

HASTINGS PLACE



PROJECT ADDRESS:
1468/1480/1496 Randolph St
Detroit, MI 48226

PROJECT TEAM:
Owner / Developer:
Hastings Place, LLC.
1452 Randolph Street
Suite #400
Detroit, MI 48226

Architect:
McIntosh Poris Associates
36801 Woodward Avenue, Suite 200
Birmingham, MI 48009

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PROJECT NARRATIVE

Hastings Place is a proposed mixed-use multifamily building in the Madison-Harmonie Historic District that will fill in an existing gap facing Harmonie Park – completing the street edge along Randolph St., enhancing the pedestrian-oriented urban fabric and adding new residents to the neighborhood. The development will provide space for new residents, businesses, and visitors in the heart of Paradise Valley. Housing, parking, and retail contained in the program support continuing investment in the cultural and creative assets already in the community.

PROGRAM

Apartments	89 units
Retail	2,700 sf
Parking	127 cars

The ground floor street frontage maximizes pedestrian oriented space – 80% of the frontage contains the residential lobby and retail space. This frontage is a continuous storefront, maximizing transparency for flexibility, visibility, and safety. A parking entrance off Randolph has also been provided for parking spaces that are hidden behind the retail storefront at grade.

Above this ground floor are two additional floors of parking for residents of the building and visitors and workers in the district. The garage is disguised from view by using openings which match the size of the windows above. The final 5 floors of the building are residential units with the majority being studios and 1 bedrooms, ranging from 420 sf to 1020 sf. At the fourth floor, a large outdoor terrace is planned for use by all residential tenants.

The exterior massing steps back at the upper floors as a gesture to the adjacent buildings along Randolph, making the overall proposed height seem smaller than it is, as well as providing space for private balconies for the units. The façade also switches materials as it goes up, breaking the overall massing into parts which are closer in size to the adjacent buildings and fit in with the context of Harmonie Park.

ZONING & CODE INFORMATION

Zoning District: B4 current / B5 rezoning in progress

Overlay/ Historic Districts: Harmonie Park Historic District / Central Business District

Parking Requirements:

Residential parking required: 0 required in CBD (61-14-7)

Retail parking required: 0 required in CBD (61-14-7)

Total parking required: 0 parking spaces

Total parking provided: 127 parking spaces

Gross Area & Height:

Parking Structure: 52,695 gsf
3 stories

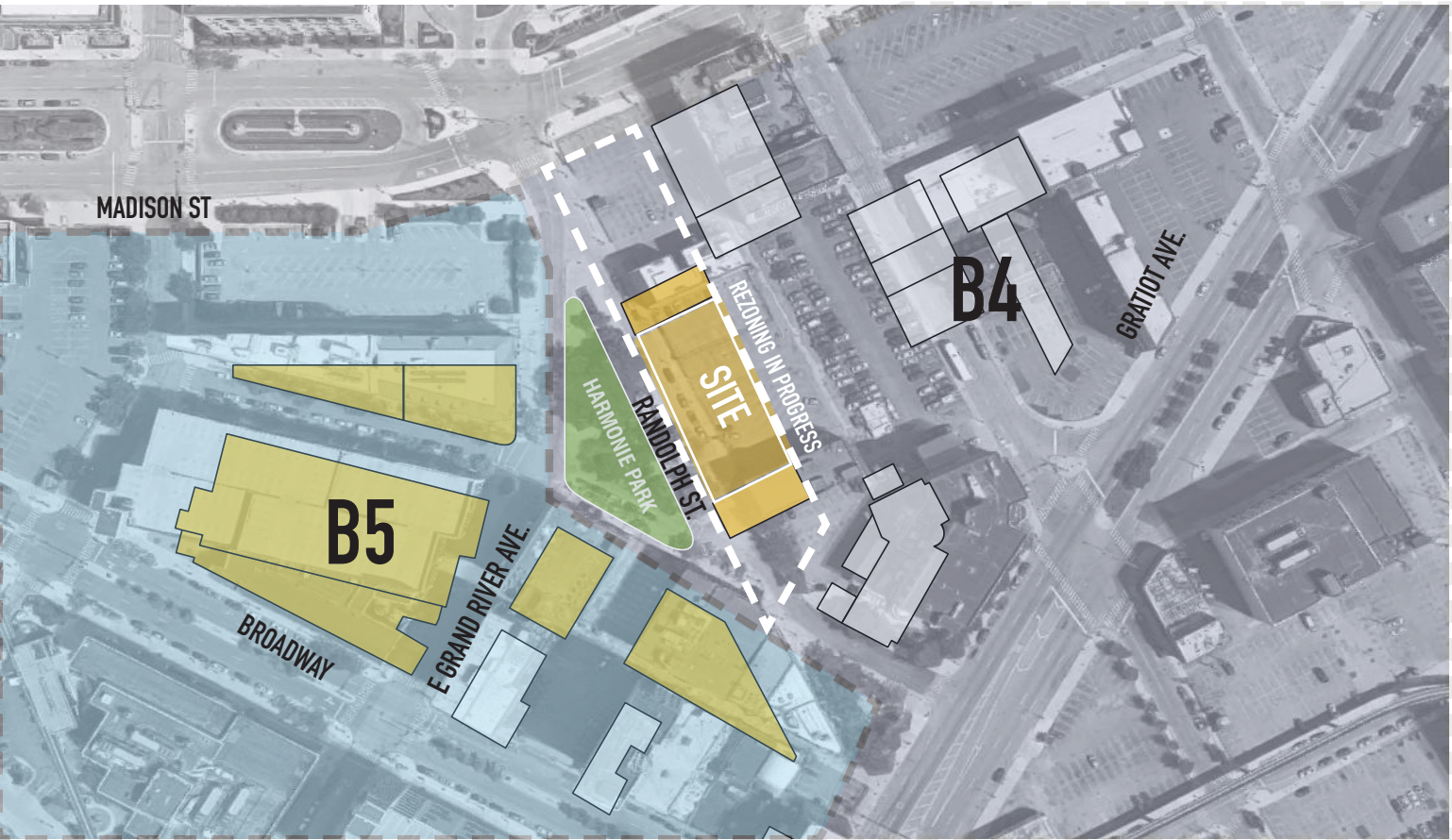
Residential: 75,046 gsf
5 stories

Total Retail: 2,615 sf
1 story

Residential Program:

Studios	22 units
One Bedrooms	57 units
Two Bedrooms	10 units
Total	89 units

ZONING MAP



MADISON-HARMONIE HISTORIC DISTRICT

The Madison-Harmonie Historic District is located in the northeastern section of the Central Business District around the intersection of Madison Avenue and Randolph. It is a mixed use area composed of moderate-to-large scale apartment buildings, two substantial clubs and a charitable organization, a major cultural institution, two parking garages, and small-to-moderate scale commercial buildings facing Harmonie Park, for a total of 16 buildings in all.







