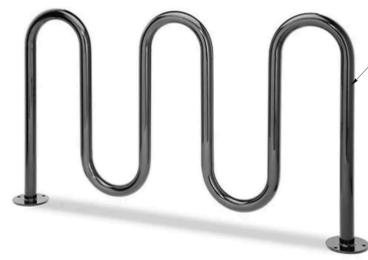


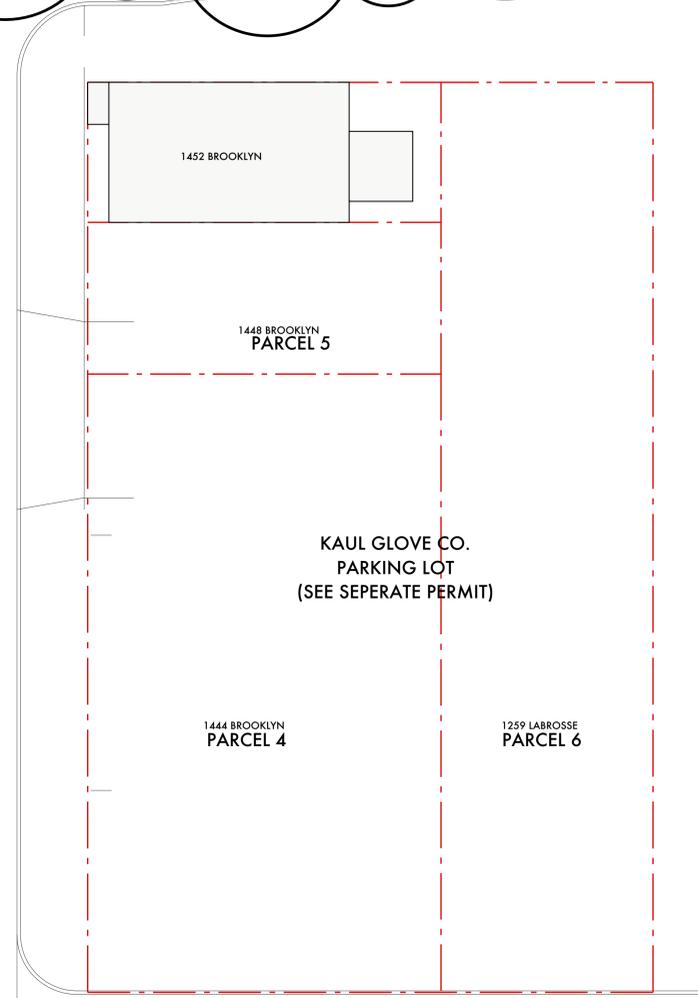
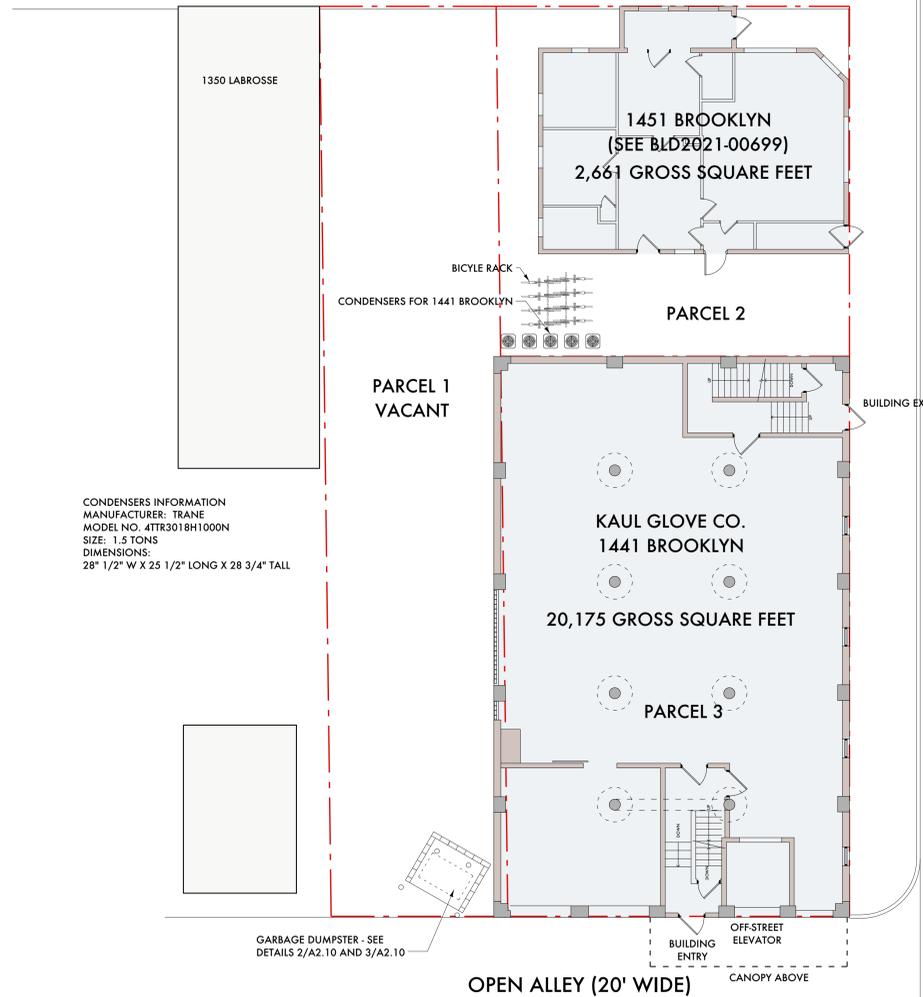
**SCOPE OF WORK:  
SUBMITTED FOR FOR 1441 BROOKLYN ON PARCEL 3 ONLY. ALL OTHER  
SITE WORK AND BUILDING WORK ON PARCELS 1, 2, 4, 5, & 6 HAS  
BEEN SUBMITTED UNDER SEPARATE PERMITS.**



5-LOOP WAVE STYLE BICYCLE RACK  
10 GAUGE, POWDER COAT METAL TUBE,  
MINIMUM 2 3/8" Ø, BOLTED TO CONCRETE  
SIDEWALK

LABROSSE STREET (60' WIDE)

**6 BICYCLE RACK**  
A2.10 SCALE: 1/2" = 1'-0"



OPEN ALLEY (20' WIDE)

**LEGAL DESCRIPTIONS:**

LAND IN THE CITY OF DETROIT, WAYNE COUNTY, MI, DESCRIBED AS FOLLOWS:

**PARCEL 1:**  
EAST ONE-HALF OF LOT 2 OF BLOCK 60, OF COL D BAKER FARM, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 17 OF DEEDS, PAGES 272 AND 273 AND IN LIBER 25 OF DEEDS, PAGE 424 OF WAYNE COUNTY RECORDS.

**PARCEL 2:**  
NORTH 50 FEET OF LOT 1 OF BLOCK 60, OF COL D BAKER FARM, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 17 OF DEEDS, PAGES 272 AND 273 AND IN LIBER 25 OF DEEDS, PAGE 424 OF WAYNE COUNTY RECORDS.

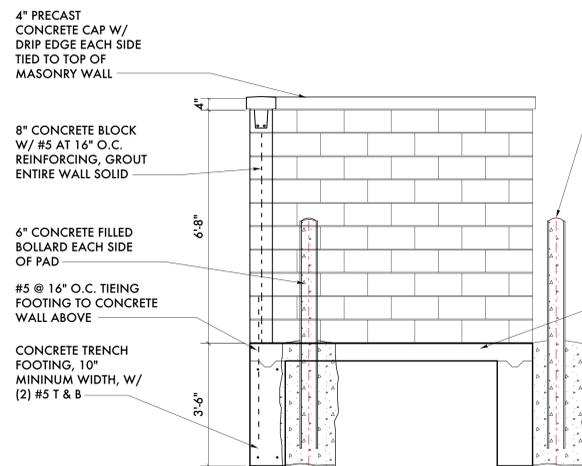
**PARCEL 3:**  
THE SOUTH 80 FEET OF LOT 1 OF BLOCK 60, OF COL D BAKER FARM, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 17 OF DEEDS, PAGES 272 AND 273 AND IN LIBER 25 OF DEEDS, PAGE 424 OF WAYNE COUNTY RECORDS.

**PARCEL 4:**  
WEST 30 FEET OF LOT 6 AND SOUTH 86.66 FEET OF LOT 7 OF BLOCK 54 OF SUBDIVISION OF LABROSSE FARM SOUTH OF CHICAGO ROAD, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 13 OF DEEDS, PAGES 85 THROUGH 88 OF WAYNE COUNTY RECORDS.

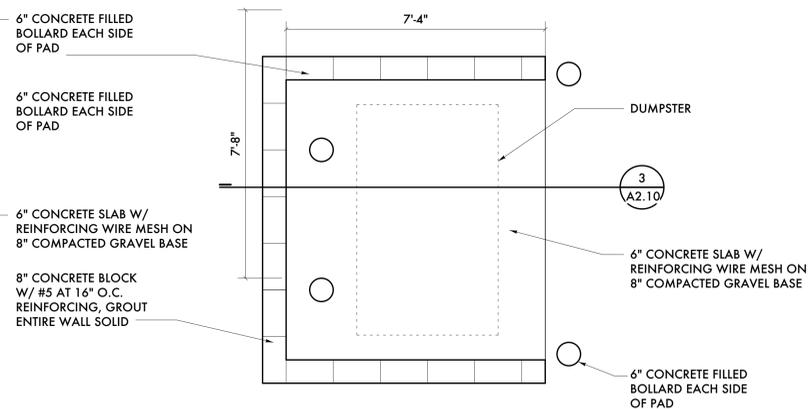
**PARCEL 5:**  
SOUTH ONE-HALF OF THE NORTH ONE-THIRD OF LOT 7 OF BLOCK 54 OF SUBDIVISION OF LABROSSE FARM SOUTH OF CHICAGO ROAD, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 13 OF DEEDS, PAGES 85 THROUGH 88 OF WAYNE COUNTY RECORDS

**PARCEL 6:**  
S LABROSSE W 30 FT 6 BLK 54 LABROSSE FARM L13 P85 DEEDS, W C R 6/6 30 X 130

BROOKLYN STREET (50' WIDE)



**3 SECTION/ELEVATION AT DUMPSTER SCREEN**  
A2.10 SCALE: 1/2" = 1'-0"



**2 PLAN AT DUMPSTER SCREEN**  
A2.10 SCALE: 1/2" = 1'-0"



**1 SITE PLAN**  
SCALE: 1" = 10'-0"



09/20/21	Historic Commission Review
09/06/21	ADD #2 - Code Review Comments
08/26/21	Parking Permit Revisions
08/02/21	Parking Permit
07/19/21	Parking Permit
06/01/21	Permits
05/23/21	Owner Review
03/12/21	Historic Commission Comments
03/02/21	Owner Review
02/17/21	Historic Commission (1309)
02/01/21	Permits (VOID)
01/27/21	BZA Updates
01/20/21	ADD #1 - Historic Commission
12/28/20	Historic Commission
12/17/20	Owner Review
12/01/20	BZA Updates
11/16/20	BZA Updates
06/19/20	BZA Submission
06/16/20	Historic Commission Review
06/08/20	Owner Review

Date: Issued For:

**Kaul Glove Building  
Renovation & Adaptive Reuse**

1441 Brooklyn  
Detroit, Michigan 48226

studioONE : DETROIT

architectural  
urban  
interior DESIGN

330 Madison Avenue  
4th Floor  
Detroit, Michigan 48226

313.549.2790 [p]  
jgb@ware-house.com

Project Number: 2019-

Sheet Title:

**SITE PLAN**

Sheet Number:

**A2.10**

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**KEYED NOTES:**

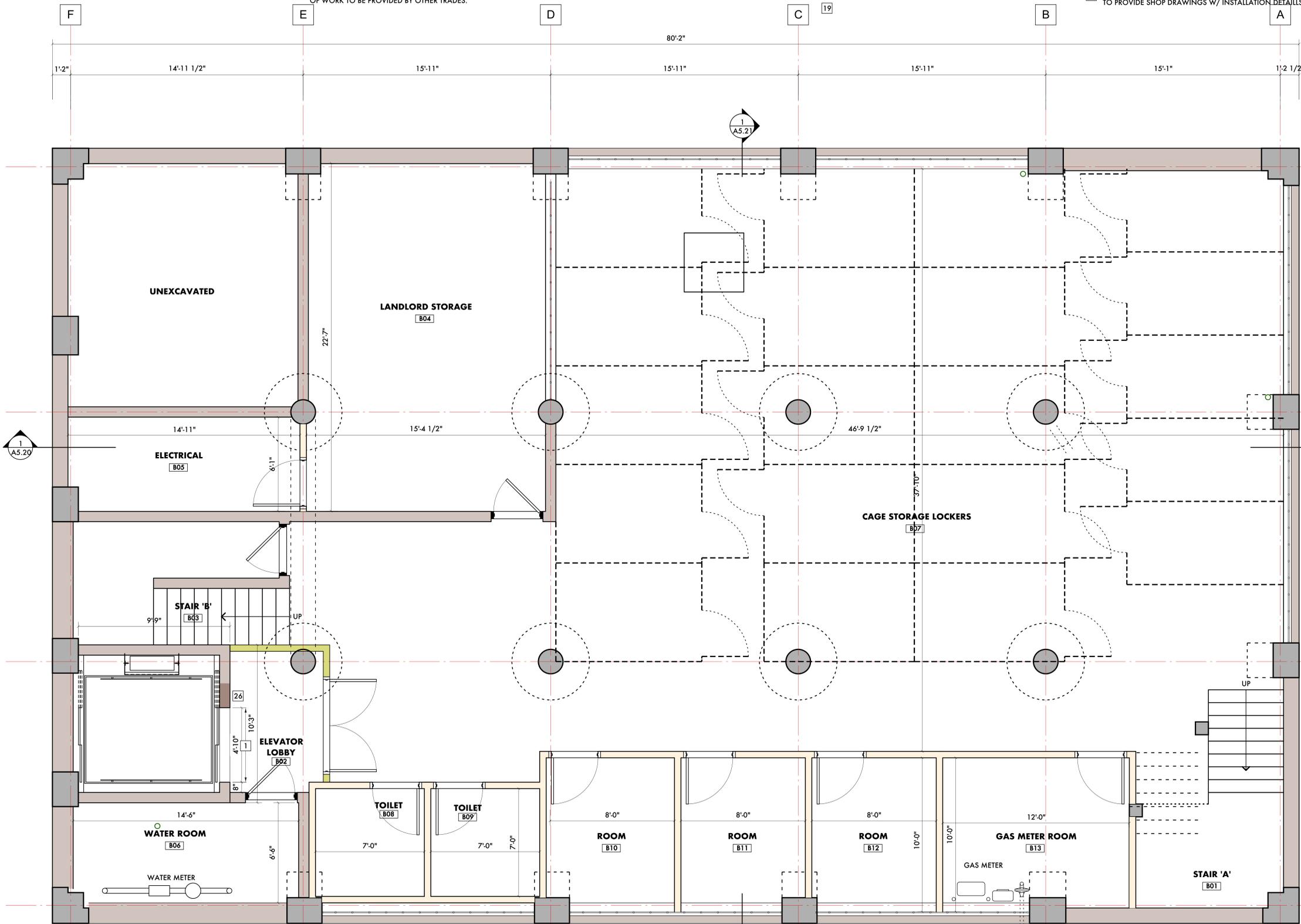
- 25. ALIGN NEW GYPSUM BOARD UNIT SEPARATION WALL ON CENTER OF EXISTING COLUMNS
- 26. INFILL AT FORMER ELEVATOR OPENING W/ BRACK MASONRY AS REQUIRED TO ACHIEVE FINAL ELEVATOR DOOR OPENING DIMENSIONS. OPTIONAL: FURRED GYPSUM BOARD OVER MASONRY ON SIDE OF WALL FACING ELEVATOR LOBBY OVER ENTIRE WALL CONTAINING OPENING.
- 27. SEE ELEVATOR AND PLUMBING DRAWINGS FOR SUMP AND DRAINS REQUIRED AT ELEVATOR PIT
- 28. PROVIDE 6" X 6" MINIMUM OPENINGS/CUT-OUTS IN EXISTING ELEVATOR SHAFT FOR ELEVATOR ELECTRICAL - SEE ELECTRICAL DRAWINGS.
- 29. SEE ELEVATOR DRAWINGS BY MANUFACTURER FOR FULL EXTENT OF WORK TO BE PROVIDED BY OTHER TRADES.

- 20. EXISTING ROOF CONDUCTOR TO REMAIN - INFILL W/ VINYL CLAD INSULATION, SEE PLUMBING DRAWINGS
- 21. ELECTRICAL PANEL - SEE ELECTRICAL DRAWINGS
- 22. FUTURE INTERIOR STOREFRONT AT CONFERENCE ROOM BY OTHERS
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- 24. FIRE PROTECTION STANDPIPE - FIRE PROTECTION CONTRACTOR TO COORDINATE FINAL LOCATION SO AS TO NOT INTERFERE W/ REQUIRED MEANS OF EGRESS

- 12. EXISTING MASONRY CHIMNEY SHAFT TO REMAIN - INFILL AND PATCH ANY OPENINGS INTO SHAFT
- 13. WALL HUNG LAVATORY - PROVIDE BLOCKING IN WALL FOR HANGING SINK
- 14. FLOOR MOUNTED TOILET
- 15. ACCESSIBLE GRAB BARS - PROVIDE BLOCKING IN WALL FOR ATTACHMENT
- 16. CONTINUE WALL BELOW NEW WINDOW
- 17. BASE & UPPER CABINETS
- 18. SINGLE BASIN, STAINLESS STEEL SINK W/ SINGLE LEVER FAUCET
- 19.

- 7. CORE EXISTING FLOOR/CEILING ASSEMBLY FOR FURNACE FLUES. PROVIDE UL APPROVED ASSEMBLY TO FIRESTOP THE PENETRATION. SEE SHEET A8.80 AND A8.81 FOR POSSIBLE ASSEMBLIES. NOTE: FIRE COLLARS MAY BE REQUIRED FOR ANY PVC PIPE PENETRATION.
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**WALL CONSTRUCTION**

- A. INTERIOR PARTITION  
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD  
3 5/8" METAL STUD  
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD
- B. VERTICAL SEPARATION WALL  
(2) LAYERS 5/8", TYPE 'X' GYPSUM BOARD, PAINTED,  
3 5/8" METAL STUD, INSULATED  
(2) LAYERS 5/8", TYPE 'X' GYPSUM BOARD, PAINTED,
- C. PLUMBING/UTILITY PARTITION  
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD  
6" METAL STUD  
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD
- D. UNIT INTERIOR WALL (WITH EXISTING CONSTRUCTION)  
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD  
3 5/8" METAL STUD,  
EXISTING BRICK MASONRY WALL
- E. EXISTING WALL TO REMAIN



09/20/21	Historic Commission Review
09/06/21	ADD #2 - Code Review Comments
09/01/21	Permits
05/23/21	Owner Review
-	Engineering Review
02/01/21	Permits (VOID)
01/27/21	BZA Updates
01/20/21	ADD #1 - Historic Commission
12/28/20	Historic Commission
12/18/20	Owner Review
12/17/20	Owner Review

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Renovation & Adaptive Reuse**

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**studioONE : DETROIT**

architectural  
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DESIGN

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Detroit, Michigan 48226  
studioonedetroit.com  
313.447.3790 (t)  
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Project Number: 2019-

**BASEMENT  
FLOOR PLAN**

Sheet Number:

**A3.10**

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**GENERAL NOTES:**

- 5. PROVIDE TEAR-AWAY WHERE ALL GYPSUM BOARD WALLS MEETING EXISTING CONCRETE OR MASONRY WALL.
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- 3. SEE SHEETS A8.80 AND A8.81 FOR FIRESTOPPING DETAILS. ALL VERTICAL FIRE SEPARATION WALLS ARE TO BE FIRESTOPPED W/ AN APPROVED ASSEMBLY WHERE IT MEETS THE FLOOR, EXISTING WALLS AND CONCRETE DECK ABOVE.
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**BASEMENT RENTABLE AREA = 3,484 SF  
CODE OCCUPANT LOAD = (35) PERSONS  
GROSS SQUARE FEET - 4,035 SF**

**BASEMENT PLAN**  
SCALE: 3/8" = 1'-0"



**KEYED NOTES:**

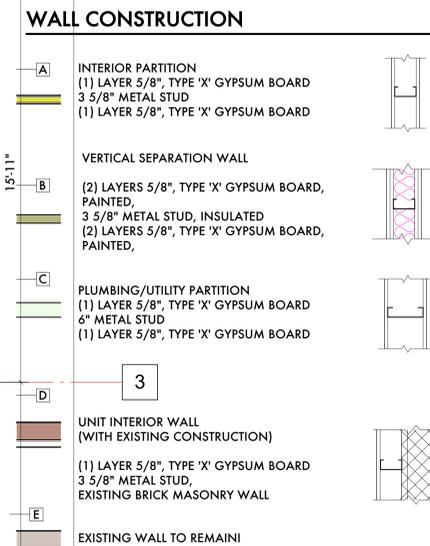
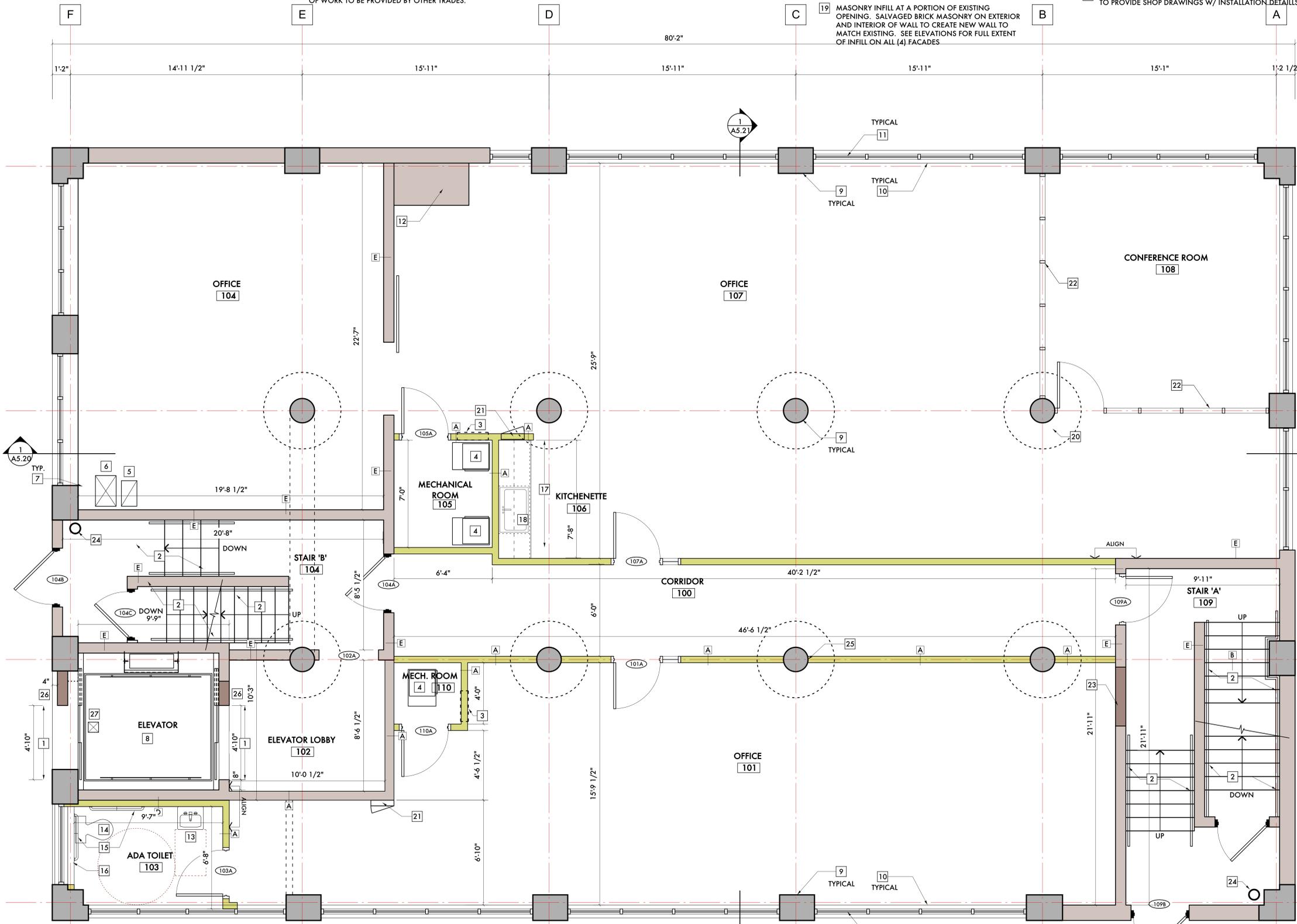
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**1ST FLOOR PLAN**  
SCALE: 3/8" = 1'-0"

1ST FLOOR RENTABLE AREA = 2,814 SF  
CODE OCCUPANT LOAD = (29) PERSONS  
GROSS SQUARE FEET - 4,035 SF



09/20/21	ADD #3 - SHPO/NPS Comments
09/09/21	ADD #2 - Code Review Comments
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-	Engineering Review
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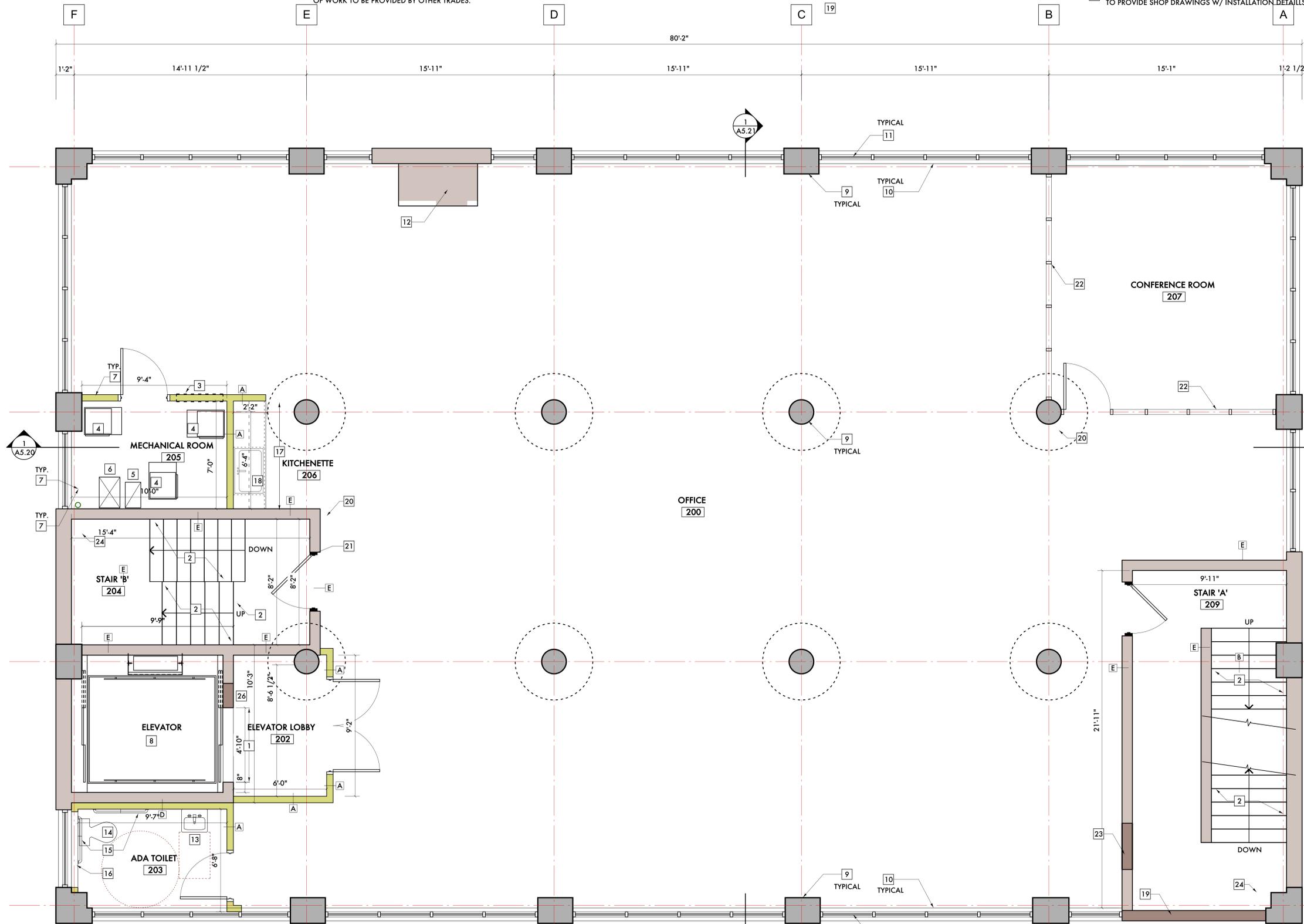
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**WALL CONSTRUCTION**

- A INTERIOR PARTITION  
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD  
3 5/8" METAL STUD  
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD
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(2) LAYERS 5/8", TYPE 'X' GYPSUM BOARD, PAINTED,  
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- D UNIT INTERIOR WALL  
(WITH EXISTING CONSTRUCTION)
- E (1) LAYER 5/8", TYPE 'X' GYPSUM BOARD  
3 5/8" METAL STUD,  
EXISTING BRICK MASONRY WALL
- EXISTING WALL TO REMAIN

**GENERAL NOTES:**

- 5. PROVIDE TEAR-AWAY WHERE ALL GYPSUM BOARD WALLS MEETING EXISTING CONCRETE OR MASONRY WALL.
- 6. DIMENSIONS PROVIDE ARE FOR INFORMATIONAL AND PRICING ONLY. BEFORE ANY CONSTRUCTION OF FABRICATION OF ITEMS/PIECES, CONTRACTOR/SUBCONTRACTOR RESPONSIBLE FOR VERIFICATION OF DIMENSIONS.
- 3. SEE SHEETS A8.80 AND A8.81 FOR FIRESTOPPING DETAILS. ALL VERTICAL FIRE SEPARATION WALLS ARE TO BE FIRESTOPPED W/ AN APPROVED ASSEMBLY WHERE IT MEETS THE FLOOR, EXISTING WALLS AND CONCRETE DECK ABOVE.
- 4. EXISTING CONCRETE FLOOR TO REMAIN. POLISH AND GRIND ENTIRE FLOOR AREA OUTSIDE OF STAIRS AND MECHANICAL ROOM. REMOVE ANY "OVERLAYS" AND PATCH AND REPAIR ANY FAILED AREAS BEFORE GRINDING.

- 1. INSPECT ALL EXISTING CONCRETE WINDOW SILLS AFTER DEMOLITION OF EXISTING OPENINGS TO THE NEW REVISED WINDOW DIMENSION. REPAIR ANY CRACKS IN WINDOW SILL. REPLACE W/ NEW CONCRETE WINDOW SILL IF ANY WINDOW SILL IS BEYOND REPAIR.
- 2. SEE ELEVATION DRAWINGS A5.00, A5.01, A5.02, A5.03, A5.10, A5.11, A5.12 AND A5.13 FOR REPAIR AT EXISTING STRUCTURAL FRAME AND MASONRY. AS PART OF THE WORK, INVESTIGATE THE STRUCTURAL CONCRETE FRAME AND INTERIOR MASONRY AFTER THE NEW WINDOW OPENING DEMOLITION AND MAKE ANY NECESSARY REPAIRS ON THE INTERIOR TO THE STRUCTURAL FRAME AND REMAINING MASONRY.

2ND FLOOR RENTABLE AREA = 3,242 SF  
CODE OCCUPANT LOAD = (33) PERSONS  
GROSS SQUARE FEET - 4,035 SF

**2ND FLOOR PLAN**  
SCALE: 3/8" = 1'-0"



09/20/21	Historic Commission Review
09/06/21	ADD #2 - Code Review Comments
06/01/21	Permits
05/23/21	Owner Review
-	Engineering Review
02/01/21	Permits
01/27/21	BZA Updates
01/20/21	ADD #1 - Historic Commission
12/28/20	Historic Commission
08/14/20	Owner Review

Date: Issued For:

**Kaul Glove Building  
Renovation & Adaptive Reuse**

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Detroit, Michigan 48226

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interior DESIGN

330 Madison Avenue  
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313.447.3790 (p)  
jbig@ware.house.com

Project Number: 2020-03  
Sheet Title:  
**2ND FLOOR PLAN**

**KEYED NOTES:**

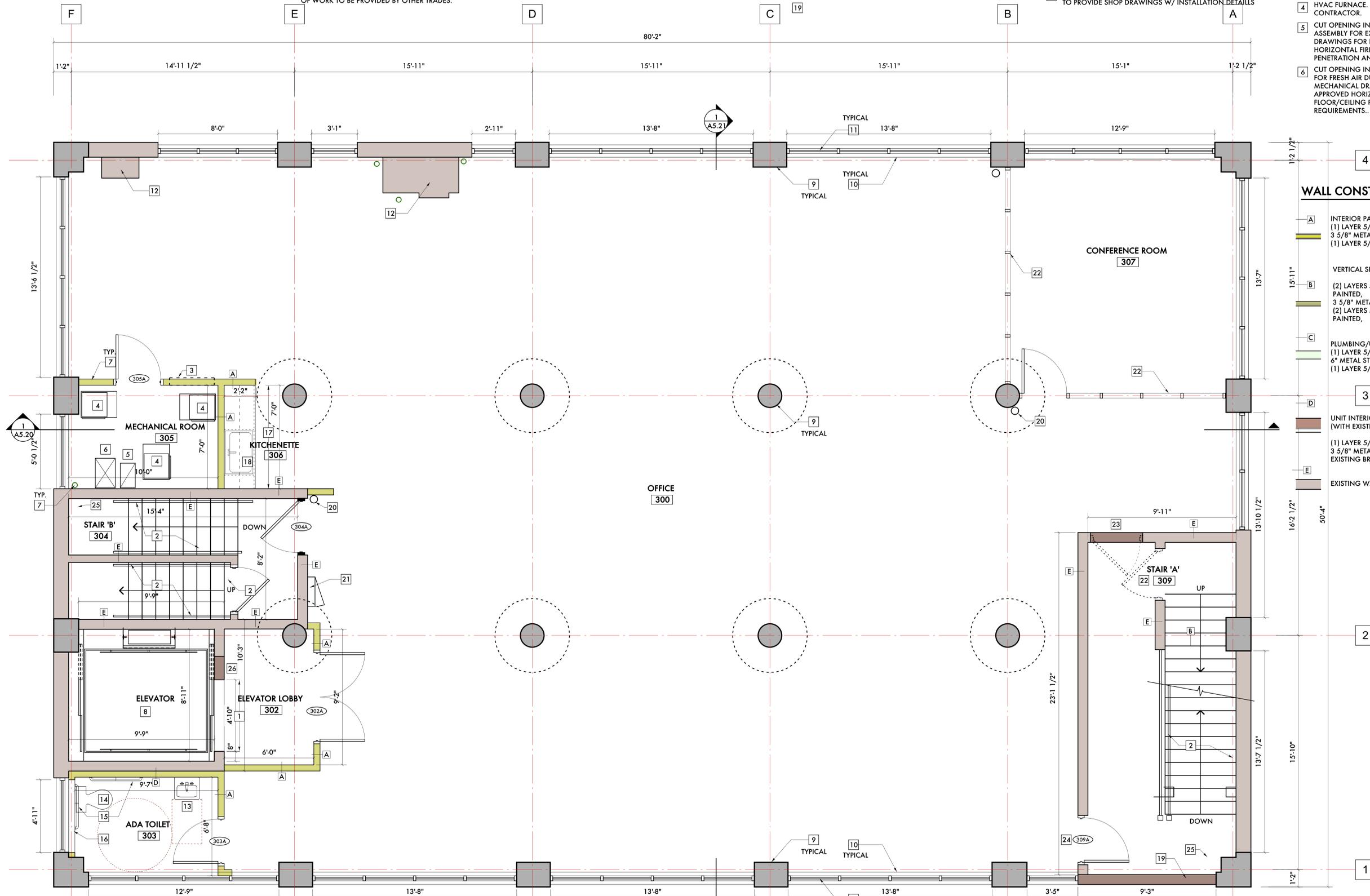
- 25 ALIGN NEW GYPSUM BOARD UNIT SEPARATION WALL ON CENTER OF EXISTING COLUMNS
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- 27 SEE ELEVATOR AND PLUMBING DRAWINGS FOR SUMP AND DRAINS REQUIRED AT ELEVATOR PIT
- 28 PROVIDE 6" X 6" MINIMUM OPENINGS/CUT-OUTS IN EXISTING ELEVATOR SHAFT FOR ELEVATOR ELECTRICAL - SEE ELECTRICAL DRAWINGS.
- 29 SEE ELEVATOR DRAWINGS BY MANUFACTURER FOR FULL EXTENT OF WORK TO BE PROVIDED BY OTHER TRADES.

- 20 EXISTING ROOF CONDUCTOR TO REMAIN, INSULATE W/ VINYL CLAD INSULATION, SEE PLUMBING DRAWINGS
- 21 ELECTRICAL PANEL - SEE ELECTRICAL DRAWINGS
- 22 FUTURE INTERIOR STOREFRONT AT CONFERENCE ROOM BY OTHERS
- 23 INFILL AT FORMER DOOR OPENING. MASONRY INFILL W/ GYPSUM BOARD OR PLASTER FINISH OR (2) LAYERS OF GYPSUM BOARD EACH SIDE OF METAL STUD SUBRATE. MAINTAIN THE (2) HOUR FIRE RATING OF THE STAIR.
- 24 FIRE PROTECTION STANDPIPE - FIRE PROTECTION CONTRACTOR TO COORDINATE FINAL LOCATION SO AS TO NOT INTERFERE W/ REQUIRED MEANS OF EGRESS

- 12 EXISTING MASONRY CHIMNEY SHAFT TO REMAIN - INFILL AND PATCH ANY OPENINGS INTO SHAFT
- 13 WALL HUNG LAVATORY - PROVIDE BLOCKING IN WALL FOR HANGING SINK
- 14 FLOOR MOUNTED TOILET
- 15 ACCESSIBLE GRAB BARS - PROVIDE BLOCKING IN WALL FOR ATTACHMENT
- 16 CONTINUE WALL BELOW NEW WINDOW
- 17 BASE & UPPER CABINETS
- 18 SINGLE BASIN, STAINLESS STEEL SINK W/ SINGLE LEVER FAUCET
- 19

- 7 CORE EXISTING FLOOR/CEILING ASSEMBLY FOR FURNACE FLUES. PROVIDE UL APPROVED ASSEMBLY TO FIRESTOP THE PENETRATION. SEE SHEET A8.80 AND A8.81 FOR POSSIBLE ASSEMBLIES. NOTE: FIRE COLLARS MAY BE REQUIRED FOR ANY PVC PIPE PENETRATION.
- 8 NEW ELEVATOR IN EXISTING MASONRY SHAFT. COORDINATE W/ ELEVATOR MANUFACTURE ON REQUIRED ALTERATIONS FOR EXISTING SHAFT FOR COMPLIANCE W/ ELEVATOR CODE.
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- 10 CONCRETE WINDOW SILL - REPAIR IN PLACE OR REPAIR, SEE GENERAL NOTES
- 11 INSULATED INDUSTRIAL STYLE GLASS WINDOW UNITS - SUPPLIER TO PROVIDE SHOP DRAWINGS W/ INSTALLATION DETAILS

- 1 COORDINATE W/ ELEVATOR SUPPLIER ON DIMENSIONS REQUIRED FOR ELEVATOR DOORS. REWORK MASONRY OPENING JAMBS AND RAISE LINTEL ABOVE DOOR OPENING AS NEEDED TO ACCOMMODATE DIMENSIONS REQUIRED FOR ELEVATOR DOORS. MINIMUM W8X10 LINTEL W/ MINIMUM 8" BEARING AT EACH END OF LINTEL
- 2 STEEL HANDRAIL, PAINTED, BOTH SIDES OF STAIRS, AT 36" ABOVE FRONT EDGE OF RISERS, GUARDS AT OPENINGS TO MAINTAIN MINIMUM 44" ABOVE FLOOR. PROVIDE BLOCKING IN ANY GYPSUM BOARD WALLS AS NEEDED FOR HANDRAIL ATTACHMENT.
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**WALL CONSTRUCTION**

- A** INTERIOR PARTITION  
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD  
3 5/8" METAL STUD  
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD
- B** VERTICAL SEPARATION WALL  
(2) LAYERS 5/8", TYPE 'X' GYPSUM BOARD, PAINTED,  
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(2) LAYERS 5/8", TYPE 'X' GYPSUM BOARD, PAINTED,
- C** PLUMBING/UTILITY PARTITION  
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD  
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- EXISTING WALL TO REMAIN

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3RD FLOOR RENTABLE AREA = 3,242 SF  
CODE OCCUPANT LOAD = (33) PERSONS  
GROSS SQUARE FEET - 4,035 SF

**3RD FLOOR PLAN**  
SCALE: 3/8" = 1'-0"



09/20/21	Historic Commission Review
09/06/21	ADD #2 - Code Review Comments
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Date: Issued For:

**Kaul Glove Building  
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1441 Brooklyn  
Detroit, Michigan 48226

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architectural  
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interior  
DESIGN

330 Madison Avenue  
4th Floor  
Detroit, Michigan 48226

Project Number: 2020-03

Sheet Title:

**3RD FLOOR PLAN**

Sheet Number:

**A3.13**

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**KEYED NOTES:**

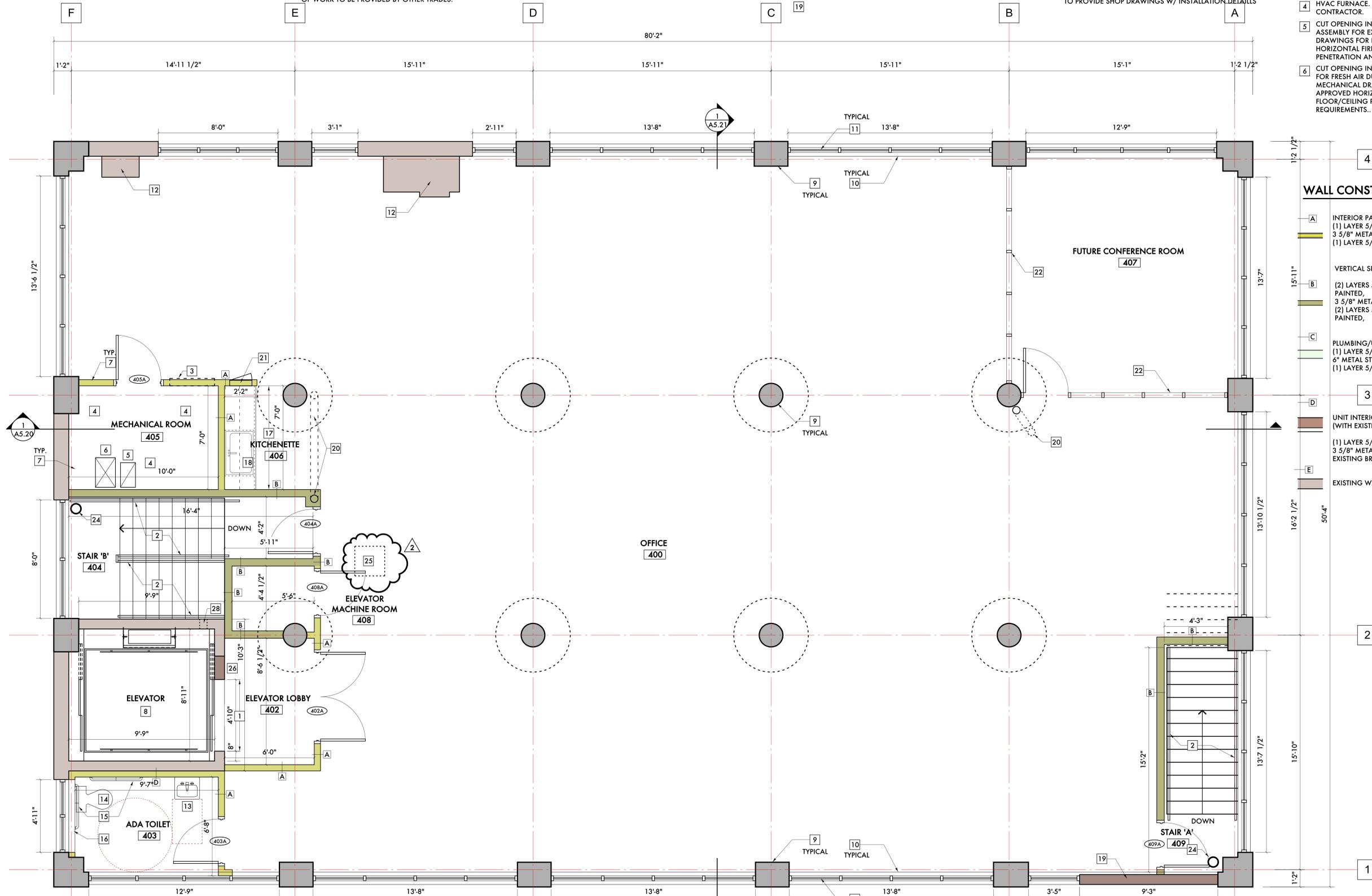
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**WALL CONSTRUCTION**

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- C** PLUMBING/UTILITY PARTITION  
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD  
6" METAL STUD  
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- D** UNIT INTERIOR WALL  
(WITH EXISTING CONSTRUCTION)
- E** (1) LAYER 5/8", TYPE 'X' GYPSUM BOARD  
3 5/8" METAL STUD,  
EXISTING BRICK MASONRY WALL
- EXISTING WALL TO REMAIN

**GENERAL NOTES:**

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4TH FLOOR RENTABLE AREA = 3,409 SF  
CODE OCCUPANT LOAD = (35) PERSONS  
GROSS SQUARE FEET - 4,035 SF

**4TH FLOOR PLAN**  
SCALE: 3/8" = 1'-0"



09/20/21	Historic Commission Review
09/06/21	ADD #2 - Code Review Comments
06/01/21	Permits
05/23/21	Owner Review
-	Engineering Review
04/05/21	SHPO
02/01/21	Permits (VOID)
01/27/21	BZA Updates
01/20/21	ADD #1 - Historic Commission
12/28/20	Historic Commission
02/16/20	Owner Review

Date: Issued For:

**Kaul Glove Building  
Renovation & Adaptive Reuse**

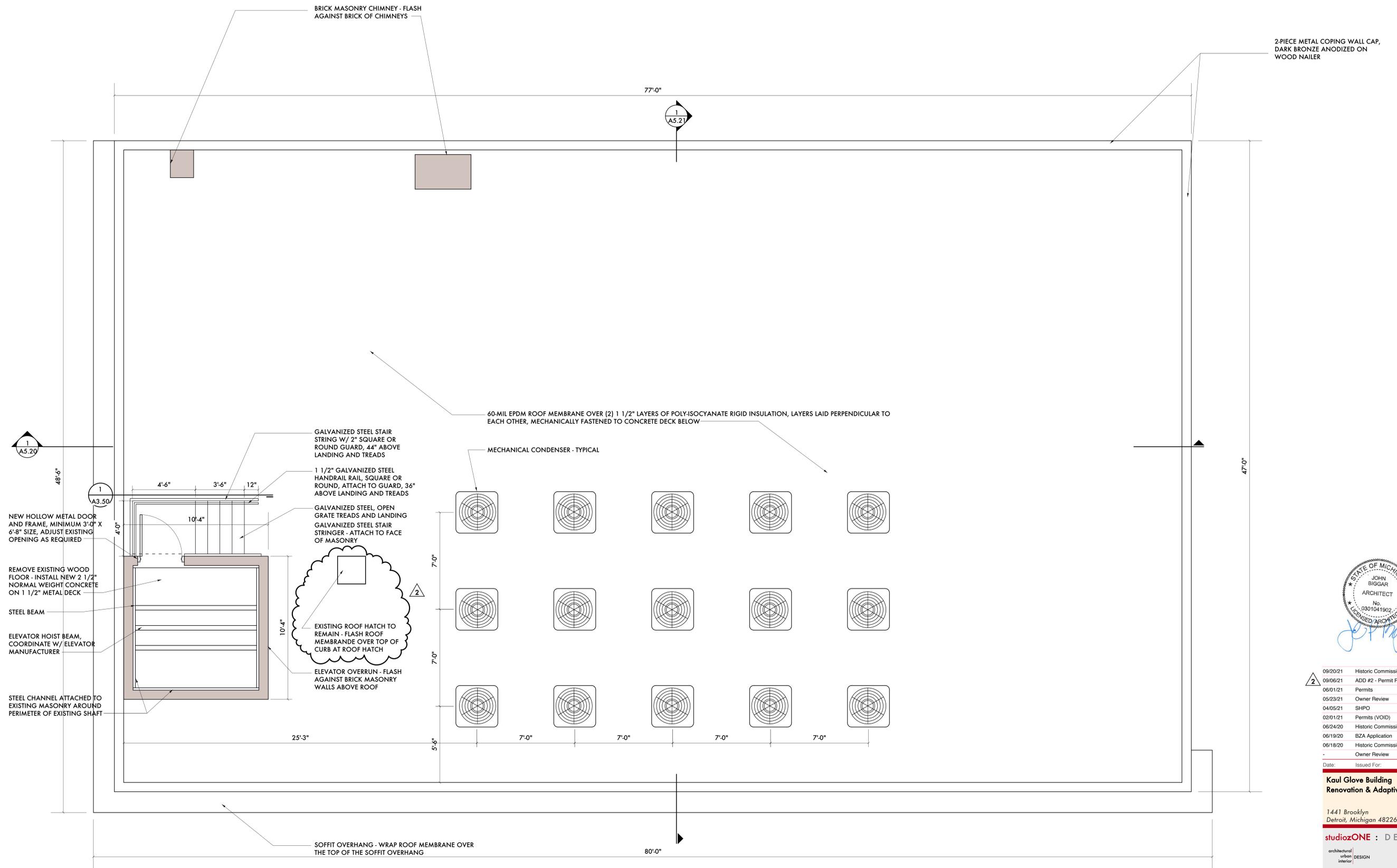
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Detroit, Michigan 48226

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4th Floor  
Detroit, Michigan 48226

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313.447.3790 (toll free)  
jg@studiozone.com



09/20/21	Historic Commission Review
09/06/21	ADD #2 - Permit Review Comments
06/01/21	Permits
05/23/21	Owner Review
04/05/21	SHPO
02/01/21	Permits (VOID)
06/24/20	Historic Commission Review
06/19/20	BZA Application
06/18/20	Historic Commission Review
-	Owner Review

Date: Issued For:

**Kaul Glove Building**  
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http://www.studiozonedetroit.com 313.872.5628 fax

Project Number: 2020-03  
Sheet Title:  
**ROOF PLAN**

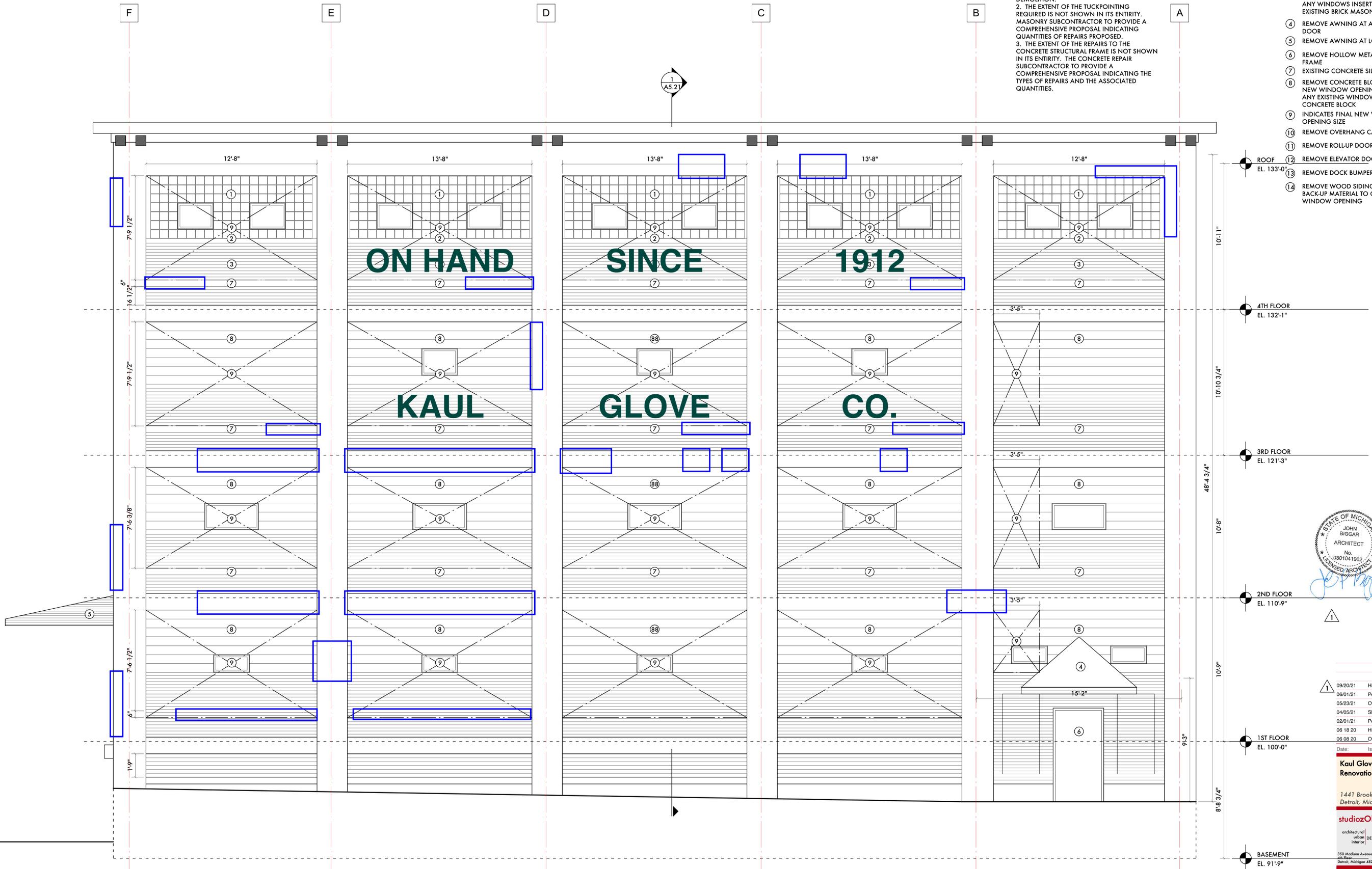
**1 ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

1. WINDOW OPENING SIZES SHOWN ARE APPROXIMATE BASED ON MEASUREMENTS TAKEN IN THE FIELD. FOR NEW WINDOW OPENINGS USING EXISTING SILLS, THE FINAL OPENING SIZE WILL BE BASED UPON THE EXISTING CONDITIONS ACHIEVED AFTER THE DEMOLITION.
2. THE EXTENT OF THE TUCKPOINTING REQUIRED IS NOT SHOWN IN ITS ENTIRETY. MASONRY SUBCONTRACTOR TO PROVIDE A COMPREHENSIVE PROPOSAL INDICATING QUANTITIES OF REPAIRS PROPOSED.
3. THE EXTENT OF THE REPAIRS TO THE CONCRETE STRUCTURAL FRAME IS NOT SHOWN IN ITS ENTIRETY. THE CONCRETE REPAIR SUBCONTRACTOR TO PROVIDE A COMPREHENSIVE PROPOSAL INDICATING THE TYPES OF REPAIRS AND THE ASSOCIATED QUANTITIES.

**KEYED NOTES:**

- 1 REMOVE WINDOW/GLASS BLOCK INCLUDING ANY INSERTED WINDOWS
- 2 REMOVE CONCRETE WINDOW SILL
- 3 REMOVE BRICK MASONRY TO CREATE NEW WINDOW OPENING INCLUDING ANY WINDOWS INSERTED INTO EXISTING BRICK MASONRY
- 4 REMOVE AWNING AT ABOVE ENTRANCE DOOR
- 5 REMOVE AWNING AT LOADING DOCK
- 6 REMOVE HOLLOW METAL DOOR AND FRAME
- 7 EXISTING CONCRETE SILL TO REMAIN
- 8 REMOVE CONCRETE BLOCK TO CREATE NEW WINDOW OPENING INCLUDING ANY EXISTING WINDOW INSERTED INTO CONCRETE BLOCK
- 9 INDICATES FINAL NEW WINDOW OPENING SIZE
- 10 REMOVE OVERHANG CANOPY
- 11 REMOVE ROLL-UP DOOR
- 12 REMOVE ELEVATOR DOORS
- 13 REMOVE DOCK BUMPER
- 14 REMOVE WOOD SIDING AND ALL BACK-UP MATERIAL TO CREATE NEW WINDOW OPENING



09/20/21	Historic Commission Review
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04/05/21	SHPO
02/01/21	Permits (VOID)
06 18 20	Historic Commission Review
06 08 20	Owner Review
Date:	Issued For:
<b>Kaul Glove Building Renovation &amp; Adaptive Reuse</b>	
1441 Brooklyn Detroit, Michigan 48226	
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architectural urban interior	DESIGN
330 Madison Avenue Detroit, Michigan 48226	studiozonedetroit.com 313.549.2790 [p] jbig@warehouse.com

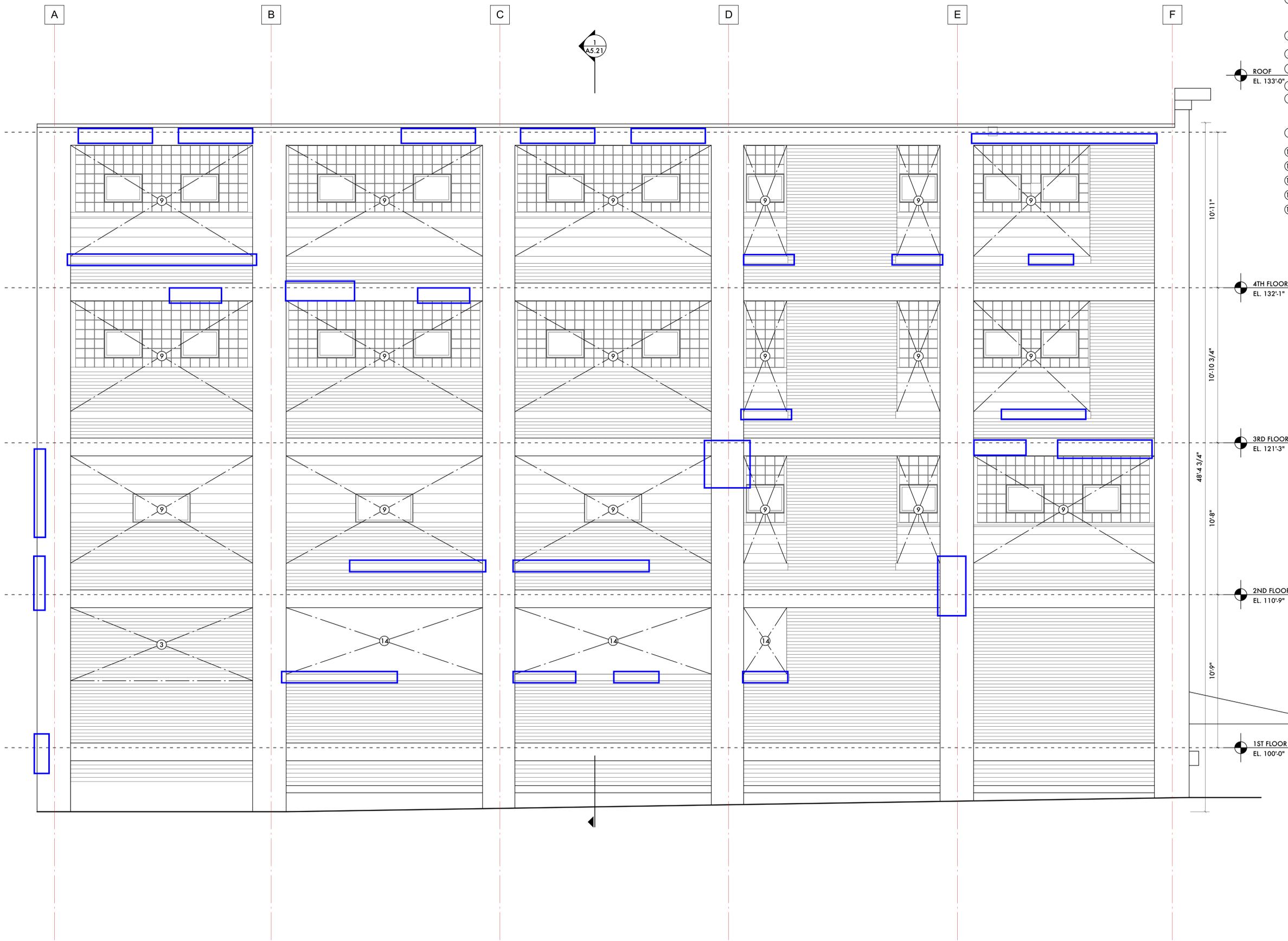
**A BROOKLYN ELEVATION (EAST)**  
SCALE: 3/8" = 1' - 0"  
0' 1' 2' 4' 10' 16'

EXISTING ELEVATIONS

Sheet Number:  
**A5.00**

**KEYED NOTES:**

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05/23/21	Owner Review
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02/01/21	Permits
06/18/20	Historic Commission Review
06/08/20	Owner Review
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jgb@warehouse.com

Project Number: 2019-  
Sheet Title:

**EXISTING  
ELEVATIONS**

Sheet Number:

**A5.02**

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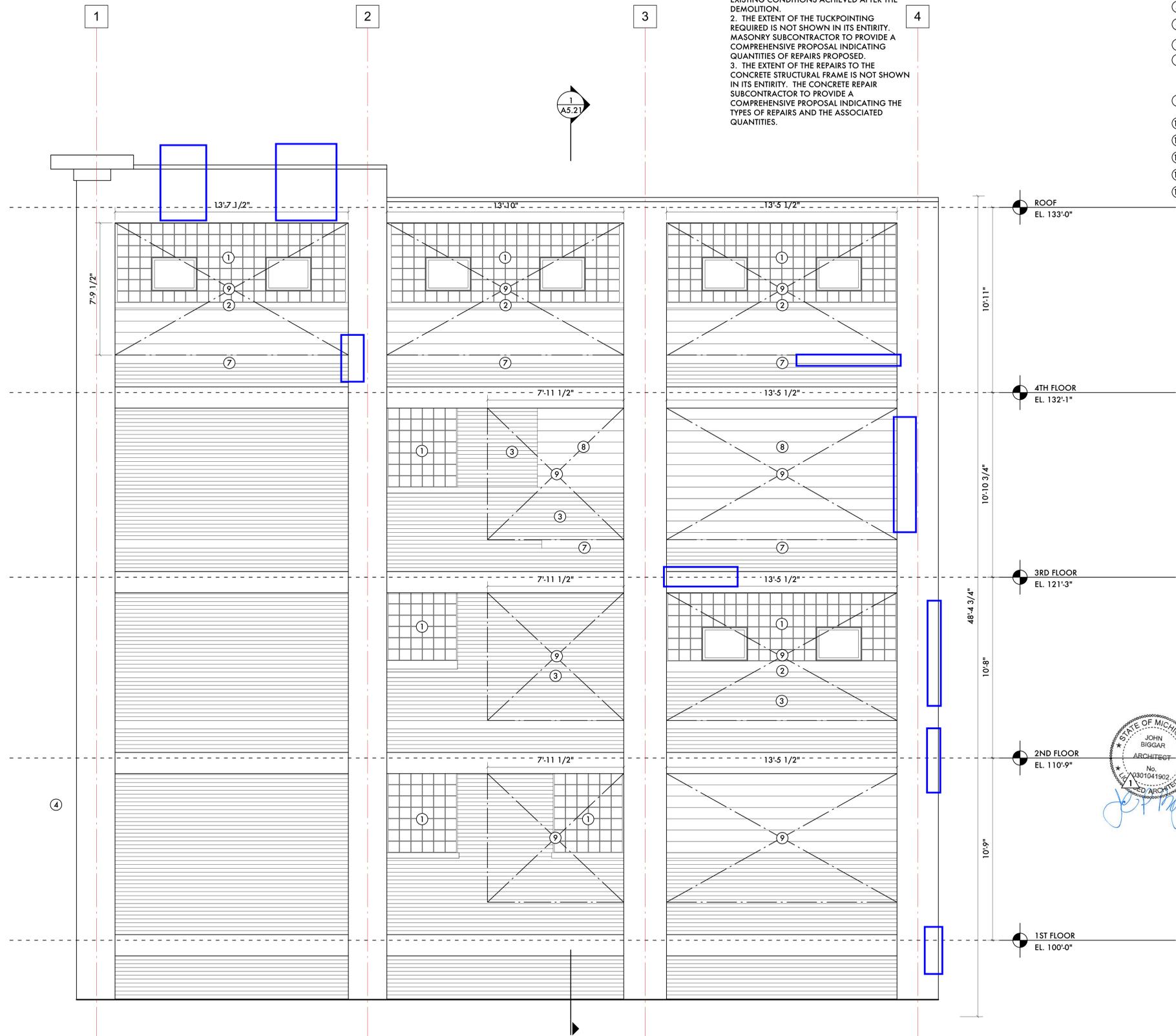


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- ⑭ REMOVE WOOD SIDING AND ALL BACK-UP MATERIAL TO CREATE NEW WINDOW OPENING

**GENERAL NOTES:**

1. WINDOW OPENING SIZES SHOWN ARE APPROXIMATE BASED ON MEASUREMENTS TAKEN IN THE FIELD. FOR NEW WINDOW OPENINGS USING EXISTING SILLS, THE FINAL OPENING SIZE WILL BE BASED UPON THE EXISTING CONDITIONS ACHIEVED AFTER THE DEMOLITION.
2. THE EXTENT OF THE TUCKPOINTING REQUIRED IS NOT SHOWN IN ITS ENTIRETY. MASONRY SUBCONTRACTOR TO PROVIDE A COMPREHENSIVE PROPOSAL INDICATING QUANTITIES OF REPAIRS PROPOSED.
3. THE EXTENT OF THE REPAIRS TO THE CONCRETE STRUCTURAL FRAME IS NOT SHOWN IN ITS ENTIRETY. THE CONCRETE REPAIR SUBCONTRACTOR TO PROVIDE A COMPREHENSIVE PROPOSAL INDICATING THE TYPES OF REPAIRS AND THE ASSOCIATED QUANTITIES.



**D NORTH ELEVATION**  
SCALE: 3/8" = 1 - 0"



09/20/21	Historic Commission Review
06/01/21	Permits
05/23/21	Owner Review
04/05/21	SHPO
02/01/21	Permits
06 18 20	Historic Commission Review
06 08 20	Owner Review
Date:	Issued For:

**Kaul Glove Building  
Renovation & Adaptive Reuse**

1441 Brooklyn  
Detroit, Michigan 48226

**studiozONE : DETROIT**

architectural | urban | DESIGN  
interior

350 Madison Avenue  
4th Floor  
Detroit, Michigan 48226  
studiozonedetroit.com  
313.549.2790 [p]  
jgb@ware.house.com

Project Number: 2019-  
Sheet Title:

**EXISTING  
ELEVATIONS**

Sheet Number:

**A5.03**

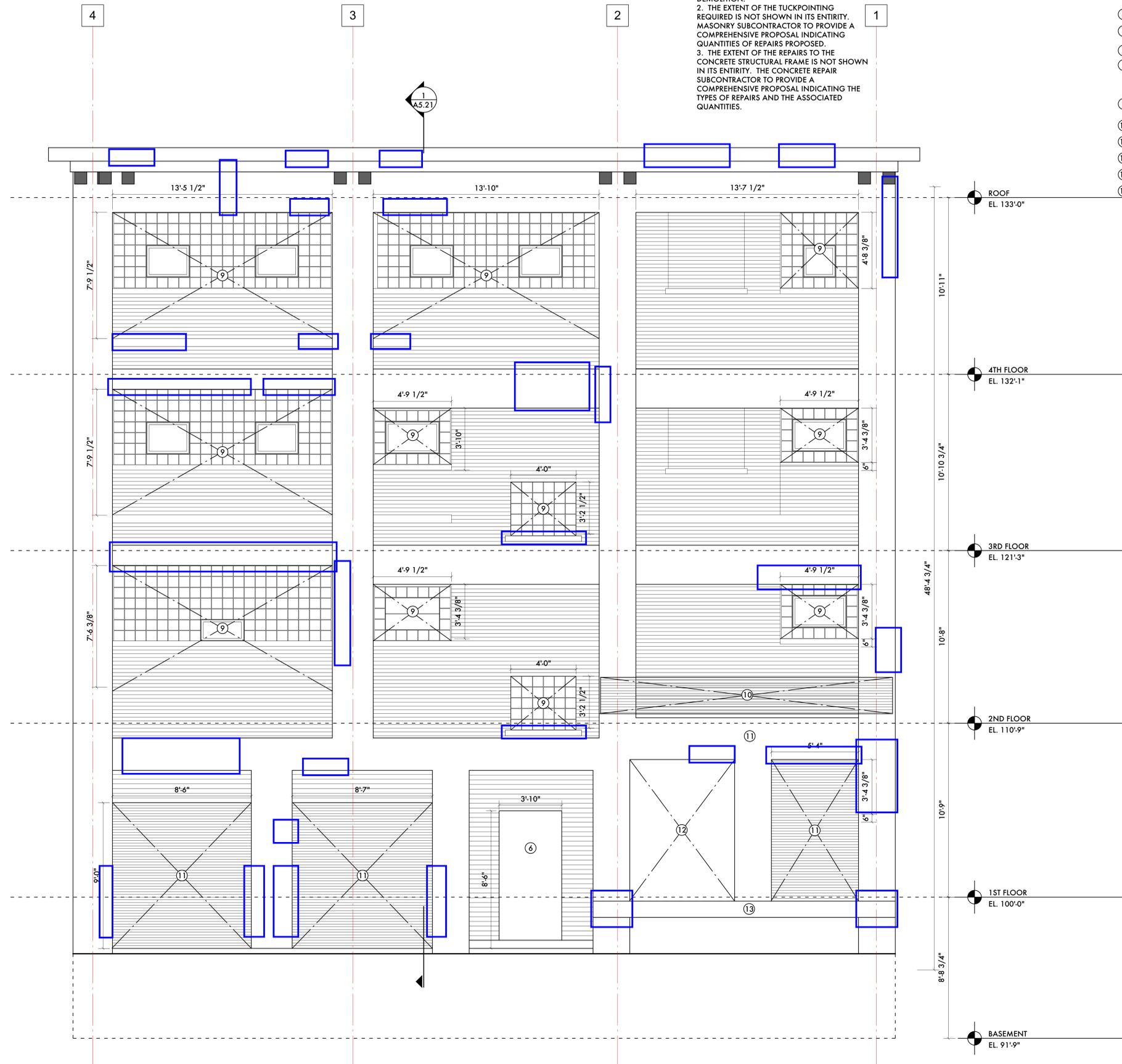
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**KEYED NOTES:**

- ① REMOVE WINDOW/GLASS BLOCK INCLUDING ANY INSERTED WINDOWS
- ② REMOVE CONCRETE WINDOW SILL
- ③ REMOVE BRICK MASONRY TO CREATE NEW WINDOW OPENING INCLUDING ANY WINDOWS INSERTED INTO EXISTING BRICK MASONRY
- ④ REMOVE AWNING AT ABOVE ENTRANCE DOOR
- ⑤ REMOVE AWNING AT LOADING DOCK
- ⑥ REMOVE HOLLOW METAL DOOR AND FRAME
- ⑦ EXISTING CONCRETE SILL TO REMAIN
- ⑧ REMOVE CONCRETE BLOCK TO CREATE NEW WINDOW OPENING INCLUDING ANY EXISTING WINDOW INSERTED INTO CONCRETE BLOCK
- ⑨ INDICATES FINAL NEW WINDOW OPENING SIZE
- ⑩ REMOVE OVERHANG CANOPY
- ⑪ REMOVE ROLLUP DOOR
- ⑫ REMOVE ELEVATOR DOORS
- ⑬ REMOVE DOCK BUMPER
- ⑭ REMOVE WOOD SIDING AND ALL BACK-UP MATERIAL TO CREATE NEW WINDOW OPENING

**GENERAL NOTES:**

- 1. WINDOW OPENING SIZES SHOWN ARE APPROXIMATE BASED ON MEASUREMENTS TAKEN IN THE FIELD. FOR NEW WINDOW OPENINGS USING EXISTING SILLS, THE FINAL OPENING SIZE WILL BE BASED UPON THE EXISTING CONDITIONS ACHIEVED AFTER THE DEMOLITION.
- 2. THE EXTENT OF THE TUCKPOINTING REQUIRED IS NOT SHOWN IN ITS ENTIRETY. MASONRY SUBCONTRACTOR TO PROVIDE A COMPREHENSIVE PROPOSAL INDICATING QUANTITIES OF REPAIRS PROPOSED.
- 3. THE EXTENT OF THE REPAIRS TO THE CONCRETE STRUCTURAL FRAME IS NOT SHOWN IN ITS ENTIRETY. THE CONCRETE REPAIR SUBCONTRACTOR TO PROVIDE A COMPREHENSIVE PROPOSAL INDICATING THE TYPES OF REPAIRS AND THE ASSOCIATED QUANTITIES.



**B ALLEY ELEVATION (SOUTH)**

SCALE: 3/8" = 1 - 0"



09/20/21	Historic Commission Review
06/01/21	Permits
05/23/21	Owner Review
04/05/21	SHPO
02/01/21	Permits
06 18 20	Historic Commission Review
06 08 20	Owner Review
Date:	Issued For:

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**studioONE : DETROIT**

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urban  
interior DESIGN

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Project Number: 2020 - 03

Sheet Title:

**EXISTING & DEMOLITION  
ELEVATIONS**

Sheet Number:

**A5.01**

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**GENERAL NOTES:**

4. ENTIRE BUILDING, STRUCTURAL FRAME, BRICK MASONRY AREAS, ARE TO BE REPAINTED. PRIME AND SEAL ALL CONCRETE AND MASONRY. ALL MASONRY SURFACES TO BE REPAINTED SHOULD BE REPAINTED WITH A NON-WATERPROOF, BREATHABLE PAINT (I.E. SILICATE/MINERAL PAINT).

5. PAINTER TO SUBMIT FINAL PAINT COLOR MATERIALS AND SAMPLES FOR APPROVAL TO THE CITY OF DETROIT HISTORIC COMMISSION PRIOR TO PAINTING. COLOR TO BE A "BATTLESHIP GRAY".

6. CONCRETE AND MASONRY REPAIR AREAS SHOWN ARE FOR PRICING GENERAL REFERENCE ONLY. MASON AND CONCRETE REPAIR SUBCONTRACTOR TO DO A THOROUGH INVESTIGATION TO DETERMINE IF ANY OTHERS AREAS REQUIRE REPAIR BEFORE STARTING THE WORK.

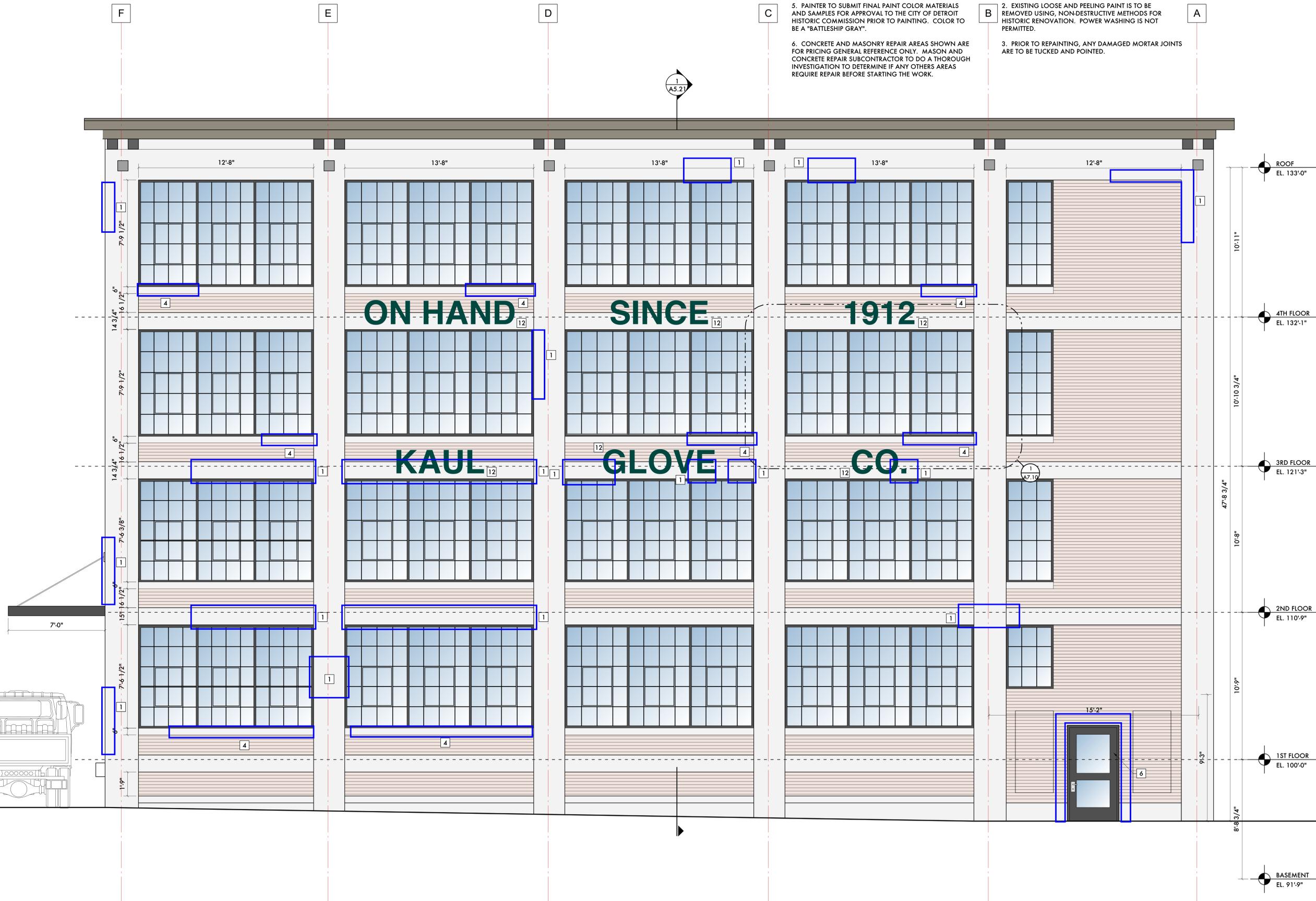
1. BASIS FOR DESIGN:  
WINDOW SYSTEM: SEAL-CRAFT  
FINISH: ANODIZED  
COLOR: DARK BROWN  
OPERABLE UNITS: NONE  
MUNTINS: APPLIED, SIMULATED DIVIDED LITES

2. EXISTING LOOSE AND PEELING PAINT IS TO BE REMOVED USING, NON-DESTRUCTIVE METHODS FOR HISTORIC RENOVATION. POWER WASHING IS NOT PERMITTED.

3. PRIOR TO REPAINTING, ANY DAMAGED MORTAR JOINTS ARE TO BE TUCKED AND POINTED.

**KEYED NOTES:**

- 1 REPAIR EXISTING CONCRETE STRUCTURAL FRAME
- 2 NEW PRECAST WINDOW SILL
- 3 NEW BRICK PIER IN EXISTING WINDOW OPENING
- 4 REPAIR EXISTING WINDOW SILL
- 5 ROLL-UP GARAGE DOOR W/ GLASS SAFETY GLASS PANELS
- 6 REMOVE EXISTING DOOR AND FRAME. INSTALL NEW HOLLOW METAL OR STOREFRONT ENTRY DOOR, BROWN ANODIZED FINISH, RAIL & STILE DOOR AND FRAME W/ CLEAR SAFETY GLASS. EXIT DEVICE IN NEW ALUMINUM OR HOLLOW METAL DOOR FRAME PAINTED TO MATCH ANODIZED BROWN ALUMINUM. COORDINATE W/ OWNER'S SECURITY CONTRACTOR FOR ANY CARD READERS OR ELECTRONIC DEVICES ON THE DOOR. REPAIR MASONRY AROUND DOOR OPENING AS REQUIRED.
- 7 INFILL FORM OPENING W/ BRICK MASONRY FACE ON 4" CONCRETE BLOCK BACK-UP
- 8 EXTERIOR ELEVATOR ACCESS DOOR AT GRADE LEVEL
- 9 NEW WINDOW SYSTEM W/ 1" THICK INSULATED GLASS UNITS AND APPLIED MUNTINS ON INTERIOR AND EXTERIOR AND DIVIDER BETWEEN LITES
- 10 REPAIR CONCRETE CORNICE
- 11 STRUCTURAL STEEL CANOPY, PAINTED
- 12 RE-INSTALL SALVAGED AND SAVED BUILDING SIGNAGE
- 13 GARAGE DOOR W/ INSULATED GLAZING



09/20/21	Historic Commission Review
09/20/21	SHPO / NPS
09/06/21	ADD #2 - Code Review Comments
06/01/21	Permits
05/23/21	Owner Review
04/05/21	SHPO
02/01/21	Permits (VOID)
06/24/20	Historic Commission Review
06/19/20	BZA Application
06/18/20	Historic Commission Review
06/08/20	Owner Review

Date: Issued For:

**Kaul Glove Building  
Renovation & Adaptive Reuse**

1441 Brooklyn  
Detroit, Michigan 48226

**studioONE : DETROIT**

architectural  
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313.249.2760 |  
jpb@wate-house.com

Project Number: 2020 - 03

Sheet Title:  
**ELEVATIONS**

Sheet Number:

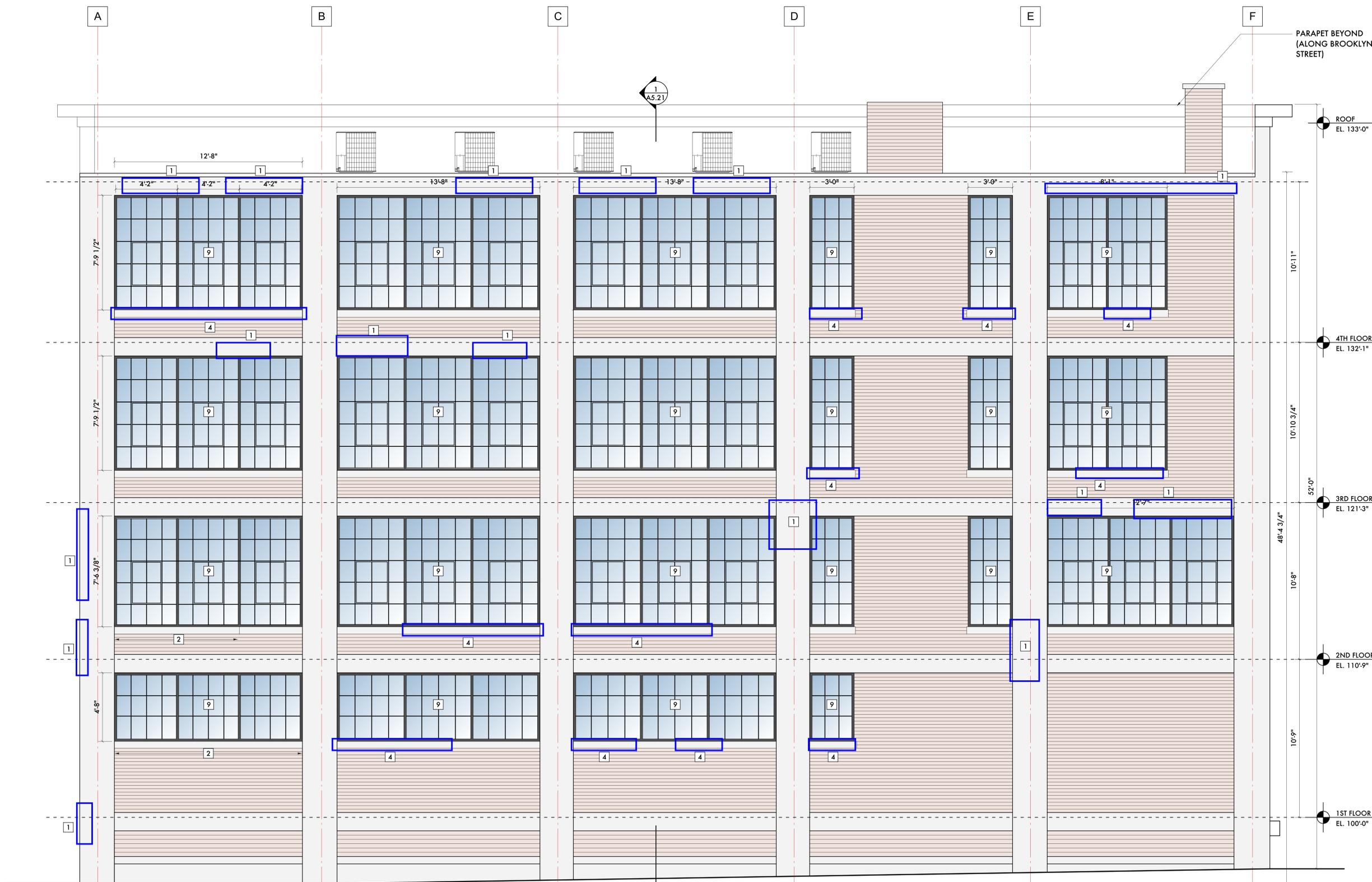
**A5.10**

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**A BROOKLYN ELEVATION (EAST)**  
SCALE: 3/8" = 1'-0"

**KEYED NOTES:**

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- 11 STRUCTURAL STEEL CANOPY, PAINTED



PARAPET BEYOND (ALONG BROOKLYN STREET)

ROOF  
EL. 133'-0"

4TH FLOOR  
EL. 132'-1"

3RD FLOOR  
EL. 121'-3"

2ND FLOOR  
EL. 110'-9"

1ST FLOOR  
EL. 100'-0"



09/20/21	Historic Commission Review
09/20/21	SHPO / NPS
09/06/21	ADD #2 - Code Review Comments
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05/23/21	Owner Review
04/05/21	SHPO
02/01/21	Permits (VOID)
06/24/20	Historic Commission Review
Date:	Issued For:

**Kaul Glove Building  
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1441 Brooklyn  
Detroit, Michigan 48226

**studiozONE : DETROIT**

architectural  
urban DESIGN  
interior

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jpb@warhouse.com

Project Number: 2020 - 03  
Sheet Title:

**ELEVATIONS**

Sheet Number:

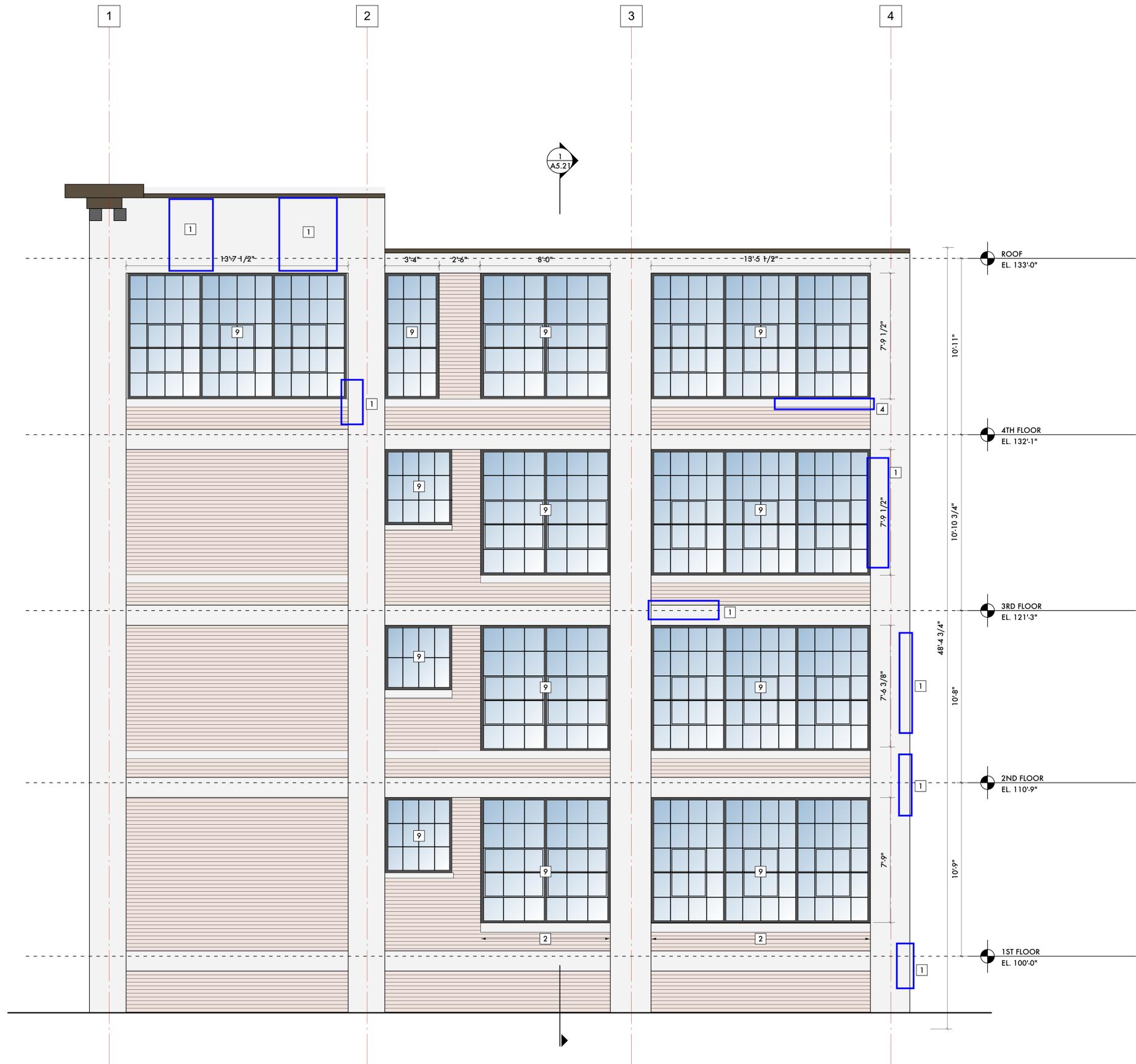
**A5.11**

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**KEYED NOTES:**

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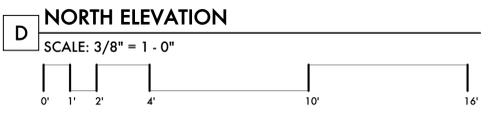
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**ELEVATIONS**

