SHEET INDEX SHEET NAME REVISIONS DATE DATE DATE DATE DATE T.1 TITLE SHEET T.2 BUILDING CODES & NOTES T.3 ENTERPRISE GREEN COMMUNITIES NOTES C.1.0 COVER SHEET C.1.1 ALTA/TOPOGRAPHIC SURVEY C.2.0 DEMOLITION PLAN C.3.0 SITE LAYOUT & PAVING PLAN C.4.0 GRADING PLAN C.5.0 UTILITY PLAN C.6.0 PROFILE PLAN C.7.0 SOIL EROSION & SEDIMENTATION CONTROL PLAN C.8.0 DETAILS SHEET C.8.1 DETAILS SHEET C.9.0 DETENTION DETAILS SHEET C.9.1 DETENTION DETAILS SHEET ARCHITECTURAL ASP.1 ARCHITECTURAL SITE PLAN & SITE DETAILS LP.1 LANDSCAPE PLAN A.1.1 FIRST FLOOR PLAN A.1.2 SECOND FLOOR PLAN A.1.3 THIRD FLOOR PLAN A.1.4 FOURTH FLOOR PLAN A.1.5 ROOF PLAN A.1.6 LIFE SAFETY PLANS A.1.7 LIFE SAFETY PLANS A.1.8 LIFE SAFETY BUILDING SECTIONS A.2.1 EXTERIOR ELEVATIONS: EAST & WEST A.2.2 EXTERIOR ELEVATIONS: NORTH & SOUTH A.3.1 CEILING FINISH PLAN: FIRST & SECOND A.3.2 CEILING FINISH PLAN: THIRD & FOURTH A.3.3 FINISH FLOOR SCHEDULE: FLOORS 1 & 2 A.3.4 FINISH FLOOR SCHEDULE: FLOORS 3 & 4 A.4.1 ROOM FINISH SCHEDULES & NOTES A.5.1 BUILDING SECTIONS A.5.2 BUILDING SECTIONS A.6.1 WALL SECTIONS & DETAILS A.6.2 WALL SECTIONS & DETAILS A.6.3 WALL SECTIONS & DETAILS A.6.4 WALL SECTIONS & DETAILS A.6.5 WALL SECTIONS & DETAILS A.6.6 WALL SECTIONS & DETAILS A.6.7 WALL SECTIONS & DETAILS A.6.8 CONSTRUCTION TYPE DETAILS A.6.9 SECTIONS, DETAILS AND TRASH CHUTE DETAILS A.7.1 STAIR PLAN, DETAILS & SECTIONS A.7.2 STAIR PLAN, DETAILS & SECTIONS A.8.1 ENLARGED PLANS: TYPICAL APARTMENT UNITS A.8.2 ENLARGED PLANS: TYPICAL APARTMENT UNITS A.8.3 ENLARGED PLANS: TYPICAL APARTMENT UNITS A.8.4 ENLARGED PLANS: TYPICAL APARTMENT UNITS A.8.5 ENLARGED FIRST FLOOR A.8.6 ENLARGED FLOORS 2-4 COMMUNITY & SERVICE ROOMS A.9.1 INTERIOR ELEVATIONS A.10.1 DOOR AND WINDOW SCHEDULES AND DETAILS A.11.1 ENTERPRISE GREEN COMMUNITIES DETAILS STRUCTURAL SG-01 GENERAL NOTES SG-02 SPECIAL INSPECTIONS & TESTING SG-03 SPECIAL INSPECTIONS & TESTING SG-04 SPECIFICATIONS SG-05 SPECIFICATIONS SP-01A FOUNDATION PLAN SP-01 MASONRY WALL PLAN SP-02 SECOND FLOOR FRAMING PLAN SP-03 THIRD FLOOR FRAMING PLAN SP-04 FOURTH FLOOR FRAMING PLAN SP-05 ROOF STRUCTURAL FRAMING PLAN SW-01 SHEAR WALL DETAILS SW-02 SHEAR WALL DETAILS SW-04 ROOF DIAPHRAGM DETAILS S5-01 TYPICAL DETAILS S5-02 TYPICAL DETAILS S5-03 TYPICAL DETAILS S5-11 SECTIONS & DETAILS S5-21 SECTIONS & DETAILS S5-31 SECTIONS & DETAILS S5-41 SECTIONS & DETAILS M.000 MECHANICAL LEGEND, SYMBOLS AND SHEET INDEX M.100 OVERALL SANITARY & VENT PLUMBING PLAN - FIRST FLOOR M.101 OVERALL SANITARY & VENT PLUMBING PLAN - SECOND FLOOR M.102 OVERALL DOMESTIC WATER PLAN - FIRST FLOOR M.103 OVERALL DOMESTIC WATER PLAN - SECOND FLOOR M.104 OVERALL GAS PIPING PLAN - FIRST FLOOR M.105 OVERALL GAS PIPING PLAN - SECOND FLOOR M.106 OVERALL PLUMBING & GAS PIPING PLAN - THIRD FLOOR M.107 OVERALL PLUMBING & GAS PIPING PLAN - FOURTH FLOOR M.108 ENLARGED SANITARY & VENT PLUMBING PLANS M.109 ENLARGED DOMESTIC WATER PIPING PLANS M.110 PLUMBING RISERS M.200 OVERALL HVAC PLAN - FIRST FLOOR M.201 OVERALL HVAC PLAN - SECOND FLOOR M.202 OVERALL HVAC PLAN - THIRD FLOOR M.203 OVERALL HVAC PLAN - FOURTH FLOOR M.204 ENLARGED HVAC FLOOR PLAN M.300 MECHANICAL ROOF PLAN M.400 MECHANICAL SCHEDULES M.401 MECHANICAL DETAILS M.500 MECHANICAL SPECIFICATIONS. E.000 ELECTRICAL LEGENDS, SYMBOLS & SHEET INDEX E.100 ELECTRICAL SITE PLAN E.200 OVERALL ELECTRICAL PLAN - FIRST FLOOR E.201 OVERALL ELECTRICAL PLAN - SECOND FLOOR E.202 OVERALL ELECTRICAL PLAN - THIRD FLOOR E.203 OVERALL ELECTRICAL PLAN - FOURTH FLOOR E.204 ELECTRICAL ROOF PLAN E.205 ENLARGED ELECTRICAL PLANS E.206 ENLARGED ELECTRICAL PLANS E.300 LIGHTING FIXTURE SCHEDULES E.400 RISER DIAGRAM/PANEL SCHEDULES/FEEDER LOAD CALC. E.401 PANEL SCHEDULES

