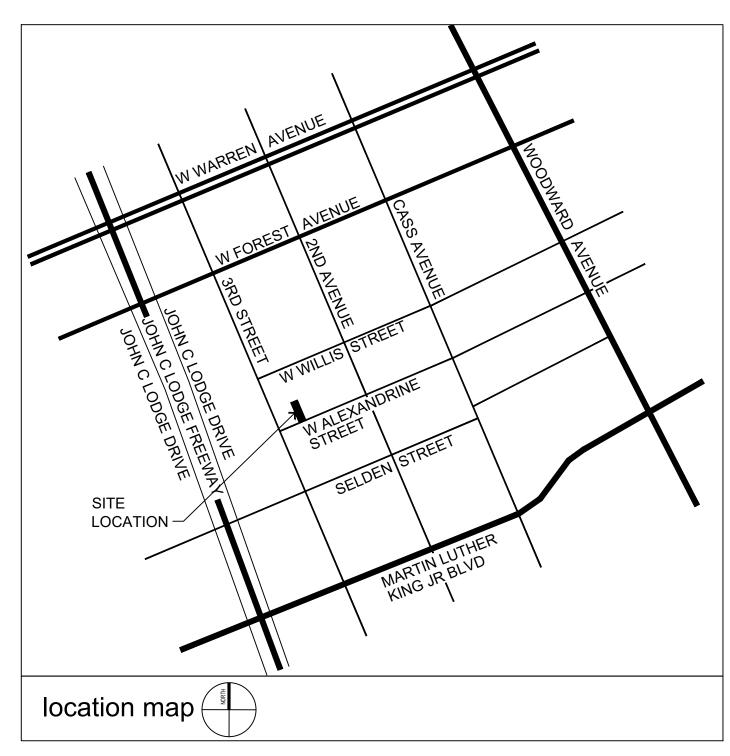
The Alexandrine Apartments

Proposed Apartment Building 664-667 W. Alexandrine Street Detroit, Michigan 48220



Sheet Index

Sheet No.	Sheet Title
AL01 A005 A100 A101 A300 A301 A400 LS100 LS101	ALTA / NSPS LAND TITLE SURVEY CONTEXT / HISTORIC LEVEL 1 FLOOR PLAN / SITE PLAN LEVEL 2-3 FLOORS PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS EXTERIOR IMAGES LANDSCAPE/HARDSCAPE PLAN LANDSCAPE DETAILS







WILLIS-SELDEN ELEMENTS OF DESIGN

1. Height. Single-family or small multiunit residential structures range in height from one and one-half (1½) to two and one-half (2½) stories in height. Apartment buildings typically range in height from two (2) stories to four (4) stories, often on high basements; a majority of these buildings are three (3) stories in height with high basements. The apartment building at 70 West Alexandrine Avenue is eight stories in height. Commercial and other building types typically range from one (1) to two (2) stories in height. The building at 444 West Willis Avenue, commonly known as the Willys-Overland Building, is historically four (4) stories in height and features a modern, set back, fifth (5th) story addition. The building at 3933 Woodward Avenue, commonly known as the Garden Theater, is three (3) stories in height. The building at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, features a sanctuary that is a tall, single story in height, a tower that is approximately one and one-half (11/2) times as tall as the sanctuary, and a two-story addition.

The apartment is 3 stories to provide the appropriate density fill along the street.

2. Proportion of buildings' front façades. Front façades of single-family or small multi-unit residential structures are typically as tall as wide or slightly taller than wide. Front façades of apartment buildings are commonly as tall as wide or slightly taller than wide, with the exception of broader buildings at 3761 Second Avenue, commonly known as the Coronado Apartments, 711 West Alexandrine Avenue, 495-497 West Willis Avenue, and 477 West Alexandrine Avenue, which are significantly wider than tall. Front façades of single-story commercial buildings are significantly wider than tall, while multi-story commercial buildings and other non-residential buildings tend to be slightly wider than tall. Buildings often occupy most or all of deep lots, resulting in side elevations of buildings that are often substantially wider than tall.

The proposed apartment emphasizes a strong verticality with use of vertical panels and a projected architectural element. 3. Proportion of openings within the facades. Openings typically amount to between twenty (20) percent and thirty-five (35) percent of the front facade. Commercial buildings often feature expansive storefront windows on their first (1st) floors, though in many cases these windows have been covered with boards or closed in with brick or concrete block. Sash windows, taller than wide, predominate on all building types. On apartment buildings, sash windows are sometimes arranged in groupings which, together, are square or wider than tall. A significant minority of buildings feature arched, mullioned, semicircular, casement, or dormer windows appropriate to their

respective architectural styles. Upper sashes and transoms are occasionally subdivided into smaller panes. Casement windows appropriate to triefly panes. Door openings are typically slightly larger in scale than window openings. Primary entrance openings are usually centered on the façades of commercial and apartment buildings, but usually off-center on the façades of smaller residential buildings. The apartment building areas of void are approximately 15% of total façade area. Opening proportions are a mix of both horizontal and

4. Rhythm of solids to voids in front façades. Despite a variety of building types, the overall impression is one of regular, repetitive openings arranged horizontally within façades. A repetitive flow of storefront openings, where they exist, creates a rhythm along commercial frontage. Smaller residential buildings as well as the building at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, display more varied, often asymmetrical, arrangements of openings, but the overall impression is still one of regular, repetitive openings.

The apartment building openings are generally regular, however with differentially spaced arrangements. A material divide is created at the

Rhythm of spacing of buildings on streets. Rhythm of spacing on streets is generally determined by setbacks from side lot lines. The overall character of the district is one of densely clustered, yet visually distinct, structures separate by narrow setbacks. Commercial buildings frequently abut adjacent buildings, typically featured no setbacks from side lot lines, especially on Woodward Avenue where evenly spaced storefronts create a regular spacing of buildings. There is a general regularity in the widths of subdivision lots from one block to another, contributing to a regular rhythm of spacing of buildings on streets.

The apartment building is a combination of two lots. Side yards are allocated to necessary and required parking for the residents. 6. Rhythm of entrance and/or porch projections. Porches on smaller residential buildings typically project while those on other types of buildings usually do not. On residential buildings only, entrances are often located several steps above grade to accommodate high basements. Doorways on smaller residential buildings are often set beneath gable-roofed or arched openings, while doorways on other buildings are typically centered on their façades. A regular rhythm of entrances is created by a

row of similar commercial buildings along Woodward Avenue. The apartment building is designed with a large overhanging projection creating a porch-like form.

7. Relationship of materials. A majority of buildings are faced with brick and feature stone or cast stone trim. Single-family residential buildings are generally faced with brick and feature wooden brackets, bay windows, vergeboards, timbering, porch supports, dentils, entablature, or other classically inspired elements, and other details depending on style. A small number of single-family residential buildings feature wood clapboard siding. Stone or stone facing defines the foundations of buildings at 643-647 and 748 West Alexandrine Avenue, 481 Brainard Avenue, 3957 and 4107 Cass Avenue, and 500 West Willis Avenue, the lower levels of buildings at 4120 Cass Avenue, 3761 Second Avenue, 495-497 West Willis Avenue, and the entire primary façade of buildings at 624 and 627 West Alexandrine Avenue and 3977 Cass Avenue. The buildings at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, 3900 and 3977 Second Avenue, and 4100 Third Avenue are composed primarily of stone. Sash windows are historically wood but have, in many cases, been replaced with windows of more modern materials. Stone is used for window sills on a majority of buildings within the district. While roofs within the district are generally flat and not visible, pitched roofs typically feature visible slate or asphalt shingles. Buildings at 686 Selden and 711 West Alexandrine Avenue feature clay tile roofs. The building at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, features a copper roof on its tower.

