

| | | | | | | | | | |
|---------------|--|-----------|------|------|------|------|------|------|------|
| SHEET INDEX | | | | | | | | | |
| PAGE # | SHEET NAME | REVISIONS | DATE | DATE | DATE | DATE | DATE | DATE | DATE |
| T.1 | TITLE SHEET | | | | | | | | |
| T.2 | BUILDING CODES & NOTES | | | | | | | | |
| T.3 | ENTERPRISE GREEN COMMUNITIES NOTES | | | | | | | | |
| CIVIL | | | | | | | | | |
| C.1.0 | COVER SHEET | | | | | | | | |
| C.1.1 | ALTA/TOPOGRAPHIC SURVEY | | | | | | | | |
| C.2.0 | DEMOLITION PLAN | | | | | | | | |
| C.3.0 | SITE LAYOUT & PAVING PLAN | | | | | | | | |
| C.4.0 | GRADING PLAN | | | | | | | | |
| C.5.0 | UTILITY PLAN | | | | | | | | |
| C.6.0 | PROFILE PLAN | | | | | | | | |
| C.7.0 | SOIL EROSION & SEDIMENTATION CONTROL PLAN | | | | | | | | |
| C.8.0 | DETAILS SHEET | | | | | | | | |
| C.8.1 | DETAILS SHEET | | | | | | | | |
| C.9.0 | DETENTION DETAILS SHEET | | | | | | | | |
| C.9.1 | DETENTION DETAILS SHEET | | | | | | | | |
| ARCHITECTURAL | | | | | | | | | |
| ASP.1 | ARCHITECTURAL SITE PLAN & SITE DETAILS | | | | | | | | |
| LP.1 | LANDSCAPE PLAN | | | | | | | | |
| A.1.1 | FIRST FLOOR PLAN | | | | | | | | |
| A.1.2 | SECOND FLOOR PLAN | | | | | | | | |
| A.1.3 | THIRD FLOOR PLAN | | | | | | | | |
| A.1.4 | FOURTH FLOOR PLAN | | | | | | | | |
| A.1.5 | ROOF PLAN | | | | | | | | |
| A.1.6 | LIFE SAFETY PLANS | | | | | | | | |
| A.1.7 | LIFE SAFETY PLANS | | | | | | | | |
| A.1.8 | LIFE SAFETY BUILDING SECTIONS | | | | | | | | |
| A.2.1 | EXTERIOR ELEVATIONS: EAST & WEST | | | | | | | | |
| A.2.2 | EXTERIOR ELEVATIONS: NORTH & SOUTH | | | | | | | | |
| A.3.1 | CEILING FINISH PLAN: FIRST & SECOND | | | | | | | | |
| A.3.2 | CEILING FINISH PLAN: THIRD & FOURTH | | | | | | | | |
| A.3.3 | FINISH FLOOR SCHEDULE: FLOORS 1 & 2 | | | | | | | | |
| A.3.4 | FINISH FLOOR SCHEDULE: FLOORS 3 & 4 | | | | | | | | |
| A.4.1 | ROOM FINISH SCHEDULES & NOTES | | | | | | | | |
| A.5.1 | BUILDING SECTIONS | | | | | | | | |
| A.5.2 | BUILDING SECTIONS | | | | | | | | |
| A.6.1 | WALL SECTIONS & DETAILS | | | | | | | | |
| A.6.2 | WALL SECTIONS & DETAILS | | | | | | | | |
| A.6.3 | WALL SECTIONS & DETAILS | | | | | | | | |
| A.6.4 | WALL SECTIONS & DETAILS | | | | | | | | |
| A.6.5 | WALL SECTIONS & DETAILS | | | | | | | | |
| A.6.6 | WALL SECTIONS & DETAILS | | | | | | | | |
| A.6.7 | WALL SECTIONS & DETAILS | | | | | | | | |
| A.6.8 | CONSTRUCTION TYPE DETAILS | | | | | | | | |
| A.6.9 | SECTIONS, DETAILS AND TRASH CHUTE DETAILS | | | | | | | | |
| A.7.1 | STAIR PLAN, DETAILS & SECTIONS | | | | | | | | |
| A.7.2 | STAIR PLAN, DETAILS & SECTIONS | | | | | | | | |
| A.8.1 | ENLARGED PLANS: TYPICAL APARTMENT UNITS | | | | | | | | |
| A.8.2 | ENLARGED PLANS: TYPICAL APARTMENT UNITS | | | | | | | | |
| A.8.3 | ENLARGED PLANS: TYPICAL APARTMENT UNITS | | | | | | | | |
| A.8.4 | ENLARGED PLANS: TYPICAL APARTMENT UNITS | | | | | | | | |
| A.8.5 | ENLARGED FIRST FLOOR | | | | | | | | |
| A.8.6 | ENLARGED FLOORS 2-4 COMMUNITY & SERVICE ROOMS | | | | | | | | |
| A.9.1 | INTERIOR ELEVATIONS | | | | | | | | |
| A.10.1 | DOOR AND WINDOW SCHEDULES AND DETAILS | | | | | | | | |
| A.11.1 | ENTERPRISE GREEN COMMUNITIES DETAILS | | | | | | | | |
| STRUCTURAL | | | | | | | | | |
| SG-01 | GENERAL NOTES | | | | | | | | |
| SG-02 | SPECIAL INSPECTIONS & TESTING | | | | | | | | |
| SG-03 | SPECIAL INSPECTIONS & TESTING | | | | | | | | |
| SG-04 | SPECIFICATIONS | | | | | | | | |
| SG-05 | SPECIFICATIONS | | | | | | | | |
| SP-01A | FOUNDATION PLAN | | | | | | | | |
| SP-01 | MASONRY WALL PLAN | | | | | | | | |
| SP-02 | SECOND FLOOR FRAMING PLAN | | | | | | | | |
| SP-03 | THIRD FLOOR FRAMING PLAN | | | | | | | | |
| SP-04 | FOURTH FLOOR FRAMING PLAN | | | | | | | | |
| SP-05 | ROOF STRUCTURAL FRAMING PLAN | | | | | | | | |
| SW-01 | SHEAR WALL DETAILS | | | | | | | | |
| SW-02 | SHEAR WALL DETAILS | | | | | | | | |
| SW-04 | ROOF DIAPHRAGM DETAILS | | | | | | | | |
| S5-01 | TYPICAL DETAILS | | | | | | | | |
| S5-02 | TYPICAL DETAILS | | | | | | | | |
| S5-03 | TYPICAL DETAILS | | | | | | | | |
| S5-11 | SECTIONS & DETAILS | | | | | | | | |
| S5-21 | SECTIONS & DETAILS | | | | | | | | |
| S5-31 | SECTIONS & DETAILS | | | | | | | | |
| S5-41 | SECTIONS & DETAILS | | | | | | | | |
| MECHANICAL | | | | | | | | | |
| M.000 | MECHANICAL LEGEND, SYMBOLS AND SHEET INDEX | | | | | | | | |
| M.100 | OVERALL SANITARY & VENT PLUMBING PLAN - FIRST FLOOR | | | | | | | | |
| M.101 | OVERALL SANITARY & VENT PLUMBING PLAN - SECOND FLOOR | | | | | | | | |
| M.102 | OVERALL DOMESTIC WATER PLAN - FIRST FLOOR | | | | | | | | |
| M.103 | OVERALL DOMESTIC WATER PLAN - SECOND FLOOR | | | | | | | | |
| M.104 | OVERALL GAS PIPING PLAN - FIRST FLOOR | | | | | | | | |
| M.105 | OVERALL GAS PIPING PLAN - SECOND FLOOR | | | | | | | | |
| M.106 | OVERALL PLUMBING & GAS PIPING PLAN - THIRD FLOOR | | | | | | | | |
| M.107 | OVERALL PLUMBING & GAS PIPING PLAN - FOURTH FLOOR | | | | | | | | |
| M.108 | ENLARGED SANITARY & VENT PLUMBING PLANS | | | | | | | | |
| M.109 | ENLARGED DOMESTIC WATER PIPING PLANS | | | | | | | | |
| M.110 | PLUMBING RISERS | | | | | | | | |
| M.200 | OVERALL HVAC PLAN - FIRST FLOOR | | | | | | | | |
| M.201 | OVERALL HVAC PLAN - SECOND FLOOR | | | | | | | | |
| M.202 | OVERALL HVAC PLAN - THIRD FLOOR | | | | | | | | |
| M.203 | OVERALL HVAC PLAN - FOURTH FLOOR | | | | | | | | |
| M.204 | ENLARGED HVAC FLOOR PLAN | | | | | | | | |
| M.300 | MECHANICAL ROOF PLAN | | | | | | | | |
| M.400 | MECHANICAL SCHEDULES | | | | | | | | |
| M.401 | MECHANICAL DETAILS | | | | | | | | |
| M.500 | MECHANICAL SPECIFICATIONS. | | | | | | | | |
| ELECTRICAL | | | | | | | | | |
| E.000 | ELECTRICAL LEGENDS, SYMBOLS & SHEET INDEX | | | | | | | | |
| E.100 | ELECTRICAL SITE PLAN | | | | | | | | |
| E.200 | OVERALL ELECTRICAL PLAN - FIRST FLOOR | | | | | | | | |
| E.201 | OVERALL ELECTRICAL PLAN - SECOND FLOOR | | | | | | | | |
| E.202 | OVERALL ELECTRICAL PLAN - THIRD FLOOR | | | | | | | | |
| E.203 | OVERALL ELECTRICAL PLAN - FOURTH FLOOR | | | | | | | | |
| E.204 | ELECTRICAL ROOF PLAN | | | | | | | | |
| E.205 | ENLARGED ELECTRICAL PLANS | | | | | | | | |
| E.206 | ENLARGED ELECTRICAL PLANS | | | | | | | | |
| E.300 | LIGHTING FIXTURE SCHEDULES | | | | | | | | |
| E.400 | RISER DIAGRAM/PANEL SCHEDULES/FEEDER LOAD CALC. | | | | | | | | |
| E.401 | PANEL SCHEDULES | | | | | | | | |
| E.402 | PANEL SCHEDULES/FEEDER SIZES & FEEDER SCHEDULES | | | | | | | | |
| E.500 | ELECTRICAL SPECIFICATIONS | | | | | | | | |
| E.501 | ELECTRICAL SPECIFICATIONS | | | | | | | | |
| E.502 | ELECTRICAL SPECIFICATIONS | | | | | | | | |