263 E GRAND RIVER AVE - HARMONIE CLUB
COMMERCIAL + CULTURAL



1502 RANDOLPH
COMMERCIAL + RESIDENTIAL (ADJACENT TO SITE)



1452 RANDOLPH
COMMERCIAL + OFFICE (ADJACENT TO SITE)



230 E GRAND RIVER AVE - HEMMETER BUILDING
COMMERCIAL + OFFICE



1435 CENTRE ST
COMMERCIAL + OFFICE



DETROIT ATHLETIC CLUB - 241 MADISON STREET
HOSPITALITY



163 MADISON ST - BUTZEL BUILDING
EDUCATIONAL

HISTORIC DISTRICT + CONTEXT



SITE PHOTOS

MADISON-HARMONIE HISTORIC DISTRICT - ELEMENTS OF DESIGN

(1) Height.

Buildings in the district range from three (3) stories tall to nine (9) stories tall. A two-story structure connects the Madison and Lenox Apartment Hotels. Talle buildings are located in the northern half of the district, primarily around Madison and the E. Grand River/ North Center Area. The majority of buildings in the southern part of the district, facing Harmonie Park, are three (3) stories tall. **The proposed Hastings Place is 8 stories tall and the building steps back at the 4th and 6th floor to reduce the height at the street wall immediately adjacent to Randolph St.**

(2) Proportion of building's front facades.

Proportion varies in the district, depending on the style and size and height of the buildings. Most of the individual commercial buildings facing Harmonie Park appear taller than wide or as tall as wide, but when taken as a continuous commercial row, the total effect is as a commercial block wider than tall. In general, where buildings abut, the effect is wider than tall. Although it is the tallest building in the district, the Milner Hotel on Center is wider than tall. The Madison and the Lenox Apartment Hotels on Madison are individually taller than wide. The D.A.C. and the Butzel Building on Madison are slightly wider than tall. However, when buildings are on corner lots, their secondary facades may be wider than tall. The Randolph front of the Roy Court Apartment Building appears as two (2) separate sections that are taller than wide because of the open space between the north and south wings, but when taken as a whole the building is wider than tall. **The proposed building is wider than it is tall, which is similar to the D.A.C and Butzel Building, but the facade steps back from Randolph Street to create multiple volumes to more closely align with the proportions that exist facing Harmonie Park.**

(3) Proportion of openings within the façade.

Areas of solids to voids vary greatly from building to building, depending on style, size, and function of the structure. In general, commercial structures around Harmonie Park have large areas of display window openings on their first stories and large window openings above. Windows are frequently arranged in groupings of several window units within one opening. The monumentally scaled buildings on Madison have very large window openings as well. The areas of voids ranges from approximately fifteen (15) percent to eighty (80) percent; most fall into the thirty-five (35) percent to fifty (50) percent range.

Like many of the existing commercial buildings there are larger openings on the ground floor for retail use. The openings above are large with groupings of several window units which is consistent with the existing buildings in the district. The windows/voids make up between 40 and 50 percent of the overall facade.

(4) Rhythm of solids to voids in the front facades.

Openings within the facades are generally regularly arranged, due to the classical stylistic derivation of most of the buildings. Many different types of windows exist within individual buildings and throughout the district; bay windows, arched openings, and double hung sashes are some of the types. **Windows are arranged in a regular pattern with alternating window types to create an overall pattern of alternating wide and thin windows.**

(5) Rhythm of spacing of buildings on streets.

All buildings in the district are situated on their front lot lines and many abut their neighbors. When this occurs, a continuous flow of wall occurs. **The proposed building is set at the front lot line and abuts the neighboring buildings on both sides.**

(6) Rhythm of entrance and/or porch projections.

The entrances of the buildings fronting on Madison are centrally located on their front facades and are entered on axis. The steps project outward from the facades while the entrance openings recede. Entrances into the Roy Court Apartments on Randolph are located off the central open space. Entrances to the commercial buildings facing Harmonie Park are either centered or on either side of the front facade; some contain more than one entrance due to multiple storefronts, and these frequently have one step leading to the entrance. The Harmonie Club's arched entrance is located centrally and has several steps leading to the entrance opening. The Music hall Lobby is entered through openings that are flush with the front facade. **The retail space in the proposed building is centrally located on the facade with recessed entrance openings. The residential lobby opening is located to one side of the building with a recessed opening.**

(7) Relationship of materials.

Brick predominates as a building material of the majority of buildings in the district. Bedford limestone is the major material of the D.A.C. Mosaic, marble, mankato stone and brick are combined on the facade of the Music Hall. Foundations, keystones, window sills and decorative trim of brick buildings are frequently stone or cast stone. Glazed tile, terra cotta and enamelled brick are also found in the district. Window frames are either metal or wood. The decorative roof of 1502 Randolph is mediterranean tile. **The major material of the proposed building is also brick, which is the base mass of the building. As the building steps back, fiber cement is used for contrast. The proposed window frames are uPVC polymer.**

(8) Relationship of textures.

The most common textural relationship is that of the low-relief pattern of mortar joints in brick juxtaposed with smooth masonry trim. Basements of larger buildings are frequently rusticated stone; the D.A.C. walls are of smooth stone. Enamelled brick and terra cotta are smooth in texture; mankato stone has its own textural interest. Brick details and carved stone are commonly used to provide textural interest on many buildings. In general, the district is rich in textural relationships. **The proposed building also has low-relief masonry at its base. Additional textural richness is achieved through deep recessed balcony openings and the patterning of the fiber cement panelling that changes in color between the upper two volumes.**

(9) Relationship of colors.