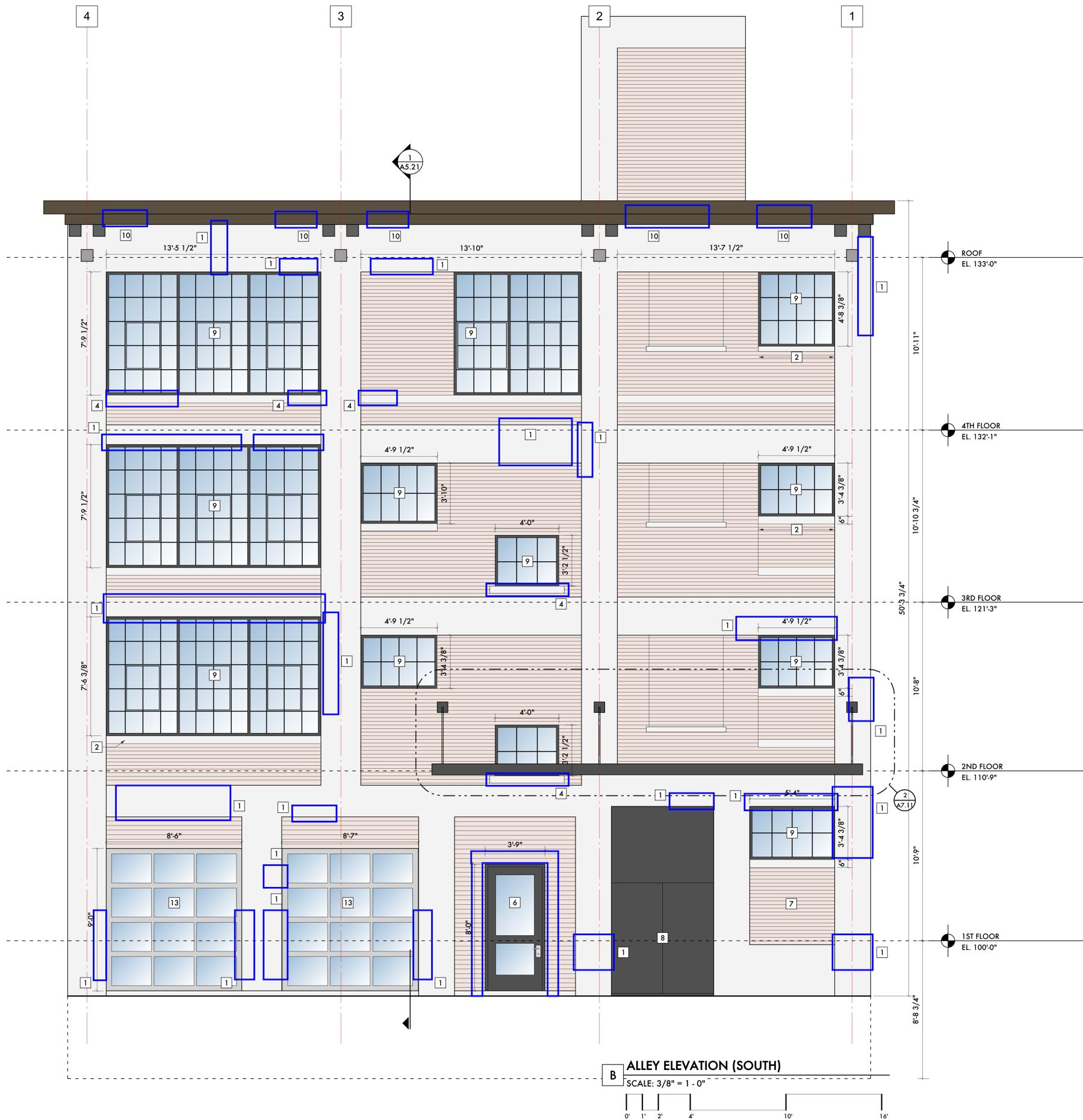
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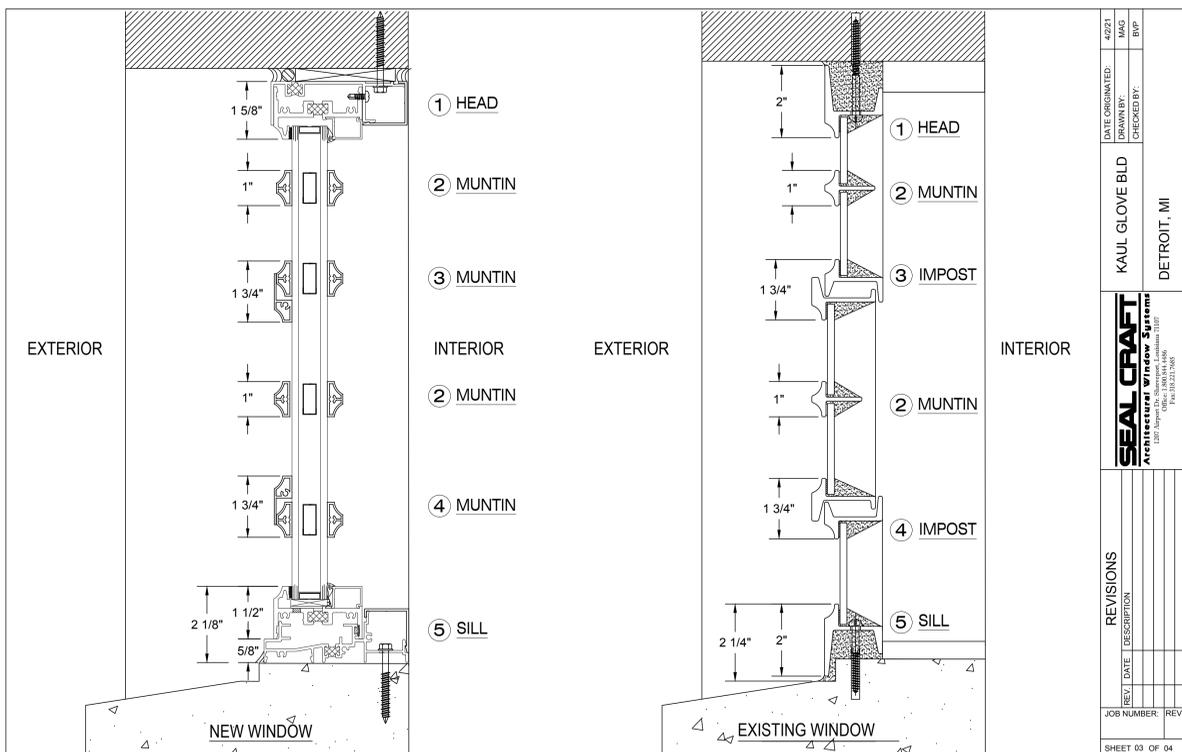
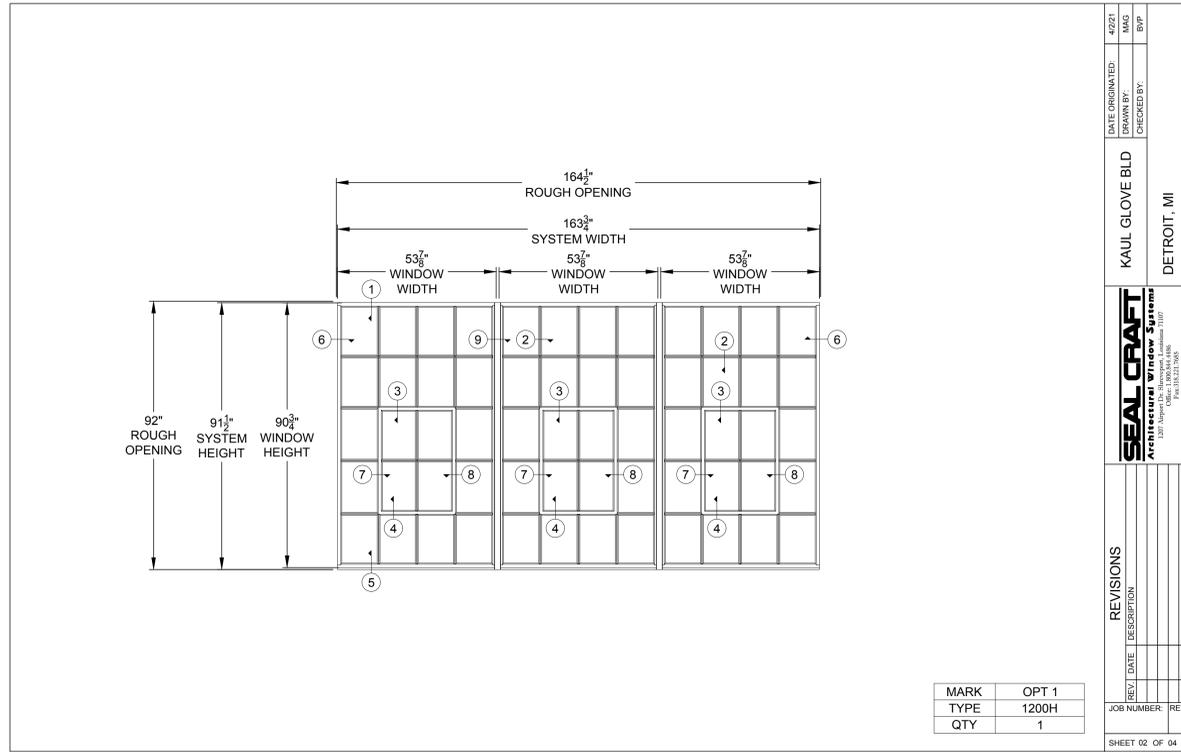
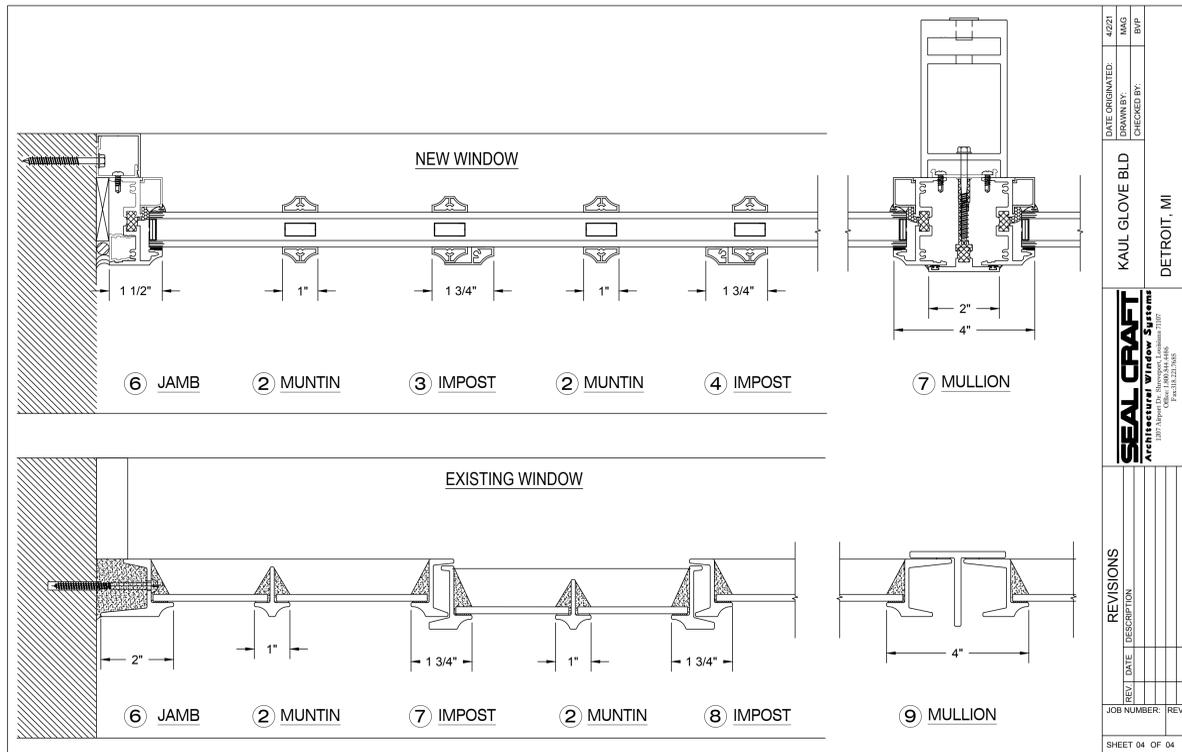
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09/20/21	SHPO / NPS
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06/01/21	Permits
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02/01/21	Permits (VOID)
06/24/20	Historic Commission Review
Date:	Issued For:
<b>Kaul Glove Building Renovation &amp; Adaptive Reuse</b>	
1441 Brooklyn Detroit, Michigan 48226	
<b>studioONE : DETROIT</b>	
architectural urban interior	DESIGN
350 Madison Avenue 4th Floor Detroit, Michigan 48226	studioonedetroit.com 313.249.2760 [t] jpb@wade-house.com

Project Number: 2020 - 03  
Sheet Title:  
**ELEVATIONS**



# KAUL GLOVE BUILDINGS DETROIT, MI

**IMPORTANT NOTICES:**

- The Client is responsible to verify accuracy on all dimensions and quantities on the submittal drawings.
- Approved or reviewed shop drawings will take precedence over specifications in case of a conflict.
- All elevations are as viewed from the exterior.
- These shop drawings are an interpretation of information which we have received in connection with this project. They may vary from the architectural drawings and/or field conditions and each detail must be thoroughly reviewed and approved by the architect. These shop drawings are supplied for the submittal and approval process. All parties involved shall review for respective applications.
- Prompt return of reviewed and approved drawing submittals is essential for expedient production scheduling for your order. Raw materials for your order will be ordered only upon receipt of approved submittal drawings. Our price is based on our shop drawings. Additions or deletions of detail changes may result in additional charges or production delays.
- Seal Crafts responsibility shall be limited to providing window products in accordance with approved shop drawings. Customer is responsible for verifying all information included in shop drawings is correct and accurate. Signing and returning these shop drawings to Seal Craft means that you have thoroughly reviewed them and accept responsibility for their accuracy.
- Seal Craft does not warrant build sizes for fit or against variations in opening sizes. Accuracy of all dimensions and installation engineering details are the sole responsibility of the purchaser and installing subcontractor.
- Seal Craft must be notified of field testing requirements before the order is placed. Field testing are to be pursuant to AAMA 502.08. Test pressure shall be based on the design pressure of the building and shall be calculated in accordance with AAMA 502.08. Testing shall be performed as quickly as possible after first window is installed.

**WARRANTY:**

- Seal Crafts warranty document is available at [www.seal-craft.com](http://www.seal-craft.com).
- Seal Crafts warranty shall be null and void in cases where installation instructions are not followed, where products are installed into sub standard construction substrates or if there have been unauthorized modifications to the product or installation procedure.

**SPECIAL INSTRUCTIONS TO INSTALLER:**

- All window systems shall be installed pursuant to AAMA Publication IPCB-08, ASTM E 2112, and AAMA 2400-02. These documents can be located at [www.seal-craft.com](http://www.seal-craft.com) together with Seal Craft product specific installation and maintenance instructions.
- Installer must properly shim and adjust all windows for proper operation. Shim jambs of all windows at all fastener locations and especially at meeting rail of single and double hung windows.
- Customer to verify that all opening dimensions and existing wall conditions are acceptable to receive window installation if not, please notify general contractor or architect as appropriate.
- Installer is responsible for properly sealing around windows or anywhere there is an exterior joint that is not factory sealed or weather stripped.
- Installer is responsible to ensure that all window to subframe, panning, and mullion weather strip joints are fully compressed and sealed during field assembly.
- Seal fasteners at every location where fastener pierces sub sill of window system.
- Seal Craft does not provide fasteners, blocking, flashing, or insulation.
- Seal Craft will not be responsible for condensation at window sills due to sill pans supplied and installed by others.
- Type and placement of anchors as determined by others.

**NOTICES:**

- Ensure that the window installation subcontractor has been provided with a set of approved shop drawings for the project PRIOR to the commencement of installation activities.
- Should questions arise call 1-800-944-4486 before proceeding with installation.
- These shop drawings constitute the Copy Written intellectual property of Seal Craft and may not be divulged to parties other than the architect and installing subcontractor without explicit written approval by Seal Craft.

**DELIVERY, UNLOADING, AND STORAGE:**

- Before windows are delivered pre-plan for a suitable storage area to keep the window products secure, clean, dry, and protected from temperature extremes.
- Seal Craft will provide concise packing slips for all materials delivered. Ensure that materials are checked in and verified against the packing list.
- Any material shortages or damage must be noted on the drivers bill of lading or shipping ticket. In no case will Seal Craft acknowledge any freight claims made after 30 days past the delivery date.

**PROJECT SPECIFIC SELECTIONS:**

**GLAZING REQUIREMENTS**  
 ① 1/4" LOW E OVER 1/4" CLEAR  
 272 #2

**FINISH**  
 2603 BLACK 768

**SHOP DRAWING/SUBMITTAL REVIEW**

REVIEWED AND APPROVED  APPROVED WITH CHANGES NOTED  
 REVISE AND RESUBMIT  REJECTED

REVIEW IS FOR THE GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SPECIFIC TO EXACT DIMENSIONS, DETAILS, AND QUANTITIES GIVEN IN THE SUBMITTED SHOPS.  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**HOTEL PROJECTS:**

- On all Horizontal Slider jobs (4100 Series) Sash stops to be installed in head only. Use provided screws. Installation of Sash stop in sill may block weep holes and cause water intrusion.
- Need screen springs in 1 height of screens (Jamb side).

DATE ORIGINATED: 4/21/21  
 DRAWN BY: MAG  
 CHECKED BY: BVP

KAUL GLOVE BLD  
 DETROIT, MI

SEAL CRAFT Architectural Window Systems  
 1327 Poppleton Ave., Detroit, MI 48207  
 Phone: 313.246.2760 Fax: 313.246.2768

REVISIONS

REV. DATE DESCRIPTION

JOB NUMBER: REV.

SHEET 01 OF 04



09/20/20 Historic Commission Review  
 09/06/20 ADD #2 - Code Review Comments  
 06/01/20 Permits  
 05/23/21 Owner Review

Date: Issued For:

**Kaul Glove Building  
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1441 Brooklyn  
 Detroit, Michigan 48226

**studioONE : DETROIT**

architectural  
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 interior DESIGN

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 studioonedetroit.com  
 313.246.2760  
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Project Number: 2020 - 03

Sheet Title:

**WINDOW SYSTEM  
BASIS OF DESIGN**