

LICENSE # 4000 WEST ELEVEN MILE RD BERKLEY, MI 48072

Project / Owner PRELIMINARY NOT FOR CONSTRUCTION

Consultant

GRISWO

3-1133

3

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02-13-23 HDC APPLICATION SCHEMATIC DESIGN 12-21-22 SITE PLAN APPROVAL 03-24-22 Revision

2022013 **Project Number**

Sheet Title **COVER**

Sheet Number

PROJECT

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TRUE NORTH

SHEET INDEX SHEET INDEX SHEET ISSUED SHEET ISSUED SHEET TITLE SHEET TITLE MECHANICAL COVER G101 SHEET INDEX G102 CODE SUMMARY G103 LIFE SAFETY PLANS G104 PERFORMANCE COMPLIANCE METHODS R-2, B G105 PERFORMANCE COMPLIANCE METHODS A-2 G106 COMPOSITE PLANS G107 PROJECT DATA C100 DEMOLITION AD100 BASEMENT DEMOLITION PLAN AD101 1ST FLOOR DEMOLITION PLAN AD102 2ND FLOOR & TYP FLOOR DEMO PLAN AD103 PENTHOUSE AND ROOF DEMO PLAN AD201 EXISTING ELEVATIONS PLUMBING P100 ARCHITECTURAL A001 ACCESSIBILITY DETAILS ARCHITECTURAL SYMBOLS & NOTES A100 BASEMENT FLOOR PLAN A101 1ST FLOOR PLAN A102 2ND FLOOR PLAN A103 3RD, 6TH & 7TH FLOOR PLAN A104 4TH & 5TH FLOOR PLAN A105 8TH FLOOR PLAN A106 9TH & 10TH FLOOR PLAN A107 11TH FLOOR PLAN A108 PENTHOUSE PLAN ROOF PLAN A111 BASEMENT & 1ST FLOOR REFLECTED CEILING PLAN A201 EXTERIOR ELEVATIONS A301 BUILDING SECTIONS A451 ENLARGED UNIT PLANS AND RCPS A452 ENLARGED UNIT PLANS AND RCPS A453 ENLARGED UNIT PLANS AND RCPS A454 ENLARGED UNIT PLANS AND RCPS A455 ENLARGED UNIT PLANS AND RCPS A481 ENLARGED UNIT KITCHEN PLANS A491 ENLARGED UNIT BATHROOM PLANS ELECTRICAL A501 PARTITION TYPES E100 A502 INTERIOR DETAILS A601 DOOR AND FRAME ELEVATIONS AND SCHEDULES A611 DOOR DETAILS A621 WINDOW ELEVATIONS A631 STOREFRONT ELEVATIONS A701 ROOM FINISH SCHEDULE A702 MATERIALS SCHEDULE A711 FINISH PLANS A801 SIGNAGE PLANS A811 SIGNAGE DETAILS STRUCTURAL S001

