

The Alexandrine Apartments

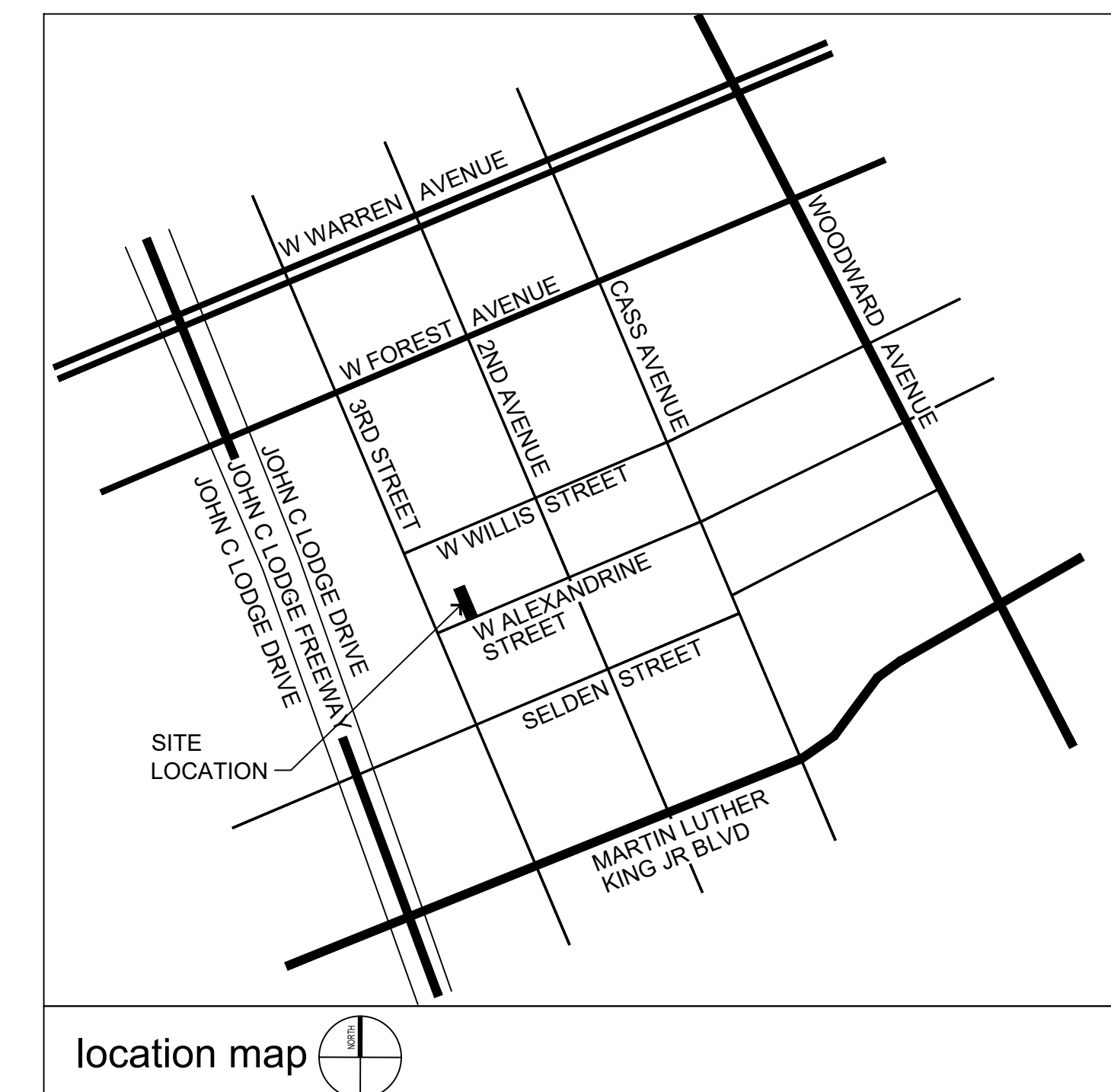
Proposed Apartment Building

664-667 W. Alexandrine Street