The buildings facing Harmonie Park are predominately red or brown brick. White enameled brick, colored tiles, green and tan mosaics, buff colored brick, tan mankato stone, and light gray masonry also exist in the district. Window frames on Madison are usually painted green; the window frames of the Roy Court Apartments are cream colored to match the buff brick. Green, gray, black, and brown are common colors for window frames elsewhere in the district. **The proposed building uses gray masonry at its base, with lighter gray fiber cement above. The colors are compatible with the district without trying to imitate the existing red or brown. The window frames are black.**

(10) Relationship or architectural details.

Architectural details generally relate to architectural styles. In general, most small-scaled buildings centered around harmonie Park are less ornate than those north of Harmonie Park. Some are utilitarian in appearance and reflect the modernistic tendencies popular in the early 20th century. Quoins, rusticated basements, carved stone, arched openings, pedimental window hoods, bracket, columns, modillion cornices and classical moldings are seen on those large buildings of classical precedents. The Music Hall has early art deco detail; its vertical sign is centered on the front of the rooftop and a marquee rests above the entrances. Where buildings are situated on corner lots, their secondary facades are often articulated and detailed in ways similar to their front facade. **The architectural detailing of the facade of the proposed building is simpler than the existing older buildings in the district and is consistent with modern architectural style of today. It is distinct from the historic context and does not attempt to replicate historic buildings in the district.**

(11) Relationship of roof shapes.

Few of the roofs in the district can be seen from the street, with the exception of the tiled front slope of the building at 1502 Randolph and the very shallow sloped roof of the Harmonie Club which is visible from longer distances. **The proposed roof will be flat and not visible from the street due to the height of the parapet wall.**

(12) Walls of continuity.

The major wall of continuity is created by the facades of the buildings themselves. Uniform setbacks within blocks exist throughout the district. Where buildings abut, a continuous wall exists. Where rows of trees are planted in front of buildings, a secondary wall of continuity is created. **The front facade of the proposed building is continuous with the facades of the adjacent buildings. The new streetscape will incorporate trees that bridge between the existing buildings.**

MADISON-HARMONIE HISTORIC DISTRICT - ELEMENTS OF DESIGN

(13) Relationship of significant landscape features and surface treatments.

The major significant landscape features in the district are the island on Madison between John R. and Randolph and the triangular Harmonie Park, bounded by Randolph, Grand River and Center Streets. The Madison Avenue island, in the center of the two-hundred-foot right-of-way, has rectangular brown, light orange, and cream pavers around its perimeters and grassy turf within. A semi-circular planter clad in buff-colored pavers is located at each end of the island. Evergreen bushes and flowers are planted behind the planters. Two (2) rows of trees—eight (8) crab apples on the western half and six (6) larger trees on the eastern half—are planted on the grassy turf. Light standards of a period design with gaslight fixtures, stamped “Patented Dec. 28, 1915,” and parking meters are also situated on the grassy island. Modern steel light poles are located elsewhere in the district; fluted metal poles generally carry street signals. Other landscaping on the north side of Madison consists of a graded, very shallow planted grassy turf area in front of the buildings, separated from the public sidewalk by concrete curbs. Where shallow side yards exist, the landscaping continues around to the sides. Hedges exist at the foundations of the Madison-Lenox Apartment Hotel, separated from the public sidewalk by a curb. Large trees are located in brick sidewalk planters on the south side of Madison and the north side in front of the Butzel Building. Harmonie Park consists of a sunken area paved with pink aggregate surrounded by a stone wall. It is planted with trees and bushes. Street furniture consists of upright light standards and wood benches. The stone fountain wall is the main feature of Harmonie Park at its southern end. Parts of the Center Street and East Grand River public sidewalks are blacktopped with locust trees planted in squares circumvented with brick pavers; some are paved with pink aggregate. **The proposed building will have street trees and paving consistent with existing sidewalk, light standards, and other street furniture along Randolph St.**

(14) Relationship of open space to structures.

Most vacant land in the district is used in parking lot usage, with the exception of the lot north of the Roy Court Apartment, which is planted with grass. Most of the vacant space is on the east side of the south half of Randolph. Only very shallow front yards and side yards exist on Madison. The buildings on Harmonie Park act as the enclosure of the open space, whereas Madison has a more open feeling due primarily to the width of the street and the space between buildings. **The proposed building will fill in vacant parcels, currently being used as parking lots and help to create a complete street wall facing Harmonie Park and further defining the open space.**

(15) Scale of facades and facade elements

The scale of buildings on Madison is monumental. Elements within range from medium to large, with detail of a small to medium scale. The brick commercial buildings facing Harmonie Park are small to moderate in scale; elements and detail within are generally small in scale. The Harmonie Club, Hemmeter Building, and the Milner Hotel are large in scale. The Roy Court Apartment Building is moderate in scale for a building of its type. **The proposed building is large in scale, but steps back at various moments to bring it closer to the small and medium scale of existing buildings facing Harmonie Park.**

(16) Directional expression of front elevations.

The Roy Court Apartment Building appears taller than wide from the street of its central courtyard, although in actuality it is wider than tall. The D.A.C. and the Butzel Memorial Building are neutral in directional expression; the Madison-Lenox Apartment Hotel is vertical in expression along Madison. Most of the commercial buildings facing Harmonie Park are vertical in directional expression when taken individually; however, when seen as forming a commercial row, they are horizontal. The Milner Hotel on Center would be horizontal in directional expression if viewed on the axis of its facade, but is vertical in expression when viewed at the sharp angles permitted by the street pattern. **The proposed building creates a horizontal commercial row like those along Center St using the height of the adjacent buildings as a guide. The masses above create vertical elements to make the overall composition less horizontal.**

(17) Rhythm of building setbacks.

A consistency to the building setbacks is created due to the siting of all buildings on the front building lines throughout the district. **The building is set directly on its front property lines, similar to most buildings in the district, with a recess for the retail entrance.**

(18) Relationship of lot coverage.

Most buildings occupy their entire lot, with the exception of the D.A.C. and the Butzel Memorial Building, which both have narrow side yards. **The building will occupy its entire lot and abut the adjacent existing buildings.**

(19) Degree of complexity within the facades.