E.402 PANEL SCHEDULES/FEEDER SIZES & FEEDER SCHEDULES

E.500 ELECTRICAL SPECIFICATIONS E.501 ELECTRICAL SPECIFICATIONS E.502 ELECTRICAL SPECIFICATIONS

WOODWARD APARTMENTS

MSHDA # 3990 (4%) & 3996 (9%) MHT HOUSING, INC. & MOONEY REAL ESTATE (AOD) 10201 WOODWARD AVENUE, DETROIT MI, 48202



PROJECT SUMMARY

SITE AREA 54,471± SF OR 1.25 ACRES

BUILDING FLOORS:

HEIGHT: UNITS: FIRST FLOOR (GROSS & NET): SECOND FLOOR (GROSS & NET): THIRD FLOOR (GROSS & NET): FOURTH FLOOR (GROSS & NET): TOTAL BUILDING SIZE (GROSS & NET):

RETAIL AREA (GROSS & NET): OFFICE AREA (GROSS & NET): **UNITS AREA (GROSS & NET): COMMUNITY AREAS (GROSS & NET):**

53 (2) BEDROOM UNITS 17,466 SF / 16,438 SF 16.295 SF / 15,579 SF 16,295 SF / 15,579 SF

16,295 SF / 15,579 SF 66,351 SF / 63,175 SF 6,524 SF / 6,075 SF 361 SF / 328 SF 43,312 SF / 40,602 SF

2.832 SF / 2.576 SF

PARKING

UNITS: 0.75 per dwelling unit (Bus stop within 0.5 miles of site) Retail: (1 per 200 SF gross floor area) x 0.75 (Bus stop within 0.5 miles of site.)

Required:

Apartments: 0.75 X 53 = 40 Spaces Retail: (5,793 SF (FLOOR AREA) /200)x0.75 = 22 Spaces TOTAL: **62 SPACES**

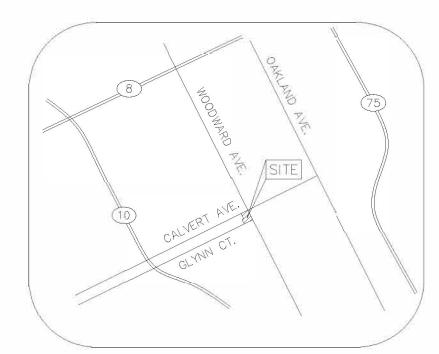
PROVIDED: ON SITE

67 Spaces

21,766 SF OF PARKING ON SITE

			UNIT S	UMMARY				
UNIT TYPE	UNIT ADDRESS(ES)	DESCRIPTION	UNIT AREA (GROSS / NET) (SF)	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL UNITS
TYPE A TYPE A -1	101 403	TYPE A: 2 BED, 1 BATH	783 / 717 783 / 732	1 0	0	0	0	2
TYPE B TYPE B -1	102 402	TYPE A: 2 BED, 1 BATH	768 / 705 768 / 712	1 0	0	0	0 1	2
TYPE C TYPE C -1	103 401	TYPE A: 2 BED, 1 BATH	804 / 723 804 / 774	1 0	0	0	0 1	2
TYPE D	104	2 BED, 1 BATH	815 / 725	1	0	0	0	1
TYPE E	105	2 BED, 1 BATH	792 /726	1	0	1	1	1
TYPE F	201*, 301*	2 BED, 1 BATH	838 / 774	0	1	1	0	2
TYPE G	202, 302	2 BED, 1 BATH	768 / 715	0	1	1	0	2
TYPE H	203, 303	2 BED, 1 BATH	784 / 731	0	1	1	0	2
TYPE I	204, 304, 404	2 BED, 1 BATH	897 / 824	0	1	1	1	3
TYPE J	205, 305, 405	2 BED, 1 BATH	823 / 773	0	1	1	1	3
TYPE K	206, 306, 406	2 BED, 1 BATH	822 / 765	0	1	1	1	3
TYPE L	207, 307, 407	2 BED, 1 BATH	811 / 755	0	1	1	1	3
TYPE M	208, 308, 408	2 BED, 1 BATH	817 / 761	0	1	1	1	3
TYPE N	209, 309, 409	2 BED, 1 BATH	801 / 746	0	1	1	1	3
TYPE O	210, 310, 410	2 BED, 1 BATH	887 / 820	0	1	1	1	3
TYPE P	211, 311, 411	2 BED, 1 BATH	892 / 805	0	1	1	1	3
TYPE Q	212, 312, 412	2 BED, 1 BATH	791 / 735	0	1	1	1	3
TYPE R	213, 313, 413	2 BED, 1 BATH	762 / 707	0	1	1	1	3
TYPE S	214, 314, 414	2 BED, 1 BATH	779 / 724	0	1	1	1	3
TYPE T	215, 315, 415	2 BED, 1 BATH	792 / 736	0	1	1	1	3
TYPE U	216, 316, 416	2 BED, 1 BATH	844 / 774	0	1	1	1	3
	TOTAL UNITS				16	16	16	53

^{* =} UNITS 201 & 301 WILL BE EQUIPPED FOR HEARING AND VISUALLY IMPAIRED RESIDENTS. SEE ENLARGED FLOOR PLANS FOR MORE DETAIL



VICINITY MAP

OWNER

MHT HOUSING, INC. T.VAN FOX - PRESIDENT 32600 TELEGRAPH ROAD BINGHAM FARMS, MI 48025 PHONE: 248 833-0550 **CONTACT: T. VAN FOX** (FAX): 248 833-0551

ARCHITECT

KEM-TEC & ASSOCIATES JEFFREY F. GRAHAM - LEED AP, R.A. 22556 GRATIOT AVENUE EASTPOINTE, MI 48021 PHONE: 586 772-2222 CONTACT: JEFF GRAHAM FAX: 586 772-4048

CIVIL ENGINEER

KEM-TEC & ASSOCIATES JOSEPH ROCCO DATTILO 22556 GRATIOT AVENUE **EASTPOINTE, MI 48021 CONTACT: PAUL MODI** PHONE: 248 835-3553 FAX: 586 772-4048

SURVEYOR

KEM-TEC & ASSOCIATES ANTHONY SYCKO, PS 22556 GRATIOT AVENUE **EASTPOINTE, MI 48021** PHONE: 586 772-2222 CONTACT: ANTHONY SYCKO FAX: 586 772-4048

MEP ENGINEER

MEP ENGINEERS LLC JOSEPH A. MALKOUN, PE 380 NORTH MAIN STREET CLAWSON, MI 48017 PHONE: 248 488-9822

FAX: 248 488-9811

CONTACT: JOSEPH A. MALKOUN

STRUCTURAL ENGINEER

EFI GLOBAL OF MICHIGAN, LLC LARRY LESNIAK, P.E. 33955 HARPER AVENUE CLINTON TOWNSHIP, MI 48035 PHONE: 586 868-0220 **CONTACT: LARRY LESNIAK** FAX: 586 868 0221

