

EXISTING STRUCTURE

THIS BUILDING IS REVIEWED UNDER THE 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS, CHAPTER 7: ALTERATION LEVEL 1 AND CHAPTER 8: ALTERATION LEVEL 2.

SECTION 503 ALTERATION-LEVEL 1

503.1 SCOPE. LEVEL 1 ALTERATIONS INCLUDE THE REMOVAL AND REPLACEMENT OR THE COVERING OF EXISTING MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES USING NEW MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES THAT SERVE THE SAME PURPOSE.

503.2 APPLICATION. LEVEL 1 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 7.

SECTION 504 ALTERATION-LEVEL 2

504.1 SCOPE. LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

504.2 APPLICATION. LEVEL 2 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 7 FOR LEVEL 1 ALTERATIONS AS WELL AS THE PROVISIONS OF CHAPTER 8.

SECTION 508 HISTORIC BUILDINGS

508.1 SCOPE. HISTORIC BUILDING PROVISIONS SHALL APPLY TO BUILDINGS CLASSIFIED AS HISTORIC AS DEFINED IN CHAPTER 2.

508.2 APPLICATION. EXCEPT AS SPECIFICALLY PROVIDED FOR IN CHAPTER 12, HISTORIC BUILDINGS SHALL COMPLY WITH APPLICABLE PROVISIONS OF THIS CODE FOR THE TYPE OF WORK BEING PERFORMED.

SECTION 705 ACCESSIBILITY

705.1 GENERAL. A BUILDING, FACILITY, OR ELEMENT THAT IS ACCESSIBLE SHALL REMAIN ACCESSIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILIZATION OF PUBLIC FACILITIES BY PHYSICALLY LIMITED, 1966 PA 1, MCL 125.1351 TO 125.1356, AND THE MICHIGAN BUILDING CODE, R 408.30401 TO R 408.30499, R 408.30574.

SECTION 806 ACCESSIBILITY

806.1 GENERAL. A BUILDING, FACILITY, OR ELEMENT THAT IS ALTERED SHALL COMPLY WITH THIS SECTION AND SECTION 410. R 408.30577

410.9 HISTORIC BUILDINGS

THESE PROVISIONS SHALL APPLY TO FACILITIES DESIGNATED AS HISTORIC STRUCTURES THAT UNDERGO ALTERATIONS OR A CHANGE OF OCCUPANCY, UNLESS TECHNICALLY INFEASIBLE.

WHERE COMPLIANCE WITH THE REQUIREMENTS FOR ACCESSIBLE ROUTES, ENTRANCES OR TOILET ROOMS WOULD THREATEN OR DESTROY THE HISTORIC SIGNIFICANCE OF THE FACILITY, AS DETERMINED BY THE APPLICABLE GOVERNING AUTHORITY, THE ALTERNATIVE REQUIREMENTS OF SECTIONS 410.9.1 THROUGH 410.9.4 FOR THAT ELEMENT SHALL BE PERMITTED.

EXCEPTION: TYPE B DWELLING OR SLEEPING UNITS REQUIRED BY SECTION 1107 OF THE INTERNATIONAL BUILDING CODE ARE NOT REQUIRED TO BE PROVIDED IN HISTORICAL BUILDINGS.

410.9.1 SITE ARRIVAL POINTS. AT LEAST ONE ACCESSIBLE ROUTE FROM A SITE ARRIVAL POINT TO AN ACCESSIBLE ENTRANCE SHALL BE PROVIDED.

410.9.2 MULTILEVEL BUILDINGS AND FACILITIES. AN ACCESSIBLE ROUTE FROM AN ACCESSIBLE ENTRANCE TO PUBLIC SPACES ON THE LEVEL OF THE ACCESSIBLE ENTRANCE SHALL BE PROVIDED.

410.9.3 ENTRANCES. AT LEAST ONE MAIN ENTRANCE SHALL BE ACCESSIBLE.

EXCEPTIONS:

1. IF A MAIN ENTRANCE CANNOT BE MADE ACCESSIBLE, AN ACCESSIBLE NONPUBLIC ENTRANCE THAT IS UNLOCKED WHILE THE BUILDING IS OCCUPIED SHALL BE PROVIDED;

OR

2. IF A MAIN ENTRANCE CANNOT BE MADE ACCESSIBLE, A LOCKED ACCESSIBLE ENTRANCE WITH A NOTIFICATION SYSTEM OR REMOTE MONITORING SHALL BE PROVIDED. SIGNS COMPLYING WITH SECTION 1111 OF THE INTERNATIONAL BUILDING CODE SHALL BE PROVIDED AT THE PRIMARY ENTRANCE AND THE ACCESSIBLE ENTRANCE.

410.9.4 TOILET AND BATHING FACILITIES. WHERE TOILET ROOMS ARE PROVIDED, AT LEAST ONE ACCESSIBLE FAMILY OR ASSISTED-USE TOILET ROOM COMPLYING WITH SECTION 1109.2.1 OF THE INTERNATIONAL BUILDING CODE SHALL BE PROVIDED.

WORK DOES NOT INCLUDE A CHANGE IN USE OR OCCUPANCY TO THE BUILDING.

WORK DOES NOT INCLUDE AN ADDITION TO THE EXISTING BUILDING

SEE SHEET G102 CODE SUMMARY FOR FURTHER INFORMATION.

AREA TABULATION

NUMBER OF 1 BEDROOM	REFER TO SHEET G102
NUMBER OF 2 BEDROOM	REFER TO SHEET G102
NUMBER OF 3 BEDROOM	REFER TO SHEET G102
NUMBER OF PARKING SPACES, OPEN AND COVERED	48/13



MIDTOWN SQUARE

PROJECT LOCATION: 93 SEWARD AVENUE
DETROIT, MI 48202

OWNER: MIDTOWN SQUARE II LDHA LP
93 SEWARD AVENUE
DETROIT, MI 48202

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CODE SUMMARY

PROJECT DESCRIPTION:	ALTERATIONS TYPE 1 AND 2 TO AN EXISTING 8-STORY R-2 APARTMENT BUILDING COMPRISING 73 APARTMENTS. NO INCREASE IN HEIGHT OR AREA.
ZONING:	R5-H
OCCUPANCY CLASSIFICATION:	R-2
CONSTRUCTION TYPE:	TYPE 1B, SPRINKLERED, FIRE ALARM SYSTEM
OCCUPANT LOAD:	422 PERSONS
APPLICABLE CODES:	<p>BUILDING: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB) 2015, CHAPTER 5</p> <p>MECHANICAL: MICHIGAN MECHANICAL CODE (MMC) 2015</p> <p>PLUMBING: MICHIGAN PLUMBING CODE (MPC) 2015</p> <p>ELECTRICAL: MICHIGAN/NATIONAL ELECTRICAL CODE (NEC) 2014 WITH PART 8 AMENDMENTS</p> <p>LIFE SAFETY: NFPA 101 2000 / DETROIT FIRE CODE</p> <p>ENERGY: MICHIGAN UNIFORM ENERGY CODE 2015 A BUILDING THAT HAS BEEN SPECIFICALLY DESIGNATED AS HISTORICALLY SIGNIFICANT BY THE ADOPTING AUTHORITY OR IS LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES OR HAS BEEN DETERMINED TO BE ELIGIBLE FOR LISTING BY THE U.S. SECRETARY OF THE INTERIOR NEED NOT COMPLY WITH THE PROVISIONS OF SECTIONS 5, 6, 7, 8, 9 AND 10 OF THE ASHRAE 90.1 STANDARD (ASHRAE 90.1, EXCEPTION 1 TO PARAGRAPH 4.2.1.3, REFERENCED BY MEC C503.1)</p> <p>ACCESSIBILITY: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB) 2015, SECTION 410. ALTERATIONS REFERENCE MBC 2015, ICC/ANSI A117.1 2009 EX 611/707. ADA ACCESSIBILITY GUIDELINES (ADAAG)</p> <p>ELEVATOR: DETROIT ELEVATOR CODE 1997 REFERENCE ASME A17.1-1993, ASME A18.1-2003</p>

BID ALTERNATE 1:
BASE BID:
DEDUCT ALTERNATE:

BID ALTERNATE 2:
BASE BID:
DEDUCT ALTERNATE:

DEFERRED SUBMITTALS

NOTE: THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE LOCAL CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

THE FOLLOWING SUBMITTALS SHALL BE PREPARED BY OTHERS AND INCLUDED AS PART OF THE CONSTRUCTION DOCUMENTS AS THEY BECOME AVAILABLE: (PER SECTION 107.3.4.2)

- AUXILIARY POWER SYSTEMS
- AWNINGS
- ELECTRICAL SYSTEMS (DESIGN-BUILD)
- EMERGENCY CALL SYSTEMS
- EXIT ILLUMINATION
- FIRE ALARM SYSTEMS
- FIRE STOPPING SYSTEMS
- FIRE SUPPRESSION SYSTEMS
- INTERCOM SYSTEMS
- IRRIGATION SYSTEMS
- MATERIAL SAFETY AND DATA SHEETS (MSDS) FOR INTERIOR FINISHES
- PLUMBING SYSTEMS
- PREFABRICATED STAIRS
- SIGNAGE

LOCATION MAP



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PRELIMINARY
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CONSTRUCTION

Seal

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Date

Project Number 2020051

Sheet Title
COVER

Sheet Number

GENERAL DESCRIPTION

PROJECT NAME: 93 SEWARD STREET, DETROIT AKA MIDTOWN SQUARE
 PROJECT DESCRIPTION: ALTERATION LEVEL 1 & 2 TO AN EXISTING HISTORIC 8-STORY APARTMENT BUILDING
 APPLICABLE CODES:
 BUILDING: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015-CHAPTER 7 AND CHAPTER 8 (MRC)
 MICHIGAN BUILDING CODE 2015 (MBC), AS REFERENCED BY MRC

MECHANICAL: MICHIGAN PART 99 MECHANICAL CODE 2015 (MMC)

PLUMBING: MICHIGAN PLUMBING CODE (MPC) 2015

ELECTRICAL: MICHIGAN/NATIONAL ELECTRICAL CODE 2017 WITH PART 8 AMENDMENTS (NEC)

LIFE SAFETY: MICHIGAN BUILDING CODE 2015 (MBC)
 NFPA 101 2009
 DETROIT FIRE CODE

ENERGY: MICHIGAN ENERGY CODE 2015 (MEC)
 ANSI/ASHRAE/IESNA STANDARD 90.1-2013

ACCESSIBILITY: MICHIGAN BUILDING CODE 2015 (MBC)
 ICC/ANSI A117.1 2009 WITH SECTIONS 611 AND 707 EXEMPTED
 PER MBC 1101.2
 ADA ACCESSIBILITY GUIDELINES 2010 (ADAAG)

ELEVATOR: ASME A17.1-2004
 DETROIT ELEVATOR CODE-1997

STRUCTURAL FRAME: 2 HRS
 EXTERIOR BEARING WALLS: 2 HRS
 INTERIOR BEARING WALLS: 2 HRS
 EXTERIOR NONBEARING WALLS AND PARTITIONS (TABLE 602): SEE BELOW
 INTERIOR NONBEARING WALLS AND PARTITIONS: 0 HRS
 FLOOR CONSTRUCTION - INCLUDING SUPPORTING BEAMS AND JOISTS: 2 HRS
 ROOF CONSTRUCTION - INCLUDING SUPPORTING BEAMS AND JOISTS: 1 HRS
 FIRE RESISTANCE RATING FOR ALL FIRE WALLS (SECTION 706, TABLE 706.4): 3 HRS

FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DIST
 X<5 FT = 1 HT
 5FT <= X < 10 FT = 1 HR
 10FT <= X < 30 FT = 1 HR
 X >= 30 FT = 0 HRS

(TABLE 602): FRONT = 0 HRS, EAST SIDE = 1HR, WEST SIDE = 0 HRS, REAR = 0 HRS.

COMBUSTIBLE MATERIALS PERMITTED (SECTION 603.1: INCLUDING MILLWORK, WALL & CEILING FINISHES, & BLOCKING)

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

FIRE RESISTIVE REQUIREMENTS FOR OPENINGS IN FIRE-RATED EXTERIOR WALLS
 (SECTIONS 705 AND 716, TABLE 705.8):
 ALLOWABLE AREA OF OPENINGS PER STORY - EAST WALL (SECTION 705.8):
 0% PROTECTED + 25% UNPROTECTED
 MAX EXISTING AREA OF OPENINGS/STORY (SECTION 705.8.4):
 0% PROTECTED + 15.3% UNPROTECTED
 FIRE RESISTIVE RATING OF OPENINGS (SECTION 716, TABLE 716.5): 3/4 HR RATED DOORS

EXCEPTION TO PROTECTED OPENINGS IN EXTERIOR WALLS (SECTION 705.8.2): BUILDING EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM, OPENINGS PROTECTED BY WATER CURTAIN(S)

FIRE RESISTANCE RATINGS FOR ALL VERTICAL/HORIZONTAL FIRE BARRIERS (SECTION 707):
 EXIT ENCLOSURES (SECTION 1023.2): 2 HRS (4 STORIES OR MORE)
 1 HR (LESS THAN 4 STORIES)

EXIT PASSAGEWAY (SECTION 1024.3): 1 HR MIN (NOT LESS THAN ANY CONNECTING EXIT ENCLOSURE)
 HORIZONTAL EXIT (SECTION 1026.2): 2 HRS

SINGLE OCCUPANCY FIRE AREAS (SECTIONS 707 & 711.2.4.2, TABLE 707.3.10): NOT APPLICABLE

FIRE RESISTANCE RATING FOR ALL SHAFT ENCLOSURES (SECTION 713):
 FOUR-STORY (OR GREATER) SHAFTS: 2 HRS (OR FLOOR RATING IF GREATER)
 SHAFTS LESS THAN FOUR STORIES: 1 HR (OR FLOOR RATING IF GREATER)
 HORIZONTAL ASSEMBLIES: 2 HRS
 HOISTWAY ENCLOSURES (SECTION 713.14): 2 HRS
 REFUSE CHUTE AND CONNECTED WASTE ROOM (SECTION 713.13): 2 HRS

FIRE RESISTANCE RATING FOR FIRE PARTITIONS (SECTION 708):
 CORRIDOR WALLS (TABLE 1020.1): 1 HRS
 DEMISING WALLS (SECTIONS 420.2 AND 708): 1 HRS
 ELEVATOR LOBBY SEPARATION (SECTION 713.14.1): NO REQ FOR EXISTING BUILDING, SPRINKLERED

CHAPTER 11 - ACCESSIBILITY

REQUIRED BARRIER-FREE DWELLING/SLEEPING UNITS

'ACCESSIBLE' UNITS (TABLE 1107.6.1.1)
 WITHOUT ROLL-IN SHOWERS:
 REQUIRED: 3
 PROVIDED: 3
 WITH ROLL-IN SHOWERS:
 REQUIRED: 1
 PROVIDED: 1

'TYPE A' UNITS (SECTION 1107.6.2.2.1):
 REQUIRED: 2
 PROVIDED: 0 EXISTING

'TYPE B' UNITS: NOT REQUIRED PER MRC SECTION 410.9, EXCEPTION FOR HISTORIC BUILDINGS

R-2 DWELLING UNITS WITH COMMUNICATIONS FEATURES: (SECTION 907.5.2.3.3)
 ALL DWELLING UNITS ARE PROVIDED WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH CH. 1006 OF ICC A117.1

CHAPTER 12 - INTERIOR ENVIRONMENT

MINIMUM CEILING HEIGHT (SECTION 1208.2): 7'-6" AFF

MINIMUM CEILING HEIGHT IN TOILET ROOMS, KITCHENS, STORAGE ROOMS, AND LAUNDRY
 (SECTION 1208.2): 7'-0" AFF

ROOMS WITH EXISTING NON-COMPLIANT CEILING HEIGHTS (SEE ALSO REFLECTED CEILING PLANS):
 NONE

TOILET ROOM & BATHROOM FINISH MATERIALS (SECTION 1210):
 IN ALL TOILET, BATHING AND SHOWER ROOMS, FLOOR FINISHES AND FINISHES ON WALLS AND PARTITIONS WITHIN 2 FEET OF SERVICE SINKS, URINALS AND WATER CLOSETS SHALL BE HARD AND NONABSORBENT.

CHAPTER 13 - ENERGY EFFICIENCY

HISTORIC BUILDING EXCEPTION (MUEC SECTION 101.4.2): ANY BUILDING OR STRUCTURE THAT IS LISTED IN THE STATE OR NATIONAL REGISTER OF HISTORIC PLACES; DESIGNATED AS A HISTORIC PROPERTY UNDER LOCAL OR STATE DESIGNATION LAW OR SURVEY; CERTIFIED AS A CONTRIBUTING RESOURCE WITH A NATIONAL REGISTER LISTED OR LOCALLY DESIGNATED HISTORIC DISTRICT; OR WITH AN OPINION CERTIFICATION THAT THE PROPERTY IS ELIGIBLE TO BE LISTED ON THE NATIONAL OR STATE REGISTERS OF HISTORIC PLACES EITHER INDIVIDUALLY OR AS A CONTRIBUTING BUILDING TO A HISTORIC DISTRICT BY THE STATE HISTORIC PRESERVATION OFFICER OR THE KEEPER OF THE NATIONAL REGISTER OF HISTORIC PLACES, ARE EXEMPT FROM THIS CODE.

CHAPTER 17 - SPECIAL INSPECTIONS & TEST

SPECIAL INSPECTIONS:
 ARCHITECTURAL SPECIAL INSPECTIONS:
 SPRAYED FIRE-RESISTANT MATERIALS (MBC SECTION 1705.14)
 MASTIC AND INTUMESCENT FIRE-RESISTANT COATINGS (MBC SECTION 1705.15)
 FIRE-RESISTANT PENETRATIONS AND JOINTS (MBC SECTION 1705.17)

FOR OTHER SPECIAL INSPECTIONS, SEE STRUCTURAL AND MEP DRAWINGS.

CHAPTER 8 - INTERIOR FINISHES

REQUIRED FINISH LEVEL: (TABLE 803.11): SEE SHEET A501 FOR FINISH DESCRIPTIONS
 EXIT PASSAGEWAYS AND INTERIOR EXIT STAIRWAYS AND RAMPS: C
 CORRIDORS AND INTERIOR EXIT ACCESS STAIRWAYS AND RAMPS: C
 ROOMS AND ENCLOSED SPACES: C

CHAPTER 9 - FIRE PROTECTION SYSTEMS

DEFERRED SUBMITTAL: DESIGN/BUILD FIRE SUPPRESSION DRAWINGS

SMOKE DETECTION AND FIRE ALARM SYSTEM (SECTION 907):
 REQUIRED: AUTOMATIC SMOKE DETECTORS
 PROPOSED: SEE ELECTRICAL AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFO.