WOODWARD APARTMENTS

MSHDA # 3990 (4%) & 3996 (9%)

MHT HOUSING, INC. & MOONEY REAL ESTATE (AOD)

10201 WOODWARD AVENUE, DETROIT MI, 48202



PROJECT SUMMARY

SITE AREA

54,471± SF OR 1.25 ACRES

BUILDING

FLOORS: 4

HEIGHT: 52'-0"

UNITS: 53 (2) BEDROOM UNITS

FIRST FLOOR (GROSS & NET): 17,466 SF / 16,438 SF

SECOND FLOOR (GROSS & NET): 16,295 SF / 15,579 SF

THIRD FLOOR (GROSS & NET): 16,295 SF / 15,579 SF

FOURTH FLOOR (GROSS & NET): 16,295 SF / 15,579 SF

TOTAL BUILDING SIZE (GROSS & NET): 66,351 SF / 63,175 SF

RETAIL AREA (GROSS & NET): 6,524 SF / 6,075 SF

OFFICE AREA (GROSS & NET): 361 SF / 328 SF

UNITS AREA (GROSS & NET): 43,312 SF / 40,602 SF

COMMUNITY AREAS (GROSS & NET): 2,832 SF / 2,576 SF

PARKING

UNITS: 0.75 per dwelling unit (Bus stop within 0.5 miles of site)

Retail: (1 per 200 SF gross floor area) x 0.75 (Bus stop within 0.5 miles of site.)

Required:

Apartments: 0.75 X 53 = 40 Spaces

Retail: (5,793 SF (FLOOR AREA) /200)x0.75 = 22 Spaces

TOTAL: 62 SPACES

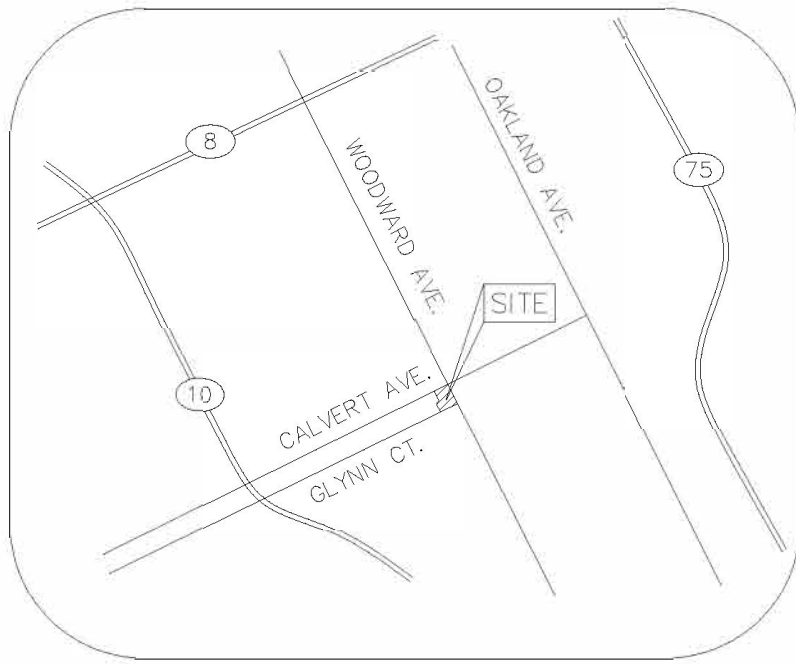
PROVIDED:

ON SITE 67 Spaces

21,766 SF OF PARKING ON SITE

| UNIT SUMMARY | | | | | | | | |
|--------------|------------------|---------------|------------------------------|-----------|-----------|-----------|-----------|-------------|
| UNIT TYPE | UNIT ADDRESS(ES) | DESCRIPTION | UNIT AREA (GROSS / NET) (SF) | 1ST FLOOR | 2ND FLOOR | 3RD FLOOR | 4TH FLOOR | TOTAL UNITS |
| TYPE A | 101 | TYPE A: 2 | 783 / 717 | 1 | | | | |
| TYPE A -1 | 403 | BED, 1 BATH | 783 / 732 | 0 | 0 | 0 | 0 | 2 |
| TYPE B | 102 | TYPE A: 2 | 768 / 705 | 1 | | | | |
| TYPE B -1 | 402 | BED, 1 BATH | 768 / 712 | 0 | 0 | 0 | 1 | 2 |
| TYPE C | 103 | TYPE A: 2 | 804 / 723 | 1 | | | | |
| TYPE C -1 | 401 | BED, 1 BATH | 804 / 774 | 0 | 0 | 0 | 1 | 2 |
| TYPE D | 104 | 2 BED, 1 BATH | 815 / 725 | 1 | 0 | 0 | 0 | 1 |
| TYPE E | 105 | 2 BED, 1 BATH | 792 / 726 | 1 | 0 | 1 | 1 | 1 |
| TYPE F | 201*, 301* | 2 BED, 1 BATH | 838 / 774 | 0 | 1 | 1 | 0 | 2 |
| TYPE G | 202, 302 | 2 BED, 1 BATH | 768 / 715 | 0 | 1 | 1 | 0 | 2 |
| TYPE H | 203, 303 | 2 BED, 1 BATH | 784 / 731 | 0 | 1 | 1 | 0 | 2 |
| TYPE I | 204, 304, 404 | 2 BED, 1 BATH | 897 / 824 | 0 | 1 | 1 | 1 | 3 |
| TYPE J | 205, 305, 405 | 2 BED, 1 BATH | 823 / 773 | 0 | 1 | 1 | 1 | 3 |
| TYPE K | 206, 306, 406 | 2 BED, 1 BATH | 822 / 765 | 0 | 1 | 1 | 1 | 3 |
| TYPE L | 207, 307, 407 | 2 BED, 1 BATH | 811 / 755 | 0 | 1 | 1 | 1 | 3 |
| TYPE M | 208, 308, 408 | 2 BED, 1 BATH | 817 / 761 | 0 | 1 | 1 | 1 | 3 |
| TYPE N | 209, 309, 409 | 2 BED, 1 BATH | 801 / 746 | 0 | 1 | 1 | 1 | 3 |
| TYPE O | 210, 310, 410 | 2 BED, 1 BATH | 887 / 820 | 0 | 1 | 1 | 1 | 3 |
| TYPE P | 211, 311, 411 | 2 BED, 1 BATH | 892 / 805 | 0 | 1 | 1 | 1 | 3 |
| TYPE Q | 212, 312, 412 | 2 BED, 1 BATH | 791 / 735 | 0 | 1 | 1 | 1 | 3 |
| TYPE R | 213, 313, 413 | 2 BED, 1 BATH | 762 / 707 | 0 | 1 | 1 | 1 | 3 |
| TYPE S | 214, 314, 414 | 2 BED, 1 BATH | 779 / 724 | 0 | 1 | 1 | 1 | 3 |
| TYPE T | 215, 315, 415 | 2 BED, 1 BATH | 792 / 736 | 0 | 1 | 1 | 1 | 3 |
| TYPE U | 216, 316, 416 | 2 BED, 1 BATH | 844 / 774 | 0 | 1 | 1 | 1 | 3 |
| TOTAL UNITS | | | | 5 | 16 | 16 | 16 | 53 |

* = UNITS 201 & 301 WILL BE EQUIPPED FOR HEARING AND VISUALLY IMPAIRED RESIDENTS. SEE ENLARGED FLOOR PLANS FOR MORE DETAIL



VICINITY MAP

(NOT TO SCALE)

OWNER

MHT HOUSING, INC.

T.VAN FOX - PRESIDENT

32600 TELEGRAPH ROAD

BINGHAM FARMS, MI 48025

PHONE: 248 833-0550

CONTACT: T. VAN FOX

(FAX): 248 833-0551

ARCHITECT

KEM-TEC & ASSOCIATES

JEFFREY F. GRAHAM - LEED AP, R.A.

22556 GRATIOT AVENUE

EASTPONTE, MI 48021

PHONE: 586 772-2222

CONTACT: JEFF GRAHAM

FAX: 586 772-4048

CIVIL ENGINEER

KEM-TEC & ASSOCIATES

JOSEPH ROCCO DATILO

22556 GRATIOT AVENUE

EASTPONTE, MI 48021

PHONE: 248 835-3553

CONTACT: PAUL MODI

FAX: 586 772-4048

SURVEYOR

KEM-TEC & ASSOCIATES

ANTHONY SYCKO, PS

22556 GRATIOT AVENUE

EASTPONTE, MI 48021

PHONE: 586 772-2222

CONTACT: ANTHONY SYCKO

FAX: 586 772-4048

MEP ENGINEER

MEP ENGINEERS LLC

JOSEPH A. MALKOUN, PE

380 NORTH MAIN STREET

CLAWSON, MI 48017

PHONE: 248 488-9822

CONTACT: JOSEPH A. MALKOUN

FAX: 248 488-9811

STRUCTURAL ENGINEER

EFI GLOBAL OF MICHIGAN, LLC

LARRY LESNIAK, P.E.

33955 HARPER AVENUE

CLINTON TOWNSHIP, MI 48035

PHONE: 586 868-0220

CONTACT: LARRY LESNIAK

FAX: 586 868 0221

ENERGY ENGINEER

ENERGY DIAGNOSTICS

405 E. ARCHER WAY

VALPARAISO, INC 46383

PHONE: 219 301-8932

CONTACT: NETTIE GREULICH

GENERAL CONTRACTOR

MHT CONSTRUCTION, LLC

DON DAY

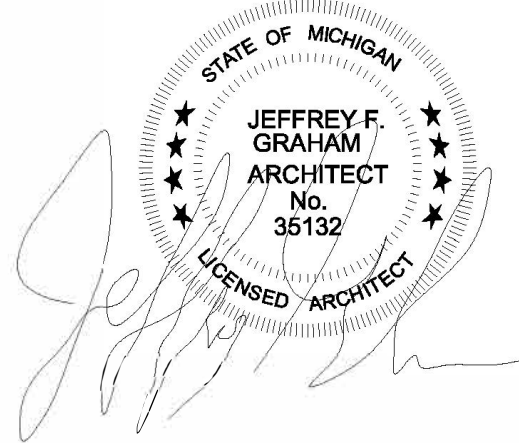
32600 TELEGRAPH ROAD

BINGHAM FARMS, MI 48025

PHONE: 248 833-0553

CONTACT: DON DAY

FAX: 248 833-0551



| | | | | | | | | | | | | |
|------------------------|--|--|--|--|--|--------------------|--|----------|--|-------------|-------------------|--|
| DRAWN BY: MLL | | APPLICANT: | |  KEM-TEC & ASSOCIATES | PROFESSIONAL ARCHITECTS PROFESSIONAL ENGINEERS PROFESSIONAL SURVEYORS 22556 GRATIOT AVENUE DETROIT, MI 48202 (586) 772-2222 PHONE (586) 772-4048 FAX | TITLE SHEET | | CLIENT: | MHT HOUSING, INC. | | MHT HOUSING, INC. | |
| SCALE: NO SCALE | | 32600 TELEGRAPH RD. #102 BINGHAM FARMS, MI 48025 PHONE: 586 833-0550 | | | | | | | WOODWARD APARTMENTS | | | |
| DATE: 07/25/22 | | PROJECT NO: 19-03249 | | | | | | | 10201 WOODWARD AVE. DETROIT MI SITE AREA: 54,471± SF OR 1.25± ACRES | | | |
| PROJECT NO: 19-03249 | | DATE: 07/25/22 | | QTY PERMIT SET | | BY | | REVISION | | DESCRIPTION | | |