The apartment is a combination of brick, stucco and vertical ribbed metal. Balcony rails are clad or painted. Windows are vinyl clad. 8. Relationship of textures. On a majority of buildings within the district, the major textural effect is that of brick with mortar joints juxtaposed with cast stone or limestone trim. Patterned brickwork is used to create subtle detail on commercial and apartment buildings, such as spandrels and rectangular panels, and more pronounced textural interest where it exists on the upper stories of buildings, such as at 461 West Alexandrine Avenue, and in an arcaded cornice on the building at 711 West Alexandrine Avenue. Where they exist, detailed wooden vergeboards, gables, brackets, and dormers create considerable textural interest on all single-family residential buildings in the district. Rough-cut stone with thick mortar joints creates considerable textural interest on buildings where it exists, while other buildings feature smooth stone with thin mortar joints. In general, asphalt shingle roofs do not contribute to textural interest.

The brick veneer base is contrasted with the use of stucco and metal panels. Vertically and horizontally orientated materials provide

9. Relationship of colors. Natural brick colors in shades of brown, red, and buff predominate on wall surfaces, while natural stone colors in shades of gray, red, and brown also exist. Although most roofs are flat and therefore not visible, sloped roofs typically feature gray asphalt, while some feature red or green clay tile or slate in contrasting colors of gray, red, or green. Wooden architectural details are frequently painted in bold colors, appropriate to the architectural style of the buildings, which contract markedly with brick facing. Brick apartment buildings are generally unpainted, with gray stone trim contracting with brown or buff brickwork. Brick on commercial buildings is frequently painted in shades of yellow or orange. The original colors of any building, as determined by professional analysis, are always acceptable for that building and may provide guidance for similar buildings.

The proposed dark hue brick is compatible with several similar hue in the district. The light-colored stucco and metal panels relate to the lighter stone and brick buildings with-in the district.

10. Relationship of architectural details. Buildings in the district exemplify a broad range of architectural styles, and their architectural details relate to their style. Pre-1880 residential buildings, as well as commercial buildings on Woodward Avenue, are Italianate in style. Single-family residential buildings are often Queen Anne or Stick/Eastlake in style. Romanesque Revival structures include the building at 3977 Second Avenue, commonly known as the Campbell-Symington House, and the building at 3901 Cass Avenue, commonly known as the Cass Avenue Methodist Church. Larger apartment buildings include the Spanish Medieval building at 624 West Alexandrine Avenue, commonly known as the El Moore Flats, and several buildings in Beaux Arts and Colonial Revival styles. Also represented are the Jacobethan Revival, Craftsman, Spanish Colonial, Late Gothic, and Neo-Georgian styles. Buildings range from vernacular to high style in appearance, with the level of architectural

The apartment building is a contemporary, modern design style. Detail is less elaborate compared to other buildings in the district. The aim is not to recreate but add to the broad range of architectural styles.

11. Relationship of roof shapes. Most apartment buildings and all nonresidential buildings have flat roofs that cannot be seen from the ground, with the exception of the building at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, with prominent cross gables defining its nave and transept and a hip roof defining a two-story addition. Single-family residential buildings feature multiple roof shapes, with steps, intersecting gables, dormers, towers, and tall chimneys creating dramatic silhouettes. Flat-roofed apartment buildings often feature stepped or triangular parapet walls, occasionally with crenellation or balustrades, which add interest to

As an apartment building the roof form responds to surrounding similar buildings. Extruded canopies and raised roof forms add variety. 12. Walls of continuity. Setbacks of residential buildings tend to vary slightly from one building to the next, but generally create a wall or continuity on all streets in the district, except where building demolition has created vacant lots. The continuous façades of commercial buildings, where they exist in rows, create significant walls of continuity in the district. Fencing, often modern steel units that resemble historic cast or wrought iron fencing, exists at the front lot line of many properties, and suggests an additional wall of continuity. Mature trees and public lighting fixtures generally do not contribute to a wall of continuity due to their irregular placement throughout the

The apartment building is placed in line with adjacent buildings. A transitional hardscape/green space is activated with benches, plantings

13. Relationship of significant landscape features and surface treatments. The overall impression is that east-west streetscapes are abundantly planted whereas north-south streetscapes are not. Typical treatment of individual residential properties is a shallow, flat front lawn in grass turf, subdivided by a straight concrete walk leading to the front entrance. Alleys provide access to the rear of a majority of lots in the district; a small number of these lots contain garages in the rear accessed via the alley. Trees, hedges, and other landscaping features are irregularly spaced. Trees in the front yards of buildings vary in size, age, and species. Most commercial buildings, and a smaller number of apartment buildings, are built up to the front lot line. Public sidewalks run alongside all streets in the district. Curbs, while historically stone, have been replaced with concrete in a majority of the district. Public lighting is generally of the modern, steel, pole-mounted variety, though wrought iron-style light

A public space has been created in the area between the structure and the sidewalk. The area incorporates specialty concrete paving and includes benches, bike racks, planter boxes and planters. The goal is to create a high-quality pedestrian area for the residents and the public

Other than public rights-of-way, large areas of open space exist only where they have been created by building demolition; sometimes these spaces serve as parking lots

The side yards of the apartment building are dedicated to parking for the residents. Balconies and covered walkways activate these side

15. Scale of façades and façade elements. Single-family residential buildings are moderate to large in scale relative to typical buildings from the period in which they were constructed. Apartment buildings range from small to large in scale, with a small number of buildings, such as the building at 70 West Alexandrine and the building at 3751-73 Second Avenue, commonly known as the Coronado Apartments, being significantly larger in scale than the others. The building at 444 West Willis Avenue, commonly known as the Willys-Overland building, is also large in scale. Elements within the façades are generally small to medium in scale.

The apartment building is a larger scale building similar to the existing, surrounding neighborhood apartments. 16. Directional expression of front elevations. Facades of single-family residential structures are generally vertical in directional expression due to tall window and door openings and peaked rooflines. Apartment buildings generally range from neutral to slightly vertical in directional expression, though a smaller number are horizontal in directional expression. Commercial buildings, especially single-story ones, are generally horizontal in directional expression due to broad storefront windows and,

The apartment building, while horizontally divided at the base, is expressed vertical by the use of vertical metal panes, the stacking of

windows and the creation of the a projected architectural element. 17. Rhythm of building setbacks. A degree of irregularity is introduced by varying setbacks of front facades; smaller residential buildings tent to be set several feet back from the public sidewalk, while larger apartment buildings and other buildings often occupy their entire lots. While setbacks may vary slightly from one building to the next the overall impression is one of a consistent rhythm of building setbacks. Where building demolition has occurred, the original rhythmic progression of buildings

The setback of the building aligns with the adjacent buildings to each side.

