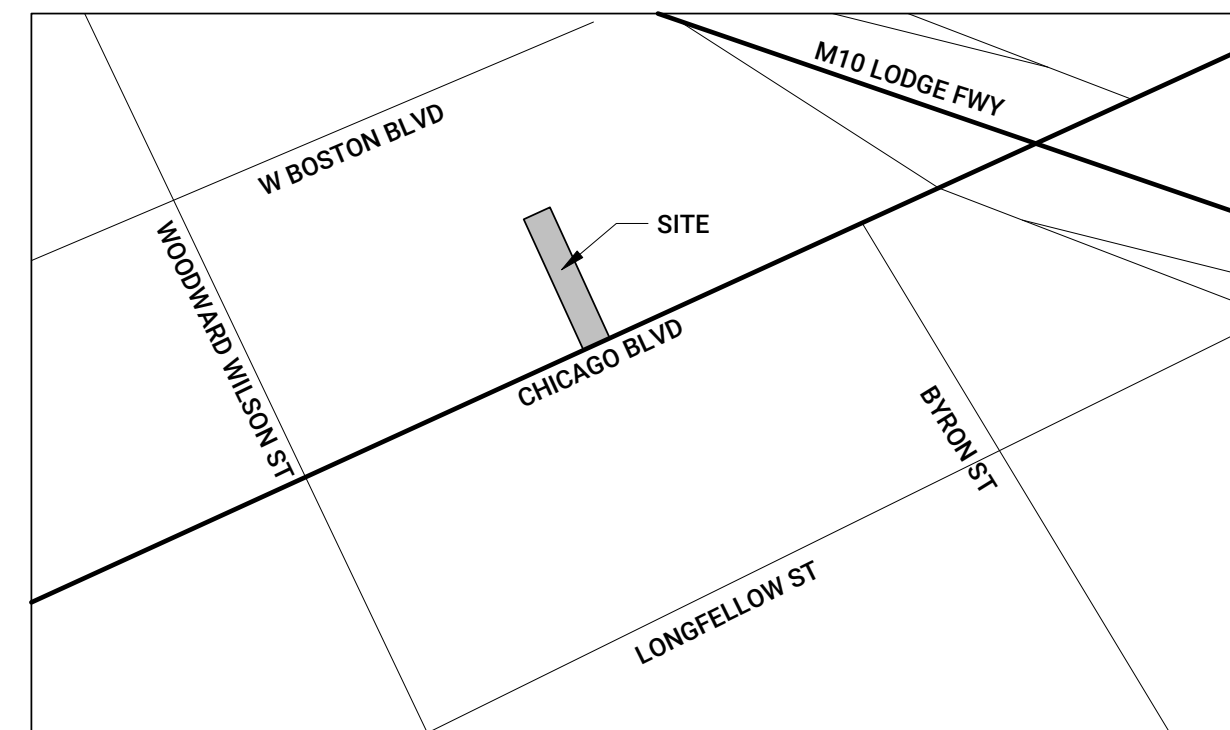


DETACHED GARAGE

1476 CHICAGO BLVD. DETROIT, MI

IMAGES ARE FOR CONCEPTUAL PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

VICINITY MAP



PROJECT DATA

OWNER
SOPHIE WOLMAN
1476 CHICAGO BLVD.
DETROIT, MI 48206
P. 303.917.5324

BUILDING CODE AUTHORITY
CITY OF DETROIT, MI

BUILDING CODES
BUILDING CODE
2015 MICHIGAN RESIDENTIAL BUILDING CODE

SITE DATA

PARCEL ID:
06002564

PARCEL AREA
0.192 ACRES / 8,364 SF

ZONING
R-1

SETBACKS

	REQUIRED	PROVIDED
FRONT: 0 FEET	0 FEET	139 FEET
SIDE: 0 FEET	0 FEET	5 FEET
REAR: 0 FEET	0 FEET	5 FEET

LOT COVERAGE
MAX ALLOWED: 750 SF. (50'X30')
(50% OF THE AREA OF THE REQUIRED REAR SETBACK AREA)
PROPOSED: 672 SF. (45%)

BUILDING DATA

SQUARE FOOTAGE
672 SF.

STORIES
ALLOWED: 1 STORY
PROPOSED: 1 STORY

HEIGHT
MAX ALLOWED: 15'-0"
(MIDPOINT BETWEEN EAVES AND RIDGE)
PROPOSED: 10'-11"

SHEET INDEX

DRAWING INDEX KEY

- NOT ISSUED
- PREVIOUSLY ISSUED
- ISSUED
- REFERENCE

GENERAL

	04.30.2021	05.28.2021	06.24.2021	07.01.2021
TS1.1	COVERSHEET	●	●	●
A1.1	SITE PLAN & FLOOR PLAN	●	●	●
A2.1	EXTERIOR ELEVATIONS & SECTIONS	●	●	●

ISSUED FOR

DATE	REVIEWER	REVIEW TYPE
04.30.2021	OWNER REVIEW	OWNER REVIEW
05.28.2021	OWNER REVIEW	OWNER REVIEW
06.24.2021	OWNER REVIEW	OWNER REVIEW
07.01.2021	HISTORIC COMMISSION	HISTORIC COMMISSION

PROJECT SUMMARY

PROJECT INCLUDES A DETACHED RESIDENTIAL GARAGE, DESIGNED TO MEET HISTORIC COMMISSION REQUIREMENTS.

DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE:

SHANE M. BURLLEY, AIA, NCARB
STUDIO DETROIT, LLC
2111 WOODWARD AVE., STE 1001
DETROIT, MI 48201
E. SHANE@STUDIO-DETROIT.COM
P. 313.919.5886
MICHIGAN LICENSE NUMBER 1301058978

NOTE:
GENERAL CONTRACTOR SHALL COORDINATE WITH THEIR MATERIAL SUPPLIERS AND THE REGISTERED DESIGN PROFESSIONAL IN CHARGE TO SUBMIT THE FOLLOWING DEFERRED SUBMITTALS TO THE AUTHORITY HAVING JURISDICTION:

- STRUCTURAL CALCULATIONS
- REVIEW / SPECIAL INSPECTION OF EXISTING AND NEW CONCRETE FOUNDATION CONDITIONS
- ENGINEERED TRUSS DRAWINGS
- PERMANENT LATERAL TRUSS BRACING DETAILS (PER 2303.4.1, 2303.1)
- REVIEW OF CONCRETE SPECIAL INSPECTIONS
- REVIEW OF MASONRY SPECIAL INSPECTIONS
- ELECTRICAL POWER / LIGHTING COMPLIANCE
- INTERIOR FINISHES -FLAME SPREAD TESTING DATA FROM MATERIAL MANUFACTURER
- ROOFING SYSTEMS

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

DO NOT SCALE DRAWINGS

ISSUED

DATE	REVIEWER	REVIEW TYPE
4.30.21	OWNER REVIEW	OWNER REVIEW
5.28.21	OWNER REVIEW	OWNER REVIEW
6.24.21	OWNER REVIEW	OWNER REVIEW
7.1.21	HISTORIC COMMISSION	HISTORIC COMMISSION

DRAWN ATC

CHECKED K.J.C

SEAL

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CLIENT

SOPHIE WOLMAN

PROJECT 2137

DETACHED GARAGE
1476 CHICAGO BLVD. DETROIT, MI

COVERSHEET

TS1.1

GENERAL FLOOR PLAN NOTES:

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS
5. ELECTRICAL SYSTEMS ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OWNER.
6. ELECTRICAL FIXTURES PER OWNER, INSTALLED BY TRADES
7. ASSUMED SOIL CAPACITY IS 2,000#/SQ. FT. THE CONTRACTOR SHALL DETERMINE THE BEARING CAPACITY THROUGH FEILD-TESTING.

FOUNDATION PLAN NOTES:

1. CONTRACTOR SHALL VISIT SITE BECOME FAMILIAR WITH EXISTING CONDITIONS. CHECK AND VERIFY GIVEN DIMENSIONS, TAKE ADDITIONAL DIMENSIONS AS REQUIRED, AND REPORT ANY INACCURACIES TO THE ARCHITECT-ENGINEER BEFORE PROCEEDING WITH DETAILING OR FABRICATION OF ANY WORK.
2. WHERE SOIL OF SUFFICIENT BEARING CAPACITY IS NOT ENCOUNTERED AT THE INDICATED ELEVATION, CONTACT THE ARCHITECT-ENGINEER FOR DECISION WHETHER TO EXTEND THE FOUNDATION TO SOIL OF REQUIRED CAPACITY, TO ENLARGE FOUNDATION, OR TO REPLACE UNSUITABLE BEARING MATERIAL WITH ENGINEERED FILL OR CONTROLLED LOW STRENGTH MATERIAL.
3. ANCHOR RODS ARE TO BE ACCURATELY POSITIONED AND HELD SECURELY IN PLACE DURING CONCRETEING. ANY ANCHOR ROD OUT OF LOCATION BY MORE THAN 3/16" INCH WILL BE REJECTED. CONTRACTOR SHALL PROTECT ANCHOR RODS FROM DAMAGE AND SHALL REMOVE ANY CONCRETE OF DEBRIS FROM THE BEARING SURFACE TO ALLOW REJECTION.
4. PROTECT SOIL BEARING SURFACES FROM FREEZING PRIOR TO CONCRETE PLACEMENT. PROTECT CONCRETE WORK FROM FREEZING DURING AND AFTER PLACEMENT (MINIMUM 7 DAYS)
5. CONTRACTOR SHALL PROTECT EXISTING FOUNDATIONS AND UTILITIES FROM DAMAGE RESULTING FROM EXCAVATION OR BACKFILLING DURING THE CONSTRUCTION PERIOD AS REQUIRED.
6. CONTRACTOR SHALL PROTECT SIDES OF EXCAVATIONS AS REQUIRED AND EXCAVATION SLOPES SHALL MEET APPLICABLE OSHA, STATE AND LOCAL REGULATIONS.

LOAD BEARING MASONRY NOTES:

1. MASONRY BLOCK UNITS SHALL HAVE MINIMUM NET AREA COMPRESSIVE STRENGTH OF 2200 PSI.
2. MORTAR SHALL BE PORTLAND CEMENT LIME TYPE S.
3. CMU SHALL BE BONDED TOGETHER WITH ALTERNATE COURSING BLOCK LAYOUT.
4. CMU WALLS SHALL BE COMPLETELY FILLED WITH GROUT WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT REINFORCING AND BEARING POINTS.
5. REINFORCMTN SHALL BE DEFORMED STEEL BARS CONFORMING TO ASTM A615 OR A996, GRADE 60.

FOOTING SCHEDULE

MARK NO.	DESCRIPTION	REINFORCEMENT
F-1	16" w x 34" d CONC. TRENCH FOOTING (B.O. MIN. 42" BELOW GRADE)	(2) #5 CONT. TOP & BOTTOM (PROVIDE 3" MIN. COVER) PROVIDE #5 RE-BAR ANCHOR