ENERGY ENGINEER

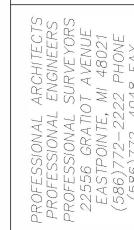
ENERGY DIAGNOSTICS 405 E. ARCHER WAY VALPARAISO, INC 46383 PHONE: 219 301-8932 **CONTACT: NETTIE GREULICH**

GENERAL CONTRACTOR

MHT CONSTRUCTION, LLC DON DAY 32600 TELEGRAPH ROAD BINGHAM FARMS, MI 48025 PHONE: 248 833-0553 **CONTACT: DON DAY** FAX: 248 833-0551



WOODWARD APARTMENTS









LANDSCAPING NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL MATERIALS AND PLANTS SHOWN ON THE PLAN WHETHER OR NOT INCLUDED IN THE "PLANT LIST".
- ALL NURSERY STOCK TO BE WELL BRANCHED, HEALTHY, FULL, VIGOROUS, PRE INOCULATED, AND FERTILIZED. DECIDUOUS TREES TO BE FREE OF FRESH SCARS AND BRANCHES TO BE A HEIGHT OF 5' ABOVE ROOTBALL TRUNKS SHALL BE WRAPPED, IF NECESSARY, TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPER SHALL REMOVE SAID WRAP AT THE PROPER TIME AS PART OF HIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED.
- TOPSOIL, 4" THICK, SHALL BE PROVIDED AND GRADED BY THE LANDSCAPE CONTRACTOR AND SUBJECT TO APPROVAL BY THE OWNER.
- ALTERNATIVES MAY ONLY BE USED IN THE EVENT OF UNAVAILABILITY OF THE SELECTED SPECIES WITHIN A REASONABLE DISTANCE OR DUE TO SEASON PROOF MAY BE REQUESTED BY THE ARCHITECT.
- EVERGREEN TREES SHALL NOT BE PLANTED DURING JUNE, JULY, OR AUGUST.
- MULCH SHALL NOT CONTAIN ANY FARM WASTE AND SHALL BE INDICATED ON PLAN FOR EACH AREA
- A CHEMICAL WEED PREVENTATIVE BARRIER SHALL BE APPLIED IN ALL NON-GRASS AREAS WHICH DO NOT HAVE POLYETHYLENE FILM MULCH INDICATED.
- REMOVE ALL TWINE, WIRE, AND BURLAP FROM SHRUB AND TREE EARTH BALLS AND FROM TREE TRUNKS
- LAWN TREES TO BE MULCHED WITH A 2' WIDE BY MINIMUM 6" DEEP SHREDDED BARK RING.
- SHRUB BEDS TO BE MULCHED WITH 3" OF SHREDDED WOOD BARK.
- ALL SOD AND SEED TO BE KENTUCKY BLUE BLEND.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXITING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE MAXIMUM SLOP ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.
- **EXAMINATION OF SITE**
- THE CONTRACTOR SHALL VISIT THE JOB SITE BEFORE HE SUBMITS HIS BID TO TO BECOME FAMILIAR WITH THE ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCE BETWEEN THE WORK AND THAT OF OTHER TRADES AND/OR ANY APPARENT VIOLATIONS OF LOCAL OR STATE CODES, LAWS, ORDINANCES, AND REGULATIONS. IF ANY INTERFERENCE OR VIOLATIONS APPEAR AND DEPARTURE FROM THE DESIGN INTENT OF THE CONTRACT DOCUMENT S IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE ENTERING INTO THE CONTRACT WITH THE OWNER. FAILURE TO PROVIDE THE ARCHITECT WITH THE AFOREMENTIONED NOTIFICATION WILL RESULT IN THE CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK TO MEET THE INTENT OF THE CONTRACT DRAWINGS WITH NO ADDITIONAL EXPENSE ("EXTRAS") BEING INCURRED BY THE OWNER.

CLEANING

- PREMISES SHALL BE CLEANED UPON COMPLETION OF THE WORK.
- UPON COMPLETION OF THE WORK, THOROUGHLY CLEAN ALL SYSTEMS AND TEST TO INSURE THAT THE SYSTEMS PERFORM TO THEIR REQUIREMENTS.

MAINTENANCE

• THE PROPERTY OWNER WILL TAKE CARE OF THE LANDSCAPING. A LANDSCAPING MAINTENANCE PLAN WILL BE DEVELOPED AS PER ENTERPRISE GREEN COMMUNITIES' REQUIREMENTS PER THE BUILDING AND OPERATIONS MANUAL AND WILL BE PROVIDED AT A LATER DATE.

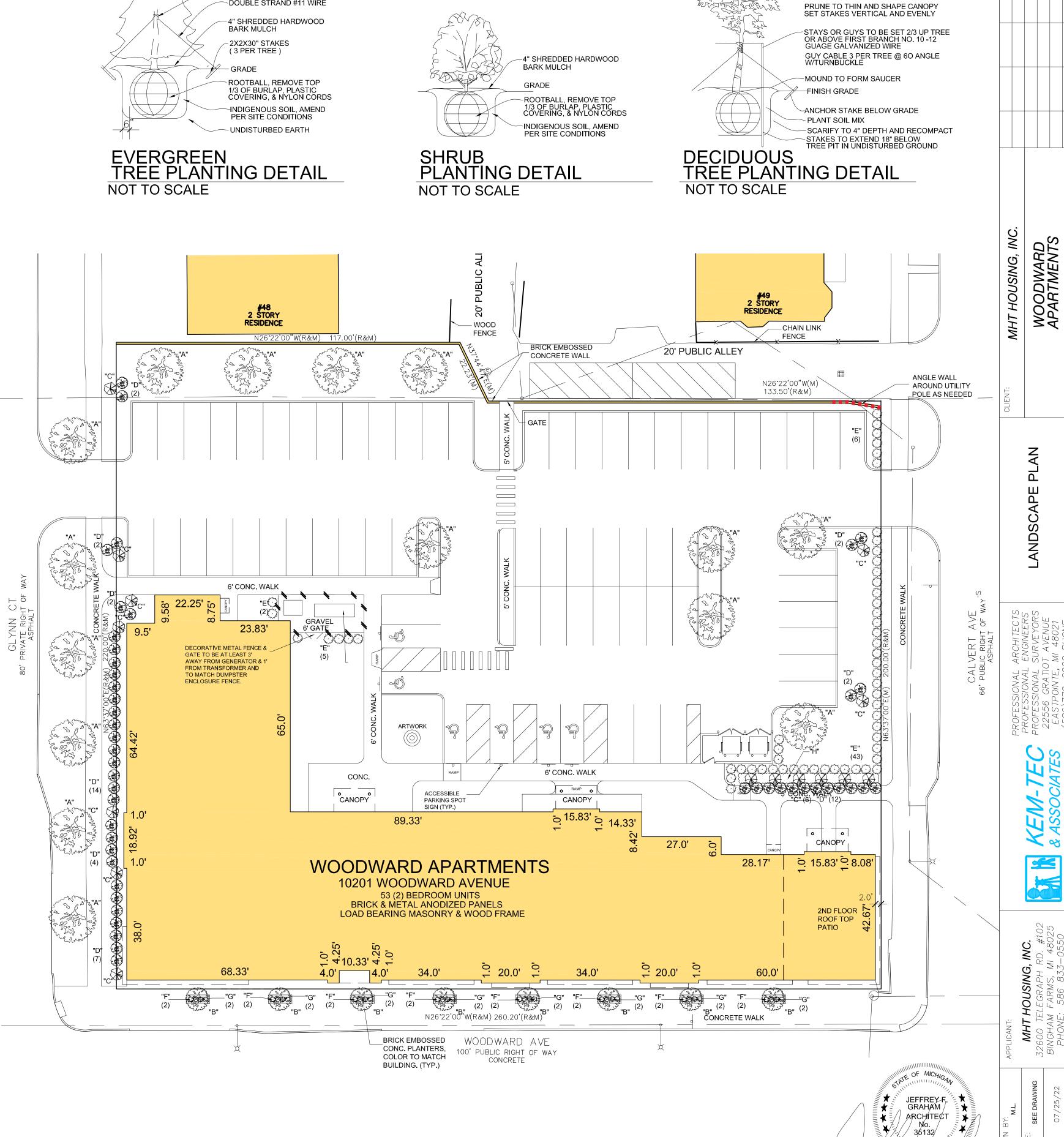
IRRIGATION NOTE:

- IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF THE IRRIGATION SYSTEM WITH SEPARATING PLANTING BEDS FROM LAWN AREA, PRIOR TO THE START OF CONSTRUCTION.
- IRRIGATIONS DESIGN WILL NEED TO BE APPROVED BY THE PROJECT ARCHITECT.
- IRRIGATION CONTRACTOR WILL NEED TO VERIFY THE MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE. (MEASURED IN PSI)
- BOOSTER PUMPS (OR SIMILAR DEVISES) SHALL BE PROVIDED TO MEET THE SYSTEM PRESSURE REQUIREMENTS.
- IRRIGATION CONTRACTOR IS REQUIRED TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS AND SLEEVES WITHIN HARDSCAPE AREAS ON THEIR DESIGN.
- CONTRACTOR WILL FOLLOW 2015 ENTERPRISE GREEN COMMUNITIES **REQUIREMENTS:**
- A DRIP IRRIGATION SYSTEM FOR LANDSCAPE PLANTING BEDS
- SEPARATELY ZONED TURF AND BEDDING AREAS, BASED ON WATERING **NEEDS OF TURF/PLANTINGS**
- A TIMER/CONTROLLER THAT ACTIVATES THE VALVES FOR EACH WATERING ZONE AT THE BEST TIME OF DAY TO MINIMIZE EVAPORATIVE LOSSES WHILE MAINTAINING HEALTHY PLANS AND OBEYING LOCAL REGULATIONS AND WATER-USE GUIDANCE.
- A MOISTURE SENSOR CONTROLLER OR RAIN DELAY CONTROLLER.
- WATERING TUBES FOR TREES ARE ALLOWED FOR A PERIOD OF TWO YEARS.

LAN	DSCAPING & BUFFER REQUIREMENT	ΓS
CODE	REQUIRED	PROPOSED
61-14-205	PLANT SIZE: SHRUBS: MINIMUM SIZE EQUAL TO OR GREATER THAN A NUMBER 3 CONTAINER AND HAVE A MINIMUM HEIGHT OF 18" AT TIME OF PLANTING. DECIDUOUS TREES: MINIMUM DIAMETER OF 2"	COMPLIES
	MEASURED AT 12" ABOVE ROOT BALL. CLEAR STEM OF AT LEAST 5'	
	EVERGREEN TREES: MINIMUM HEIGHT: 5'	
61-14-206	GROUND TREATMENT: ALL UNPAVED AREAS ARE TO BE TREATED WITH GROUNDCOVER, MULCHED AREAS, SOD OR SEED LAWNS, OR PAVERS.	COMPLIES
61-14-221	RIGHT OF WAY SCREENING: 5' WISE LANDSCAPING BUFFER BETWEEN PARKING AREA AND THE STREET (A FENCE CAN BE USED WHERE 5' IS NOT PRACTICAL) 1 TREE PER 30 LINEAR FEET OF LANDSCAPE BUFFER AND SHRUBS HEDGE OF AT LEAST 30" BUT NOT MORE THAN 36"	COMPLIES
61-14-222.(1).(A)	RESIDENTIAL SCREENING: OPAQUE WALL REQUIRED TO SCREEN	COMPLIES
	RESIDENTIALLY ZONED LOTS FROM PARKING OR DRIVE AISLES OF COMMERCIALLY ZONED LOTS.	
61-14-222.(1).(B)	RESIDENTIAL SETBACK: 10 FEET	COMPLIES
61-14-223	INTERIOR LANDSCAPING MINIMUM LANDSCAPED AREA: 18 SF PER PARKING SPACE 64 PARKING SPACES x 18 SF = 1,152 SF MINIMUM LANDSCAPED AREA: 150 SF	COMPLIES 1,470 SF INTERIOR LANDSCAPING
	MINIMUM DIMENSION: 7 FEET MUST INCLUDE 1 SHADE TREE 1 TREE PER 250 SF REQUIRED LANDSCAPED AREA 1152/250 = 5 REQUIRED TREES	5 SHADE TREES PROVIDED
61-14-234	SCREENING OF TRASH RECEPTACLES AND WASTE REMOVAL AREAS REQUIRED	COMPLIES

	LANDSCAPE SCHEDULE							
SYM.	QUANITY	COMMON NAME	BOTANICAL NAME	SIZE				
"A"	15	HACKBERRY	CELTIS OCCIDENTALIS	2.5" CAL.				
"B"	8	GINKGO	GINKGO BILOBA	2.5" CAL.				
"C"	15	WILD RED COLUMBINE	AQUILEGIA CANADENSIS	2'-0"				
"D"	47	CANADA ANEMONE	ANEMONE CANADENSIS	2'-0"				
"E"	56	AMERICAN ARBORVITAE	THUJA OCCIDENTALIS	6'-0"				
"F"	16	DAYLILY	HEMERCALLIS STELLA D'ORO	0'-6"				
"G"	16	VISIONS	ASTILBE	0'-8"				
"H	TBD BY LANDSCAPE CONTRACTOR	WILD GINGER	ASARUM CANADENSE	0'-6"				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITH THE PLANT LIST. THE PLAN SHALL DICTATE