The degree of complexity ranges from very simple to moderately complex. While there is sometimes diversity within individual facades from story to story, all buildings are straightforward in their arrangement of architectural elements and details. **The complexity of the proposed building is simple with straightforward repeating elements in each story, but introduces some complexity with the three different masses with unique materials.**

(20) Orientation, vistas, overviews.

Buildings are generally oriented towards the streets they face. The Madison Hotel Building has equally important facades facing Madison and Harmonie Park. Some buildings on corner lots have secondary entrances oriented towards the side streets. Interesting vistas are created by the irregular street plan. **Because the building abuts the adjacent existing buildings - it is oriented towards the street.**

(21) Symmetric or asymmetric appearance.

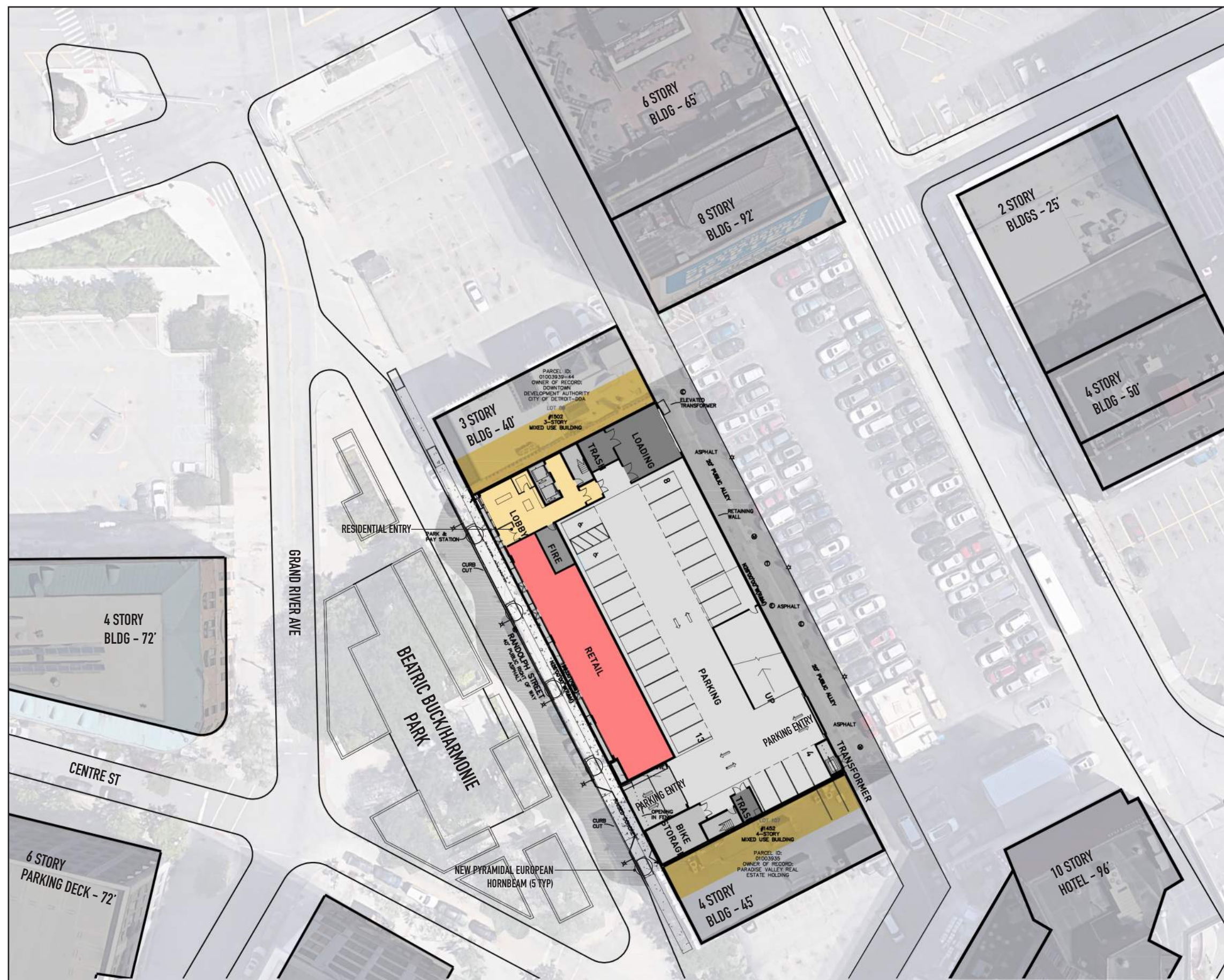
Most buildings are symmetrical in appearance. **The building is symmetrical, but not perfectly so. The bottom mass is steps back on both the left and right side of the front facade to create vertical expression that matches the scale of the adjacent buildings.**

(22) General Environmental character.