18. Relationship of lot coverages. Lot coverage within the district are generally high, but vary based on building type. Single-family residential buildings and smaller apartment buildings often occupy between twenty (20) percent and forty (40) percent of their lots, with much of the remaining space being devoted to rear yards. Other building types range from fifty (50) percent to one hundred (100) percent lot coverage. Large buildings may have light courts or central courtyard spaces. Commercial buildings, in particular, often occupy a large percentage of their lots.

19. Degree of complexity within the facades. The facades within the district range from simple to complex, depending on style. Overall, front facades tend to be simple in their massing and mostly regular in their fenestration, though a variety of window and door shapes, materials, architectural elements, and details of individual buildings increase the overall level of complexity of the district.

The complexity of the apartment building ranges from simple to complex. The front façade is simple in its massing. The side facades offer complexity with cantilevered balconies, covered, sloping canopies and covered walkways. 20. Orientation, vistas, overviews. Buildings generally face the streets and are entered from the front façades by a single or double doorway. The tallest buildings within the district, such as the building at 70 West Alexandrine Avenue, the building at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, the building at 3761 Second Avenue, commonly known as the Coronado Apartments, and the building at 444 West Willis Avenue, commonly known as the Willys-Overland Building, constitute landmarks that are clearly visible from several blocks away. The buildings on Woodward Avenue, visible from a considerable distance up and down

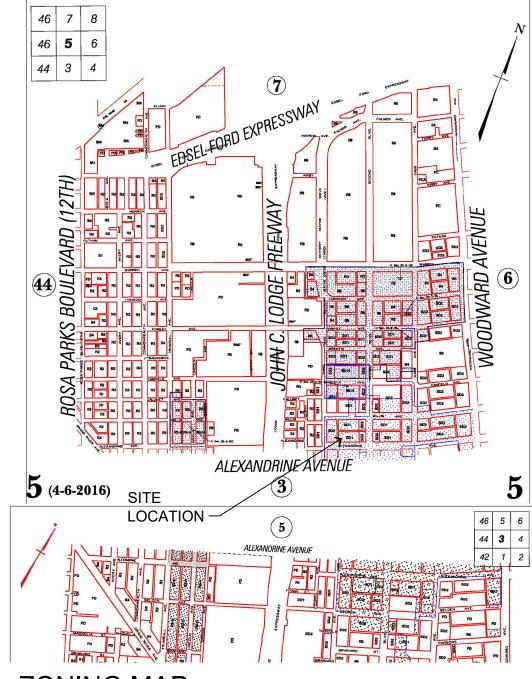
the street, are a significant component of a broader streetscape.

The apartment building, typical to others in the district, face the street. While the front doors to not orientate to the front, an implied entry is 21. Symmetric or asymmetric appearance. The appearance of front façades in the district is, for the most part, symmetrical. Single-family residential buildings tend to

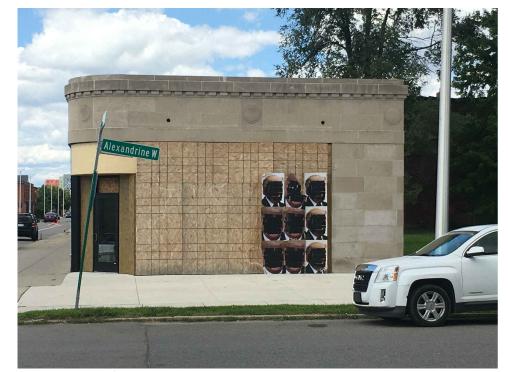
display a modest degree of asymmetry in massing and architectural detail. The apartment building is presented in a balanced yet asymmetrical expression.

22. General environmental character. The general character of the district is that of a medium-density, mixed-use, urban neighborhood of small to large apartment buildings interspersed with other building types. The distinct maintains a sense of vitality as a result of its mixture of uses and the correspondingly diverse physical

The proposed apartment building is a complement to the diverse mixture of the neighborhood. The project is sensitive to its historic neighbors, builds on aspects of the other new developments and general spirit and attitude of contemporary, modern architecture, yet proposes its own unique identity and purpose.



ZONING MAP



4100 3rd St



690 W Alexandrine St



664-676 W Alexandrine St (Proposed Development)



654 W Alexandrine St



640 W Alexandrine St



624 W Alexandrine St



4125 2nd Ave

STREET NORTH SIDE



3977 2nd Ave (Alexandrine side)

STREET SOUTH SIDE



627 W Alexandrine St



643 W Alexandrine St



667 W Alexandrine St



711 W Alexandrine St

Z Z PROJECT:

pyright 2021 - BmK DESIGN+PLANNING L

DESIGN+PLANNING

The Alexandrine Apartment 664-676 W. Alexandrine St.

Detroit, MI 48201

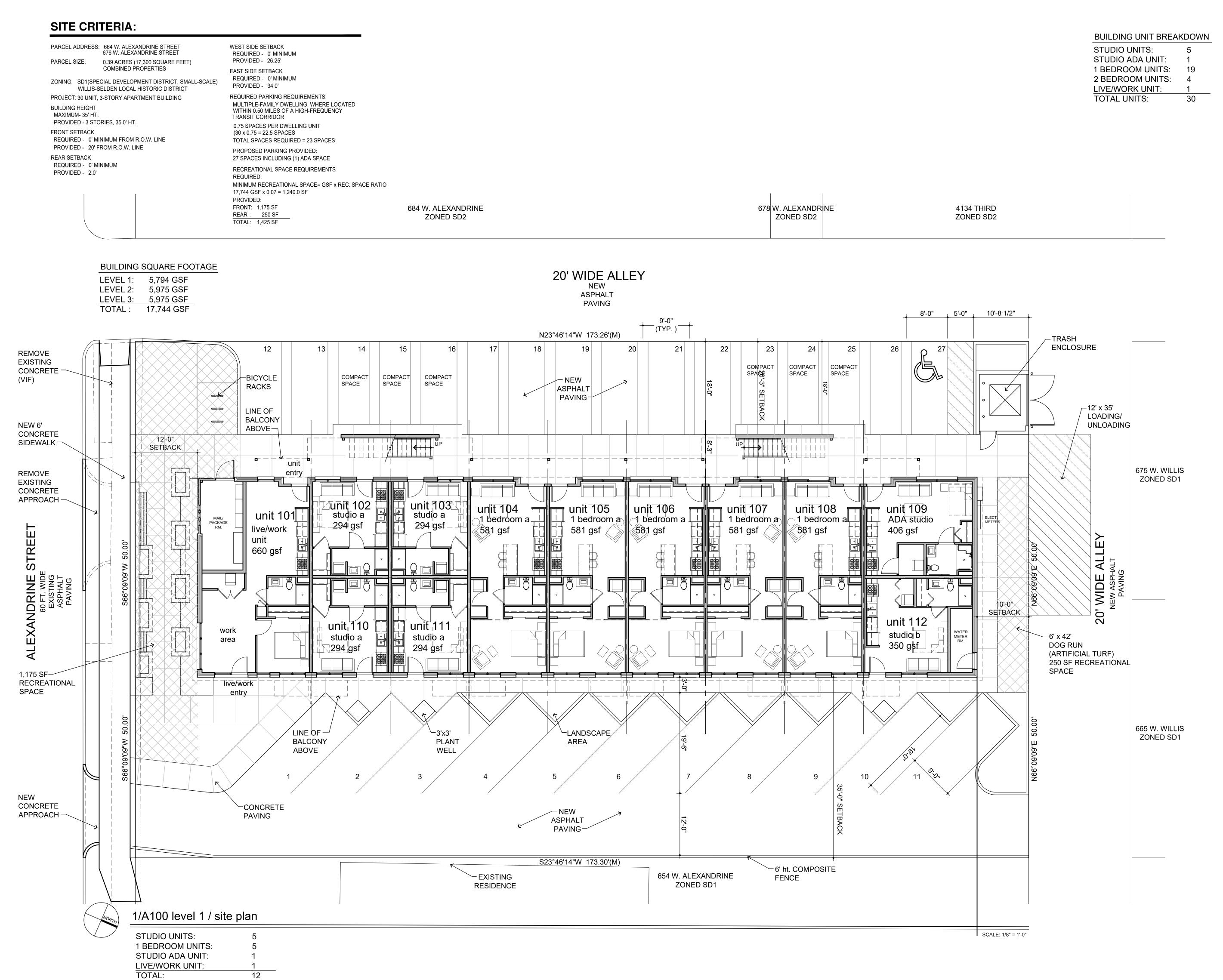
The Ferlito Group 440 Selden Street Detroit, MI 48201