LANDSCAPE PLAN

SCALE: 1"=20'

RUBBER HOSE COLLAF

DOUBLE STRAND #11 WIR

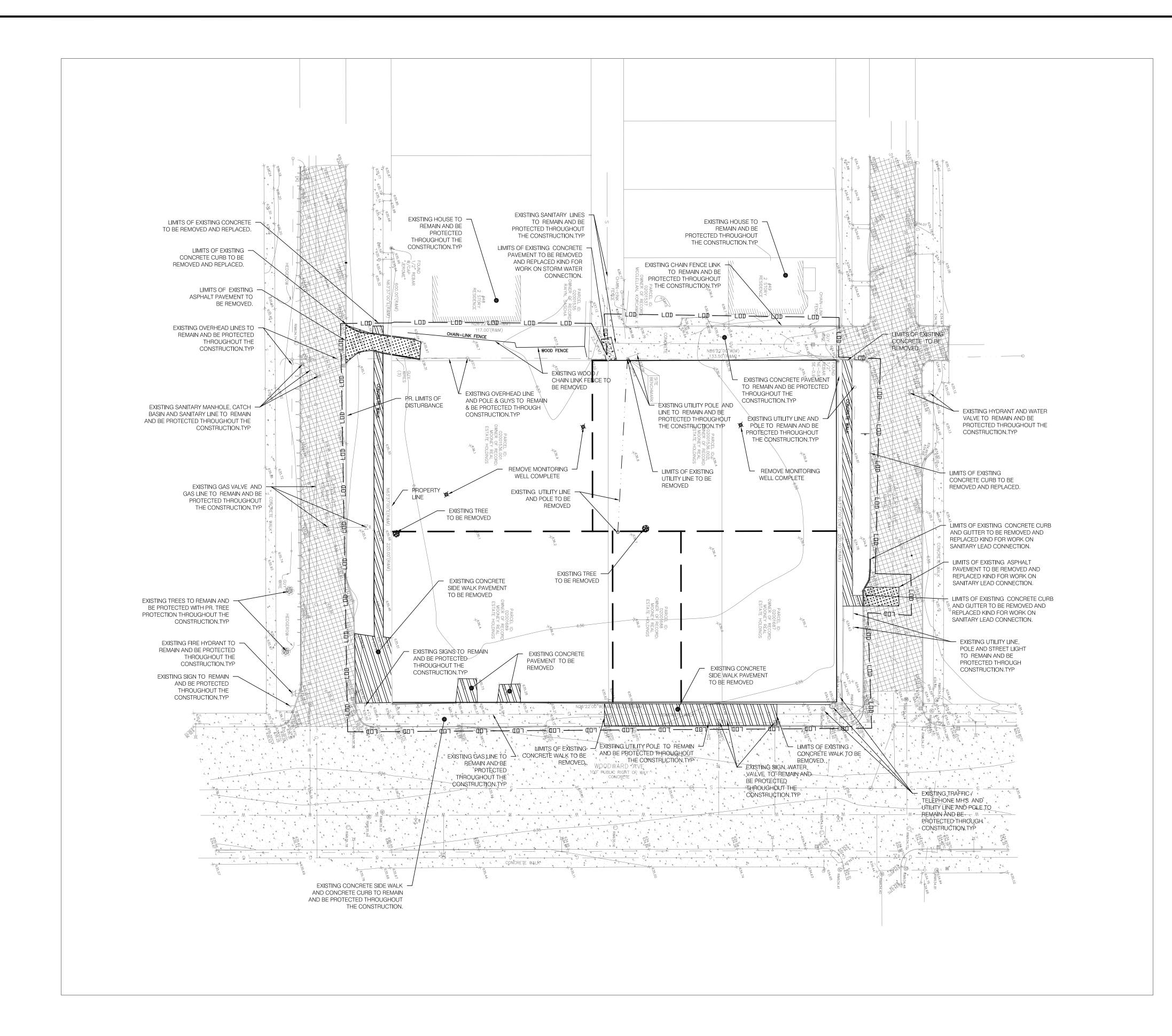
CONTRACTOR TO VERIFY PERCOLATION OF PLANT PRIOR TO INSTALLATION

STAKE TREES UNDER 4" CALIPER GUY TREES 4" CALIPER AND OVER

TREE BALL SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE

L.P.1

AS IT BORE ORIGINALLY





GENERAL DEMOLITION NOTES

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:

- 1. ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
- 2. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
- 3. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 4. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
- 5. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES CONCRETE SIDEWALKS, BRICK AND CURBED AREAS, ASPHALT, TRESS, ETC.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES
- 7. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) LATEST EDITION
- 8. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
- 10. THE CONTRACTOR SHALL NOTIFY MISS DIG, THE CITY OF DETROIT ENGINEER AND /OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 11. ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED/DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY KEM-TEC IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN & FIELD CONDITIONS.

12. THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOE

DEMOLITION LEGEND

PROPERTY LINE

LIMITS OF DISTURBANCE

OVER HEAD LINE TO BE REMOVED

O UTILITY POLE TO BE REMOVED

CONCRETE PAVEMENT REMOVAL

EXISTING BUILDING

EXISTING ASPHALT PAVEMENT REMOVE

EXISTING ASPHALT PAVEMENT

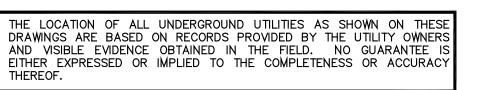
EXISTING ASPHALT PAVEMENT

EXISTING CONCRETE PAVEMENT REMOVE

S.M. ENGINEERS

CIVIL ENGINEER/ SURVEY LAND PLANNER / LANDSCAPE ARCHITECT

> 4071 KEATS DRIVE, TROY, MI 48085 T: 248.835.3553







FROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES

A GROUP OF COMPANIES

Eastpointe Detroit Ann Arbor Grand Blanc (800) 295.7222 (313) 758.0677 (734) 994.0888 (888) 694.0001

WOODWARD APARTMENTS O AVE., DETROIT MICHIGAN

PREPARED FOR: WOODWARD 10201 WOODWARD AVE., DE

CITY SUBMISSION
CITY SUBMISSION
CITY SUBMISSION
REVISED LAYOUT
DWSD REVIEW
DWSD SUBMISSION

06.20.2022 S.M. ENG.
06.03.2022 GAE
09.17.2021 S.M. ENG.
06.10.2021 S.M. ENG.
04.19.2021 S.M. ENG.

NAMN BY:
S.M.ENGINEERS
06/20/2022
HECKED BY:
NATE:
JUNE 20, 2022
ROJECT NO;
18-00000 | SCALE: 1" = 30"