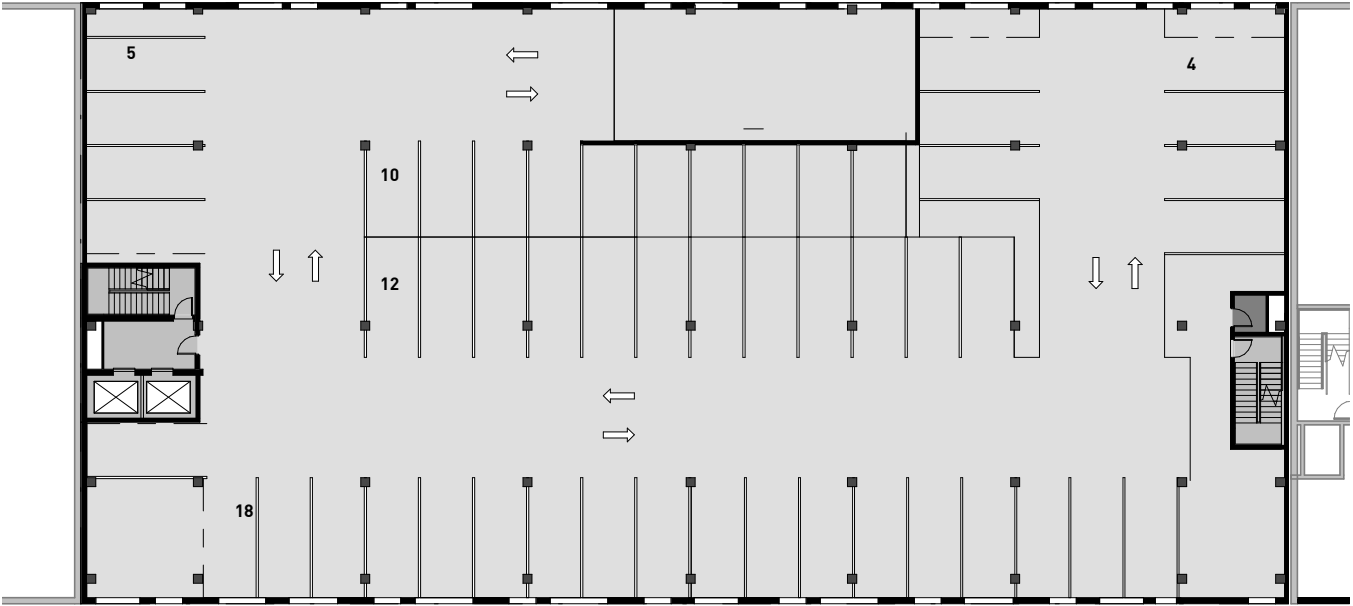
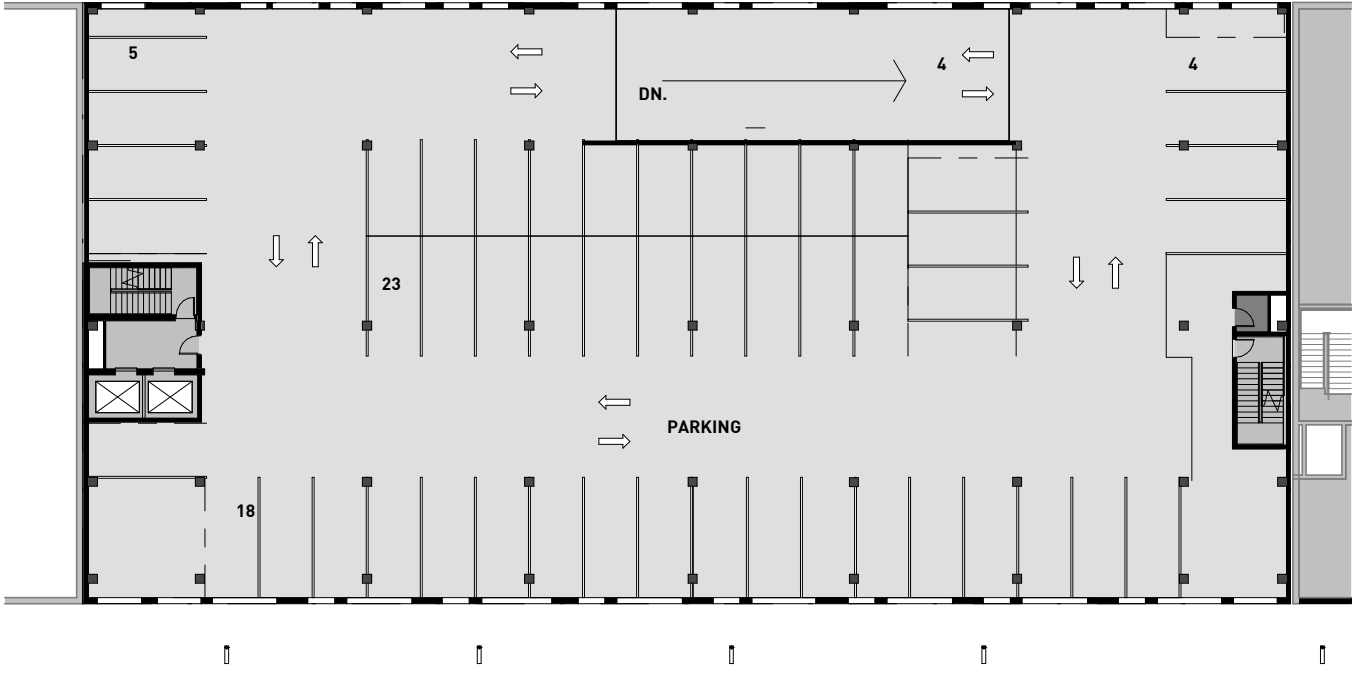
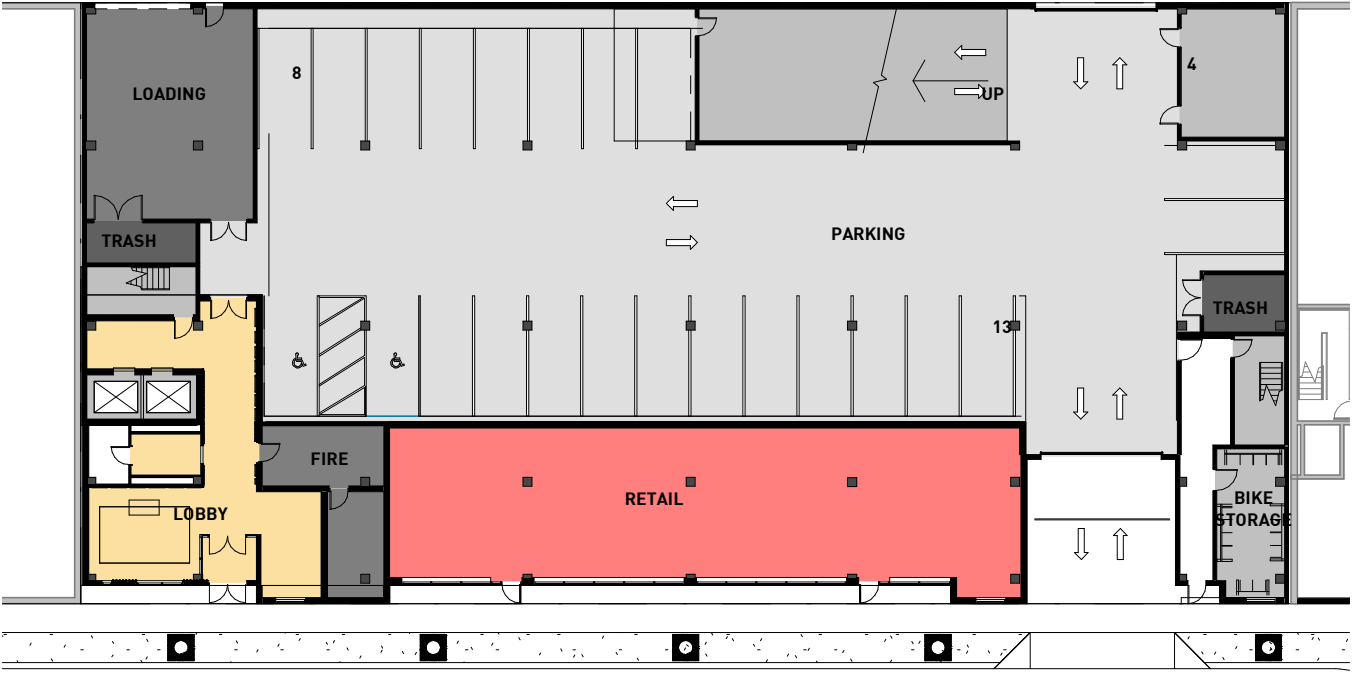
The Madison-Harmonie Historic District has an urban mixed-use character due to the organizational, entertainment and multiunit residential buildings on Madison and the dense and enclosed nature of the mostly commercial Harmonie Park area. Two (2) major public spaces, the island in the center of Madison and the triangular Harmonie Park bounded by Center, Randolph, and East Grand River, define the area and contribute substantially to its character; Madison is a grand thoroughfare while Harmonie Park is an isolated pocket off major thoroughfares. Signage, primarily the Music Hall and Madison-Lenox Signs, identify significant buildings and act as beacons to the area. A cohesiveness is achieved through the use of unified landscaping and uniform setbacks. Where building demolition has occurred, primarily on the east side of Randolph between Gratiot and madison, the area is less cohesive. **Housing, parking, and retail strategies contained in the program support continuing investment in the arts, culture, and entertainment assets of the community, while implementing proven strategies of inclusion and equity to help the neighborhood remain attainable and welcoming to all Detroiters.**