LANDSCAPING NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL MATERIALS AND PLANTS SHOWN ON THE PLAN WHETHER OR NOT INCLUDED IN THE "PLANT LIST".
- ALL NURSERY STOCK TO BE WELL BRANCHED, HEALTHY, FULL, VIGOROUS, PRE INOCULATED, AND FERTILIZED. DECIDUOUS TREES TO BE FREE OF FRESH SCARS AND BRANCHES TO BE A HEIGHT OF 5' ABOVE ROOTBALL. TRUNKS SHALL BE WRAPPED, IF NECESSARY, TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPER SHALL REMOVE SAID WRAP AT THE PROPER TIME AS PART OF HIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED.
- TOPSOIL, 4" THICK, SHALL BE PROVIDED AND GRADED BY THE LANDSCAPE CONTRACTOR AND SUBJECT TO APPROVAL BY THE OWNER.
- ALTERNATIVES MAY ONLY BE USED IN THE EVENT OF UNAVAILABILITY OF THE SELECTED SPECIES WITHIN A REASONABLE DISTANCE OR DUE TO SEASON. PROOF MAY BE REQUESTED BY THE ARCHITECT.
- EVERGREEN TREES SHALL NOT BE PLANTED DURING JUNE, JULY, OR AUGUST.
- MULCH SHALL NOT CONTAIN ANY FARM WASTE AND SHALL BE INDICATED ON PLAN FOR EACH AREA.
- A CHEMICAL WEED PREVENTATIVE BARRIER SHALL BE APPLIED IN ALL NON-GRASS AREAS WHICH DO NOT HAVE POLYETHYLENE FILM MULCH INDICATED.
- REMOVE ALL TWINE, WIRE, AND BURLAP FROM SHRUB AND TREE EARTH BALLS AND FROM TREE TRUNKS.
- LAWN TREES TO BE MULCHED WITH A 2' WIDE BY MINIMUM 6" DEEP SHREDDED BARK RING.
- SHRUB BEDS TO BE MULCHED WITH 3" OF SHREDDED WOOD BARK.
- ALL SOD AND SEED TO BE KENTUCKY BLUE BLEND.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXITING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE MAXIMUM SLOP ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.
- EXAMINATION OF SITE
- THE CONTRACTOR SHALL VISIT THE JOB SITE BEFORE HE SUBMITS HIS BID TO TO BECOME FAMILIAR WITH THE ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCE BETWEEN THE WORK AND THAT OF OTHER TRADES AND/OR ANY APPARENT VIOLATIONS OF LOCAL OR STATE CODES, LAWS, ORDINANCES, AND REGULATIONS. IF ANY INTERFERENCE OR VIOLATIONS APPEAR AND DEPARTURE FROM THE DESIGN INTENT OF THE CONTRACT DOCUMENT S IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE ENTERING INTO THE CONTRACT WITH THE OWNER. FAILURE TO PROVIDE THE ARCHITECT WITH THE AFOREMENTIONED NOTIFICATION WILL RESULT IN THE CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK TO MEET THE INTENT OF THE CONTRACT DRAWINGS WITH NO ADDITIONAL EXPENSE ("EXTRAS") BEING INCURRED BY THE OWNER.

CLEANING

- PREMISES SHALL BE CLEANED UPON COMPLETION OF THE WORK.
- UPON COMPLETION OF THE WORK, THOROUGHLY CLEAN ALL SYSTEMS AND TEST TO INSURE THAT THE SYSTEMS PERFORM TO THEIR REQUIREMENTS.

MAINTENANCE

- THE PROPERTY OWNER WILL TAKE CARE OF THE LANDSCAPING. A LANDSCAPING MAINTENANCE PLAN WILL BE DEVELOPED AS PER ENTERPRISE GREEN COMMUNITIES' REQUIREMENTS PER THE BUILDING AND OPERATIONS MANUAL AND WILL BE PROVIDED AT A LATER DATE.

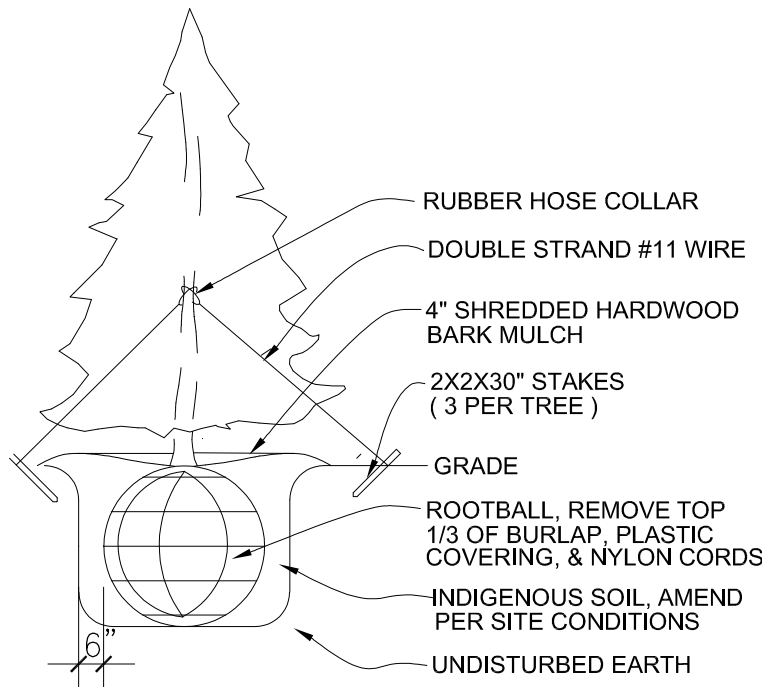
IRRIGATION NOTE:

- IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF THE IRRIGATION SYSTEM WITH SEPARATING PLANTING BEDS FROM LAWN AREA, PRIOR TO THE START OF CONSTRUCTION.
- IRRIGATIONS DESIGN WILL NEED TO BE APPROVED BY THE PROJECT ARCHITECT.
- IRRIGATION CONTRACTOR WILL NEED TO VERIFY THE MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE. (MEASURED IN PSI)
- BOOSTER PUMPS (OR SIMILAR DEVICES) SHALL BE PROVIDED TO MEET THE SYSTEM PRESSURE REQUIREMENTS.
- IRRIGATION CONTRACTOR IS REQUIRED TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS AND SLEEVES WITHIN HARDSCAPE AREAS ON THEIR DESIGN.
- CONTRACTOR WILL FOLLOW 2015 ENTERPRISE GREEN COMMUNITIES REQUIREMENTS:
 - A DRIP IRRIGATION SYSTEM FOR LANDSCAPE PLANTING BEDS
 - SEPARATELY ZONED TURF AND BEDDING AREAS, BASED ON WATERING NEEDS OF TURF/PLANTINGS
 - A TIMER/CONTROLLER THAT ACTIVATES THE VALVES FOR EACH WATERING ZONE AT THE BEST TIME OF DAY TO MINIMIZE EVAPORATIVE LOSSES WHILE MAINTAINING HEALTHY PLANS AND OBEYING LOCAL REGULATIONS AND WATER-USE GUIDANCE.
 - A MOISTURE SENSOR CONTROLLER OR RAIN DELAY CONTROLLER.
 - WATERING TUBES FOR TREES ARE ALLOWED FOR A PERIOD OF TWO YEARS.