C2.0

A GROUP OI

C3.0

- PROPOSED BRICK - PR. CONCRETE PAVEMENT PR. LIMITS OF CONCRETE -**EMBOSSED** REPLACED IN KIND FOR SIDEWALK (TYP.) CONCRETE WALL WORK ON STORMWATER CONNECTION. PR. CONCRETE SIDEWALK & ADA RAMP (TYP.) PR. LIMITS OF -- LIMIT OF PR. CONCRETE CONCRETE CURB AND GUTTER CURB AND GUTTER EX. HYDRANT PR. LIMITS PR. CONCRETE -- PR. LIMITS STANDARD STANDARD DUTY DUTY ASPHALT └─ PR. STANDARD - PR. CONCRETE CURB AND GUTTER 9.0'. - PR. LANDSCAPE PR. SAW CUT SIDEWALK (TYP.) AREA - LIMIT OF PR. CONCRETE **CURB AND GUTTER** PR. SAW CUT — PARKING (TYP) - PR. CONCRETE SIDEWALK (TYP.) PR. ADA PARKING AREA PR. INTEGRAL CURB AND WALK PR. TRANSFORMER -PR. SAW CUT AND NATURAL GAS EMERGENCY GENERATOR ON PR. ASPHALT PAVEMENT AND CONCRETE PR. CONCRETE -CURB AND GUTTER REPLACED IN KIND FOR WORK ON SANITARY LEAD CONNECTION. CONCRETE (TYP.) SIDEWALK (TYP.) STRUCTURE 18.5' → AREA PR. APARTMENT ► PR. ADA RAMP PR. RETAIL — ENTRANCE (TYP.) T-Q 260 ...(...:M) PŘ. LIMIŠS OF PR APARTMENT PR. LIMITS OF CONCRETE* SIDEWALK (TYP.) PŘ. LIMITS OF CONCRETE & SIDEWALK (TYP.)

Table 1. Sample Operation and Routine Maintenance Schedule

Stormwater		Spring		Summer		Fall			Winter				
BMP	Activity	M	Α	М	J	J	Α	S	0	N	D	J	F
	Inspections	Х	Х	X	Х	X	X	Х	Х	X	Х	X	X
	Pull weeds	8	Х	Х									
Rain Garden	Mow or remove plant litter		×						x				
Detention basin	Inspections	Х	X	Х	Х	Х	X	Χ	Х	Х	X	Х	X
– dry	Mow			X	Х	Х	X	Х					



SITE LEGEND

PROPERTY LINE PROPOSED CONCRETE CURB AND GUTTER



PROPOSED ASPHALT PAVEMENT



PROPOSED CONCRETE PAVEMENT



PROPOSED WATER STRUCTURES



PROPOSED MANHOLE / CATCH BASIN

SITE NOTES

- 1. ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES. LIGHTING SHALL MEET REQUIREMENTS OF THE LOCAL ZONING ORDINANCE. SEE LIGHTING PLAN FOR ADDITIONAL
- 2. GROUND MOUNTED TRANSFORMERS AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED AS REQUIRED IN THE LOCAL ZONING
- 3. ALL SIGNS TO MEET REQUIREMENTS OF CITY CODE OF ORDINANCES AND BE APPROVED BY BUILDING DEPARTMENT
- 4. PARKING SPACES SHALL BE STRIPPED PER LOCAL ZONING ORDINANCE
- 5. RESTORATION OF ANY EXISTING HARD SURFACE AREA, OF ANY TYPE, REQUIRED AS A RESULT OF REMOVAL OF EXISTING SURFACING BY CITY OF DETROIT FORCES OR AGENTS DURING THE COURSE OF MAINTENANCE OF WATER MAIN OR SANITARY SEWER LOCATED UNDER PAVEMENT, IS THE RESPONSIBILITY OF THE OWNER OF THIS SITE AND WILL NOT BE PERFORMED BY, NOR PAID FOR BY CITY OF DETROIT.

S.M. **ENGINEERS**

CIVIL ENGINEER/ SURVEY / LAND PLANNER / LANDSCAPE ARCHITECT

> 4071 KEATS DRIVE, TROY, MI 48085 T: 248.835.3553



THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY



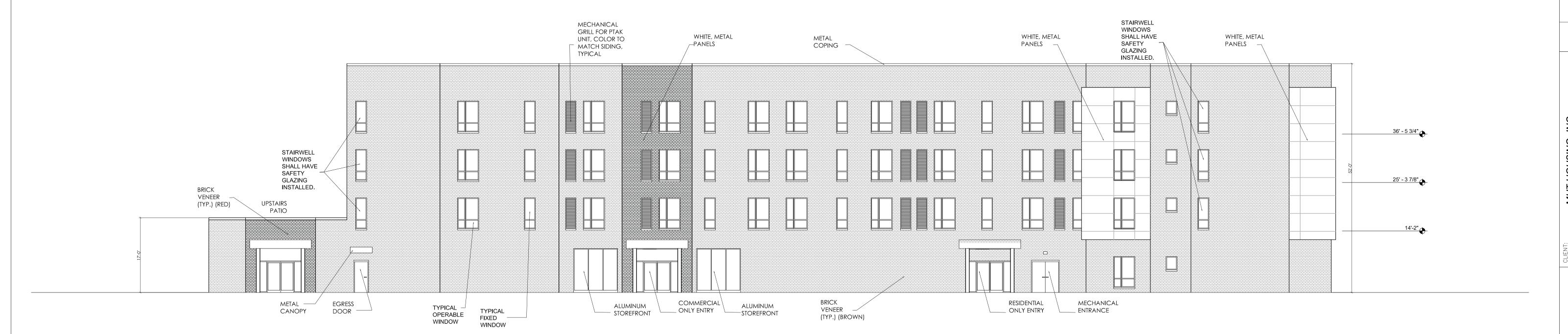
SITE LAYOUT AND PAVING PLAN SCALE: 1"= 30'

EAST ELEVATION - TRADITIONAL MAIN STREET OVERLAY CALCULATIONS

- REQUIREMENTS: MINIMUM OF 60% OF STREET LEVEL FACADE, BETWEEN 2' TO 8' ABOVE THE GRADE, NEED TO BE TRANSPARENT WINDOWS AND DOORS.
- TOTAL FACADE: 1,528 SF
- TOTAL GLASS FACADE: 1,002 SF • 1,002/1,528 = 65.6% = COMPLIES
- UPPER LEVEL FACADE ALONG A TRADITIONAL MAIN STREET SHALL CONSIST OF OPENINGS FOR WINDOWS OR WINDOW WALL SYSTEM.
- AVERAGE UPPER LEVEL FACADE: 2,480 SF