BUILDING + CONTEXT – AERIAL VIEW FROM NORTH WEST



SITE PLAN



FLOOR PLAN - FLOORS 1-4





RENDERING – LOOKING SOUTH



RENDERING – FRONT ELEVATION



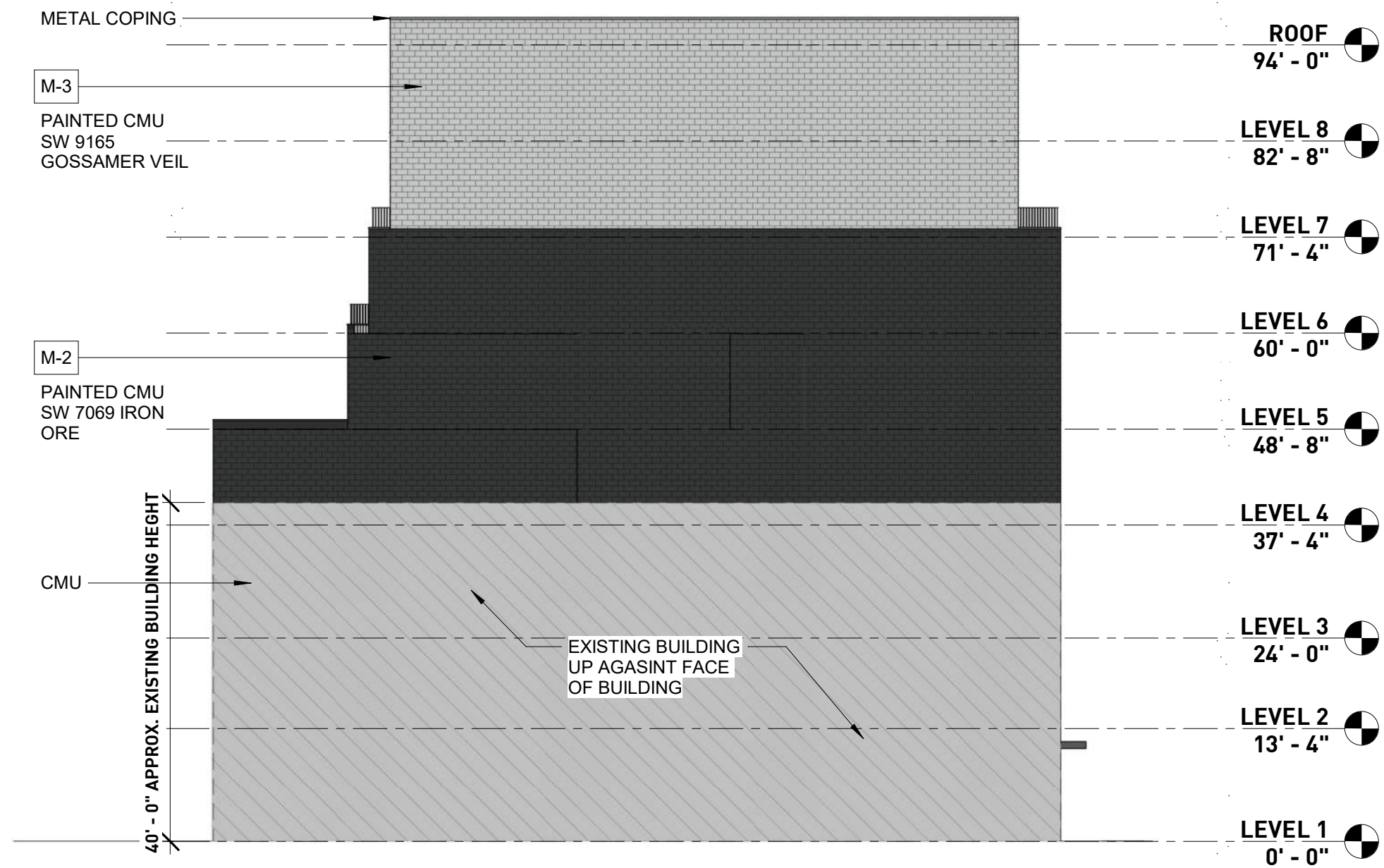
RENDERING – FACING NORTH FROM BEATRICE BUCK PARK



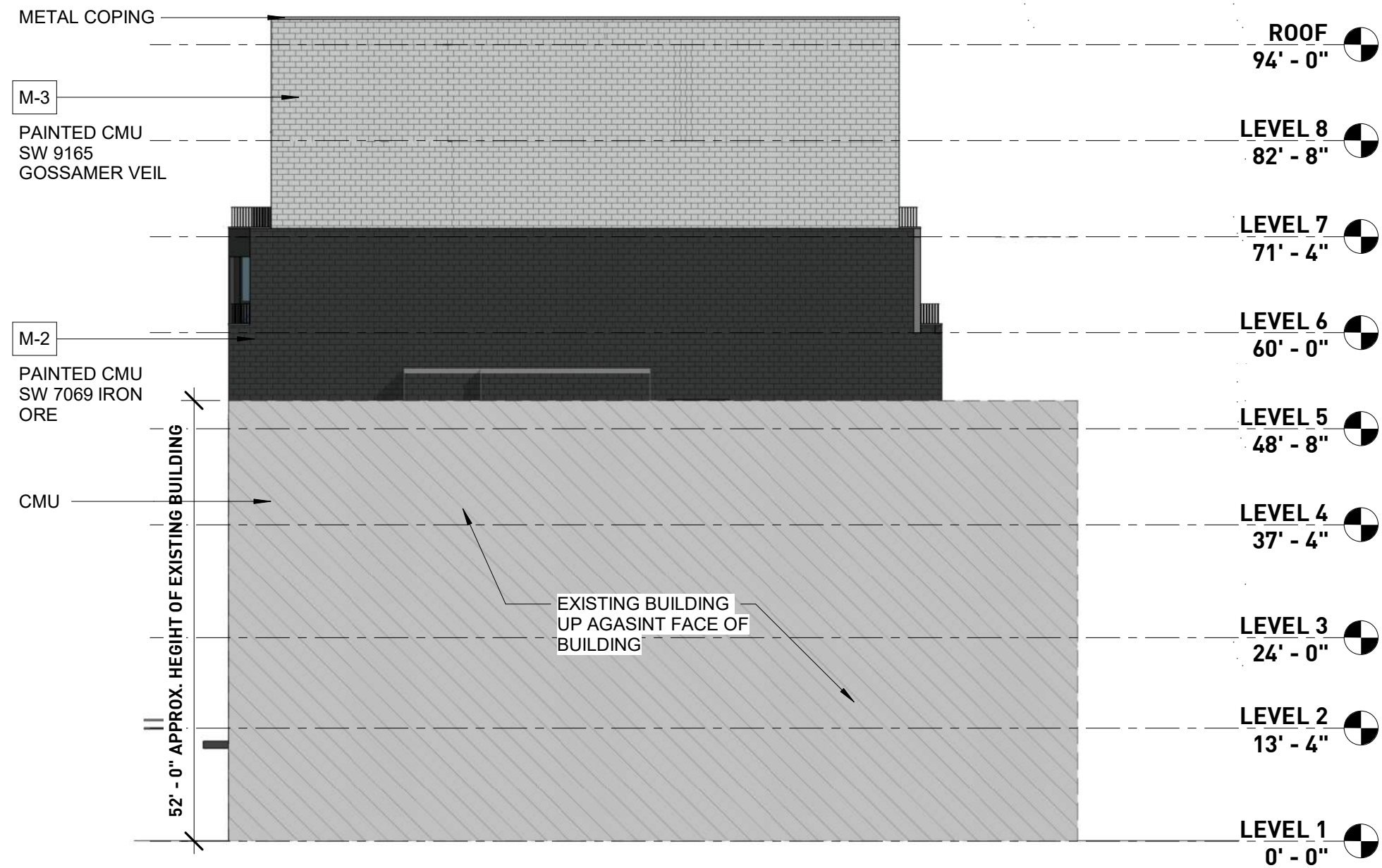
FRONT ELEVATION



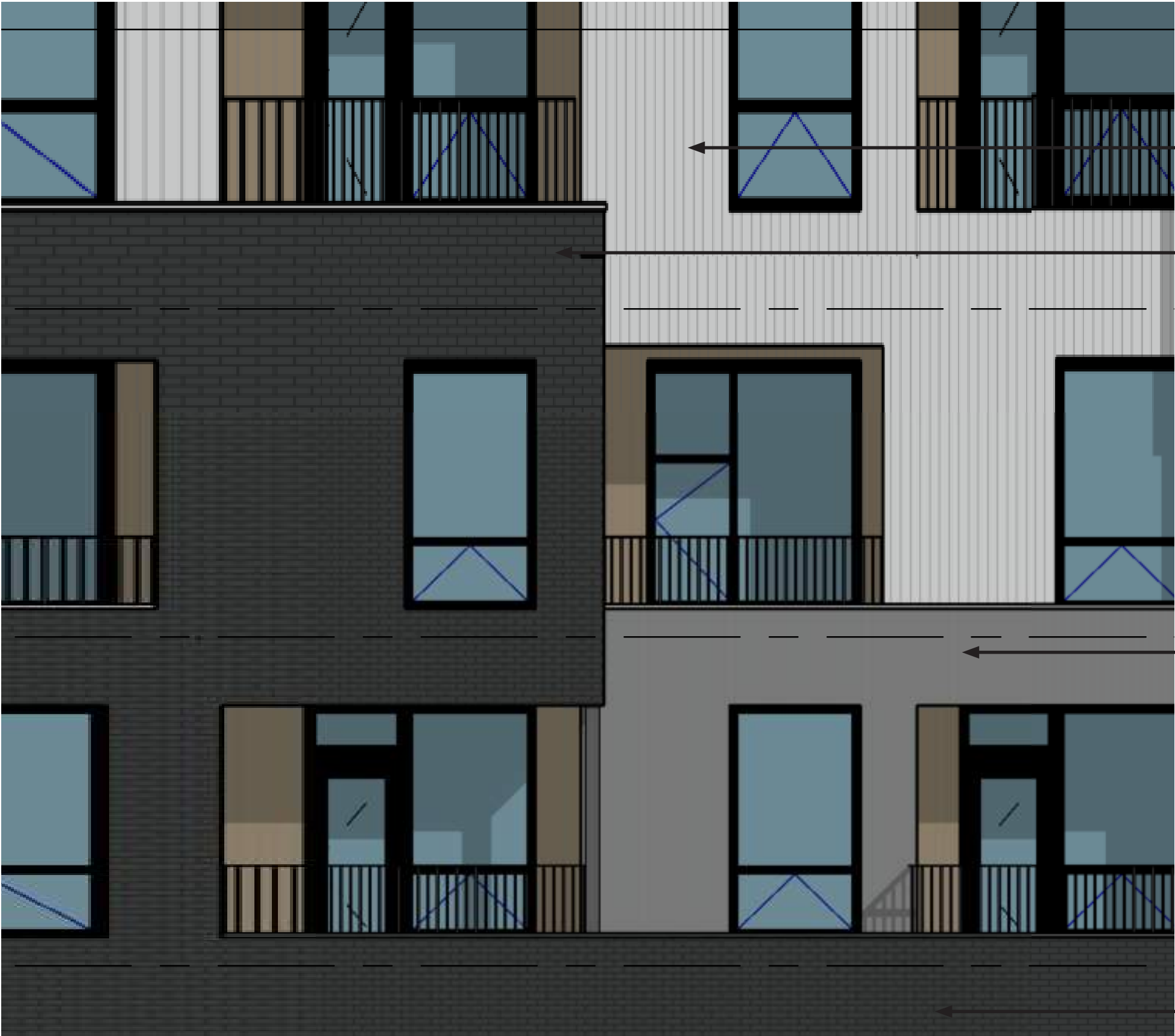
REAR ELEVATION



NORTH ELEVATION

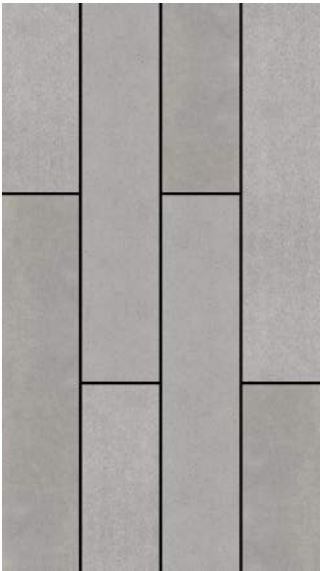


SOUTH ELEVATION



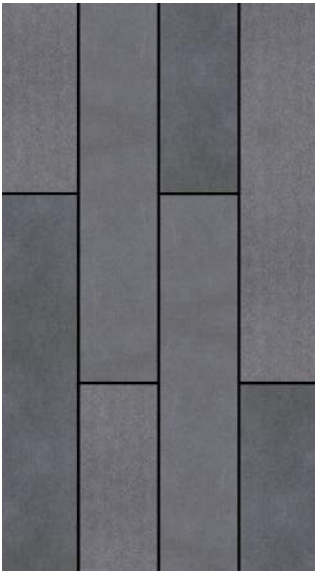
FC-2