HDC SUBMITTAL-REVISED	02/03/2
HDC SUBMITTAL	11/20/20
SITE PLAN REVIEW SUBMITTAL	09/22/20
CONCEPT DESIGN REVIEW	06/30/20
CONCEPT DESIGN REVIEW	12/30/19
DESCRIPTION	DATE

SHEET TITLE: CONTEXT / HISTORICAL PROJECT NUMBER:

2019-130 RAWN BY:

CHECKED BY:



Bnk Design+Planning LLC

Bnk Design+Planning LLC

Design+Planning

3mk DESIGN + PLANNING, LLC 22 South Laurel Street - Royal Oak - Michigan - 48067 h 248.303.1446

ROJECT:

The Alexandrine Apartment

664-676 W. Alexandrine St. Detroit, MI 48201

The Ferlito Group

440 Selden Street Detroit, MI 48201

HDC SUBMITTAL-REVISED 02/03/21

HDC SUBMITTAL 11/20/20

SITE PLAN REVIEW SUBMITTAL 09/22/20

CONCEPT DESIGN REVIEW 06/30/20

CONCEPT DESIGN REVIEW 12/30/19

DESCRIPTION DATE

SHEET TITLE:

LEVEL 1 FLOOR

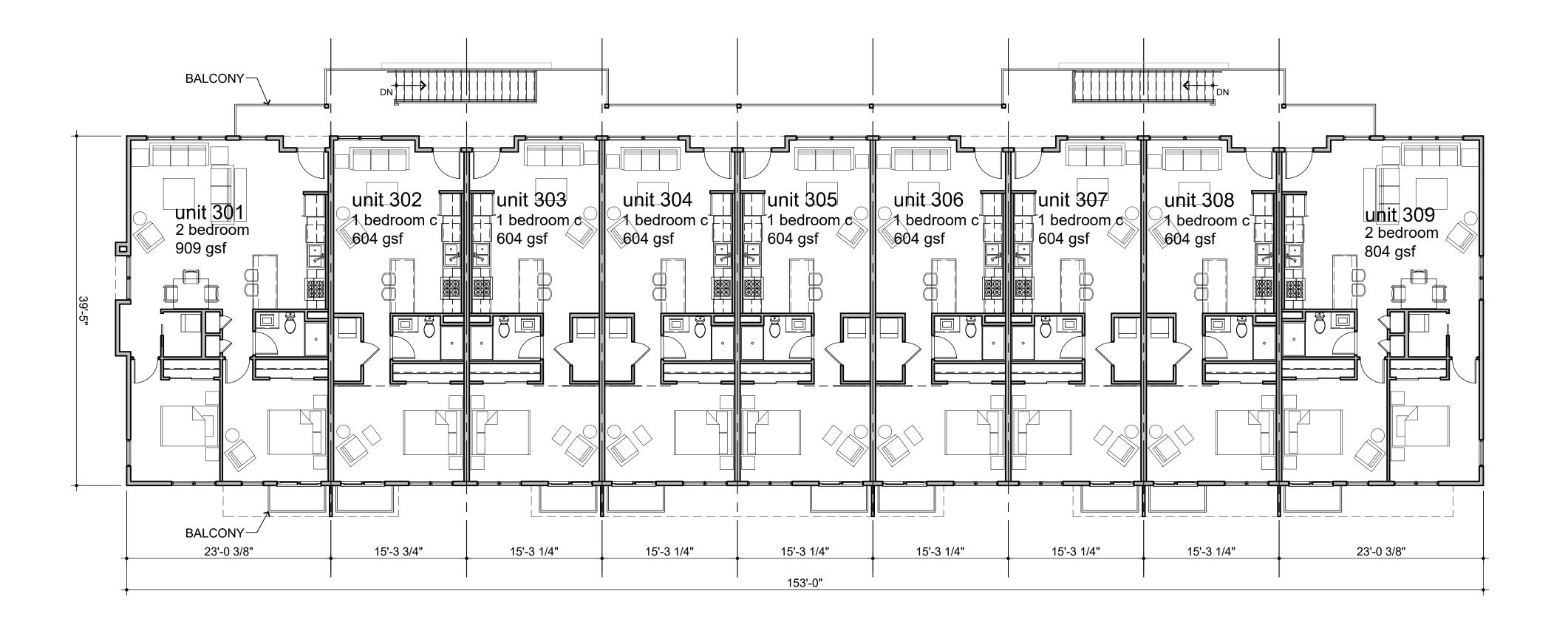
PLAN / SITE PLAN

PROJECT NUMBER:

2019-130
DRAWN BY:
KMB
CHECKED BY:

AEK
SHEET NUMBER:

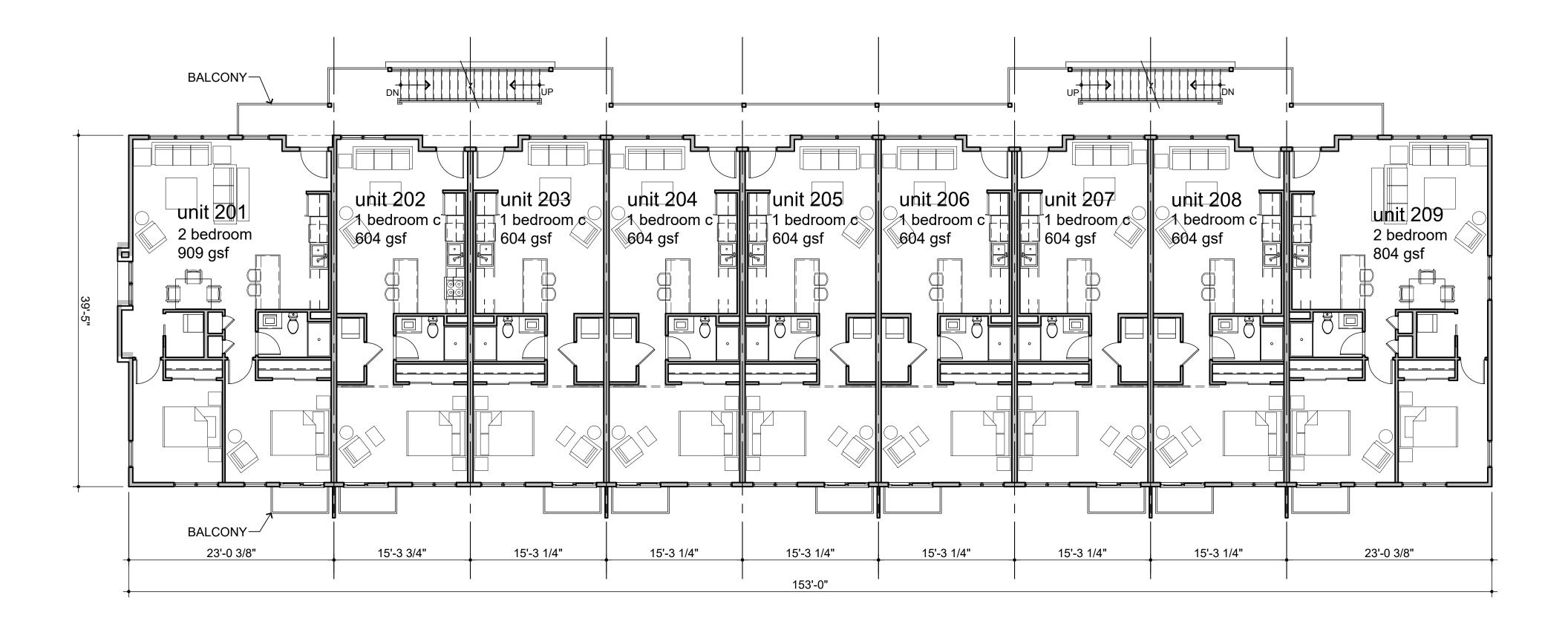
A100

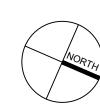


NORTH

2/A101 floor plan - level 3

1 BEDROOM UNITS: 7
2 BEDROOM UNITS: 2
TOTAL: 9





1/A101 floor plan - level 2

1 BEDROOM UNITS: 7
2 BEDROOM UNITS: 2
TOTAL: 9

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

Bnk DESIGN+PLANNING LL

DESIGN+PLANNING

BMK DESIGN + PLANNING, LLC Spring H 122 South Laurel Street - Royal Oak - Michigan - 48067 F Ph 248.303.1446

PROJECT:

The Alexandrine Apartment

664-676 W. Alexandrine St. Detroit, MI 48201

CLIENT

The Ferlito Group

440 Selden Street Detroit, MI 48201

HDC SUBMITTAL-REVISED	02/03/2
HDC SUBMITTAL	11/20/20
SITE PLAN REVIEW SUBMITTAL	09/22/20
CONCEPT DESIGN REVIEW	06/30/20
CONCEPT DESIGN REVIEW	12/30/19
DESCRIPTION	DATE

SHEET TITLE:

LEVEL 2-3 FLOOR PLANS

PROJECT NUMBER: 2019-130

DRAWN BY:

KMB

CHECKED BY:

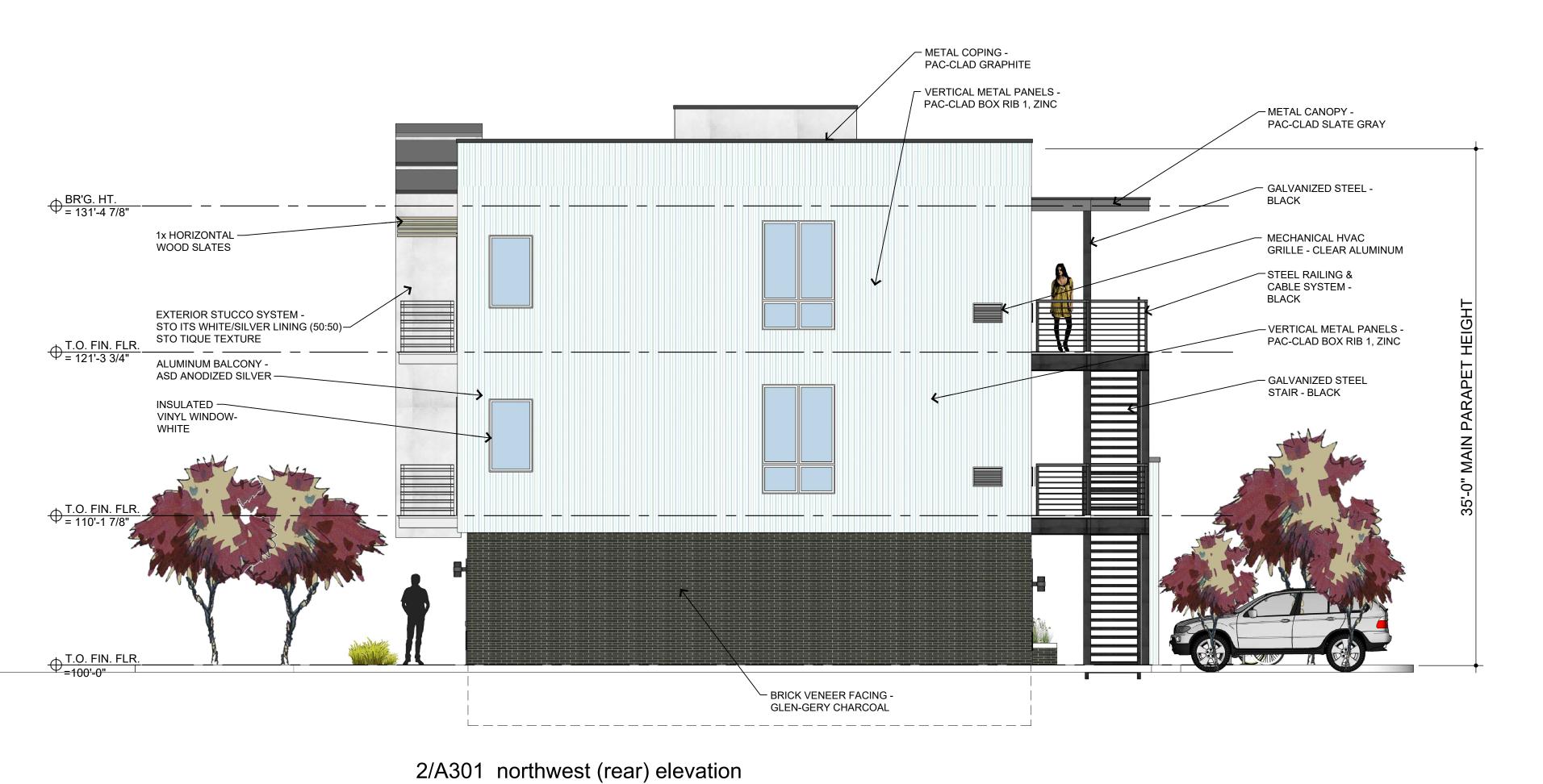
AEK

SHEET NUMBER:

A A O A



ROOF TOP MECHANICAL EQUIPMENT NOTE:
EXTENT OF MECHANICAL EQUIPMENT ON ROOF IS NOT YET DETERMINED. ANY EQUIPMENT
PROPOSED ON THE ROOF SHALL BE SCREENED
IN ACCORDANCE TO ORDINANCE REQUIREMENTS.