FOR ALL BUILDINGS, MINIMUM OF 40% OF THE

- 1,127/2,480= 45.4% = COMPLIES
- AVERAGE WINDOW AREA: 1,127 SF
- STANDARD 50-14-440 (B) (1) CALCULATIONS
- REQUIREMENTS: MINIMUM OF 80% BUILDING FACADE, EXCLUDING WINDOWS AND DOORS, SHALL BE THE FOLLOWING BUILDING MATERIAL: MASONRY, STONE, OR PORCELAIN.
- •• 85% OF FACADE IS BRICK



WEST ELEVATION SCALE:3/32"=1'-0"



WOODWARD APARTMENTS

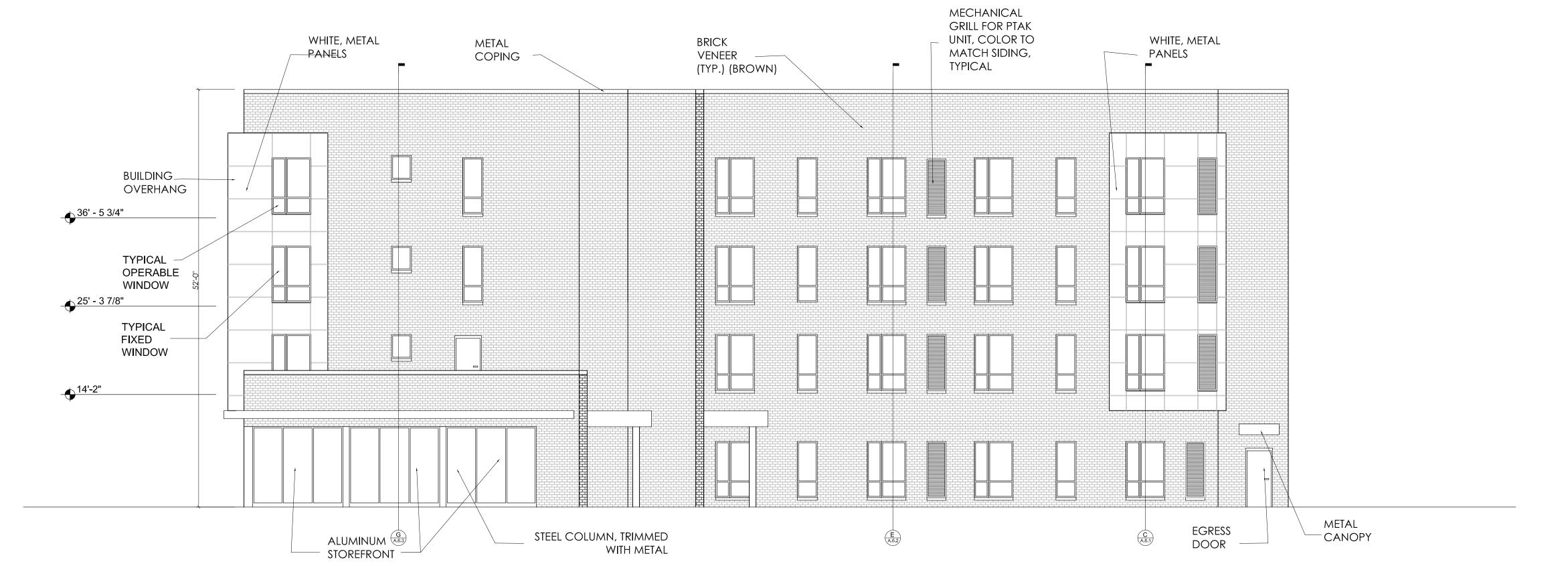
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NORTH ELEVATION - TRADITIONAL MAIN STREET OVERLAY CALCULATIONS

- REQUIREMENTS: MINIMUM OF 40% OF STREET LEVEL FACADE, BETWEEN 4' TO 8' ABOVE THE GRADE, NEED TO BE TRANSPARENT WINDOWS AND DOORS.
- TOTAL FACADE: 523 SF

PORCELAIN.

- TOTAL GLASS FACADE: 228 SF
- 228/523 = 43.6% = COMPLIES STANDARD 50-14-440 (B) (1) CALCULATIONS
- REQUIREMENTS: MINIMUM OF 80%
 BUILDING FACADE, EXCLUDING WINDOWS
 AND DOORS, SHALL BE THE FOLLOWING
 BUILDING MATERIAL: MASONRY, STONE, OR
- •• 87.9% OF FACADE IS MASONRY.



NORTH ELEVATION

SCALE:1/8"=1'-0"

SOUTH ELEVATION - TRADITIONAL MAIN STREET
OVERLAY CALCULATIONS

REQUIREMENTS: MINIMUM OF 40% OF

STREET LEVEL FACADE, BETWEEN 4' TO 8'
ABOVE THE GRADE, NEED TO BE
TRANSPARENT WINDOWS AND DOORS.

- TOTAL FACADE: 524 SF
 TOTAL OLARO FACADE:
- TOTAL GLASS FACADE: 214 SF
 214/524 = 40.8% = COMPLIES
- 214/524 = 40.8% = COMPLIES STANDARD 50-14-440 (B) (1) CALCULATIONS
- REQUIREMENTS: MINIMUM OF 80%
 BUILDING FACADE, EXCLUDING WINDOWS
 AND DOORS, SHALL BE THE FOLLOWING
 BUILDING MATERIAL: MASONRY, STONE, OR
- PORCELAIN.

 •• 81.5% OF FACADE IS MASONRY.





SCALE:1/8"=1'-0"



MHT HOUSING, INC.MODWARD
APARTMENTS#107/25/22M.L.CITY PERMIT SET4: 54,471± SF OR 1.25± ACRESREVISION DATEBYDESCRIPTION

EXTERIOR ELEVATIO NORTH & SOUTH

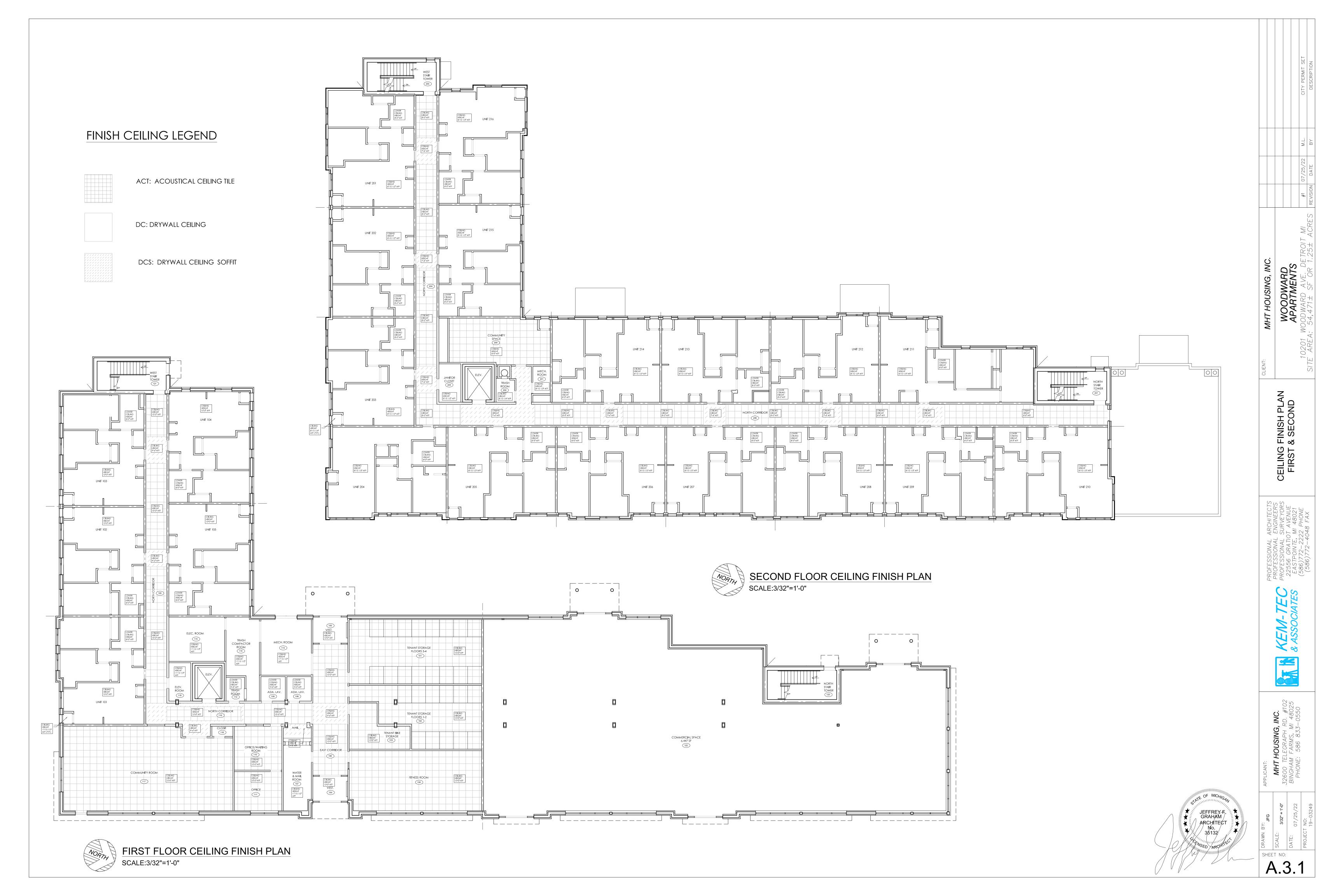
PROFESSIONAL ARCHITEC PROFESSIONAL ENGINEER PROFESSIONAL SURVEYOF 22556 GRATIOT AVENUE EASTPOINTE, MI 48021 (586)772-2222 PHONF

KEM-TE

APPLICANT: *MHT HOUSING, INC.*32600 TELEGRAPH RD. #10
BINGHAM FARMS, MI 48025
PHONF: 586 833-0550

DRAWN BY:
JFG
SCALE:
1/8" = 1'-0"
DATE:
07/25/22
PROJECT NO:

A.2.2





Home / Brick / Face / Concord Blend



CONCORD BLEND

Туре	Face	
Color	Buff	
Texture	Sanded Velour	
Plant	Plant 8	
Manufacturing Method	Extruded	
Coating	Sand	



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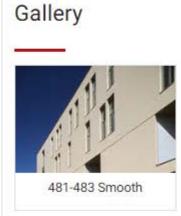
Distributor Login





481-483 SMOOTH

Туре	Face
Color	Cream
Texture	Smooth
Plant	Plant 6
Manufacturing Method	Extruded

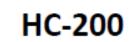


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11901 Riverwood Drive Burnsville, MN 55343

952-895-4000 www.protean.com



Honeycomb Metal Panels (Rainscreen Style)



The HC-200 Series is a rain screen style system best used when dead flat surfaces are desired. Honeycomb core panels are well suited for projects needing large panels with long, smooth expanses. The rain screen style construction creates a crisp aesthetic with no caulk lines.

Materials of Construction

Face: 0.040" Aluminum (Coil Coated) Liner: 0.040" Aluminum (Primer Coat) Core: 1.00" AL Honeycomb

22Ga Galvanized Steel, 20 Ga Stainless Steel Face/liner thicknesses to 0.040"-0.090", Core thickness 1" to 6" Core: Kraft Paper

Coatings and Colors

Standard: 2-coat Kynar 500 Finish Options: Anodized (not recommended), Brushed Stainless, Mica, metallic, 3-coat, non-directional embossed, exotic colors.

Panel Sizes

Options:

Maximum Panel Width: 57" (based upon 1" core) Optimal Widths: 20", 26", 44" and 56" (for lowest cost) Maximum Length: 16' Optimal Length: <16' System Depth: 1.0" (Standard)

Civic Buildings, Educational Buildings, Government Buildings

Warranty: 1 Year Workmanship and 10 year finish

Panels Design Configurations Rectangular or Square Flat Panels

Geometrically Shaped Panels Bent Panels – Corner Panels, Copings Multiple Bends – Fascia Panels Curved or Radius Panels

Joints-Rainscreen Type Principal 1/2" Dry Joint, Vertical & Horizontal Panel Weights (Approximate) 1.264 #/SF (Standard 0. 040 Aluminum)

2.934 #/SF (22Ga Galvanizied)

3.17 #/SF (20 Ga Stainless Steel)

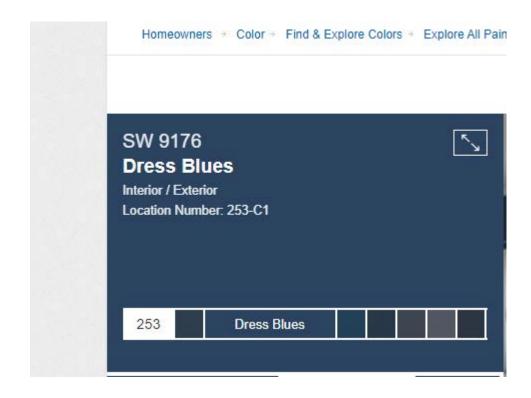
Testing Information Available Air Infiltration: ASTM E-283-91 (99) Structural: ASTM E -330-97 el Water Penetration: ASTM E-331-00 Weathering: ASTMD-2247

Surface Burning Characteristics: ASTM E-84-05



REGAL BLUE







Installation

Utilizing standard installation details, HC-200 series panels are sequentially installed to the structure with mechanical fasteners with an easy tongue and grove alignment. We recommend use of hat girts and self-tapping screws; however, our panels can be fastened to flat strap furring or direct to 5/8" or heavier plywood.