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Revision Date

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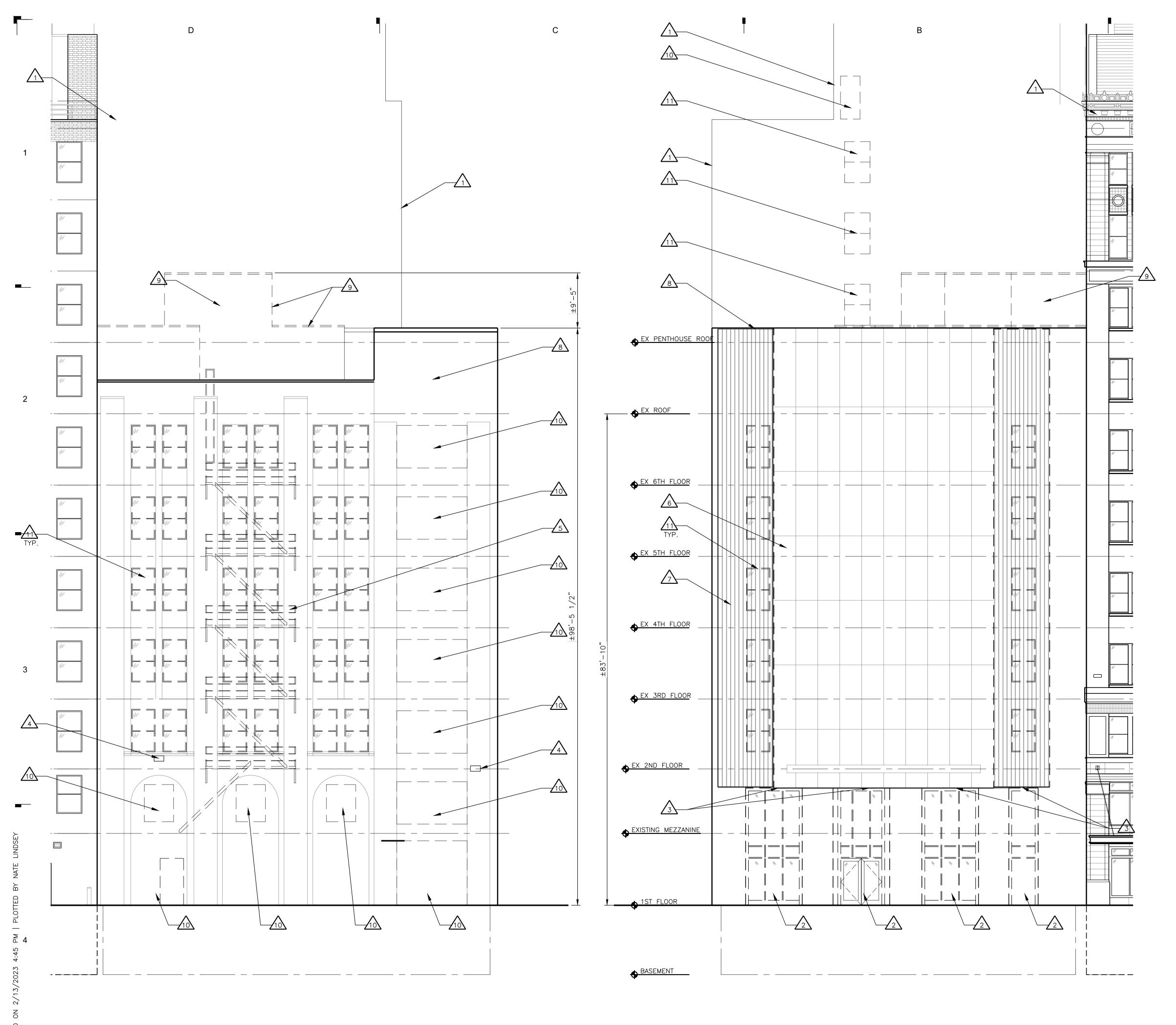
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Sheet Title
SHEET INDEX