SCALE: 3/16" = 1'-0"



opyright 2021 - BmK DESIGN+PLANNING LL DESIGN+PLANNING

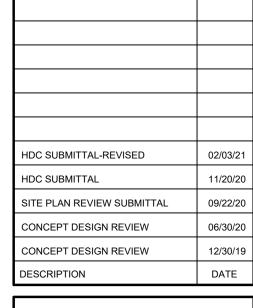
ANNING,
- Michigan -**PL** | 0ak DESIGN
urel Street - R

The Alexandrine Apartment

664-676 W. Alexandrine St. Detroit, MI 48201

The Ferlito Group

440 Selden Street Detroit, MI 48201



SHEET TITLE:

SHEET NUMBER:

SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATIONS

PROJECT NUMBER: 2019-130 DRAWN BY: CHECKED BY:



4/A400 view from the northwest



2/A400 view from the northeast



3/A400 view from the southwest



Bnk DESIGN+PLANNING LL

ROJECT:

The Alexandrine Apartment

664-676 W. Alexandrine St. Detroit, MI 48201

CLIENT:

The Ferlito Group

440 Selden Street Detroit, MI 48201

HDC SUBMITTAL-REVISED	02/03/2
HDC SUBMITTAL	11/20/2
SITE PLAN REVIEW SUBMITTAL	09/22/2
CONCEPT DESIGN REVIEW	06/30/2
CONCEPT DESIGN REVIEW	12/30/1
DESCRIPTION	DATE

SHEET TITLE:

FXTFRIOF

EXTERIOR IMAGES

PROJECT NUMBER:

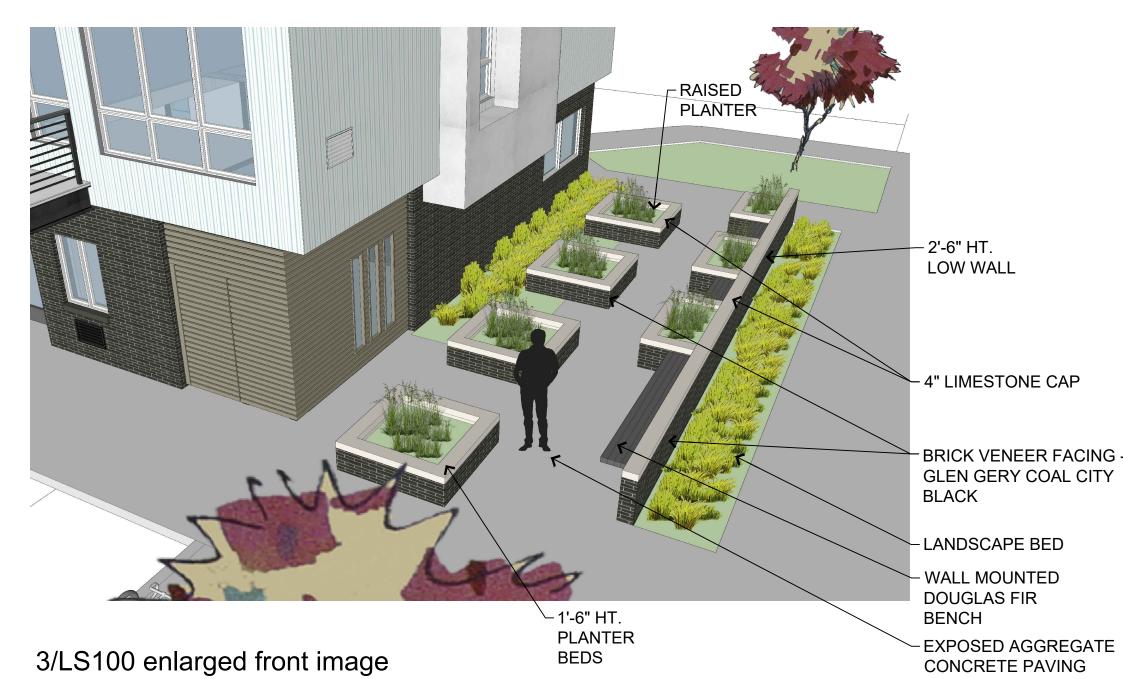
2019-130

DRAWN BY:

CHECKED BY:

SHEET NUMBER:

A400























ANNING, S. **U**rel 446

The Alexandrine Apartment

opyright 2021 - BmK DESIGN+PLANNING LL

DESIGN+PLANNING

664-676 W. Alexandrine St. Detroit, MI 48201

The Ferlito Group 440 Selden Street Detroit, MI 48201

HDC SUBMITTAL-REVISED SITE PLAN REVIEW SUBMITTAL CONCEPT DESIGN REVIEW CONCEPT DESIGN REVIEW

SHEET TITLE: LANDSCAPE/ HARDSCAPE PLAN

PROJECT NUMBER: 2019-130 DRAWN BY:

CHECKED BY:

SHEET NUMBER:

Permit No.:





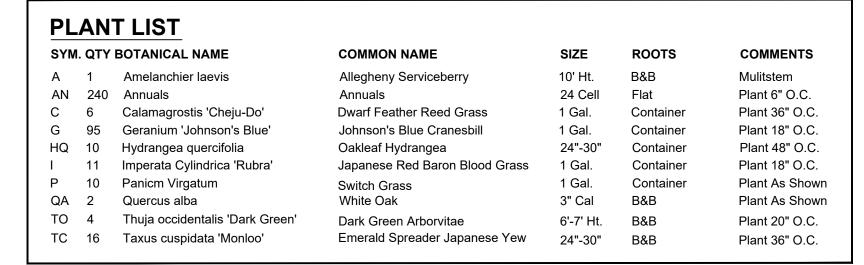


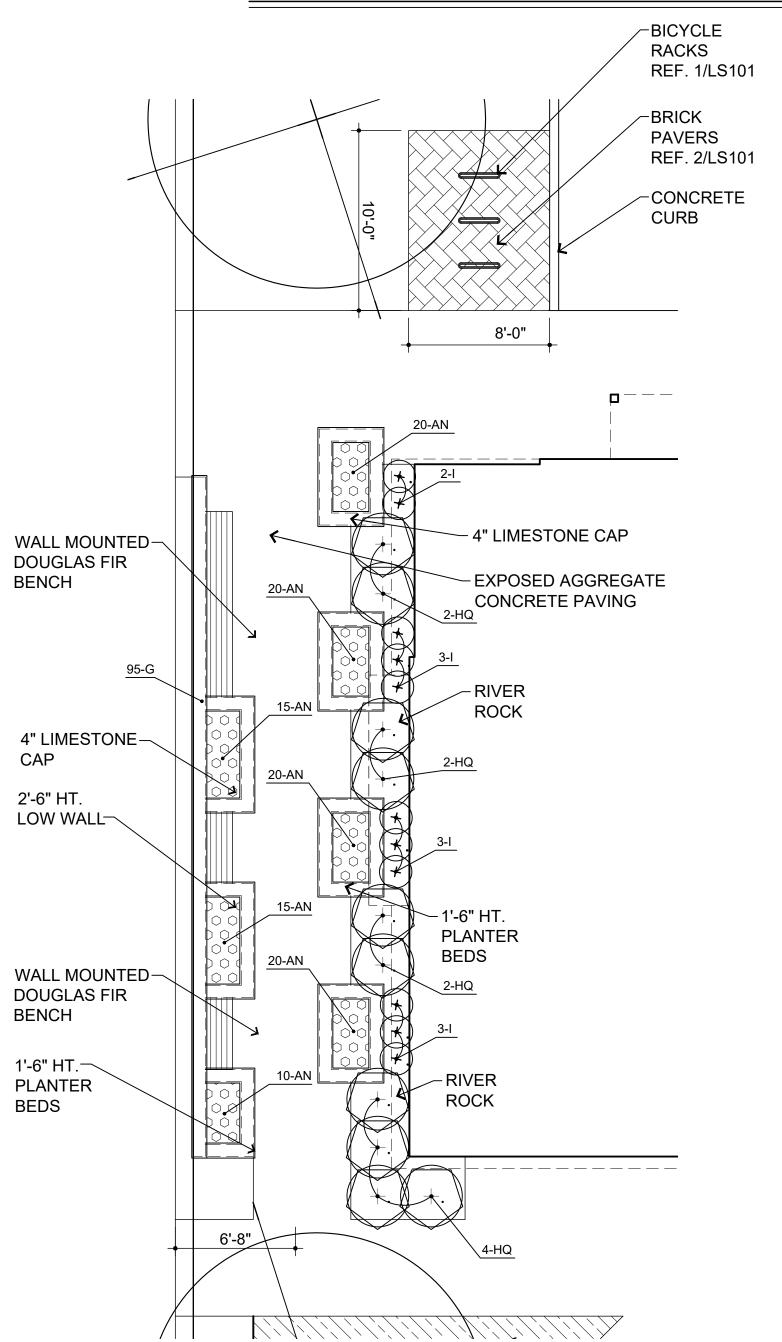






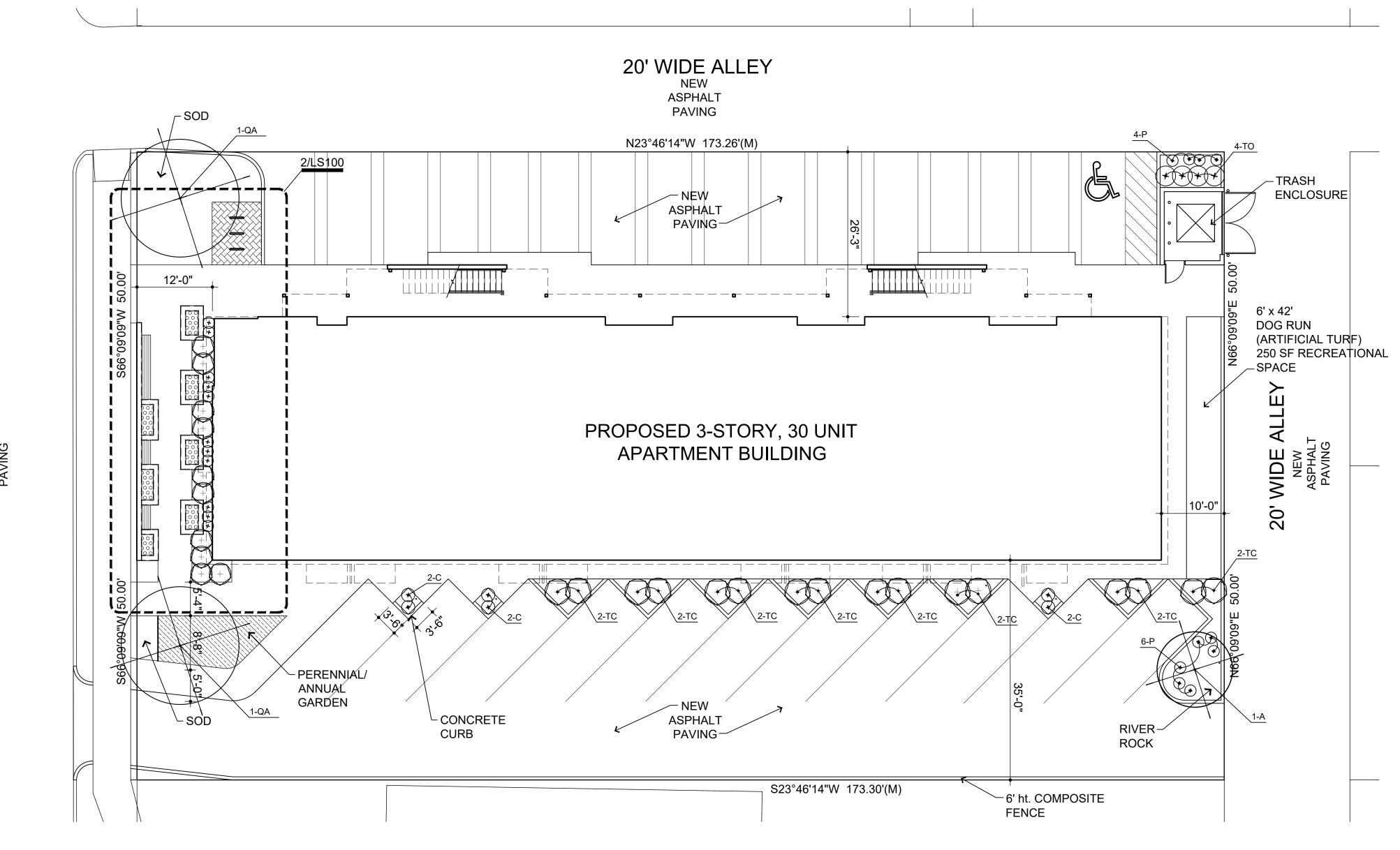
560.1 SF PROVIDED WITH 3 SHADE TREES





2/LS100 enlarged front area plan

SCALE: 3/16" = 1'-0"





1/LS100 landscape/hardscape plan

IRRIGATION:

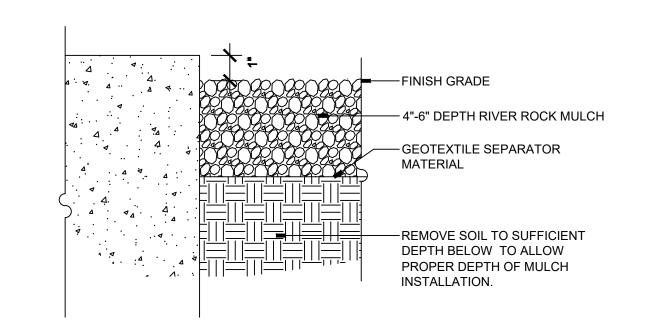
ALL LANDSCAPED, ROW AND SODDED AREAS TO BE IRRIGATED