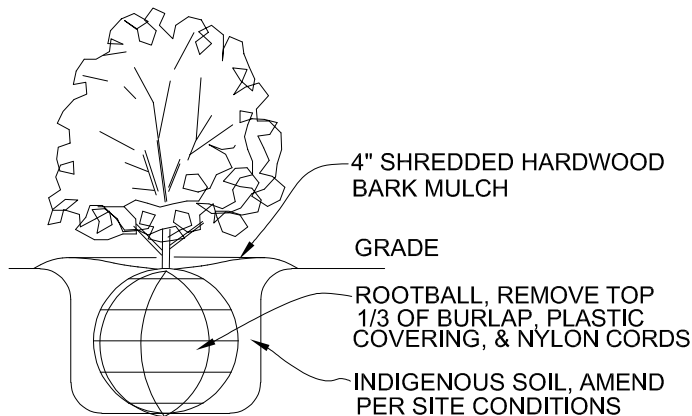
| LANDSCAPING & BUFFER REQUIREMENTS | | | |
|-----------------------------------|--|---|--|
| CODE | REQUIRED | PROPOSED | |
| 61-14-205 | PLANT SIZE: SHRUBS: MINIMUM SIZE EQUAL TO OR GREATER THAN A NUMBER 3 CONTAINER AND HAVE A MINIMUM HEIGHT OF 18" AT TIME OF PLANTING. DECIDUOUS TREES: MINIMUM DIAMETER OF 2" MEASURED AT 12" ABOVE ROOT BALL. CLEAR STEM OF AT LEAST 5" EVERGREEN TREES: MINIMUM HEIGHT: 5' | COMPLIES | |
| 61-14-206 | GROUND TREATMENT: ALL UNPAVED AREAS ARE TO BE TREATED WITH GROUNDCOVER, MULCHED AREAS, SOD OR SEED LAWNS, OR PAVERS. | COMPLIES | |
| 61-14-221 | RIGHT OF WAY SCREENING: 5' WISE LANDSCAPING BUFFER BETWEEN PARKING AREA AND THE STREET (A FENCE CAN BE USED WHERE 5' IS NOT PRACTICAL) 1 TREE PER 30 LINEAR FEET OF LANDSCAPE BUFFER AND SHRUBS HEDGE OF AT LEAST 30" BUT NOT MORE THAN 36" | COMPLIES | |
| 61-14-222.(1).(A) | RESIDENTIAL SCREENING: OPAQUE WALL REQUIRED TO SCREEN RESIDENTIALLY ZONED LOTS FROM PARKING OR DRIVE AISLES OF COMMERCIALLY ZONED LOTS. | COMPLIES | |
| 61-14-222.(1).(B) | RESIDENTIAL SETBACK: 10 FEET | COMPLIES | |
| 61-14-223 | INTERIOR LANDSCAPING MINIMUM LANDSCAPED AREA: 18 SF PER PARKING SPACE 64 PARKING SPACES x 18 SF = 1,152 SF MINIMUM LANDSCAPED AREA: 150 SF MINIMUM DIMENSION: 7 FEET MUST INCLUDE 1 SHADE TREE 1 TREE PER 250 SF REQUIRED LANDSCAPED AREA 1152/250 = 5 REQUIRED TREES | COMPLIES 1,470 SF INTERIOR LANDSCAPING 5 SHADE TREES PROVIDED | |
| 61-14-234 | SCREENING OF TRASH RECEPTACLES AND WASTE REMOVAL AREAS REQUIRED | COMPLIES | |

| LANDSCAPE SCHEDULE | | | | |
|--------------------|-----------------------------|---------------------|--------------------------|-----------|
| SYM. | QUANTITY | COMMON NAME | BOTANICAL NAME | SIZE |
| "A" | 15 | HACKBERRY | CELTIS OCCIDENTALIS | 2.5" CAL. |
| "B" | 8 | GINKGO | GINKGO BILOBA | 2.5" CAL. |
| "C" | 15 | WILD RED COLUMBINE | AQUILEGIA CANADENSIS | 2'-0" |
| "D" | 47 | CANADA ANEMONE | ANEMONE CANADENSIS | 2'-0" |
| "E" | 56 | AMERICAN ARBORVITAE | THUJA OCCIDENTALIS | 6'-0" |
| "F" | 16 | DAYLILY | HEMERCALLIS STELLA D'ORO | 0'-6" |
| "G" | 16 | VISIONS | ASTILBE | 0'-8" |
| "H" | TBD BY LANDSCAPE CONTRACTOR | WILD GINGER | ASARUM CANADENSE | 0'-6" |

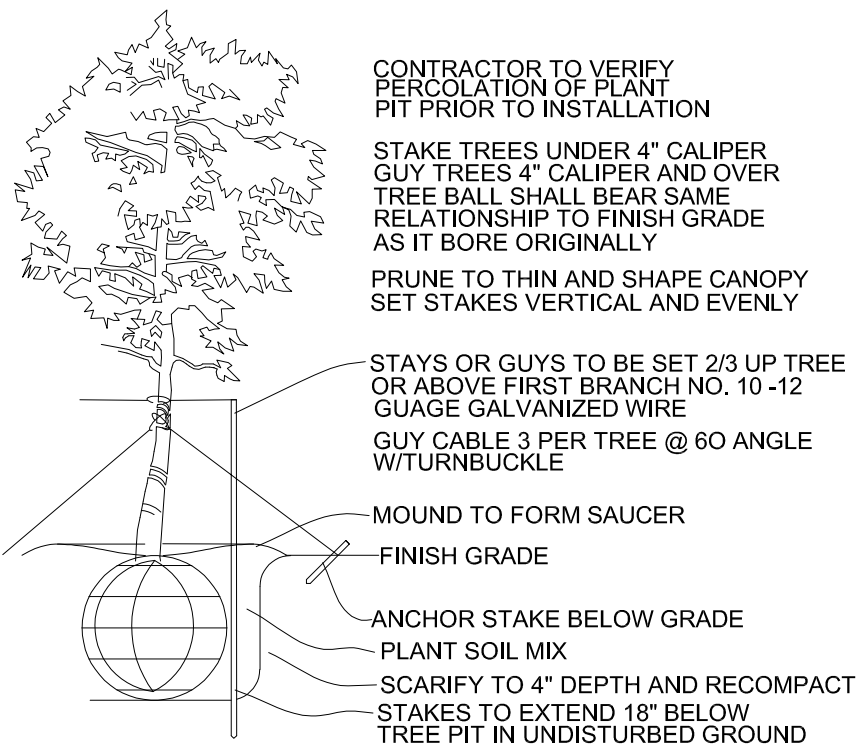
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITH THE PLANT LIST, THE PLAN SHALL DICTATE.



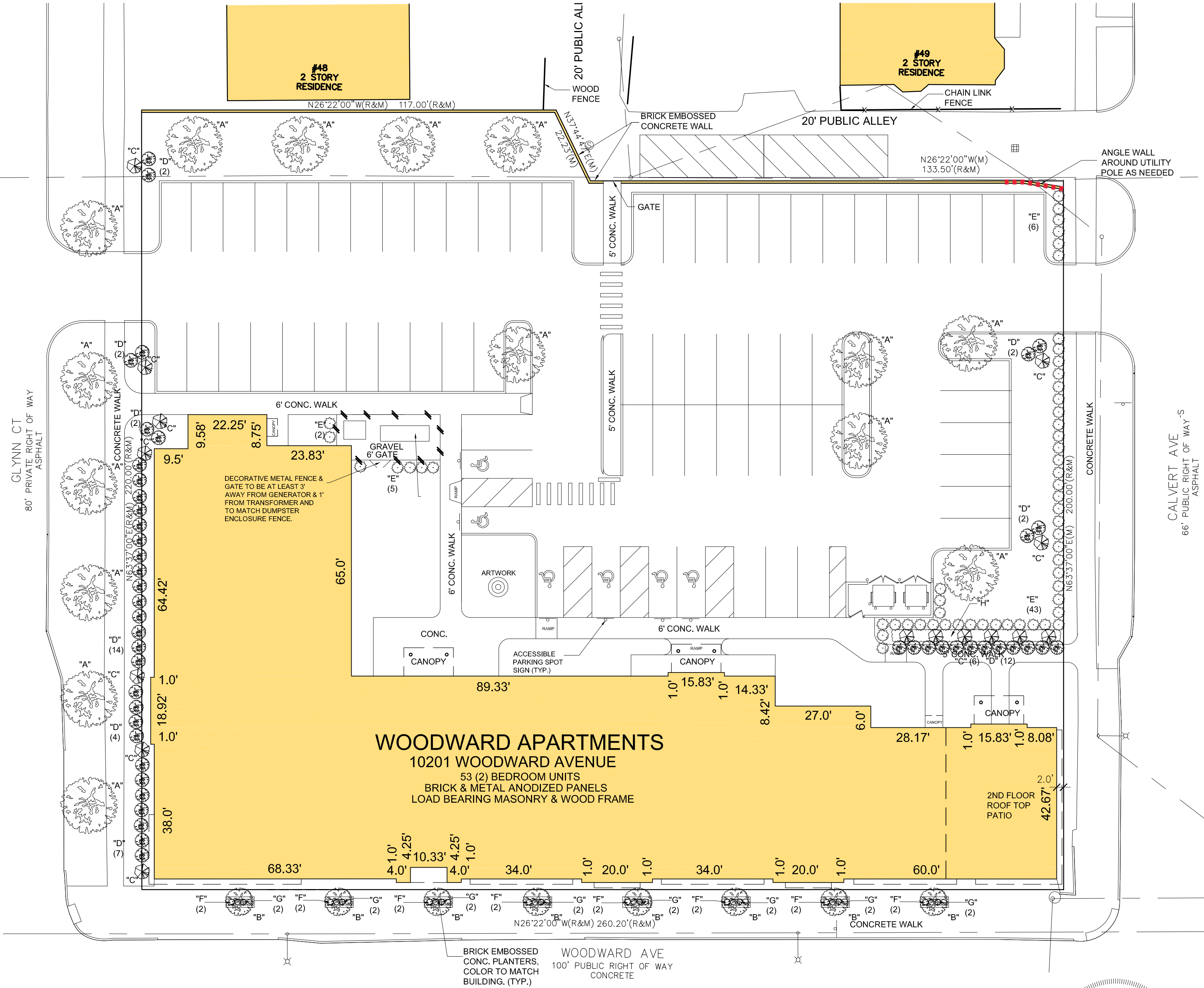
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



LANDSCAPE PLAN
SCALE: 1"=20'

CLIENT:

MHT HOUSING, INC.

PROFESSIONAL ARCHITECTS

PROFESSIONAL ENGINEERS

PROFESSIONAL SURVEYORS

22555 GRATIOT AVENUE

CLINTON TOWNSHIP MI 48025

(586)772-2222 PHONE

(586)772-4048 FAX

APPLICANT:

MHT HOUSING, INC.

32600 TELEGRAPH RD. #102

BINGHAM FARMS, MI 48025

PHONE: 586 833-0550

DRAWN BY:

M.L.

SCALE:

SEE DRAWING

DATE:

07/25/22

PROJECT NO.

19-03249

SHEET NO:

L.P.1

REVISION

DATE

BY

M.L.

07/25/22

#1

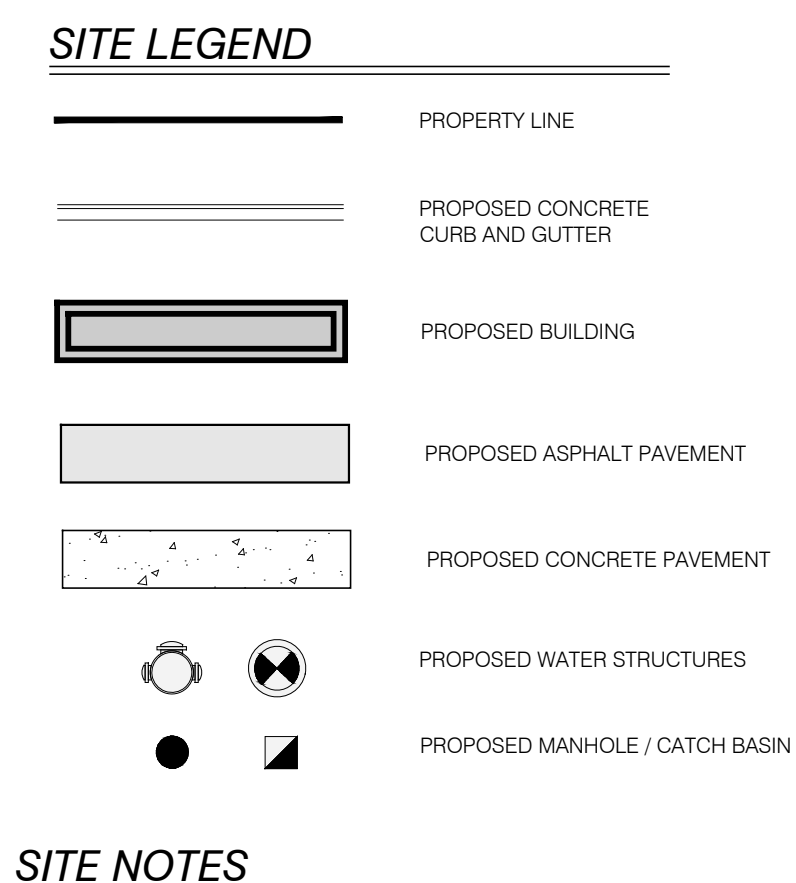
CITY PERMIT SET

DESCRIPTION

WOODWARD APARTMENTS

10201 WOODWARD AVE, DETROIT MI 48202

SITE AREA: 54,471± SF OR 1.25± ACRES



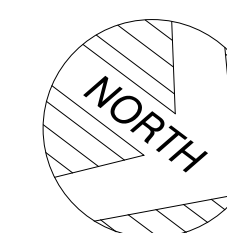
- ## **SITE NOTES**
1. ALL LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES. LIGHTING SHALL MEET REQUIREMENTS OF THE LOCAL ZONING ORDINANCE. SEE LIGHTING PLAN FOR ADDITIONAL INFORMATION.
 2. GROUND MOUNTED TRANSFORMERS AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED AS REQUIRED IN THE LOCAL ZONING ORDINANCE.
 3. ALL SIGNS TO MEET REQUIREMENTS OF CITY CODE OF ORDINANCES AND BE APPROVED BY BUILDING DEPARTMENT
 4. PARKING SPACES SHALL BE STRIPPED PER LOCAL ZONING ORDINANCE
 5. RESTORATION OF ANY EXISTING HARD SURFACE AREA, OF ANY TYPE, REQUIRED AS A RESULT OF REMOVAL OF EXISTING SURFACING BY CITY OF DETROIT FORCES OR AGENTS DURING THE COURSE OF MAINTENANCE OF WATER MAIN OR SANITARY SEWER LOCATED UNDER PAVEMENT, IS THE RESPONSIBILITY OF THE OWNER OF THIS SITE AND WILL NOT BE PERFORMED BY, NOR PAID FOR BY CITY OF DETROIT.

S.M.
ENGINEERS
CIVIL ENGINEER/ SURVEYOR
LAND PLANNER /
LANDSCAPE ARCHITECT

4071 KEATS DRIVE,
TROY, MI 48085
T: 248.835.3553

Table 1. Sample Operation and Routine Maintenance Schedule

| Stormwater BMP | Activity | Spring | | | Summer | | | Fall | | | Winter | | |
|-----------------------|----------------------------|--------|---|---|--------|---|---|------|---|---|--------|---|---|
| | | M | A | M | J | J | A | S | O | N | D | J | F |
| Rain Garden | Inspections | X | X | X | X | X | X | X | X | X | X | X | X |
| | Pull weeds | | X | X | | | | | | | | | |
| | Mow or remove plant litter | | X | | | | | | X | | | | |
| Detention basin – dry | Inspections | X | X | X | X | X | X | X | X | X | X | X | X |
| | Mow | | | X | X | X | X | X | | | | | |



SITE LAYOUT AND PAVING PLAN

SCALE: 1" = 30'

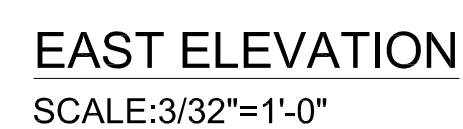
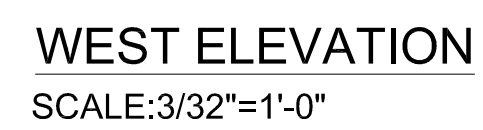
- REQUIREMENTS: MINIMUM OF 60% OF STREET LEVEL FACADE, BETWEEN 2' TO 8' ABOVE THE GRADE, NEED TO BE TRANSPARENT WINDOWS AND DOORS.
- TOTAL FACADE: 1,528 SF
- TOTAL GLASS FACADE: 1,002 SF
- $1,002/1,528 = 65.6\% = \text{COMPLIES}$

FOR ALL BUILDINGS, MINIMUM OF 40% OF THE UPPER LEVEL FACADE ALONG A TRADITIONAL MAIN STREET SHALL CONSIST OF OPENINGS FOR WINDOWS OR WINDOW WALL SYSTEM.

- AVERAGE UPPER LEVEL FACADE: 2,480 SF
- AVERAGE WINDOW AREA: 1,127 SF
- $1,127/2,480 = 45.4\% = \text{COMPLIES}$

STANDARD 50-14-440 (B) (1) CALCULATIONS

- REQUIREMENTS: MINIMUM OF 80% BUILDING FACADE, EXCLUDING WINDOWS AND DOORS, SHALL BE THE FOLLOWING BUILDING MATERIAL: MASONRY, STONE, OR PORCELAIN.
- 85% OF FACADE IS BRICK



MHT HOUSING, INC.

WOODWARD
APARTMENTS

10201 WOODWARD AVE, DETROIT MI
SITE AREA: 54,471± SF OR 1.25± ACRES

EXTERIOR ELEVATIONS
EAST & WEST

PROFESSIONAL ARCHITECTS
PROFESSIONAL ENGINEERS
PROFESSIONAL SURVEYORS
22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
(586) 772-2222 PHONE
(586) 772-4048 FAX

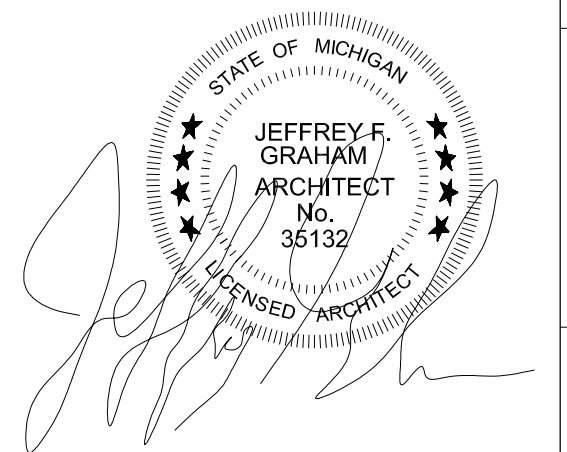


MHT HOUSING, INC.
2600 TELEGRAPH RD. #10
BINGHAM FARMS, MI 4802
PHONE: 586 833-0550

| | |
|-------------|---------------|
| DRAWN BY: | JFG |
| SCALE: | 3/32" = 1'-0" |
| DATE: | 07/25/22 |
| PROJECT NO: | 19-03249 |

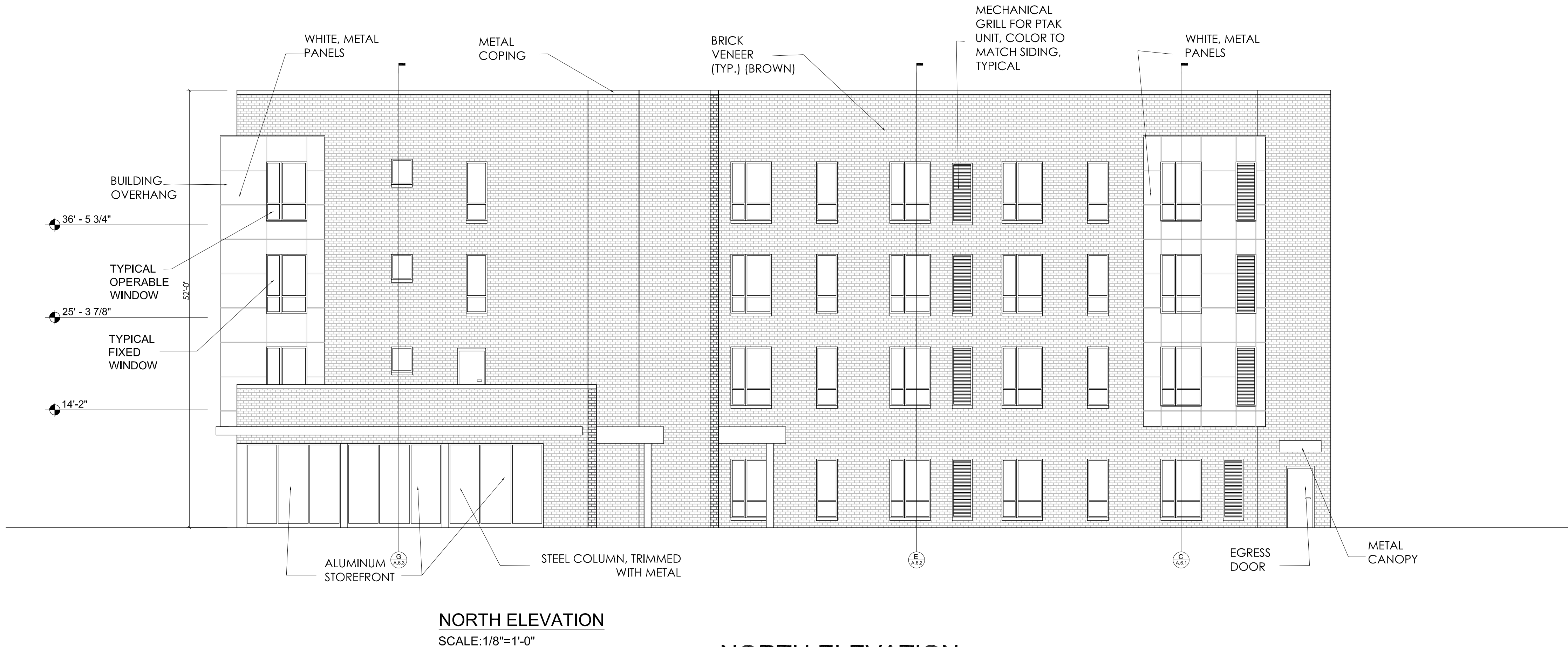
SHEET NO:

A.2.1



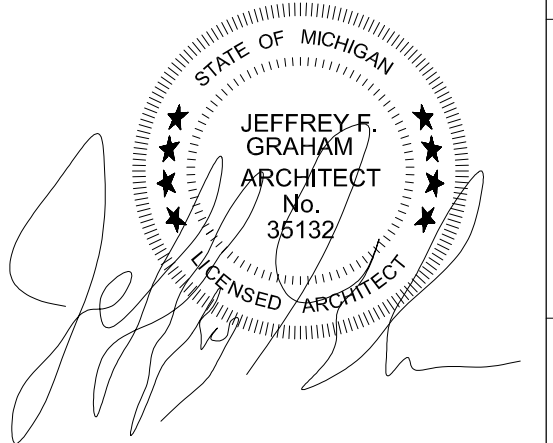
NORTH ELEVATION - TRADITIONAL MAIN STREET
OVERLAY CALCULATIONS

- REQUIREMENTS: MINIMUM OF 40% OF STREET LEVEL FACADE, BETWEEN 4' TO 8' ABOVE THE GRADE, NEED TO BE TRANSPARENT WINDOWS AND DOORS.
 - TOTAL FACADE: 523 SF
 - TOTAL GLASS FACADE: 228 SF
 - $228/523 = 43.6\% = \text{COMPLIES}$
- STANDARD 50-14-440 (B) (1) CALCULATIONS
- REQUIREMENTS: MINIMUM OF 80% BUILDING FACADE, EXCLUDING WINDOWS AND DOORS, SHALL BE THE FOLLOWING BUILDING MATERIAL: MASONRY, STONE, OR PORCELAIN.
 - 87.9% OF FACADE IS MASONRY.



SOUTH ELEVATION - TRADITIONAL MAIN STREET
OVERLAY CALCULATIONS

- REQUIREMENTS: MINIMUM OF 40% OF STREET LEVEL FACADE, BETWEEN 4' TO 8' ABOVE THE GRADE, NEED TO BE TRANSPARENT WINDOWS AND DOORS.
 - TOTAL FACADE: 524 SF
 - TOTAL GLASS FACADE: 214 SF
 - $214/524 = 40.8\% = \text{COMPLIES}$
- STANDARD 50-14-440 (B) (1) CALCULATIONS
- REQUIREMENTS: MINIMUM OF 80% BUILDING FACADE, EXCLUDING WINDOWS AND DOORS, SHALL BE THE FOLLOWING BUILDING MATERIAL: MASONRY, STONE, OR PORCELAIN.
 - 81.5% OF FACADE IS MASONRY.



| | | | | | | | | | |
|--|--|--|--|--------------------------------------|--|--|--|---------------------------------|--|
| DRAWN BY: JFG | | SCALE: 1/8" = 1'-0" | | DATE: 07/25/22 | | PROJECT NO: 19-03249 | | SHEET NO: A.2.2 | |
| APPLICANT: MHT HOUSING, INC. 32600 TELEGRAPH RD. #102 BINGHAM FARMS, MI 48025 PHONE: 586 833-0550 | | PROFESSIONAL ARCHITECTS KEM-TEC & ASSOCIATES 22556 GRATIOT AVENUE DETROIT, MI 48224 (586) 772-2222 PHONE (586) 772-4048 FAX | | EXTERIOR ELEVATIONS NORTH & SOUTH | | CLIENT: MHT HOUSING, INC. WOODWARD APARTMENTS 10201 WOODWARD AVE. DETROIT MI SITE AREA: 54,471± SF OR 1.25± ACRES | | REVISION #1 07/25/22 M.L. BY | |
| CITY PERMIT SET | | DESCRIPTION | | | | | | | |

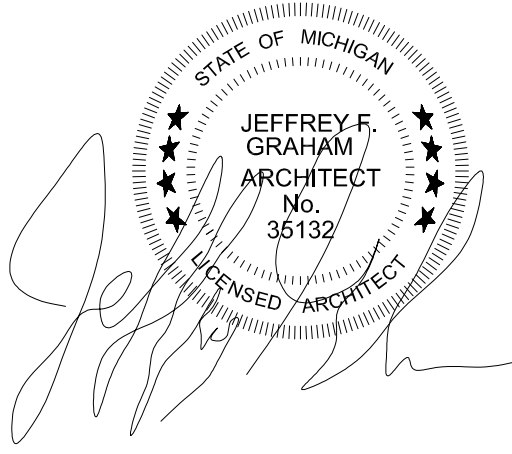
FINISH CEILING LEGEND

- ACT: ACOUSTICAL CEILING TILE
- DC: DRYWALL CEILING
- DCS: DRYWALL CEILING SOFFIT



FIRST FLOOR CEILING FINISH PLAN
SCALE:3/32"=1'-0"

SECOND FLOOR CEILING FINISH PLAN
SCALE:3/32"=1'-0"



| | | | | | | | |
|-------------|--|-------------------|--|---------------------|--|--------------------------------------|--|
| APPLICANT: | | MHT HOUSING, INC. | | CLIENT: | | MHT HOUSING, INC. | |
| DRAWN BY: | | JFG | | REVISION | | #1 | |
| SCALE: | | 3/32" = 1'-0" | | DATE | | 07/25/22 | |
| DATE: | | 07/25/22 | | BY | | M.L. | |
| PROJECT NO: | | 19-03249 | | CITY PERMIT SET | | DESCRIPTION | |
| SHEET NO: | | A.3.1 | | WOODWARD APARTMENTS | | 10201 WOODWARD AVE., DETROIT MI | |
| | | | | | | SITE AREA: 54,471± SF OR 1.25± ACRES | |