2000 P.S.F. SOIL BEARING CAPACITY (ASSUMED)

DO NOT SCALE DRAWINGS

ISSUED

04.22.21	OWNER REVIEW
05.28.21	OWNER REVIEW
6.24.21	OWNER REVIEW
7.1.21	HISTORIC COMMISSION

DRAWN ATC

CHECKED K.J.C

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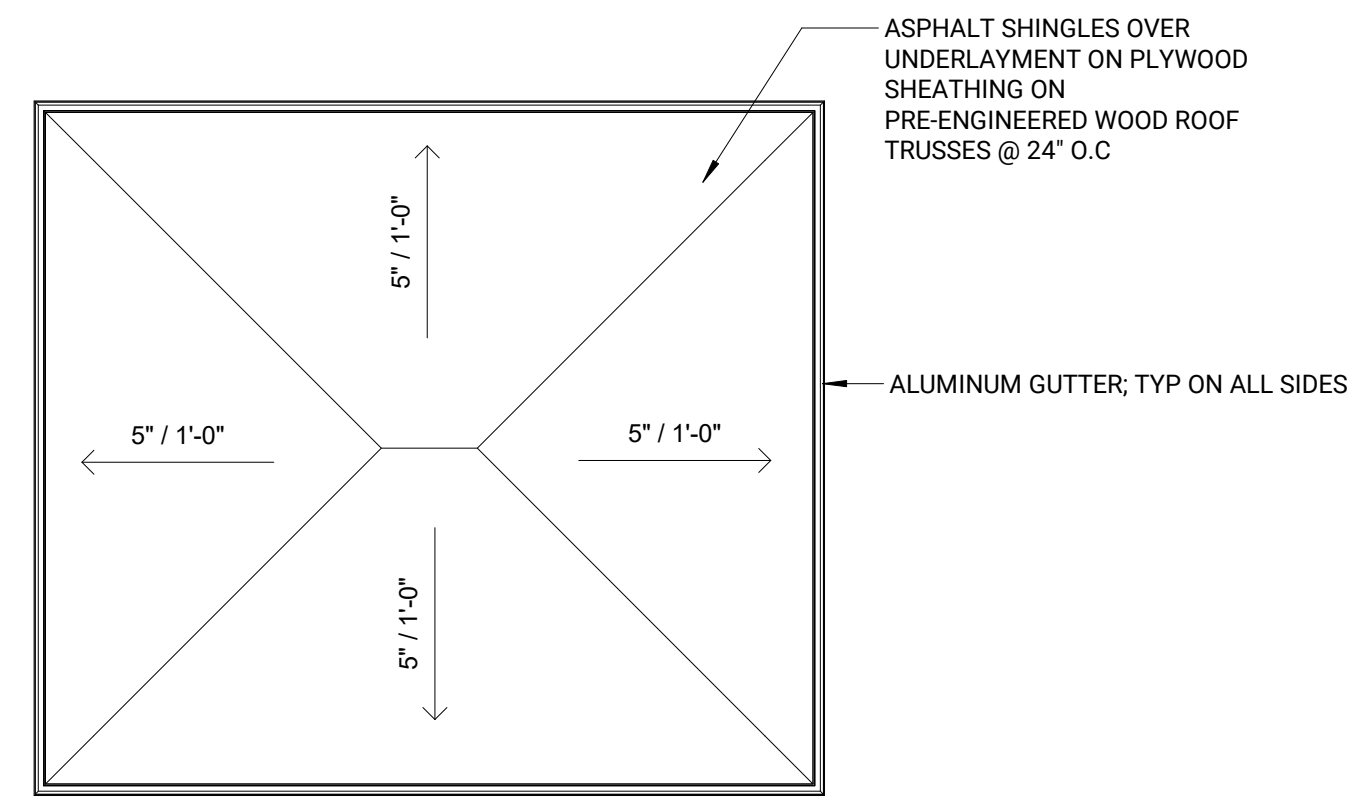
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PROJECT 2137

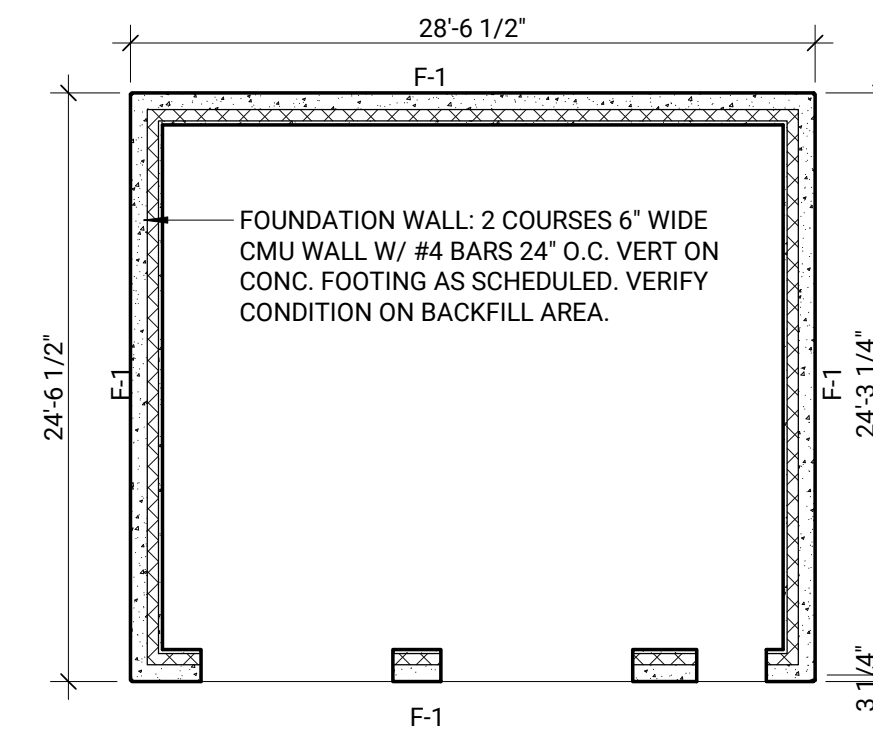
DETACHED GARAGE
1476 CHICAGO BLVD. DETROIT, MI