BY AN AUTOMATIC SPRINKLER



4/LS101 wall mounted bench detail

TIMBERFORM GREENWAY MODEL NO. 2144-6 WALL-MOUNT SEAT



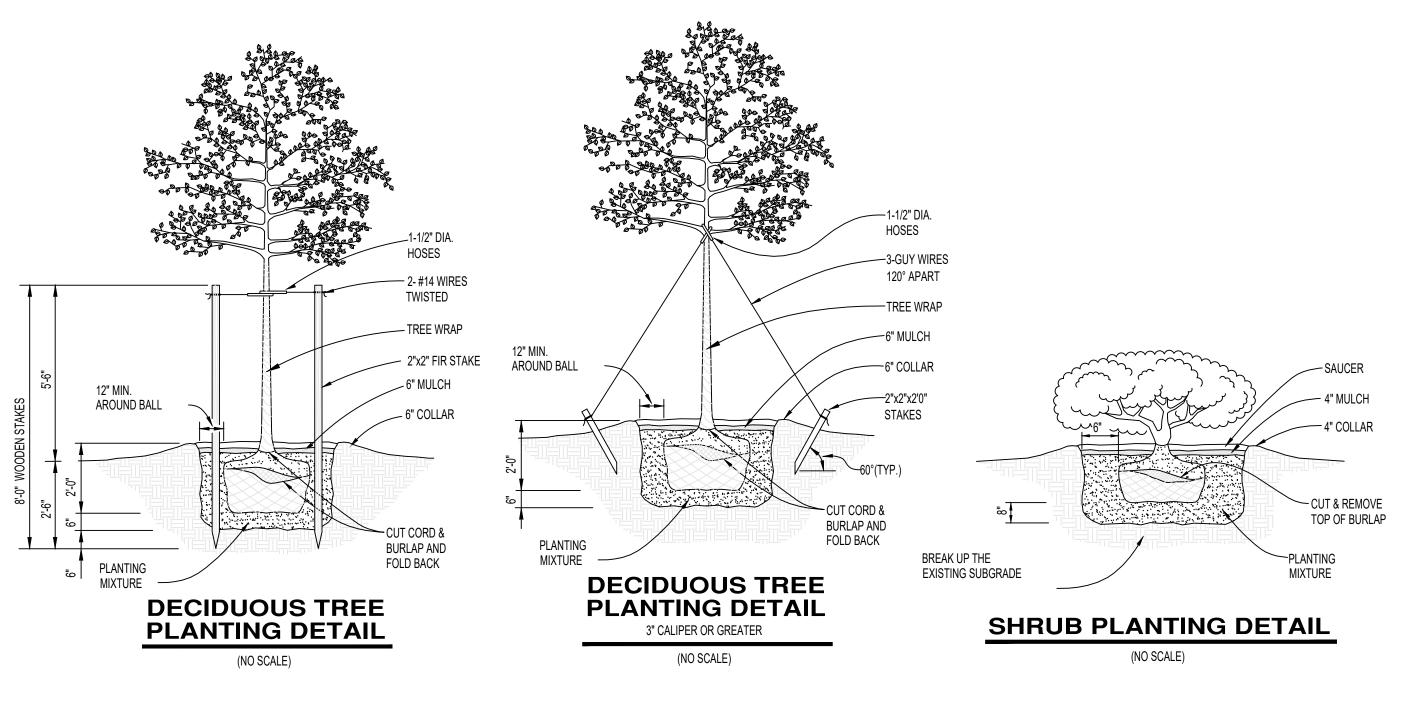
SAMPLE IMAGE

3/LS101 river rock mulch detail

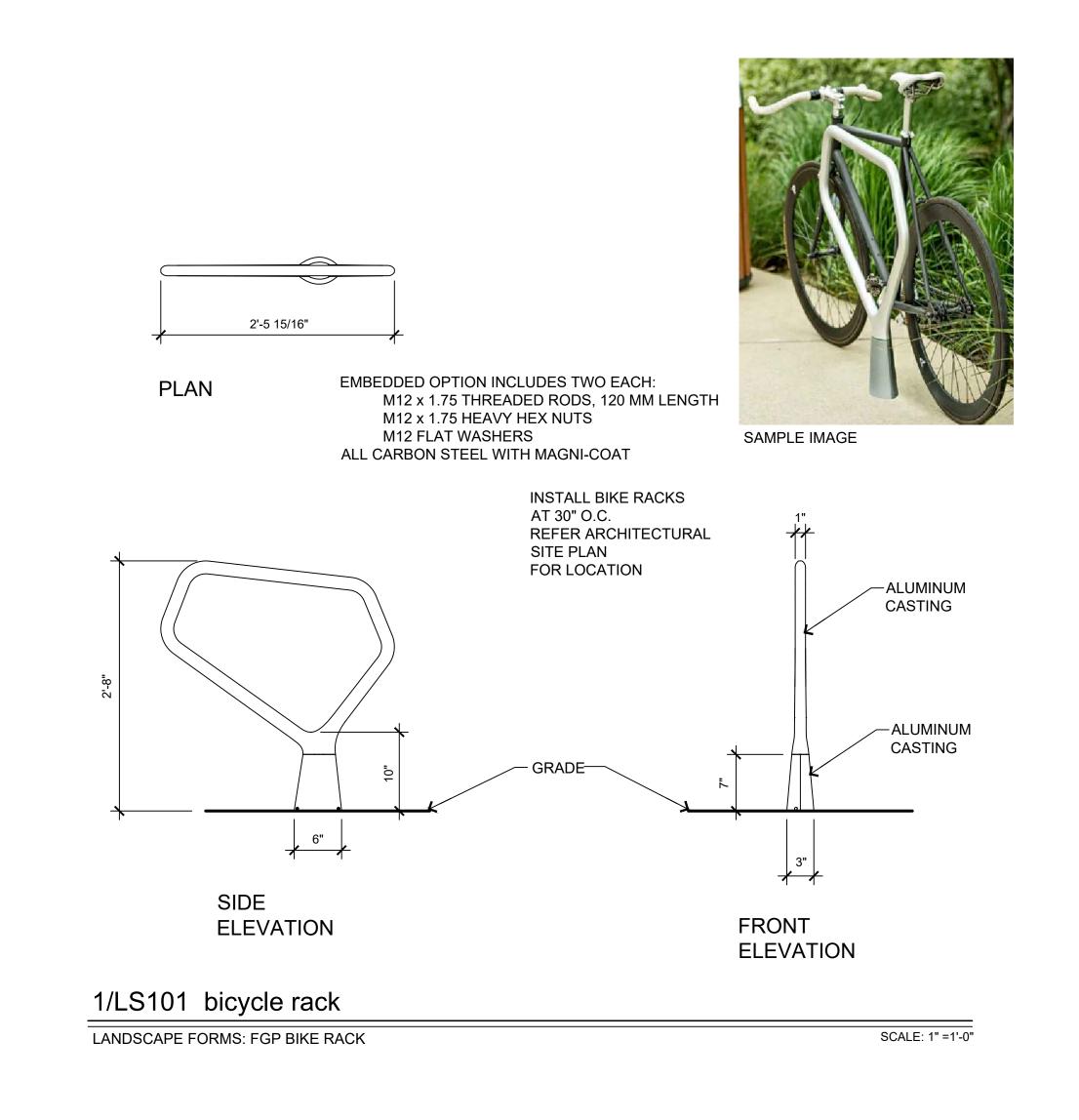


2/LS101 brick paver material and detail

UNILOCK: NUVOLA



5/LS101 planting details





PROJECT:

The Alexandrine Apartment

664-676 W. Alexandrine St. Detroit, MI 48201

CLIENT:

The Ferlito Group

440 Selden Street Detroit, MI 48201

HDC SUBMITTAL-REVISED	02/03/2
HDC SUBMITTAL	11/20/2
SITE PLAN REVIEW SUBMITTAL	09/22/2
CONCEPT DESIGN REVIEW	06/30/2
CONCEPT DESIGN REVIEW	12/30/1
DESCRIPTION	DATE

SHEET TITLE:

LANDSCAPE

DETAILS

PROJECT NUMBER:
2019-130

DRAWN BY:

KMB

CHECKED BY:

AEK
HEET NUMBER:

LS101