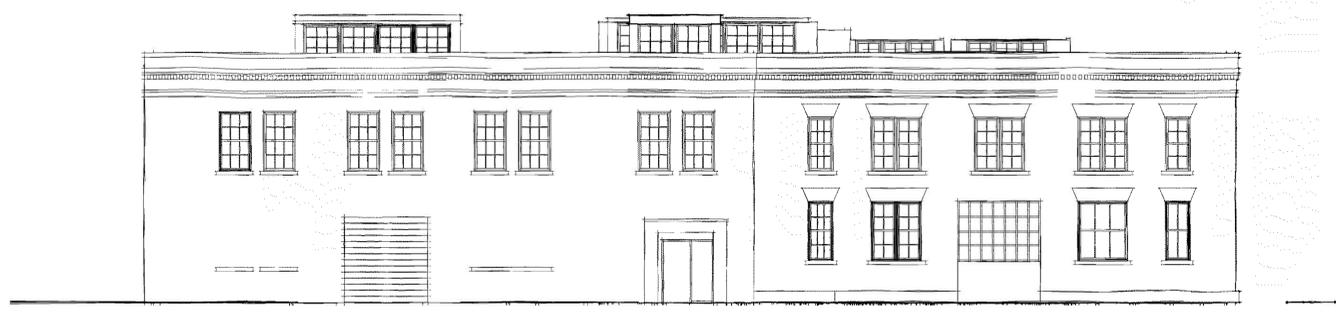


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RED ARROW LOFTS

100% SD
05-27-22

PROJECT LOCATION: 1567 CHURCH STREET
DETROIT, MI

OWNER: OXFORD PERENNIAL CORKTOWN PROPCO II, LLC
350 W. HUBBARD STREET, SUITE 440,
CHICAGO, ILLINOIS

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LANDSCAPE ARCHITECT: GIFFELS WEBSTER
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STRUCTURAL ENGINEER: RESURGET ENGINEERING PLC
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4219 WOODWARD AVE, SUITE 306
DETROIT, MI 48201

MECHANICAL AND ELECTRICAL ENGINEER: PETER BASSO ASSOCIATES
DAVID CONRAD
LICENSE #6201055589
5145 LIVERNOIS, SUITE 100
TROY, MI 48098

**CONSTRUCTION MANAGER/
GENERAL CONTRACTOR:** SACHSE CONSTRUCTION
TODD SACHSE
3663 WOODWARD AVE, SUITE 5/500
DETROIT, MI 48201

CODE SUMMARY	
PROJECT DESCRIPTION:	REHABILITATION OF EXISTING TWO-STORY INDUSTRIAL BUILDING TO MULTI-FAMILY APARTMENT UNITS AND INDOOR PARKING.
ZONING:	B4
OCCUPANCY CLASSIFICATION:	R-2,S-2
CONSTRUCTION TYPE:	IIIB, SPRINKLERED, FIRE ALARM SYSTEM
OCCUPANT LOAD:	# PERSONS
APPLICABLE CODES:	BUILDING: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB) 2015 - CHAPTER 14 PERFORMANCE AND COMPLIANCE METHODS BUILDING CODE (MBC) 2015, AS REFERENCED BY MRCEB 2015
	MECHANICAL: MICHIGAN MECHANICAL CODE (MMC) 2015
	PLUMBING: MICHIGAN PLUMBING CODE (MPC) 2015
	ELECTRICAL: MICHIGAN/NATIONAL ELECTRICAL CODE (NEC) 2017 WITH PART 8 AMENDMENTS
	LIFE SAFETY: MICHIGAN BUILDING CODE (MBC) 2015 NFPA 101 2013 DETROIT FIRE CODE
	ENERGY: MICHIGAN UNIFORM ENERGY CODE (MUEC) 2015 A BUILDING THAT HAS BEEN SPECIFICALLY DESIGNATED AS HISTORICALLY SIGNIFICANT BY THE ADOPTING AUTHORITY OR IS LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES OR HAS BEEN DETERMINED TO BE ELIGIBLE FOR LISTING BY THE U.S. SECRETARY OF THE INTERIOR NEED NOT COMPLY WITH THE PROVISIONS OF SECTIONS 5, 6, 7, 8, 9, AND 10 OF THE ASHRAE 90.1 STANDARD, (ASHRAE 90.1, EXCEPTION 1 TO PARAGRAPH 4.2.1.3, REFERENCED BY MUEC C503.1)
	ACCESSIBILITY: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB) 2015 SECTION 410 ICC/ANSI A117.1 2009 AS REFERENCED BY MRCEB WITH SECTIONS 611 AND 707 EXEMPTED MICHIGAN BUILDING CODE (MBC) 2015 AS REFERENCED ADA ACCESSIBILITY GUIDELINES (ADAAG) 2010
	ELEVATOR: DETROIT ELEVATOR CODE 2019 ASME A17.1-2010 FOR NEW ELEVATORS AS REFERENCED ASME A17.3-2011 FOR EXISTING ELEVATORS AS REFERENCED ASME A18.1-2008 FOR PLATFORM AND STAIRWAY LIFTS AS REFERENCED

EXISTING STRUCTURE

THIS BUILDING IS REVIEWED UNDER THE 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS, CHAPTER 14 PERFORMANCE COMPLIANCE METHODS.

1401.2 APPLICABILITY. STRUCTURES EXISTING BEFORE NOVEMBER 6, 1974, IN WHICH THERE IS WORK INVOLVING ADDITIONS, ALTERATIONS, OR CHANGES OF OCCUPANCY SHALL BE MADE TO CONFORM TO THE REQUIREMENTS OF THIS CHAPTER. THE PROVISIONS IN SECTIONS 1401.2.1 TO 1401.2.5 SHALL APPLY TO EXISTING OCCUPANCIES THAT WILL CONTINUE TO BE, OR ARE PROPOSED TO BE, IN GROUPS A, B, E, F, I-2, M, R, AND S. THIS RULE SHALL NOT APPLY TO BUILDINGS WITH OCCUPANCIES IN GROUP H OR I-1, I-3, OR I-4.
R 408.30577

1401.2.1 CHANGE IN OCCUPANCY. THIS EXISTING BUILDING IS CHANGED TO A NEW OCCUPANCY CLASSIFICATION AND THIS SECTION IS APPLICABLE, THE PROVISIONS OF THIS SECTION FOR THE NEW OCCUPANCY HAS BEEN USED TO DETERMINE COMPLIANCE WITH THIS CODE.

PREVIOUS USE GROUP(S): GROUP S-1
PROPOSED USE GROUP(S): GROUP R-2, S-2

1401.2.4 ALTERATIONS AND REPAIRS. THE EXISTING BUILDING OR PORTION THEREOF THAT DOES NOT COMPLY WITH THE REQUIREMENTS OF THIS CODE FOR NEW CONSTRUCTION HAS NOT BE ALTERED OR REPAIRED IN SUCH A MANNER THAT RESULTS IN THE BUILDING BEING LESS SAFE OR SANITARY THAN SUCH BUILDING IS CURRENTLY. IF, IN THE ALTERATION OR REPAIR, THE CURRENT LEVEL OF SAFETY OR SANITATION IS TO BE REDUCED, THE PORTION ALTERED OR REPAIRED CONFORMS TO THE REQUIREMENTS OF CHAPTERS 2 THROUGH 12 AND CHAPTERS 14 THROUGH 33 OF THE INTERNATIONAL BUILDING CODE.

1401.2.5 ACCESSIBILITY REQUIREMENTS. ALL PORTIONS OF THE BUILDINGS PROPOSED FOR CHANGE OF OCCUPANCY SHALL CONFORM TO THE ACCESSIBILITY PROVISIONS OF SECTION 410.

SEE SHEET G102 CODE SUMMARY FOR FURTHER INFORMATION

BID ALTERNATES

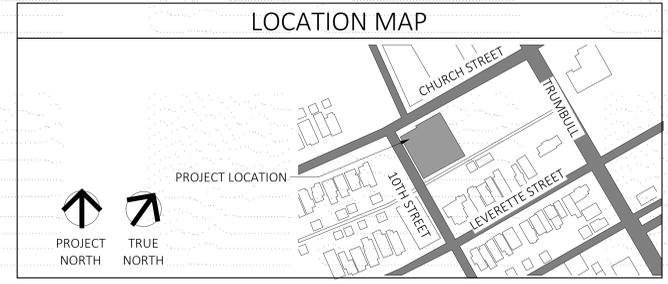
BID ALTERNATE 1:
PROVIDE ALTERNATE DEMISING WALL PARTITION
BASE BID: TYP. DEMISING WALL PARTITION, AS SHOWN ON SHEET AS01
DEDUCT ALTERNATE: REMOVE SECOND LAYER OF GYP. FROM DEMISING WALL PARTITION

DEFERRED SUBMITTALS

NOTE: THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE LOCAL CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

THE FOLLOWING SUBMITTALS SHALL BE PREPARED BY OTHERS AND INCLUDED AS PART OF THE CONSTRUCTION DOCUMENTS AS THEY BECOME AVAILABLE: (PER SECTION 107.3.4.2)

- AUXILIARY POWER SYSTEMS	- IRRIGATION SYSTEMS
- AWNINGS	- MATERIAL SAFETY AND DATA SHEETS (MSDS) FOR INTERIOR FINISHES
- CURTAIN WALL SYSTEMS	- PLUMBING SYSTEMS
- ELECTRICAL SYSTEMS (DESIGN-BUILD)	- PREFABRICATED STAIRS
- EMERGENCY CALL SYSTEMS	- RAISED FLOOR SYSTEMS
- EXIT ILLUMINATION	- SHELVING/RACK SYSTEMS
- FIRE ALARM SYSTEMS	- SIGNAGE
- FIRE STOPPING SYSTEMS	- SKYLIGHTS
- FIRE SUPPRESSION SYSTEMS	- SMOKE AND HEAT VENTS
- GLAZING SYSTEMS	- SPECIAL RETAINING WALLS
- GUARD RAILS / HAND RAILS	- STONE VENEER
- HVAC SYSTEMS	- FLOOR OR ROOF TRUSSES
- INTERCOM SYSTEMS	



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Owner

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DETROIT, MI

Project

PRELIMINARY NOT FOR CONSTRUCTION

Seal

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Revision	Date
Date	PERMIT DATE
Project Number	2022006
Sheet Title	COVER

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF THE CITY OF DETROIT, AND ANY/OR OTHER AGENCIES HAVING JURISDICTION.
- UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM UTILITY OWNERS AND THEREFORE MAY NOT BE ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY AND OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT HAVE AN IMPACT ON THIS PROJECT, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES WHETHER THEY ARE SHOWN OR NOT ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AT PROPOSED CONNECTIONS AND/OR CROSSINGS, AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES TO THESE PLANS.
- 72 HOURS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG AT (800) 452-7171 FOR THE LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES, AND SHALL ALSO NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK.
- ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR. ALL PERMIT FEES, BONDS, AND INSURANCE REQUIRED BY THE ISSUING AGENCIES SHALL BE PROVIDED BY THE CONTRACTOR, AND MUST BE KEPT CURRENT. THE CONTRACTOR IS RESPONSIBLE FOR ALL OTHER FEES, INSPECTION COSTS, ETC., AND SHALL ADHERE TO ALL REQUIREMENTS SET FORTH IN SAID PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL WORK AREAS TO ENSURE THE SAFETY OF ALL OCCUPANTS, VISITORS, PEDESTRIANS, WORKERS, ETC. THE CONTRACTOR SHALL REPAIR AND MAINTAIN ALL CONSTRUCTION FENCING AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE FOR CONTROLLED ACCESS TO THE SITE FOR USE BY THE VARIOUS WORK FORCES, EMERGENCY VEHICLES, OCCUPANTS, VISITORS, ETC. THROUGHOUT CONSTRUCTION. THIS ACCESS MUST PROVIDE FOR THE REMOVAL OF MUD FROM VEHICLES TIRES. ROADWAYS AND DRIVEWAYS SHALL BE MAINTAINED OPEN FOR EMERGENCY VEHICLES AT ALL TIMES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENTS AND BUSINESSES WHOSE DRIVEWAYS ARE AFFECTED BY THEIR SCHEDULE 24 HOURS IN ADVANCE. CONTRACTOR SHALL SCHEDULE CONSTRUCTION AT NON-PEAK USE HOURS AND SHALL MINIMIZE DRIVEWAY CLOSURE BY EXPEDITING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES, AND LIGHTS TO PROTECT THE TRAFFIC AND THE WORK AS DIRECTED BY THE PLANS OR BY THE AGENCY WITH JURISDICTION. ALL TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
- THE CONTRACTOR IS REQUIRED TO CONFINE CONSTRUCTION ACTIVITIES TO THE LIMITS OF THE SITE AS SHOWN ON THE CONSTRUCTION PLANS. ANY DAMAGE OR DISRUPTION TO ADJACENT SITES IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT IMMEDIATELY. NO OFF-SITE WORK SHALL BE PERFORMED OUTSIDE OF PUBLIC RIGHTS-OF-WAY OR DEDICATED EASEMENTS WITHOUT PRIOR WRITTEN APPROVAL OF THE PROPERTY OWNER.
- GREAT CARE SHALL BE TAKEN TO AVOID DAMAGE TO VEGETATION OUTSIDE THE CLEARING AND GRUBBING LIMITS. NO DRIVING OR PARKING OF VEHICLES AND/OR STORAGE OF MATERIALS AND SUPPLIES SHALL BE PERMITTED OUTSIDE THE LIMITS OF CONSTRUCTION.
- ALL ELEVATIONS ON THESE PLANS ARE ON THE CITY OF DETROIT DATUM.
- THE PROTECTION OF EXISTING TREES, AS REQUIRED, SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- ALL CONSTRUCTION SHALL HAVE INSPECTION PROVIDED BY THE CITY OF DETROIT. THE CONTRACTOR SHALL CONTACT THE CITY OF DETROIT 48 HOURS BEFORE THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL, AND SHALL PROVIDE ALL NECESSARY MATERIAL AND EQUIPMENT TO KEEP DUST IN CHECK AT ALL TIMES. THE CONTRACTOR SHALL RESPOND IMMEDIATELY TO ANY AND ALL COMPLAINTS. DUST CONTROL SHALL BE INCIDENTAL TO THE PROJECT.
- DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER SPRINKLER HEADS, PIPING, LIGHTING AND BURIED ELECTRICAL CABLE, MAILBOXES, FENCES, SIGNS, ETC., THAT MAY OR MAY NOT BE INDICATED ON THESE PLANS. THE CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL COMPONENTS OF SUCH SYSTEMS. ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, MINIMUM STANDARD REQUIREMENTS, OR AS SPECIFIED HEREIN, WHICHEVER IS MORE STRINGENT.
- ROADWAY, DRIVEWAY, AND PARKING AREA FINAL RESTORATION SHALL BE PERFORMED WITH SURFACE AND BASE MATERIALS MATCHING EITHER THE EXISTING MATERIALS IN QUALITY AND THICKNESS, PER MINIMUM REQUIREMENTS, OR PER THE CITY STANDARDS AND SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
- ALL LOT MARKERS AND MONUMENT POINTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- FINAL CLEANUP AND RESTORATION SHALL CONSIST OF FINE GRADING OF CONSTRUCTION AREAS, REMOVAL OF CONSTRUCTION SIGNS, ETC. TOPSOIL SHALL BE SPREAD OVER ALL DISTURBED AREAS, FOLLOWED BY SEED, FERTILIZER AND EROSION MAT OR STRAW MULCH, OR AS FURTHER REQUIRED BY THE LANDSCAPING PLANS AND SPECIFICATIONS. ALL REQUIRED RESTORATION ITEMS NOT SPECIFICALLY IDENTIFIED AS A PAY ITEM SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- THE UTILITY POLES SHOWN ON THESE DRAWINGS ARE INTENDED TO SHOW ONLY THE LOCATION OF EXISTING POLES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITY AND DIRECTION OF OVERHEAD LINES. THE COST FOR SUPPORTING AND RELOCATING POLES SHALL BE INCIDENTAL TO THE PROJECT.
- THE MEANS AND METHODS OF CONTROLLING GROUNDWATER AND DEWATERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL COST ASSOCIATED WITH DEWATERING SHALL BE INCIDENTAL TO THE CONTRACT.

DEMOLITION NOTES

- REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- WITH THE EXCEPTION OF AN AMOUNT OF EXCAVATED MATERIALS SUFFICIENT FOR BACKFILLING AND CONSTRUCTION OF FILLS AS CALLED FOR ON THE PLANS AND AS INDICATED BELOW, ALL BROKEN CONCRETE, STONE AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR WILL BE REQUIRED TO OBTAIN THEIR OWN DISPOSAL GROUND, AND WILL RECEIVE NO ADDITIONAL COMPENSATION FOR DISPOSING OF ANY OF THE EXCESS MATERIALS. MATERIALS ACCEPTABLE TO THE ENGINEER MAY BE DISPOSED OF ON-SITE AT THE CONTRACTOR'S EXPENSE IN A MANNER APPROVED IN ADVANCE BY THE ENGINEER.
- THE EDGE OF EXISTING PAVEMENT SHALL BE CLEANED OF EARTH AND OTHER FOREIGN MATERIAL BEFORE ADJACENT POURS ARE PLACED.
- ALL BULKHEADING AND/OR SEWER PIPE REMOVAL NECESSITATED BY THE REMOVAL OF DRAINAGE STRUCTURES SHALL BE INCLUDED IN THE STRUCTURE REMOVAL.
- STREET SIGNS IN THE WAY OF CONSTRUCTION WILL BE REMOVED AND RESET IMMEDIATELY IN A TEMPORARY LOCATION, AS APPROVED BY ENGINEER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SIGNS AND POSTS SCHEDULED TO REMAIN, AS DIRECTED BY THE ENGINEER.
- ALL UNDERGROUND UTILITIES NOT INDICATED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PRIVATE PROPERTY (INCLUDING BUILDINGS AND FOUNDATIONS) THROUGHOUT CONSTRUCTION AND SHALL MAINTAIN SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- THE REMOVAL OF PAVEMENT, CURBS AND WALKS SHALL INCLUDE ALL REQUIRED SAWCUTTING. CURB REMOVAL IS INCIDENTAL TO PAVEMENT REMOVAL.

UTILITY NOTES

- REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL:
 - WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION
 - BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEAN OUTS AND ROOF CONNECTORS
 - GAS, ELECTRIC AND COMMUNICATION SERVICES, AND LIGHTING DETAILS
 - ALL BUILDING ACCESS WALKS AND ENTRY DETAILS, INCLUDING SUPPORTED SLABS
 - ALL WORK TO CONSTRUCT THE BUILDING AND ALL ITEMS CONNECTED TO IT
- ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (MOT CLASS II MINIMUM) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557. COMPACTED SAND BACKFILL SHALL ALSO BE PROVIDED FOR ALL SEWER TRENCHES LOCATED UNDER, OR WITHIN, THREE FEET OF PAVEMENT.
- THE COST OF ALL TREE, SLUMP, FOUNDATION AND/OR STRUCTURE REMOVAL AND DISPOSAL NOT INCLUDED IN THE PROPOSAL SHALL BE CONSIDERED INCIDENTAL AND INCLUDED IN THE PRICE BID FOR WATERMAIN, SANITARY SEWER, STORM SEWER, AND PAVING WORK.
- A MINIMUM VERTICAL CLEARANCE OF 18 INCHES IS REQUIRED AT UTILITY CROSSINGS (MEASURED FROM THE OUTSIDE OF PIPE TO THE OUTSIDE OF PIPE). POSITIVE PROVISIONS SHALL BE MADE TO ENSURE THAT ALL UTILITY TRENCHES ARE FREE DRAINING DURING ALL PHASES OF CONSTRUCTION.
- THE REQUIRED BEDDING FOR SEWER PIPE SHALL CONSIST OF A MAXIMUM 3/4" INCH DIAMETER CRUSHED STONE.
- THE MINIMUM SLOPE FOR A BUILDING LEAD IS 1%. LEADS SHALL ONLY BE CONNECTED TO THE MAIN LINE WITH WYES.
- ALL STORM SEWER PIPE SHALL BE CONSTRUCTED WITH RUBBER GASKET (PREMIUM) JOINTS.
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF ALL UTILITY LINES AND STRUCTURES, AS OUTLINED ON THE DEMOLITION PLAN, WITH THE INSTALLATION OF UTILITY IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING GRADE MODIFICATIONS INDICATED ON THE FINISHED LANDSCAPE PLAN, AND COORDINATE THE ACTUAL FINISH GRADE OF FIRE HYDRANTS, GATE VALVE CASTINGS, MANHOLES, YARD DRAINS, CLEAN OUTS AND OTHER UTILITY STRUCTURES. ENSURE THAT ALL FINISH GRADING IS PERFORMED IN A MANNER THAT ACCOMPLISHES THE PROJECT DESIGN OBJECTIVES AND PROVIDES FOR POSITIVE DRAINAGE OF ALL AREAS. ANY SUBSTANTIAL GRADE CHANGES WHICH MAY CAUSE FUNCTIONAL PROBLEMS SHALL BE REPORTED PROMPTLY TO THE ENGINEER WHO SHALL EVALUATE THE CONDITIONS AND PROVIDE CORRECTIVE RECOMMENDATIONS TO THE OWNER FOR FINAL DETERMINATION.
- CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS ETC., IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
- THE CONTRACTOR SHALL REMOVE UTILITIES, WHICH HAVE BEEN ABANDONED IN PLACE, AS REQUIRED TO COMPLETE INSTALLATION OF NEW UTILITIES. WHENEVER ABANDONED UTILITIES ARE CUT, CONTRACTOR SHALL COMPLETELY CAP BOTH ENDS TO PREVENT THE INFILTRATION OF SOILS.
- NO CONNECTION MAY BE MADE TO ANY EXISTING WATER MAIN UNTIL THE NEW MAIN HAS PASSED ALL PRESSURE AND BACTERIOLOGICAL TESTING.
- ROADWAY, DRIVEWAY AND PARKING AREA CROSSINGS SHALL BE TEMPORARILY CONDITIONED IMMEDIATELY AFTER CROSSING BY PLACING 6" OF MDOT 22A GRAVEL OR SLAG AGGREGATE, AND SHALL BE MAINTAINED IN GOOD, DUST FREE CONDITION UNTIL PAVEMENT RESTORATION IS MADE.

PAVING AND GRADING NOTES

- REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- THE PAVING CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
- BUTT JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE AN EXISTING ASPHALT PAVEMENT SURFACE IS BEING DISTURBED BY REMOVALS AND/OR THE INSTALLATION OF NEW ASPHALT PAVEMENT.
- ALL PAVEMENT AREAS SHOULD BE CLEANED AND GRUBBED BY REMOVING SURFACE VEGETATION, TOPSOIL, DEBRIS AND OTHER DELETERIOUS MATERIALS.
- THE PLACEMENT OF THE FINAL ASPHALT LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED, OR AS APPROVED BY THE OWNER. A BOND COAT OF SS-1H EMULSION SHALL BE APPLIED AT A RATE OF 0.10 GALLONS/S.Y.D.) BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENTS.
- THE FINAL SUB-GRADE SHALL BE THOROUGHLY PROOF-ROLLED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
- PROPOSED AGGREGATE BASE SHALL EXTEND A MINIMUM OF 1' FOOT BEYOND THE PAVEMENT EDGE/BACK OF CURB.
- ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (MOT CLASS II MINIMUM) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557.
- NO FROZEN MATERIAL SHALL BE PERMITTED AS BACKFILL UNDER ANY ROADWAY, DRIVEWAY OR PARKING AREA.
- PRIOR TO THE START OF ANY FILLING, THE CONTRACTOR SHALL REMOVE ALL TOPSOIL AND ALL OTHER UNACCEPTABLE SOIL FROM THE FILL AREAS, AND PROPERLY BACKFILL WITH ACCEPTABLE SOIL.
- BARRIER FREE SIGNAGE SHALL BE PLACED IN FRONT OF EVERY DESIGNATED BARRIER FREE STALL. THE CONTRACTOR SHALL COORDINATE STANDARD AND VAN ACCESSIBILITY SIGNAGE AS INDICATED ON THE PLANS.
- ALL BARRIER FREE RAMPS TO BE A.D.A COMPLIANT.
- GENERAL GRADING REQUIREMENTS ARE AS FOLLOWS:
 - FINISH GRADE AT EXISTING BUILDING SHALL MATCH BRICK LEDGES, DOORWAYS OR BASEMENT WINDOWS
 - MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING (± 2%)
 - SIDEWALK CROSS SLOPE ±2% UNLESS OTHERWISE NOTED (EXCLUDING RAMPS)
 - PAVEMENT SLOPES (1.0% MINIMUM, 4.0% MAXIMUM) UNIFORMLY BETWEEN FINISH GRADE ON PLANS
 - LAWN AREAS ± 1% MINIMUM TO 20% (BERMS) MAXIMUM
- REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL:
 - WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION
 - BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEAN OUTS AND ROOF CONNECTORS
 - GAS, ELECTRIC AND COMMUNICATION SERVICES AND LIGHTING DETAILS AND COORDINATION
 - ALL BUILDING ACCESS WALKS AND ENTRY DETAILS, INCLUDING SUPPORTED SLABS
 - ALL WORK TO CONSTRUCT THE BUILDING AND ALL ITEMS CONNECTED TO IT
- PRIOR TO THE PLACEMENT OF ANY BASE ASPHALT OR LEVELING COURSE, THE CURBS SHALL BE PARTIALLY BACKFILLED AND THE SUB-GRADE SHALL BE PROOF ROLLED UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- ALL SIDEWALK AND PATHWAYS IN ANY PUBLIC R.O.W. SHALL BE INSPECTED BY THE AGENCY WITH JURISDICTION.

EROSION CONTROL NOTES

- REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF CITY OF DETROIT.
- ANY EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. (WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS AND WETLANDS)
- THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHENEVER OTHERWISE REQUIRED BY THE WORK. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENTATION CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OUT OF THE WORK AREA.
- THE CONTRACTOR SHALL PRESERVE NATURAL VEGETATION AS MUCH AS POSSIBLE.
- PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL.
- VEGETATION STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED WITHIN 15 DAYS OF COMPLETION OF FINAL GRADING.
- THE CONTRACTOR SHALL SWEEP THE EXISTING STREETS SURROUNDING THE PROJECT SITE ONCE A WEEK, OR AS DIRECTED BY THE ENGINEER OR INSPECTOR. STREET SCRAPING SHALL BE PERFORMED IN CONJUNCTION WITH THIS SWEEPING ON AN AS NEEDED BASIS.
- THE SEDIMENT CONTROL FENCING INDICATED ON THIS PLAN IS NOT INTENDED TO SHOW THE EXACT LOCATION OF THE FENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE REQUIRED TO CONTAIN SEDIMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL APPLICABLE NPDES REGULATIONS, INCLUDING INSPECTION, RESTORATION, AND RECORD KEEPING REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL SOIL EROSION CONTROLS AS INDICATED BY THESE PLANS.
- CONSTRUCTION ACTIVITIES (INCLUDING INSTALLATION OF PIPE AND ASSOCIATED VALVES, STRUCTURES, BACK FILLING, SURFACE RESTORATION, AND REMOVAL OF EXCESS EXCAVATED MATERIAL) SHALL BE ACCOMPLISHED IN ONE CONTINUOUS OPERATION.
- PAVEMENT AND/OR VEGETATION SHALL NOT BE STRIPPED FROM AN AREA UNLESS CONSTRUCTION ACTIVITIES ARE TO COMMENCE IN THAT AREA WITHIN THE NEXT THREE DAYS.
- IF FOR ANY REASON PERMANENT STABILIZATION CAN NOT BE PROVIDED WITHIN 15 DAYS OF THE COMPLETION OF PIPE LAYING OPERATIONS, TEMPORARY STABILIZATION SHALL BE PROVIDED AT ALL DISTURBED AREAS. TEMPORARY STABILIZATION SHALL FURTHERMORE BE PROVIDED DURING THE NON-GROWING SEASON (OCTOBER 1 THROUGH APRIL 20) FOR ALL AREAS TO BE SEEDED.
- TEMPORARY STABILIZATION SHALL CONSIST OF EITHER SMALL GRAIN STRAW OR GRASS HAY SPREAD AT THE RATE OF 1.5 TO 2 TONS PER ACRE, OR MULCH BLANKETS, WHICH SHALL BE ANCHORED IN PLACE TO PREVENT DISPLACEMENT FROM WIND AND RAIN. TEMPORARY STABILIZATION SHALL BE REPAIRED AS OFTEN AS NECESSARY, AS DETERMINED BY THE AGENCY WITH JURISDICTION.
- ALL DEWATERING SHALL BE ACCOMPLISHED IN A MANNER THAT WILL NOT CONTRIBUTE TO DEPOSITION OF SEDIMENT IN ROAD DITCHES OR OPEN WATER.
- THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED.
- SEDIMENT CONTROL FENCING SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. IF THE FENCE IS SAGGING, OR SOIL HAS REACHED ONE HALF OF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC SHALL BE REMOVED AND DISPOSED OF IN A STABLE AREA OF THE SITE. IF WATER IS SEEPING UNDER THE FENCE, OR THE FABRIC IS DECOMPOSED OR OTHERWISE INEFFECTIVE, THE FENCE SHALL BE REMOVED AND PROPERLY REINSTALLED AS INDICATED ON THESE PLANS.
- MUD MAT ENTRANCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH STORM RAINFALL. THE SURROUNDING ROADS SHALL ALSO BE INSPECTED AT THIS TIME FOR EVIDENCE THAT MUD IS BEING TRACKED OFF OF THE SITE. MAINTENANCE SHALL INCLUDE THE INSTALLATION OF ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. ALL SEDIMENT DROPPED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY BY SWEEPING AND SCRAPING (AS MAY BE REQUIRED BY THE ENGINEER).
- SEDIMENT INLET FILTERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. THE FILTERS SHALL BE CLEANED PERIODICALLY THROUGHOUT CONSTRUCTION TO AVOID CLOGGING. FILTERS THAT CANNOT BE MAINTAINED BY CLEANING SHALL BE COMPLETELY REPLACED.

EROSION CONTROL SEQUENCE

- INSTALL MUD MATS, SILT FENCE AND INLET FILTERS AT ALL EXISTING LOCATIONS AS SHOWN AND AS REQUIRED TO ACHIEVE ON-SITE CONTAINMENT.
- INSTALL STORM SEWER AND ALL ASSOCIATED STORM WATER IMPROVEMENTS AS SHOWN ON PLANS. IMMEDIATELY INSTALL INLET FILTERS AT ALL CATCH BASINS.
- ROUGH GRADE THE PROJECT "WORK AREA" AS NEEDED.
- INSTALL SANITARY SEWER AS SHOWN ON PLANS.
- INSTALL WATER MAIN AS SHOWN ON PLANS.
- INSTALL OTHER UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.) AND/OR ALL NEEDED CONDUITS AND SLEEVES.
- INSTALL PAVEMENT BACKFILL AND SEED & MULCH ALL DISTURBED AREAS.
- CLEAR ALL ACCUMULATED SILT AND REMOVE ALL EROSION CONTROL DEVICES.
- INSTALL LANDSCAPING MATERIALS AS INDICATED PER PLANS & RE-SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS.

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Consultant

Owner

PERENNIAL CORKTOWN - PHASE II

1567 CHURCH

Project

Seal

100% SD

05-27-22

Revision

Date

Project Number

19695-06D

Sheet Title

General Notes

Sheet Number

C-100

PROPERTY DESCRIPTION

(PER TAX RECORD)

1567 CHURCH ST.

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:
SOUTH OF CHURCH STREET, LOTS 5 THROUGH 7, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.
(TAX ID. 08000462)

1541 CHURCH ST.

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:
SOUTH OF CHURCH STREET, THE WEST 1/2 OF LOT 4, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.
(TAX ID. 08000461)

1537 CHURCH ST.

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:
SOUTH OF CHURCH STREET, THE EAST 1/2 OF LOT 4, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.
(TAX ID. 08000460)

1533 CHURCH ST.

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:
SOUTH OF CHURCH STREET, THE WEST 1/2 OF LOT 3, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.
(TAX ID. 08000459)

1525 CHURCH ST.

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:
SOUTH OF CHURCH STREET, THE EAST 1/2 OF LOT 3, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.
(TAX ID. 08000458)

1501 CHURCH ST.

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:
SOUTH OF CHURCH STREET, LOTS 1 THROUGH 2, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.
(TAX ID. 08000457)

BENCH MARK DATA

(CITY OF DETROIT) DATUM

BENCH MARK 1
MAG SPIKE IN THE NORTHEAST FACE OF A LIGHT POLE, LOCATED ON THE WEST SIDE OF TRUMBULL AVENUE, PLUS OR MINUS 150 FEET NORTH OF THE CENTERLINE OF LEVERETTE STREET.
ELEVATION: 122.31'(R)
(SHOWN GRAPHICALLY)

BENCH MARK 2
ARROW ON HYDRANT (WITH YEAR STAMP 1940), LOCATED AT THE SOUTHEAST CORNER OF MICHIGAN AVENUE AND 8TH STREET.
ELEVATION: 123.08'
(OUT OF SCOPE OF PLOTTED AREA)

BENCH MARK 3
ARROW ON HYDRANT (1922), LOCATED ON THE NORTHWEST CORNER OF CHURCH STREET AND 10TH STREET.
ELEVATION: 122.76'
(SHOWN GRAPHICALLY)

BENCH MARK 4
ARROW ON HYDRANT (1940), LOCATED ON THE SOUTH SIDE OF MICHIGAN AVENUE, WEST OF THE WESTERLY ENTRANCE TO A PARKING LOT AT ADDRESS 1645 MICHIGAN AVENUE.
ELEVATION: 123.13'
(SHOWN GRAPHICALLY)

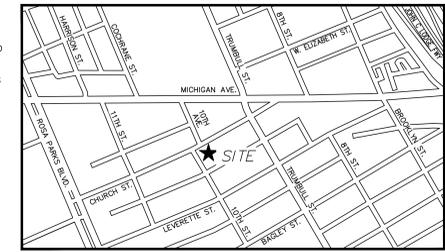
BENCH MARK 5
MAG NAIL IN THE NORTH FACE OF A UTILITY POLE, LOCATED ON THE SOUTHWEST CORNER OF 10TH STREET AND THE PUBLIC ALLEY, WHICH IS BETWEEN CHURCH STREET AND LEVERETTE STREET.
ELEVATION: 120.73'
(SHOWN GRAPHICALLY)

NOTES

- STEAM UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- NO WATER UTILITY MAP WAS AVAILABLE THAT SHOWED THE AREA OF A 20" WIDE PUBLIC ALLEY, LOCATED BETWEEN MICHIGAN AVE. & CHURCH ST., & BETWEEN 10TH ST. & A 18" WIDE PUBLIC ALLEY. THEREFORE, WATER MAIN MAY EXIST, ALTHOUGH NOT SHOWN. CONTACT MISS DIG TO LOCATE ALL WATER MAIN, PRIOR TO CONSTRUCTION.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- THE BASIS OF BEARING FOR THE OVERALL PARCEL AS FIELD SURVEYED IS BASED ON STATE PLANE COORDINATE SYSTEM (NAVD83).
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.
PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.



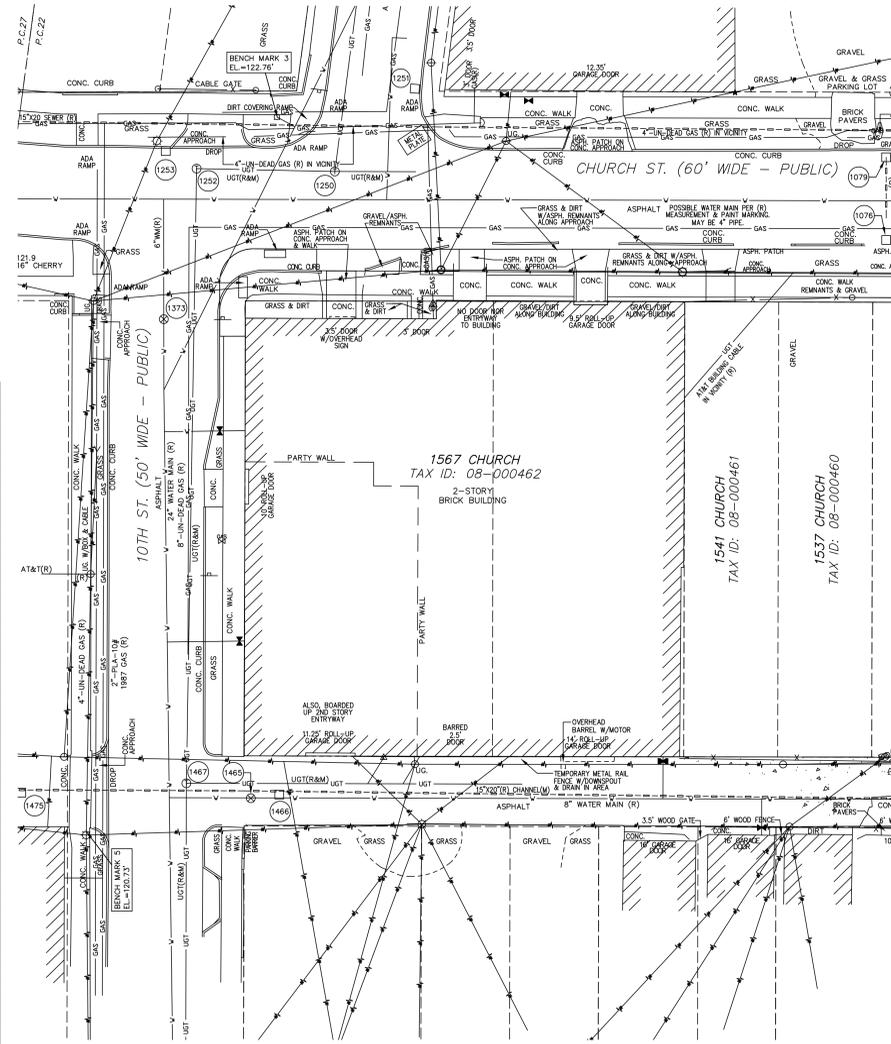
EXISTING CONDITIONS - LEGEND

- E/ SITE BOUNDARY
- E/ PAVEMENT
- E/ GRAVEL
- CL ROAD
- E/ WALK
- RAILROAD
- E/ BRICK
- MISC. LINE
- FENCE
- GUARD RAIL
- WALL
- BLDG. LINE
- OVERHEAD WRES
- RAILING
- OVERHANG LINE
- T/ BANK
- B/ BANK
- DITCH/STREAM
- SHRUB LINE
- TREE LINE
- WATER EDGE
- WETLAND LINE
- STORM LINE
- SAN. LINE
- WATER LINE
- GAS LINE
- UG ELEC. LINE
- UGT
- CTV
- PLD
- STEAM LINE
- SECTION LINE
- ELECTRIC OVERHEAD
- TELEPHONE OVERHEAD
- RIGHT-OF-WAY

- SAN. MH
- SAN. CLEAN OUT
- SAN. RISER
- SAN. PUMP STATION
- COMB. MH
- GATE VALVE
- HYDRANT
- WATER VALVE
- WATER METER
- POST INDICATOR VALVE
- WELL HEAD
- FDC CONNECTION
- IRRIGATION CONTROL BOX
- STORM MH
- CATCH BASIN
- BEEHIVE CB
- CULVERT E.S.
- ROOF/DOWN SPOUT
- OVERFLOW/OUTLET STRUCTURE
- STORM CLEAN OUT
- ROUND POLE
- LIGHT POLE
- UTILITY POLE
- ELEC. TRANS.
- AIR CONDITIONER
- ELEC. MH
- ELEC. METER
- ELEC. RISER
- TRAFFIC CONTROL BOX
- STEAM MH
- PUBLIC LIGHTING MH
- GAS METER
- GAS RISER
- GAS VALVE
- GAS MH
- TELE. RISER
- TELE. MH
- TELE. CROSS BOX
- CABLE RISER
- PAY PHONE
- MANHOLE
- SIGN
- PROF. POST/GUARD POST
- GUY
- DECIDUOUS TREE
- CONIFEROUS TREE
- DEAD TREE
- UTILITY FLAG
- HYDRANT (FIELD LOCATED)
- HANDICAP PARKING
- WETLAND FLAG
- BUSH/SHRUB
- PARKING METER
- RESIDENTIAL MAILBOX
- U.S. MAILBOX
- EXISTING ELEVATION
- SOIL BORING
- MONITORING WELL
- LAWN IRRIG. HEAD
- CENTERLINE R.R. TRACK
- MISC. TOPOG. SHOT
- SURVEY CONTROL POINT
- FOUND IRON
- FOUND NAIL
- F. CUT CROSS
- SECTION COR.
- FENCE POST
- BENCH MARK
- FOUND PIPE
- FOUND MON.
- ASPH.
- CONC.
- A.C.
- G.P.
- C.L.F.
- D.L.
- F.F.
- O.H.
- F.I.
- S.I.
- F.I.P.
- M.
- R.RECORD
- F.M.
- S.N.
- CMP
- RCP

SCHEDULE OF STRUCTURES

STRUCTURE	TYPE	SIZE OF PIPE	RIM	DROP	INVERT	DIRECTION	COMMENTS
220	PUBLIC LIGHTING MANHOLE	T/DEBRIS	121.62	-2.70	118.92	CABLES NORTHWEST	
270	COMBINED MANHOLE	CL CHANNEL	121.67	-15.15	106.52	NORTHEAST & SOUTHWEST	
271	GATE VALVE	TYPE	121.49	-6.55	114.94	NORTHEAST & SOUTHWEST	
656	PUBLIC LIGHTING MANHOLE	T/DEBRIS	121.28	-4.65	116.63	NORTHEAST & SOUTHWEST	NO WIRES/CABLES
666	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.99	-2.95	118.04	CABLES NORTHWEST & SOUTHEAST	
674	CATCH BASIN	T/DEBRIS	120.29	-5.80	114.49		18" DIAMETER CONC. CYLINDRICAL STRUCTURE. FULL OF WATER.
687	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.47	-3.20	117.27		NO CABLES VISIBLE
692	CATCH BASIN	BOTTOM	119.57	-3.45	116.12		FULL OF WATER
695	PUBLIC LIGHTING MANHOLE	BOTTOM	120.00	-2.74	117.26	CABLES NORTH & SOUTH	
700	PUBLIC LIGHTING MANHOLE	T/DEBRIS	119.56	-4.85	114.71	CABLES EAST & WEST	
706	TELEPHONE MANHOLE	BOTTOM	120.37	-5.89	114.48	CABLES SOUTH	LINES POSSIBLY CUT
707	TELEPHONE MANHOLE	BOTTOM	120.50	-5.96	114.54	CABLES EAST & WEST	
732	PUBLIC LIGHTING MANHOLE	T/DEBRIS	119.94	-8.50	111.44	CABLES NORTH, EAST, SOUTH & WEST	
733	PUBLIC LIGHTING MANHOLE	T/DEBRIS	119.66	-6.65	113.01	CABLES NORTHWEST, NORTHEAST, SOUTHEAST, & SOUTHWEST	
734	UNKNOWN MANHOLE		120.48				UNABLE TO OPEN- PAVED OVER
737	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.53	-4.00	116.53	CABLES NORTHWEST & SOUTHEAST	
738	CATCH BASIN	T/DEBRIS	120.33	-4.50	115.83		18" DIAMETER CONC. CYLINDRICAL STRUCTURE
1076	CATCH BASIN	T/WATER	119.35	-3.70	115.65		18" DIA. STRUCTURE. FULL OF WATER.
1079	CATCH BASIN	BOTTOM	119.35	-5.10	114.25		
1164	CATCH BASIN		119.11	-5.45	113.66	ELBOW SOUTH	12" DIA. STRUCTURE
1250	TELEPHONE MANHOLE	T/DEBRIS	120.22	-4.00	116.22	SOUTHEAST	18" DIA. STRUCTURE
1250	TELEPHONE MANHOLE	T/DEBRIS	120.48	-5.90	114.58	CABLES NORTH, EAST, & WEST	
1251	CATCH BASIN	T/WATER	119.87	-3.15	116.72		NO PIPES VISIBLE
1251	CATCH BASIN	T/DEBRIS	119.87	-4.10	115.77		18" DIA. STRUCTURE. FULL OF WATER.
1252	TELEPHONE MANHOLE	T/DEBRIS	119.98	-4.55	115.43	CABLES EAST & SOUTH	
1253	CATCH BASIN	T/WATER	119.72	-3.45	116.27		NO PIPES VISIBLE
1253	CATCH BASIN	T/DEBRIS	119.72	-5.00	114.72		18" DIA. STRUCTURE. FULL OF WATER.
1373	GATE VALVE	T/WATER	120.08	-4.00	116.08		NO PIPES VISIBLE
1465	GATE VALVE	T/WATER	119.81	-4.50	115.31		UNABLE TO DETERMINE
1466	CATCH BASIN	T/DEBRIS	119.98	-2.60	117.38		NO PIPES VISIBLE
1467	TELEPHONE MANHOLE	T/DEBRIS	118.60	-3.20	115.40	CABLES NORTH, EAST, & SOUTH	TELEPHONE, ELECTRIC, & CABLE
1475	CATCH BASIN	T/WATER	119.46	-3.00	116.46		NO PIPES VISIBLE
1475	CATCH BASIN	T/DEBRIS	119.46	-4.00	115.46		18" DIA. STRUCTURE. FULL OF WATER. OUT OF SCOPE OF DRAWING.
1476	COMBINED MANHOLE	18" CHANNEL	120.04	-8.85	110.19	EAST & WEST. FLOWS EAST.	OUT OF SCOPE OF DRAWING
1533	CATCH BASIN	T/DEBRIS	121.43	0.00	121.43		NO PIPES VISIBLE
1537	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.13	-2.40	117.73		NO CABLES VISIBLE
1540	ROUND CATCH BASIN	T/WATER	120.13	-1.20	118.93		FULL OF DEBRIS. POSSIBLY ABANDONED
1541	COMBINED MANHOLE		121.40	-5.05	116.35	EAST	
1541	COMBINED MANHOLE		121.40	-2.50	118.90	SOUTHEAST	
1541	COMBINED MANHOLE		121.40	-5.40	116.00	SOUTH	
1542	PUBLIC LIGHTING MANHOLE	T/DEBRIS	119.65	-3.10	116.55	CABLES UP & DOWN MICHIGAN AVE.	
1543	ELECTRIC MANHOLE	T/DEBRIS	119.78	-3.50	116.28	CABLES UP & DOWN MICHIGAN AVE.	PAINT MARKINGS INDICATE CABLES ALONG MICHIGAN AVE. UNABLE TO FIELD VERIFY.
1544	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.41	-3.90	116.51	CABLES SOUTHWEST & WEST	
1545	ROUND CATCH BASIN	T/WATER	120.25	-1.05	119.20		NO PIPES VISIBLE
1546	ROUND CATCH BASIN		120.37	-1.10	119.27	EAST	
1546	ROUND CATCH BASIN		120.37	-1.60	118.77	SOUTHWEST	
1550	CATCH BASIN		119.37	-2.90	116.47	NORTHERLY	
1550	CATCH BASIN		119.37	-3.65	115.72		
1550	CATCH BASIN		119.37	-2.45	116.92	SOUTHERLY. TO ROUND CATCH BASIN #1545	
1550	CATCH BASIN		119.37	-1.90	117.47	SOUTHERLY. TO ROUND CATCH BASIN #1545	
1551	ELECTRIC MANHOLE	T/DEBRIS	120.14	-6.35	113.79	CABLES NORTHERLY & UP & DOWN MICHIGAN AVE.	
1672	GATE VALVE	T/WATER	120.34	-2.40	117.94		UNABLE TO DETERMINE. PAINT MARKINGS INDICATE PIPE RUNS ALONG MICHIGAN AVE.
1703	CATCH BASIN		121.15	-4.30	116.85	WEST	
1703	CATCH BASIN		121.52	-10.20	111.32	NORTHEAST	
1703	CATCH BASIN		121.52	-10.80	110.72	EAST	
1703	CATCH BASIN		121.52	-10.70	110.82	SOUTHEAST	
1703	CATCH BASIN		121.52	-10.00	111.52	WEST	
1703	CATCH BASIN		121.52	-10.70	110.82	WEST	
1734	CATCH BASIN		121.29	-4.05	117.24	EAST	INVERT PLUS OR MINUS. 18" DIA. STRUCTURE.
1876	ELECTRIC MANHOLE	T/DEBRIS	120.72	-3.25	117.47	CABLES NORTH & SOUTH	



1 EXISTING CONDITIONS
1" = 20'

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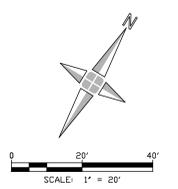
Perennial - Corktown - Phase II
1567 Church

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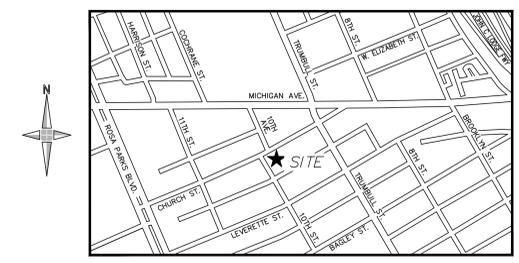
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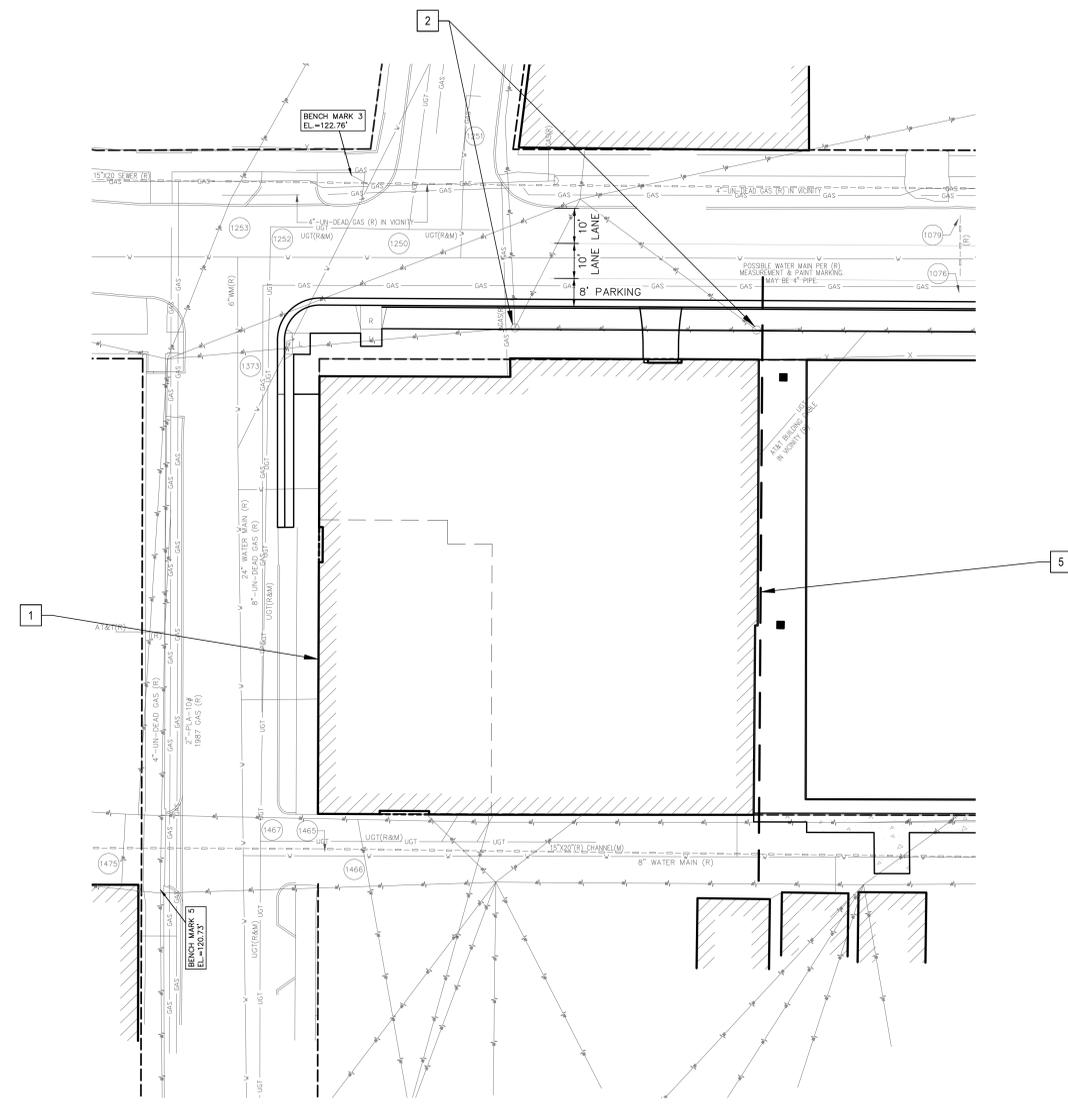
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Sheet Title	Existing Conditions
Sheet Number	C-200



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LOCATION MAP
(NOT TO SCALE)



UTILITY PLAN - LEGEND

STORM SEWER	---
SANITARY SEWER	- - - -
PERFORATED DRAIN	- . - . - .
WATER SERVICE	---
UNDERGROUND ELECTRIC	---
GAS SERVICE	---
COMMUNICATIONS	---
FIRE HYDRANT	●
STOP BOX AND VALVE	○
FIRE DEPARTMENT CONNECTION	○
CATCH BASIN	○
SANITARY SEWER DRAIN	○
SANITARY CLEANOUT	○
SANITARY MANHOLE	○
STORM MANHOLE	○
STORM SEWER CLEANOUT	○
UNDERGROUND DETENTION SYSTEM	---

UTILITY PLAN - KEY NOTES

- 1 EXISTING PROPERTY LINE, TYP.
- 2 PROTECT ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING THROUGHOUT CONSTRUCTION TYP.
- 3 WORK TO THE RIGHT OF LINE RESPECTIVE OF PARKING DECK (JOB # 2020009)

1 UTILITY PLAN

C-700 1" = 20'

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Owner

**PERENNIAL
 CORKTOWN -
 PHASE II**
 1567 CHURCH

Project

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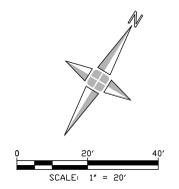
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Date

Project Number 19895-06D

Sheet Title

Sheet Number



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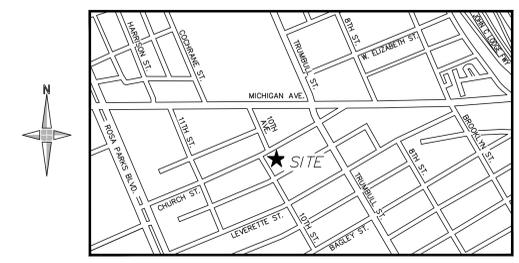
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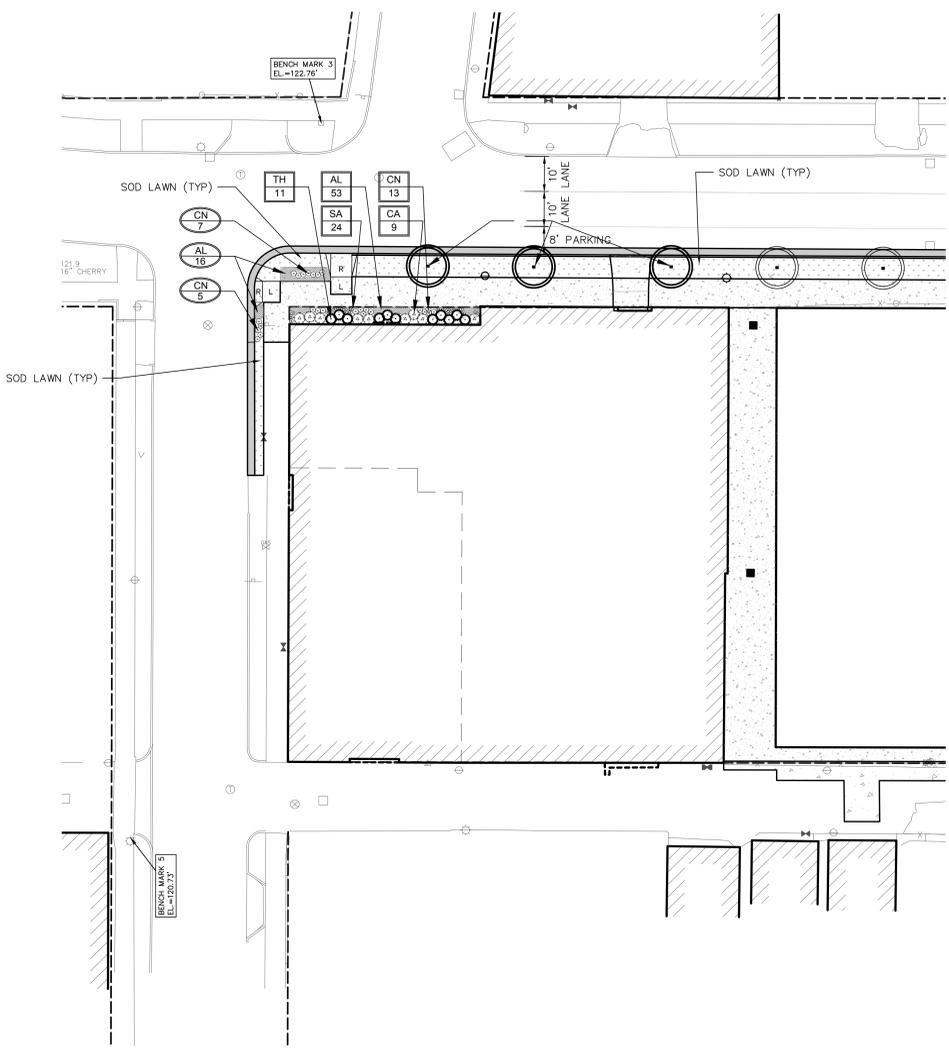
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LOCATION MAP
(NOT TO SCALE)



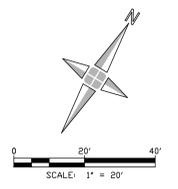
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KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/NOTES
AL	16	ALLIUM 'MILLENNIUM'	ORNAMENTAL CHIVE	#1
CN	12	CALAMINTHA nepeta 'MONTROSE WHITE'	MONTROSE WHITE CALAMINT	#1
GB	3	GINKGO biloba 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	5" CAL B&B

XX
XXX

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/NOTES
TH	11	TAXUS x media 'HICKSII'	HICKSII YEW	30-32", B&B

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/NOTES
AL	53	ALLIUM 'MILLENNIUM'	ORNAMENTAL CHIVE	#1
CA	9	CALAMAGROSTIS acutiflora	FOERSTER'S FEATHER REED GRASS	#3
CN	13	CALAMINTHA nepeta 'MONTROSE WHITE'	MONTROSE WHITE CALAMINT	#1
SA	24	SEDUM 'AUTUMN JOY'	AUTUMN JOY SEDUM	#1



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**PERENNIAL -
CORKTOWN -
PHASE II**
1567 CHURCH

Project

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CONSTRUCTION**

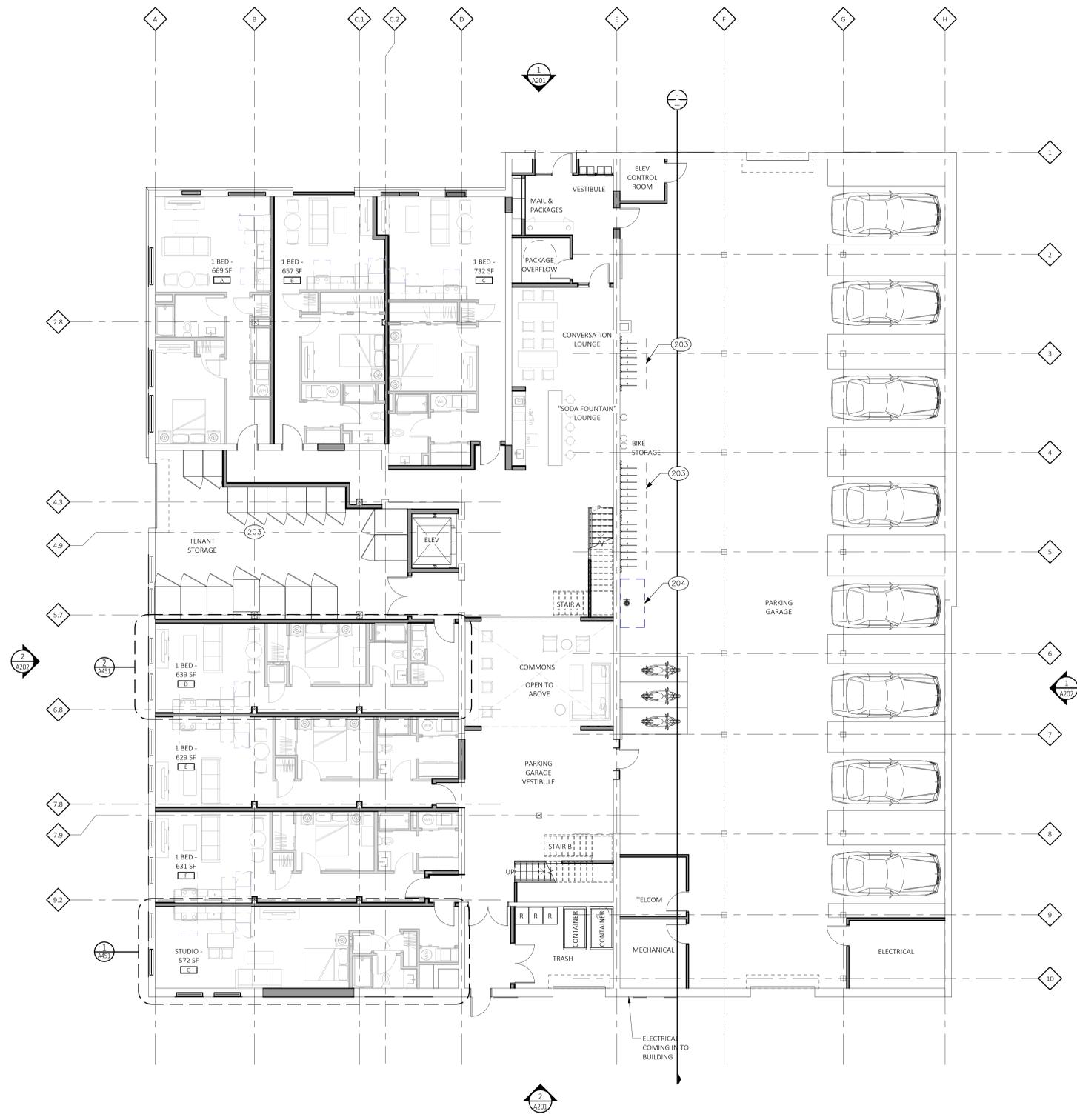
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100% SD	05-27-22
Revision	Date
Date	
Project Number	19695-06D
Sheet Title	Landscape Plan
Sheet Number	L-100

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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

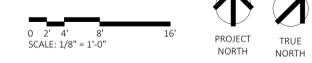
- A FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING FOR PARTITION OR FLOOR. SEE SPECIFICATIONS.
- B FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE AND SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (U.L. SYSTEM). SEE PARTITION SCHEDULE/AS01 FOR ADDITIONAL REQUIREMENTS.
- C PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS NOTED OTHERWISE. MAINTAIN DIMENSIONS MARKED 'CLEAR'. ALLOW FOR THICKNESS OF FINISHES.
- D COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- E CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED. COORDINATE LOCATIONS AND EXTENTS OF BLOCKING WITH PRODUCT MANUFACTURERS AND SHOP DRAWINGS.
- F LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
- G ALL INTERIOR GLAZING INCL. DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING. UNLESS NOTED OTHERWISE.
- H CONTRACTOR SHALL PROVIDE AND INSTALL CORNER GUARDS (CG) AS IDENTIFIED ON PLANS. CG SHALL BE FULL HEIGHT FROM TOP OF BASE TO CEILING. TYP. EXCEPT AT WWV - INSTALL FROM TOP OF WWV TO CLG.
- I RECESSED ITEMS GREATER THAN 16 SQ. IN. IN RATED AND/OR SMOKE WALLS, INCLUDING ELEC PANELS, ELEC DUCTS, MED GAS VALVE BOXES, FIRE EXT CABINETS, ETC. SHALL BE BACKED WITH 5/8" TYPE 'X' GYPSUM BOARD TO MAINTAIN RATING FIRE WALL.
- J SEMI-RECESSED FIRE EXTINGUISHER (FE) ARE SHOWN ON PLAN - SEE PARTITION SCHEDULE/AS01 FOR TYPICAL DETAILS. FINAL LOCATION OF FIRE EXTINGUISHERS SHALL BE REVIEWED IN FIELD WITH BUILDING OFFICIAL PRIOR TO INSTALLATION ROUGH-IN.
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- L COORDINATE WITH ROOM FINISH AND MATERIAL SCHEDULE.
- M COORDINATE WITH ENLARGED ROOM PLAN FOR ADDITIONAL REQUIREMENTS.
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WORK IN EXISTING STRUCTURES

- O WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASUREMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASUREMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASUREMENT.
- P WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
- Q PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
- R WHERE EXISTING FIRE-RESISTANCE RATED PARTITIONS ARE DAMAGED OR HAVE EXISTING OPENINGS, PARTITION TO BE PATCHED AND REPAIRED WITH MATERIALS MATCHING THE EXISTING ASSEMBLY TO MEET THE REQUIRED FIRE RESISTANCE RATING. CONTRACTOR TO REVIEW THE CONDITION OF ALL PARTITIONS IN THE FIELD.
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- X WHERE SLAB ON GRADE REMOVAL IS REQUIRED FOR UTILITY PLACEMENT REFER TO TYPICAL CONCRETE SLAB INFILL DETAIL ON SHEET A___

CONSTRUCTION KEYNOTES ###

- 109 OUTLINE OF SKYLIGHT ABOVE
- 122 EXISTING FLOOR OPENING TO BE INFILLED - REFER TO STRUCTURAL FOR DETAILS
- 203 BICYCLE RACKS - WALL MOUNTED -
- 204 BICYCLE REPAIR STATION -



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Date _____ PERMIT DATE _____

Project Number 2022006

Sheet Title
**FIRST FLOOR
PLAN**

Sheet Number

A101

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SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

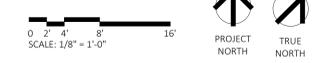
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CONSTRUCTION KEYNOTES ###

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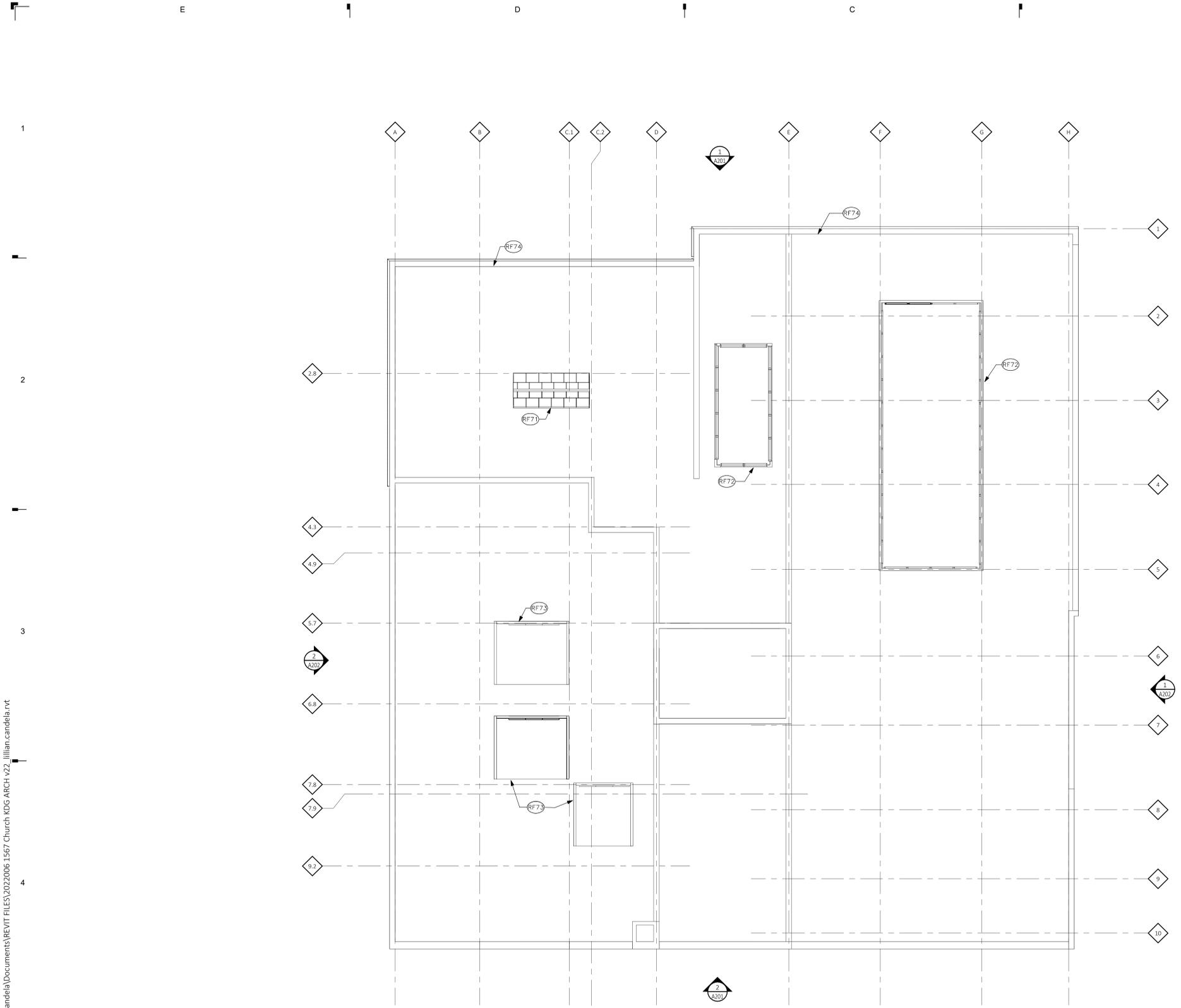
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Project Number 2022006

Sheet Title
SECOND FLOOR PLAN

Sheet Number

A102



ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOFING GENERAL NOTES

- A CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL, MEP, AND STRUCTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.
- B DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM AND COORDINATE.
- C REFER TO NOMENCLATURE FOR TYPE OF ROOF SYSTEM. AREAS ARE MARKED WITH DESIGNATED LETTER, SEE ROOF PLAN AND NOMENCLATURE.
- D MINIMUM SLOPE ALLOWABLE ON THE ROOF SHALL BE NO LESS THAN 1/4" PER FOOT. CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS OVER 20" IN WIDTH.
- E CONTRACTOR TO ENSURE RUNOFF PITCHES AWAY FROM ROOF EXPANSION JOINTS AND ROOF AREA SEAMS. ELEVATE ROOF EXPANSION JOINTS A MINIMUM OF 8" ABOVE THE ROOF MEMBRANE.
- F ALL CRICKET AND TAPERES SHALL BE INSTALLED WITH A FINISH 1/4" PER FOOT MIN. SLOPE. CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS.
- G ALL PIPING, CONDUITS, ETC. SHALL BE A MIN. 10" ABOVE ROOF SURFACE. PROVIDE PORTABLE PIPE HANGERS WITH PROTECTION PADS.
- H PROVIDE 22 GAUGE STAINLESS STEEL, 2D FINISH, TREATED WOOD CURB AND BOX HOOD AT ALL GAS LINE AND WATER LINE ROOF PENETRATIONS. SEE A321 FOR TYPICAL ROOF DETAILS.
- I ISOLATE ALL HEAT PIPES/FLUES AS RECOMMENDED & OUTLINED IN THE NRCA MANUAL FOR ISOLATED STACK FLASHING. REFER TO MEP DRAWINGS FOR SIZE AND LOCATION OF DECK PENETRATIONS AND ROOFTOP EQUIPMENT.
- J PROVIDE WALKWAY PROTECTION PADS AROUND ALL ROOF HATCHES, MECHANICAL UNITS, AT ROOF TOP ACCESS DOORS, AND LADDERS (TOP & BOTTOM).
- K CONTRACTOR SHALL REFER TO A321 FOR TYPICAL ROOF DETAILS IN ADDITION TO DETAILS SPECIFICALLY NOTED ON PLANS.
- L CONTRACTOR TO ENSURE ALL ROOFTOP PENETRATIONS (EQUIPMENT, SOIL STACKS, ETC.) ARE INSTALLED MIN. 2'-0" FROM OTHER DECK PENETRATIONS, RISE WALLS, AND ROOF EDGE.
- M THROUGH WALL BASE FLASHING MIN. HEIGHT 10" AND MAX. HEIGHT 20" FROM FINISH DECK. DO NOT STEP THROUGH WALL FLASHING CLOSER THAN 5'-0" FROM CORNERS.
- N LOCATE PERIMETER DRAINS MAX. 6" FROM EDGE TYPICAL UNLESS SHOWN OTHERWISE.
- O CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE.
- P OVERFLOW DRAINS SHALL BE SET 2" HIGHER THAN MAIN ROOF DRAIN ELEVATIONS UNLESS NOTED OTHERWISE. OVERFLOW DRAINS SHALL NOT HAVE STRAINERS UNLESS REQUIRED BY LOCAL CODES.
- Q AVOID THE USE OF PITCH PANS ON LOW-PITCH ROOFS EXCEPT WHERE NO OTHER SOLUTION CAN BE USED.
- R SECURE NAILERS AND CANT STRIPS TO ROOF DECK NOT TO PARAPETS OR ADJACENT WALLS, TYPICAL.
- S CONTRACTOR SHALL PROVIDE ALL EQUIPMENT CURBS AND STANDS NECESSARY FOR ROOFTOP EQUIPMENT.

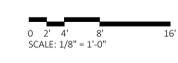
REROOFING GENERAL NOTES

- A THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING, OCCUPANTS, AND WORKERS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS AND COMPLY WITH ALL APPLICABLE REGULATIONS INCLUDING OSHA SAFETY REGULATIONS FOR ROOF REPLACEMENT AND DEMOLITION OPERATIONS.
- B THE CONDITION OF THE EXISTING ROOF ASSEMBLY INCLUDING ROOF COVERING, SUBSTRATE AND DECKING IS UNKNOWN AND MAY BE DAMAGED OR DETERIORATED.
- C CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- D THE CONTRACTOR SHALL REMOVE AND REINSTALL ALL EXISTING ROOF OR WALL MOUNTED EQUIPMENT AND ACCESSORIES TO REMAIN IN AREAS OF ROOF REPLACEMENT AS NECESSARY TO COMPLETE THE WORK. ALL CURBED ROOF PENETRATIONS SHALL EXTEND A MIN. OF 12" ABOVE THE FINISHED ROOF SURFACE. PROVIDE OR MODIFY EXISTING CONSTRUCTION WITH NEW TREATED WOOD BLOCKING AS NECESSARY. FIELD VERIFY SIZE, QUANTITY, AND LOCATION OF ALL ROOF PENETRATIONS, EQUIPMENT AND ACCESSORIES. MODIFY/EXTEND EXISTING CONTROL WIRING, CONDUIT, DUCTWORK OR PIPING AS NECESSARY. NOTIFY THE OWNER AND COORDINATE ANY INTERRUPTION IN EQUIPMENT SERVICE PRIOR TO REMOVAL.
- E PROTECT EXISTING UTILITIES DURING CONSTRUCTION. FLASH ALL UTILITY, CONDUIT, AND PIPING PENETRATIONS IN ACCORDANCE WITH THE ROOF MANUFACTURER'S PUBLISHED INSTRUCTIONS. FIELD VERIFY SIZE, QUANTITY AND LOCATION.
- F ALL EXISTING FINISHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL IN MATERIAL AND APPEARANCE TO THAT WHICH EXISTED BEFORE CONSTRUCTION BEGAN.
- G CONTRACTOR TO MAINTAIN DRAINAGE FLOWS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK.
- H CONTRACTOR TO REMOVE EXISTING ROOFING MATERIALS AT PARAPET WALL AND INSPECT CONDITION OF EXISTING PARAPET WALL. CONTRACTOR SHALL REPORT TO ARCHITECT ANY UNSTABLE CONDITIONS REQUIRING REPAIR PRIOR TO PROCEEDING WITH WORK.
- I CONTRACTOR SHALL PROVIDE PLYWOOD OR COVER BOARD BEHIND MEMBRANE ROOFING AT ALL EXISTING WALL SURFACES TOO ROUGH FOR PROPER INSTALLATION.

CONSTRUCTION KEYNOTES ###

- RF71 EXISTING METAL FRAMED SKYLIGHT
- RF72 EXISTING WOOD FRAMED ROOF MONITOR
- RF73 EXISTING WOOD FRAMED SAWTOOTH SKYLIGHT
- RF74 SALVAGE COPING FROM INTERIOR BEARING WALLS AND REINSTALL ON EXTERIOR FACING PARAPETS WHERE MISSING, TYP.

ROOF LEGEND	
KEY TO ROOF PLAN	
	SCUPPER AND DOWNSPOUT
	DOWNSPOUT
	ROOF DRAIN
	GUTTER
	GUTTER SLOPE
	ROOF/TAPERED INSULATION SLOPE
	HATCH DENOTES EXTENT OF PROTECTIVE ROOF OVERLAYMENT, TYPICAL AT ALL GREASE DUCT EXHAUSTS. REFER TO SPECIFICATIONS.



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Project Number 2022006

Sheet Title
ROOF PLAN

Sheet Number

A103

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1
2
3
4
5



FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A APPLY SEALANT WHEREVER WALLCOVERING MEETS A DISSIMILAR SURFACE (I.E. WALLCOVERING TO CEILING).
- B PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR CEILING MOUNTED FIXTURES (LIGHT FIXTURES, FANS, ETC.).
- C ALL ABOVE CEILING SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE CEILING HEIGHTS DOCUMENTED AND CEILING FIXTURES SPECIFIED.
- D CEILING ELEMENTS (LIGHTING FIXTURES, MECHANICAL DIFFUSERS, SPRINKLER HEADS, ETC.) ARE SHOWN FOR LAYOUT AND DESIGN INTENT ONLY. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- E REMOVE OR PROTECT IN PLACE ALL CONSTRUCTION ITEMS THAT ARE CALLED OUT TO REMAIN, BE REUSED OR BE SALVAGED (I.E. SUPPLY GRILLES, RETURN AIR GRILLE, MAINTENANCE PANEL, EXHAUST GRILLES, FA DEVICES, THERMOSTATS, CABLE TELEVISION DEVICES, IN-WALL PHONE OUTLETS, SPRINKLER HEADS, ETC.)
- F CLEAN ALL ITEMS TO REMAIN (I.E. SPRINKLER ESCUTCHEONS, FIRE ALARM DEVICES, ETC.) OF ALL OLD PAINT, OVERSPRAY, RESIDUE, ETC. PRIOR TO APPLICATION OF NEW ROOM FINISHES.
- G VERIFY THAT ACCESS PANELS OF TYPE SPECIFIED ARE INSTALLED IN WALLS AND NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING, OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE THE FIRE RATED TYPE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR. COORDINATE THE LOCATIONS AND SIZES WITH THE ARCHITECT PRIOR TO INSTALLATION.
- H REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION INCLUDING CEILING FINISHES.

AUTOMATIC SPRINKLER SYSTEM DESIGN REQUIREMENTS:

- I SPRINKLER HEADS LOCATED IN ACOUSTIC CEILING TILE ARE TO BE CENTERED IN TILE AND HEADS IN GYPSUM BOARD CEILINGS ARE TO BE CONCEALED HEAD TYPE TYPICALLY.
- J SPRINKLER HEAD LOCATIONS MAY NOT BE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS. INSTALL SUFFICIENT HEADS IN ALL SPACES TO PROVIDE 100% COVERAGE AS REQUIRED UNDER NFPA 15. SUBMIT LOCATIONS AND SYSTEM CONFIGURATION FOR REVIEW.
- K MAINTAIN 18" MINIMUM VERTICAL CLEARANCE BETWEEN THE BOTTOM OF THE EXTENDED SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, LOCKERS, ETC.
- L THE DESIGN-BUILD SPRINKLER CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE BUILDING CODES, INCLUDING THE REQUIREMENTS UNDER THE MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS CHAPTER 14 PERFORMANCE COMPLIANCE METHODS. FOR PROJECTS IN BUILDINGS LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES OR IN A LOCALLY DESIGNATED HISTORIC BUILDING, ALL SPRINKLER INSTALLATIONS MUST MEET THE SECRETARY OF INTERIORS STANDARDS FOR REHABILITATION.
- M WHERE EXTERIOR WALLS ARE REQUIRED TO BE FIRE RATED AND OPENINGS THROUGH THOSE WALLS ARE REQUIRED TO BE PROTECTED, PROVIDE APPROVED WATER CURTAINS AT ALL OPENINGS REQUIRED TO BE PROTECTED, PER 705.8.2 OF THE MBC. FIRE DOORS, FIRE SHUTTERS, AND FIRE WINDOW ASSEMBLIES WILL NOT BE PROVIDED UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. SEE LIFE SAFETY DRAWINGS AND CODE SUMMARY FOR LOCATIONS OF FIRE RATED WALL ASSEMBLIES.
- N ALL ELEMENTS OF THE SPRINKLER SYSTEM, INCLUDING MAIN LINES, BRANCHES, AND HEADS, MUST BE CONCEALED UNLESS NOTED OTHERWISE. SOFFITS WILL NOT BE PROVIDED IN HISTORIC SPACES UNLESS CLEARLY INDICATED. COORDINATE PLACEMENT OF SPRINKLER SYSTEM ELEMENTS IN ALL HISTORIC SPACES WITH THE ARCHITECT BEFORE INSTALLATION BEGINS. COORDINATE THE CUSTOM COLOR/FINISH OF THE CONCEALED HEAD PLATES WITH THE ARCHITECT.
- O WHERE CONCEALMENT OF SPRINKLER SYSTEM ELEMENTS IS TECHNICALLY INFEASIBLE, THE FIRE PROTECTION CONTRACTOR MUST IDENTIFY THE AFFECTED AREAS TO THE ARCHITECT PRIOR TO COMPLETING SPRINKLER DESIGN. AT ALL EXPOSED CONDITIONS, EXPOSED SPRINKLER SYSTEM ELEMENTS ARE REQUIRED TO BE METAL, AND PAINTED THE SAME CUSTOM COLOR AS THE CEILING OR EXPOSED CONSTRUCTION ABOVE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A PAINT APPROVED BY THE PIPE MANUFACTURER.

SUSPENDED CEILING NOTES:

- A SUSPENDED CEILING FRAMING SYSTEMS TO RESIST A LATERAL FORCE OF 20% OF THE WEIGHT OF THE CEILING ASSEMBLY AND ANY LOADS TRIBUTARY TO THE SYSTEM. USE A MINIMUM CEILING WEIGHT OF 5 POUNDS PER SQUARE FOOT TO DETERMINE THE LATERAL FORCE.
- B WHERE CEILING LOADS DO NOT EXCEED 5 POUNDS PER SQUARE FOOT AND WHERE PARTITIONS ARE NOT CONNECTED TO THE CEILING SYSTEM PROVIDE LATERAL SUPPORT BY FOUR WIRES OF MINIMUM NO. 12 GAUGE SPAYED IN FOUR DIRECTIONS 90 DEGREES APART, AND CONNECTED TO THE MAIN RUNNER WITHIN 2" OF THE CROSS RUNNER AND TO THE STRUCTURE ABOVE AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. PROVIDE THESE LATERAL SUPPORT POINTS 12" O.C. IN EACH DIRECTION WITH THE FIRST POINT WITHIN 4'-0" FROM EACH WALL.
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- E SUPPORT LIGHT FIXTURES AND AIR DIFFUSERS DIRECTLY BY WIRES TO THE STRUCTURE ABOVE.
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- G FINISH HVAC DIFFUSERS, DRAPERY PRODUCTS AND SPEAKER GRILLES TO MATCH ADJACENT FINISH UNLESS NOTED OTHERWISE.

CONSTRUCTION KEYNOTES ###

LEGEND			
KEY TO CEILING			
	GYPSUM BOARD		EMERGENCY LIGHTING
	EXP EXPOSED CONSTRUCTION		EXHAUST FAN
	#'-#" CEILING HEIGHT		TRACK LIGHTING
	RECESSED DOWN LIGHT		CABLE LIGHT
	PENDANT LIGHT FIXTURE		UNDER CABINET LIGHT FIXTURE
	SURFACE MOUNTED LIGHT FIXTURE		ACCESS PANEL
	WALL SCONCE		SUPPLY AIR DIFFUSER
	EXIT SIGN		RETURN AIR DIFFUSER
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	PARTITION PENETRATING CEILING PLANE (RATED)		
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Revision Date

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Project Number 2022006

Sheet Title
**FIRST FLOOR
REFLECTED
CEILING PLAN**

Sheet Number

A111

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SECOND FLOOR REFLECTED CEILING PLAN

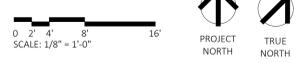
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A APPLY SEALANT WHEREVER WALLCOVERING MEETS A DISSIMILAR SURFACE (I.E. WALLCOVERING TO CEILING).
 - B PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR CEILING MOUNTED FIXTURES (LIGHT FIXTURES, FANS, ETC.).
 - C ALL ABOVE CEILING SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE CEILING HEIGHTS DOCUMENTED AND CEILING FIXTURES SPECIFIED.
 - D CEILING ELEMENTS (LIGHTING FIXTURES, MECHANICAL DIFFUSERS, SPRINKLER HEADS, ETC.) ARE SHOWN FOR LAYOUT AND DESIGN INTENT ONLY. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
 - E REMOVE OR PROTECT IN PLACE ALL CONSTRUCTION ITEMS THAT ARE CALLED OUT TO REMAIN, BE REUSED OR BE SALVAGED (I.E. SUPPLY GRILLES, RETURN AIR GRILLE, MAINTENANCE PANEL, EXHAUST GRILLES, FA DEVICES, THERMOSTATS, CABLE TELEVISION DEVICES, IN-WALL PHONE OUTLETS, SPRINKLER HEADS, ETC.)
 - F CLEAN ALL ITEMS TO REMAIN (I.E. SPRINKLER ESCUTCHEONS, FIRE ALARM DEVICES, ETC.) OF ALL OLD PAINT, OVERSPRAY, RESIDUE, ETC. PRIOR TO APPLICATION OF NEW ROOM FINISHES.
 - G VERIFY THAT ACCESS PANELS OF TYPE SPECIFIED ARE INSTALLED IN WALLS AND NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING, OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE THE FIRE RATED TYPE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR. COORDINATE THE LOCATIONS AND SIZES WITH THE ARCHITECT PRIOR TO INSTALLATION.
 - H REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION INCLUDING CEILING FINISHES.
- AUTOMATIC SPRINKLER SYSTEM DESIGN REQUIREMENTS:**
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Project Number 2022006

Sheet Title
**SECOND FLOOR
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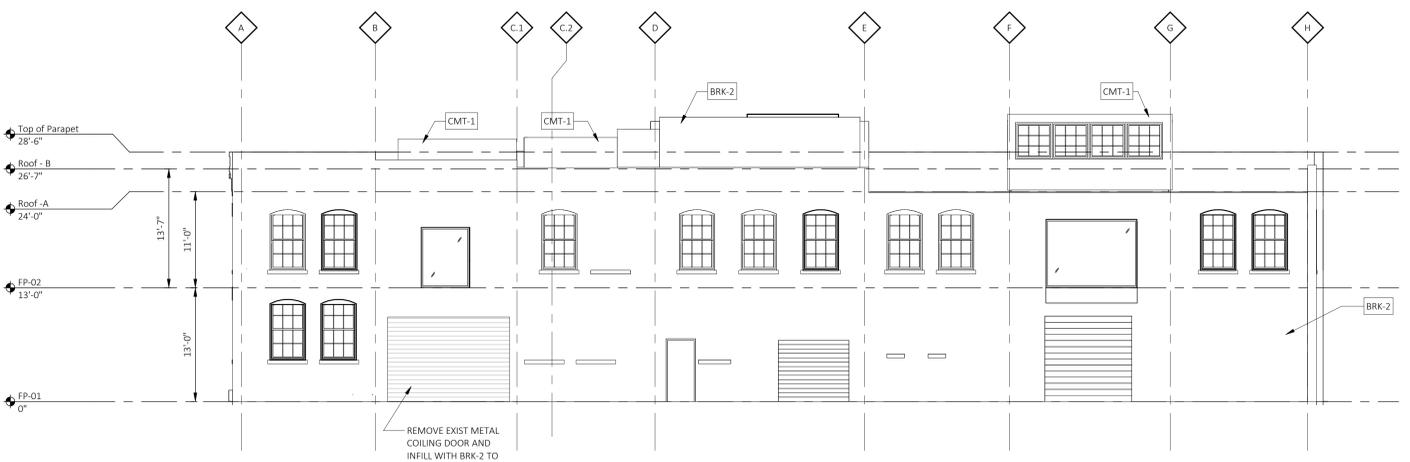
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NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
- C REFER TO ROOF PLAN FOR PARAPET AND OVERHAND INFORMATION.
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- E SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REINTEGRANT CORNERS.
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RESTORATION GENERAL NOTES

- A. MASONRY/STONE RESTORATION CONTRACTOR ("SUBCONTRACTOR") TO PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, SUPERVISION, PERMITS AND ANY OTHER COSTS OR EXPENSES NECESSARY TO COMPLETE THE WORK. SUBCONTRACTOR JOB MOBILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ANY NECESSARY WORK STATION AND JOB TRAILER, MAST CLIMBING PLATFORMS, AERIAL LIFTS, SWING STAGES, BARRICADES AND WALK THRU SCAFFOLD AS NEEDED.
- B. BUILDING RESTORATION TO INCLUDE ALL TERMS, CONDITIONS AND SPECIFICATIONS OF ORIGINAL CONTRACT AND ANY ADDITIONAL WORK NECESSARY TO MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES. THIS INCLUDES ALL WORK NECESSARY OVER AND ABOVE THAT SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND OTHER CONSTRUCTION DOCUMENTS, INCLUDING ALL NOTES REGARDLESS OF TIME AND MATERIAL NECESSARY TO EXECUTE THIS WORK. ANY AREAS INDICATED WITHIN DRAWINGS ARE ONLY SUGGESTIVE IN NATURE. MASON TO MEET WITH ARCHITECT AND OWNER TO CONFIRM THE SCORE OF WORK.
- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE, AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- E. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- F. SURFACES TO BE PRE-WET WITH CLEAN WATER. CLEANING SOLUTIONS TO NOT REMAIN ON SURFACES FOR MORE THAN 5 MINUTES FOLLOWED IMMEDIATELY BY LOW-PRESSURE FLOOD RINSE, UNLESS NOTED OTHERWISE IN MASONRY CLEANING SPECIFICATION. CLEANING IS TO BRING MASONRY / STONE UNIT AS CLOSE AS POSSIBLE TO ORIGINAL COLOR WITHOUT BURNING OR ABRASION.
- G. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST 'CLEANED' COLOR
- H. 100% OF MORTAR JOINTS TO BE VISUALLY INSPECTED. ALL MORTAR JOINTS DETERIORATED IN EXCESS OF 3/8 INCH BEYOND FACE OF MASONRY/STONE UNIT, OR EVIDENCING UNSOUNDNESS OF CRACKING WHETHER STRUCTURAL OR OTHERWISE SHALL BE REMOVED TO A DEPTH OF 1/2" MINIMUM. WRITTEN APPROVAL BY OWNER SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF REPAIR BY SATISFACTORY SUBMISSION OF MOCK-UP OF PROPOSED MORTAR JOINT.
- I. NEW MORTAR APPLIED TO ALL OPEN JOINTS SHALL BE OF NO GREATER STRENGTH THAN ORIGINAL MORTAR OR MASONRY UNITS. MORTAR COLOR, TEXTURE, CONSISTENCY AND JOINT PROFILE WILL MATCH EXISTING AS CLOSE AS POSSIBLE.
- J. APPLY NEW, TWO COMPONENT URETHANE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS MEET, AND ALL SKYWARD FACING JOINTS. BACKER ROD TO BE INSTALLED IN OPEN JOINT PRIOR TO SEALANT APPLICATION.
- K. NO ACCELERATORS OR OTHER ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN OWNER APPROVAL. ENCLOSURES AND HEAT SUFFICIENT TO PROTECT MORTAR FROM FREEZING PRIOR TO SET SHALL BE THE SOLE RESPONSIBILITY OF SUBCONTRACTOR.
- L. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- M. ALL MASONRY/STONE UNIT SHALL BE REPLACED WITH OWNER APPROVED MATERIAL WHEREIN SPALLING OR OTHER DETERIORATION ELIMINATED MORE THAN 5% OF THE MASONRY/STONE UNIT (MEASURED BY ORIGINAL BRICK OR STONE FACE AREA).
- N. INSPECT ALL TERRA COTTA UNITS FOR DAMAGE, SPALLING OR CRAZING.
- O. WHERE TERRA COTTA GLAZING HAS SPALLED AND THE CLAY SUBSTRATE IS IN GOOD CONDITION, COAT RAW CLAY WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- P. WHERE TERRA COTTA UNITS HAVE SPALLED SIGNIFICANTLY, PATCH DAMAGED AREAS WITH APPROVED MASONRY REPAIR MORTAR AS REQUIRED BY DEPTH OF DAMAGED AREA. COAT PATCHED AREA WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- Q. WHERE TERRA COTTA HAS DETERIORATED BEYOND REPAIR, REMOVE AFFECTED TERRA COTTA UNITS AND PROVIDE NEW TERRA COTTA UNITS TO MATCH EXISTING PROFILE, COLOR AND FINISH.
- R. SEE TERRA COTTA RESTORATION SPECIFICATIONS FOR APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL TERRA COTTA RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.

CONSTRUCTION KEYNOTES ###

EXTERIOR ELEVATION MATERIAL LEGEND

- BRK-1 RED BRICK - EXISTING
- BRK-2 REDDISH BROWN BRICK - EXISTING
- CMT-1 FIBER CEMENT SIDING
- MTL-1 INSULATED METAL PANEL - BLACK
- BRICK TO MATCH BRK-1
- BRICK TO MATCH BRK-2



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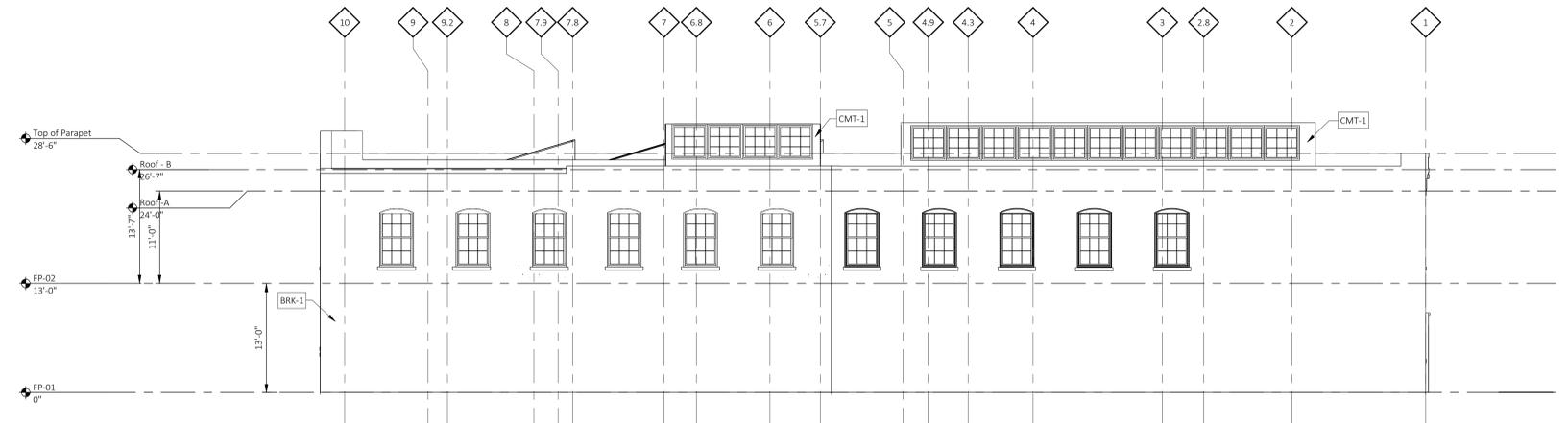
Project Number 2022006

Sheet Title
**EXTERIOR
ELEVATIONS**

Sheet Number

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EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
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- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE, AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- E. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- F. SURFACES TO BE PRE-WET WITH CLEAN WATER. CLEANING SOLUTIONS TO NOT REMAIN ON SURFACES FOR MORE THAN 5 MINUTES FOLLOWED IMMEDIATELY BY LOW-PRESSURE FLOOD RINSE, UNLESS NOTED OTHERWISE IN MASONRY CLEANING SPECIFICATION. CLEANING IS TO BRING MASONRY / STONE UNIT AS CLOSE AS POSSIBLE TO ORIGINAL COLOR WITHOUT BURNING OR ABRASION.
- G. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST' CLEANED' COLOR.
- H. 100% OF MORTAR JOINTS TO BE VISUALLY INSPECTED. ALL MORTAR JOINTS DETERIORATED IN EXCESS OF 3/8 INCH BEYOND FACE OF MASONRY/STONE UNIT, OR EVIDENCING UNSOUNDNESS OF CRACKING WHETHER STRUCTURAL OR OTHERWISE SHALL BE REMOVED TO A DEPTH OF 1/2" MINIMUM. WRITTEN APPROVAL BY OWNER SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF REPAIR BY SATISFACTORY SUBMISSION OF MOCK-UP OF PROPOSED MORTAR JOINT.
- I. NEW MORTAR APPLIED TO ALL OPEN JOINTS SHALL BE OF NO GREATER STRENGTH THAN ORIGINAL MORTAR OR MASONRY UNITS. MORTAR COLOR, TEXTURE, CONSISTENCY AND JOINT PROFILE WILL MATCH EXISTING AS CLOSE AS POSSIBLE.
- J. APPLY NEW, TWO COMPONENT URETHANE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS MEET, AND ALL SKYWARD FACING JOINTS. BACKER ROD TO BE INSTALLED IN OPEN JOINT PRIOR TO SEALANT APPLICATION.
- K. NO ACCELERATORS OR OTHER ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN OWNER APPROVAL. ENCLOSURES AND HEAT SUFFICIENT TO PROTECT MORTAR FROM FREEZING PRIOR TO SET SHALL BE THE SOLE RESPONSIBILITY OF SUBCONTRACTOR.
- L. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- M. ALL MASONRY/STONE UNIT SHALL BE REPLACED WITH OWNER APPROVED MATERIAL WHEREIN SPALLING OR OTHER DETERIORATION ELIMINATED MORE THAN 5% OF THE MASONRY/STONE UNIT (MEASURED BY ORIGINAL BRICK OR STONE FACE AREA).
- N. INSPECT ALL TERRA COTTA UNITS FOR DAMAGE, SPALLING OR CRAZING.
- O. WHERE TERRA COTTA GLAZING HAS SPALLED AND THE CLAY SUBSTRATE IS IN GOOD CONDITION, COAT RAW CLAY WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- P. WHERE TERRA COTTA UNITS HAVE SPALLED SIGNIFICANTLY, PATCH DAMAGED AREAS WITH APPROVED MASONRY REPAIR MORTAR AS REQUIRED BY DEPTH OF DAMAGED AREA. COAT PATCHED AREA WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- Q. WHERE TERRA COTTA HAS DETERIORATED BEYOND REPAIR, REMOVE AFFECTED TERRA COTTA UNITS AND PROVIDE NEW TERRA COTTA UNITS TO MATCH EXISTING PROFILE, COLOR AND FINISH.
- R. SEE TERRA COTTA RESTORATION SPECIFICATIONS FOR APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL TERRA COTTA RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.

CONSTRUCTION KEYNOTES

###

EXTERIOR ELEVATION MATERIAL LEGEND

- BRK-1 RED BRICK - EXISTING
- BRK-2 REDDISH BROWN BRICK - EXISTING
- CMT-1 FIBER CEMENT SIDING
- MTL-1 INSULATED METAL PANEL - BLACK
- BRICK TO MATCH BRK-1
- BRICK TO MATCH BRK-2



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Date PERMIT DATE

Project Number 2022006

Sheet Title
EXTERIOR ELEVATIONS

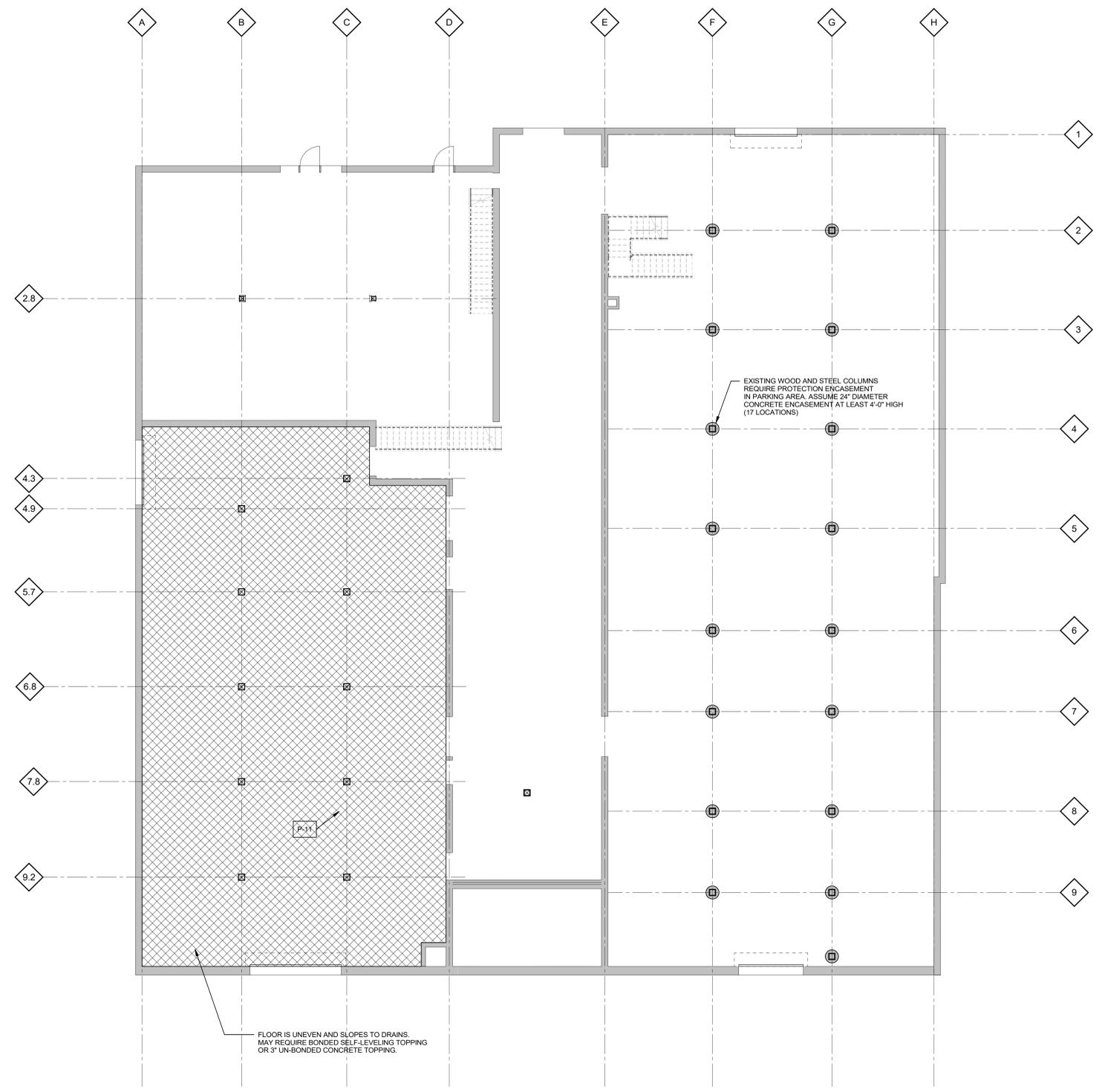
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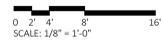
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5



FIRST FLOOR - VISUAL ASSESSMENT
SCALE: 1/8" = 1'-0"



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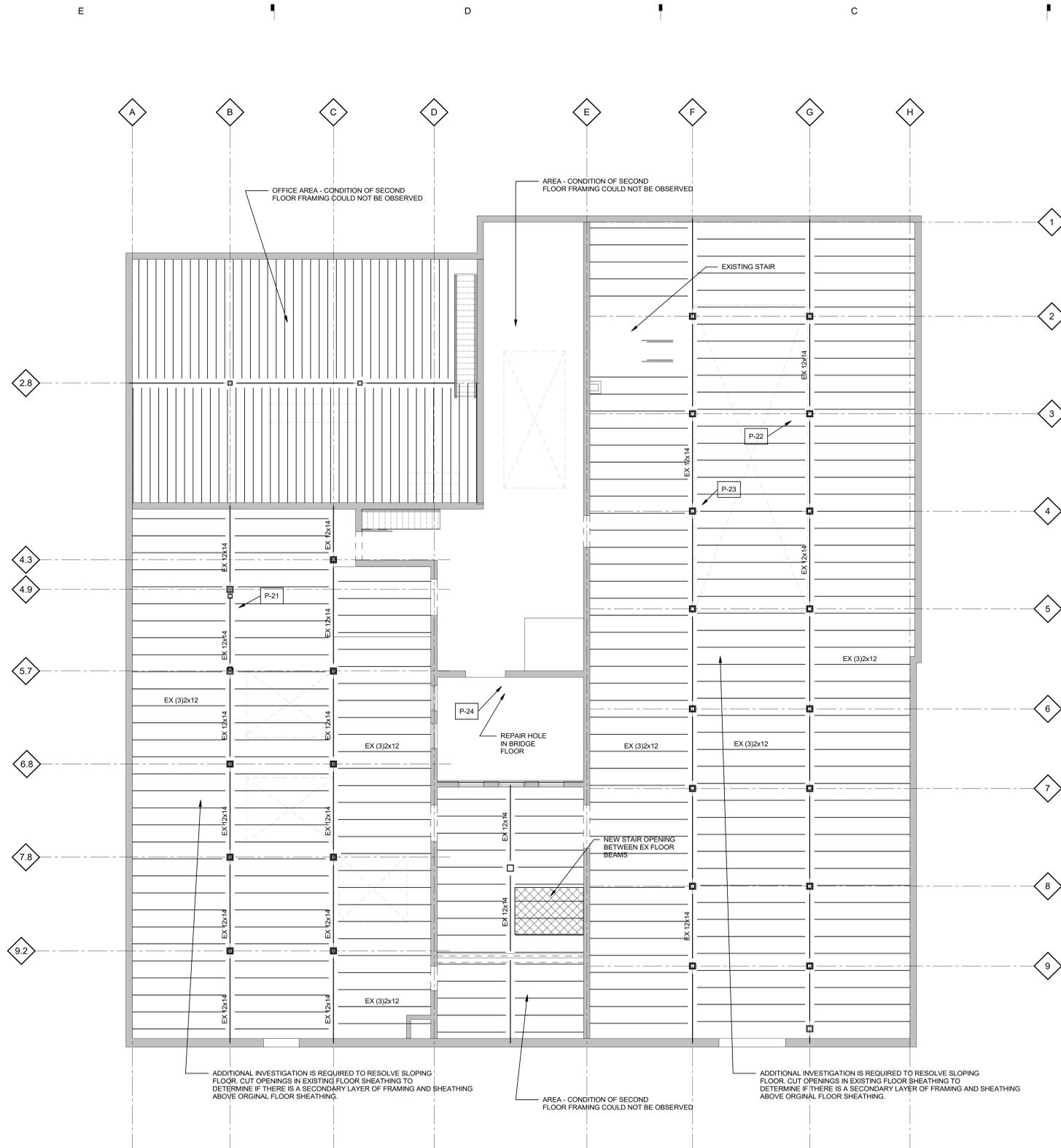
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Sheet Title
**FIRST FLOOR
VISUAL
ASSESSMENT**

Sheet Number

SA-100

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02 SECOND FLOOR FRAMING PLAN - VISUAL ASSESSMENT
 SCALE: 1/8" = 1'-0"
 NORTH

0 2' 4' 8' 16'
 SCALE: 1/8" = 1'-0"

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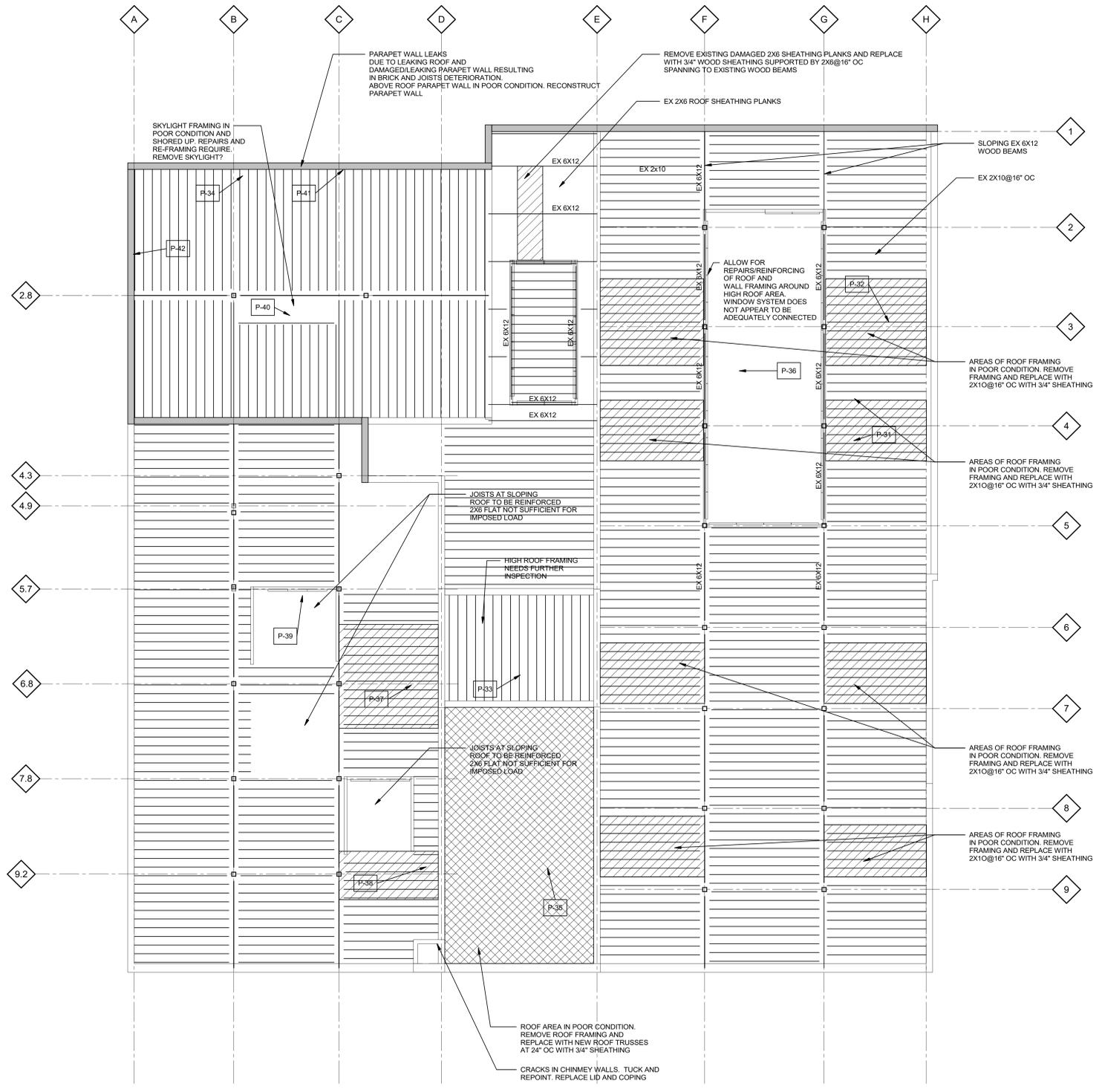
Revision _____ Date _____

Date _____ PERMIT DATE _____

Project Number _____ 2022006

Sheet Title
SECOND FLOOR FRAMING - VISUAL ASSESSMENT

Sheet Number
SA-101



P-31: STAINING, MOLD AND ROT ON ROOF SHEATHING AND JOISTS. SUBSTANTIAL REPLACEMENT OF ROOF SHEATHING AND JOISTS REQUIRED. NOTE RIPPED 2X FILLER USED TO CREATE DRAINAGE SADDLES.

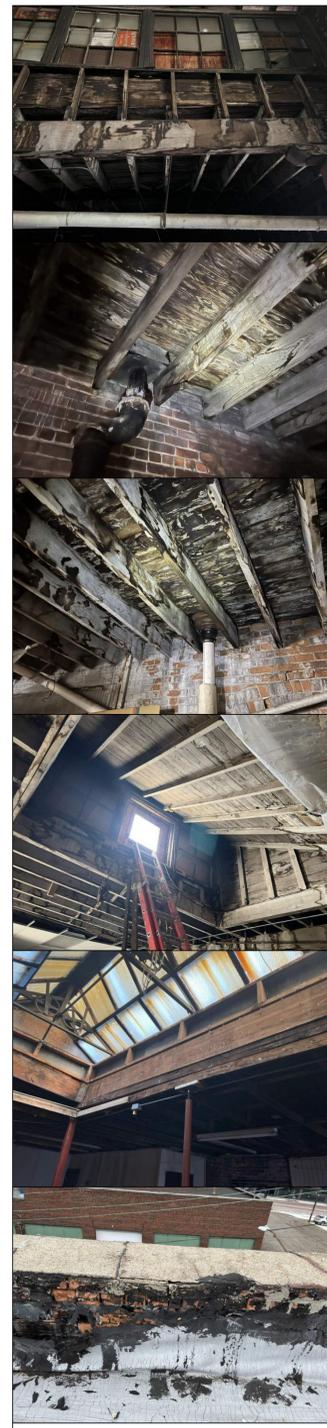
P-32: STAINING, MOLD AND ROT ON ROOF SHEATHING AND JOISTS. SUBSTANTIAL REPLACEMENT OF ROOF SHEATHING AND JOISTS REQUIRED NEAR LOW POINTS AT DRAINS.

P-33: FURTHER INSPECTION REQUIRED AT HIGH ROOF. APPEARS TO BE MODERATE DETERIORATION OF ROOF SHEATHING AND SOME DETERIORATION OF ROOF JOISTS. WALL SHEATHING PANELS MAY NEED TO BE REPLACED FOR LATERAL STABILITY.

P-34: EXTERIOR WALL BELOW PARAPET SHOWING SIGNS OF MOISTURE INFILTRATIONS AND ROT AT BEARING ENDS OF JOISTS. CAUSED BY DAMAGED ROOFING, LOOSE OR DAMAGED COPINGS AND FLASHING. REPLACE ROOFING AND FLASH OVER PARAPET WALLS.

P-35: AREA OF ROOF CURRENTLY SHORED TO BE REPLACED WITH PRE-FABRICATED WOOD TRUSSES BEARING ON NEW WOOD LEDGER.

P-42: AREA OF ROOF CURRENTLY SHORED TO BE REPLACED WITH PRE-FABRICATED WOOD TRUSSES BEARING ON NEW WOOD LEDGER.



P-36: BUMP-UP ROOF WITH SIDE LIGHT WINDOWS NEEDS REPAIR AND STABILIZATION. WINDOWS IN VERY POOR CONDITION. REPAIR AND REPLACEMENT OF WOOD POSTS BETWEEN WINDOWS MAY BE REQUIRED.

P-36: ROTTEN AND DAMAGED ROOF SHEATHING AND JOISTS AT ROOF LOW POINT (AT DRAIN).

P-37: ROTTEN AND DAMAGED ROOF SHEATHING AND JOISTS AT ROOF LOW POINT (AT DRAIN).

P-38: 2X6 FRAMING SUPPORTING SLOPING ROOF AT MONITOR WINDOWS ARE UNDERSIZED AND SAGGING. REPLACE WITH 2X8 OR 2X10.

P-40: SKYLIGHT FRAMING IN OFFICE AREA CURRENTLY SAGGING AND SHORED UP. HEADERS AND BEAMS SUPPORTING SKYLIGHT NEED REPAIR WITH NEW GALVANIZED STEEL HANGERS TO REPLACE FAILING TOE NAIL CONNECTIONS.

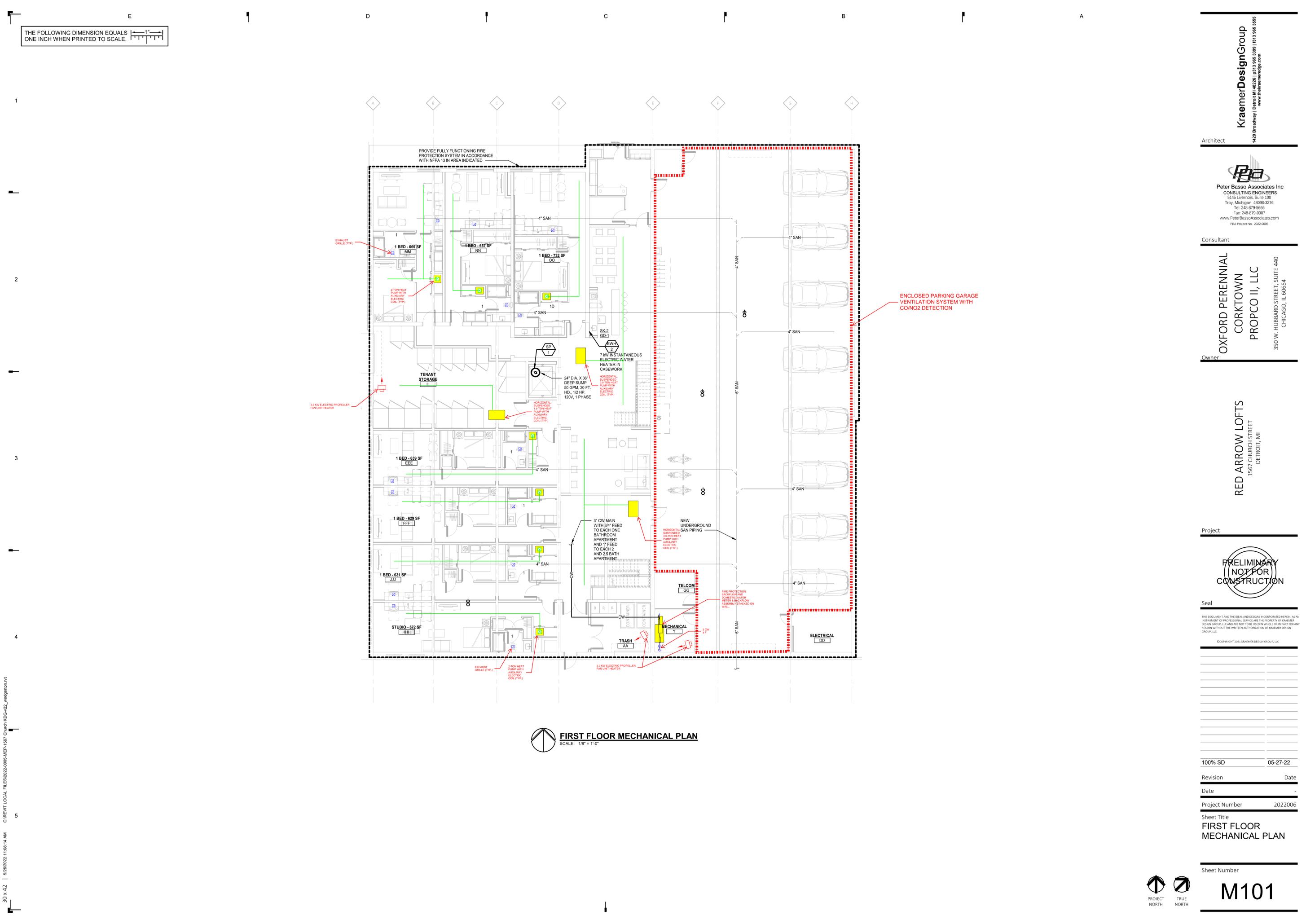
P-41: PARAPET WALL AND COPING IN VERY POOR CONDITION WALL ROTATED AND JOISTS AND BRICK DETERIORATED. RECONSTRUCT PARAPET WALL IN SHADE AREA.

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ROOF FRAMING PLAN - VISUAL ASSESSMENT
 SCALE: 1/8" = 1'-0"
 NORTH

0 2' 4' 8' 16'
 SCALE: 1/8" = 1'-0"

THE FOLLOWING DIMENSION EQUALS ONE INCH WHEN PRINTED TO SCALE.



FIRST FLOOR MECHANICAL PLAN
SCALE: 1/8" = 1'-0"

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Sheet Title
**FIRST FLOOR
MECHANICAL PLAN**

Sheet Number
M101



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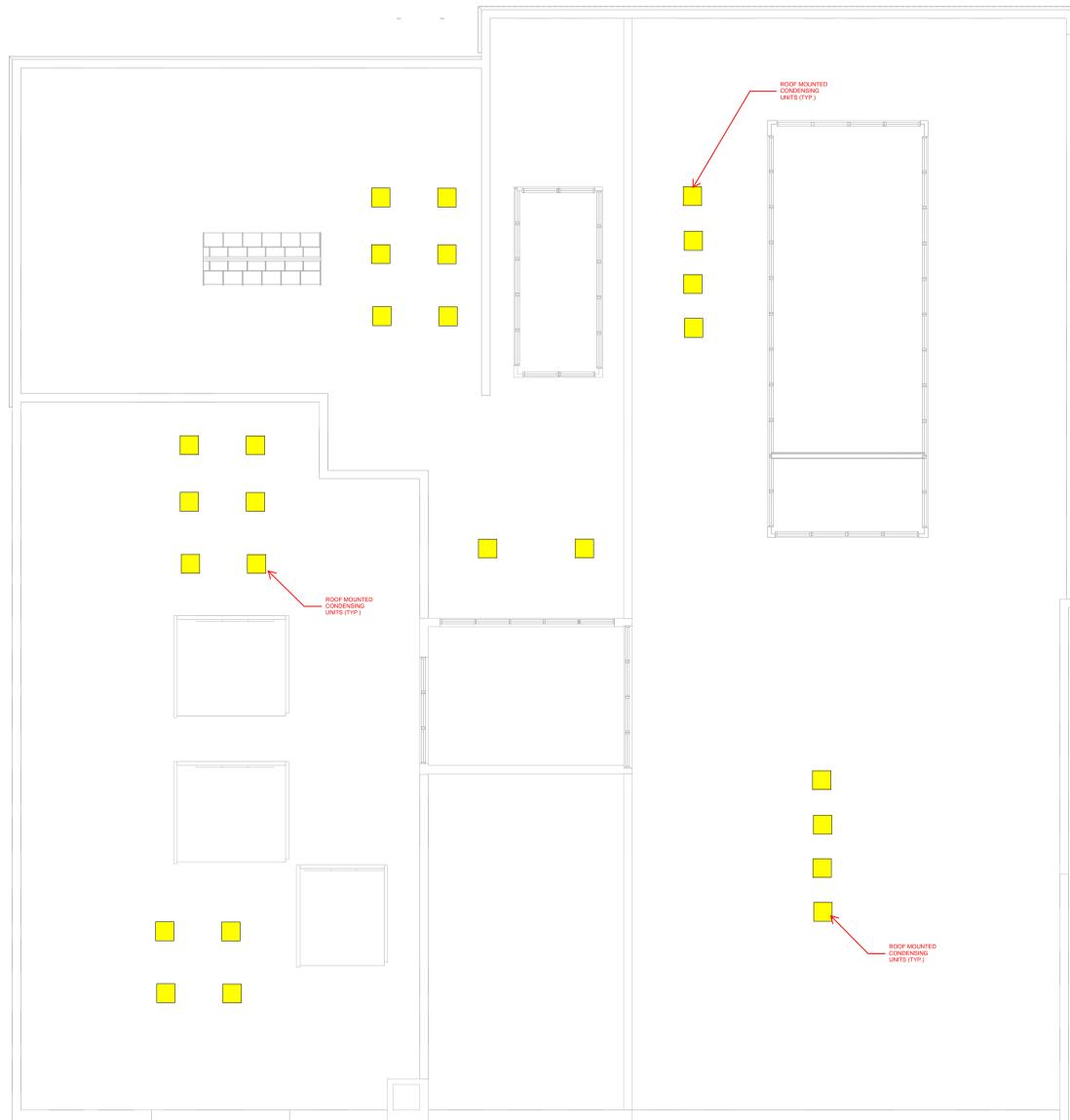
E

D

C

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ROOF MECHANICAL PLAN
SCALE: 1/8" = 1'-0"

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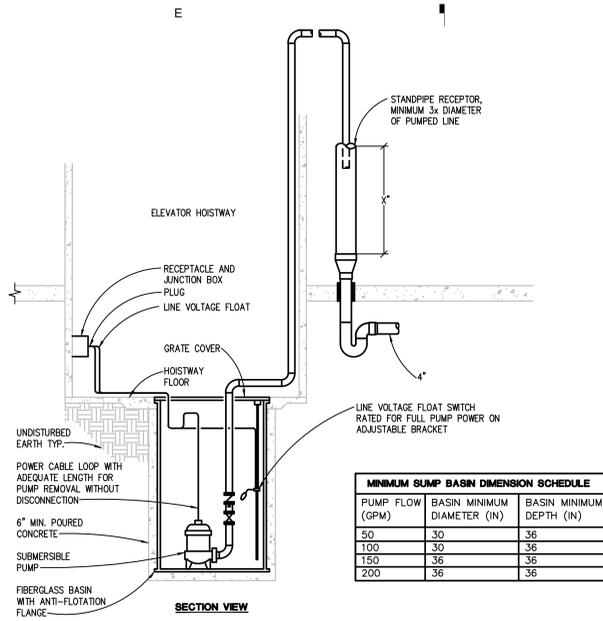
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ROOF MECHANICAL PLAN

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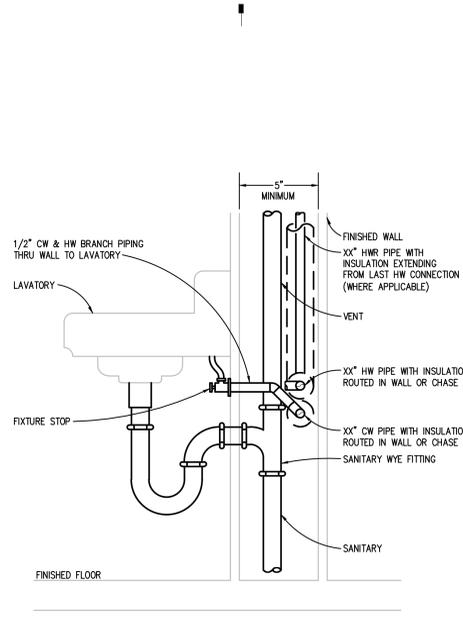
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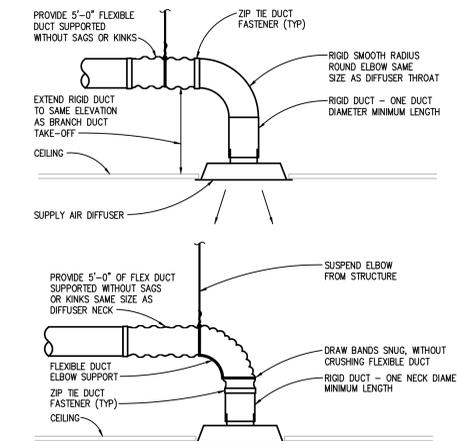
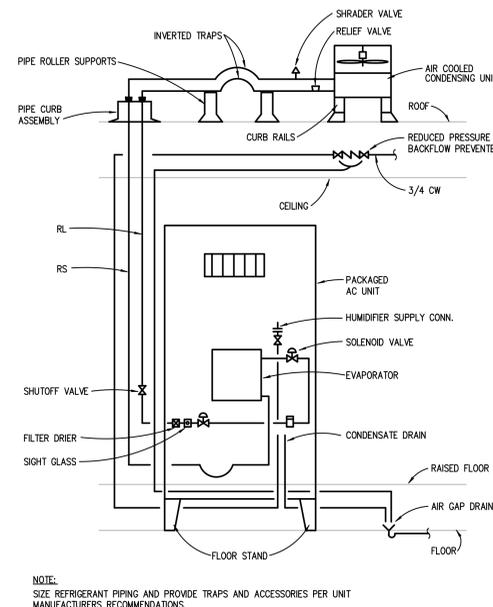
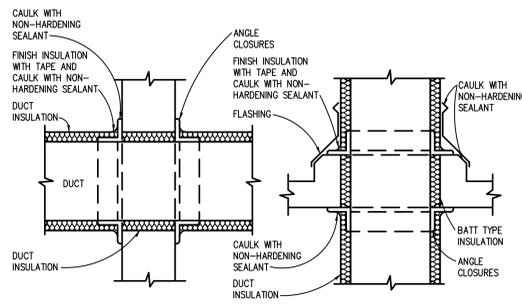
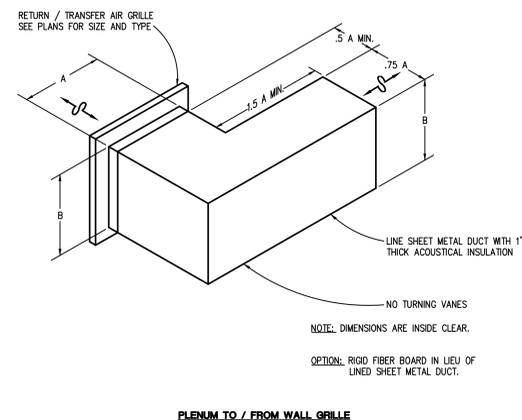
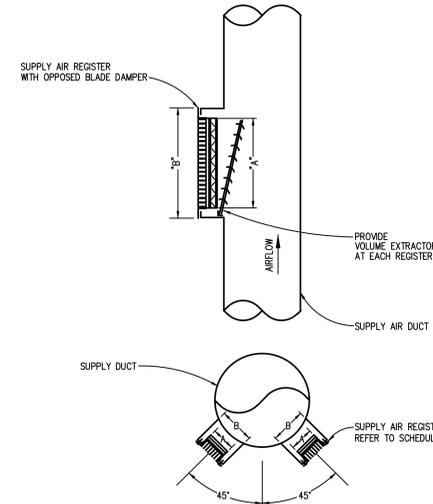
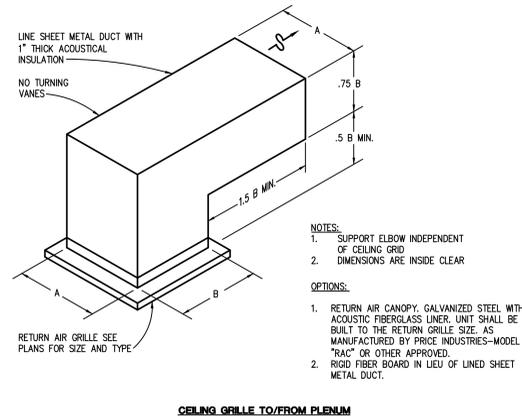
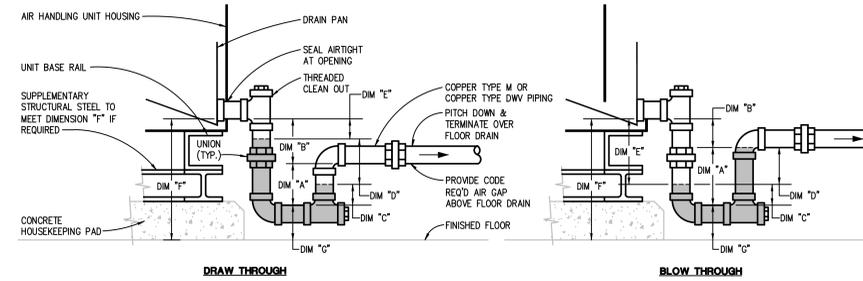


MINIMUM SUMP BASIN DIMENSION SCHEDULE		
PUMP FLOW (GPM)	BASIN MINIMUM DIAMETER (IN)	BASIN MINIMUM DEPTH (IN)
50	30	36
100	30	36
150	36	36
200	36	36



TYPE OF SYSTEM	S.P. AT DRAIN PAN (N.) (NOTE A)	DIMENSION "A" (INCHES) MIN.	DIMENSION "B" (INCHES)	DIMENSION "C" (INCHES) (TRAP SEAL)	DIMENSION "D" (INCHES)	DIMENSION "E" (INCHES)	DIMENSION "F" (INCHES)			
							DRAIN PIPE SIZE (INCHES)			
							1 1/2	2	2 1/2, 3	4
DRAW THROUGH	-5.1 TO -6	5.0	5.0	2	6	2	13.0	14.0	15.0	16.0
	-4.1 TO -5	4.5	4.5	2	5	2	12.0	13.0	14.0	15.0
	-3.1 TO -4	4.0	4.0	2	4	2	11.0	12.0	13.0	14.0
	-2.1 TO -3	3.5	3.5	2	3	2	10.0	11.0	12.0	13.0
	UP TO -2	3.0	3.0	2	2	2	9.0	10.0	11.0	12.0
BLOW THROUGH	UP TO +2	4.0	2.0	2	2	4	9.0	10.0	11.0	12.0
	+2.1 TO +3	5.0	2.0	2	3	5	10.0	11.0	12.0	13.0
	+3.1 TO +4	6.0	2.0	2	4	6	11.0	12.0	13.0	14.0
	+4.1 TO +5	7.0	2.0	2	5	7	12.0	13.0	14.0	15.0
	+5.1 TO +6	8.0	2.0	2	6	8	13.0	14.0	15.0	16.0

NOTES: A. REFER TO AIR HANDLING UNIT SCHEDULE FOR (-) OR (+) STATIC PRESSURE AT DRAIN PAN.
B. DIMENSION "C" IS MIN: 3" FOR UP TO 1 1/2" DRAIN PIPE, 4" FOR 2" DRAIN PIPE, 5" FOR 2 1/2" OR 3" DRAIN PIPE, 6" FOR 4" DRAIN PIPE.



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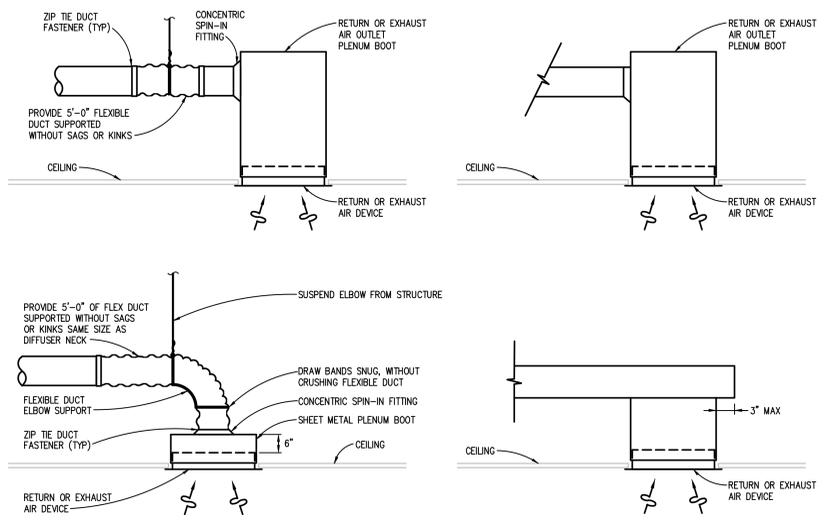
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Project Number 2022006

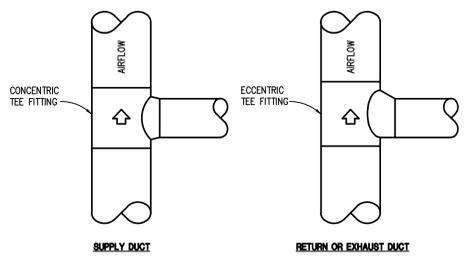
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MECHANICAL DETAILS

Sheet Number
M602

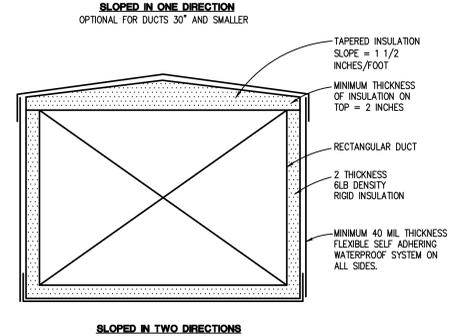
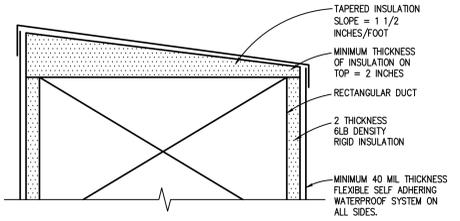
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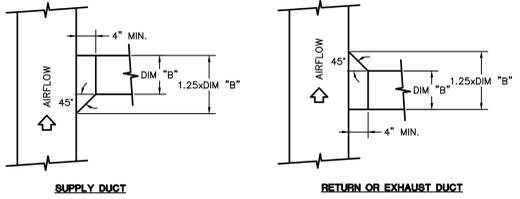
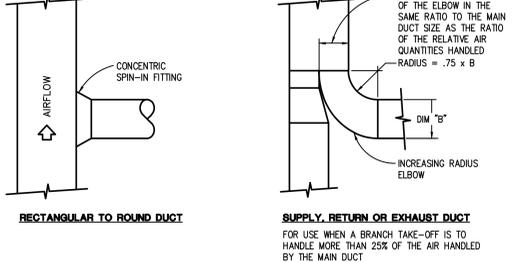
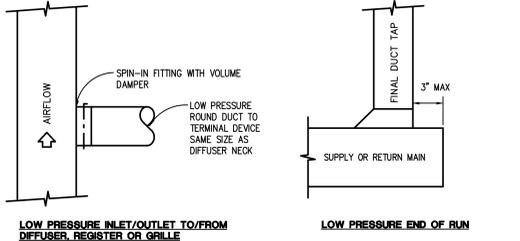
RETURN OR EXHAUST AIR DEVICE INSTALLATION DETAIL
 NO SCALE
 NOTE: PAINT INTERIOR SURFACE OF PLENUM BOX FLAT BLACK.



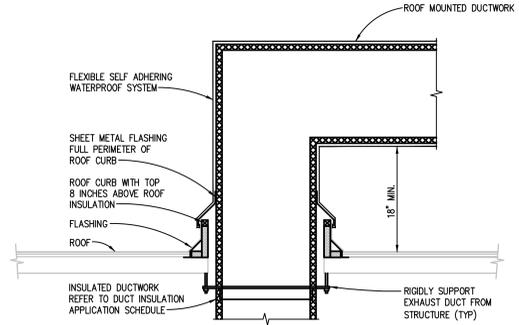
SPIRAL DUCT BRANCH TAKE-OFF DETAILS
 NO SCALE (ROUND AND FLAT OVAL SIMILAR)



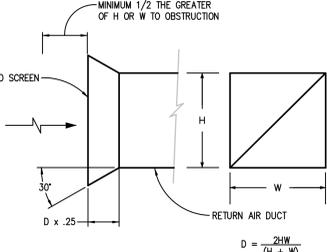
OUTDOOR DUCT INSULATION DETAIL
 NO SCALE



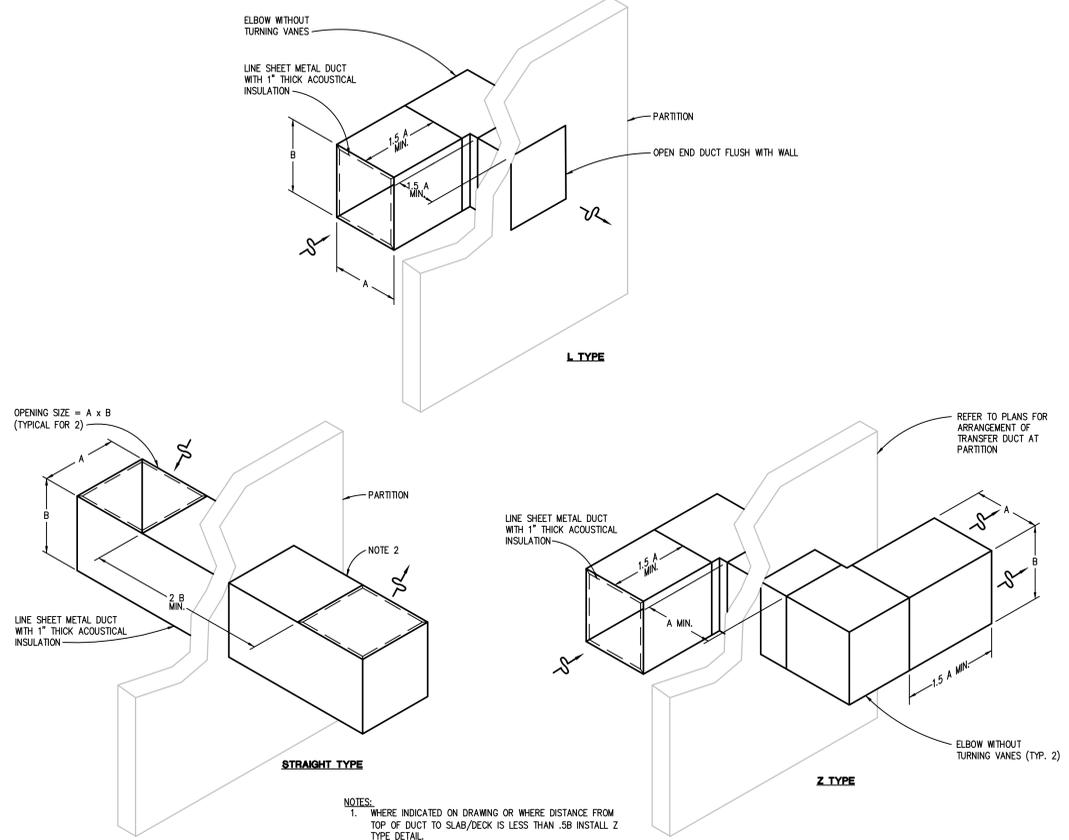
RECTANGULAR DUCT BRANCH TAKE-OFF DETAILS
 NO SCALE



DUCT PENETRATION THROUGH ROOF DETAIL
 NO SCALE



BELLMOUTH DETAIL
 NO SCALE



- NOTES:**
- WHERE INDICATED ON DRAWING OR WHERE DISTANCE FROM TOP OF DUCT TO SLAB/DECK IS LESS THAN 36" INSTALL Z TYPE DETAIL.
 - SIZE DUCTS FOR 400 FPM MAX BASED ON CLEAR INSIDE DIMENSIONS AND 100% OF THE SUPPLY AIR TO THE SPACE UNLESS OTHERWISE NOTED.
 - ROTATE DETAILS 90° WHERE VERTICAL INSTALLATION IS INDICATED.
 - DIMENSIONS ARE INSIDE CLEAR.

- OPTIONS:**
- RIGID FIBER BOARD MAY BE USED IN LIEU OF LINED SHEET METAL DUCT.

AIR TRANSFER DUCT DETAILS
 NO SCALE

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Date	
Project Number	20220005

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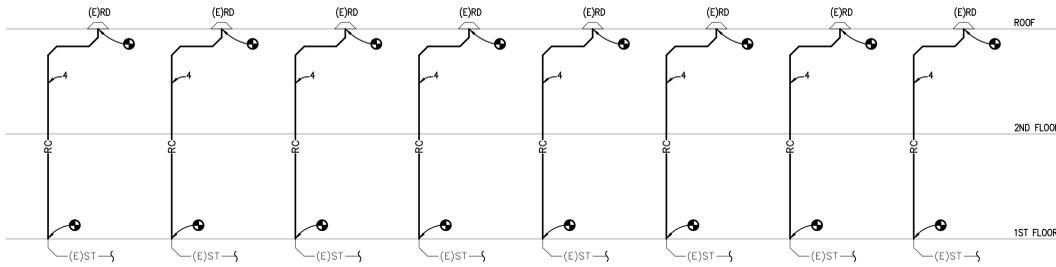
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2

3

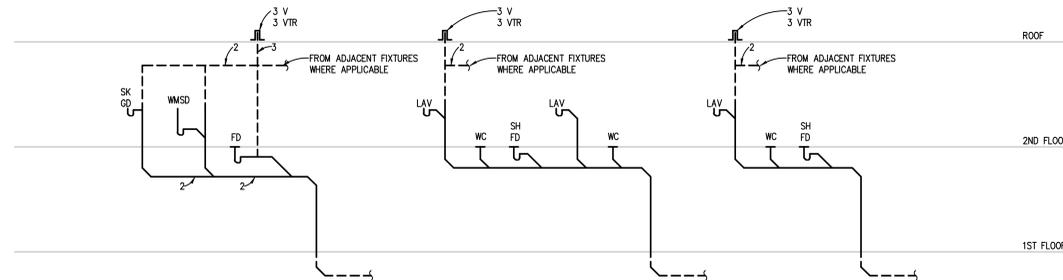
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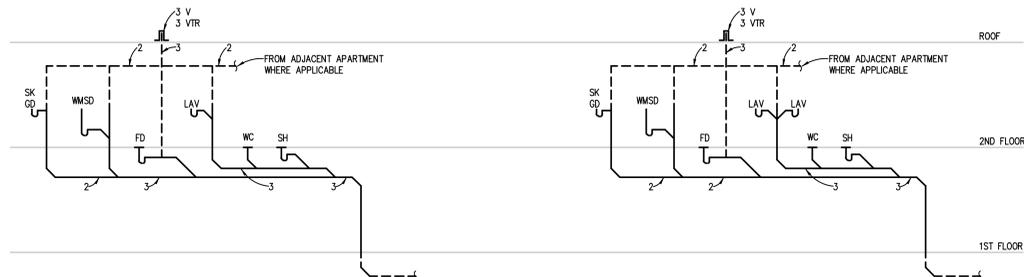


ROOF DRAINAGE DIAGRAM
NO SCALE

NOTE:
ROOF DRAIN QUANTITY IS AN ESTIMATE. TOTAL ROOF DRAIN QUANTITY TO BE
UPDATED AS DESIGN PROGRESSES.

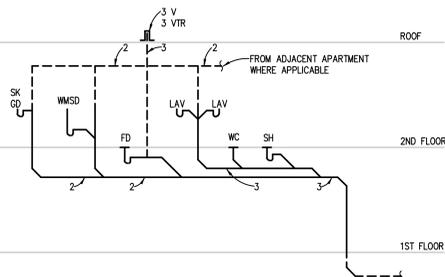


**TWO AND A HALF BATH APARTMENT
SAN & VENT DIAGRAM - 2.5**
NO SCALE



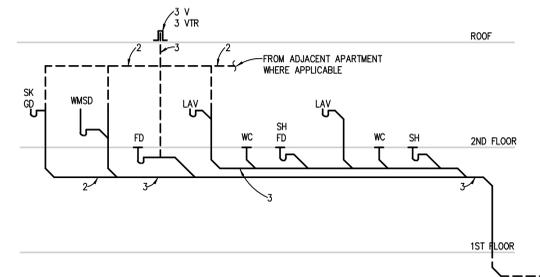
**TYPICAL ONE BATH APARTMENT
SAN & VENT DIAGRAM - 1**
NO SCALE

NOTE:
TYPICAL FOR 10



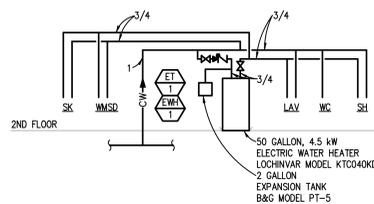
**TYPICAL ONE BATH APARTMENT
SAN & VENT DIAGRAM - 1D**
NO SCALE

NOTE:
TYPICAL FOR 7



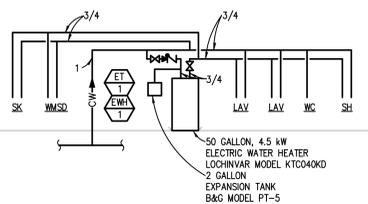
**TYPICAL TWO BATH APARTMENT
SAN & VENT DIAGRAM - 2**
NO SCALE

NOTE:
TYPICAL FOR 4



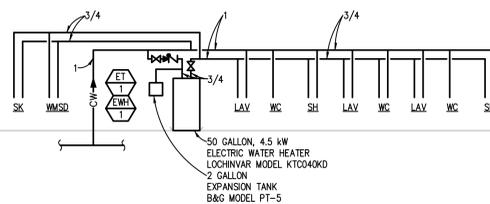
**TYPICAL ONE BATH APARTMENT
DOMESTIC WATER DIAGRAM - 1**
NO SCALE

NOTE:
TYPICAL FOR 10

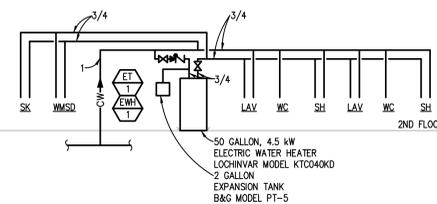


**TYPICAL ONE BATH APARTMENT
DOMESTIC WATER DIAGRAM - 1D**
NO SCALE

NOTE:
TYPICAL FOR 7



**TWO AND A HALF BATH APARTMENT
DOMESTIC WATER DIAGRAM - 2.5**
NO SCALE



**TYPICAL TWO BATH APARTMENT
DOMESTIC WATER DIAGRAM - 2**
NO SCALE

NOTE:
TYPICAL FOR 4

Architect

Consultant

Owner

Project

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Revision Date

Date

Project Number 2022006

Sheet Title
**MECHANICAL
DETAILS**

Sheet Number

M604

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SEWAGE PUMP AND SUMP PUMP SCHEDULE																	
UNIT IDENTIFICATION	SYSTEM SERVED	SIMPLEX OR DUPLEX	PUMP				BASIN				MODULATION/ CONTROL TYPE	ELECTRICAL				MODEL NUMBER	KEYED NOTES
			QUANTITY	FLOW EACH GPM	W.P.D. FT. HEAD	HP EACH	RPM	CONSTRUCTION	DIAMETER INCHES	DEPTH INCHES		COVER TYPE	VOLTS	PHASE	SCCR KA		
SP-1																	

GENERAL NOTES:
 1. REFER TO SCHEDULES GENERAL NOTES.
 2. MODEL NUMBERS ARE WELL UNLESS OTHERWISE NOTED.

DOMESTIC WATER HEATER SCHEDULE (ELECTRIC)														
UNIT IDENTIFICATION	STORAGE CAPACITY GALLONS	KW INPUT	RECOVERY GPH	E.W.T. °F	L.W.T. °F	MODULATION/ CONTROL TYPE	ELECTRICAL					MODEL NUMBER	KEYED NOTES	
							VOLTS	PHASE	FLA	MOP	SCCR KA			OPTIONS/ ACCESSORIES
EW-1	50	4.5		40	130									
EW-2	-	7		40	130									

GENERAL NOTES:
 1. REFER TO SCHEDULES GENERAL NOTES.
 2. MODEL NUMBERS ARE LOCHINVAR UNLESS OTHERWISE NOTED.

DOMESTIC HOT WATER SYSTEM EXPANSION TANK SCHEDULE															
UNIT IDENTIFICATION	SYSTEM SERVED	ESTIMATED TOTAL SYSTEM VOLUME GALLONS	TYPE	OPERATING PRESSURES AT EXPANSION TANK			SYSTEM OPERATING TEMPERATURES		EXPANSION VOLUME GALLONS	ACCEPTANCE FACTOR	MINIMUM TANK VOLUME GALLONS	DIMENSIONS		MODEL NUMBER	KEYED NOTES
				INITIAL PSIG	PRE-CHARGE PSIG	MAX (OPERATING) PSIG	MINIMUM °F	MAXIMUM °F				DIAMETER INCHES	HEIGHT INCHES		

GENERAL NOTES:
 1. MODEL NUMBERS ARE BELL & GOSSETT UNLESS OTHERWISE NOTED.
 2. THE CONTRACTOR SHALL PRE-CHARGE THE TANK TO THE VALUE INDICATED IN THE SCHEDULE. FOR TANKS THAT ARE SUPPLIED PRE-CHARGED BY THE MANUFACTURER, THE CONTRACTOR SHALL CONFIRM THE PRESSURE AND MAKE ADJUSTMENTS AS REQUIRED.

PLUMBING CONNECTION SCHEDULE						
UNIT IDENTIFICATION	CW INCHES	HW INCHES	SAN INCHES	VENT INCHES	KEYED NOTES	
WC-1	1/2	-	3	2		
LAV-1	1/2	1/2	1 1/2	1 1/2		
SK-1	3/4	3/4	1 1/2	1 1/2		
SK-2	3/4	3/4	1 1/2	1 1/2		
SS-1	3/4	3/4	3	-		
SH-1	3/4	3/4	-	-	1	
FD-1	-	-	3	-		
FD-2	-	-	4	-		

GENERAL NOTES:
 1. INDIVIDUAL WATER LINE BRANCHES, WASTE LINES, VENTS, AND TRAPS FOR CONNECTION TO INDIVIDUAL FIXTURES, FIXTURE FITTINGS, AND SPECIALTIES SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE OR AS INDICATED ON DRAWINGS, WHICHEVER IS GREATER.

KEYED NOTES:
 1. PROVIDE MIXING VALVE.

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Revision	Date
Date	-
Project Number	2022006

Sheet Title
MECHANICAL SCHEDULES

Sheet Number
M703

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TEMPERATURE CONTROL - SYMBOLS LIST

SCHEMATIC SYMBOLS

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for Air Flow Controller, Aquastat, Carbon Dioxide Sensor, Carbon Monoxide Sensor, Current Switch, Damper, Damper Motor, Differential Pressure Transmitter, Electric-Pneumatic Relay, Fire Alarm System, Flow Measuring Station, Flow Meter, Flow Switch, Gauge, Guard for Stat or Sensor, Humidifier, Humidistat, Humidity Sensor, Level Switch, Limit Switch, Line (Electric/Pneumatic), Main Control Air Supply, Motor Starter, Occupancy Sensor, Pilot Light, Pressure Switch, Pressure Transmitter, Relay, Selector Switch, Signal (Analog/Digital), and Switch.

NOTES:

- 1. SOME SYMBOLS & ABBREVIATIONS SHOWN MAY NOT APPLY TO THIS PROJECT.
2. REFER TO MECHANICAL STANDARDS ON DRAWING M0.1 FOR ADDITIONAL SYMBOLS & ABBREVIATIONS THAT MAY BE USED ON TEMPERATURE CONTROL DRAWINGS.

SCHEMATIC SYMBOLS (CONT.)

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for Smoke Detector, Start/Stop Relay, Static Pressure Transmitter, Switch, Temperature Sensor (Rigid Element in Well, Strap on Bulb, Duct Mounted Avg Element, Duct Mounted Rigid Element, Thermostat or Temperature Sensor, Thermostat for Night Setback), Timer Switch, Transformer, Valve (2-way, 3-way, 4-way control), Velocity Sensor, and Voltage Sensor.

WIRING SYMBOLS

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for Audible Device, Coil (Motor Starter, Relay, Time Delay, Variable Speed Drive, EP or Solenoid Valve), Contact (Instant Operating, Timed After Coil), Motor (Single Phase), Pilot Light (with Beacon, with Push-to-Test), Push Button (Momentary, NC, NO & NC, Mushroom Head), and Switched Control Air Supply.

WIRING SYMBOLS (CONT.)

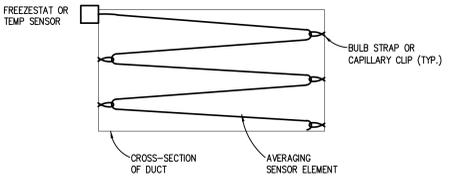
Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for 2-position and 3-position selectors, switches for flow, limit, liquid level, manual SPST, manual DPST, manual DPDT, pressure & vacuum, temperature actuated, thermal overload, transformer, wire termination, and wiring not connected.

ABBREVIATIONS

Table with 2 columns: ABBREVIATION and DESCRIPTION. Lists BAS, DDC, TC, NO, NC, NOTO, NOTC, NCTO, NCTC, SPST, DPST, DPDT, and their meanings.

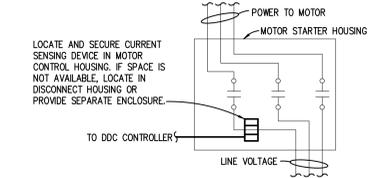
PNEUMATIC CONTROL SYMBOLS (ADDITIONAL)

Table with 2 columns: SYMBOL and DESCRIPTION. Lists LA, LR, PS, RR, RC, and their meanings for Load Analyzer, Low Pressure Selector Relay, Manual Gradual Position Switch, Ratio Relay, Receiver Controller, and Switched Control Air Supply.



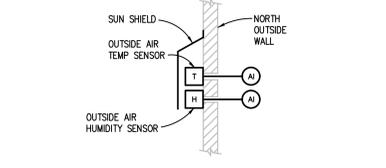
AVERAGING ELEMENT INSTALLATION DETAIL

- 1. FREEZESTAT QUANTITY SHALL BE ONE PER 20 SQ. FT. OF CROSS-SECTIONAL AREA.
2. AVERAGING DDC SENSOR QUANTITY SHALL BE SUFFICIENT TO COVER AND SENSE THE CROSS-SECTIONAL AREA.
3. PROVIDE REQUIRED CAPILLARY STRAP OR CLIPS TO SUPPORT SENSOR TO PREVENT VIBRATION FROM AIR MOVEMENT.
4. PROVIDE PROTECTION AT EACH CAPILLARY STRAP OR CLIP TO PREVENT ABRASION TO CAPILLARY.



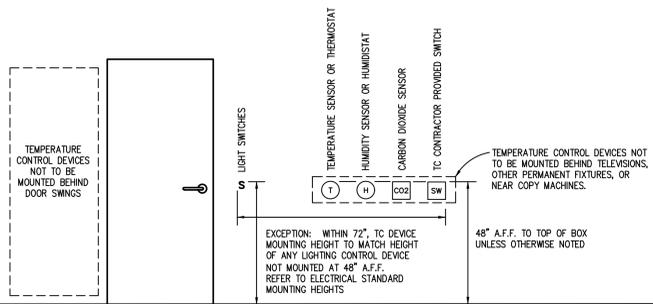
CURRENT SWITCH INSTALLATION DETAIL

- 1. WHERE INDICATED ON CONTROL DETAILS, CURRENT SWITCHES SHALL BE INSTALLED FOR DDC SYSTEM STATUS INDICATION OF FAN OR PUMP OPERATION.
2. AS APPLICABLE, CURRENT SWITCH SHALL BE ADJUSTED TO MEET THE CURRENT DRAW REQUIRED TO DETECT FAN BELT LOSS, PUMP COUPLING DETACHMENT, OR VFC LOSS.
3. WHEN FAN OR PUMP IS ON AND NOT IN ALARM, DDC SYSTEM SHALL TOTALIZE RUN TIME HOURS FOR OPERATOR INFORMATION FROM BUILDING AUTOMATION SYSTEM OPERATOR INTERFACE.



OA SENSOR INSTALLATION DETAIL

- 1. TC CONTRACTOR HAS THE OPTION OF USING EXISTING OA TEMP AND HUMIDITY SENSORS AS AVAILABLE FOR BUILDING.
2. CALCULATE OA ENTHALPY OR DEW POINT TEMPERATURE AS REQUIRED PER SEQUENCE OF OPERATION REQUIREMENTS.
3. BROADCAST OUTSIDE AIR TEMPERATURE, HUMIDITY, AND CALCULATED OA ENTHALPY OR DEWPOINT TEMPERATURE, AS REQUIRED, THROUGH BAS COMMUNICATION NETWORK TO CONTROLLERS REQUIRING INFORMATION FOR DDC PROGRAMMING LOGIC.



TC DEVICE STANDARD MOUNTING HEIGHTS DETAIL

NO SCALE

TC GENERAL NOTES

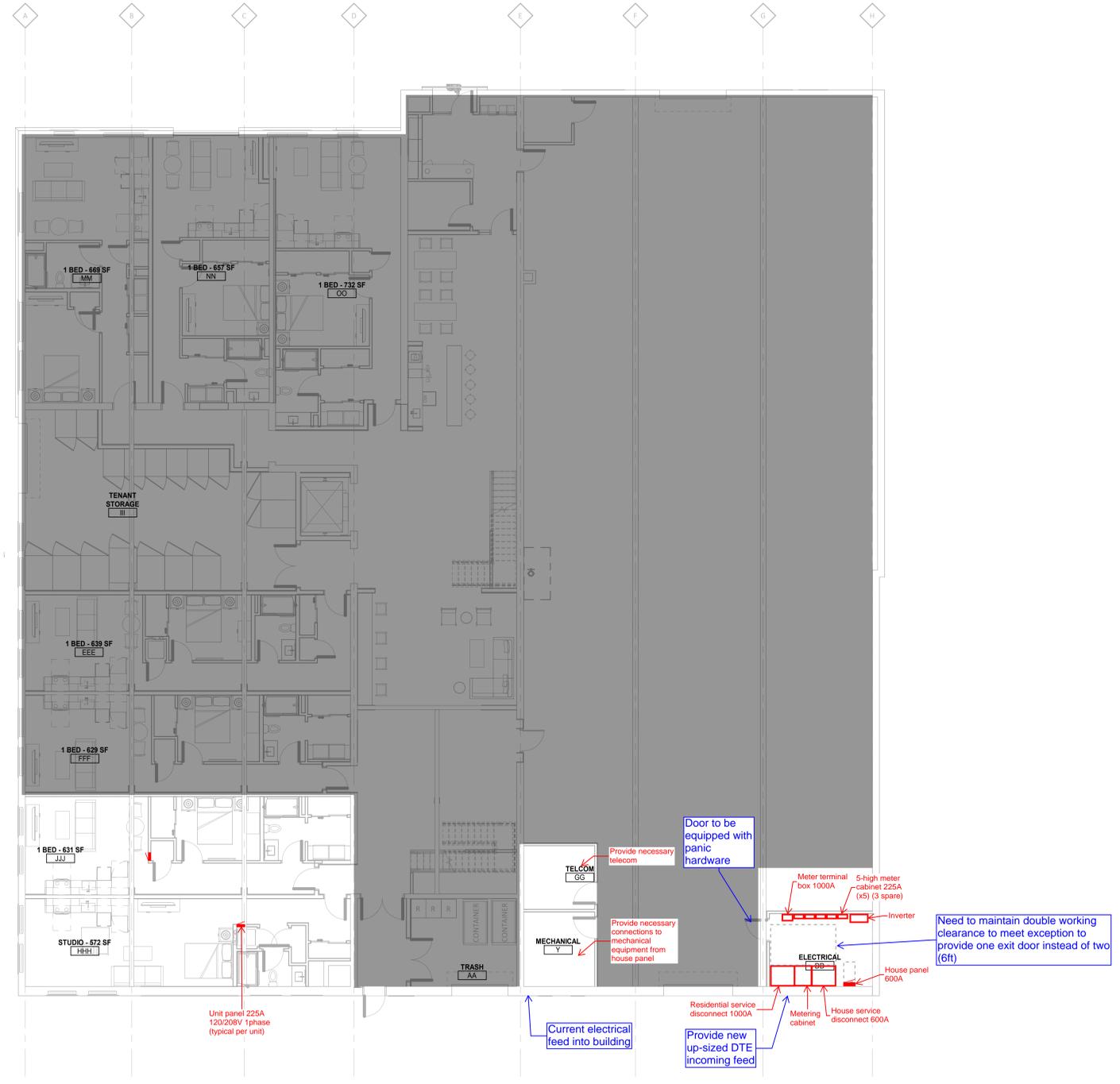
- 1. THESE GENERAL NOTES SHALL BE APPLICABLE FOR ALL TEMPERATURE CONTROL (TC) DRAWINGS.
2. "PROVIDE" IS DEFINED AS FURNISH AND INSTALL.
3. TEMPERATURE CONTROLS CONTRACTOR (TC CONTRACTOR) SHALL BE RESPONSIBLE TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS.
4. FOR TEMPERATURE CONTROL DRAWINGS ONLY: ALL DETAILED INFORMATION IDENTIFIED WITH HEAVY LINE WEIGHT SHALL BE PROVIDED BY TC CONTRACTOR.
5. ALL CONTROL SCHEMATICS AND WIRING DIAGRAMS ARE FOR THE CLARIFICATION OF EQUIPMENT INTERLOCKING FUNCTIONS AND THE INTERFACE OF VARIOUS CONTRACTORS' WORK.
6. TC CONTRACTOR SHALL PROVIDE DDC CONTROLLERS AS REQUIRED TO MEET INTENT OF DESIGN DOCUMENTS.
7. ALL TC PROVIDED COMPONENTS AND ALL TC CONTRACTOR INSTALLED WIRING SHALL BE LABELED PER SPECIFICATIONS.
8. ALL WIRING AND SYSTEM CONTROL VOLTAGES SHALL BE IN ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATION AND THE ELECTRICAL SPECIFICATIONS.
9. VARIABLE FREQUENCY CONTROLLER, FAN AND PUMP MOTOR STARTERS, STARTER WIRING, CONTROL VOLTAGE TRANSFORMERS AND ASSOCIATED POWER WIRING SHALL BE PROVIDED BY OTHER TRADES.
10. DUCT SMOKE DETECTORS SHALL BE FURNISHED, INSTALLED AND WREDED TO THE FIRE ALARM SYSTEM CONTROL MODULES FOR REQUIRED SAFETIES TO MOTOR STARTERS OR VFCs AS INDICATED.
11. ALL DDC AND CONTROL INTERLOCK WIRING SHALL BE BY TC CONTRACTOR UNLESS OTHERWISE NOTED.
12. ALL DDC AND CONTROL INTERLOCK WIRING BETWEEN COMPONENTS SHALL BE INSTALLED WITHOUT INTERMEDIATE STOPS.
13. ALL ELECTRICAL WIRING AND RACEWAY SYSTEMS SHALL COMPLY WITH ELECTRICAL SPECIFICATION REQUIREMENTS.
14. TC CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POWER SUPPLIES REQUIRED FOR TC SYSTEM UNLESS OTHERWISE NOTED.
15. TC CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL FIELD MOUNTED COMPONENTS.
16. REFER TO TEMPERATURE CONTROLS STANDARD MOUNTING HEIGHTS DETAIL FOR ELEVATIONS OF WALL MOUNTED TEMPERATURE CONTROL DEVICES.
17. TC CONTRACTOR SHALL PROVIDE AUXILIARY PANELS FOR REQUIRED PANEL MOUNTED EQUIPMENT.
18. REMOTELY MOUNTED FIELD DEVICES SUCH AS RELAYS, CONTROL TRANSFORMERS, ETC., SHALL BE HOUSED IN AN ENCLOSURE PROVIDED BY THE TC CONTRACTOR.
19. CONTROL TRANSFORMERS WHEN REQUIRED SHALL BE SIZED FOR 150% OF ACTUAL LOAD.
20. FREEZESTATS SHALL BE MOUNTED ON UPSTREAM FACE OF COOLING COILS.
21. CURRENT SWITCHES USED FOR OPERATIONAL STATUS SHALL HAVE CURRENT THRESHOLD SETPOINT ADJUSTED TO INDICATE BELT OR DRIVE FAILURE.
22. ALL CONTROL VALVES, CONTROL DAMPERS AND ASSOCIATED CONTROL ACTUATORS IDENTIFIED ON TC DRAWINGS SHALL BE FURNISHED BY TC CONTRACTOR UNLESS OTHERWISE NOTED.
23. ALL CONTROL VALVES AND DAMPERS FURNISHED BY THE TC CONTRACTOR SHALL BE INSTALLED BY THE MECHANICAL CONTRACTOR.
24. DAMPER ACTUATORS SHALL BE INSTALLED BY TC CONTRACTOR WHEN FURNISHED BY TC CONTRACTOR.
25. ALL INSTRUMENTATION TUBING REQUIRED FOR DPS AND DPT COMPONENT INSTALLATIONS SHALL BE PROVIDED BY TC CONTRACTOR.
26. TC CONTRACTOR SHALL FIELD MOUNT ALL REQUIRED 'SHIPPED LOOSE' PACKAGED CONTROL COMPONENTS FURNISHED BY EQUIPMENT SUPPLIERS WHERE INDICATED.

Table with 2 columns: Revision and Date. Shows revision 100% SD dated 05-27-22.

Table with 2 columns: Revision and Date. Shows revision 100% SD dated 05-27-22.

THE FOLLOWING DIMENSION EQUALS ONE INCH WHEN PRINTED TO SCALE.

1
2
3
4
5



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

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Revision	Date
Date	-
Project Number	2022006

Sheet Title
**FIRST FLOOR
ELECTRICAL PLAN**

Sheet Number
E101



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THE FOLLOWING DIMENSION EQUALS ONE INCH WHEN PRINTED TO SCALE.

E

D

C

B

A



SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

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Architect



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Revision Date

Date -

Project Number 2022006

Sheet Title
**SECOND FLOOR
ELECTRICAL PLAN**

Sheet Number

E102



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