Sheet Number

G101



EXISTING EAST FACADE - GRISWOLD ST

GENERAL NOTES

A. EAST FACADE IS NOT ORIGINAL TO THE BUILDING AND IS TO BE REPLACED COMPLETELY

CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

 $/_1$ EXISTING 1145 GRISWOLD STREET BUILDING

REMOVE STOREFRONT SYSTEM

REMOVE SOFFIT AND LIGHT FIXTURES

REMOVE WALL-MOUNTED LIGHT FIXTURE

5 REMOVE FIRE ESCAPE

 $_{5}ackslash$ remove granite cladding and support framing

 $_{7}$ \ REMOVE SLATS, FRAMING AND ALL ATTACHMENTS $\frac{1}{8}$ REMOVE CMU BLOCK PARAPET AND BACK-BRACE BEAMS

 $\frac{1}{9}$ REMOVE PENTHOUSE AND ELEVATOR OVERRUN

10 REMOVE MASONRY FOR NEW DOOR / WINDOW / STOREFRONT.

11 REMOVE WINDOW

RESTORATION GENERAL NOTES

- A. MASONRY/STONE RESTORATION CONTRACTOR ("SUBCONTRACTOR") TO PROVIDE ALL LABOR, MATERIAL EQUIPMENT, SUPERVISION, PERMITS, AND ANY OTHER COSTS OR EXPENSES NECESSARY TO COMPLETE THE WORK. SUBCONTRACTOR JOB MOBILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ANY NECESSARY WORK STATION AND JOB TRAILER, MAST CLIMBING PLATFORMS, AERIAL LIFTS, SWING STAGES, BARRICADES AND WALK THRU SCAFFOLD AS NEEDED.
- B. BUILDING RESTORATION TO INCLUDE ALL TERMS, CONDITIONS, AND SPECIFICATIONS OF ORIGINAL CONTRACT AND ANY ADDITIONAL WORK NECESSARY TO MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES. THIS INCLUDES ALL WORK NECESSARY OVER AND ABOVE THAT SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND OTHER CONSTRUCTION DOCUMENTS, INCLUDING ALL NOTES, REGARDLESS OF TIME AND MATERIAL NECESSARY TO EXECUTE THIS WORK. ANY AREAS INDICATED WITHIN DRAWINGS ARE ONLY SUGGESTIVE IN NATURE. MASON TO MEET WITH ARCHITECT AND OWNER TO CONFIRM THE SCOPE OF WORK.
- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. SOUTH ELEVATION SHALL UNDERGO COMPLETE STONE CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- E. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- F. SURFACES TO BE PRE-WET WITH CLEAN WATER. CLEANING SOLUTIONS TO NOT REMAIN ON SURFACES FOR MORE THAN 5 MINUTES FOLLOWED IMMEDIATELY BY LOW-PRESSURE FLOOD RINSE, UNLESS NOTED OTHERWISE IN MASONRY CLEANING SPECIFICATION. CLEANING IS TO BRING MASONRY/STONE UNIT AS CLOSE AS POSSIBLE TO ORIGINAL COLOR WITHOUT BURNING
- G. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST 'CLEANED' COLOR.
- H. 100% OF MORTAR JOINTS TO BE VISUALLY INSPECTED. ALL MORTAR JOINTS DETERIORATED IN EXCESS OF 3/8 INCH BEYOND FACE OF MASONRY/STONE UNIT, OR EVIDENCING UNSOUNDNESS OR CRACKING WHETHER STRUCTURAL OR OTHERWISE SHALL BE REMOVED TO A DEPTH OF 1/2" MINIMUM. WRITTEN APPROVAL BY OWNER SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF REPAIR BY STAISFACTORY SUBMISSION OF MOCK-UP OF PROPOSED MORTAR JOINT.
- I. NEW MORTAR APPLIED TO ALL OPEN JOINTS SHALL BE OF NO GREATER STRENGTH THAN ORIGINAL MORTAR OR MASONRY UNITS. MORTAR COLOR, TEXTURE, CONSISTENCY AND JOINT PROFILE WILL MATCH EXISTING AS CLOSE AS POSSIBLE.
- J. APPLY NEW, TWO COMPONENT URETHANE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS MEET, AND ALL SKYWARD FACING JOINTS. BACKER ROD TO BE INSTALLED IN OPEN JOINT PRIOR TO SEALANT APPLICATION.
- K. NO ACCELERATORS OR OTHER ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN OWNER APPROVAL. ENCLOSURES AND HEAT SUFFICIENT TO PROTECT MORTAR FROM FREEZING PRIOR TO SET SHALL BE THE SOLE RESPONSIBILITY OF SUBCONTRACTOR.
- L. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- M. ANY MASONRY/STONE UNIT SHALL BE REPLACED WITH OWNER APPROVED MATERIAL WHEREIN SPALLING OR OTHER DETERIORATION ELIMINATED MORE THAN 5% OF THE MASONRY/STONE UNIT (MEASURED BY ORIGINAL BRICK OR STONE FACE AREA.)

SCALE : 1/8" = 1'-0"

