

ALLEY (20' ROW)

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PROJECT SCOPE OF WORK

NEW CONSTRUCTION OF ADDITION WITH OUTDOOR PATIO TO EXISTING SINGLE-FAMILY RESIDENCE, LOCATED AT 1542 HUBBARD. THE (TWO) 2 - STORY BRICK MASONRY STRUCTURE EXISTING INCLUDES A BASEMENT LEVEL WITH BEARING FOUNDATION WALLS. NEW CONSTRUCTION IS TO THE REAR FACADE ONLY, INCLUDING A NEW ENTRY AT GRADE ALLOWING ENCLOSED ACCESS TO BASEMENT AND MAIN FLOOR LEVELS OF THE RESIDENCE. A NEW BATHROOM AND SUN/GUEST ROOM AND STAIR ENCLOSURES DESCRIBE THE ADDITION USE. NEW PLUMBING, MECHANICAL AND ELECTRICAL ARE INCLUDED SUPPORTING THE ADDITION. SITE WORK CONSISTS OF NEW WALKWAYS AT REAR LOCATION WITH OUTDOOR PATIO AREA IMPROVEMENTS. NEW STRUCTURE COMPLIES WITHIN LOT COVERAGE.

PERMIT IS FOR NEW CONSTRUCTION ONLY.

LEGAL DESCRIPTION

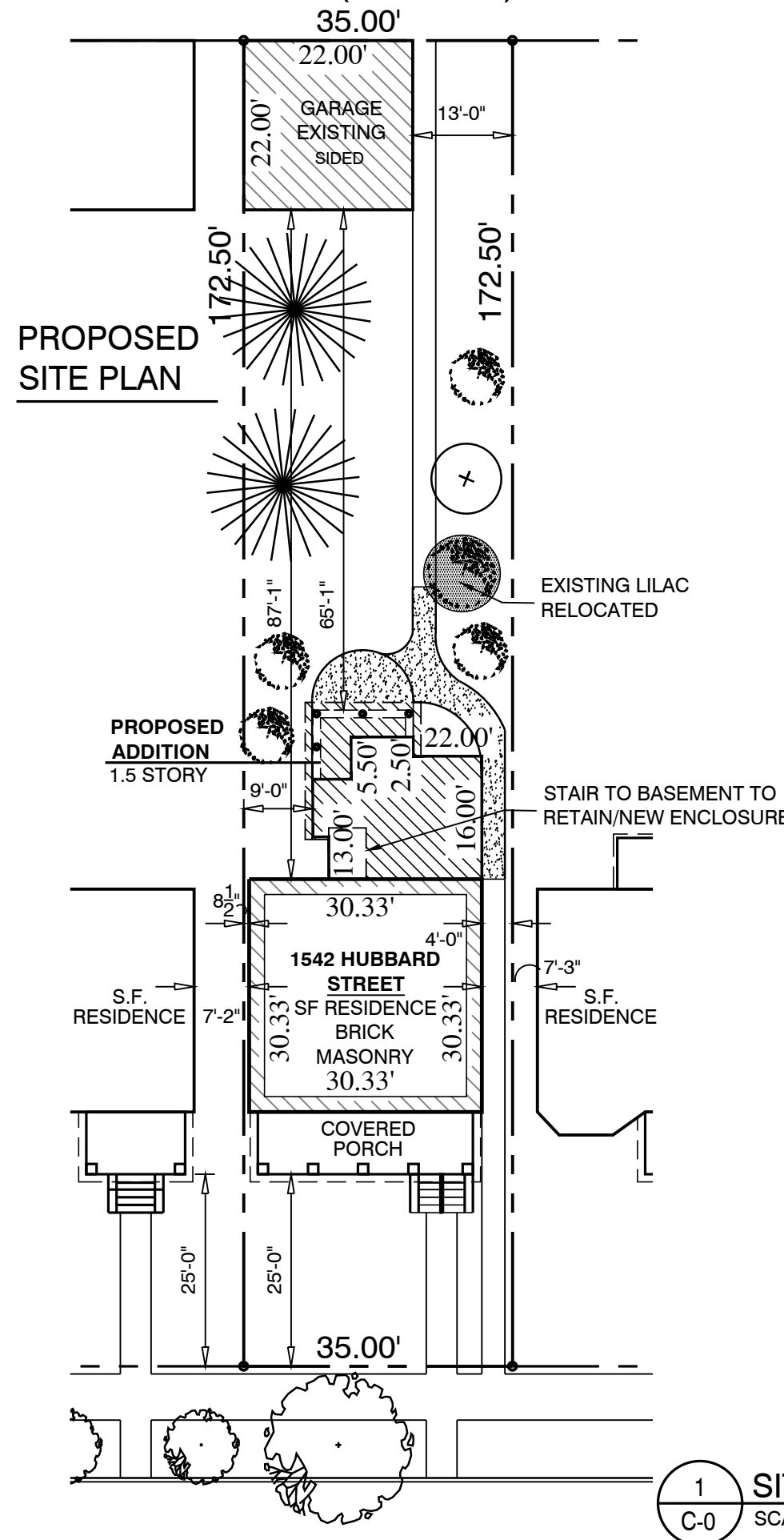
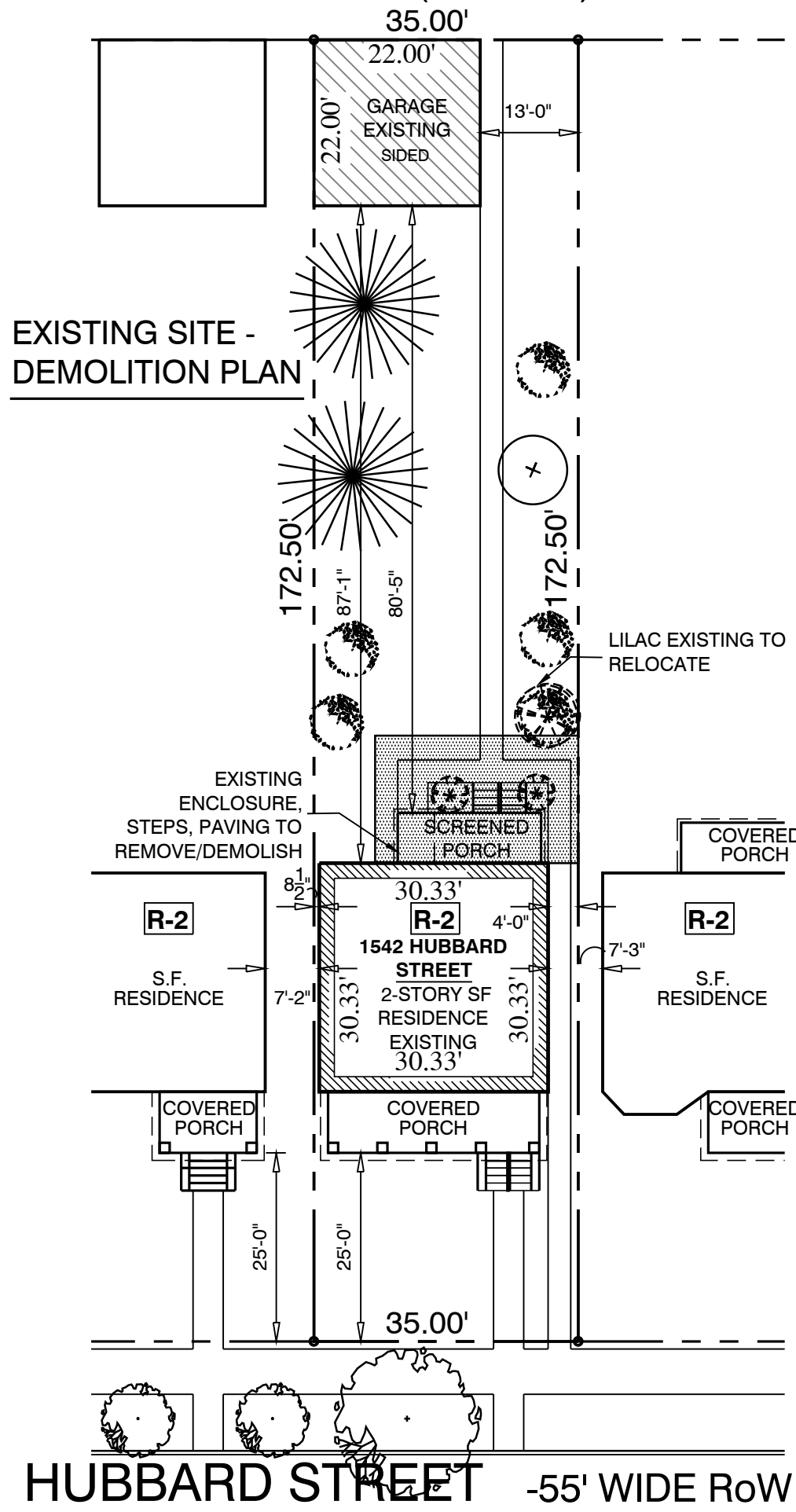
LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN DESCRIBED AS:

ALL OF LOT 32 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 64 OF PLATS, PAGE 14, WAYNE COUNTY RECORDS, ALL DESCRIBED AS FOLLOWS:

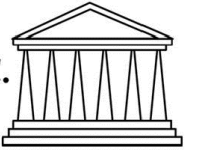
COMMENCING AT PLAT NO.1; EAST HUBBARD STREET SOUTH 35 FEET OF NORTH 40 FEET OF WEST 172.50 FEET 32 "HUBBARDS SUBDIVISION". L64 P1 DEEDS. WCR 14 /14, 35 X 172.50, CONTAINING 6,037.50 SQUARE FEET (0.139 ACRES).

EXISTING SITE - DEMOLITION PLAN

PROPOSED SITE PLAN



STEVEN C. FLUM, INC.
architecture • urban planning
3105 Holbrook Street, Hamtramck, MI. 48212
VM: 313.831.2844 WEB: stevenflum.com



RESIDENCE ADDITION
1542 HUBBARD STREET,
DETROIT, MI 48209

ISSUE DATE:
05/21/21 FINALL DD REVIEW

HUBBARD STREET -55' WIDE RoW

1 SITE PLANS
C-0 SCALE: 1" = 20'-0"



C-0
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SCREEN PORCH AND BASEMENT ENTRY

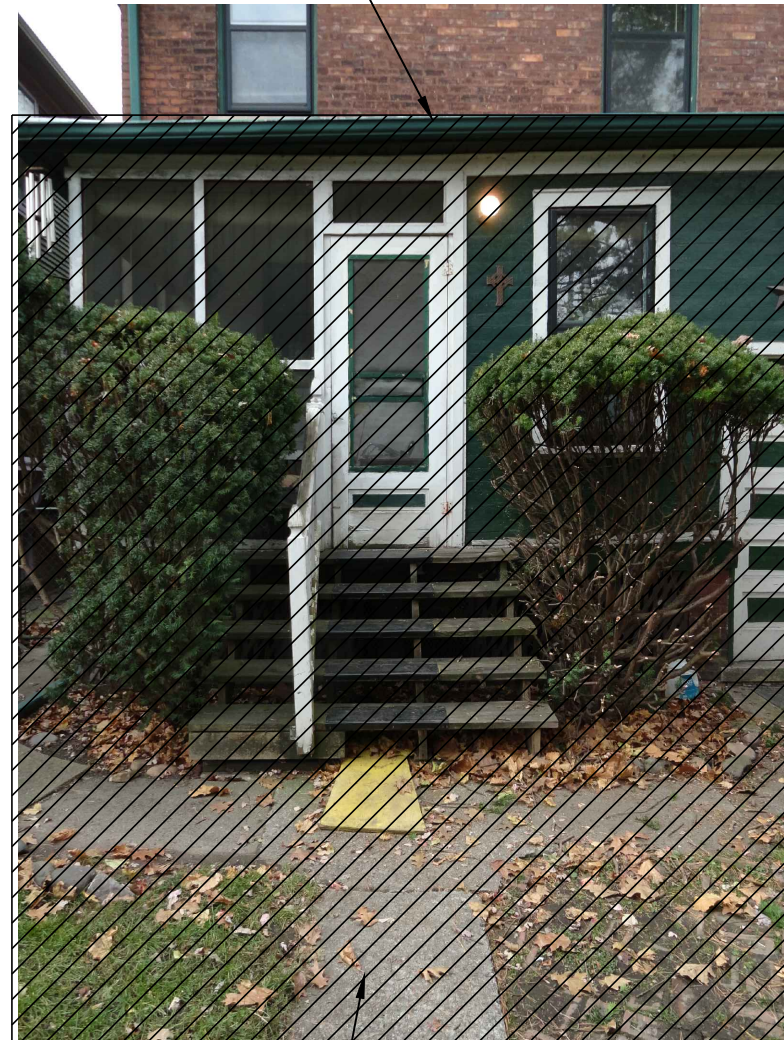
EAST ELEVATION



GARAGE/ALLEY ENTRY

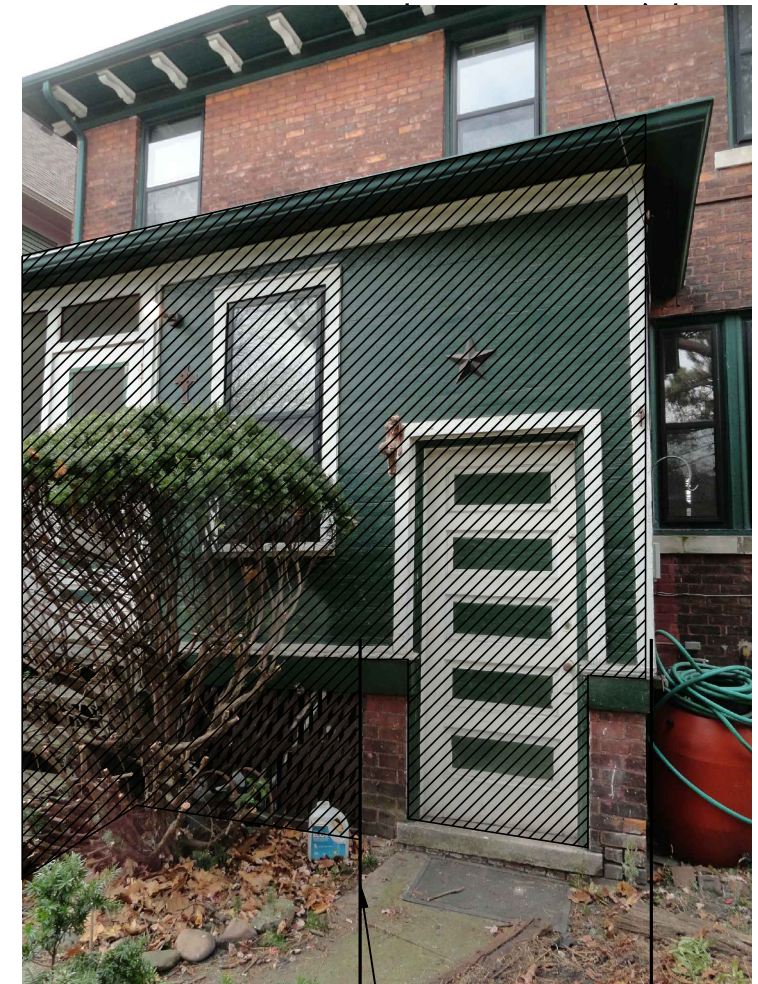
REAR YARD OVERALL LOOKING EAST

AREA OF COMPLETE
DEMOLITION TO GRADE



CONCRETE WALKWAY
EXISTING, AREA OF
WORK

ELEVATION ENLARGED

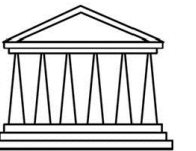


ENTRY ENLARGED

BRICK MASONRY
KNEEWALLS AND STAIR
TO BASEMENT TO
REMAIN WITHIN NEW
ADDITION SCOPE OF
WORK, NEW
ENCLOSURE

EXISTING CONDITIONS REAR ELEVATIONS
NO SCALE

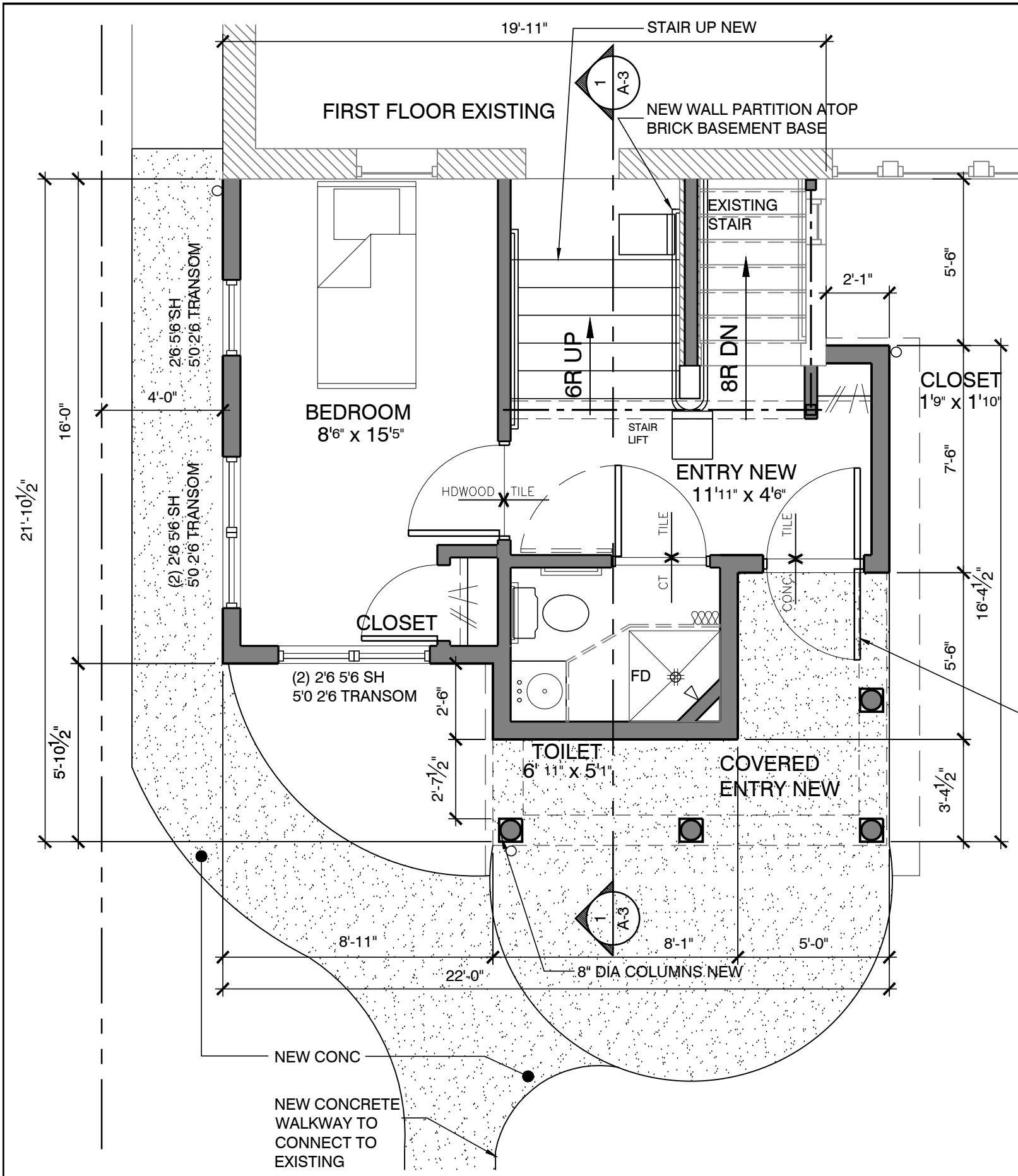
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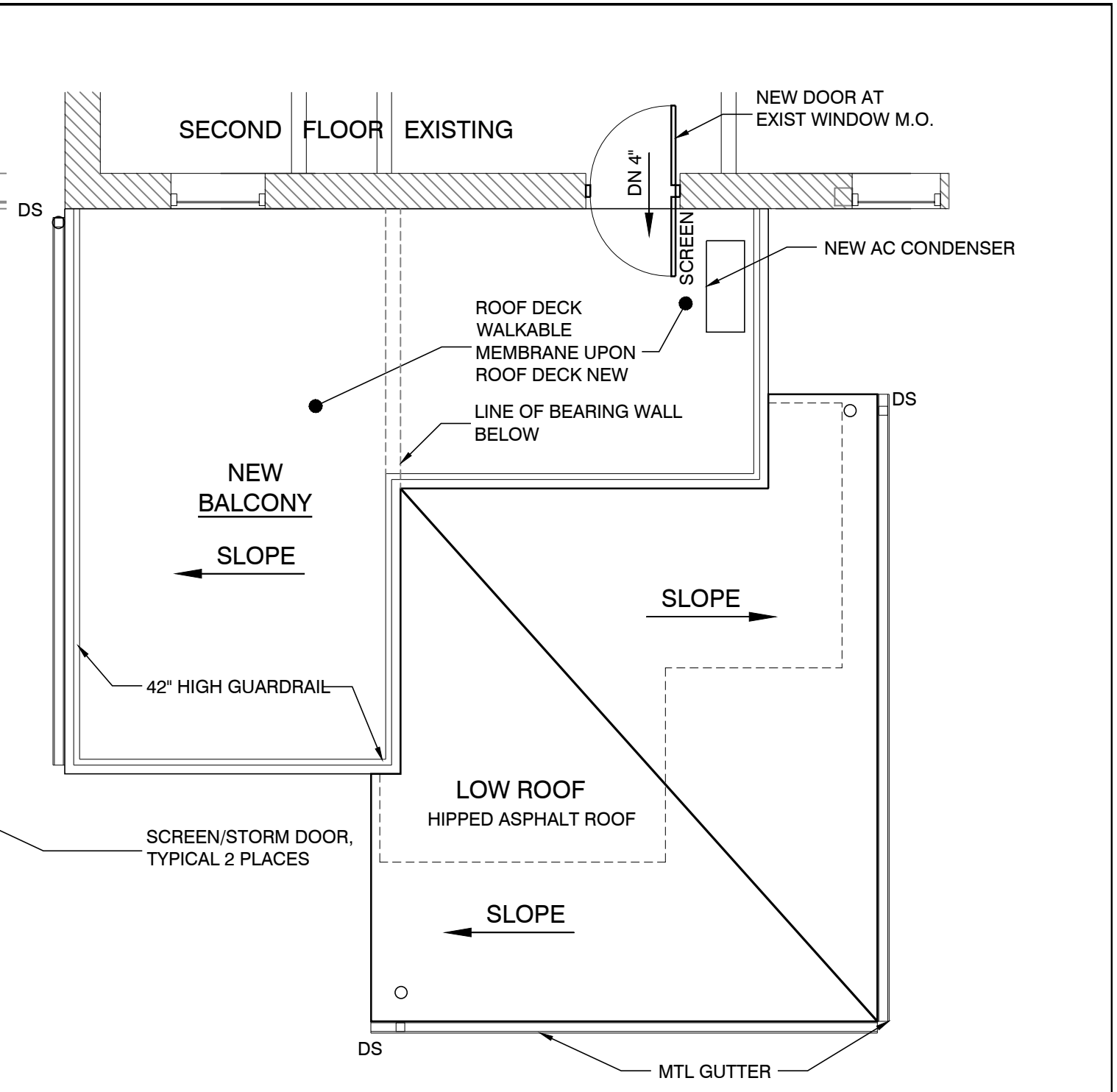
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04/22/21 REVISED OWNER REVIEW
05/21/21 FINAL DD REVIEW