GRFC OKO SKIN -
IVORY



FC-3

GRFC OKO SKIN -
LARCH



FC-1

GRFC OKO SKIN -
CHROME

INTERSTATE BLACK
OPAL VELOUR

M-1

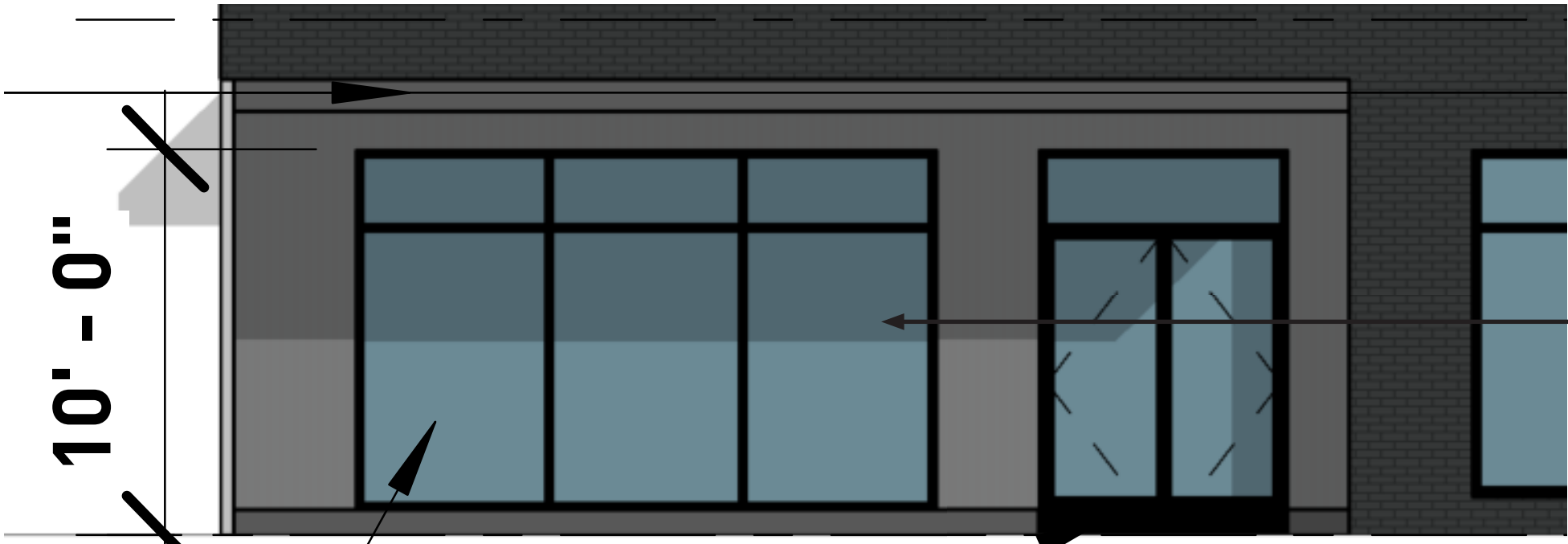




UPVC WINDOWS



HORIZONTAL METAL
RAILING



BLACK THERMALLY
BROKEN ALUMINUM
STOREFRONT