AUTOMATIC SPRINKLER SYSTEM (SECTIONS 903 AND 904):
 REQUIRED: FULLY SPRINKLED
 PROPOSED: FULLY SPRINKLED PER MBC SECTION 903. SEE FIRE PROTECTION DRAWINGS

STANDPIPE SYSTEM (SECTION 905):
 REQUIRED: CLASS 1 WET STANDPIPES
 PROPOSED: PROVIDED PER MBC SECTION 905. SEE FIRE PROTECTION DRAWINGS

CHAPTER 10 - MEANS OF EGRESS

FOR OCCUPANT LOADS (SECTION 1004). SEE LIFE SAFETY DIAGRAMS.

NUMBER OF EXITS (SECTION 1006, TABLES 1006.2.1 AND 1006.3.1):
 REQUIRED PER FLOOR: 2
 PROVIDED PER FLOOR: 2

CORRIDOR WIDTH (SECTIONS 1005 & 1020.2):
 MINIMUM REQUIRED AT EACH FLOOR: 44"
 MINIMUM PROVIDED AT EACH FLOOR: 59" EXISTING

EGRESS DOOR WIDTH (SECTIONS 1005 & 1010.1):
 MINIMUM REQUIRED AT EACH FLOOR: 32"
 MINIMUM PROVIDED AT EACH FLOOR: 33.75"

STAIRWAY WIDTH (SECTIONS 1005):
 MINIMUM REQUIRED: 44"
 MINIMUM PROVIDED: 44" EXISTING

COMMON PATH OF EGRESS TRAVEL (SECTION 1006.2.1):
 MAXIMUM ALLOWABLE LENGTH: 125 FT
 MAXIMUM LENGTH PROVIDED: 111 FT

EXIT SEPARATION DISTANCE (SECTION 1007):
 MINIMUM ALLOWABLE: 55 FT
 MINIMUM PROVIDED: 95 FT EXISTING

EXIT ACCESS TRAVEL DISTANCE (SECTION 1017.2, AS REFERENCED BY MRC 1401.6.13):
 MAXIMUM ALLOWABLE LENGTH: 250 FT PER TABLE 1017.2 (SEE ALSO MRC CH 14 SUMMARY)
 MAXIMUM PROVIDED: 111 FT

DEAD END CORRIDORS (SECTION 1401.6.12):
 MAXIMUM ALLOWABLE LENGTH: 50 FT PER 1020.4 (SEE ALSO MRC CH 14 SUMMARY)
 MAXIMUM PROVIDED: 111 FT

ADDITIONAL EGRESS NOTES

- THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES (SEE MRC SECTION 1401.6.15)
- ACCESSIBLE MEANS OF EGRESS ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS. (MBC SECTION 1009.1, EXCEPTION 1)
- AN AREA OF REFUGE IS NOT PROVIDED AT EXIT STAIRWAYS PER MBC SECTION 1009.3 EXCEPTION 5

CHAPTER 29 - PLUMBING SYSTEMS

SEE MBC SECTION 1109.5 RE: NUMBER OF ACCESSIBLE FIXTURES REQUIRED.

TOILET FIXTURES REQUIRED (MPC TABLE 403.1):
 1 PER DWELLING UNIT

TOILET FIXTURES PROVIDED:
 1 PER DWELLING UNIT

DRINKING FOUNTAINS (MPC TABLE 403.1, SECTION 410.1; MBC SECTION 1109.5):
 NONE REQUIRED FOR R-2

SERVICE SINKS (MPC TABLE 403.1):
 1 KITCHEN SINK PER DWELLING UNIT REQUIRED.
 1 KITCHEN SINK PER DWELLING UNIT PROVIDED.

CHAPTER 30 - ELEVATORS AND CONVEYING SYSTEMS

PROVIDE DESCRIPTION OF ELEVATOR HOISTWAY CONDITION IN EXISTING BUILDINGS. ARE EXISTING SHAFTS BEING UTILIZED AND MODERNIZED? ARE NEW SHAFTS BEING BUILT? EXPLAIN SCOPE OF WORK FOR MODERNIZED CABS/HOISTWAYS. IF MULTIPLE CONDITIONS EXIST, DESCRIBE EACH AND PROVIDE DETAIL IN EACH OF THE SECTIONS NOTED BELOW.

HOISTWAY ENCLOSURE (MBC SECTION 3002):
EXISTING HOISTWAYS: EXISTING HOISTWAY ENCLOSURE, 2 HRS
 RATED PER PRESCRIPTIVE FIRE RESISTANCE RATING
 MBC TABLE 721.1 (SEE MRC SECTION 1401.6.6)

AMBULANCE STRETCHER CLEARANCE:
EXISTING ELEVATORS: NOT PROVIDED (SEE MRC SECTION 1401.6.14)

EMERGENCY OPERATIONS PHASE I/II RECALL:
EXISTING ELEVATORS: PROVIDED/NOT PROVIDED (SEE MRC SECTION 1401.6.14)
NEW ELEVATORS: PROVIDED/NOT REQUIRED PER MBC SECTION 3003

MACHINE AND CONTROLLER ROOMS (MBC SECTION 3005):
 MACHINE ROOM LOCATED IN ELEVATOR PENTHOUSE; CONTROLLER ROOM LOCATED REMOTELY; BOTH ARE PROVIDED WITH DEDICATED AIR CONDITIONING ON EMERGENCY POWER TO PREVENT ELECTRICAL EQUIPMENT FROM OVERHEATING.

ELEVATOR LOBBIES AND HOISTWAY OPENING PROTECTION (SECTION 3006):
EXISTING ELEVATORS: LOBBIES DO NOT EXIST IN EXISTING BUILDING AND ARE NOT PROVIDED

FIRE SERVICE ACCESS ELEVATORS (SECTION 3007):
EXISTING ELEVATORS: PROVIDED/NOT PROVIDED (SEE MRC SECTION 1401.6.14)
NEW ELEVATORS: PROVIDED/NOT REQUIRED PER MBC SECTION 403

LOCAL ZONING REQUIREMENTS

ZONING ORDINANCE: CITY OF DETROIT
ZONING DISTRICT: RS-1H MAP 7
USE CATEGORY: EXISTING MULTI-FAM RES
 PROPOSED - MULTI-FAM RES

INTENSITY AND DIMENSIONAL STANDARDS: N/A-EXISTING BUILDING
OFF-STREET PARKING REQUIREMENTS: 0.75 SPACES PER D.U. (WITHIN 0.5 MILES OF A HIGH-FREQUENCY TRANSIT CORRIDOR - WOODWARD AVENUE IS CORRIDOR #4). 73 D.U. X 0.75 = 55 PARKING SPACES

OFF-STREET LOADING REQUIREMENTS: 1 SPACE AT 12' X 35' FOR TOTAL GFA BTWN 10K & 100K
OTHER REQUIREMENTS AND CONSIDERATIONS: NONE

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

EXISTING USE GROUP(S): GROUP R-2
PROPOSED USE GROUP(S): GROUP R-2
MIXED OCCUPANCY: NO

OCCUPANT LOAD (SECTION 1004.1):
 SEPARATED BY OCCUPANT LOAD, PER FUNCTION, PER FLOOR (TABLE 1004.1.2):

FLOOR	FUNCTION	OCC LOAD	SQUARE FT	OCCUPANCY
NO EXISTING BASEMENT				
FIRST FLOOR:	APARTMENTS	200 SF/PERSON	4,350 SF	22 PERSONS
	MGT. OFFICE	100 SF/PERSON	263 SF	3 PERSONS
	COMMUNITY ROOM	15 SF/PERSON	475 SF	32 PERSONS
	MEETING ROOM	--- SF/PERSON	88 SF	4 PERSONS
	MECH & ELEC	300 SF/PERSON	2,800 SF	10 PERSONS
	LAUNDRY	--- SF/PERSON	250 SF	3 PERSONS
TOTAL FIRST FLOOR:			10,830 SF	74 PERSONS
SECOND FLOOR:	APARTMENTS	200 SF/PERSON	9,424 SF	48 PERSONS
THIRD FLOOR:	APARTMENTS	200 SF/PERSON	9,424 SF	48 PERSONS
FOURTH FLOOR:	APARTMENTS	200 SF/PERSON	9,424 SF	48 PERSONS
FIFTH FLOOR:	APARTMENTS	200 SF/PERSON	9,424 SF	48 PERSONS
SIXTH FLOOR:	APARTMENTS	200 SF/PERSON	9,424 SF	48 PERSONS
SEVENTH FLOOR:	APARTMENTS	200 SF/PERSON	9,424 SF	48 PERSONS
EIGHTH FLOOR:	APARTMENTS	200 SF/PERSON	9,424 SF	48 PERSONS
PENTHOUSE:	APARTMENTS	200 SF/PERSON	2,283 SF	12 PERSONS
TOTAL BUILDING:			79,081 SF	422 PERSONS

CHAPTER 4 - SPECIAL DETAILED REQ. BASED ON USE AND OCC.

SPECIAL OCCUPANCIES: NONE
HIGHRISE BUILDING (SECTION 403): YES

CHAPTER 5 - GENERAL BUILDING HEIGHT AND AREAS

USE GROUP: GROUP R-2 (SEE CHAPTER 3 SUMMARY)
CONSTRUCTION CLASSIFICATION: TYPE 1B (SEE CHAPTER 6 SUMMARY)
SPRINKLER TYPE: NS (SEE CHAPTER 9 SUMMARY)

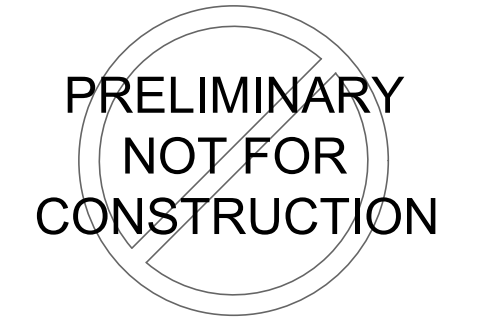
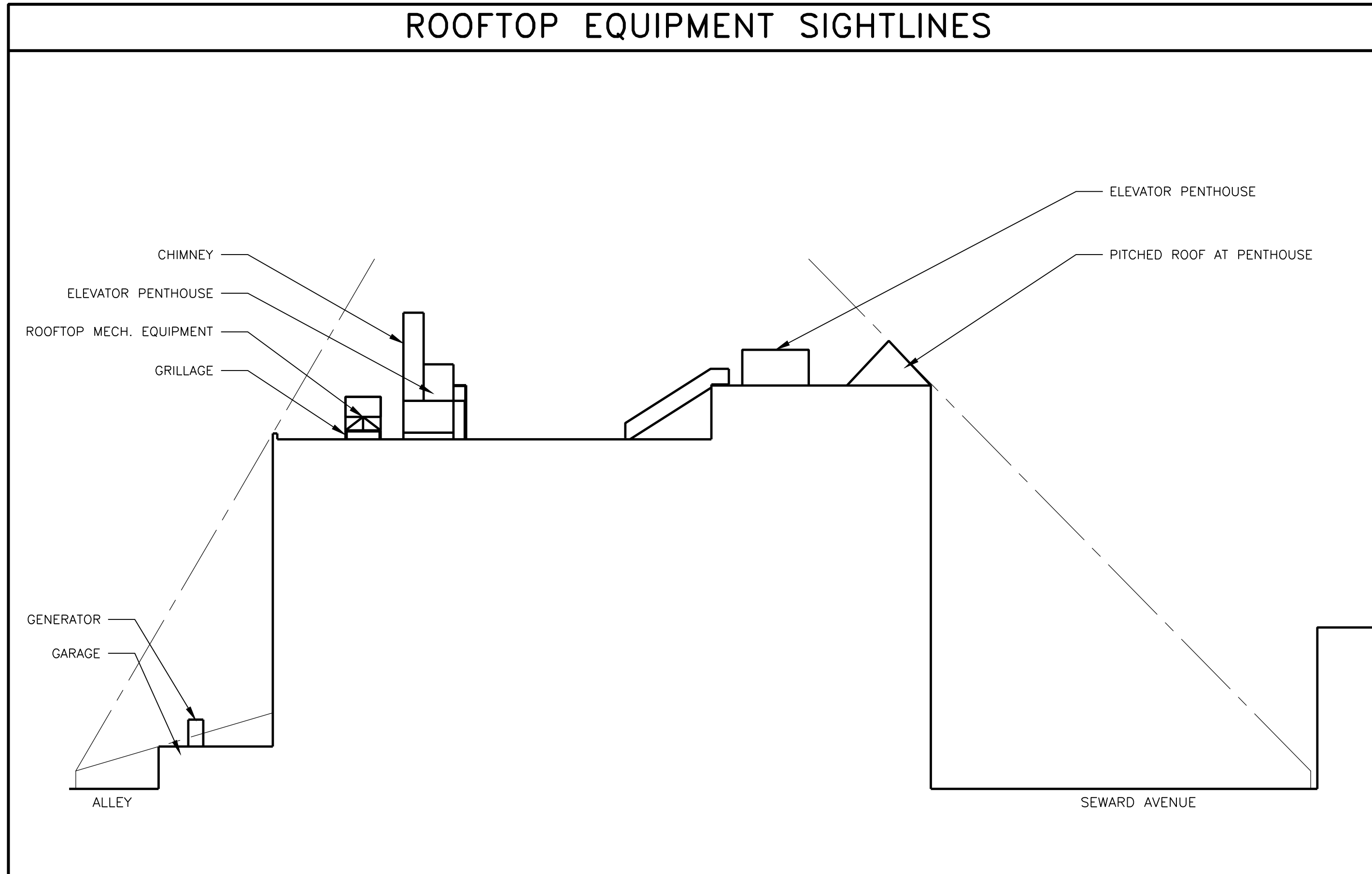
ALLOWABLE BUILDING HEIGHT AND STORIES: (TABLES 504.3 AND 504.4): 160 FEET, 11 STORIES
EXISTING/PROPOSED BUILDING HEIGHT: EXISTING: 100 FEET, 8 STORIES - NO CHANGE
BUILDING AREA: NO CHANGE TO BUILDING AREA, UNLIMITED AREA FOR R-2 IN 1B CONSTR.

ACCESSORY OCCUPANCIES (SECTION 508.2): MECHANICAL AND ELECTRICAL ROOMS ON 1ST FLOOR
NON-SEPARATED OCCUPANCIES (SECTION 508.3): INCIDENTAL ELECTRICAL/TELCO CLOSETS ON EACH FLOOR
SEPARATION OF MIXED OCCUPANCIES (SECTION 508.4):
VERTICAL SEPARATIONS (SECTIONS 508.4.4, 707.3.9, 711.2.4.1, AND 712.1.13, (TABLE 508.4): BUILDING IS NOT MIXED-USE
HORIZONTAL SEPARATIONS (SECTION 510.2): BUILDING IS NOT MIXED-USE

INCIDENTAL USE AREAS (SECTION 509, TABLE 509):
 WASTE COLLECTION ROOMS OVER 100 SF: 1 HR FIRE RATING OR AUTOMATIC SPRINKLER SYSTEM
 LAUNDRY ROOMS OVER 100 SF: 1 HR FIRE RATING OR AUTOMATIC SPRINKLER SYSTEM
 FURNACE/BOILER ROOMS: 1 HR FIRE RATING OR AUTOMATIC FIRE-EXTINGUISHING SYSTEM

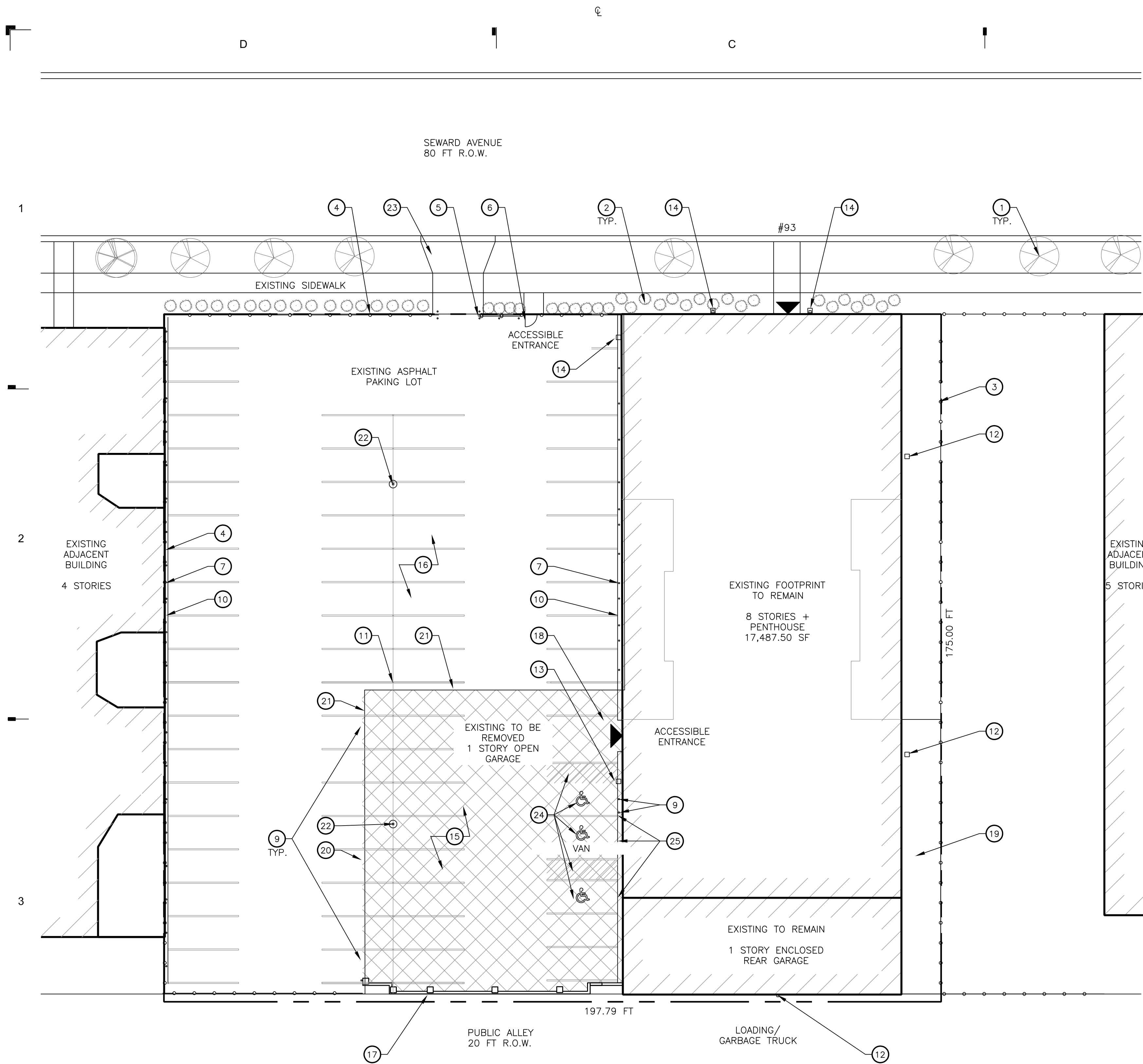
CHAPTER 6 - TYPES OF CONSTRUCTION

CONSTRUCTION CLASSIFICATION (SECTION 602, TABLE 601): 1B
FIRE RESISTANCE RATING FOR INDIVIDUAL STRUCTURAL ELEMENTS (TABLE 601):



