

Restore & Revitalization
Of
345 Arden Park Blvd
Detroit, MI 48202

My name is Michael J. McCants joint owner with my wife Henrietta McCants, we have owned this property since June 1995. We have worked on our home since closing. As with homes of this age there are many challenges. As time has moved on other problems have made themselves known which brings us to this application and urgent request, some of which are more urgent than others. Here is a list of Items we have done and would like to do.

Items that have been completed

1. Paint all wood trim and stucco
2. Paint and remount wood shutters
3. Replace facial boards around roof and paint
4. Replace improper gutters with commercial grade gutters
5. Replace and Restore Cedar Shank Siding on 1 doghouse and paint
6. Replace facial boards on Garage and paint
7. Replace gutters on Garage
8. Restore 1 garage man door
9. Tear out existing porch and stairs and remove
10. Replace front porch 31'x9' (concrete) 7.5 bag mix with stealth fiber
11. Replace front porch steps with 4 16"x 8' steps
12. Tear out and remove asphalt and crumbling cracked concrete
13. Replace driveway, from curb to garage 12' W x 123' length with (concrete} 7.5 bag mix with stealth fiber

Items that we would like to do

1. Installation of limestone Railings and Balusters on front porch and steps
2. Landscaping and beautification of yard

Reasons for Restoration

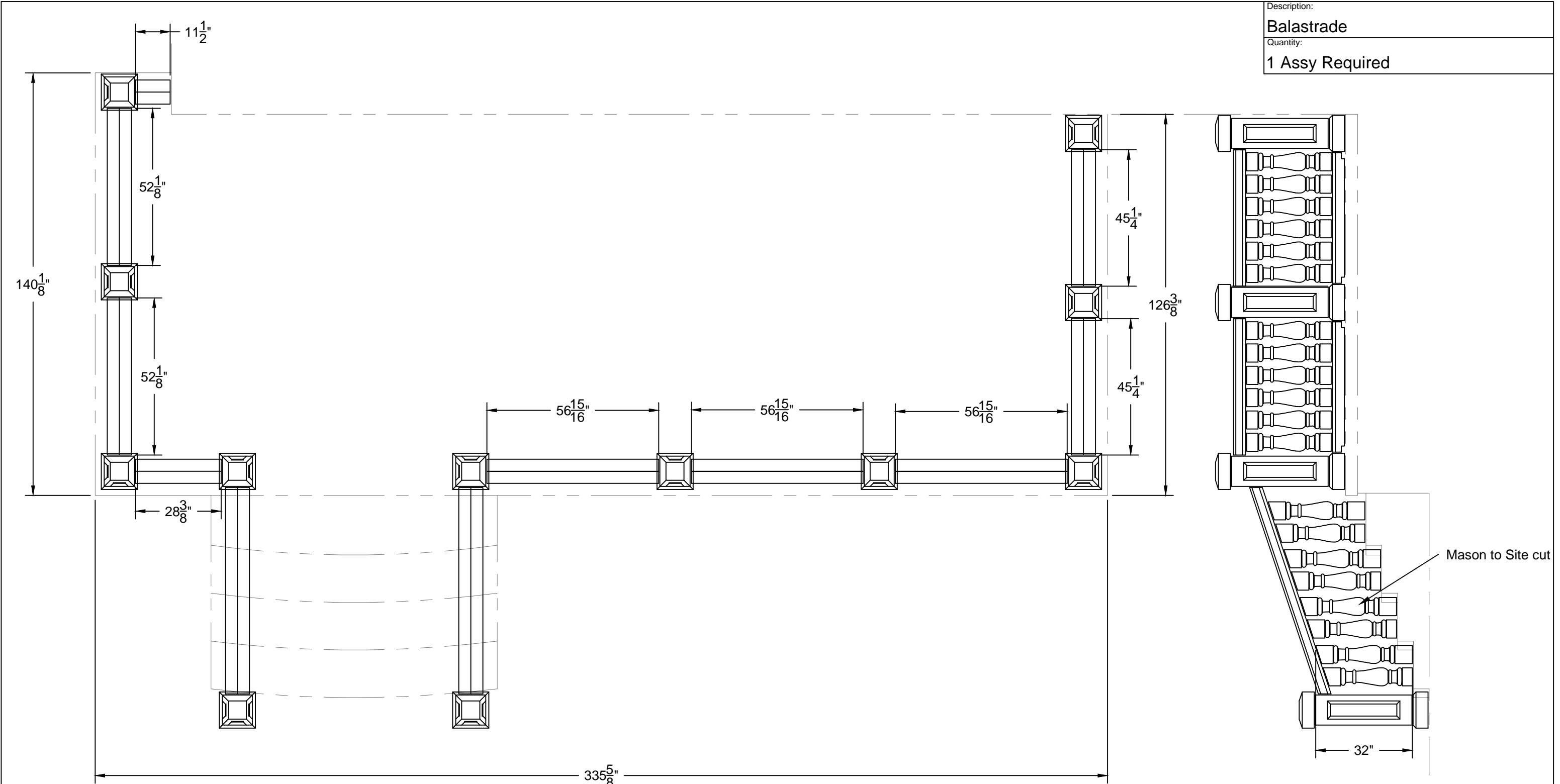
- 1. Refreshing the paint on trim and stucco on home including garage was needed to protect the historical architectural nature of this home.**
- 2. Replacing gutters was needful because the gutters were designed for homes that were for homes of not more than 2400 square feet as our home exceeds 7000 square feet. Also, down spouts were missing, and some gutters were hanging which allowed water to puddle next to house and make its way into basement.**
- 3. Front porch posed a safety hazard for anyone that would come onto the porch.**
 - a. Multiple cracks on cap of porch**
 - b. Missing large sections of concrete**
- 4. Driveway missing large sections of concrete, slabs of concrete cracked through which sank along the entire eastside of house foundation which rainwater or water in general would make its way into the basement. As far as the driveway by garage, the driveway was a mixture of patchwork over the years such as, asphalt and concrete patchwork.**
- 5. The fence that was installed is 6' tall and is Rod Iron and black in color. The choice of material was in keeping with this historical neighborhood. The need for the fence was on both sides of our home there was no real security where anyone could walk right into our backyard from the sides. We were victims of a home invasion. With the installation of the Rod Iron gate and fence it provides elegance to our home and some means of security.**

If there is any additional information or explanation you would require my contact information is below.


Michael J McCants

Cell: 313-300-8182

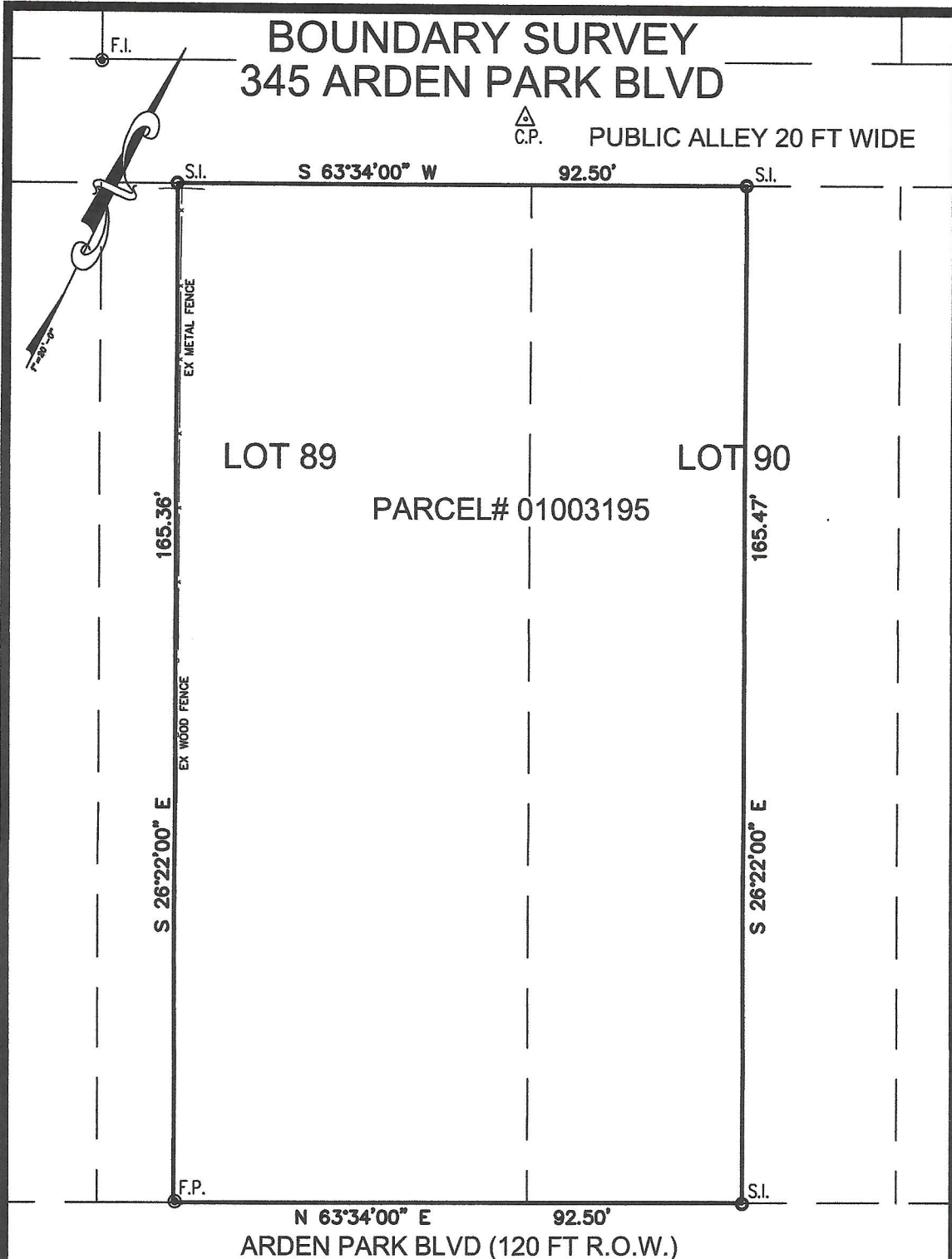
Eldermikem313@gmail.com



Description:
Balustrade
Quantity:
1 Assy Required

Approved by (Signature): _____		APPROVED DATE: _____			
Revisions	Date		ROMAN STONE WORKS, INC 13000 LYNDON DETROIT, MI 48227 PHONE: 313.931.2260	Contractor: Mike McCants	
Initial Release	08-27-22			MASONS TO LEAVE 1/4" GAP FOR CAULKING BETWEEN OUTSIDE OF THE WINDOW FRAME AND THE LIMESTONE SURROUND PIECES.	
		AUTOCAD LT 2015	Job: 345 Arden Park Blvd., Detroit	Mortar Joints: 3/8"	Date: 08-27-22
				Scale: 3/8"=1'	Job No: 351001
					Sheet: 1

BOUNDARY SURVEY 345 ARDEN PARK BLVD



LEGEND

	SECTION CORNER		S.P.K.	SET P.K. NAIL
	F.I. FOUND IRON		F.P.K.	FOUND P.K. NAIL
	F.P. FOUND PIPE		S.I.	SET IRON
	F.M. FOUND MONUMENT		C.P.	CONTROL POINT

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN PART OF SECTION 37, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, BEING FURTHER DESCRIBED AS FOLLOWS: THE EAST 57.50 FT OF LOT 89 AND THE WEST 35 FT OF LOT 90 OF MCLAUGHLIN & OWENS SUB. (L18 P28 PLATS, W.C.R.) CONTAINING 0.35 ACRES OF LAND SUBJECT TO ALL EASEMENTS OF RECORD

345 Arden Park, Detroit, Michigan

CLIENT: Michael McCants

DATED 10/25/22

LOT NO. 89-90

SCALE 1" = 20'-0"

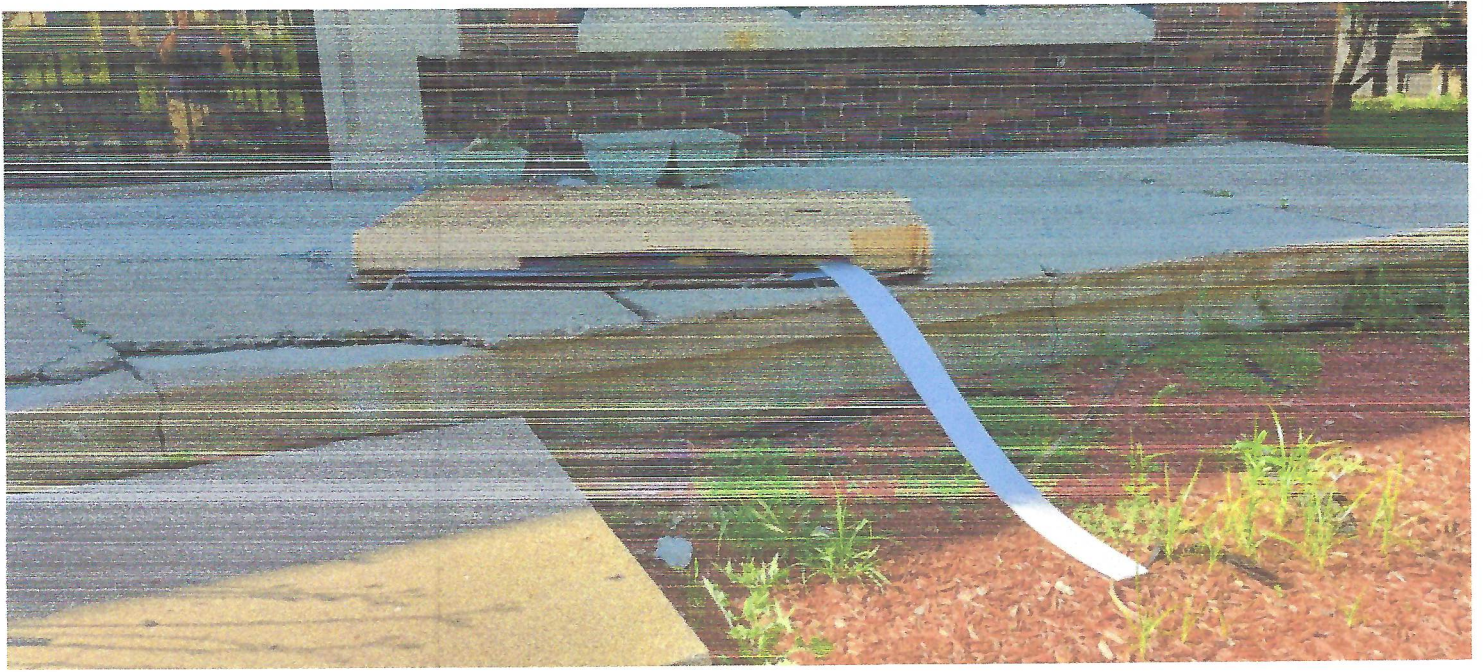
LAND
DEVELOPMENT
SERVICES
of Michigan L.L.C.

Civil, Construction Management
& Surveying Services

Land Development Services
of Michigan L.L.C.
48597 Hayes Rd
Shelby Twp, MI 48315
P: 586.854.7510
E: David@LDSoftMichigan.com



SURVEY
STAKE



This photo shows the present tripping hazard to persons that may come onto porch



This photo shows the lack of security between home,



This photo shows the cracked concrete and sinking of concrete slabs along side of home that has led to water in basement. Photo also shows cracked and missing concrete.



This photo shows the need to
refresh paint.



This photo shows the need to refresh paint and uniform.



This photo shows the condition
of driveway as one would expect
garage.