D-1



1 SCHEMATIC FLOOR PLAN
A-1 SCALE: 1/4" = 1'-0"



2 SCHEMATIC ROOF PLAN
A-1 SCALE: 1/4" = 1'-0"

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A-1

EXISTING DOWNSPOUT TO SPILL INTO NEW GUTTER/D.S.

42" HIGH ALUMINUM GUARDRAIL

13'-6" 2nd FIN FLR

MTL GUTTER

3'-6" 1ST FIN. FLOOR

NEW SIDING

NEW PAVED WALKWAY

EXISTING RESIDENCE
FASCIA TRIM BOARD NEW

MTL GUTTER

EAST ELEVATION

REFER TO PAINT OF MATERIALS

SOUTH ELEVATION

NORTH ELEVATION

13'-6" 2nd FIN FLR

MTL GUTTER NEW TO CONNECT INTO EXISTING

EXISTING HOUSE

3'-6" FIN 1ST FLR. EXIST

NEW SIDING

0'-0" FIN GRADE

FIN GRADE/ CONC. WALK

42" GUARDRAIL

NEW SIDING

NEW EXHAUST VENT

NEW ASPHALT SHINGLE ROOF, HIPPED 4/12 SLOPE (MINIMUM)

0'-0" FIN GRADE

NEW CONCRETE WALK

2nd FIN FLR EXISTING

NEW FASCIA TRIM BOARD

WINDOW EXISTING REPLACED WITH NEW FIXED UNIT TO MATCH

SIDING ON END WALL OF ROOF

EXISTING RESIDENCE

1st FIN FLR EXISTING

NEW SIDING CLADDING OVER MASONRY BASE EXIST

1 A-2 SCHEMATIC ADDITION ELEVATIONS
SCALE: 1/4" = 1'-0"

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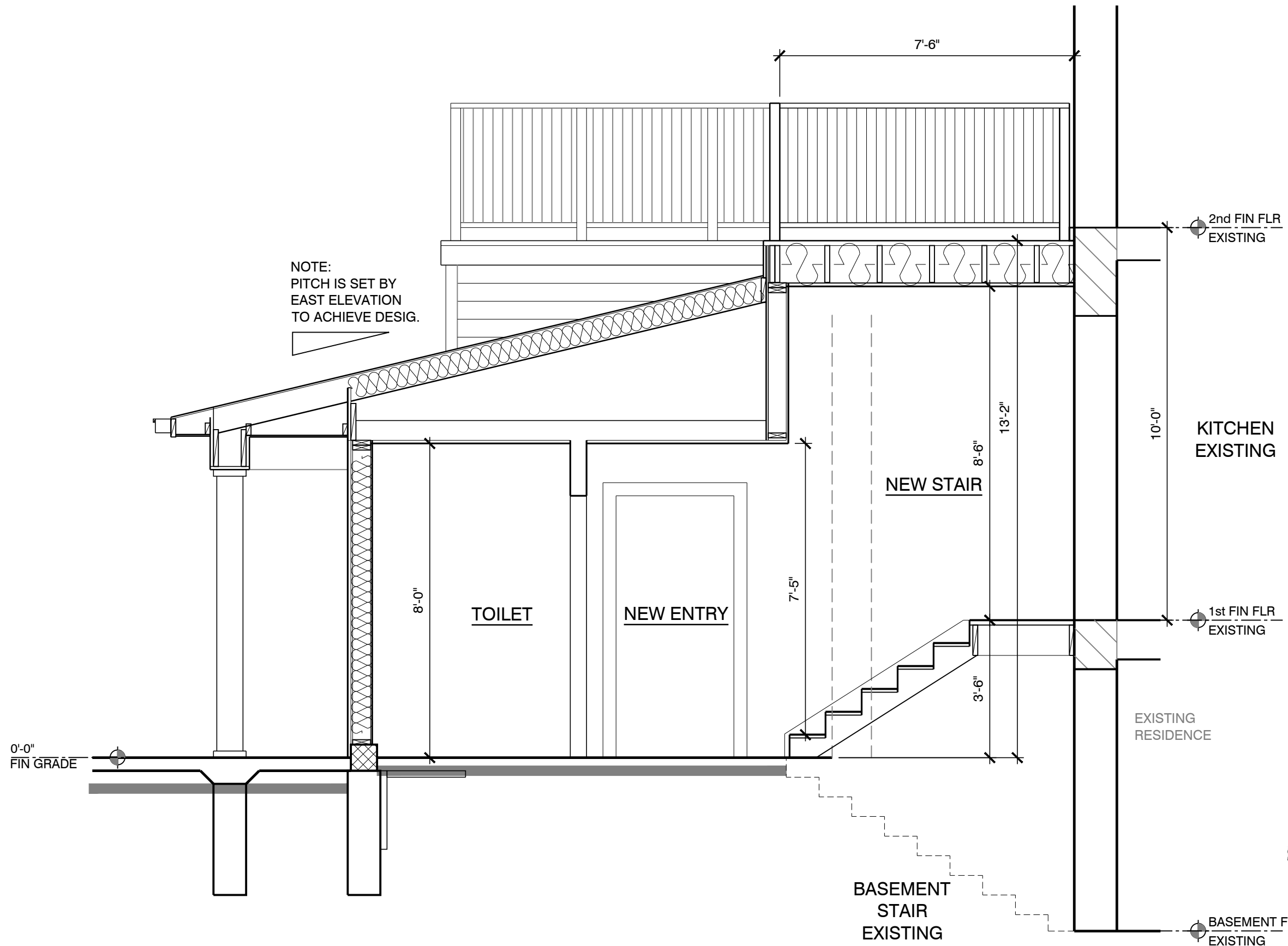


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06/11/21 HDC SUBMISSION

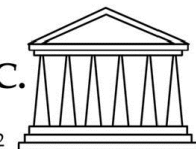
A-2

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NOTE:
PITCH IS SET BY
EAST ELEVATION
TO ACHIEVE DESIG.

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A-3

1 ADDITION SECTION
A-3 SCALE: 3/8" = 1'-0"