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SITE PLAN KEYNOTES

- 1 EXISTING STREET TREES.
- 2 EXISTING PLANTINGS.
- 3 EXISTING 6FT HIGH CHAIN LINK FENCE.
- 4 REPLACE FENCE - 7 FT HIGH ALUMINUM PICKET, BLACK PAINT.
- 5 REPLACE VEHICLE GATE - ALUMINUM PICKET, BLACK. + CARD READER
- 6 NEW PEDESTRIAN GATE, W/ CARD READER
- 7 EXISTING BOLLARDS.
- 8 NEW BOLLARDS - MATCH HEIGHT OF EXISTING. YELLOW PAINT.
- 9 REMOVE EXISTING BOLLARD, TYPICAL.
- 10 EXISTING CURB.
- 11 REMOVE EXISTING POLE LIGHT FIXTURE
- 12 REPLACE WALL-MOUNTED SITE LIGHTING.
- 13 NEW WALL-MOUNTED SITE LIGHTING.
- 14 REPLACE WALL-MOUNTED FACADE LIGHTING.
- 15 REMOVE ONE-STORY GARAGE.
- 16 REPAVE ASPHALT PARKING LOT INCLUDING AREA OF FORMER GARAGE.
- 17 REAR WALL OF GARAGE TO BE REMOVED DOWN TO 48" ABOVE GRADE. PROVIDE NEW CONCRETE COPING, MATCH COLOR OF COPING ON BUILDING ROOF DECKS.
- 18 NEW AWNING - ALUMINUM FRAME WITH CANVAS. SEE PROFILE IN DETAIL.
- 19 EXISTING PAVED SERVICE AREA.
- 20 REMOVE EXISTING CURB. SAWCUT WHERE NECESSARY.
- 21 REMOVE EXISTING WALL
- 22 NEW POLE LIGHT FIXTURE.
- 23 EXISTING CURB CUT AND DRIVEWAY - NO CHANGE.
- 24 BARRIER FREE PAVEMENT MARKINGS
- 25 BARRIER FREE PARKING SIGNAGE.

GENERAL SITE NOTES

1. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE PLANS AND/OR PROJECT SPECIFICATIONS. ANY WORK NOT COVERED SHALL CONFORM TO THE CITY'S STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS OR THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, MICHIGAN DEPARTMENT OF TRANSPORTATION, LATEST EDITION AND SUPPLEMENTALS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WHO MIGHT HAVE UTILITY LINES ON OR ABOUT THE PREMISES, OR WHO MIGHT BE AFFECTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE WITH THE UTILITY COMPANIES TO ENSURE COMPLIANCE TO THE PROJECT SCHEDULE ESTABLISHED BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT EXISTING UTILITY LINES AND SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE.
3. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. ALL PAVEMENT STRIPING SHALL BE FOUR (4) INCHES WIDE, UNLESS SHOWN OTHERWISE ON THE PLANS.
4. THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM ON ALL CONCRETE WALKS, RAMPS, AND PAVING SURFACES.
5. MAINTENANCE OF SEEDED AND SODDED AREAS SHALL INCLUDE ALL NECESSARY FERTILIZATION AND WATERING UNTIL SUCH TIME AS PROPER VEGETATION AND ROOT GROWTH IS ESTABLISHED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING AND MAINTAINING BARRICADES AND OTHER TRAFFIC CONTROL DEVICES AS NECESSARY AROUND THE PERIMETER.
7. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SIDEWALKS AND ACCESSIBLE RAMPS ARE IN COMPLIANCE WITH THE ADAAG REGULATIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DESIGN INFORMATION AND ADAAG REGULATIONS PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL SATISFY HERSELF/HIMSELF AS TO EARTHWORK QUANTITIES PRIOR TO BIDDING.

PROPERTY DESCRIPTION

(PER WAYNE CO RECORDS)

93 SEWARD AVENUE
WARD 02, ITEM 001189
THE WEST 16.11 FEET OF LOT 13 AND ALL OF LOT 12 AND THE EAST 7 FEET OF LOT 11
SCHMIDT'S SUBDIVISION L.19, P.66 PLATS, WAYNE CO RECORDS.

109 SEWARD AVENUE
WARD 02, ITEM 001190
THE WEST 51.33 FEET OF LOT 11 AND THE EAST 8.73 FEET OF LOT 10
SCHMIDT'S SUBDIVISION L.19, P.66 PLATS, WAYNE CO RECORDS.

117 SEWARD AVENUE
WARD 02, ITEM 001191
THE WEST 46.29 FEET OF LOT 10
SCHMIDT'S SUBDIVISION L.19, P.66 PLATS, WAYNE CO RECORDS.

DEVELOPMENT DATA

SITE DATA:
ZONING MAP: 7
ZONING DISTRICT: R5-H
LOT AREA: 0.795 ACRES
BUILDING DATA:
SEE CODE SUMMARY SHEET FOR BUILDING DATA

PARKING:
EXISTING # OF PARKING SPACES: 61:
48 OPEN / 13 COVERED
PROPOSED # OF PARKING SPACES: 71
REQUIRED # OF PARKING SPACES: 55
PROPOSED # OF ACCESSIBLE SPACES: 3
LOADING DOCK: EXISTING REAR GARAGE AND EXISTING PAVED SERVICE AREA

SITE PLAN LEGEND

	HANDICAP PARKING SIGN
	BOLLARD
	CATCH BASIN
	GROUND LIGHT - REFER TO ELECTRICAL
	LIGHT POLE
	UTILITY POLE
	FLAG POLE
	FIRE HYDRANT
	BUILDING ENTRANCE
	LANDSCAPING

ARCHITECTURAL SITE PLAN

SCALE: 1/16" = 1'-0"

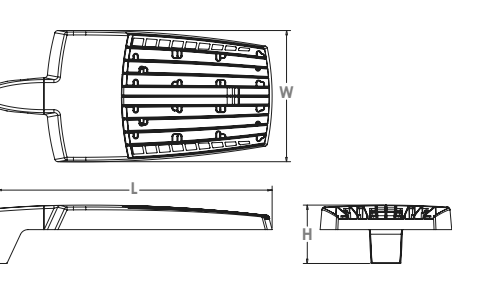
EXTERIOR LIGHTING - BASIS OF DESIGN



RSX3 LED
Area Luminaire



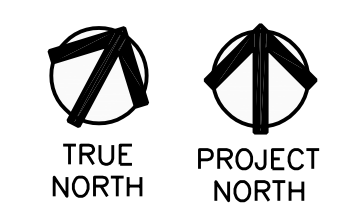
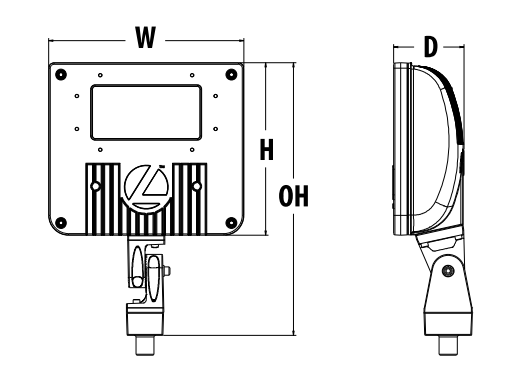
Specifications
EPA (ft²@0°): 0.70 ft² (0.07 m²)
Length: 33.8" (85.9 cm) (SFA mount)
Width: 16.1" (40.9 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm
Weight (max): 48.0 lbs (21.8 kg)



D-Series Size 1
LED Flood Luminaire



Specifications
EPA: 0.6 ft² (0.05 m²)
Depth: 3-1/8" (80 mm)
Width: 8-7/8" (224 mm)
Height: 7-3/4" (198 mm)
Overall Height: 12" (305 mm)
Weight: 7.2 lbs (3.3 kg)



0 2' 4' 8' 16'
SCALE: 1/8" = 1'-0"

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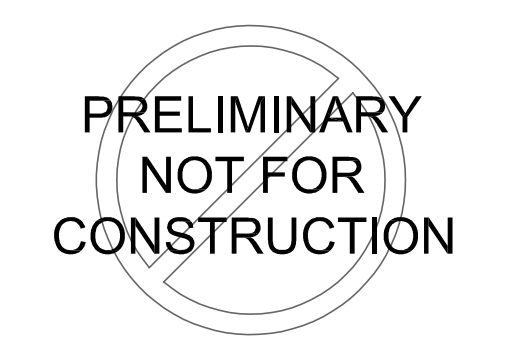
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Consultant

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Project Number 2020051

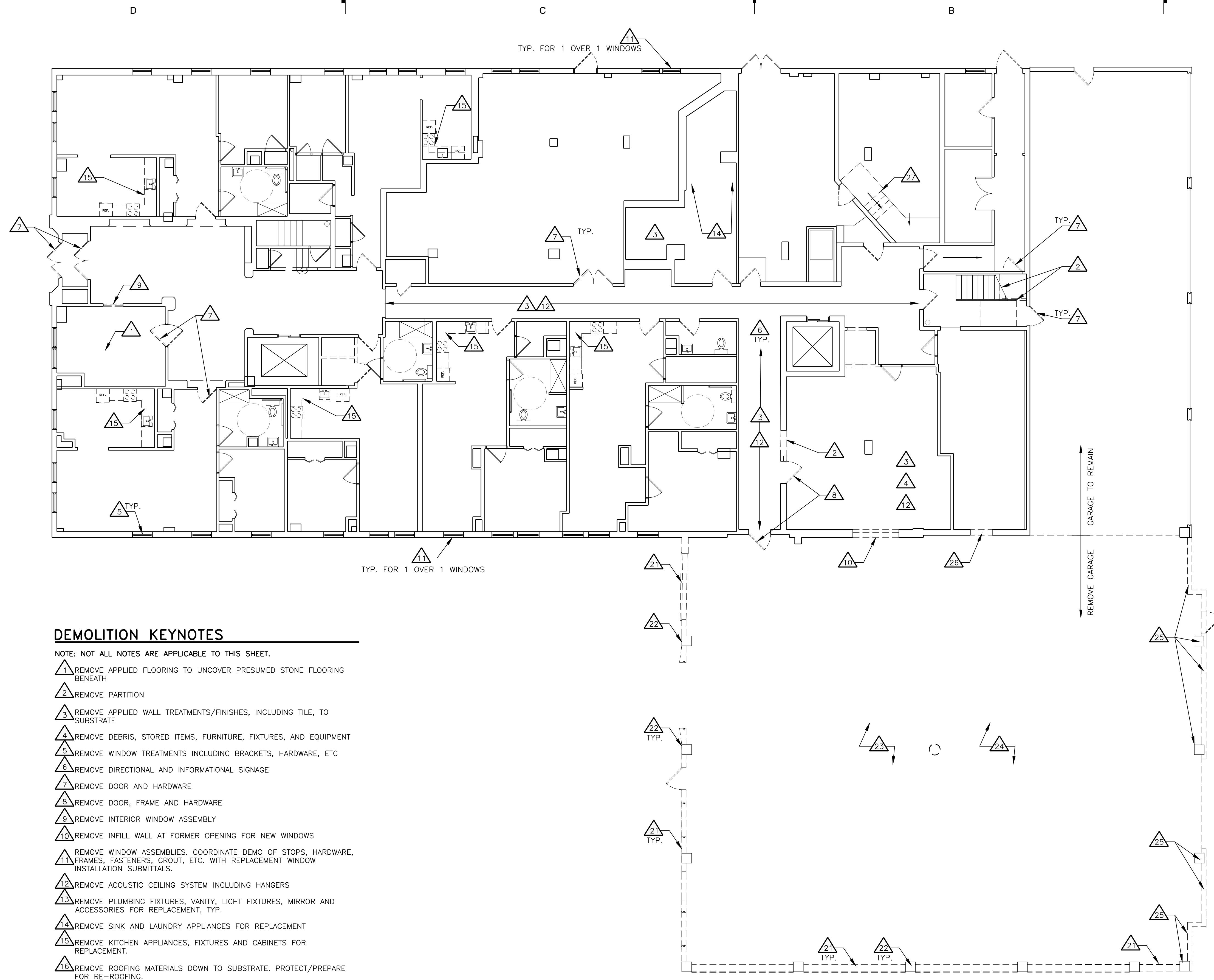
Sheet Title
ARCHITECTURAL SITE PLAN

Sheet Number

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PLOTTED ON 1/14/2021 7:27 PM | PLOTTED BY NATE LINDSEY



1ST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

DEMOLITION KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 REMOVE APPLIED FLOORING TO UNCOVER PRESUMED STONE FLOORING BENEATH
 - 2 REMOVE PARTITION
 - 3 REMOVE APPLIED WALL TREATMENTS/FINISHES, INCLUDING TILE, TO SUBSTRATE
 - 4 REMOVE DEBRIS, STORED ITEMS, FURNITURE, FIXTURES, AND EQUIPMENT
 - 5 REMOVE WINDOW TREATMENTS INCLUDING BRACKETS, HARDWARE, ETC
 - 6 REMOVE DIRECTIONAL AND INFORMATIONAL SIGNAGE
 - 7 REMOVE DOOR AND HARDWARE
 - 8 REMOVE DOOR, FRAME AND HARDWARE
 - 9 REMOVE INTERIOR WINDOW ASSEMBLY
 - 10 REMOVE INFILL WALL AT FORMER OPENING FOR NEW WINDOWS
 - 11 REMOVE WINDOW ASSEMBLIES. COORDINATE DEMO OF STOPS, HARDWARE, FRAMES, FASTENERS, GROUT, ETC. WITH REPLACEMENT WINDOW INSTALLATION SUBMITTALS.
 - 12 REMOVE ACOUSTIC CEILING SYSTEM INCLUDING HANGERS
 - 13 REMOVE PLUMBING FIXTURES, VANITY, LIGHT FIXTURES, MIRROR AND ACCESSORIES FOR REPLACEMENT, TYP.
 - 14 REMOVE SINK AND LAUNDRY APPLIANCES FOR REPLACEMENT
 - 15 REMOVE KITCHEN APPLIANCES, FIXTURES AND CABINETS FOR REPLACEMENT.
 - 16 REMOVE ROOFING MATERIALS DOWN TO SUBSTRATE. PROTECT/PREPARE FOR RE-ROOFING.
 - 17 REMOVE ROOF MECHANICAL EQUIPMENT FOR REPLACEMENT
 - 18 REMOVE LIGHTING FIXTURES FOR REPLACEMENT
 - 19 REMOVE STAIRS FOR REPLACEMENT
 - 20 REMOVE FENCE AND GATE FOR REPLACEMENT
 - 21 REMOVE WALL
 - 22 REMOVE COLUMN
 - 23 REMOVE STRUCTURE AND ROOF
 - 24 REMOVE SLAB, CURBS, FLOOR DRAIN AND REPAVE GARAGE AREA ALONG WITH PARKING LOT PER CIVIL.
 - 25 REMOVE WALL AND COLUMNS DOWN TO 48" ABOVE GRADE.
 - 26 PROVIDE LINTEL AND SAW CUT NEW OPENING FOR EXIT DOOR.
 - 27 REMOVE WOOD STAIR AND LANDING

GENERAL NOTES

- A. CONTRACTOR TO CONDUCT WALK-THROUGH OF ENTIRE BUILDING TO GAIN UNDERSTANDING OF COMPLETE SCOPE OF DEMOLITION. PREMISES WILL BE ACCEPTED IN AN "AS-IS" CONDITION AND "WHERE IS."
- B. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- C. PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- D. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING.
- E. CONTRACTOR TO PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS NECESSARY TO PROVIDE FOR ADEQUATE FIRE PROTECTION AND FIRE FIGHTING.
- F. CONTRACTOR TO MAINTAIN REQUIRED MEANS OF EGRESS DURING DEMOLITION AND CONSTRUCTION.
- G. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
- H. SAW CUT THROUGH EXISTING MATERIALS TO PROVIDE A SMOOTH, STRAIGHT EDGE (CLEAN EDGE) FROM WHICH TO REMOVE EXISTING MATERIALS.
- I. LIMIT THE SPREAD OF DUST, DIRT AND DEBRIS. BROOM CLEAN ALL WORK AREAS ON A DAILY BASIS.
- J. CONTRACTOR TO LEGALLY DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
- K. UNLESS NOTED OTHERWISE, FIREPROOFING TO REMAIN.
- L. UNLESS NOTED OTHERWISE, REMOVE ALL INTERIOR PARTITIONS WITH THE EXCEPTION OF STAIR SHAFTS AND ELEVATOR SHAFTS.

ITEMS TO BE SALVAGED

SALVAGED ITEMS SHALL BE REMOVED AND RELOCATED TO AREA IN BUILDING AS DIRECTED BY THE OWNER UNLESS NOTED OTHERWISE. AFTER RELOCATION, CONTRACTOR SHALL PROVIDE PHOTOGRAPHIC EVIDENCE OF PLACEMENT ALONG WITH AN INVENTORY OF ITEMS. ITEMS SHALL BE LABELED AND PROTECTED. CONTRACTOR SHALL CONSULT WITH OWNER PRIOR TO REMOVAL OF ANY REMAINING ARTIFACTS.

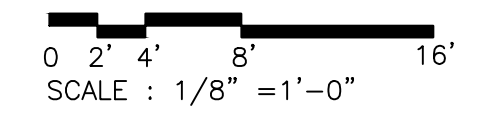
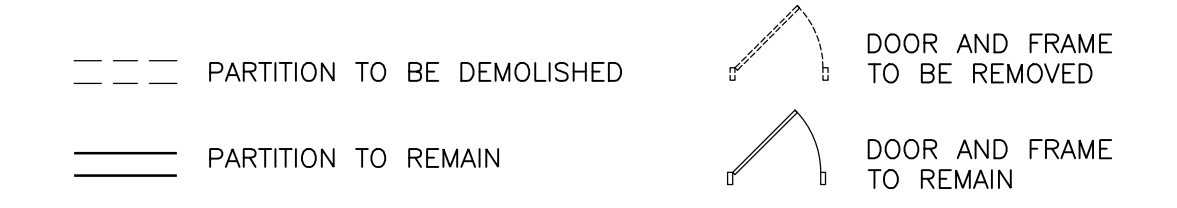
- A. EXTERIOR SIGNAGE
- B. WALL-MOUNTED FIRE EXTINGUISHERS
- C. FIRE EXTINGUISHER CABINETS
- D. MARBLE THRESHOLDS

ITEMS TO REMAIN

ANY MATERIALS THAT ARE UNCOVERED WHICH APPEAR ORIGINAL OR SIGNIFICANT ARE TO REMAIN FOR EVALUATION. CONTACT THE ARCHITECT FOR EVALUATION BEFORE ANY WORK CONTINUES. PROTECT FROM DAMAGE THROUGHOUT CONSTRUCTION OR REMOVE AND PROTECT FOR RE-INSTALLATION. UNLESS NOTED OTHERWISE IN THE DRAWINGS THE FOLLOWING ITEMS SHALL REMAIN.

- A. ROOF SUMPS, CONDUCTORS, AND ASSOCIATED PIPING AND HANGERS - SYSTEM SHALL REMAIN OPERATIONAL
- B. PLATFORMS AND STRUCTURAL SUPPORT FOR ROOFTOP MECHANICAL EQUIPMENT.
- C. FIREPROOFING ON STRUCTURAL MEMBERS
- D. WALL-MOUNTED FIRE EXTINGUISHERS
- E. FIRE EXTINGUISHER CABINETS
- F. MARBLE FLOORING
- G. WOOD WALL BASE
- H. STONE WALL BASE
- I. CEILING PLASTER CROWN MOLDINGS
- J. DOORS, FRAMES WITHIN APARTMENTS EXCEPT WHERE DAMAGED
- K. APARTMENT ENTRANCE DOOR FRAMES EXCEPT WHERE DAMAGED
- L. ELEVATOR DOORS
- M. ELEVATOR FRAMES
- N. STAIR SYSTEMS INCLUDING TREADS, STRINGER, LANDING, GUARDRAIL AND HANDRAILS
- O. GUARDRAILS AND HANDRAILS
- P. COLUMNS: FIREPROOFING, PLASTER FINISH, PLASTER OVERHEAD BRACKETS AND WOOD BASE
- Q. PERIMETER WALLS - PLASTER FINISH
- R. CEILING MEDALLIONS

DEMOLITION LEGEND



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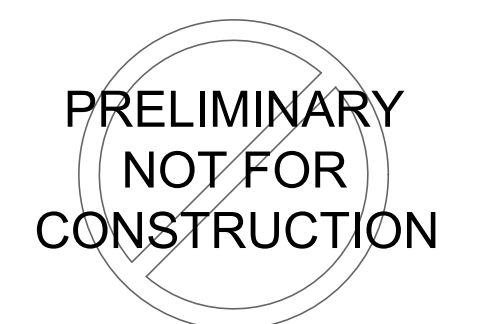
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Project Number 2020051

Sheet Title
FIRST FLOOR DEMOLITION PLAN

Sheet Number

AD101

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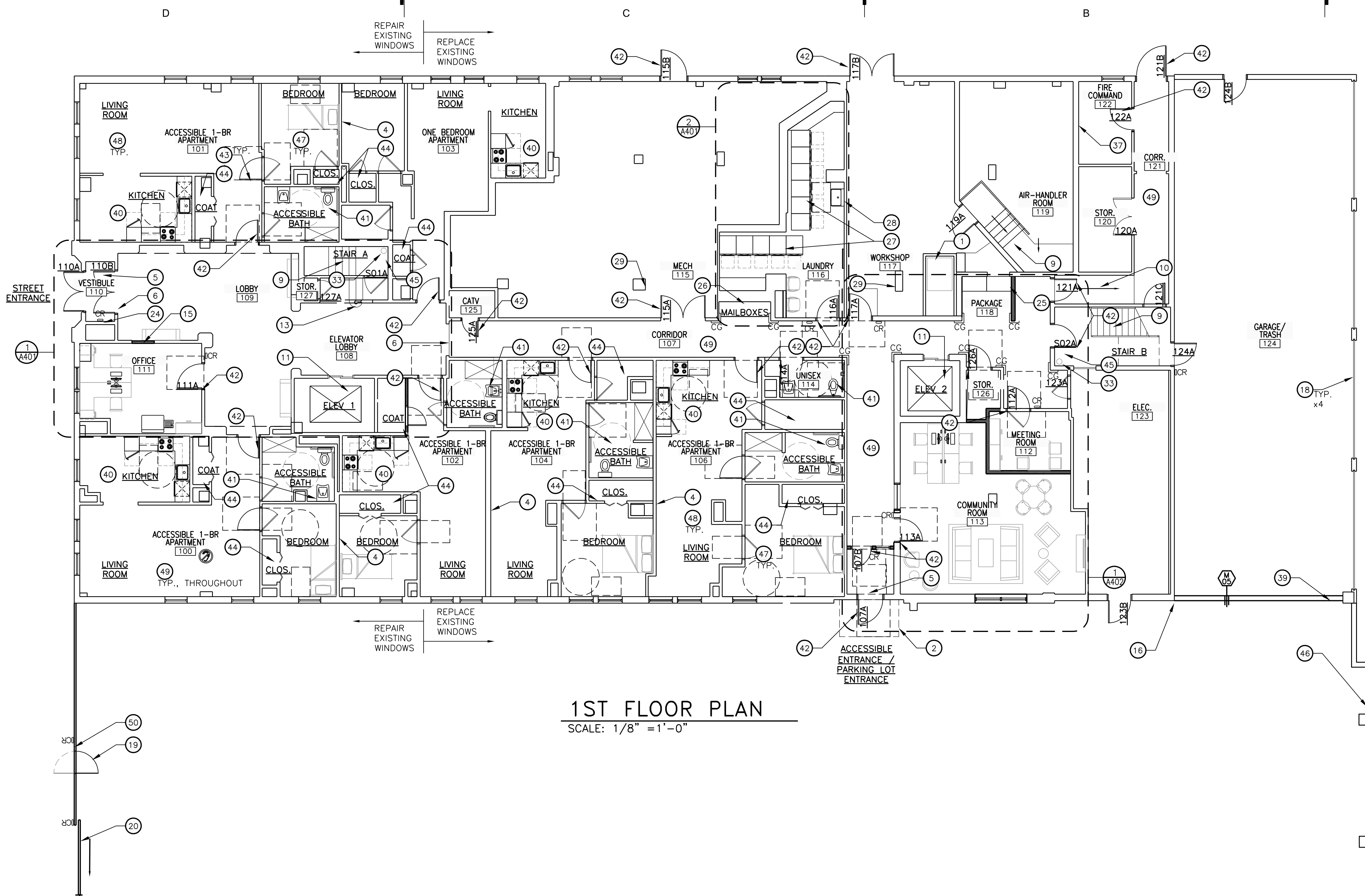
Sheet Title
FIRST FLOOR PLAN

Sheet Number

A101

GENERAL NOTES

- FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING FOR PARTITION OR FLOOR. SEE SPECIFICATIONS.
- FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE AND SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (U.L. SYSTEM). SEE A501 FOR ADDITIONAL REQUIREMENTS.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS NOTED OTHERWISE. MAINTAIN DIMENSIONS MARKED 'CLEAR'. ALLOW FOR THICKNESS OF FINISHES.
- COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED. COORDINATE LOCATIONS AND EXTENTS OF BLOCKING WITH PRODUCT MANUFACTURERS AND SHOP DRAWINGS.
- LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
- ALL INTERIOR GLAZING INCL. DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING. UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE AND INSTALL CORNER GUARDS (CG) AS IDENTIFIED ON PLANS. CG SHALL BE FULL HEIGHT FROM TOP OF BASE TO CEILING. TYP. EXCEPT AT WWC - INSTALL FROM TOP OF WWC TO CLG.
- RECESSED ITEMS (GREATER THAN 16 SQ. IN.) IN RATED AND/OR SMOKE WALLS, INCLUDING ELEC PANELS, ELEC DUCTS, MED GAS VALVE BOXES, FIRE EXT CABINETS, ETC. SHALL BE BACKED WITH 5/8" TYPE 'X' GYPSUM BOARD TO MAINTAIN RATING AT FIRE WALL.
- SEMI-RECESSED FIRE EXTINGUISHER (FE) ARE SHOWN ON PLAN - REFER TO SHEET A501 FOR TYPICAL DETAILS. FINAL LOCATION OF FIRE EXTINGUISHERS SHALL BE REVIEWED IN FIELD WITH BUILDING OFFICIAL PRIOR TO INSTALLATION ROUGH-IN.
- COORDINATE TELECOMMUNICATIONS, A/V, DATA AND SECURITY SYSTEMS INSTALLATIONS. PROVIDE AND INSTALL TELEPHONE AND ELECTRICAL PANEL BOARDS. PANEL BOARDS SHALL BE 4" X 8" X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.
- COORDINATE WITH ROOM FINISH AND MATERIAL SCHEDULE.
- COORDINATE WITH ENLARGED ROOM PLAN FOR ADDITIONAL REQUIREMENTS.
- SEE PARTITION NOTES ON SHEET A501 FOR ADDITIONAL REQUIREMENTS. WORK IN EXISTING STRUCTURES
- WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASEMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASEMENT.
- WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
- PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
- WHERE EXISTING FIRE-RESISTANCE RATED PARTITIONS ARE DAMAGED OR HAVE EXISTING OPENINGS, PARTITION TO BE PATCHED AND REPAIRED WITH MATERIALS MATCHING THE EXISTING ASSEMBLY TO MEET THE REQUIRED FIRE RESISTANCE RATING. CONTRACTOR TO REVIEW THE CONDITION OF ALL PARTITIONS IN THE FIELD.
- ALTERNATE PARTITION ASSEMBLIES THAT VARY FROM THE ASSEMBLIES PROVIDED IN THE PARTITION SCHEDULE TO BE SUBMITTED BY THE CONTRACTOR TO THE ARCHITECT FOR CONSIDERATION. ALTERNATE ASSEMBLIES MAY REQUIRE REVIEW BY THE LOCAL JURISDICTION. ANY REVIEW SHALL NOT CONSTITUTE A CLAIM FOR DELAY.
- WHERE FINISHES ARE SPECIFIED ON THE FINISH PLAN REMOVE ALL EXISTING FINISHES. PATCH AND REPAIR WALLS AND FLOOR TO ENSURE EVEN SURFACE. PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTIONS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- PROVIDE NEW STRUCTURAL LINTELS AT ALL MASONRY WALLS WHERE PREVIOUS OPENING DOES NOT HAVE A LINTEL AND AT NEW OPENINGS. LINTEL SHALL EXTEND MINIMUM 8" EITHER SIDE OF OPENING, UNLESS NOTED OTHERWISE. SEE STRUCTURAL.
- WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- PROVIDE TEMPORARY DUSTPROOF PARTITIONS AS REQUIRED TO PROTECT ALL EXISTING AREAS FROM DAMAGE.



1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

CONSTR. KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

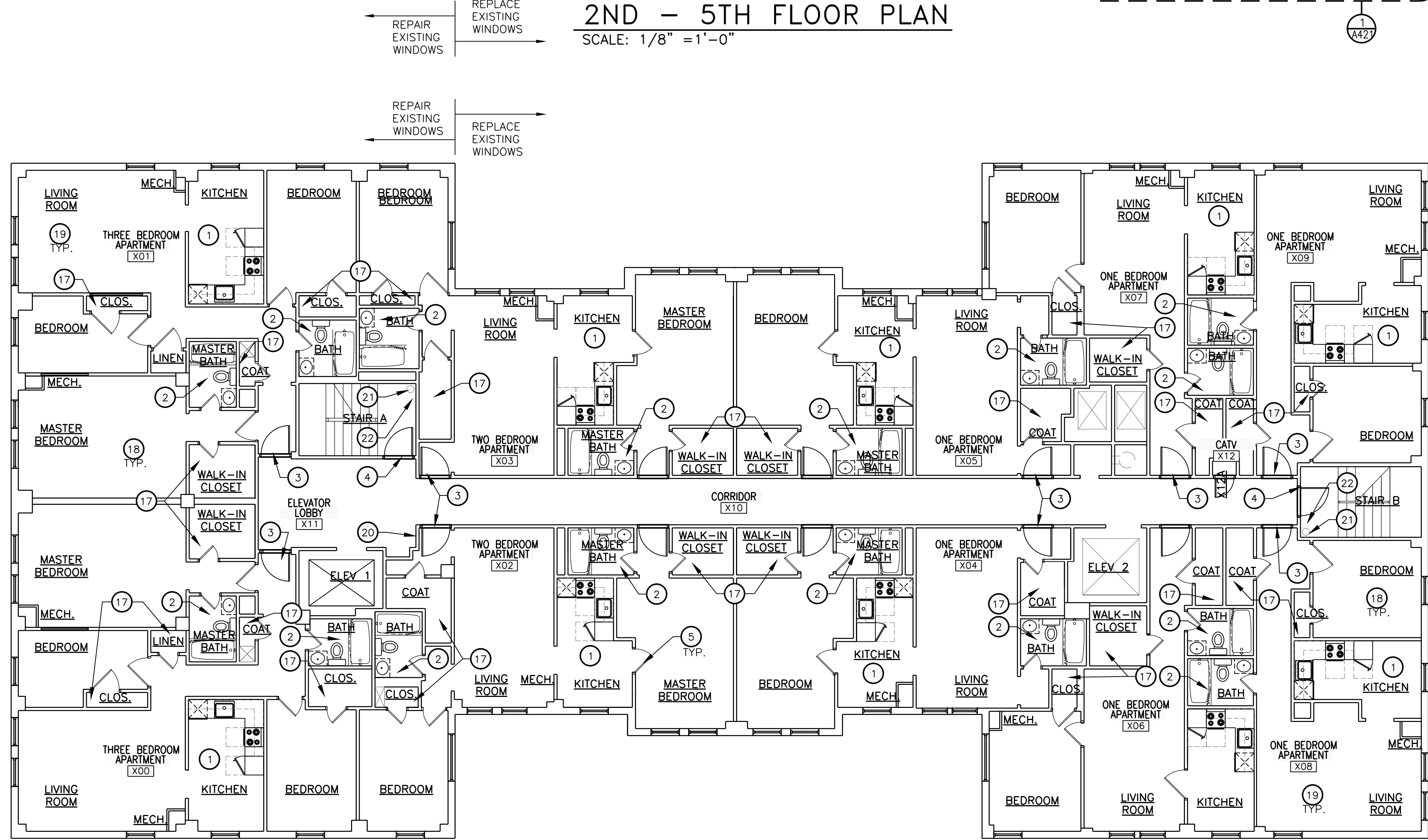
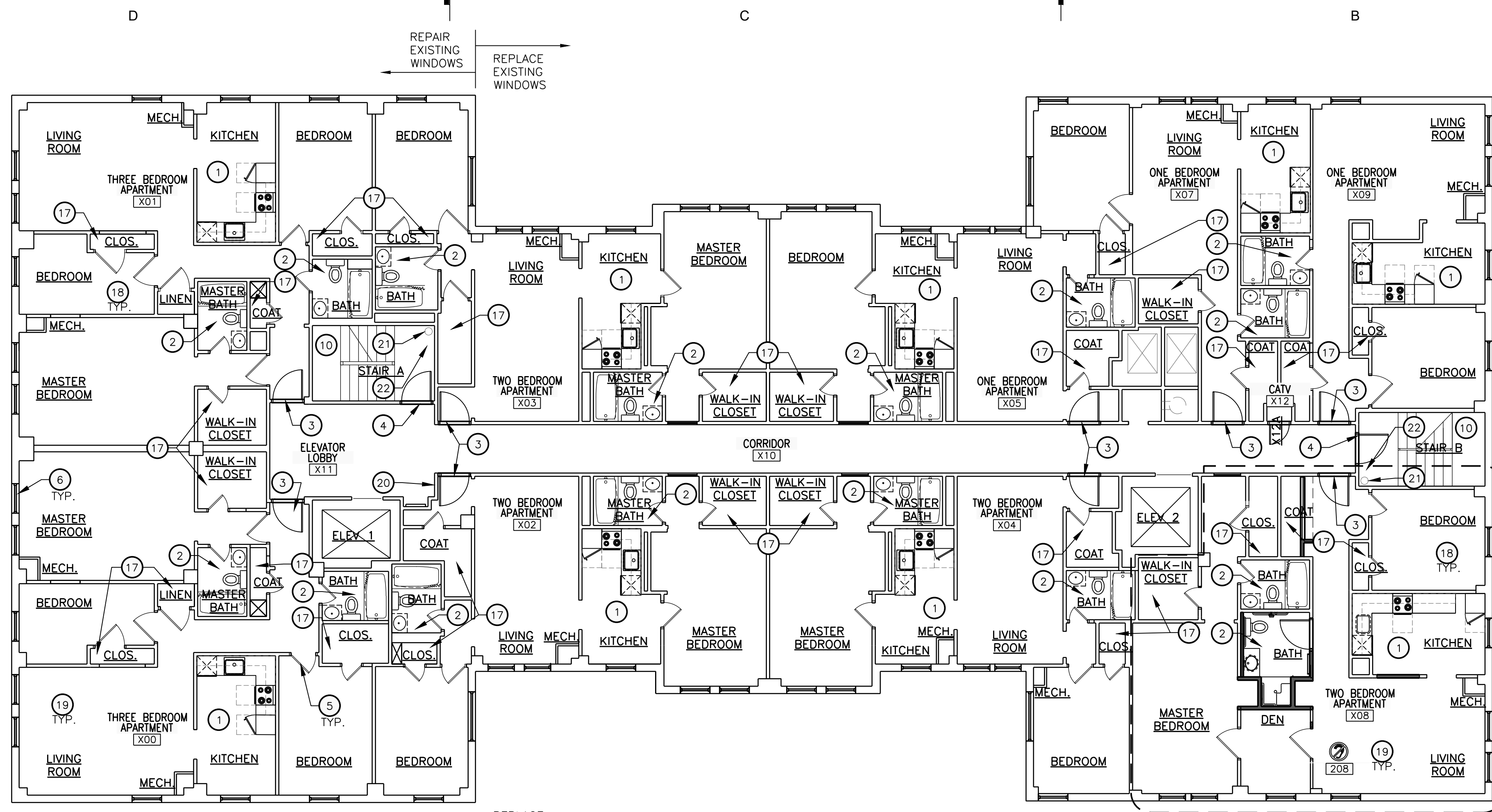
- OUTLINE OF SHAFT ABOVE
- OUTLINE OF CANOPY ABOVE
- PROPERTY LINE
- DEMISING WALL
- WALK-OFF MAT -
- FLOORING TRANSITION
- THRESHOLD
- EXISTING STEPS TO REMAIN
- EXISTING STAIR TO REMAIN
- EXISTING RAMP TO REMAIN
- EXISTING ELEVATOR - REFER TO SPECS FOR NEW FINISHES AND REPAIRS
- EXISTING GUARDRAIL -
- DECORATIVE METAL RAILING -
- PARTITION
- INFILL OPENING

- ALIGN WITH FACE OF EXISTING
- ACCESS PANEL
- REPLACE OVERHEAD SECTIONAL DOOR -
- NEW PEDESTRIAN GATE, SEE SITE PLAN
- REPLACE VEHICLE GATE, SEE SITE PLAN
- MULLION
- SHELVING -
- ROD AND SHELF -
- DIRECTORY/INTERCOM -
- PARCEL STORAGE LOCKERS - SEE ENLARGED PLAN
- REPLACE MAILBOXES
- LAUNDRY EQUIPMENT - SEE ENLARGED PLAN
- REPLACE UTILITY SINK - SEE PLUMBING
- FIRE EXTINGUISHER
- FIRE EXTINGUISHER CABINET -
- SEMI-RECESSED FIRE EXTINGUISHER

- CABINET -
- EXISTING STANDPIPE
- TELEPHONE D-MARK
- SECURITY EQUIPMENT
- SERVER RACK
- FIRE CONTROL PANEL
- CORNER GUARD -
- REINFORCED CMU BLOCK WALL, PAINTED
- REPLACE KITCHEN CABINETS, APPLIANCES AND FIXTURES, TYP.
- REPLACE PLUMBING FIXTURES, VANITY AND ACCESSORIES, TYP.
- REPLACE DOOR AND HARDWARE, TYP.
- REPLACE HARDWARE, TYP.
- ADD NEW CLOSET SYSTEMS TO ALL APARTMENT CLOSETS, TYP.
- PROVIDE NEW CANE RAIL AT FIRE RISERS

- EXISTING WALL AND COLUMNS ALONG ALLEY TO BE CUT DOWN TO 48" ABOVE GRADE. PROVIDE CONC. COPING.
- PROVIDE SMOKE DETECTOR IN EACH BEDROOM
- PROVIDE CARBON MONOXIDE DETECTOR IN EACH APARTMENT
- REPAIR PARTITIONS AS NEEDED
- DOOR BELL AT PEDESTRIAN GATE

PLOTTED ON 1/14/2021 7:27 PM | PLOTTED BY NATE LINDSEY



CONSTR. KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- 1 REPLACE KITCHEN CABINETS, APPLIANCES, AND FIXTURES, TYP.
- 2 REPLACE BATHROOM FIXTURES, VANITIES, AND ACCESSORIES, TYP.
- 3 REPLACE ENTRANCE DOOR, TYP.
- 4 REPLACE DOOR AND HARDWARE
- 5 REPLACE DOOR HARDWARE, TYP.
- 6 REPLACE WINDOW TREATMENTS, TYP.
- 7 FLOORING TRANSITION
- 8 THRESHOLD
- 9 STAIR
- 10 EXISTING STAIR TO REMAIN
- 11 EXISTING ELEVATOR
- 12 SHAFT
- 13 SHAFT ENCLOSURE
- 14 ACCESS PANEL
- 15 SHELVING -
- 16 ROD AND SHELF -
- 17 ADD NEW CLOSET SYSTEMS TO ALL APARTMENT CLOSETS, TYP.
- 18 PROVIDE SMOKE DETECTOR IN EACH BEDROOM
- 19 PROVIDE A CARBON MONOXIDE DETECTOR IN EACH APARTMENT
- 20 EXISTING FIRE EXTINGUISHER
- 21 EXISTING STANDPIPE
- 22 PROVIDE NEW CANE RAIL AT FIRE RISERS

GENERAL NOTES

- A. FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING FOR PARTITION OR FLOOR. SEE SPECIFICATIONS.
- B. FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE AND SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (U.L. SYSTEM). SEE A501 FOR ADDITIONAL REQUIREMENTS.
- C. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS NOTED OTHERWISE. MAINTAIN DIMENSIONS MARKED 'CLEAR'. ALLOW FOR THICKNESS OF FINISHES.
- D. COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- E. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED. COORDINATE LOCATIONS AND EXTENTS OF BLOCKING WITH PRODUCT MANUFACTURERS AND SHOP DRAWINGS.
- F. LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
- G. ALL INTERIOR GLAZING INCL. DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING. UNLESS NOTED OTHERWISE.
- H. CONTRACTOR SHALL PROVIDE AND INSTALL CORNER GUARDS (CG) AS IDENTIFIED ON PLANS. CG SHALL BE FULL HEIGHT FROM TOP OF BASE TO CEILING. TYP. EXCEPT AT WWC - INSTALL FROM TOP OF WWC TO CLG.
- I. RECESSED ITEMS (GREATER THAN 16 SQ. IN.) IN RATED AND/OR SMOKE WALLS, INCLUDING ELEC PANELS, ELEC DUCTS, MED GAS VALVE BOXES, FIRE EXT CABINETS, ETC. SHALL BE BACKED WITH 5/8" TYPE 'X' GYPSUM BOARD TO MAINTAIN RATING AT FIRE WALL.
- J. SEMI-RECESSED FIRE EXTINGUISHER (FE) ARE SHOWN ON PLAN - REFER TO SHEET A501 FOR TYPICAL DETAILS. FINAL LOCATION OF FIRE EXTINGUISHERS SHALL BE REVIEWED IN FIELD WITH BUILDING OFFICIAL PRIOR TO INSTALLATION ROUGH-IN.
- K. COORDINATE TELECOMMUNICATIONS, A/V, DATA AND SECURITY SYSTEMS INSTALLATIONS. PROVIDE AND INSTALL TELEPHONE AND ELECTRICAL PANEL BOARDS. PANEL BOARDS SHALL BE 4' X 8' X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.
- L. COORDINATE WITH ROOM FINISH AND MATERIAL SCHEDULE.
- M. COORDINATE WITH ENLARGED ROOM PLAN FOR ADDITIONAL REQUIREMENTS.
- N. SEE PARTITION NOTES ON SHEET A501 FOR ADDITIONAL REQUIREMENTS. WORK IN EXISTING STRUCTURES
- O. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASUREMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASUREMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASUREMENT.
- P. WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
- Q. PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
- R. WHERE EXISTING FIRE-RESISTANCE RATED PARTITIONS ARE DAMAGED OR HAVE EXISTING OPENINGS, PARTITION TO BE PATCHED AND REPAIRED WITH MATERIALS MATCHING THE EXISTING ASSEMBLY TO MEET THE REQUIRED FIRE RESISTANCE RATING. CONTRACTOR TO REVIEW THE CONDITION OF ALL PARTITIONS IN THE FIELD.
- S. ALTERNATE PARTITION ASSEMBLIES THAT VARY FROM THE ASSEMBLIES PROVIDED IN THE PARTITION SCHEDULE TO BE SUBMITTED BY THE CONTRACTOR TO THE ARCHITECT FOR CONSIDERATION. ALTERNATE ASSEMBLIES MAY REQUIRE REVIEW BY THE LOCAL JURISDICTION. ANY REVIEW SHALL NOT CONSTITUTE A CLAIM FOR DELAY.
- T. WHERE FINISHES ARE SPECIFIED ON THE FINISH PLAN REMOVE ALL EXISTING FINISHES. PATCH AND REPAIR WALLS AND FLOOR TO ENSURE EVEN SURFACE. PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTIONS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- U. PROVIDE NEW STRUCTURAL LINTELS AT ALL MASONRY WALLS WHERE PREVIOUS OPENING DOES NOT HAVE A LINTEL AND AT NEW OPENINGS. LINTEL SHALL EXTEND MINIMUM 8" EITHER SIDE OF OPENING, UNLESS NOTED OTHERWISE. SEE STRUCTURAL.
- V. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- W. PROVIDE TEMPORARY DUSTPROOF PARTITIONS AS REQUIRED TO PROTECT ALL EXISTING AREAS FROM DAMAGE.

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Date

Project Number 2020051

Sheet Title
**2ND-5TH FLOOR PLAN
& 6TH-8TH FLOOR
PLAN**

Sheet Number



0 2' 4' 8' 16'
SCALE: 1/8" = 1'-0"

A102

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Project Number 2020051

Sheet Title
PENTHOUSE PLAN AND ROOF PLAN

Sheet Number

A103

ROOFING GENERAL NOTES

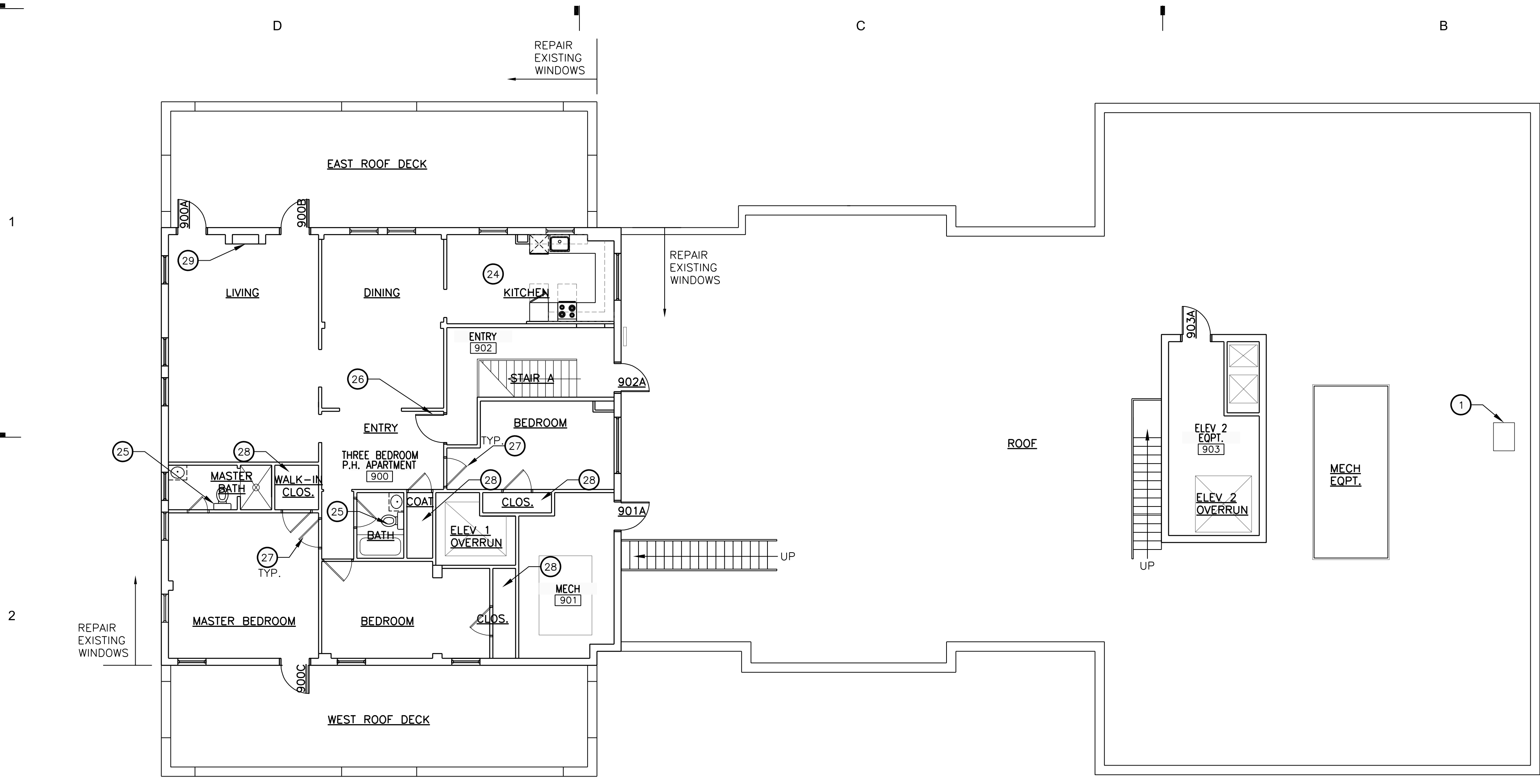
- A. CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL, MEP, AND STRUCTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.
- B. DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM AND COORDINATE.
- C. REFER TO NOMENCLATURE FOR TYPE OF ROOF SYSTEM. AREAS MARKED WITH DESIGNATED LETTER, SEE ROOF PLAN AND NOMENCLATURE.
- D. MINIMUM SLOPE ALLOWABLE ON THE ROOF SHALL BE NO LESS THAN 1/4" PER FOOT. CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS OVER 20" IN WIDTH.
- E. CONTRACTOR TO ENSURE RUNOFF PITCHES AWAY FROM ROOF EXPANSION JOINTS AND ROOF AREA SEAMS. ELEVATE ROOF EXPANSION JOINTS A MINIMUM OF 8" ABOVE THE ROOF MEMBRANE.
- F. ALL CRICKET AND TAPERED INSULATION SHALL BE INSTALLED WITH A FINISH 1/4" PER FOOT MIN. SLOPE. CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS.
- G. PROVIDE 22 GAUGE STAINLESS STEEL, 2D FINISH, TREATED WOOD CURB AND BOX HOOD AT ALL GAS LINE AND WATER LINE ROOF PENETRATIONS. SEE A321 FOR TYPICAL ROOF DETAILS.
- H. PROVIDE WALKWAY PROTECTION PADS AROUND ALL ROOF HATCHES, MECHANICAL UNITS, AT ROOF TOP ACCESS DOORS, AND LADDERS (TOP & BOTTOM).
- I. CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE.
- J. OVERFLOW DRAINS SHALL BE SET 2" HIGHER THAN MAIN ROOF DRAIN ELEVATIONS UNLESS NOTED OTHERWISE. OVERFLOW DRAINS SHALL NOT HAVE STRAINERS UNLESS REQUIRED BY LOCAL CODES.
- K. AVOID THE USE OF PITCH PANS ON LOW-PITCH ROOFS EXCEPT WHERE NO OTHER SOLUTION CAN BE USED.
- L. SECURE NAILERS AND CANT STRIPS TO ROOF DECK NOT TO PARAPETS OR ADJACENT WALLS, TYPICAL.
- M. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT CURBS AND STANDS NECESSARY FOR ROOFTOP EQUIPMENT.

REROOFING GENERAL NOTES

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING, OCCUPANTS, AND WORKERS THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS AND COMPLY WITH ALL APPLICABLE REGULATIONS INCLUDING OSHA SAFETY REGULATIONS FOR ROOF REPLACEMENT AND DEMOLITION OPERATIONS.
- B. THE CONDITION OF THE EXISTING ROOF ASSEMBLY INCLUDING ROOF COVERING, SUBSTRATE AND DECKING IS UNKNOWN AND MAY BE DAMAGED OR DETERIORATED.
- C. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND MAKE MINOR ADJUSTMENTS AS NECESSARY. NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE OUTCOME OF THE WORK.
- D. THE CONTRACTOR SHALL REMOVE AND REINSTALL ALL EXISTING ROOF OR WALL MOUNTED EQUIPMENT AND ACCESSORIES TO REMAIN IN AREAS OF ROOF REPLACEMENT AS NECESSARY TO COMPLETE THE WORK. ALL CURBED ROOF PENETRATIONS SHALL EXTEND A MIN. OF 12" ABOVE THE FINISHED ROOF SURFACE. PROVIDE OR MODIFY EXISTING CONSTRUCTION WITH NEW TREATED WOOD BLOCKING AS NECESSARY. FIELD VERIFY SIZE, QUANTITY, AND LOCATION OF ALL ROOF PENETRATIONS, EQUIPMENT AND ACCESSORIES. MODIFY/EXTEND EXISTING CONTROL WIRING, CONDUIT, DUCTWORK OR PIPING AS NECESSARY. NOTIFY THE OWNER AND COORDINATE ANY INTERRUPTION IN EQUIPMENT SERVICE PRIOR TO REMOVAL.
- E. PROTECT EXISTING UTILITIES DURING CONSTRUCTION. FLASH ALL UTILITY, CONDUIT, AND PIPING PENETRATIONS IN ACCORDANCE WITH THE ROOF MANUFACTURER'S PUBLISHED INSTRUCTIONS. FIELD VERIFY SIZE, QUANTITY AND LOCATION.
- F. ALL EXISTING FINISHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL IN MATERIAL AND APPEARANCE TO THAT WHICH EXISTED BEFORE CONSTRUCTION BEGAN.
- G. CONTRACTOR TO MAINTAIN DRAINAGE FLOWS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK.
- H. CONTRACTOR TO REMOVE EXISTING ROOFING MATERIALS AT PARAPET WALL AND INSPECT CONDITION OF EXISTING PARAPET WALL. CONTRACTOR SHALL REPORT TO ARCHITECT ANY UNSTABLE CONDITIONS REQUIRING REPAIR PRIOR TO PROCEEDING WITH WORK.
- I. CONTRACTOR SHALL PROVIDE PLYWOOD OR COVER BOARD BEHIND MEMBRANE ROOFING AT ALL EXISTING WALL SURFACES TOO ROUGH FOR PROPER INSTALLATION.

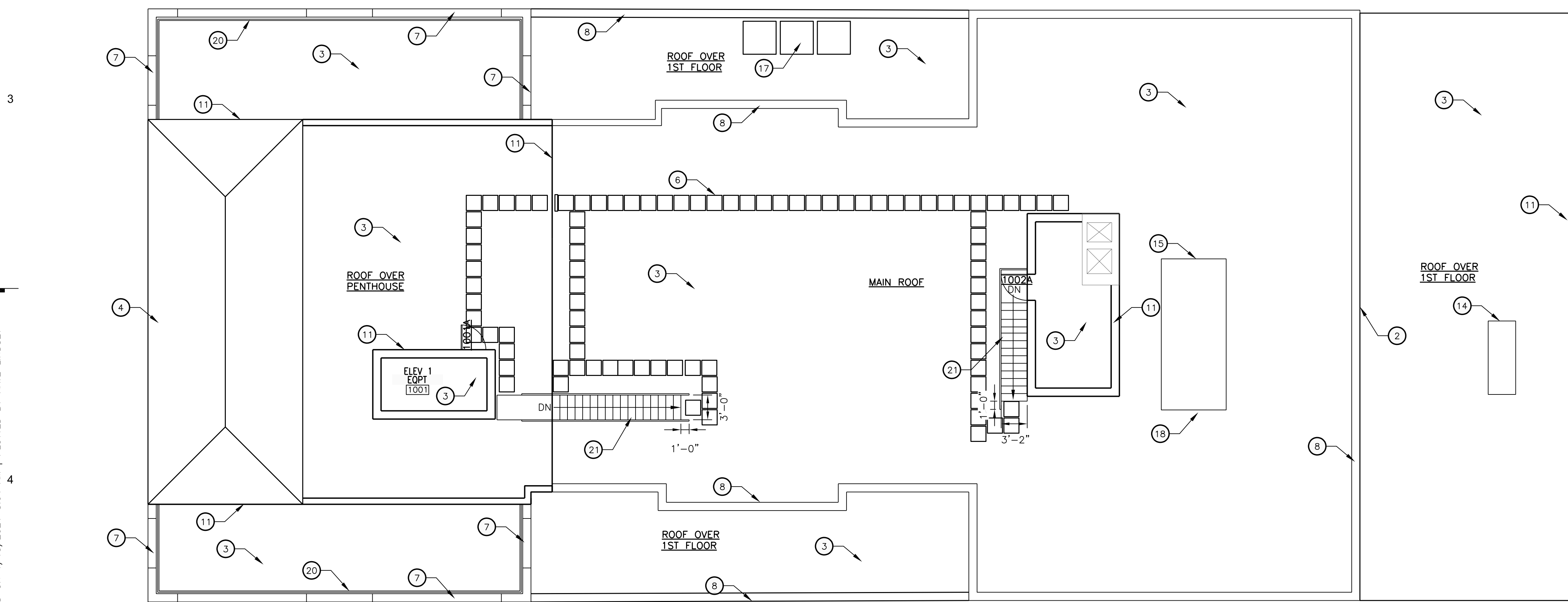
CONSTRUCT. KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 EXISTING ROOF HATCH -
 - 2 ROOF ACCESS THRU WINDOW (BELOW)
 - 3 REPLACE ROOFING - EPDM
 - 4 EXISTING STANDING SEAM TO REMAIN
 - 5 TAPERED ROOF INSULATION
 - 6 WALK-WAY PAD
 - 7 EXISTING STONE COPING TO REMAIN
 - 8 EXISTING WELDED COPPER COPING
 - 9 REPLACE METAL COPING, MATCH EXIST'G
 - 10 EXISTING SCUPPER
 - 11 GUTTER AND DOWNSPOUT - REPAIR EXISTING
 - 12 EXISTING ROOF DRAIN
 - 13 TRASH CHUTE VENT -
 - 14 GENERATOR - REPLACE EXISTING
 - 15 ROOFTOP EQPT. - REPLACE - SEE MECH.
 - 16 REPLACE EXHAUST FAN - SEE MECH.
 - 17 EXISTING VENT
 - 18 EXISTING GRILLAGE
 - 19 CURB
 - 20 EXISTING GUARDRAIL
 - 21 MECH PH ACCESS STAIRS - REPLACE WOOD STAIRS WITH NEW STEEL STAIRS
 - 22 FAÇADE LIGHTING - SEE ELECTRICAL
 - 23 WEATHER PROOF ELECTRICAL OUTLET - SEE ELECTRICAL
 - 24 REPLACE KITCHEN CABINETS, APPLIANCES, AND FIXTURES, TYP.
 - 25 REPLACE PLUMBING FIXTURES, VANITY AND ACCESSORIES, TYP.
 - 26 REPLACE DOOR AND HARDWARE, TYP.
 - 27 REPLACE HARDWARE, TYP.
 - 28 ADD NEW CLOSET SYSTEMS TO ALL APARTMENT CLOSETS, TYP.
 - 29 EXISTING FIREPLACE - REPAIR, CLEAN AND INSPECT



PENTHOUSE PLAN

SCALE: 1/8" = 1'-0"



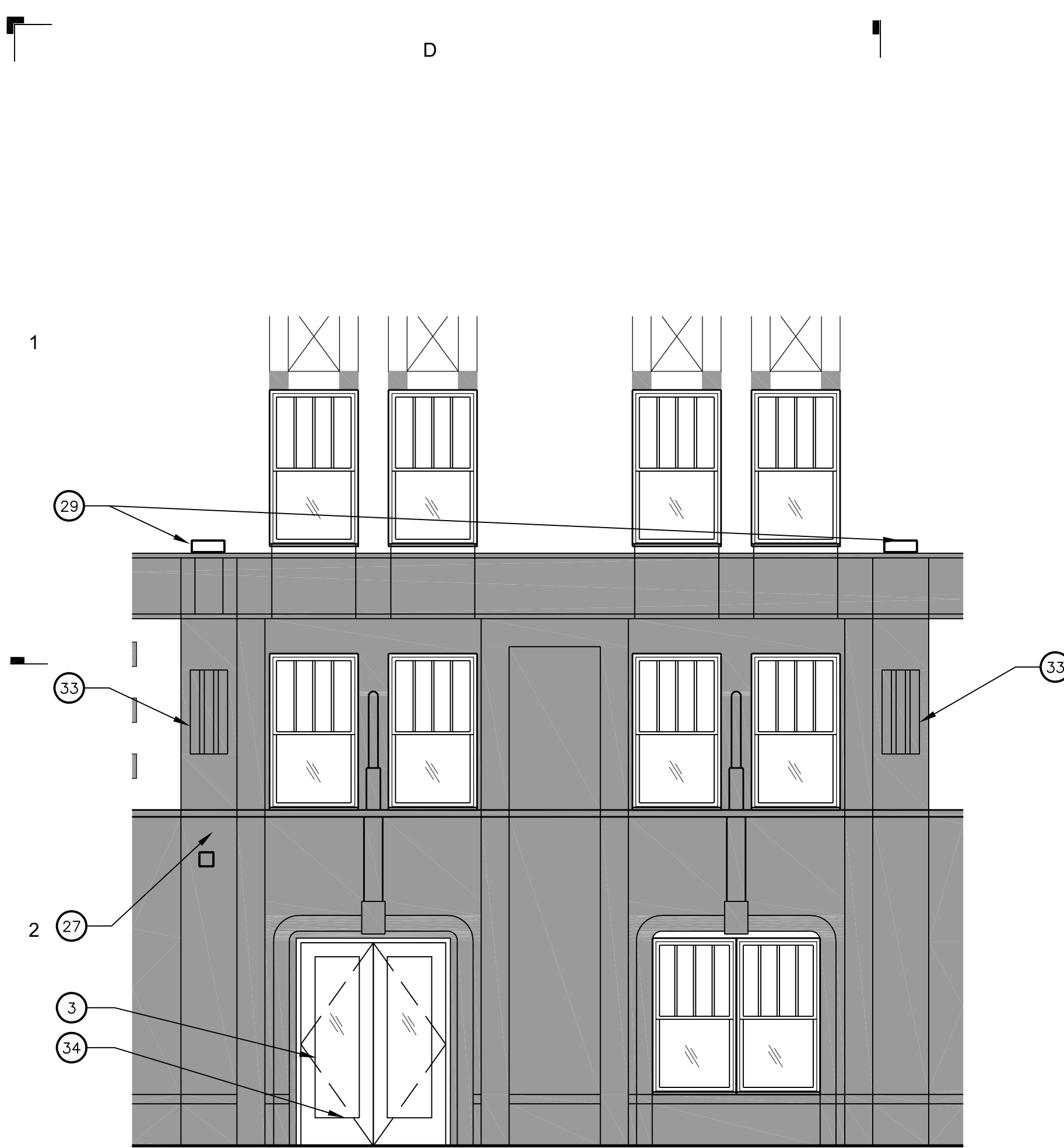
ROOF PLAN

SCALE: 1/8" = 1'-0"

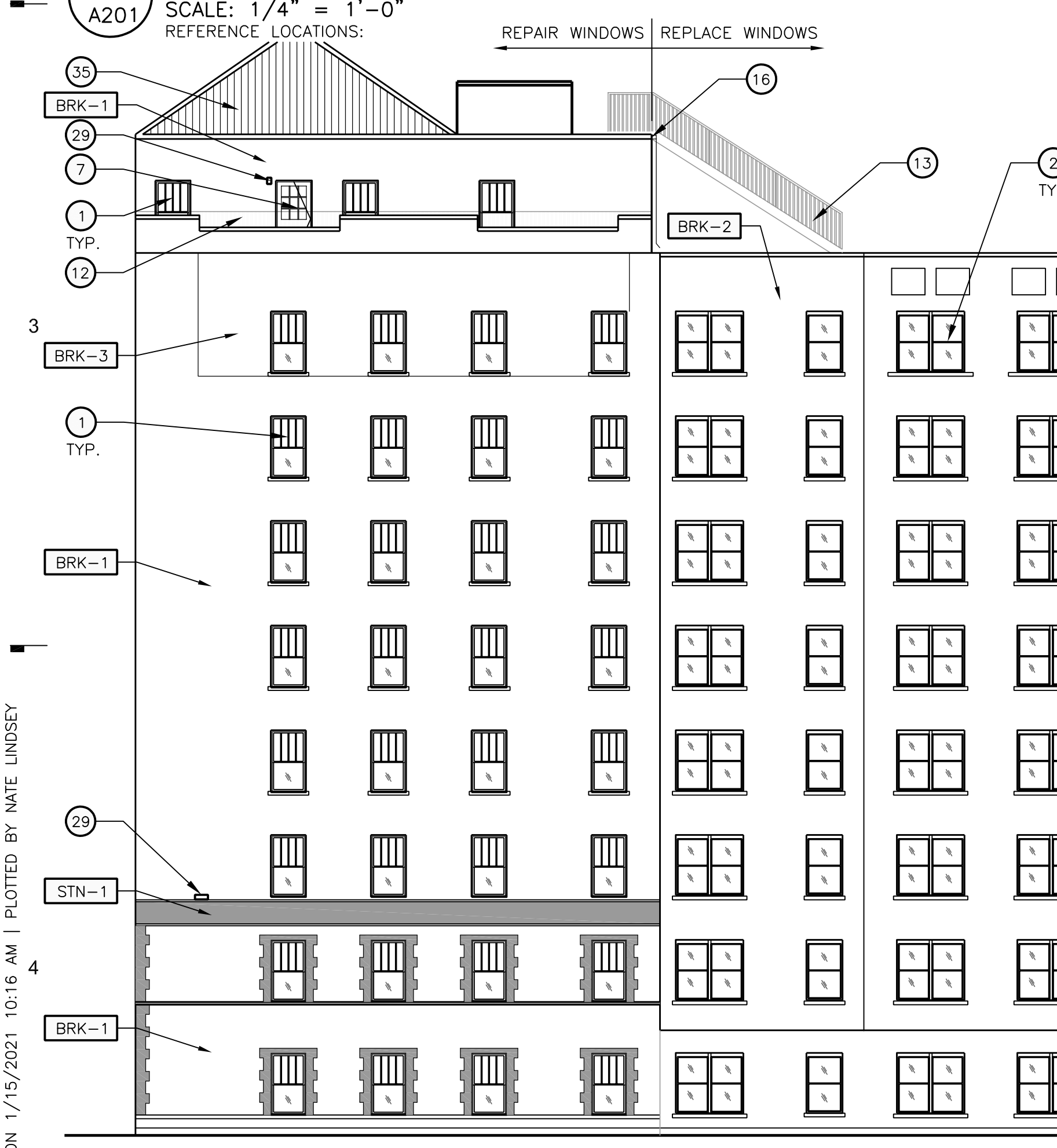


0 2' 4' 8' 16'
 SCALE: 1/8" = 1'-0"

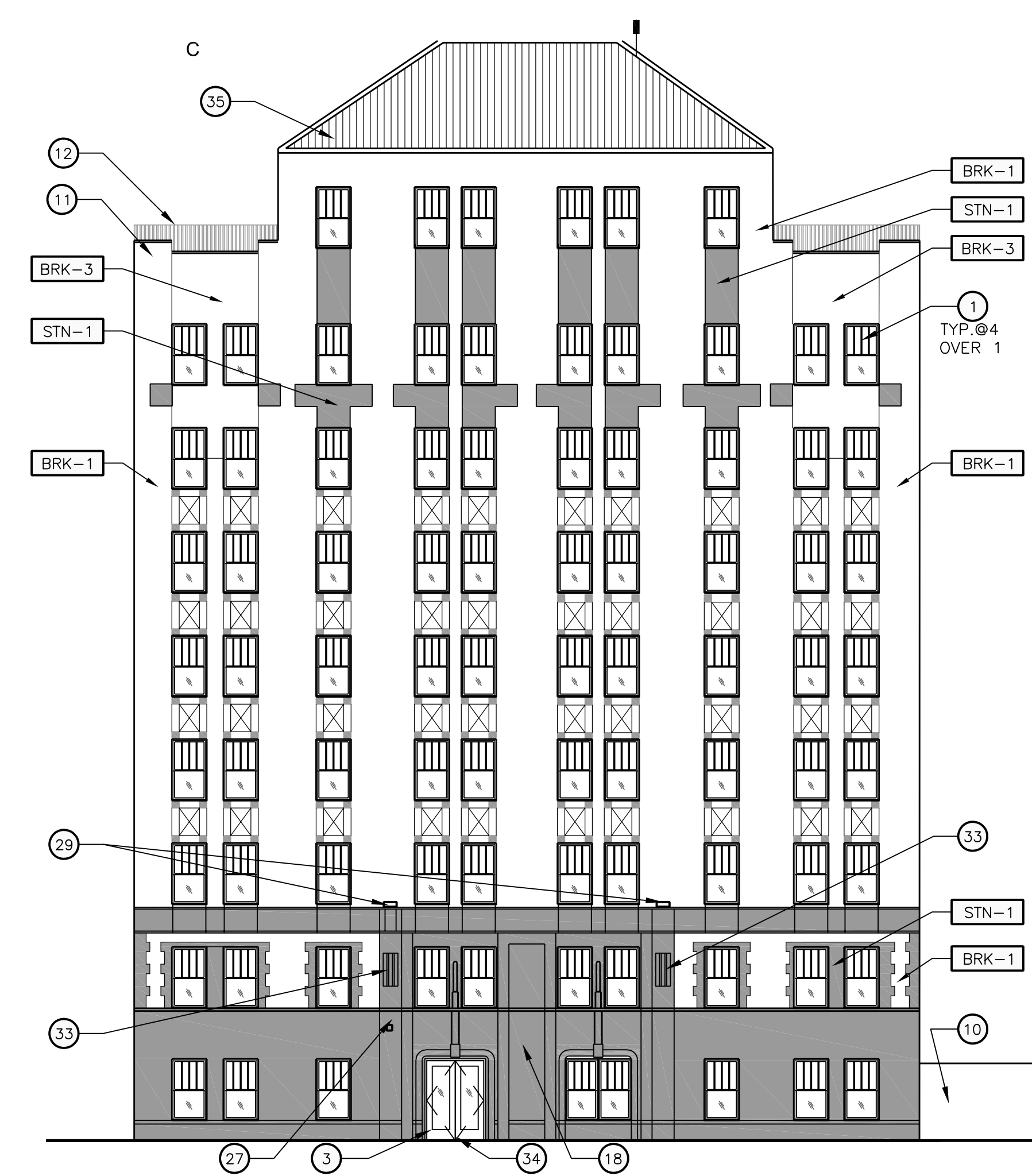
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2 EXTERIOR ELEVATION - FRONT ENTRANCE
 A201 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS:



4 EXTERIOR ELEVATION - RIGHT SIDE / WEST FACADE
 A201 1" = 10'-0"
 REFERENCE LOCATIONS:



1 EXTERIOR ELEVATION - FRONT FACADE
 A201 1" = 10'-0"
 REFERENCE LOCATIONS:

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CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