Consultant

Project / Owner



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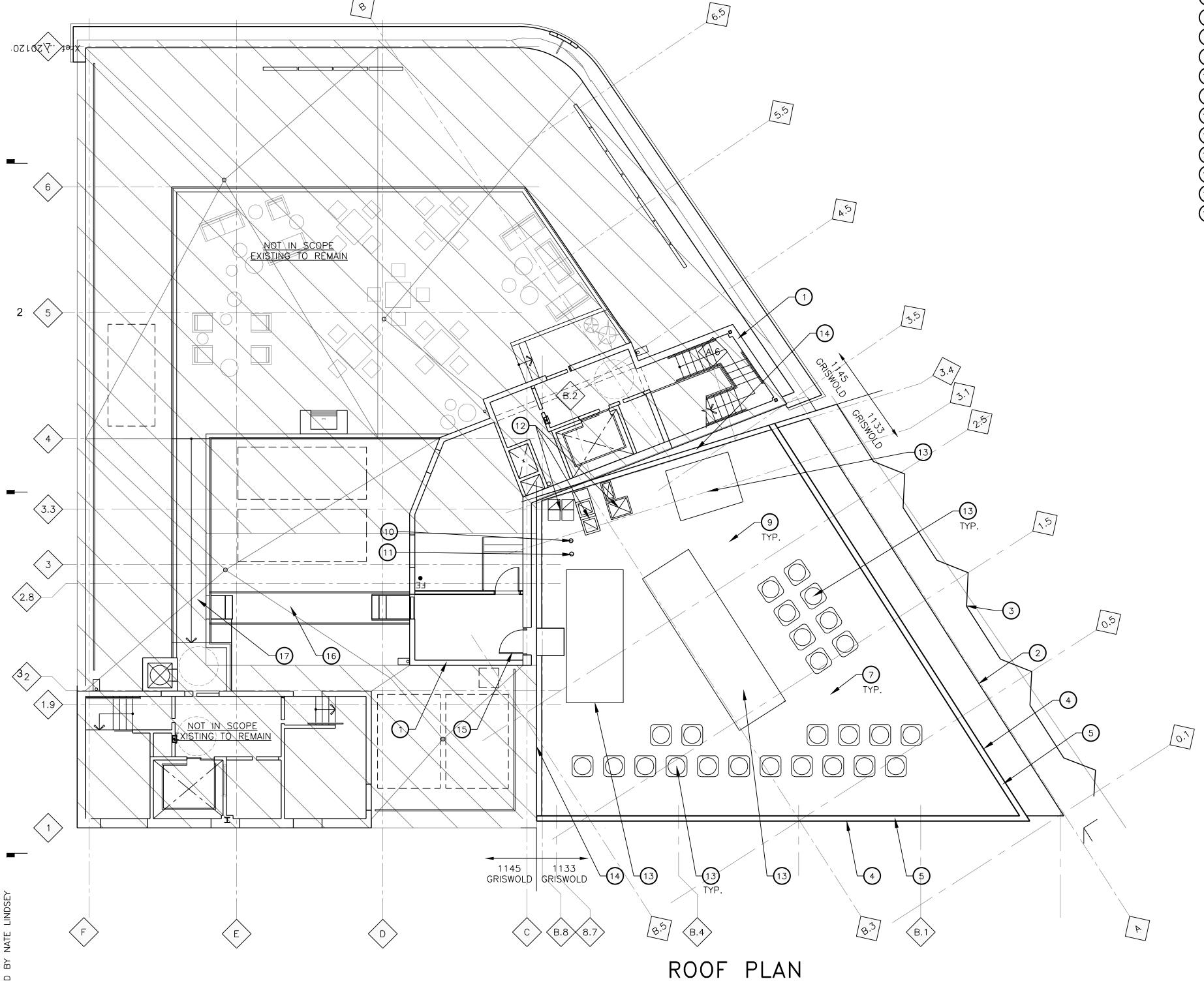
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AD201

EXISTING SOUTH FACADE - ALLEY SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

1) EXISTING PENTHOUSE TO REMAIN

2 ROOF OVERHANG

3 LINE OF BALCONY BELOW

4) PARAPET – 48" TALL

(5) COPING -

6 EXISTING COPING TO REMAIN

7 EPDM MEMBRANE ROOFING

(8) SLOPE

9 TAPERED ROOF INSULATION

10) ROOF DRAIN -

11) OVERFLOW DRAIN -

(12) LOCATION OF SHAFT BELOW

(13) ROOFTOP EQUIPMENT -

14 CURB

15) ROOF ACCESS DOOR

(16) NEW RAISED WALKWAY

(17) EXISTING RAISED WALKWAY

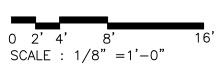
ROOFING GENERAL NOTES

- A. CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL, MEP, AND STRUCTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.
- B. DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM AND COORDINATE.
- C. REFER TO NOMENCLATURE FOR TYPE OF ROOF SYSTEM. AREAS MARKED WITH DESIGNATED LETTER, SEE ROOF PLAN AND NOMENCLATURE.
- D. MINIMUM SLOPE ALLOWABLE ON THE ROOF SHALL BE NO LESS THAN 1/4" PER FOOT. CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS OVER 20" IN WIDTH.
- E. CONTRACTOR TO ENSURE RUNOFF PITCHES AWAY FROM ROOF EXPANSION JOINTS AND ROOF AREA SEAMS. ELEVATE ROOF EXPANSION JOINTS A MINIMUM OF 8" ABOVE THE ROOF MEMBRANE.
- F. ALL CRICKET AND TAPERED INSULATION SHALL BE INSTALLED WITH A FINISH 1/4" PER FOOT MIN. SLOPE. CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS.
- G. ALL PIPING, CONDUITS, ETC. SHALL BE A MIN. 10" ABOVE ROOF SURFACE. PROVIDE PORTABLE PIPE HANGERS WITH PROTECTION PADS.
- H. PROVIDE 22 GAUGE STAINLESS STEEL, 2D FINISH, TREATED WOOD CURB AND BOX HOOD AT ALL GAS LINE AND WATER LINE ROOF PENETRATIONS. SEE A321 FOR TYPICAL ROOF DETAILS.
- I. ISOLATE ALL HEAT PIPES/FLUES AS RECOMMENDED & OUTLINED IN THE NRCA MANUAL FOR ISOLATED STACK FLASHING. REFER TO MEP DRAWINGS FOR SIZE AND LOCATION OF DECK PENETRATIONS AND ROOFTOP EQUIPMENT.
- J. PROVIDE WALKWAY PROTECTION PADS AROUND ALL ROOF HATCHES, MECHANICAL UNITS, AT ROOF TOP ACCESS DOORS, AND LADDERS (TOP & BOTTOM).
- K. CONTRACTOR SHALL REFER TO A321 FOR TYPICAL ROOFING DETAILS IN ADDITION TO DETAILS SPECIFICALLY NOTED ON PLANS.
- L. CONTRACTOR TO ENSURE ALL ROOFTOP PENETRATIONS (EQUIPMENT, SOIL STACKS, ETC.) ARE INSTALLED MIN. 2'-0" FROM OTHER DECK PENETRATIONS, RISE WALLS, AND ROOF EDGE.
- M. THROUGH WALL BASE FLASHING MIN. HEIGHT 10" AND MAX. HEIGHT 20" FROM FINISH DECK. DO NOT STEP THROUGH WALL FLASHING CLOSER THAN 5'-0" FROM CORNERS.
- N. LOCATE PERIMETER DRAINS MAX 6'-0" FROM EDGE TYPICAL UNLESS SHOWN OTHERWISE.
- O. CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE.
- P. OVERFLOW DRAINS SHALL BE SET 2" HIGHER THAN MAIN ROOF DRAIN ELEVATIONS UNLESS NOTED OTHERWISE. OVERFLOW DRAINS SHALL NOT HAVE STRAINERS UNLESS REQUIRED BY LOCAL CODES.
- Q. AVOID THE USE OF PITCH PANS ON LOW-PITCH ROOFS EXCEPT WHERE NO OTHER SOLUTION CAN BE USED.
- R. SECURE NAILERS AND CANT STRIPS TO ROOF DECK NOT TO PARAPETS OR ADJACENT WALLS, TYPICAL.
- S. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT CURBS AND STANDS NECESSARY FOR ROOFTOP EQUIPMENT.

REROOFING GENERAL NOTES

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING, OCCUPANTS, AND WORKERS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS AND COMPLY WITH ALL APPLICABLE REGULATIONS INCLUDING OSHA SAFETY REGULATIONS FOR ROOF REPLACEMENT AND DEMOLITION OPERATIONS.
- B. THE CONDITION OF THE EXISTING ROOF ASSEMBLY INCLUDING ROOF COVERING, SUBSTRATE AND DECKING IS UNKNOWN AND MAY BE DAMAGED OR DETERIORATED.
- C. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- D. THE CONTRACTOR SHALL REMOVE AND REINSTALL ALL EXISTING ROOF OR WALL MOUNTED EQUIPMENT AND ACCESSORIES TO REMAIN IN AREAS OF ROOF REPLACEMENT AS NECESSARY TO COMPLETE THE WORK. ALL CURBED ROOF PENETRATIONS SHALL EXTEND A MIN. OF 12" ABOVE THE FINISHED ROOF SURFACE. PROVIDE OR MODIFY EXISTING CONSTRUCTION WITH NEW TREATED WOOD BLOCKING AS NECESSARY. FIELD VERIFY SIZE, QUANTITY, AND LOCATION OF ALL ROOF PENETRATIONS, EQUIPMENT AND ACCESSORIES. MODIFY/EXTEND EXISTING CONTROL WIRING, CONDUIT, DUCTWORK OR PIPING AS NECESSARY. NOTIFY THE OWNER AND COORDINATE ANY INTERRUPTION IN EQUIPMENT SERVICE PRIOR TO REMOVAL.
- E. PROTECT EXISTING UTILITIES DURING CONSTRUCTION. FLASH ALL UTILITY, CONDUIT, AND PIPING PENETRATIONS IN ACCORDANCE WITH THE ROOF MANUFACTURER'S PUBLISHED INSTRUCTIONS. FIELD VERIFY SIZE, QUANTITY AND LOCATION.
- F. ALL EXISTING FINISHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL IN MATERIAL AND APPEARANCE TO THAT WHICH EXISTED BEFORE CONSTRUCTION BEGAN.
- G. CONTRACTOR TO MAINTAIN DRAINAGE FLOWS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK.
- H. CONTRACTOR TO REMOVE EXISTING ROOFING MATERIALS AT PARAPET WALL AND INSPECT CONDITION OF EXISTING PARAPET WALL. CONTRACTOR SHALL REPORT TO ARCHITECT ANY UNSTABLE CONDITIONS REQUIRING REPAIR PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL PROVIDE PLYWOOD OR COVER BOARD BEHIND MEMBRANE ROOFING AT ALL EXISTING WALL SURFACES TOO ROUGH FOR PROPER INSTALLATION.





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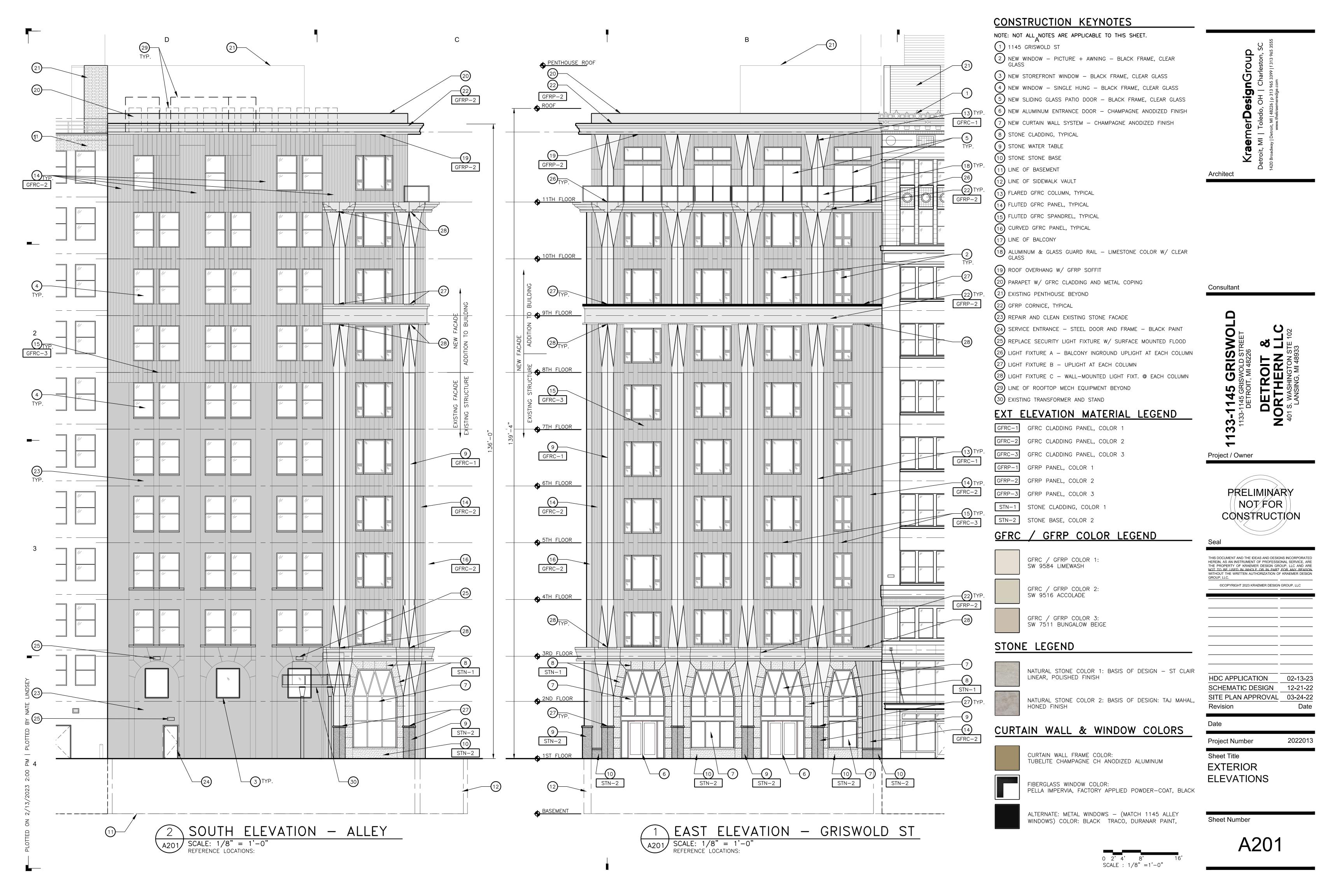
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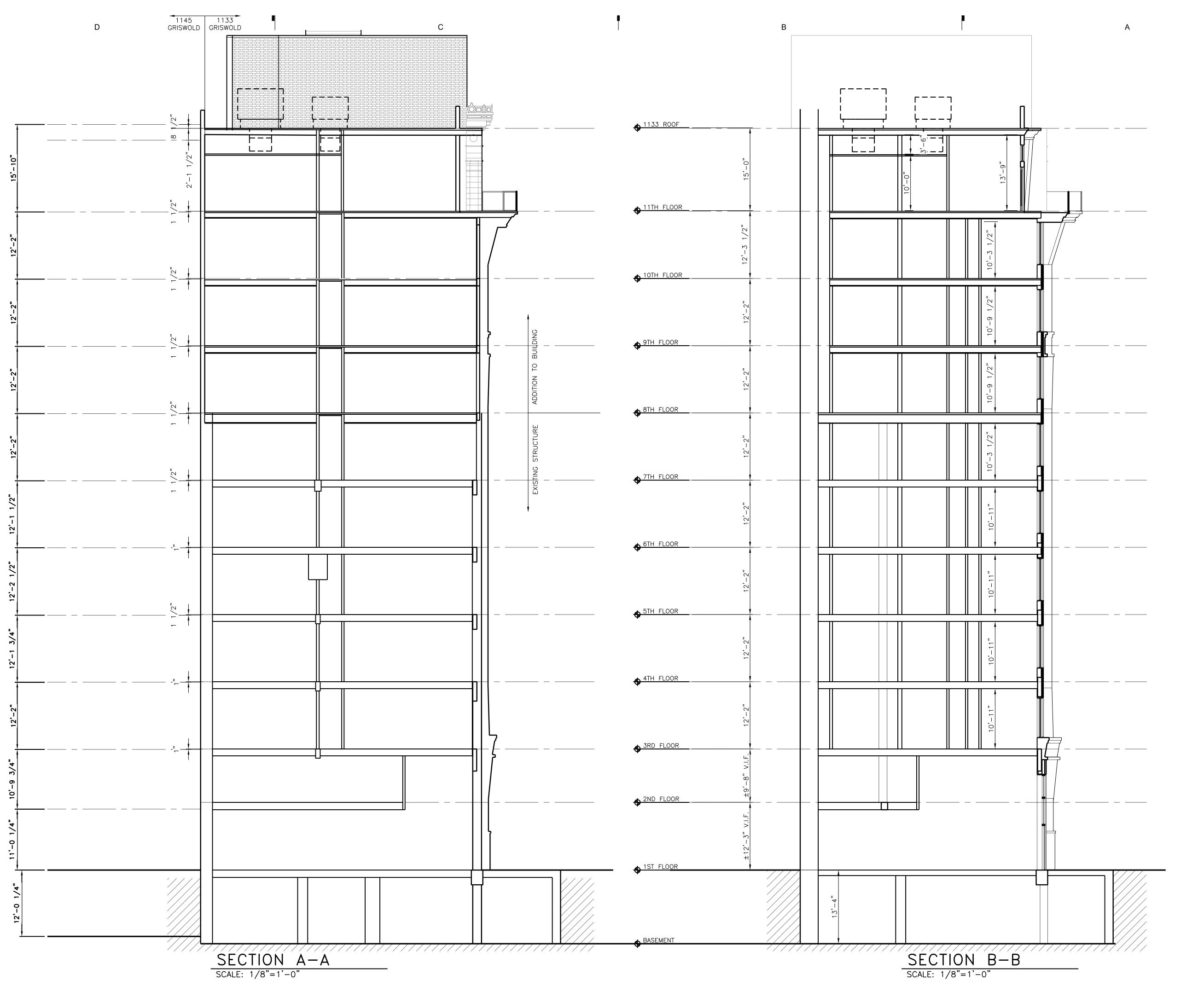
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Sheet Title
PENTHOUSE PLAN
ROOF PLAN

Sheet Number

A108





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Project Number

Sheet Title

BUILDING SECTIONS

Sheet Number

A301

0 2' 4' 8' 1 SCALE : 1/8" =1'-0"

WINDOW SCHEDULE									
TYPE	OPERATION	GENERAL OPENING		FRAME		SASH		GLASS TYPE	COMMENTS
		HEIGHT	WIDTH	MATERIAL	FINISH	MATERIAL	FINISH		
Α1	PICTURE+AWNING	7'-6"	8'-0"	FG	BLACK	FG	BLACK	IG-1	
B1	FIXED+AWNING	7'-6"	4'-0"	FG	BLACK	FG	BLACK	IG-1	
C1	FIXED	6'-4"	5'-0"	FG	BLACK	N/A	_	IG-1	
D1	SINGLE-HUNG	+/-7'-6"	+/-4'-4"	FG	BLACK	FG	BLACK	IG-1	SEE REMARKS FOR ALTERNATE
E1	FIXED TRANSOM	3'-0"	8'-0"	FG	BLACK	N/A	_	IG-1	

		WINDOW ELEVA	TIONS		
<u> </u>	EQ. EQ.	WIDTH	WIDTH	EQ. EQ.	WIDTH
2	HEIGHT.	HEIGHT EQ.	HEIGHT	HEIGHT	HEIGHT
	E1	D1	C1	B1	A1

WINDOW DETAILS

REFER TO BASIS OF DESIGN CUT SHEETS FOR DETAILS

GENERAL NOTES

A. ALL DIMENSIONS SHALL BE VIF BY CONTRACTOR.

- B. COMPLETION OF FACADE RESTORATION AND CLEANING IS RECOMMENDED BEFORE WINDOW INSTALLATION BEGINS. IF FACADE CLEANING OCCURS AFTER WINDOW INSTALLATION/ RESTORATION, NEW WORK SHALL BE PROTECTED SUFFICIENTLY TO AVOID DAMAGE TO FINISHES FROM CLEANING SOLUTIONS.
- C. PROVIDED ELEVATIONS ARE FOR REFERENCE ONLY & FOR BIDDING PURPOSES. FINAL LOCATION AND OPERATION SHALL BE CONFIRMED WITH THE FLOOR PLANS PRIOR TO INSTALLATION.
-). PROVIDE SAFETY GLASS AS REQUIRED BY CODE.
- CONTRACTOR TO CONFIRM THAT ALL MATERIALS TO BE REMOVED FOR NEW WINDOW INSTALLATION HAVE BEEN ABATED AS REQUIRED, IF APPLICABLE.
- F. NEW WINDOW ASSEMBLIES SHALL BE INSTALLED AT THE SAME DEPTH IN THE ROUGH OPENING FROM THE EXTERIOR FACE OF MASONRY AS THE EXISTING WINDOWS, UNLESS NOTED OTHERWISE.
- G. ALL EXISTING MATERIALS/ STRUCTURE SHALL BE VERIFIED BY CONTRACTOR TO ENSURE THAT EXISTING SURFACES/ STRUCTURE ARE SUITABLE FOR WINDOW INSTALLATION.
- H. PROVIDE BARRIER-FREE HARDWARE AT OPERABLE WINDOWS, INCLUDING ANY EXTENSIONS FOR REQUIRED REACH RANGE, AT LOCATIONS NOTED.
- ANY WINDOWS REMOVED SHALL HAVE NEW WINDOWS INSTALLED, OR OPENING BOARDED UP, AT END OF EACH WORK DAY.
- J. PROVIDE OPENING PROTECTIVES PER SPECIFICATIONS. REFER TO LIFE SAFETY PLANS AND ELEVATIONS FOR RATED WINDOW LOCATIONS AND SPECIFICATIONS FOR WINDOW REQUIREMENTS.
- K. AT THE ONSET OF DEMOLITION, REMOVE ONE WINDOW FROM EACH TYPICAL CONDITION AND REVIEW CONDITION OF ROUGH OPENING WITH ARCHITECT AND OWNER TO CONFIRM EXTENTS OF DEMO, CONDITION/ REPAIR OF UNDERLYING ROUGH OPENING, AND ANY MITIGATION PRIOR TO COMMENCING WITH FULL WINDOW REMOVAL.
- L. PROVIDE SOLID DRW BLOCKING AT JAMBS AND HEADER OF ROUGH OPENING AFTER DEMO OF EXISTING WINDOWS FOR ATTACHMENT OF NEW WINDOW ASSEMBLIES.

REMARKS

 FIBERGLASS WINDOWS = PELLA IMPERVIA SERIES.
 ALTERNATE 1 FOR SINGLE-HUNG WINDOWS = TRACO 9700 SERIES ALUMINUM WINDOWS.

GLASS TYPES

IG-1 INSULATING GLASS UNITS GL-1 MONOLITHIC GLAZING

(REFER TO SPECIFICATIONS FOR FURTHER INFORMATION ON GLAZING TYPES)

MATERIALS LEGEND

AL ALUMINUM
WD WOOD
ST STEEL
FG FIBERGLASS
V VINYL

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Jate

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WINDOW ELEVATIONS

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