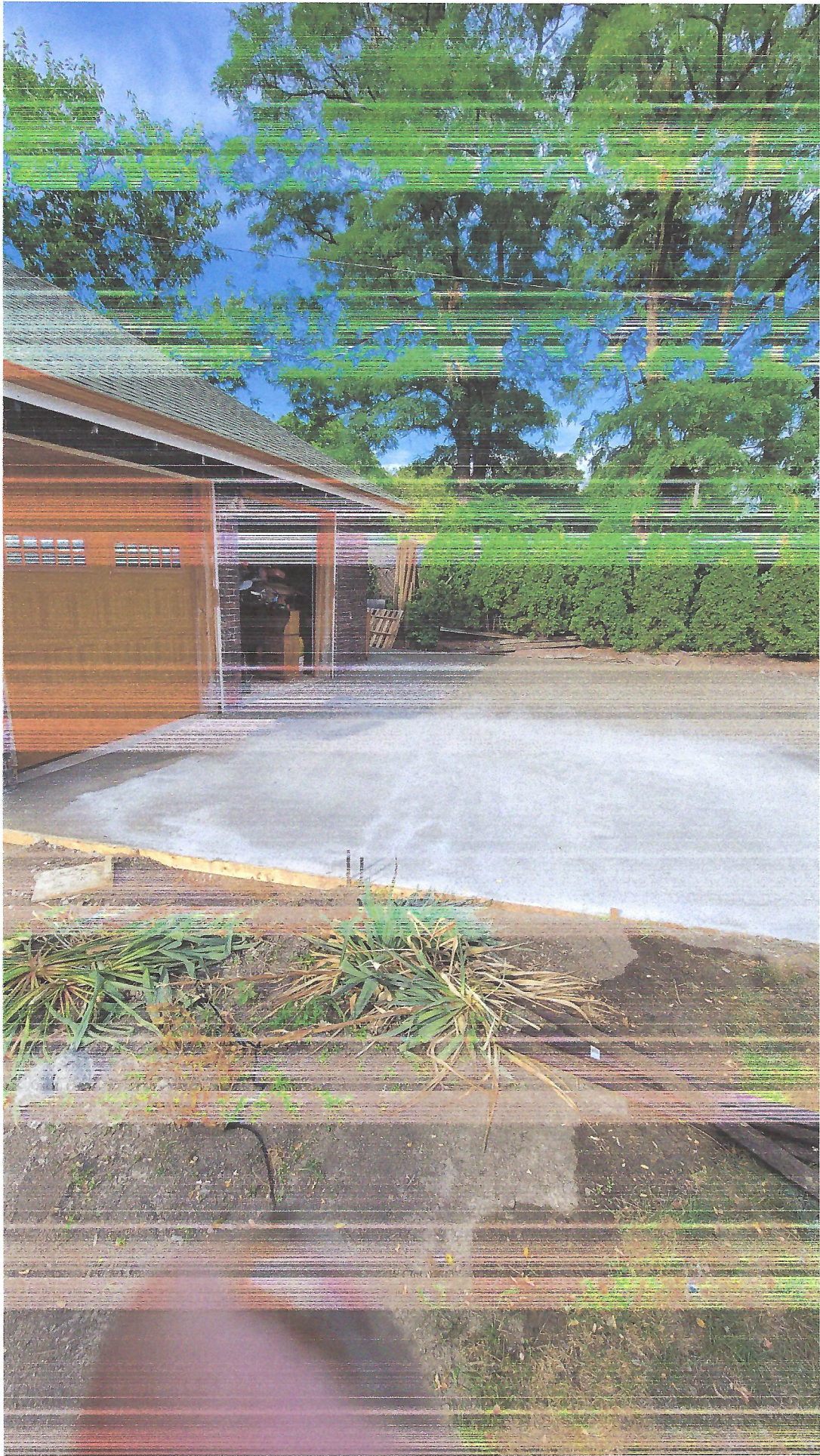
This photo shows AFTER ~~work~~ work
has been completed





Photo of finished work









New Porch & Steps



Rode Irons
FENCE



Rode Inow Gate

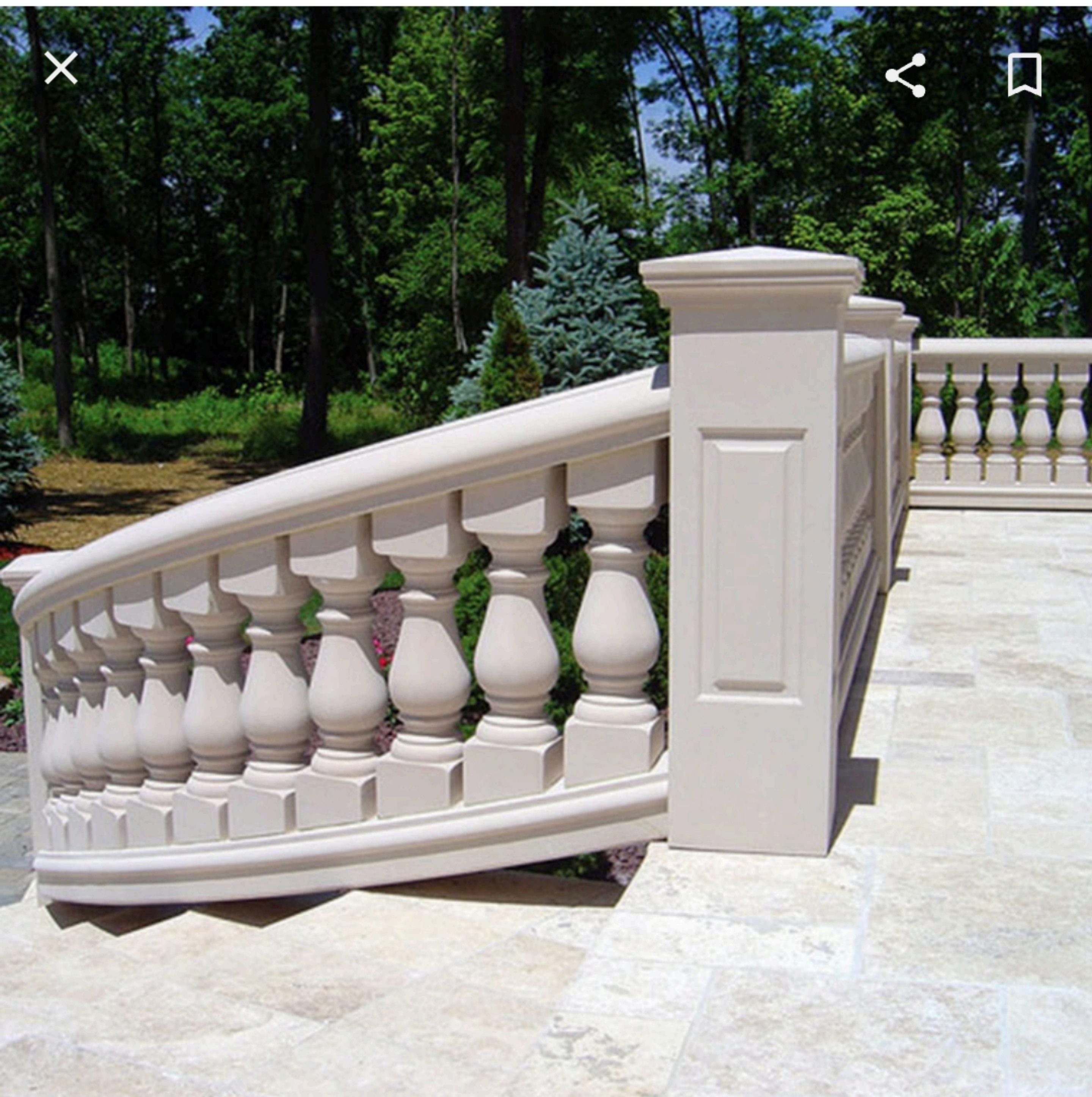


Rode Iron Fence between
property