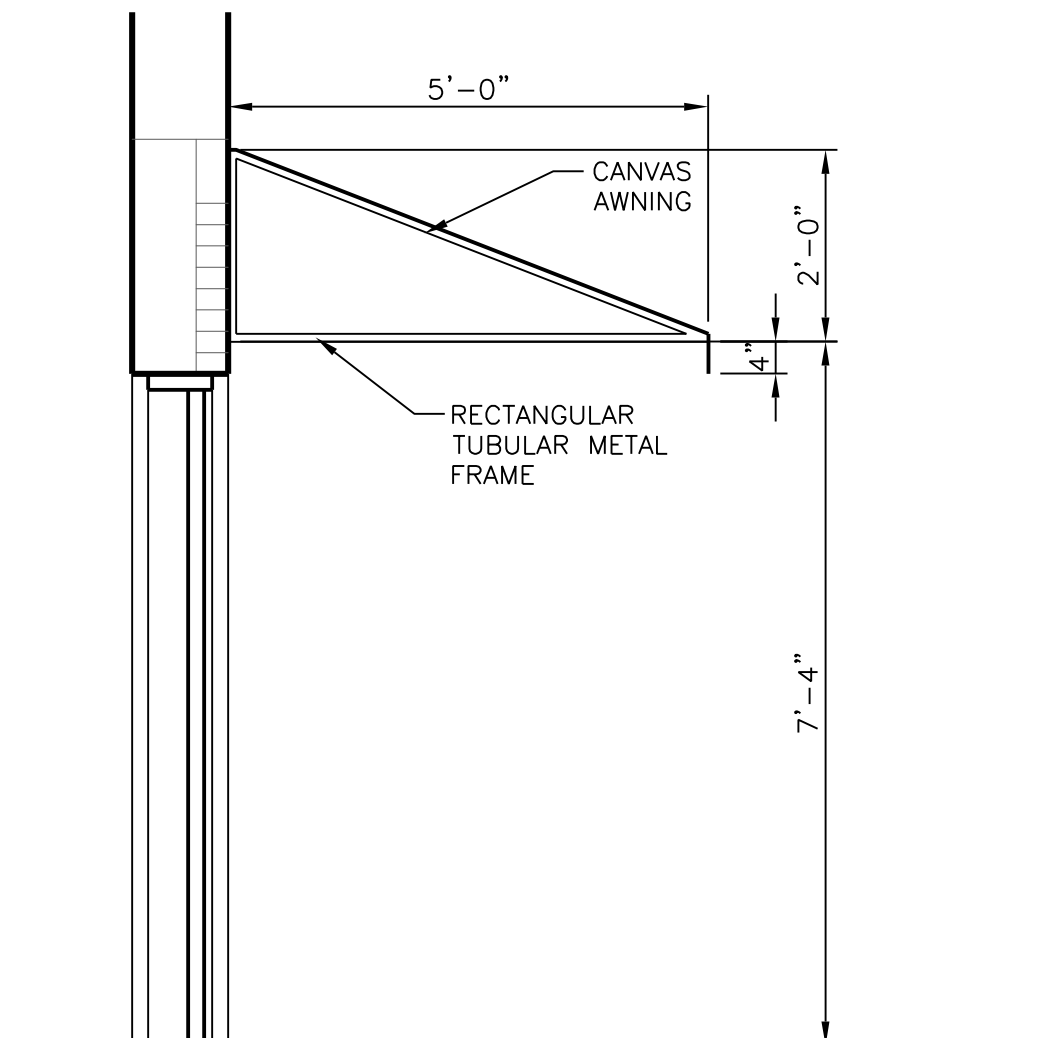
- 1 WINDOW- REPAIR EXISTING
- 2 WINDOW- REPLACE WITH HISTORIC REPLICA WINDOW
- 3 STOREFRONT
- 4 DOOR- REPLACE EXISTING
- 5 DOOR- NEW
- 6 OVERHEAD SECTIONAL DOOR
- 7 TERRACE FRENCH DOOR - REPLACE EXISTING
- 8 GATE- NEW PEDESTRIAN GATE
- 9 GATE- REPLACE VEHICLE GATE
- 10 FENCE- REPLACE EXISTING
- 11 EXISTING COPING- SEE ROOF PLAN
- 12 EXISTING GUARD RAIL
- 13 REPLACE EXTERIOR ELEVATOR PENTHOUSE ACCESS STAIR
- 14 NEW WINDOW AT BRICKED UP FORMER OPENING
- 15 AWNING
- 16 GUTTER- REPAIR EXISTING - SEE ROOF PLAN
- 17 DOWNSPOUT - REPAIR EXISTING- SEE ROOF PLAN
- 18 EXISTING ADDRESS SIGNAGE
- 19 EXISTING LOUVER
- 20 EXISTING VENT
- 21 EXHAUST FAN- REPLACE EXISTING
- 22 ROOFTOP EQUIPMENT- REPLACE EXISTING EQUIPMENT
- 23 GRILLAGE - EXISTING TO REMAIN
- 24 SIAMESE FIRE HOSE CONNECTOR- SEE PLUMBING
- 25 FIRE PUMP TEST CONNECTION- SEE PLUMBING
- 26 FROST FREE HOSE BIB- SEE PLUMBING
- 27 SECURITY LIGHT- REPLACE EXISTING
- 28 WALL MOUNTED LIGHT FACADE LIGHT FIXTURE- REPLACE EXISTING
- 29 WALL MOUNTED LIGHT FIXTURE- REPLACE EXISTING
- 30 WALL MOUNTED LIGHT FIXTURE- NEW
- 31 EMERGENCY POWER GENERATOR- REPLACE EXISTING - SEE ELECTRICAL
- 32 BLOCK WALL- NEW INFILL- PAINT TO MATCH EXISTING PAINTED BRICK.
- 33 ORNAMENTAL STONE DETAILS- EXISTING
- 34 ENTRANCE DOOR, REPLACE EXISTING
- 35 EXISTING STANDING SEAM ROOF TO REMAIN.
- 36 NEW DOOR IN NEW OPENING
- 37 EXISTING WALL, DEMOLISH DOWN TO 48" ABOVE GRADE AND PROVIDE COPING.
- 38 LINE OF WEST GARAGE TO BE REMOVED.

GENERAL NOTES

- A. REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B. REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
- C. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
- D. PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- E. APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

RESTORATION GENERAL NOTES

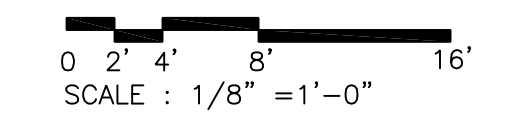
- A. MASONRY/STONE RESTORATION CONTRACTOR ("SUBCONTRACTOR") TO PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, SUPERVISION, PERMITS, AND ANY OTHER COSTS OR EXPENSES NECESSARY TO COMPLETE THE WORK. SUBCONTRACTOR JOB MOBILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ANY NECESSARY WORK STATION AND JOB TRAILER, MAST CLIMBING PLATFORMS, AERIAL LIFTS, SWING STAGES, BARRICADES AND WALK THRU SCAFFOLD AS NEEDED.
- B. BUILDING RESTORATION TO INCLUDE ALL TERMS, CONDITIONS, AND SPECIFICATIONS OF ORIGINAL CONTRACT AND ANY ADDITIONAL WORK NECESSARY TO MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES. THIS INCLUDES ALL WORK NECESSARY OVER AND ABOVE THAT SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND OTHER CONSTRUCTION DOCUMENTS, INCLUDING ALL NOTES, REGARDLESS OF TIME AND MATERIAL NECESSARY TO EXECUTE THIS WORK. ANY AREAS INDICATED WITHIN DRAWINGS ARE ONLY SUGGESTIVE IN NATURE. MASON TO MEET WITH ARCHITECT AND OWNER TO CONFIRM THE SCOPE OF WORK.
- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- E. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- F. SURFACES TO BE PRE-WET WITH CLEAN WATER. CLEANING SOLUTIONS TO NOT REMAIN ON SURFACES FOR MORE THAN 5 MINUTES FOLLOWED IMMEDIATELY BY LOW-PRESSURE FLOOD RINSE, UNLESS NOTED OTHERWISE IN MASONRY CLEANING SPECIFICATION. CLEANING IS TO BRING MASONRY/STONE UNIT AS CLOSE AS POSSIBLE TO ORIGINAL COLOR WITHOUT BURNING OR ABRASION.
- G. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST 'CLEANED' COLOR.
- H. 100% OF MORTAR JOINTS TO BE VISUALLY INSPECTED. ALL MORTAR JOINTS DETERIORATED IN EXCESS OF 3/8 INCH BEYOND FACE OF MASONRY/STONE UNIT, OR EVIDENCING UNSOUNDNESS OR CRACKING WHETHER STRUCTURAL OR OTHERWISE SHALL BE REMOVED TO A DEPTH OF 1/2" MINIMUM. WRITTEN APPROVAL BY OWNER SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF REPAIR BY STAISFACTORY SUBMISSION OF MOCK-UP OF PROPOSED MORTAR JOINT.
- I. NEW MORTAR APPLIED TO ALL OPEN JOINTS SHALL BE OF NO GREATER STRENGTH THAN ORIGINAL MORTAR OR MASONRY UNITS. MORTAR COLOR, TEXTURE, CONSISTENCY AND JOINT PROFILE WILL MATCH EXISTING AS CLOSE AS POSSIBLE.
- J. APPLY NEW, TWO COMPONENT URETHANE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS MEET, AND ALL SKYWARD FACING JOINTS. BACKER ROD TO BE INSTALLED IN OPEN JOINT PRIOR TO SEALANT APPLICATION.
- K. NO ACCELERATORS OR OTHER ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN OWNER APPROVAL. ENCLOSURES AND HEAT SUFFICIENT TO PROTECT MORTAR FROM FREEZING PRIOR TO SET SHALL BE THE SOLE RESPONSIBILITY OF SUBCONTRACTOR.
- L. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- M. ANY MASONRY/STONE UNIT SHALL BE REPLACED WITH OWNER APPROVED MATERIAL WHEREIN SPALLING OR OTHER DETERIORATION ELIMINATED MORE THAN 5% OF THE MASONRY/STONE UNIT (MEASURED BY ORIGINAL BRICK OR STONE FACE AREA.)



3 AWNING PROFILE
 A201 1/2" = 1'-0"
 REFERENCE LOCATIONS: A101

EXTERIOR ELEVATION MATERIAL LEGEND

- STN-1 GRAY LIMESTONE - EXISTING - CLEAN AND REPAIR
- BRK-1 BRICK, DARK RED - EXISTING ORIGINAL - CLEAN AND REPAIR
- BRK-2 BRICK, LIGHT TAUPE PAINTED- EXISTING - CLEAN AND REPAIR
- BRK-3 BRICK, RED, FROM PRIOR REPAIR WORK - CLEAN AND REPAIR



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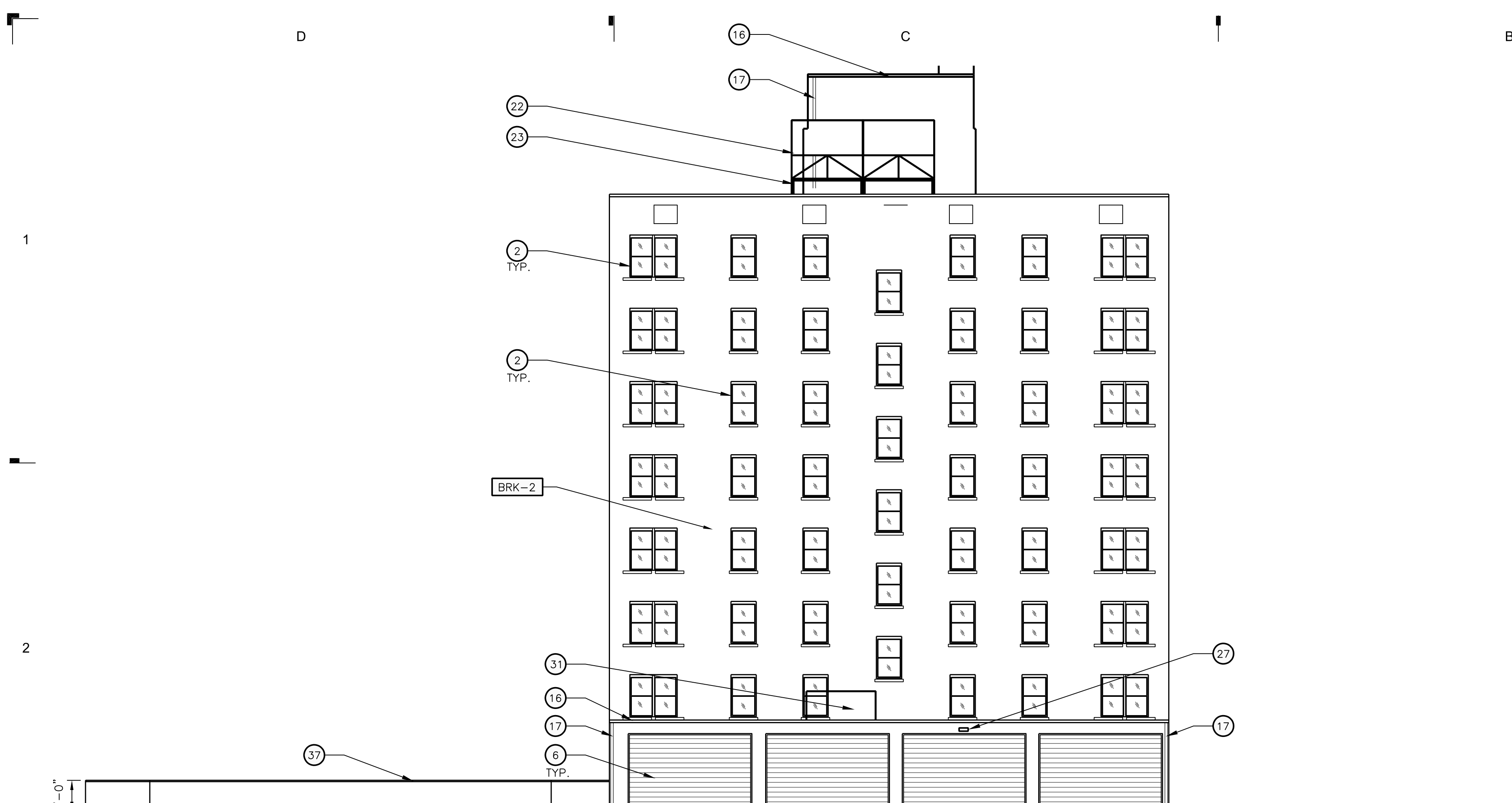
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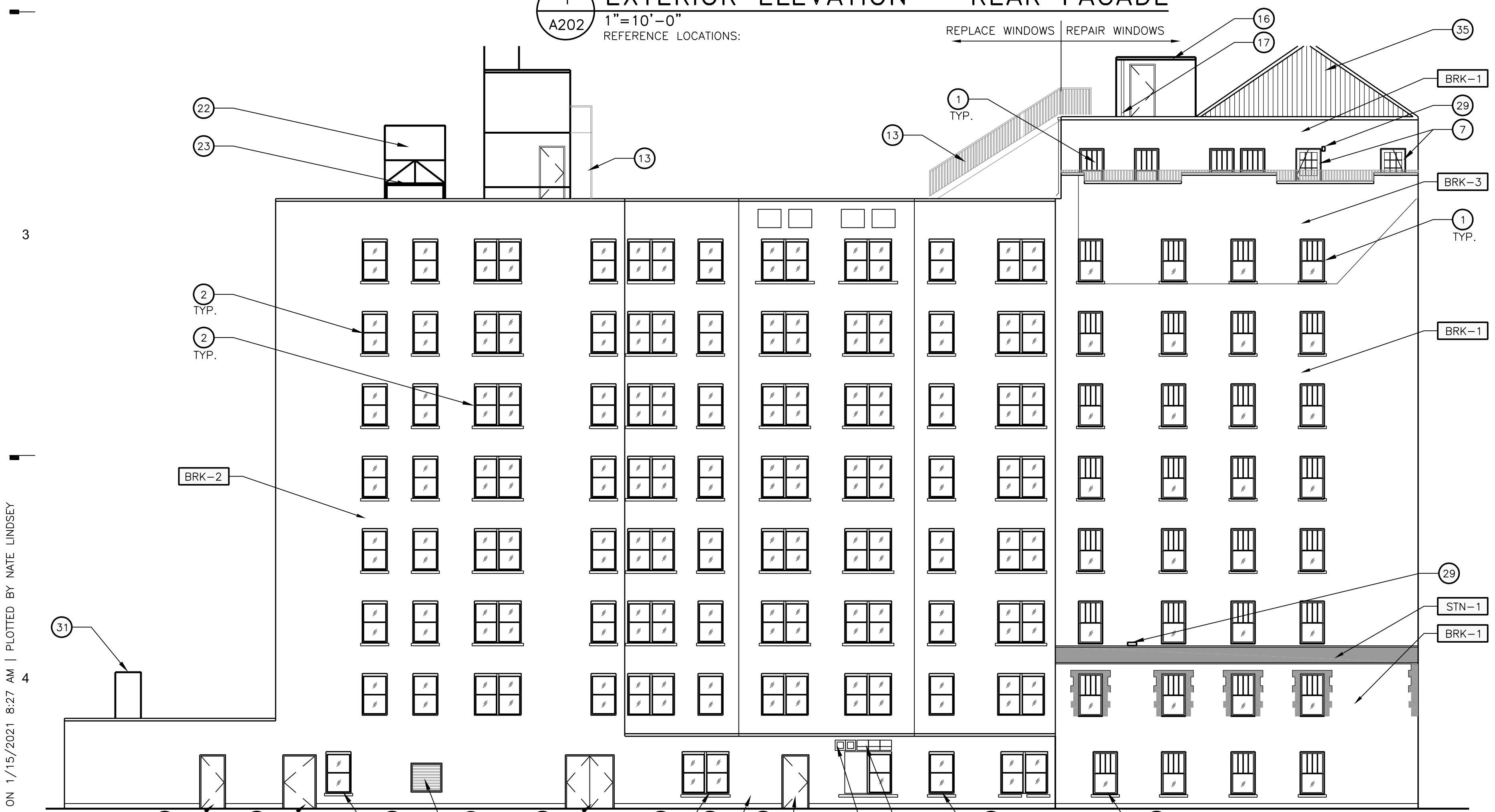
Sheet Title
EXTERIOR FACADES

Sheet Number

A201



1 EXTERIOR ELEVATION – REAR FACADE
 A202 1" = 10'-0"
 REFERENCE LOCATIONS:



2 EXTERIOR ELEVATION – RIGHT SIDE / WEST FACADE
 A202 1" = 10'-0"
 REFERENCE LOCATIONS:

CONSTRUCTION KEYNOTES

- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 WINDOW- REPAIR EXISTING
 - 2 WINDOW- REPLACE WITH HISTORIC REPLICA WINDOW
 - 3 STOREFRONT
 - 4 DOOR- REPLACE EXISTING
 - 5 DOOR- NEW
 - 6 OVERHEAD SECTIONAL DOOR
 - 7 TERRACE FRENCH DOOR - REPLACE EXISTING
 - 8 GATE- NEW PEDESTRIAN GATE
 - 9 GATE- REPLACE VEHICLE GATE
 - 10 FENCE- REPLACE EXISTING
 - 11 EXISTING COPING- SEE ROOF PLAN
 - 12 EXISTING GUARD RAIL
 - 13 REPLACE EXTERIOR ELEVATOR PENTHOUSE ACCESS STAIR
 - 14 NEW WINDOW AT BRICKED UP FORMER OPENING
 - 15 AWNING
 - 16 GUTTER- REPAIR EXISTING - SEE ROOF PLAN
 - 17 DOWNSPOUT - REPAIR EXISTING- SEE ROOF PLAN
 - 18 EXISTING ADDRESS SIGNAGE
 - 19 EXISTING LOUVER
 - 20 EXISTING VENT
 - 21 EXHAUST FAN- REPLACE EXISTING
 - 22 ROOFTOP EQUIPMENT- REPLACE EXISTING EQUIPMENT
 - 23 GRILLAGE - EXISTING TO REMAIN
 - 24 SIAMESE FIRE HOSE CONNECTOR- SEE PLUMBING
 - 25 FIRE PUMP TEST CONNECTION- SEE PLUMBING
 - 26 FROST FREE HOSE BIB- SEE PLUMBING
 - 27 SECURITY LIGHT- REPLACE EXISTING
 - 28 WALL MOUNTED LIGHT FACADE LIGHT FIXTURE- REPLACE EXISTING
 - 29 WALL MOUNTED LIGHT FIXTURE- REPLACE EXISTING
 - 30 WALL MOUNTED LIGHT FIXTURE- NEW
 - 31 EMERGENCY POWER GENERATOR- REPLACE EXISTING - SEE ELECTRICAL
 - 32 BLOCK WALL- NEW INFILL- PAINT TO MATCH EXISTING PAINTED BRICK.
 - 33 ORNAMENTAL STONE DETAILS- EXISTING
 - 34 ENTRANCE DOOR, REPLACE EXISTING
 - 35 EXISTING STANDING SEAM ROOF TO REMAIN.
 - 36 NEW DOOR IN NEW OPENING
 - 37 EXISTING WALL, DEMOLISH DOWN TO 48" ABOVE GRADE AND PROVIDE COPING.
 - 38 LINE OF WEST GARAGE TO BE REMOVED.