SITE PLAN & FLOOR PLAN

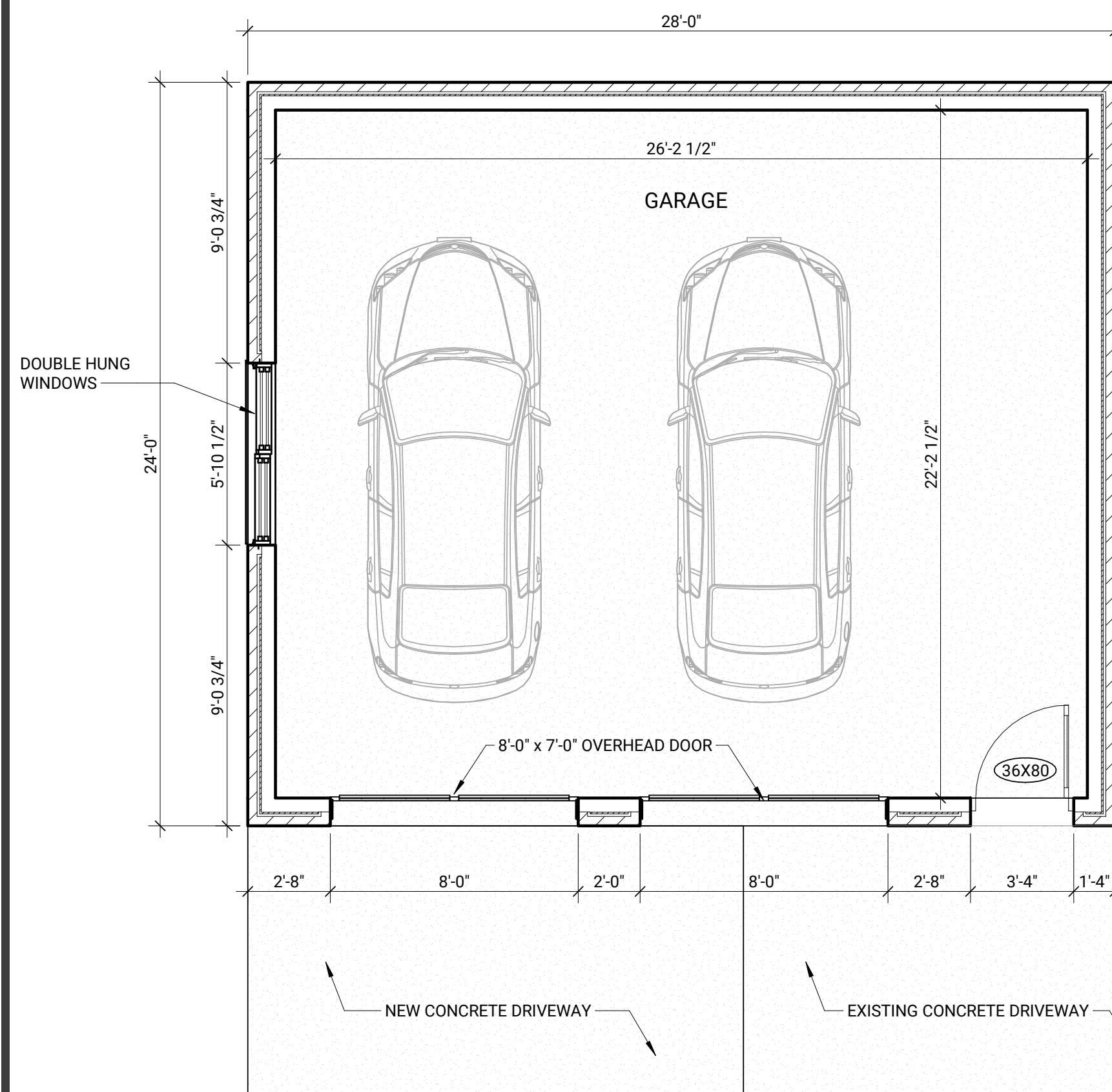
A1.1



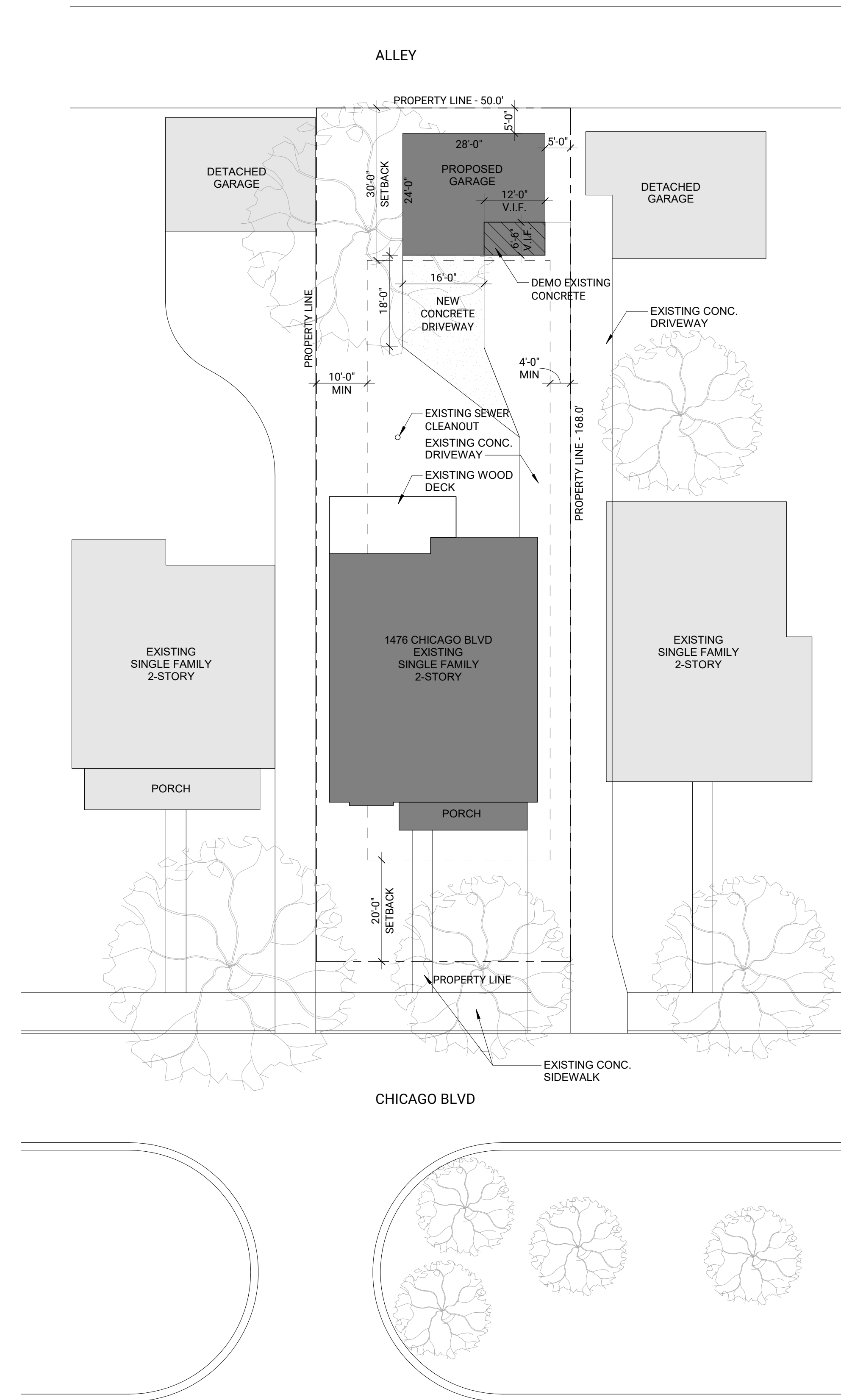
ROOF PLAN
1/8" = 1'-0"



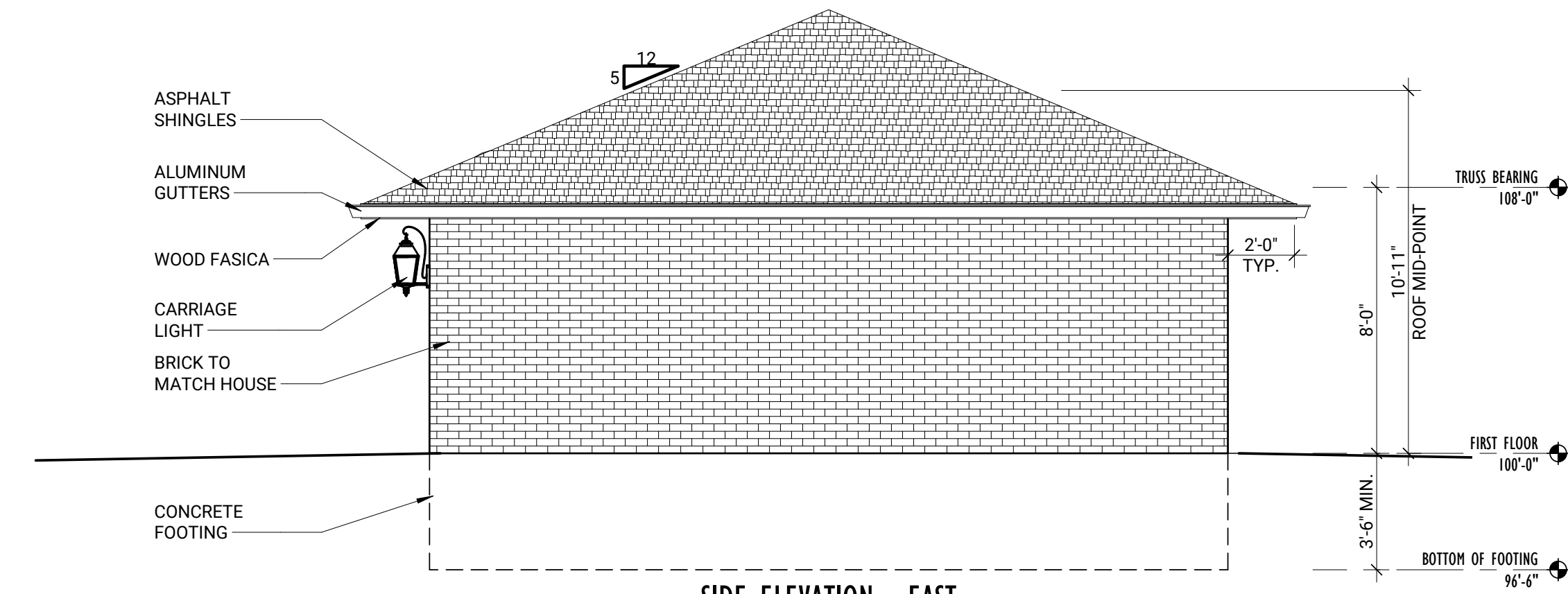
FOUNDATION PLAN
1/8" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"