Detroit, Michigan 48220



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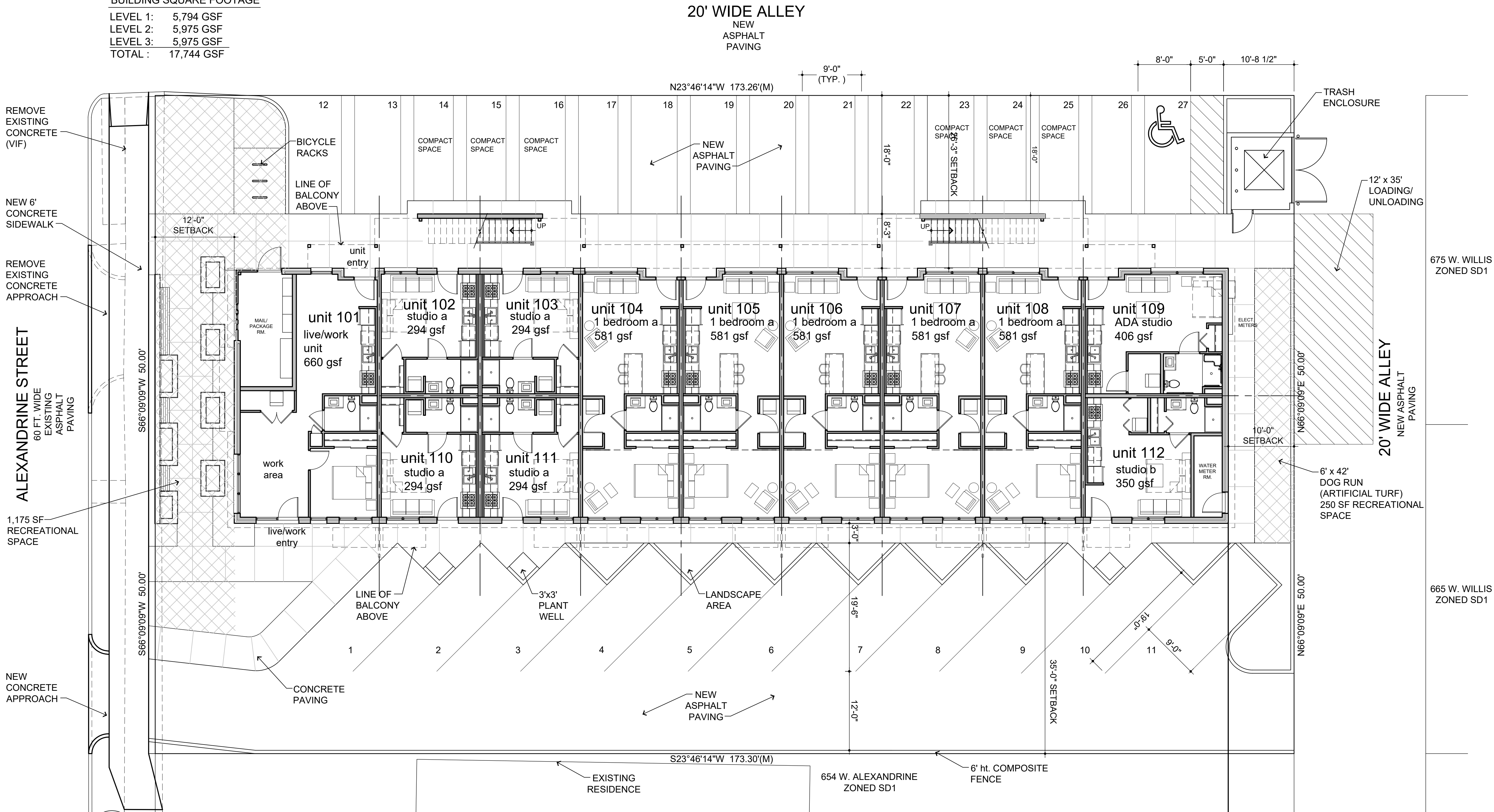
SITE CRITERIA:

PARCEL ADDRESS: 664 W. ALEXANDRINE STREET 676 W. ALEXANDRINE STREET	WEST SIDE SETBACK REQUIRED - 0' MINIMUM PROVIDED - 26.25'
PARCEL SIZE: 0.39 ACRES (17,300 SQUARE FEET) COMBINED PROPERTIES	EAST SIDE SETBACK REQUIRED - 0' MINIMUM PROVIDED - 34.0'
ZONING: SD1(SPECIAL DEVELOPMENT DISTRICT, SMALL-SCALE) WILLIS-SELDEN LOCAL HISTORIC DISTRICT	REQUIRED PARKING REQUIREMENTS: MULTIPLE-FAMILY DWELLING, WHERE LOCATED WITHIN 0.50 MILES OF A HIGH-FREQUENCY TRANSIT CORRIDOR
PROJECT: 30 UNIT, 3-STORY APARTMENT BUILDING	0.75 SPACES PER DWELLING UNIT (30 x 0.75 = 22.5 SPACES TOTAL SPACES REQUIRED = 23 SPACES
BUILDING HEIGHT MAXIMUM: 35' HT. PROVIDED - 3 STORIES, 35.0' HT.	PROPOSED PARKING PROVIDED: 27 SPACES INCLUDING (1) ADA SPACE
FRONT SETBACK REQUIRED - 0' MINIMUM FROM R.O.W. LINE PROVIDED - 20' FROM R.O.W. LINE	RECREATIONAL SPACE REQUIREMENTS REQUIRED: MINIMUM RECREATIONAL SPACE= GSF x REC. SPACE RATIO 17,744 GSF x 0.07 = 1,240.0 SF
REAR SETBACK REQUIRED - 0' MINIMUM PROVIDED - 2.0'	PROVIDED: FRONT: 1,175 SF REAR : 250 SF TOTAL: 1,425 SF

BUILDING UNIT BREAKDOWN	
STUDIO UNITS:	5
STUDIO ADA UNIT:	1
1 BEDROOM UNITS:	19
2 BEDROOM UNITS:	4
LIVE/WORK UNIT:	1
TOTAL UNITS:	30

BUILDING SQUARE FOOTAGE

LEVEL 1:	5,794 GSF
LEVEL 2:	5,975 GSF
LEVEL 3:	5,975 GSF
TOTAL :	17,744 GSF



1/A100 level 1 / site plan

STUDIO UNITS:	5
1 BEDROOM UNITS:	5
STUDIO ADA UNIT:	1
LIVE/WORK UNIT:	1
TOTAL:	12

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PROJECT:

The Alexandrine Apartment
664-676 W. Alexandrine St.
Detroit, MI 48201

CLIENT:

The Ferlito Group
440 Selden Street
Detroit, MI 48201

HDC SUBMITTAL-REVISED	02/03/21
HDC SUBMITTAL	11/20/20
SITE PLAN REVIEW SUBMITTAL	09/22/20
CONCEPT DESIGN REVIEW	06/30/20
CONCEPT DESIGN REVIEW	12/30/19
DESCRIPTION	DATE

SHEET TITLE:

LEVEL 1 FLOOR
PLAN / SITE PLAN

PROJECT NUMBER:

2019-130

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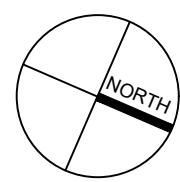
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A100

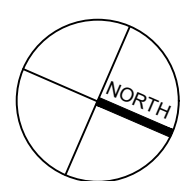
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SCALE: 1/8" = 1'-0"

1 BEDROOM UNITS:	7
2 BEDROOM UNITS:	2
<hr/> TOTAL:	<hr/> 9



SCALE: 1/8" = 1'-0"