GENERAL NOTES

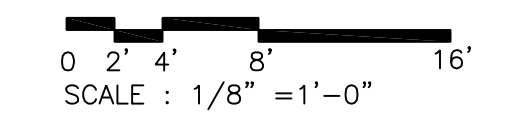
- A. REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B. REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
- C. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
- D. PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- E. APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

RESTORATION GENERAL NOTES

- A. MASONRY/STONE RESTORATION CONTRACTOR ("SUBCONTRACTOR") TO PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, SUPERVISION, PERMITS, AND ANY OTHER COSTS OR EXPENSES NECESSARY TO COMPLETE THE WORK. SUBCONTRACTOR JOB MOBILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ANY NECESSARY WORK STATION AND JOB TRAILER, MAST CLIMBING PLATFORMS, AERIAL LIFTS, SWING STAGES, BARRICADES AND WALK THRU SCAFFOLD AS NEEDED.
- B. BUILDING RESTORATION TO INCLUDE ALL TERMS, CONDITIONS, AND SPECIFICATIONS OF ORIGINAL CONTRACT AND ANY ADDITIONAL WORK NECESSARY TO MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES. THIS INCLUDES ALL WORK NECESSARY OVER AND ABOVE THAT SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND OTHER CONSTRUCTION DOCUMENTS, INCLUDING ALL NOTES, REGARDLESS OF TIME AND MATERIAL NECESSARY TO EXECUTE THIS WORK. ANY AREAS INDICATED WITHIN DRAWINGS ARE ONLY SUGGESTIVE IN NATURE. MASON TO MEET WITH ARCHITECT AND OWNER TO CONFIRM THE SCOPE OF WORK.
- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- E. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- F. SURFACES TO BE PRE-WET WITH CLEAN WATER. CLEANING SOLUTIONS TO NOT REMAIN ON SURFACES FOR MORE THAN 5 MINUTES FOLLOWED IMMEDIATELY BY LOW-PRESSURE FLOOD RINSE, UNLESS NOTED OTHERWISE IN MASONRY CLEANING SPECIFICATION. CLEANING IS TO BRING MASONRY/STONE UNIT AS CLOSE AS POSSIBLE TO ORIGINAL COLOR WITHOUT BURNING OR ABRASION.
- G. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST 'CLEANED' COLOR.
- H. 100% OF MORTAR JOINTS TO BE VISUALLY INSPECTED. ALL MORTAR JOINTS DETERIORATED IN EXCESS OF 3/8 INCH BEYOND FACE OF MASONRY/STONE UNIT, OR EVIDENCING UNSOUNDNESS OR CRACKING WHETHER STRUCTURAL OR OTHERWISE SHALL BE REMOVED TO A DEPTH OF 1/2" MINIMUM. WRITTEN APPROVAL BY OWNER SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF REPAIR BY STAISFACTORY SUBMISSION OF MOCK-UP OF PROPOSED MORTAR JOINT.
- I. NEW MORTAR APPLIED TO ALL OPEN JOINTS SHALL BE OF NO GREATER STRENGTH THAN ORIGINAL MORTAR OR MASONRY UNITS. MORTAR COLOR, TEXTURE, CONSISTENCY AND JOINT PROFILE WILL MATCH EXISTING AS CLOSE AS POSSIBLE.
- J. APPLY NEW, TWO COMPONENT URETHANE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS MEET, AND ALL SKYWARD FACING JOINTS. BACKER ROD TO BE INSTALLED IN OPEN JOINT PRIOR TO SEALANT APPLICATION.
- K. NO ACCELERATORS OR OTHER ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN OWNER APPROVAL. ENCLOSURES AND HEAT SUFFICIENT TO PROTECT MORTAR FROM FREEZING PRIOR TO SET SHALL BE THE SOLE RESPONSIBILITY OF SUBCONTRACTOR.
- L. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- M. ANY MASONRY/STONE UNIT SHALL BE REPLACED WITH OWNER APPROVED MATERIAL WHEREIN SPALLING OR OTHER DETERIORATION ELIMINATED MORE THAN 5% OF THE MASONRY/STONE UNIT (MEASURED BY ORIGINAL BRICK OR STONE FACE AREA.)

EXTERIOR ELEVATION MATERIAL LEGEND

- STN-1 GRAY LIMESTONE - EXISTING - CLEAN AND REPAIR
- BRK-1 BRICK, DARK RED - EXISTING ORIGINAL - CLEAN AND REPAIR
- BRK-2 BRICK, LIGHT TAUPE PAINTED- EXISTING - CLEAN AND REPAIR
- BRK-3 BRICK, RED, FROM PRIOR REPAIR WORK - CLEAN AND REPAIR

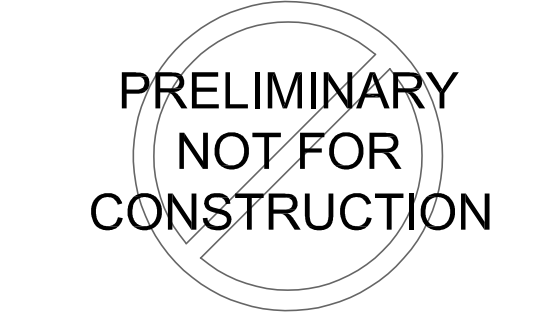


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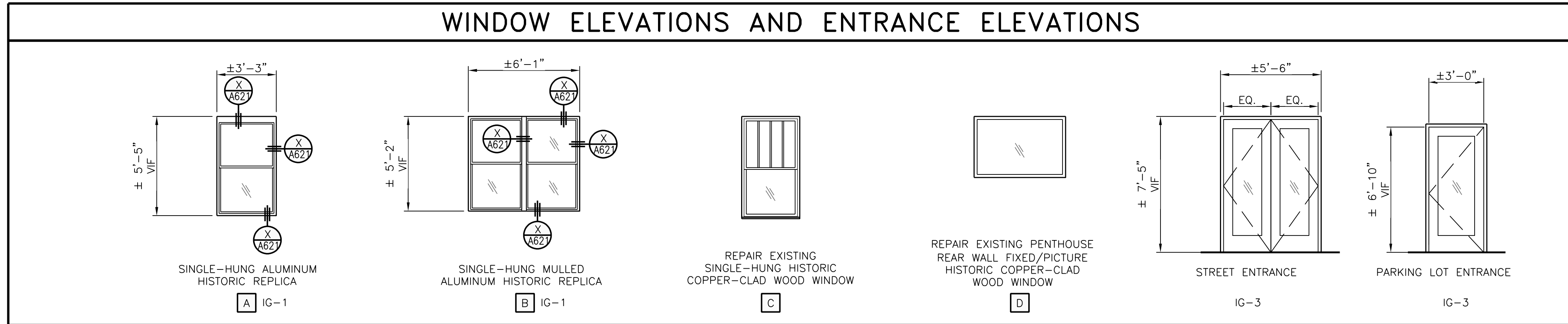
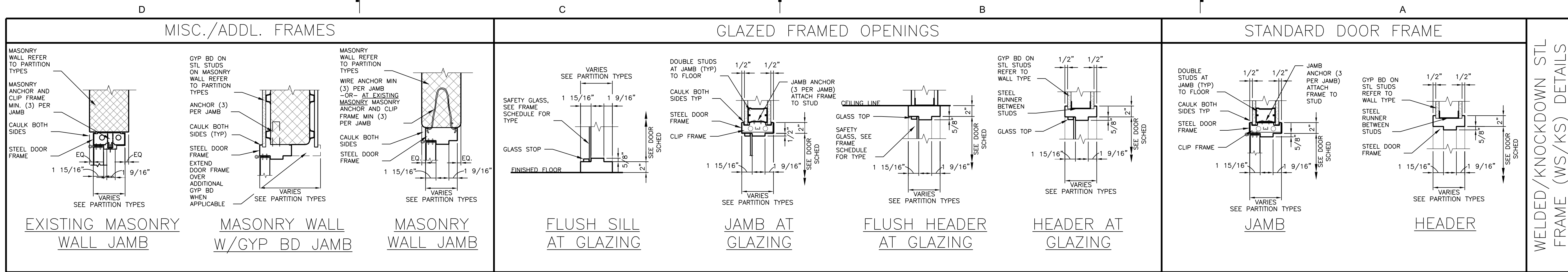
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Revision	Date
Date	

Project Number	2020051
Sheet Title	EXTERIOR ELEVATION

Sheet Number	A202
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GENERAL WINDOW NOTES

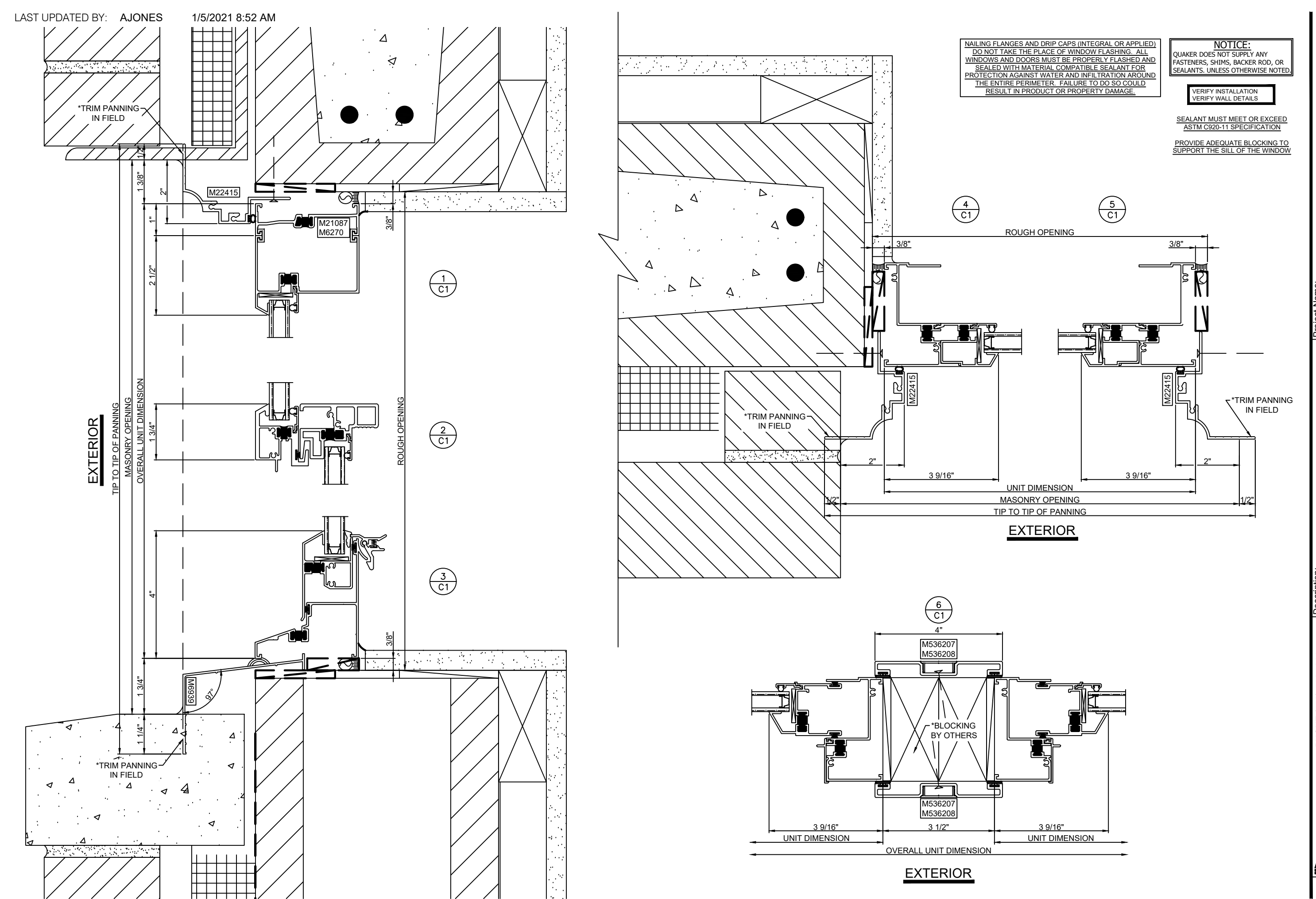
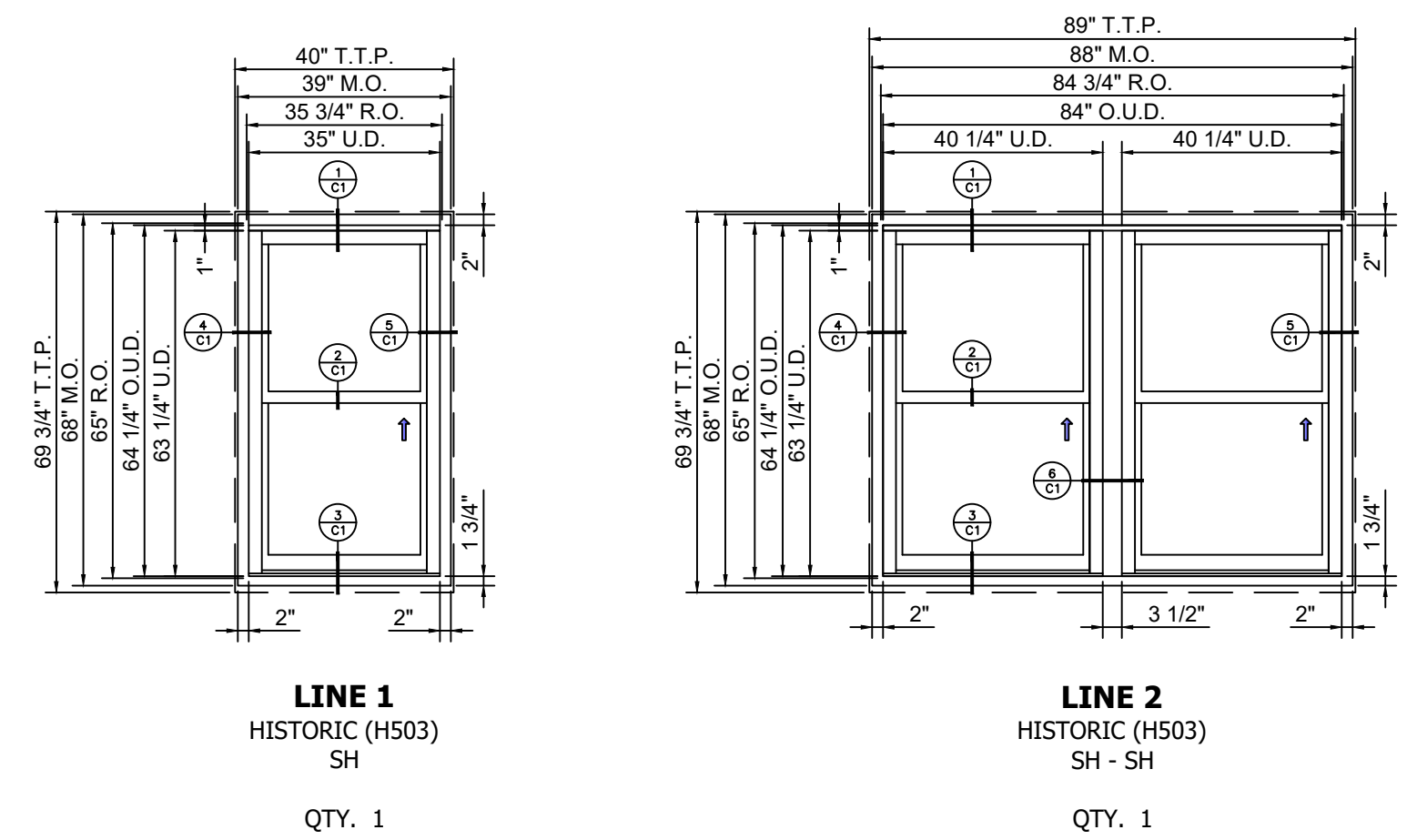
A. WINDOWS AT APARTMENTS TO HAVE OPERABLE SASHES. PROVIDE RESTRICTORS FOR ALL WINDOWS. ALLOW 4" OPENING ON WINDOWS.

B. WINDOWS AT COMMUNITY ROOM TO HAVE RESTRICTORS THAT DO NOT ALLOW THE SASH TO OPEN.

GLASS TYPES

IG-1 INSULATED GLASS
IG-3 INSULATED SAFETY GLASS

WINDOW DETAILS – BASIS OF DESIGN



Project Name: **93 SEWARD**

Project Number: **2020051**

Sheet Title: **DOOR AND WINDOW DETAILS**

Sheet Number: **A611**

DATE: 1/5/21

Drawn by: AAJ
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