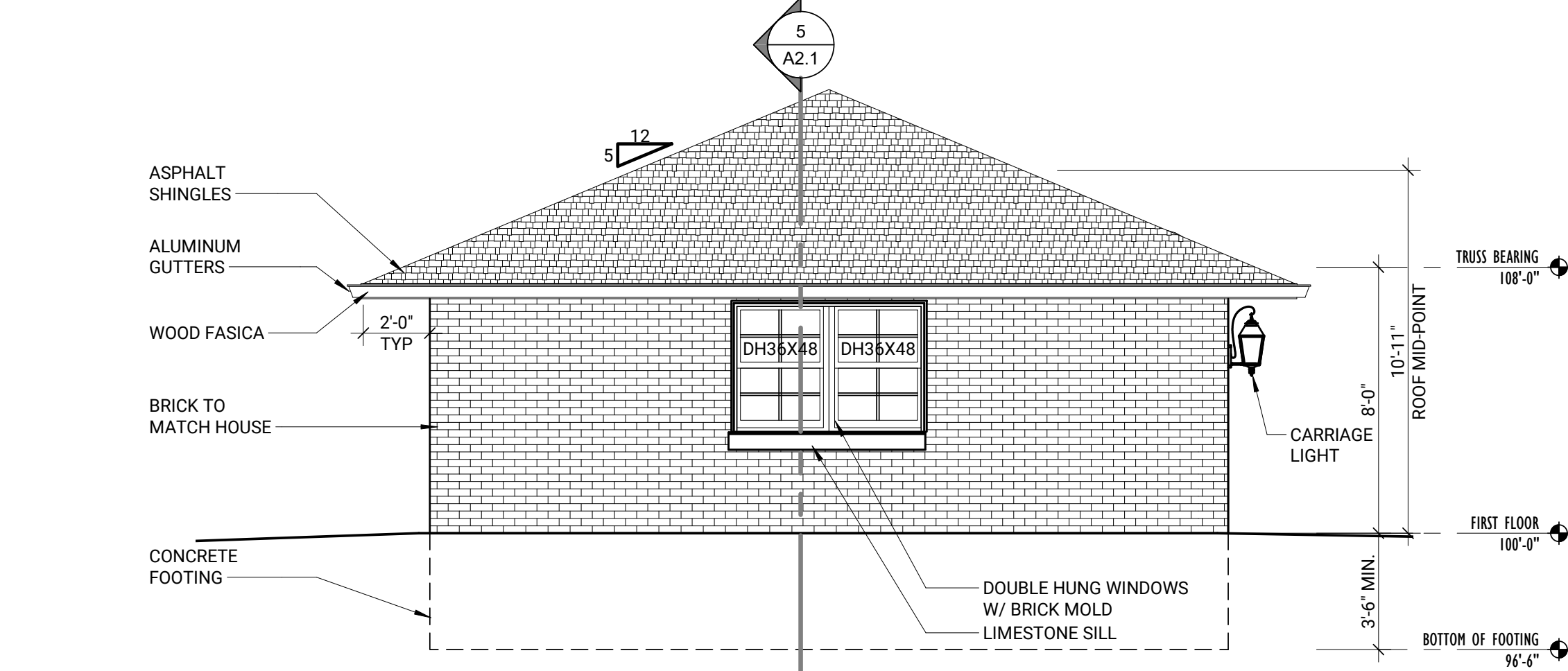


SITE PLAN
1/16" = 1'-0"



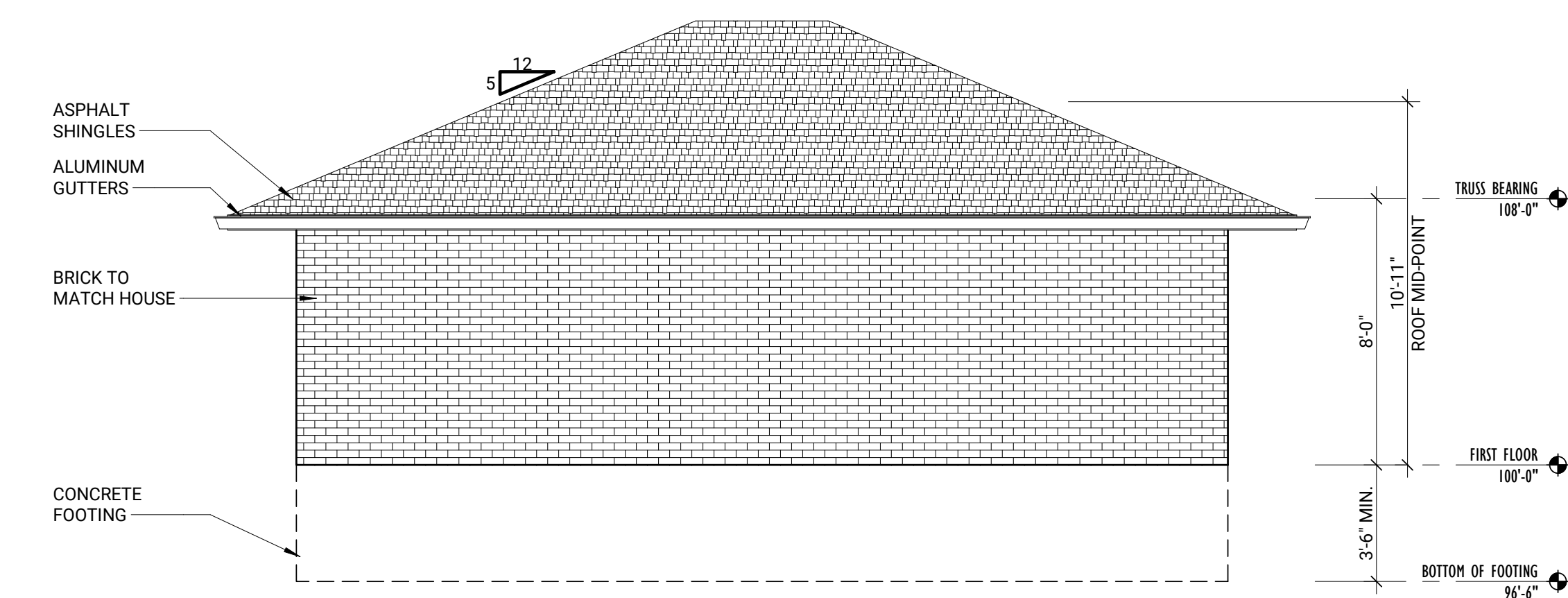
SIDE ELEVATION - EAST

SCALE: 1/4" = 1'-0"



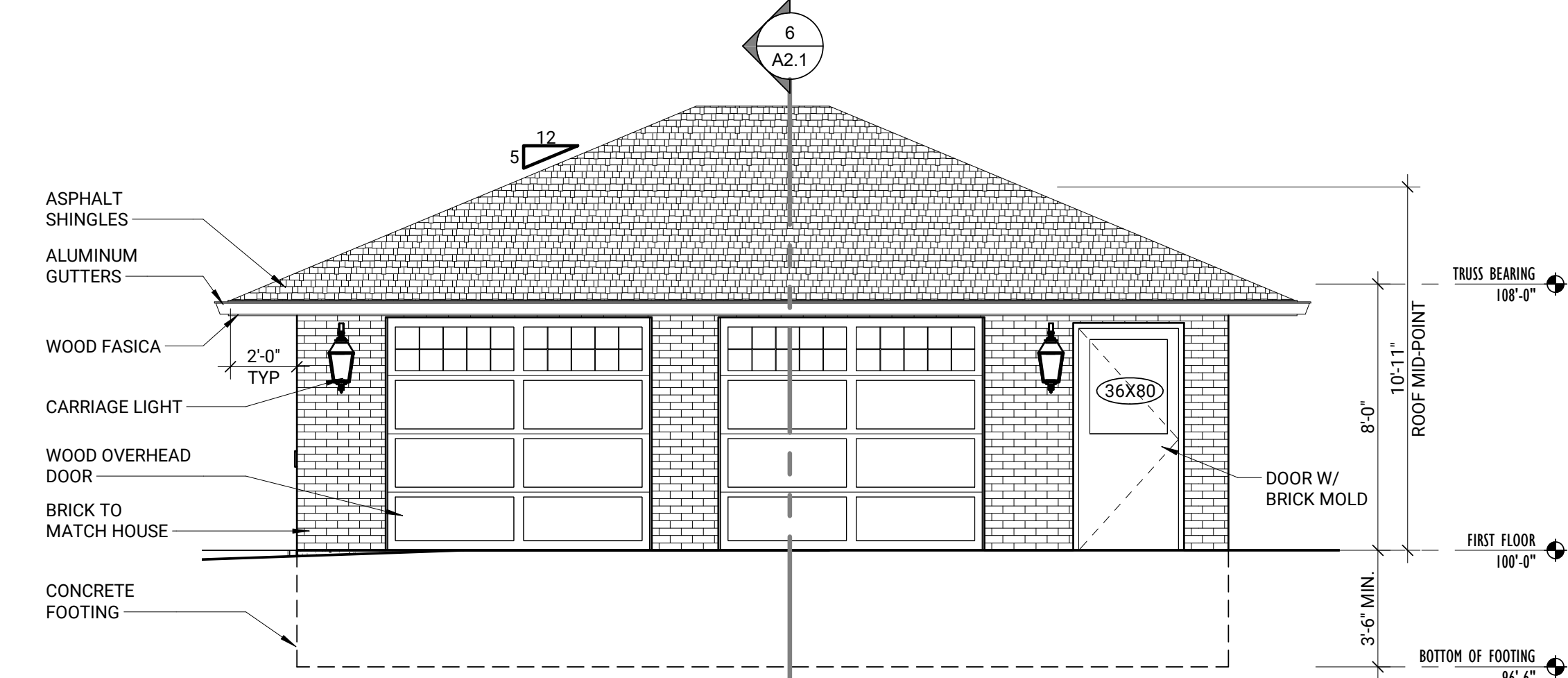
SIDE ELEVATION - WEST

SCALE: 1/4" = 1'-0"



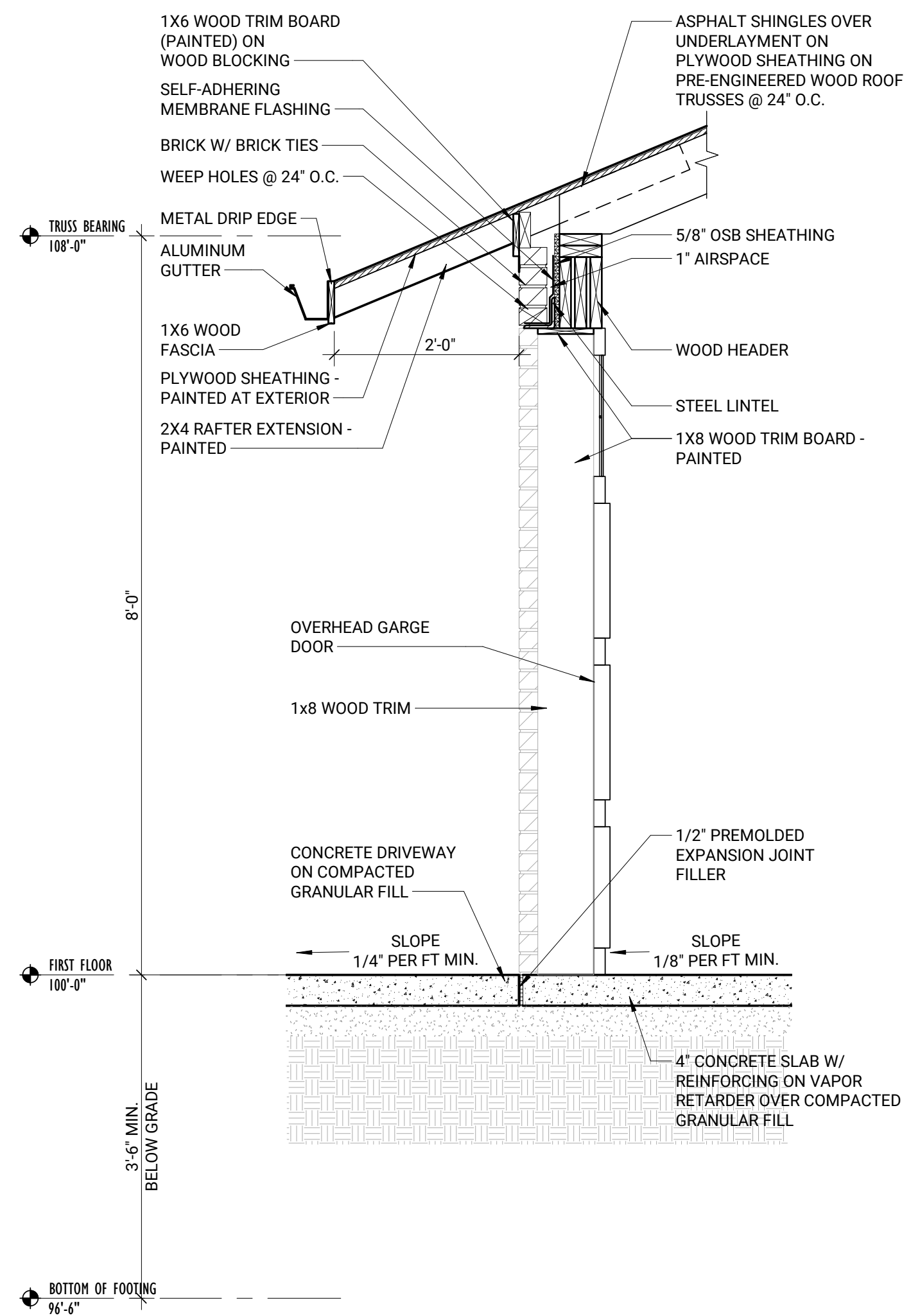
REAR ELEVATION

SCALE: 1/4" = 1'-0"

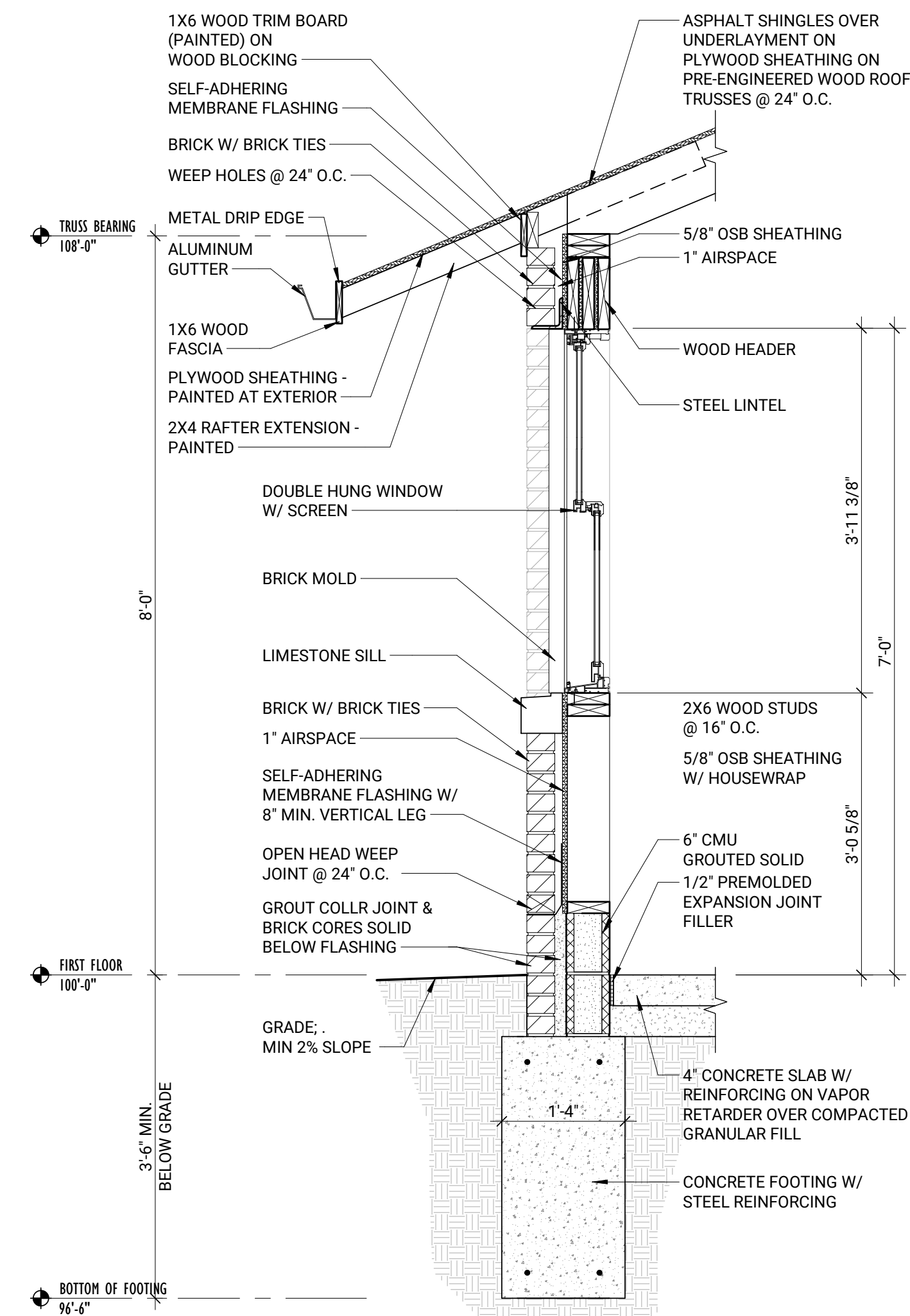


FRONT ELEVATION

SCALE: 1/4" = 1'-0"



6 WALL SECTION
SCALE: 3/4" = 1'-0"



5 WALL SECTION
SCALE: 3/4" = 1'-0"

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1476 CHICAGO BLVD. DETROIT, MI

EXTERIOR ELEVATIONS & SECTIONS

A2.1