1 BEDROOM UNITS:	7
2 BEDROOM UNITS:	2
<u>TOTAL:</u>	<u>9</u>

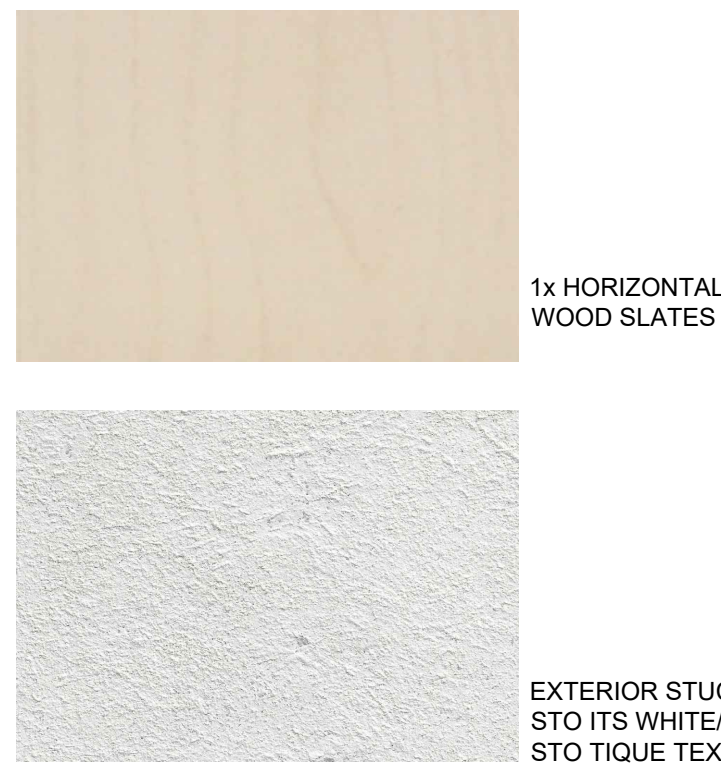
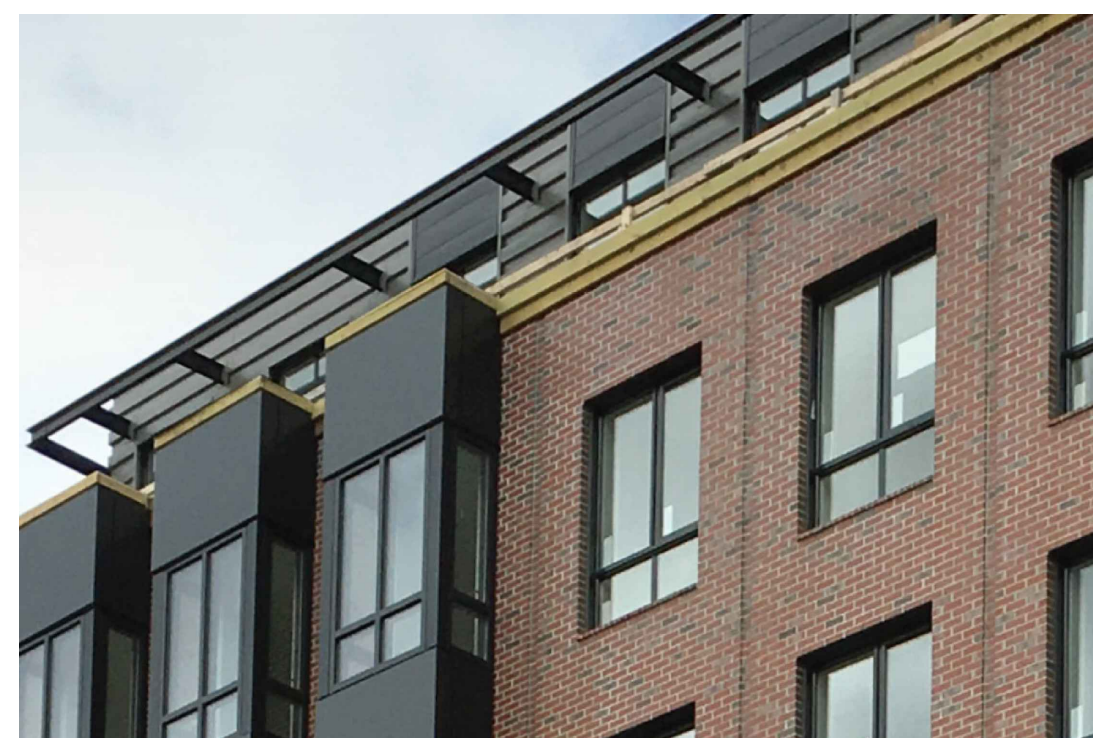


Figure 10 displays four color calibration patches used for the study. The patches are labeled as follows:

- window frame color
- steel color
- balcony color
- roof coping color

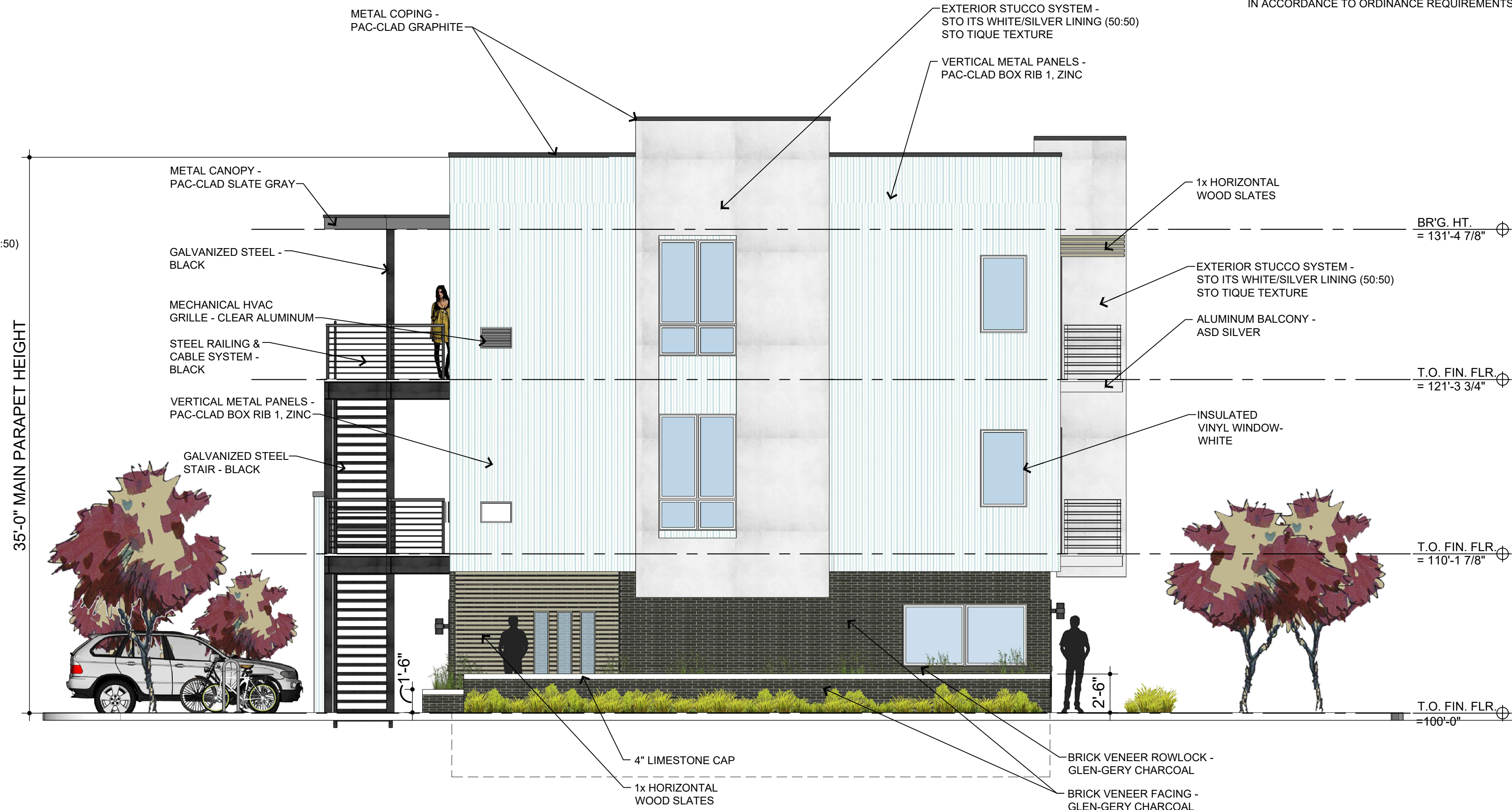
All materials to be of a non-reflective, matte finish