Rode Iron FENCE between
property



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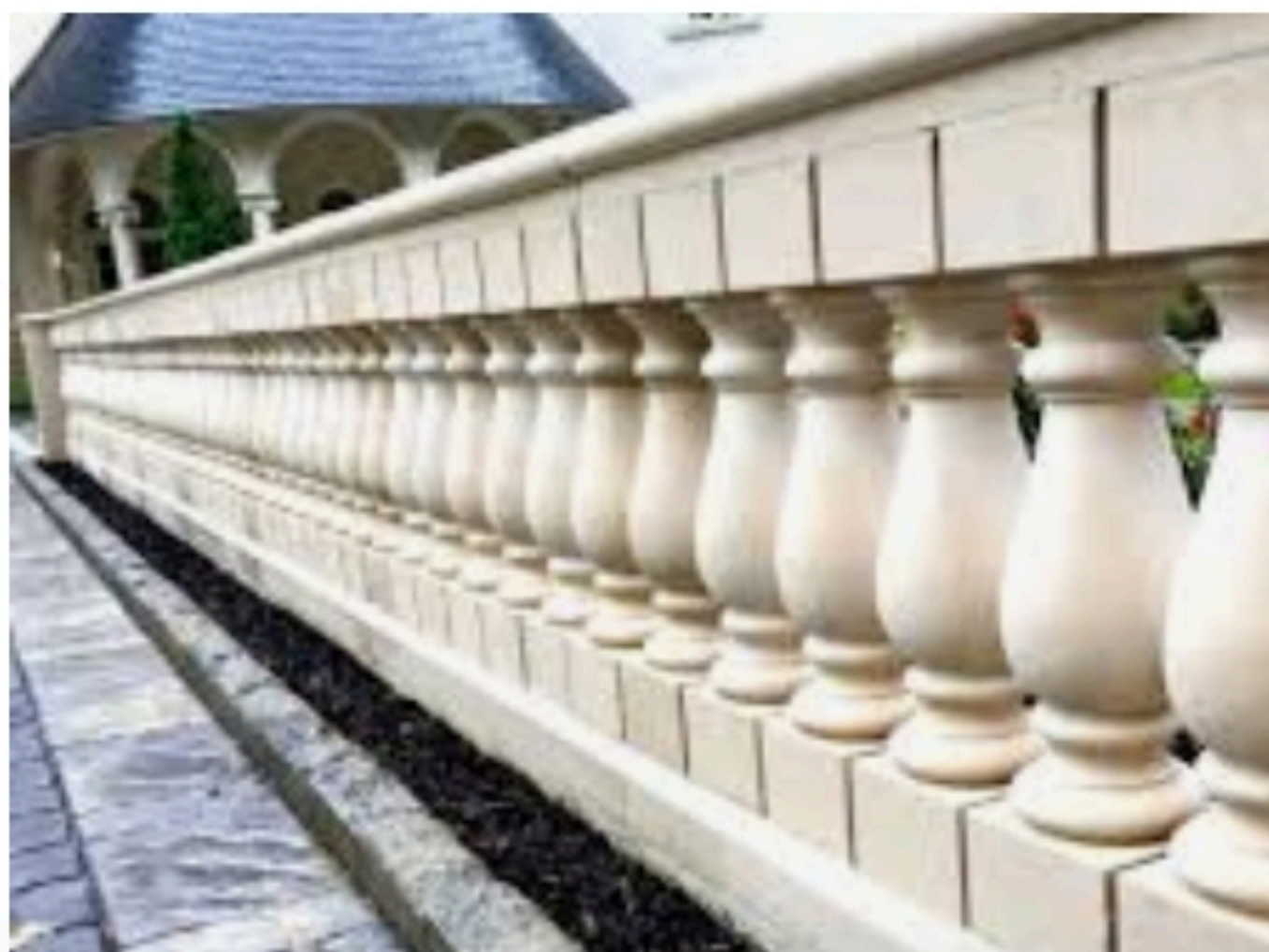
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