DF HYBRID WINDOWS BYJELD-WEN
COLOR: DP WHITE

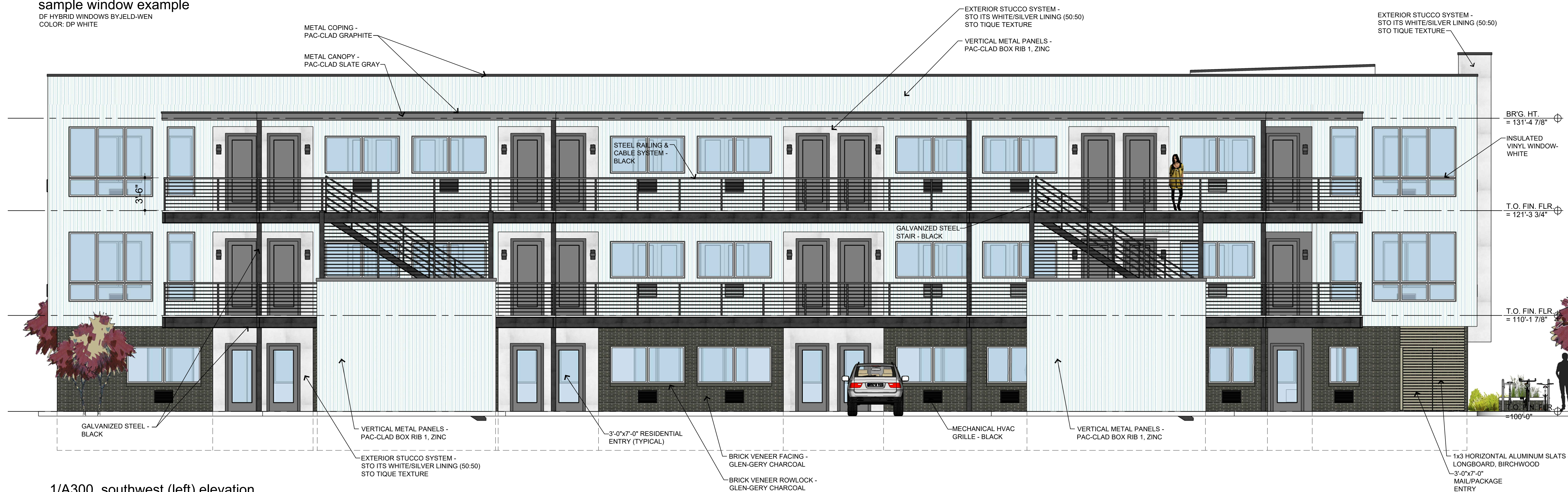
All materials to be of a non-reflective, matte finish

GLACIER INTEGRATED LED WALL
LIGHT BY ARTIKA



2/A300 southeast (front) elevation

SCALE: 3/16" = 1'-0"



1/A300 southwest (left) elevation

SCALE: 3/16" = 1'-0"

ROOF TOP MECHANICAL EQUIPMENT NOTE:
EXTENT OF MECHANICAL EQUIPMENT ON ROOF
IS NOT YET DETERMINED. ANY EQUIPMENT
PROPOSED ON THE ROOF SHALL BE SCREENED
IN ACCORDANCE TO ORDINANCE REQUIREMENTS

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SHEET TITLE:

EXTERIOR ELEVATIONS

PROJECT NUMBER:
2019-130

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SHEET NUMBER:

A300

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SCALE: 3/16" = 1'-0"



SCALE: 3/16" = 1'-0"



4/A400 view from the northwest



3/A400 view from the southwest



2/A400 view from the northeast



1/A400 view from the southeast

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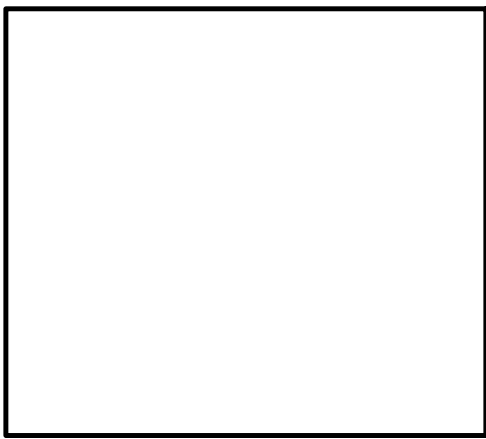
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SHEET TITLE:

EXTERIOR IMAGES

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2019-130

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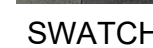
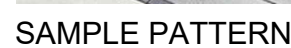
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TIMBERFORM GREENWAY
MODEL NO. 2144-6
WALL-MOUNT SEAT





UNILOCK: NUVOLA





LANDSCAPE FORMS: FGP BIKE RACK

SCALE: 1" = 1'-0"

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SHEET TITLE: LANDSCAPE DETAILS
PROJECT NUMBER: 2019-130
DRAWN BY: KMB
CHECKED BY: AEK
SHEET NUMBER:

LS101

Permit No.: