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MEMO

To: Files

From: Rob Mawson

cc: John Tess

Date: February 25, 2019

Re: Supplemental Photos, Marlboro Apartments, 1031 Marlborough, Detroit, MI

As the project has moved forward into the construction phase, it has become apparent that elements of the extant building material have been damaged and have deteriorated beyond repair. The building has been open to the elements for over a decade, and experienced at least one significant fire, resulting in partial structural collapse.

The Part 2 photo set, taken by Heritage in May 2017, was representative but not exhaustive. To provide more comprehensive documentation of the building, the architect, EGI, Inc., photographed the interior completely in February 2019, documenting conditions in every corridor and unit. These photographs are keyed to a floor plan included herein.

There are three particular areas of damage: the plaster walls and ceiling, wood flooring, and bathroom tiles.

Generally, plaster was applied directly to the perimeter brick walls and fire walls. Elsewhere, such as partition walls, the plaster was applied to lathe. The plaster condition throughout the building is poor, as exposure to the elements, fire damage, and vandalism have had a long term negative effect on the overall integrity of the plaster and the underlying lathe has been damaged. Water damage is evident generally throughout all floors, as well as specific damage resulting from structural failures, fires, and vandalism. Damage is so consistent and extensive that the extant plaster walls and ceilings cannot be repaired.

Flooring throughout the building is wood. The floors consist of two basic types; one is found in the corridor and one in the units. Corridor floors are tongue and groove oak flooring, 3 ¼ inches wide and approximately ¾ inches thick. Unit floors are also tongue and groove oak, 2 ½ inches wide and approximately ¾ inches thick. Floors in proximity to exterior walls are in especially poor condition, where broken windows and the failures in the roof have allowed prolonged exposure to the elements. Years of freeze-thaw cycles have accelerated damage to the wood

flooring beyond the exposed finish layer into underlayment and framing. In many areas the floor has buckled. Approximately half of the building's flooring is in failing condition or simply missing, leaving gaping holes to the level below. The floors were inspected and evaluated by a flooring contractor, CIC Industries, in early 2019. They have prepared a letter, dated February 18, 2019 summarizing their assessment of the floor conditions in the building. It is their conclusion that the flooring system, including the underlayment, needs to be entirely replaced.

Typically bathrooms had subway-style tile. Vandals have accessed the building and stripped fixtures, piping, and tiling. Bathroom tiles on both the walls and floors are severely cracked, or have been damaged or removed, particularly around where fixtures and piping have been removed. As can be seen in the photos, the tiles have been installed in a manner that does not accommodate structural flexing. Unlike as one would expect with brick and mortar, where when there is a deficiency the mortar cracks and not the brick, in the case of this tile installation it is not the mortar but the tile itself that cracks. Because of this, as the building weathered and structurally deteriorated, this resulted in damage to the tile throughout. None of the tile walls are intact. Damage is so severe and consistent as to preclude rehab.

Marlboro Apartments Photo Log
1031 Marlborough, Detroit, MI
February 2019

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3	KIMG0075	Interior View, First Floor, Corridor at East, Looking West
4	KIMG0076	Interior View, First Floor, Corridor at East, Looking West
5	KIMG0077	Interior View, First Floor, Corridor at Center, Looking West
6	KIMG0079	Detail View, First Floor, Plaster Conditions, Looking Northeast, Typical
7	KIMG0080	Interior View, First Floor, Corridor at West, Looking West
8	KIMG0082	Interior View, Corridor at West, Looking Northwest
9	KIMG0084	Interior View, Stair at West, Looking West
10	KIMG0125	Interior View, First Floor, Unit 1A, Looking North
11	KIMG0126	Interior View, First Floor, Unit 1A, Looking Northeast
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19	KIMG0134	Interior View, First Floor, Unit 1A, Bedroom, Looking Southwest
20	KIMG0135	Interior View, First Floor, Unit 1A, Bedroom, Looking Northwest
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23	KIMG0158	Interior View, First Floor, Unit 1B, Looking West
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25	KIMG0146	Interior View, First Floor, Unit 1B, Looking Southwest
26	KIMG0145	Interior View, First Floor, Unit 1B, Kitchen, Looking Northeast
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33	KIMG0166	Interior View, First Floor, Unit 1C, Looking Southeast
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35	KIMG0172	Interior View, First Floor, Unit 1C, Looking South
36	KIMG0175	Interior View, First Floor, Unit 1C, Looking Southeast
37	KIMG0168	Interior View, First Floor, Unit 1C, Kitchen, Looking Northwest
38	KIMG0167	Interior View, First Floor, Unit 1C, Kitchen, Looking Northeast
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Photos by Edwards Group International, Inc. (architect)

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43	KIMG0184	Interior View, First Floor, Unit 1C, Bathroom, Looking Northwest
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45	KIMG0191	Interior View, First Floor, Unit 1D, Looking Northwest
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Photos by Edwards Group International, Inc. (architect)

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113	KIMG0026	Interior View, Third Floor, Unit 3B, Bathroom, Looking South
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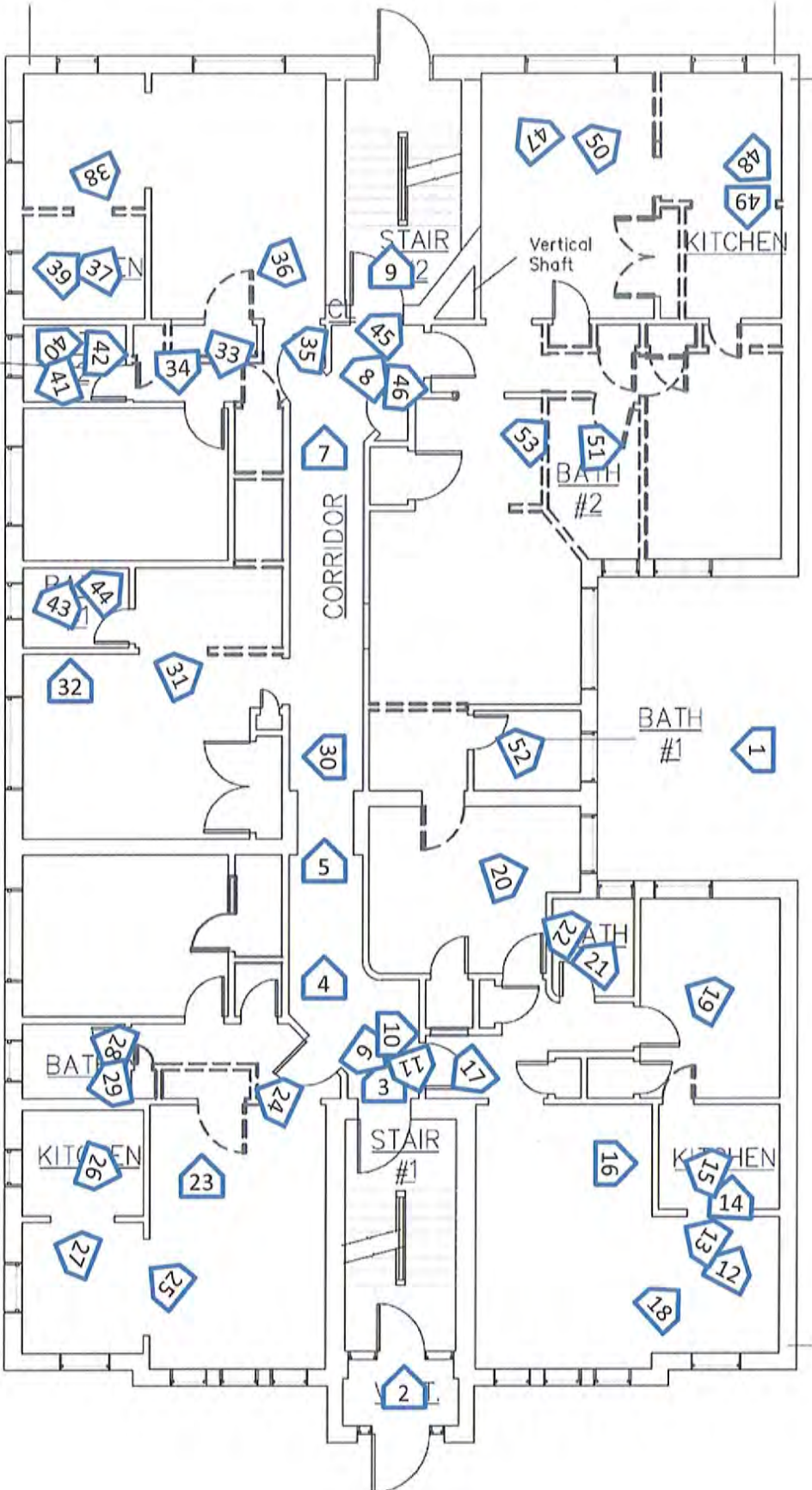
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115	KIMG0032	Interior View, Third Floor, Unit 3C, Looking Southeast
116	KIMG0033	Interior View, Third Floor, Unit 3C, Looking Southwest
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119	KIMG0039	Interior View, Third Floor, Unit 3D, Looking West
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122	KIMG0041	Interior View, Third Floor, Unit 3D, Kitchen, Looking Northwest
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147	KIMG0244	Interior View, Basement, B3, Type C, Bathroom, Looking Southeast
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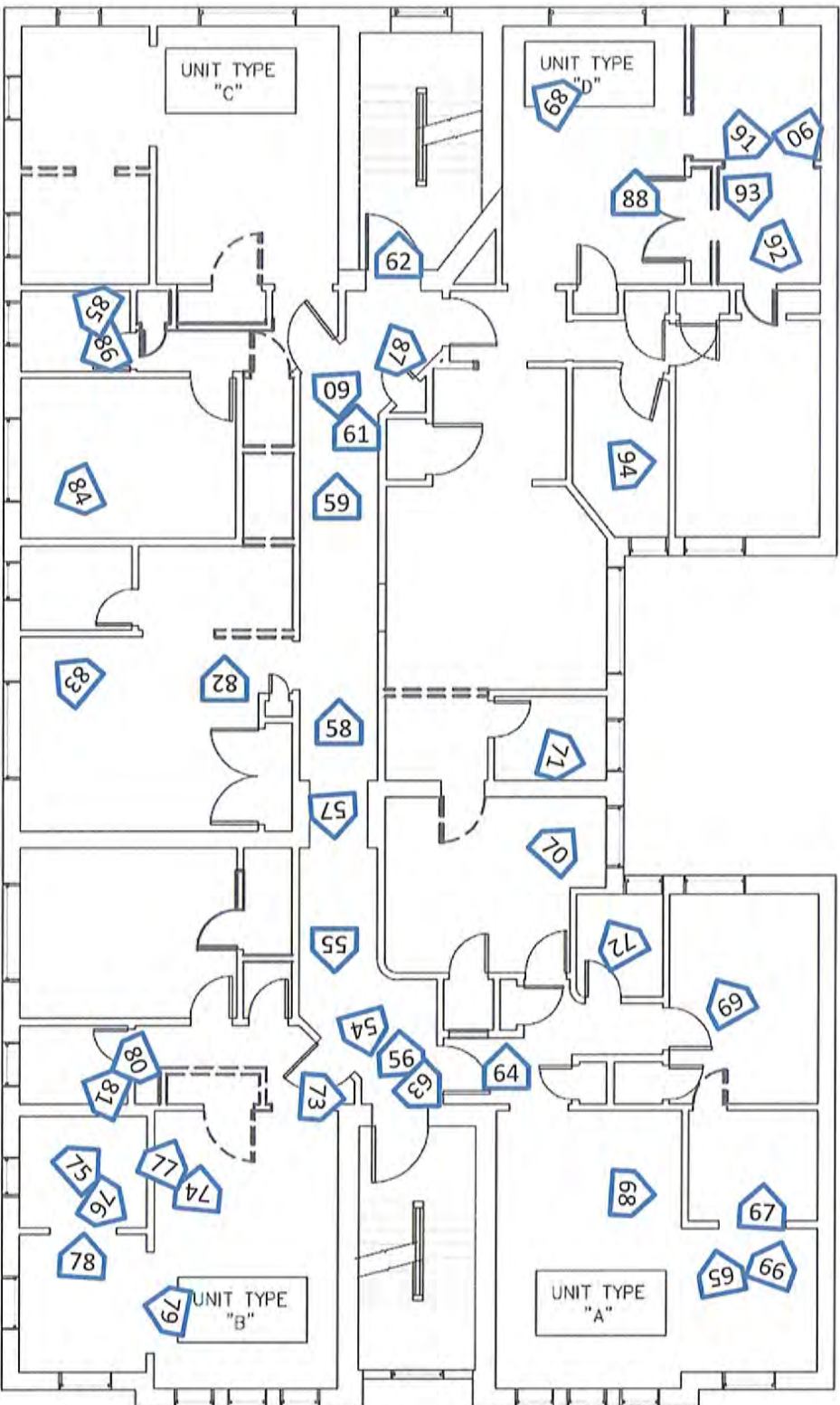
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First Floor Photographs 1 - 53
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Plan North
↑



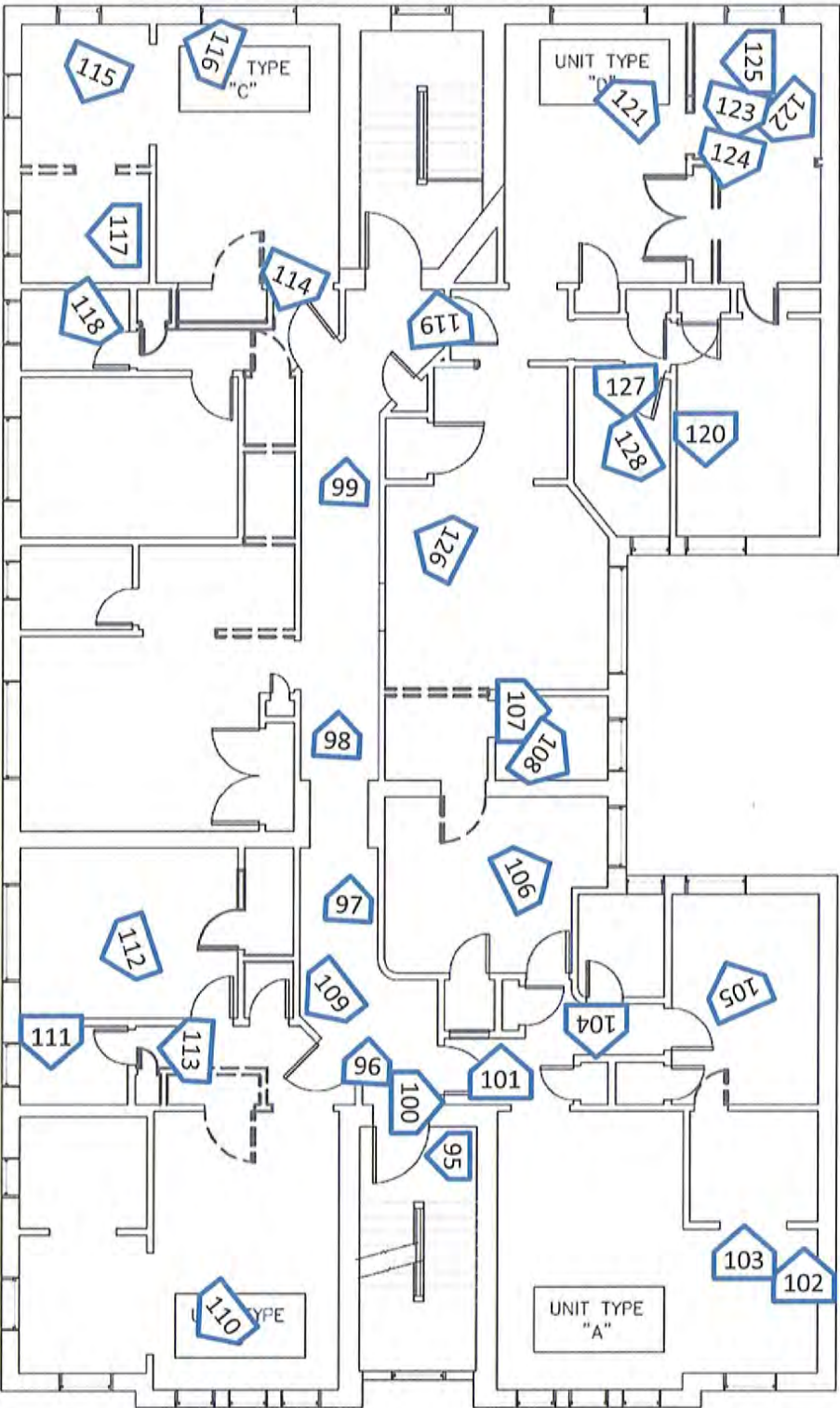
Marlboro Apartments
Second Floor Photographs 54-94
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Plan North
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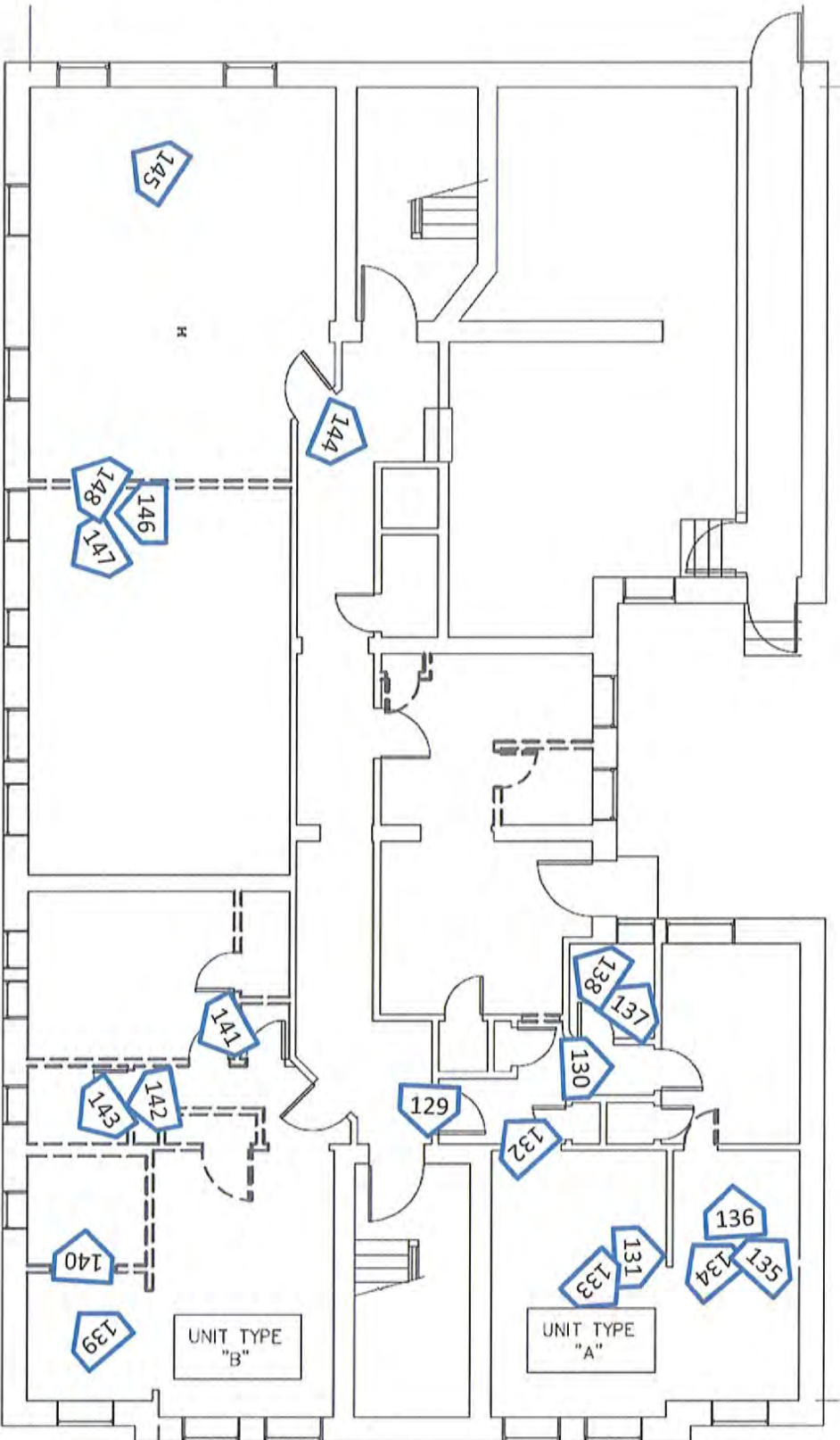
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Plan North



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Basement Photographs 129 -148
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Plan North
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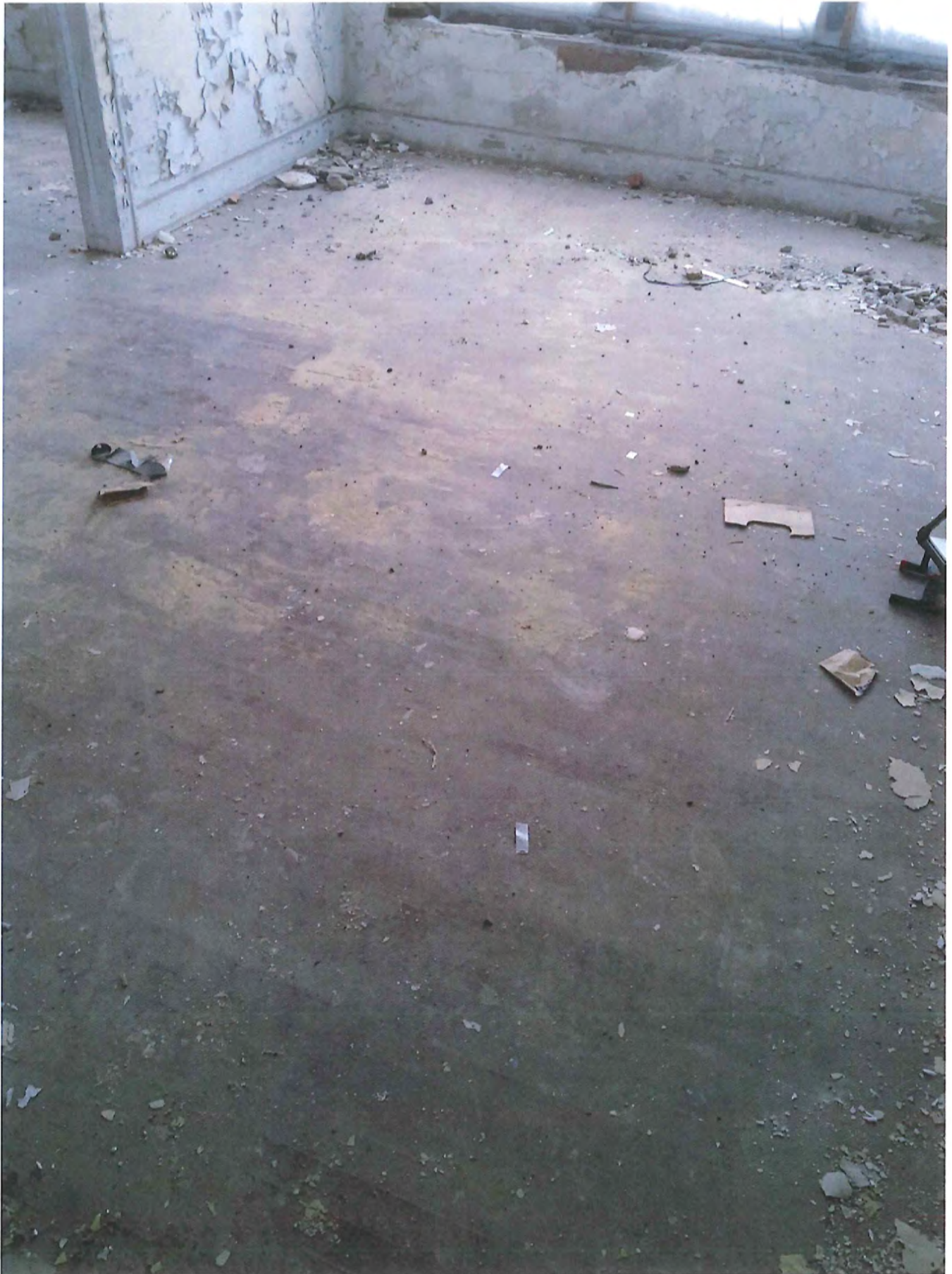
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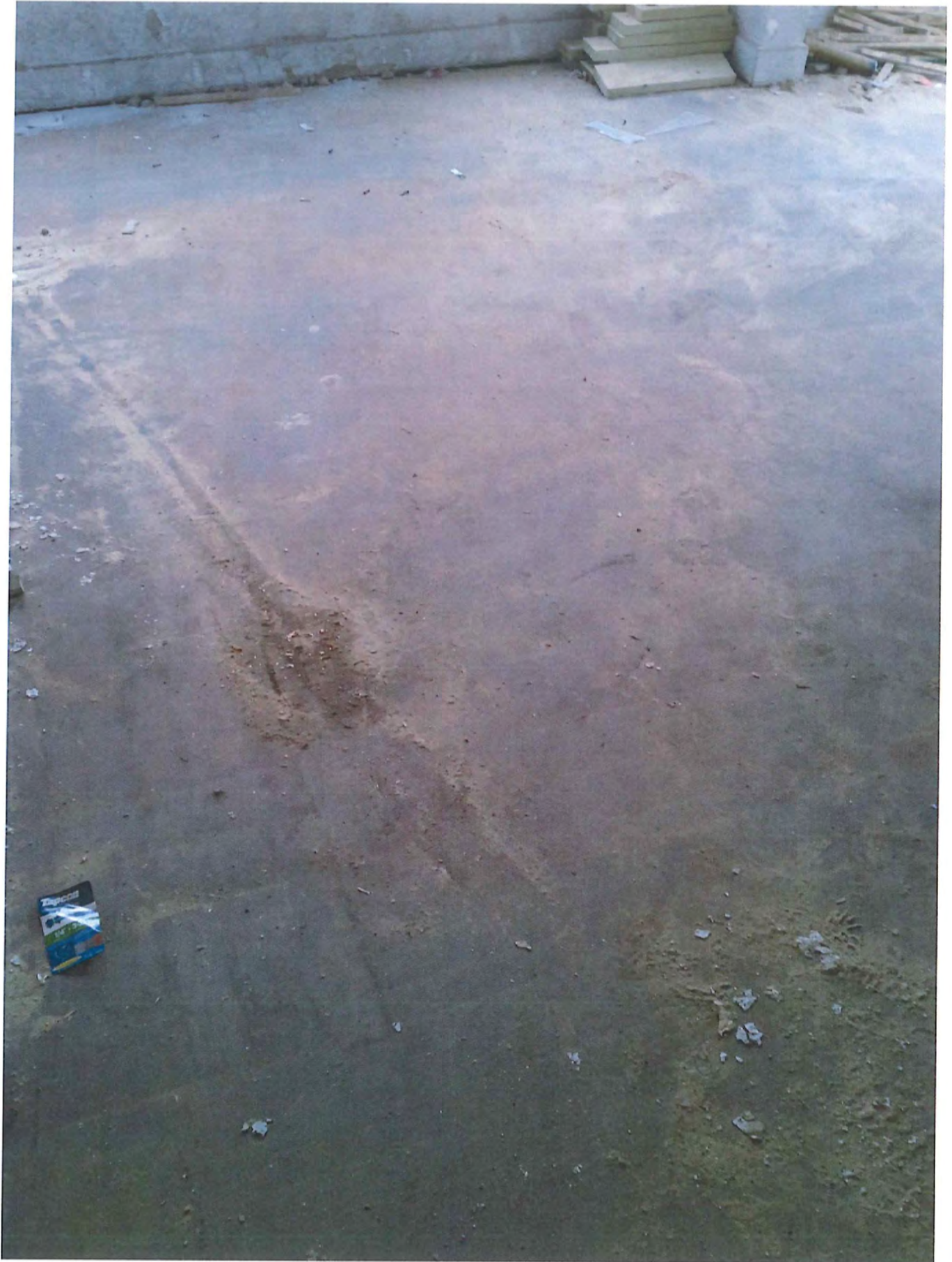
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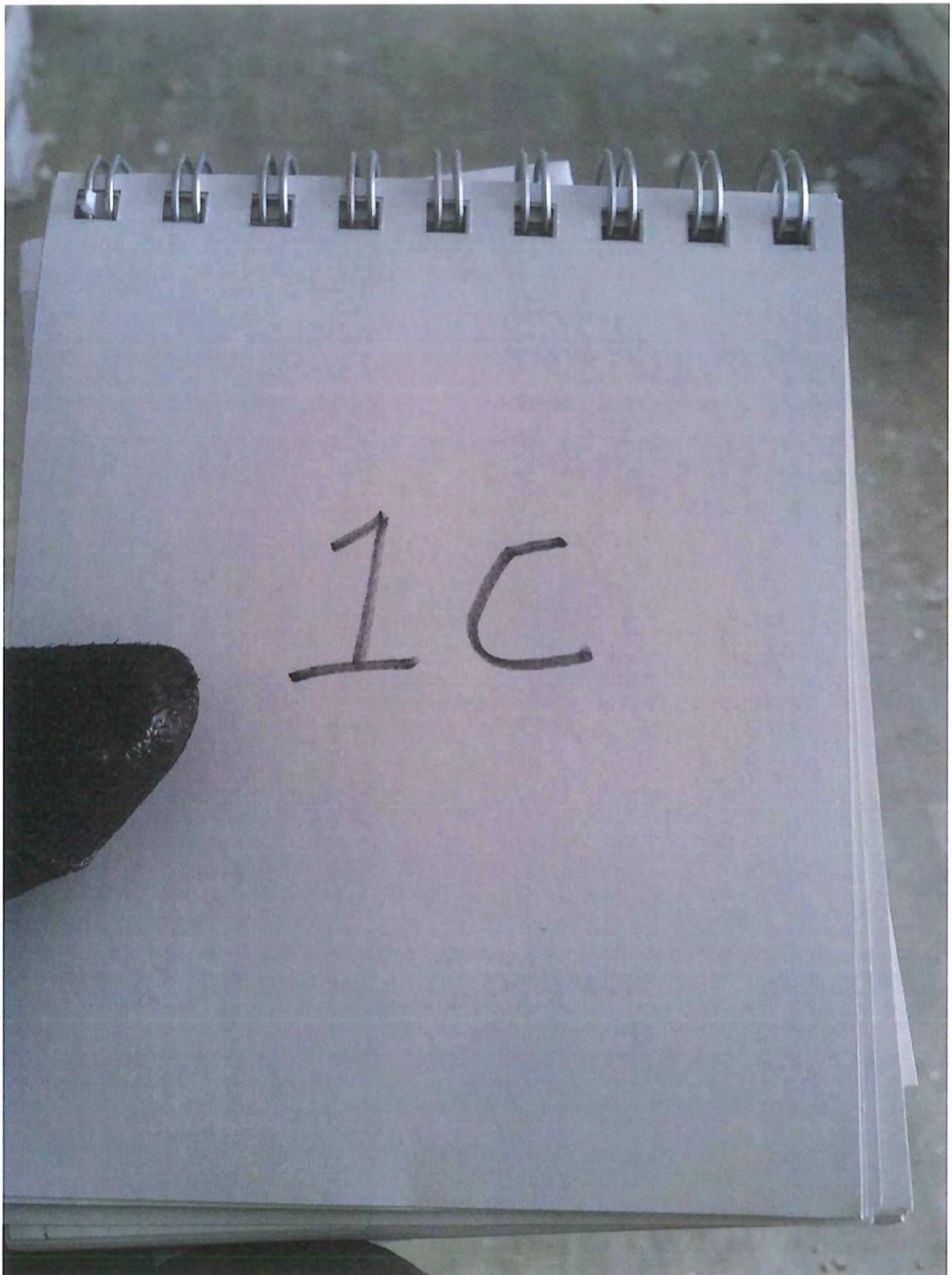
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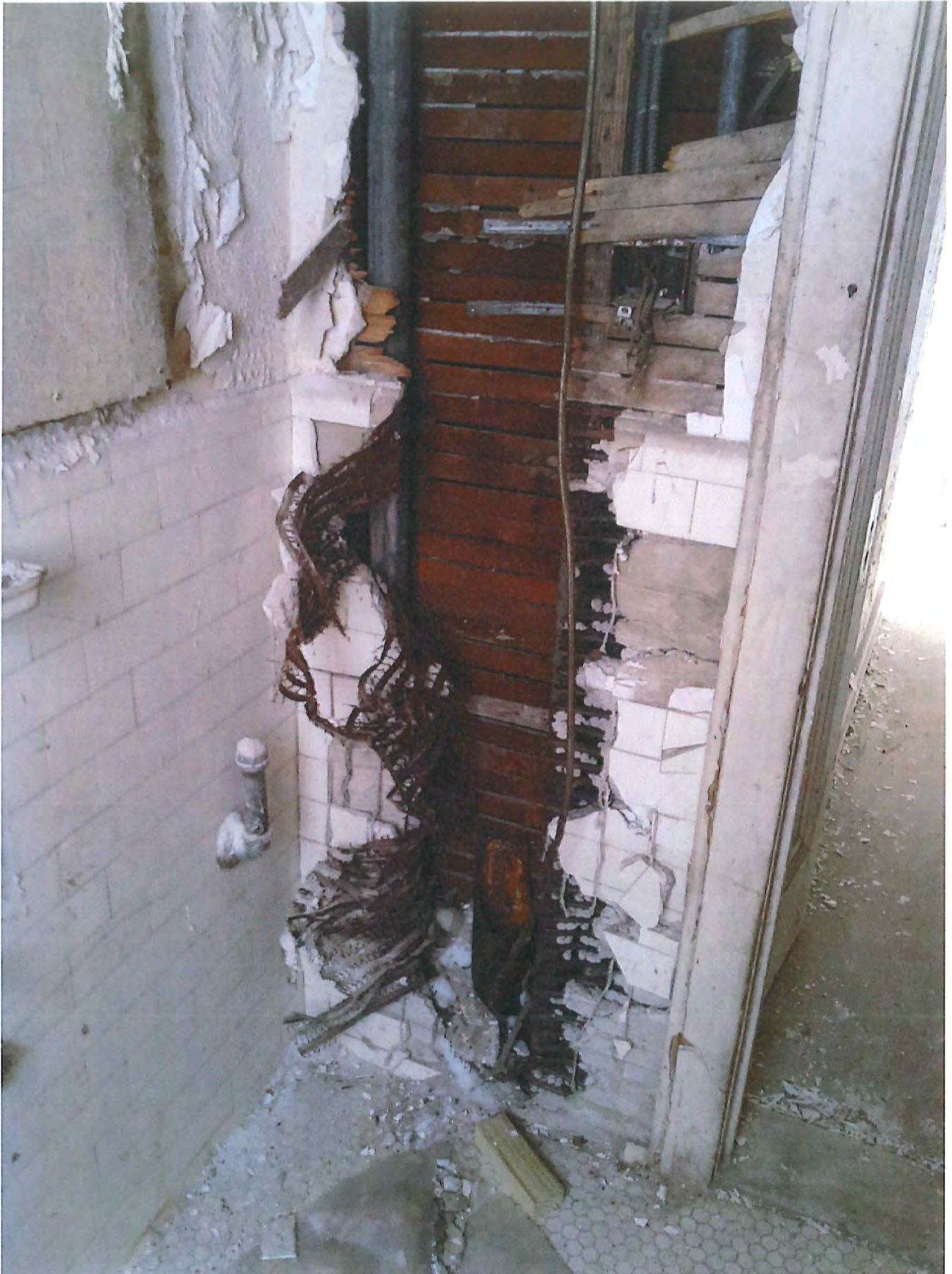
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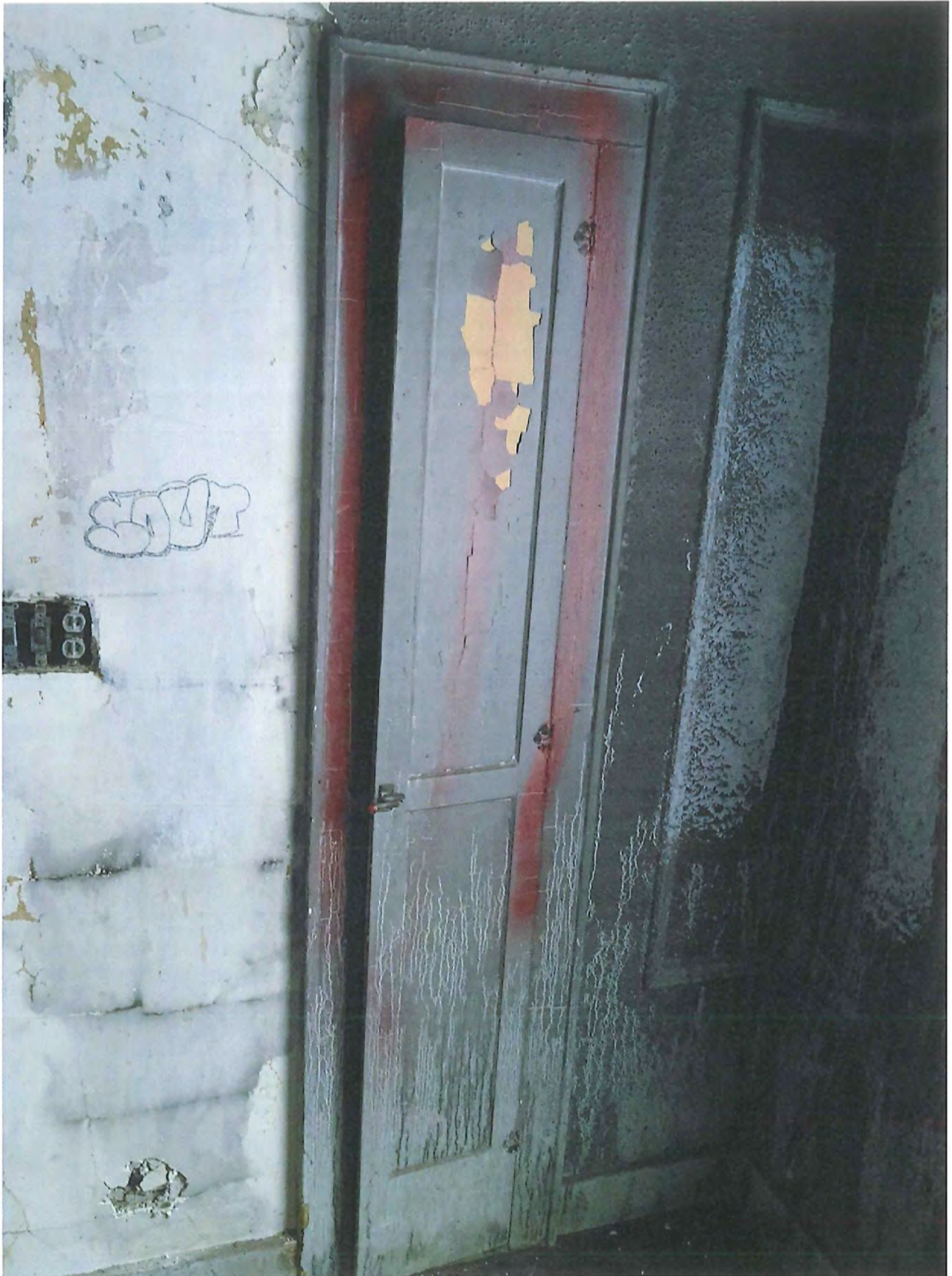
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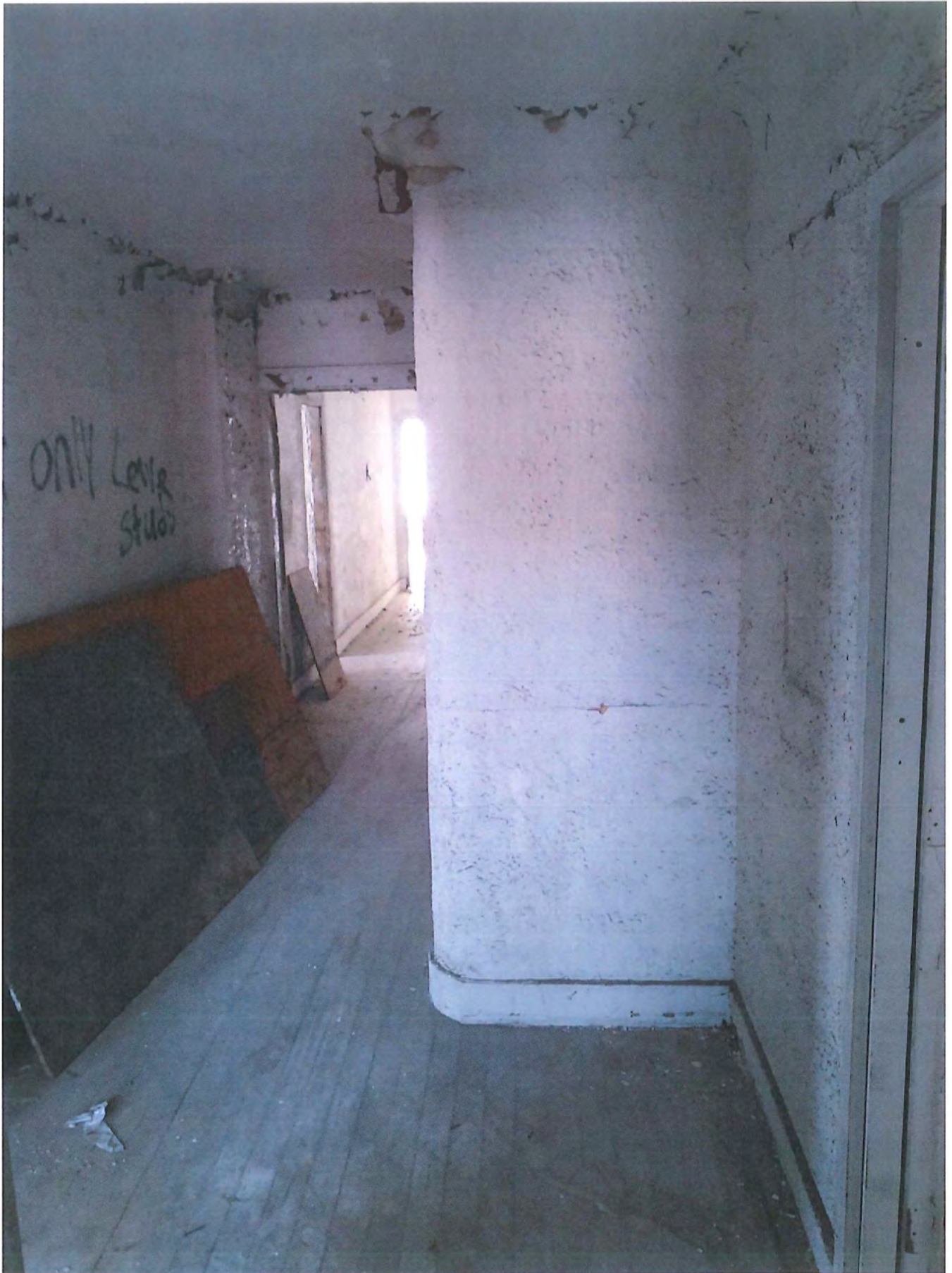
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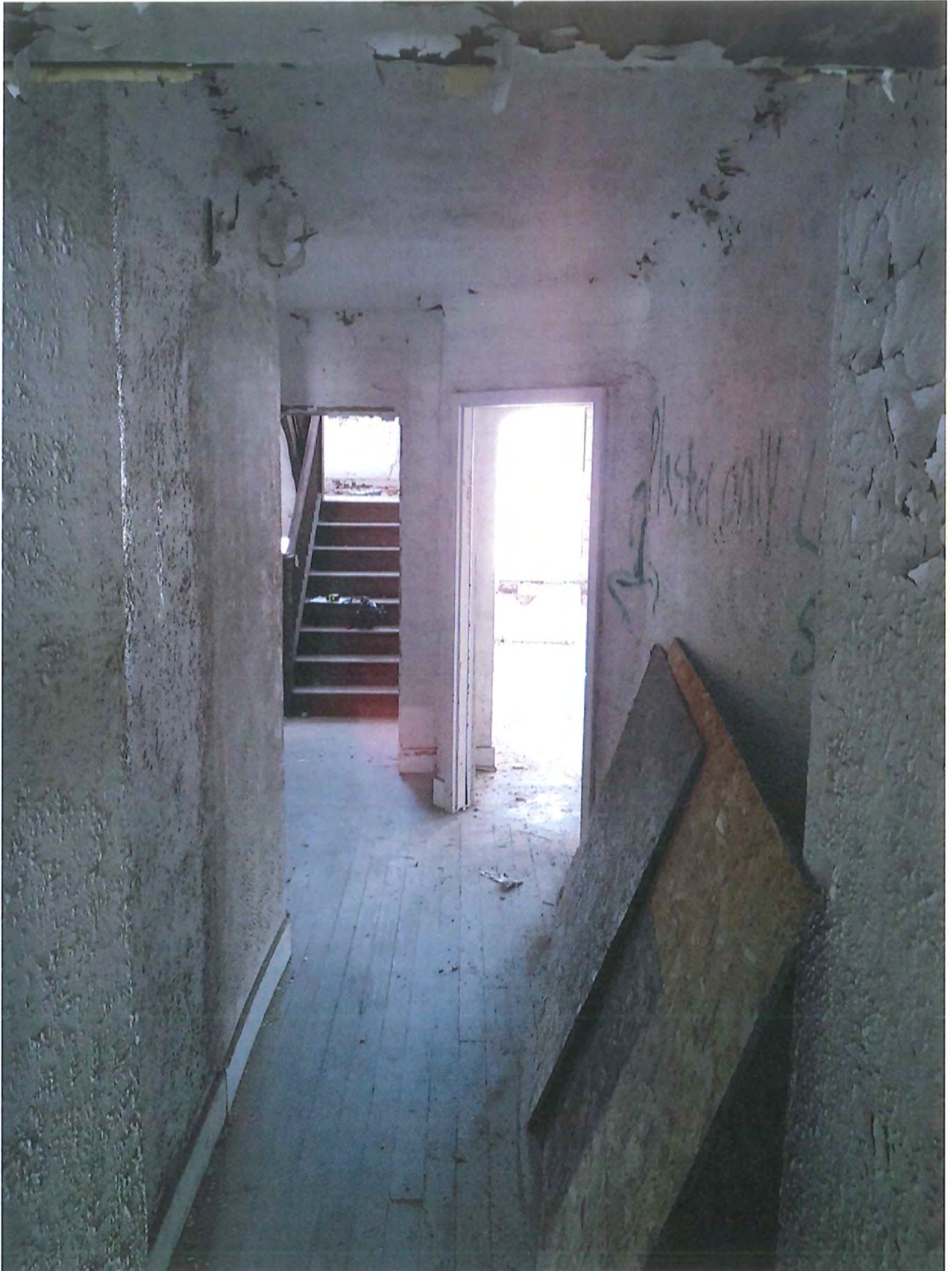
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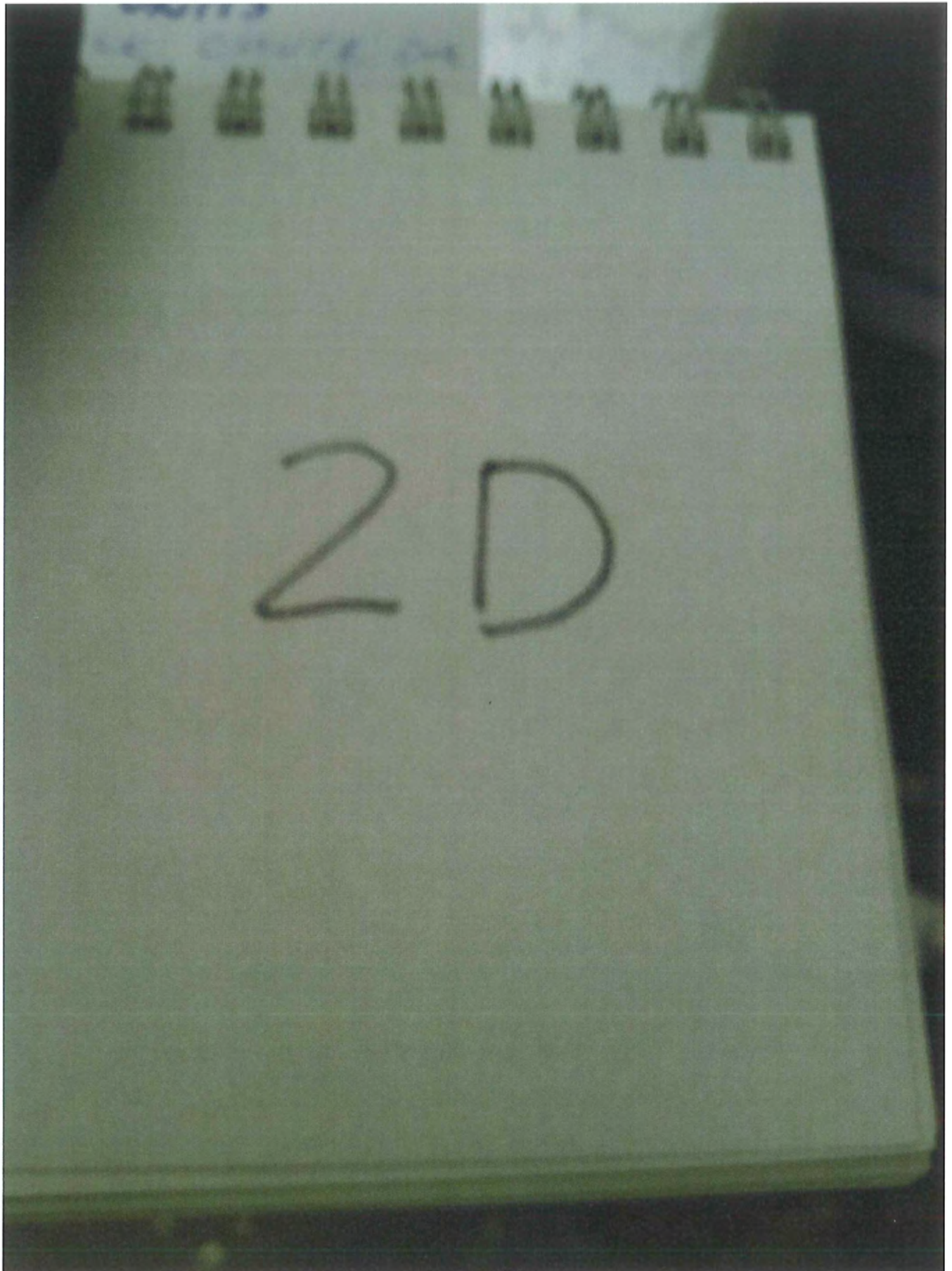
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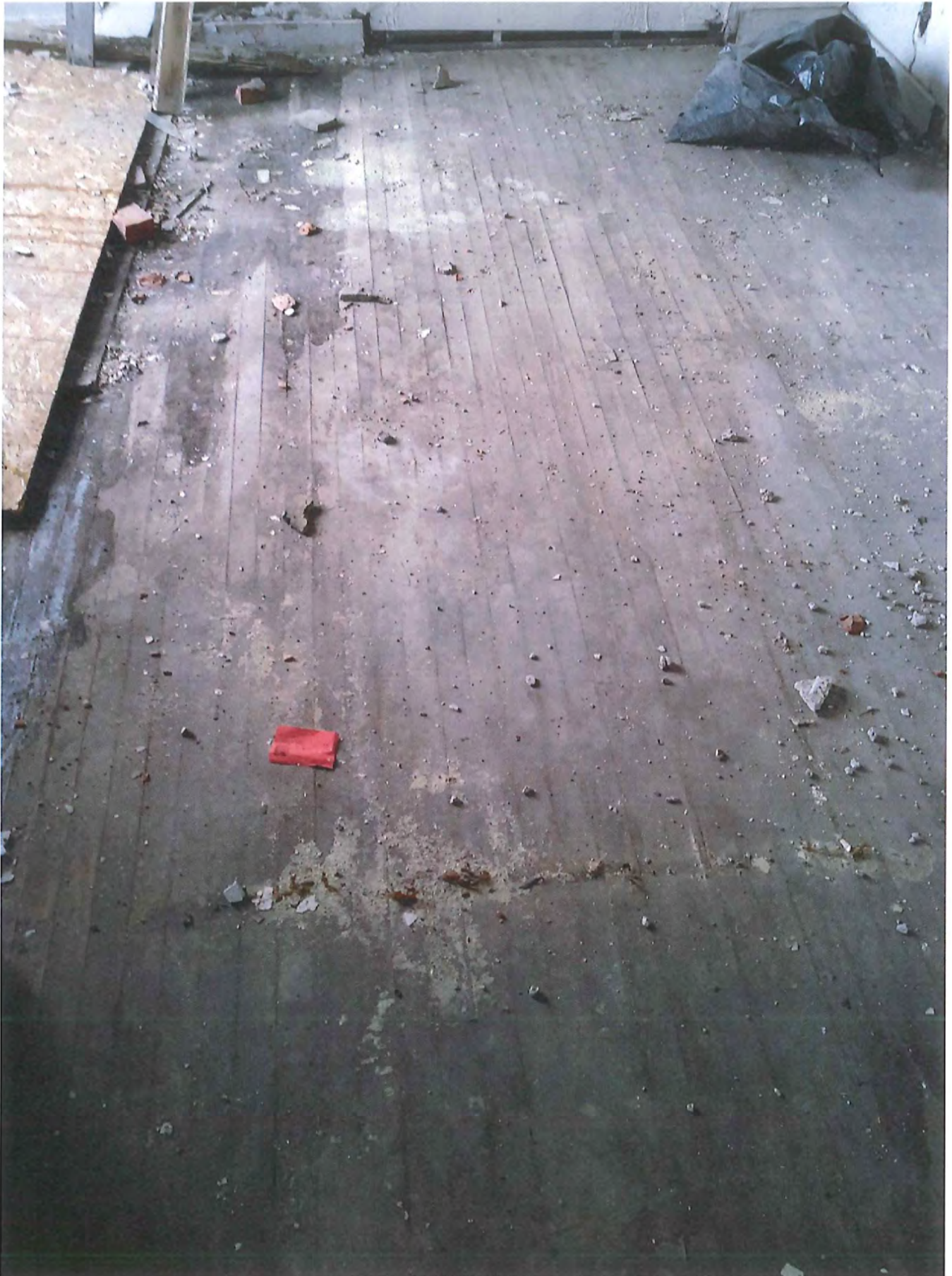
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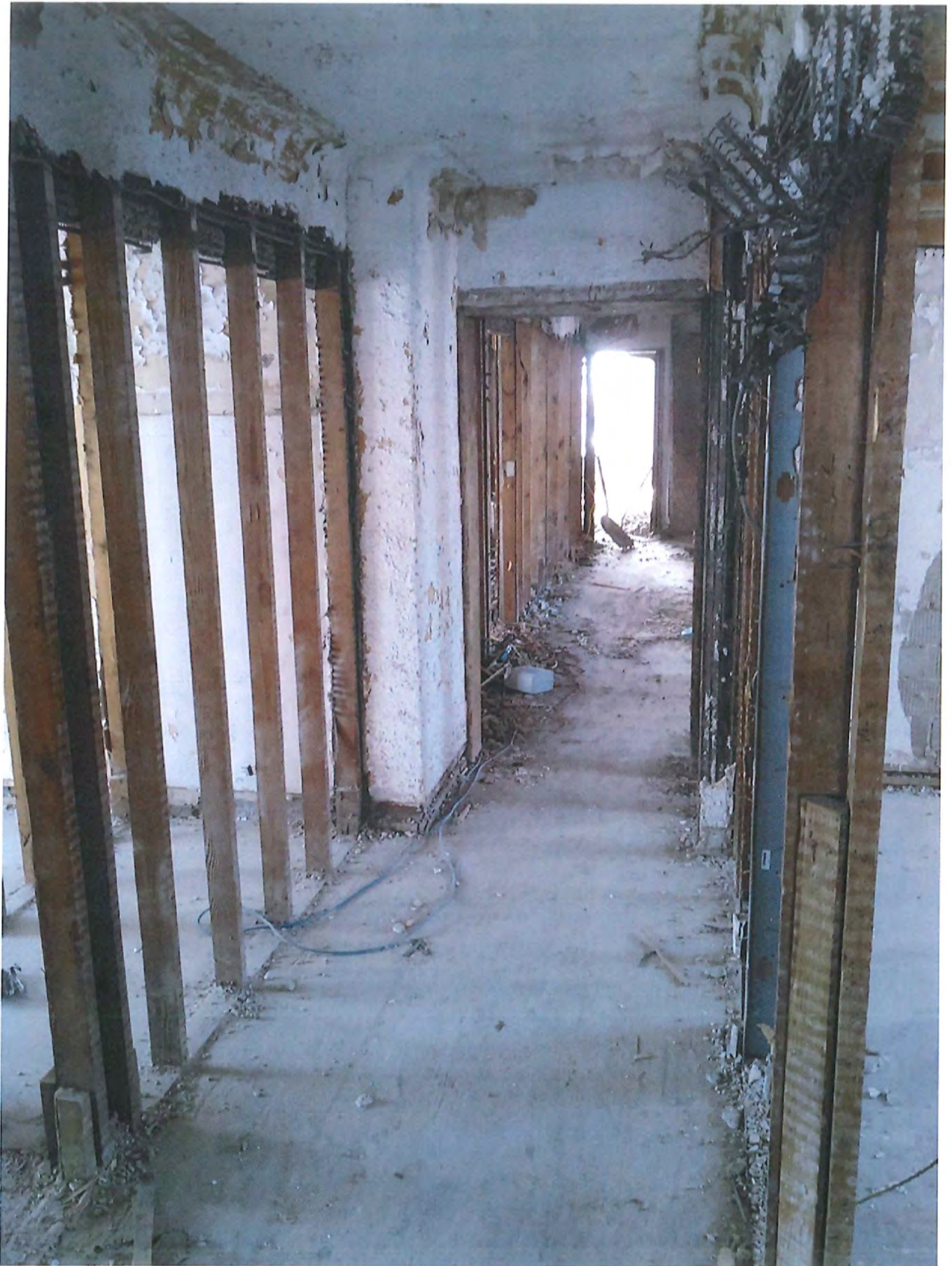
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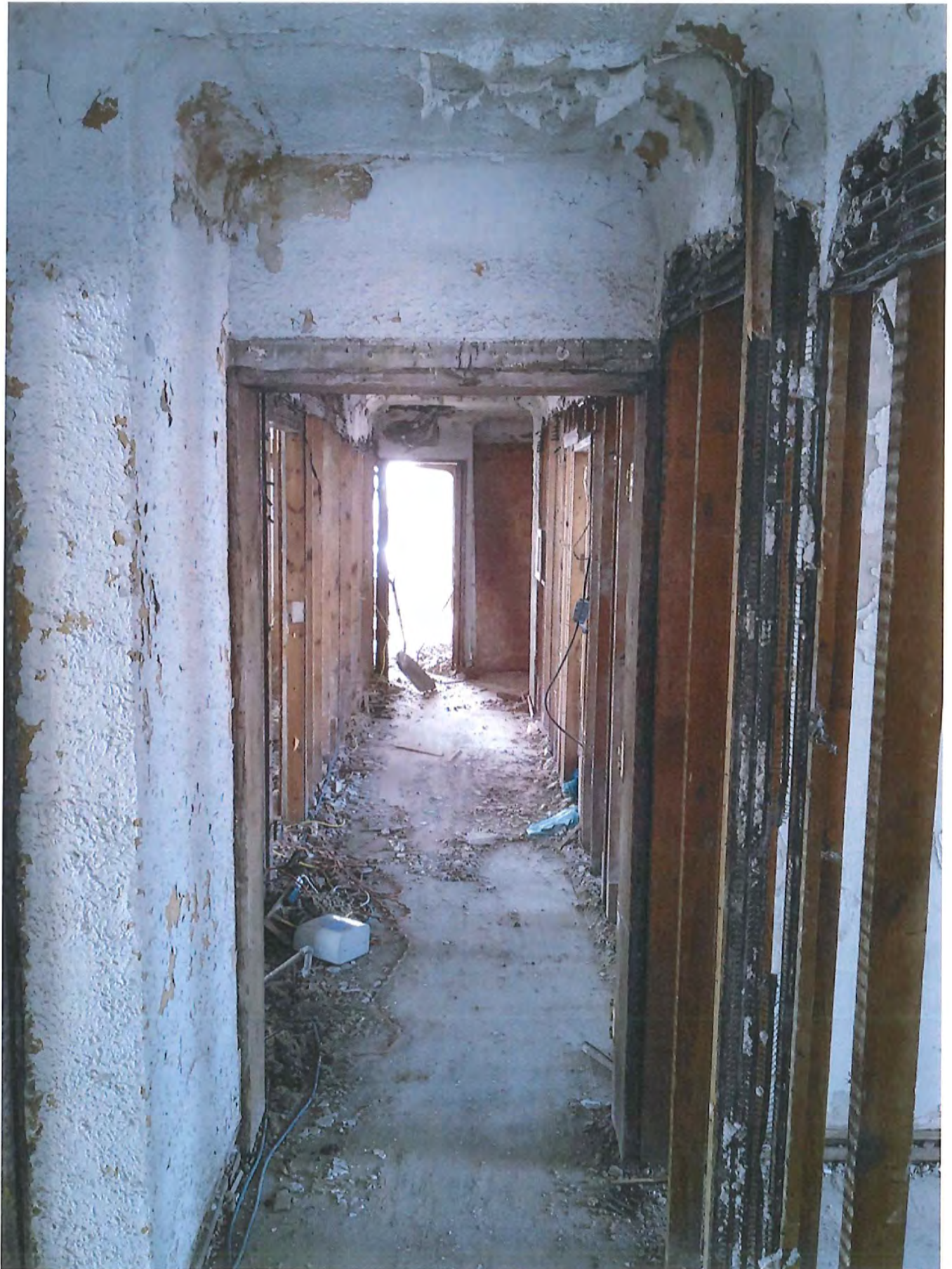
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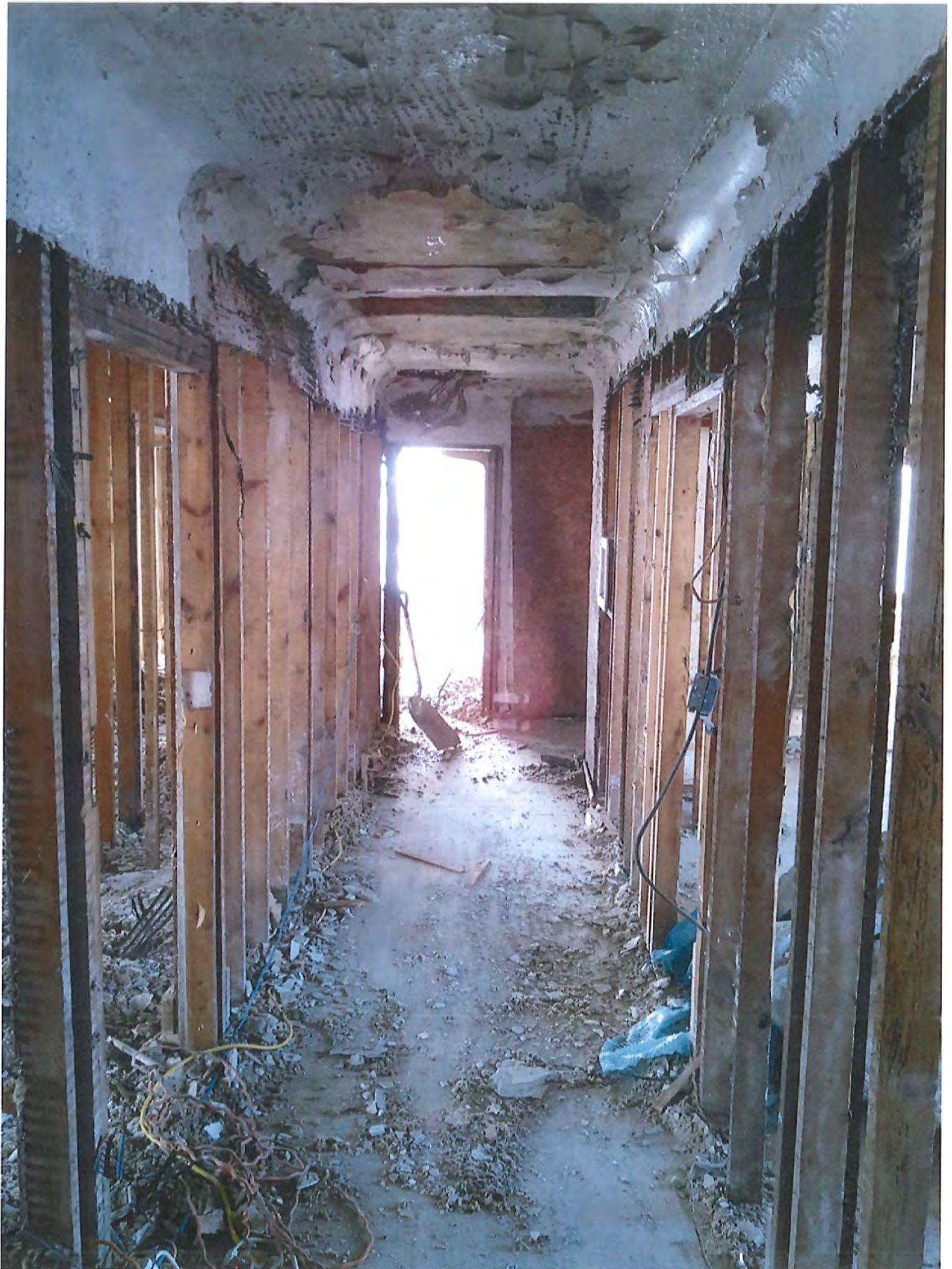
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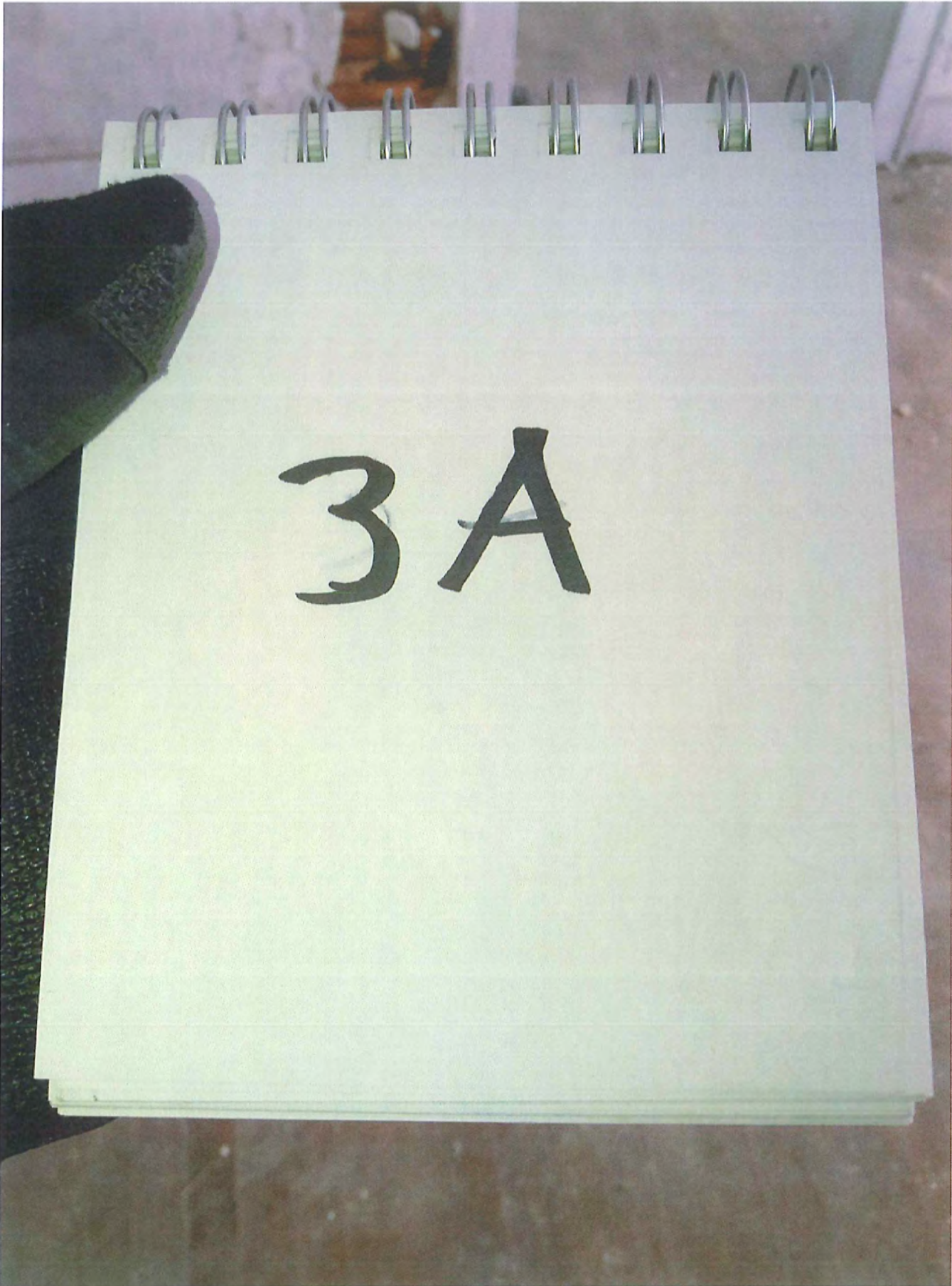
KIMG0119

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KIMG0129

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A photograph of a spiral-bound notebook with a silver metal spiral binding at the top. The notebook is open to a blank, cream-colored page. In the center of the page, the characters '3A' are written in a large, bold, black, sans-serif font. A dark, textured object, possibly a finger or a piece of fabric, is visible on the left side of the page, partially obscuring the spiral binding. The background is a plain, light-colored surface.

3A

KIMG0003

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KIMG0005

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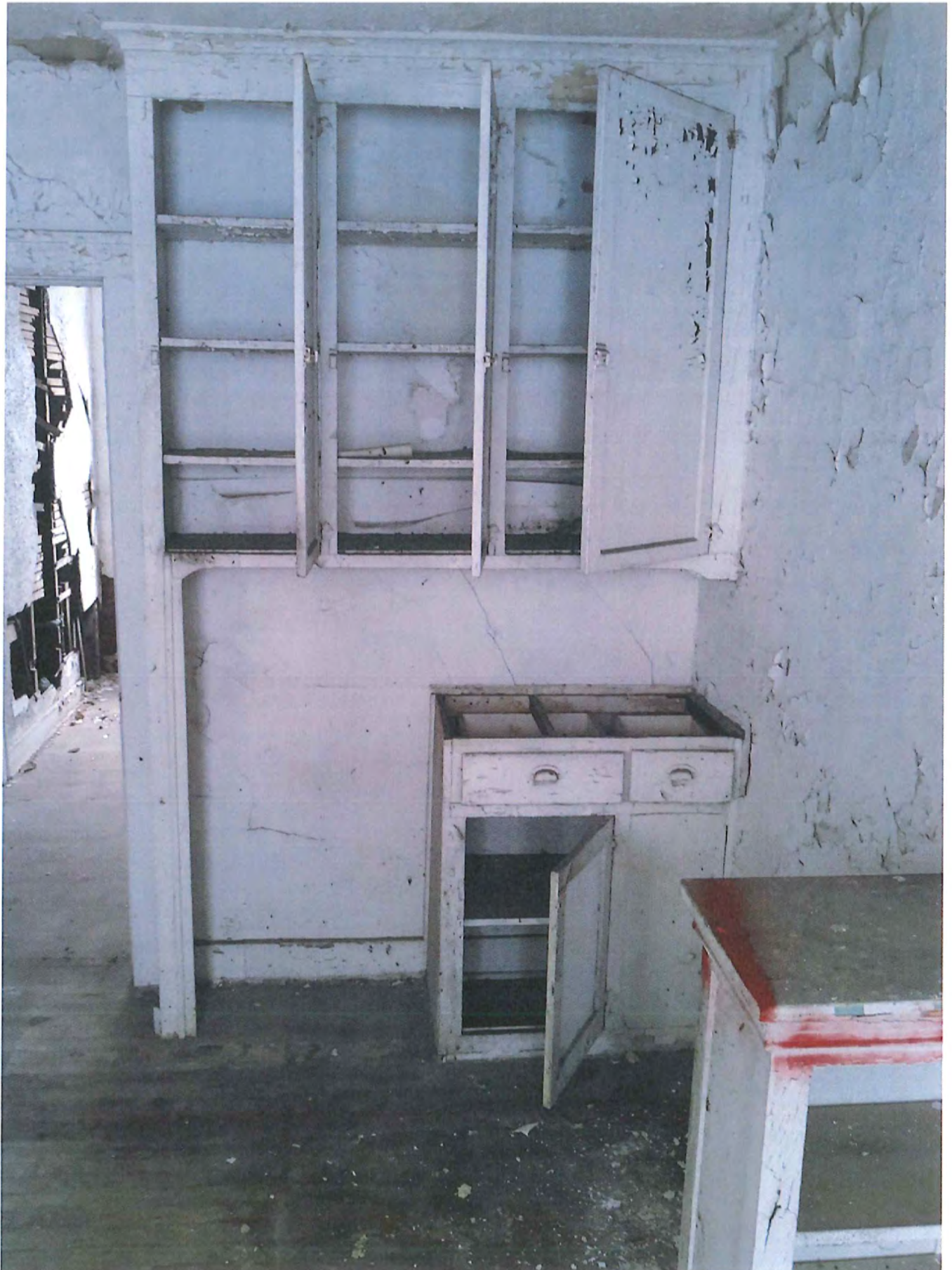
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KIMG0006

1031 Marlborough, Feb-13-2019



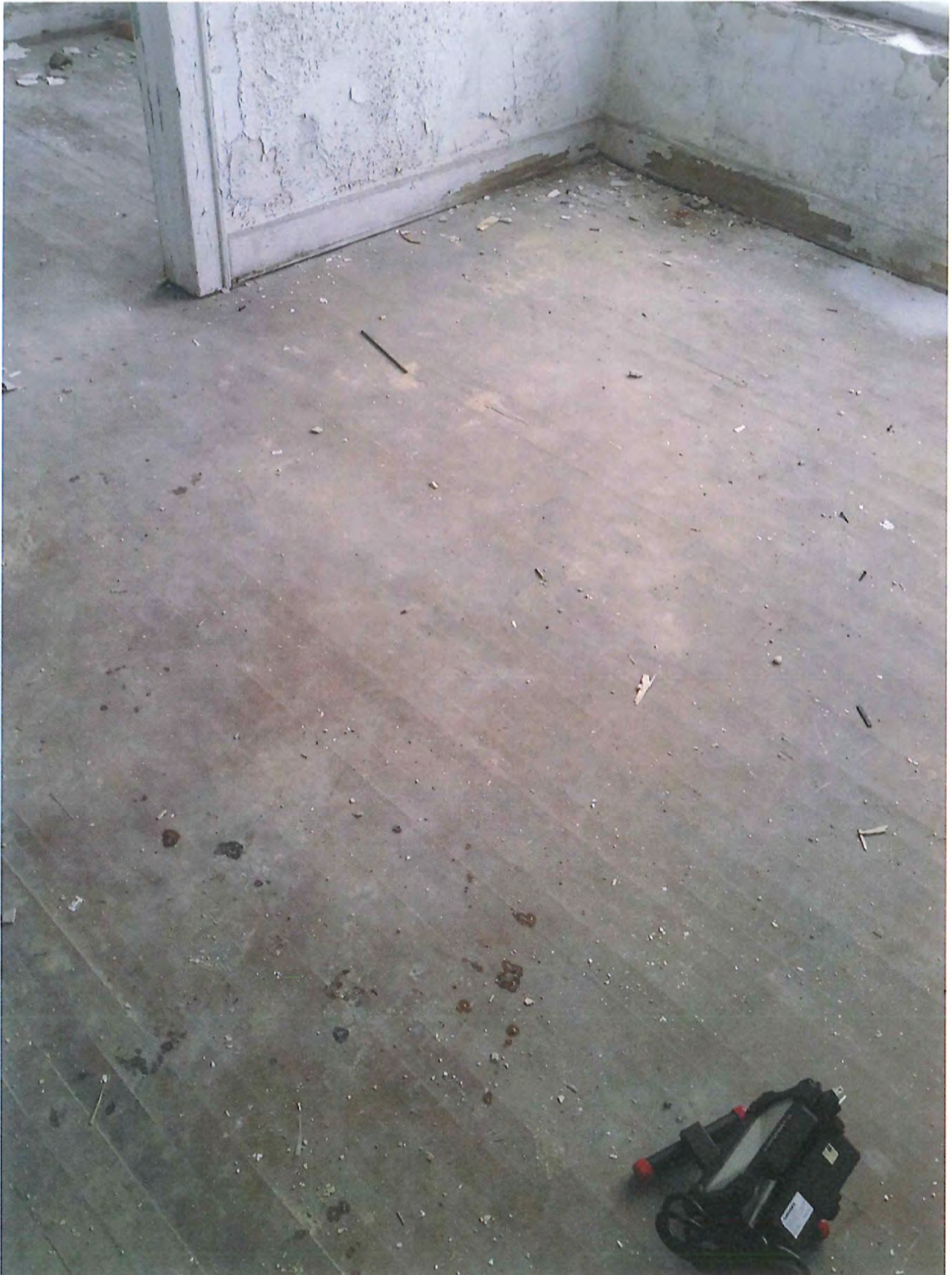
KIMG0008

1031 Marlborough, Feb-13-2019



KIMG0009

1031 Marlborough, Feb-13-2019



KIMG0012

1031 Marlborough, Feb-13-2019



KIMG0013

1031 Marlborough, Feb-13-2019



KIMG0015

1031 Marlborough, Feb-13-2019



KIMG0016

1031 Marlborough, Feb-13-2019



KIMG0019

1031 Marlborough, Feb-13-2019



KIMG0021

1031 Marlborough, Feb-13-2019



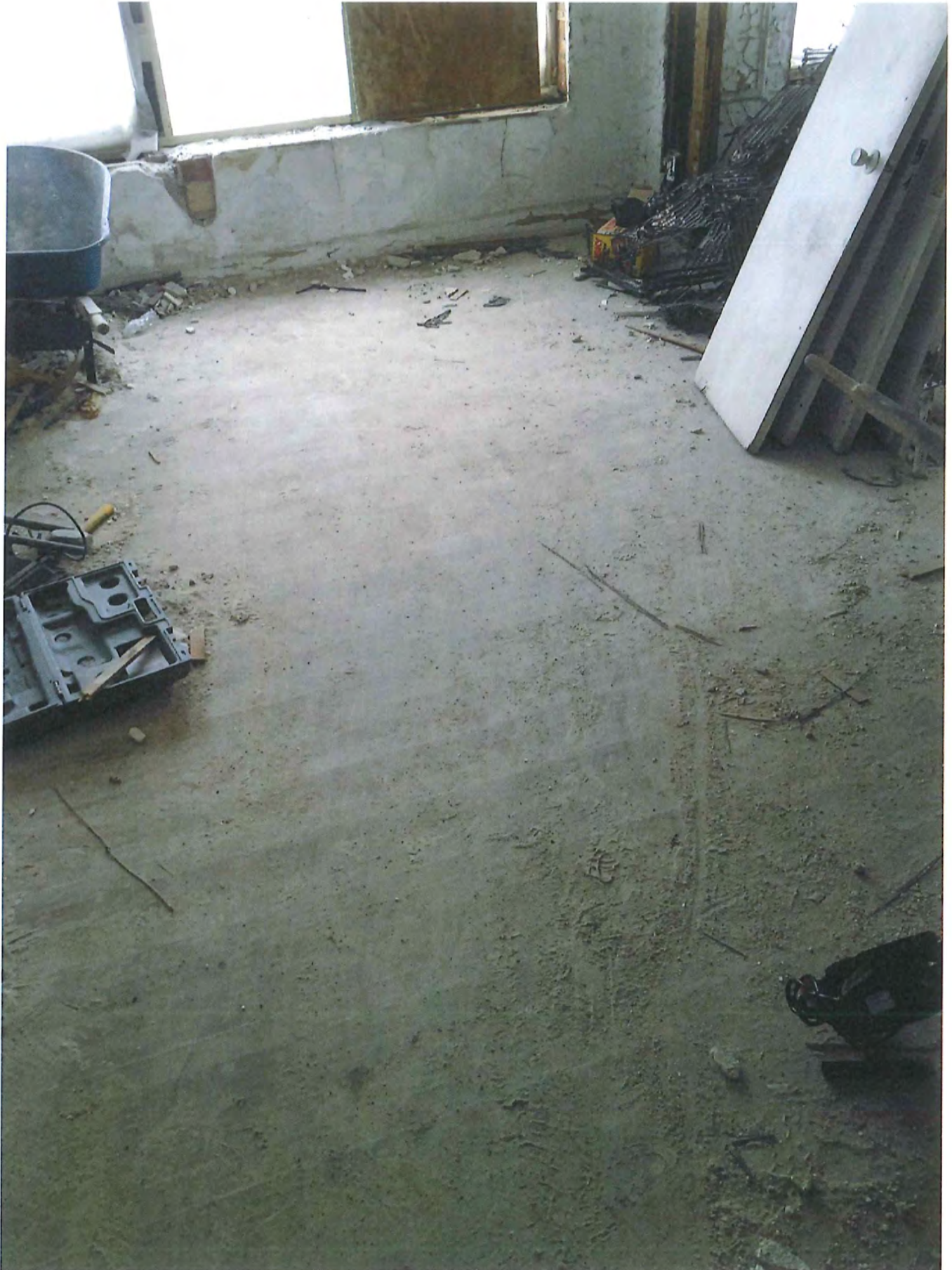
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1031 Marlborough, Feb-13-2019



KIMG0027

1031 Marlborough, Feb-13-2019



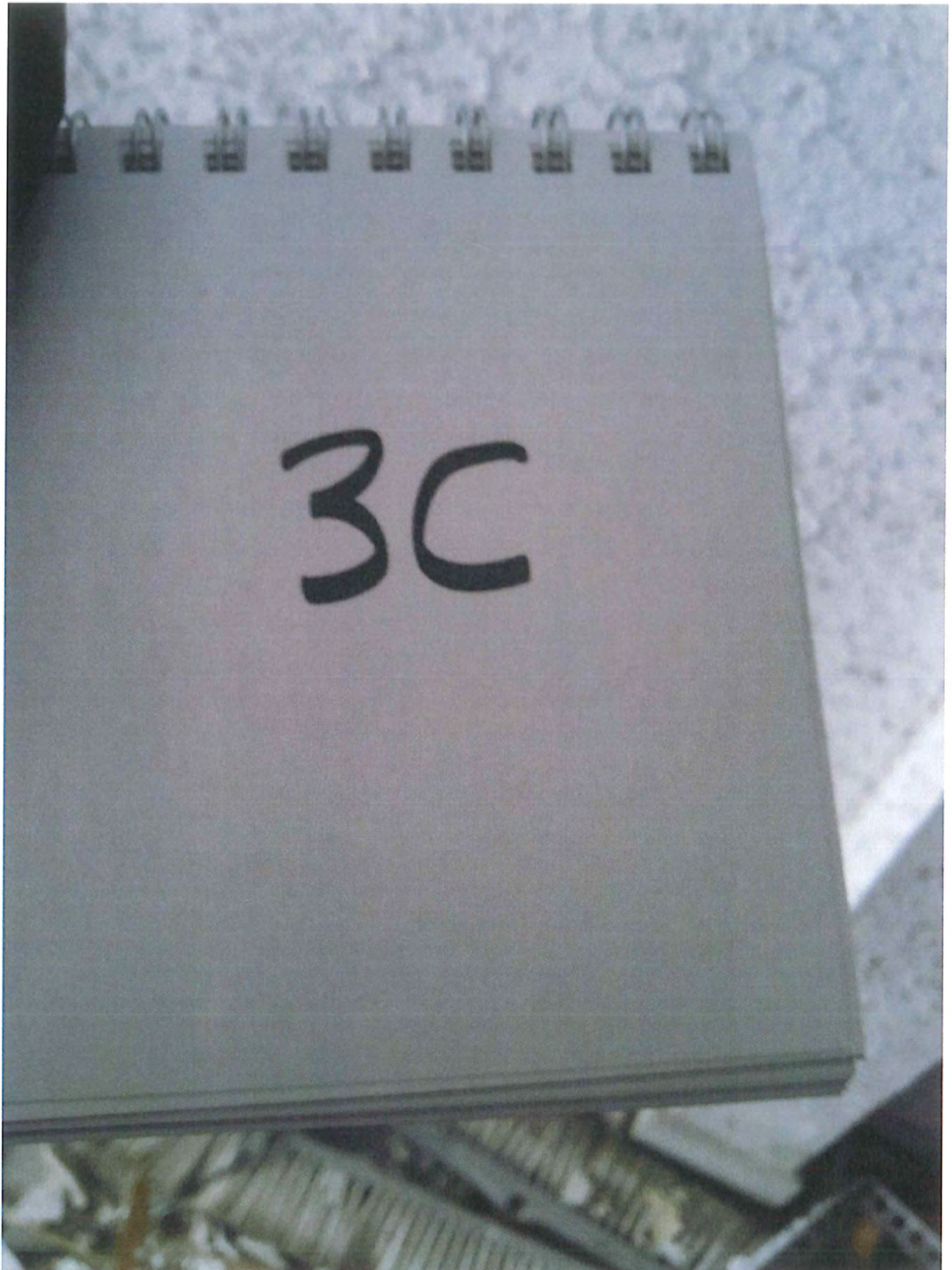
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1031 Marlborough, Feb-13-2019



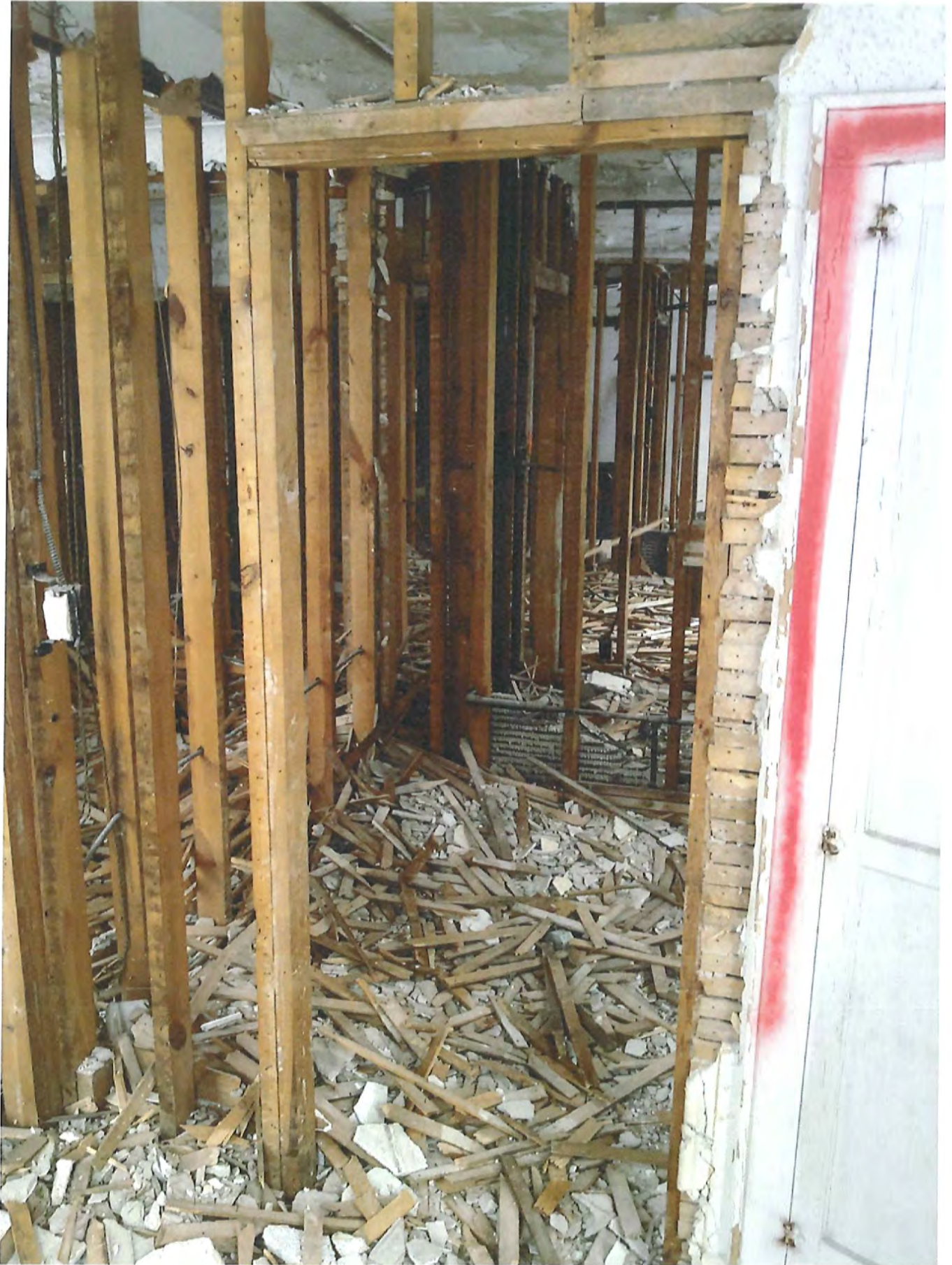
KIMG0026

1031 Marlborough, Feb-13-2019



KIMG0028

1031 Marlborough, Feb-13-2019



KIMG0031

1031 Marlborough, Feb-13-2019



KIMG0032

1031 Marlborough, Feb-13-2019



KIMG0033

1031 Marlborough, Feb-13-2019



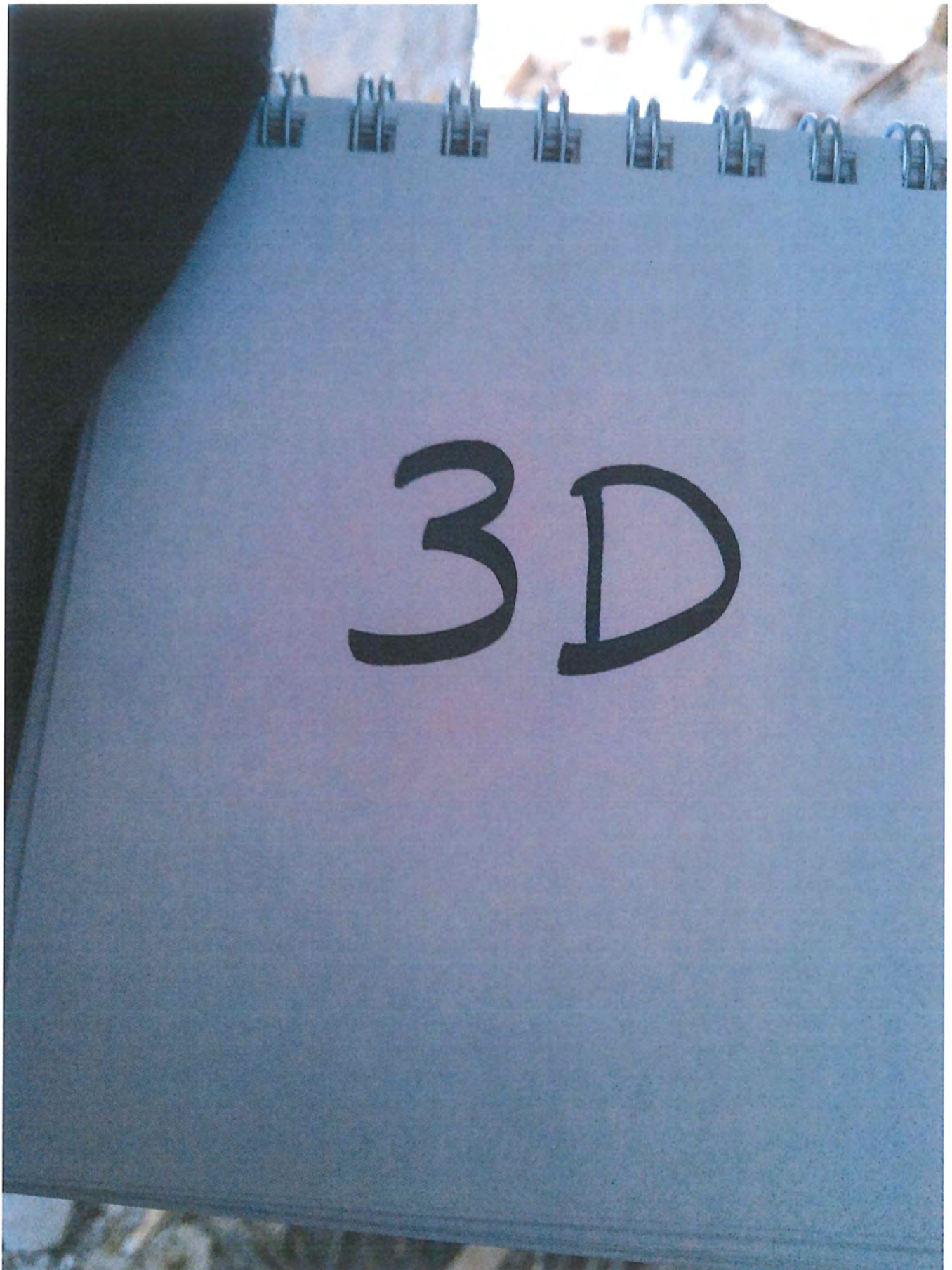
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1031 Marlborough, Feb-13-2019



KIMG0035

1031 Marlborough, Feb-13-2019



KIMG0037

1031 Marlborough, Feb-13-2019



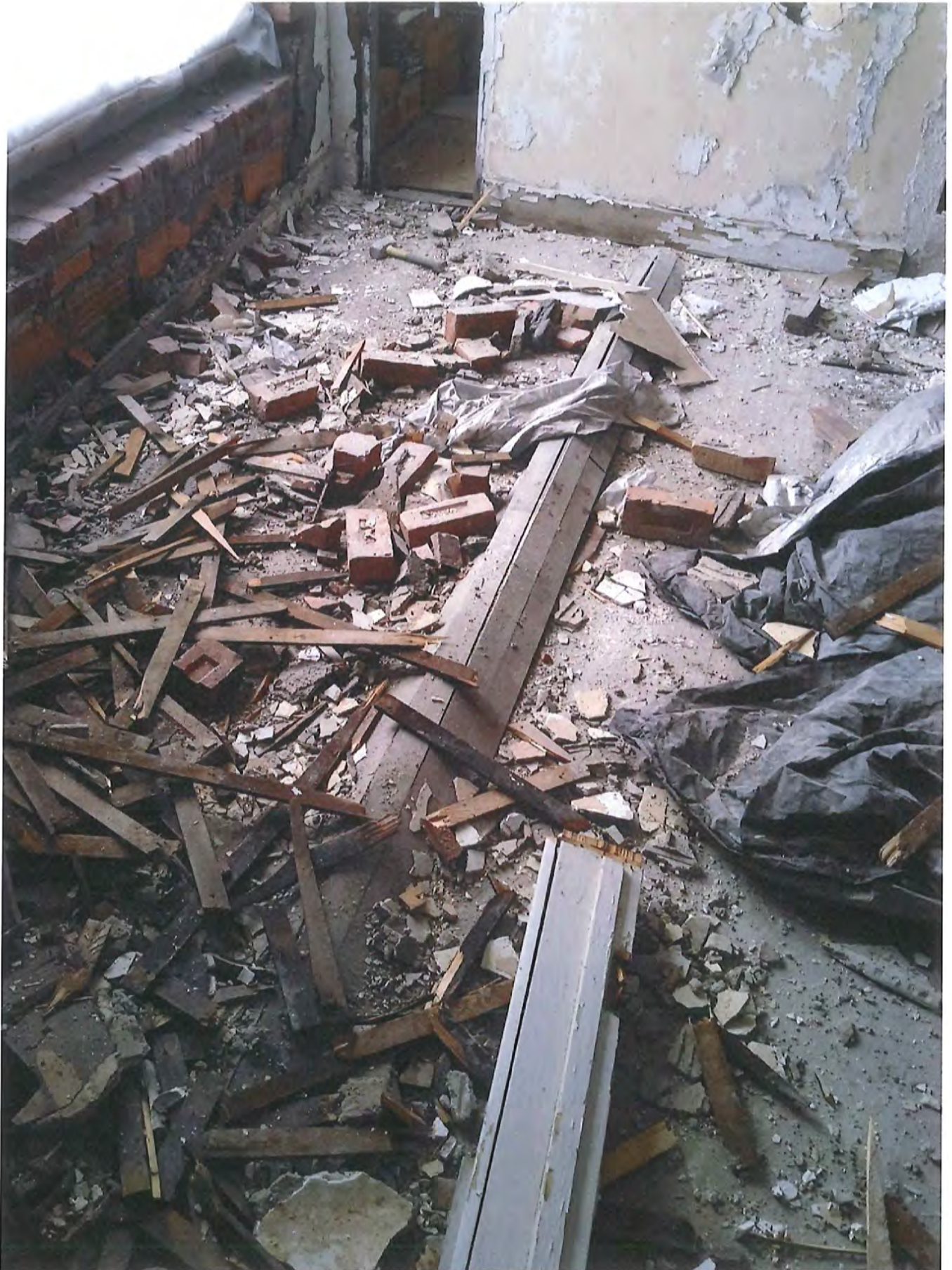
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1031 Marlborough, Feb-13-2019



KIMG0048

1031 Marlborough, Feb-13-2019



KIMG0049

1031 Marlborough, Feb-13-2019



KIMG0041

1031 Marlborough, Feb-13-2019



KIMG0042

1031 Marlborough, Feb-13-2019



KIMG0043

1031 Marlborough, Feb-13-2019



KIMG0044

1031 Marlborough, Feb-13-2019



KIMG0045

1031 Marlborough, Feb-13-2019



KIMG0046

1031 Marlborough, Feb-13-2019



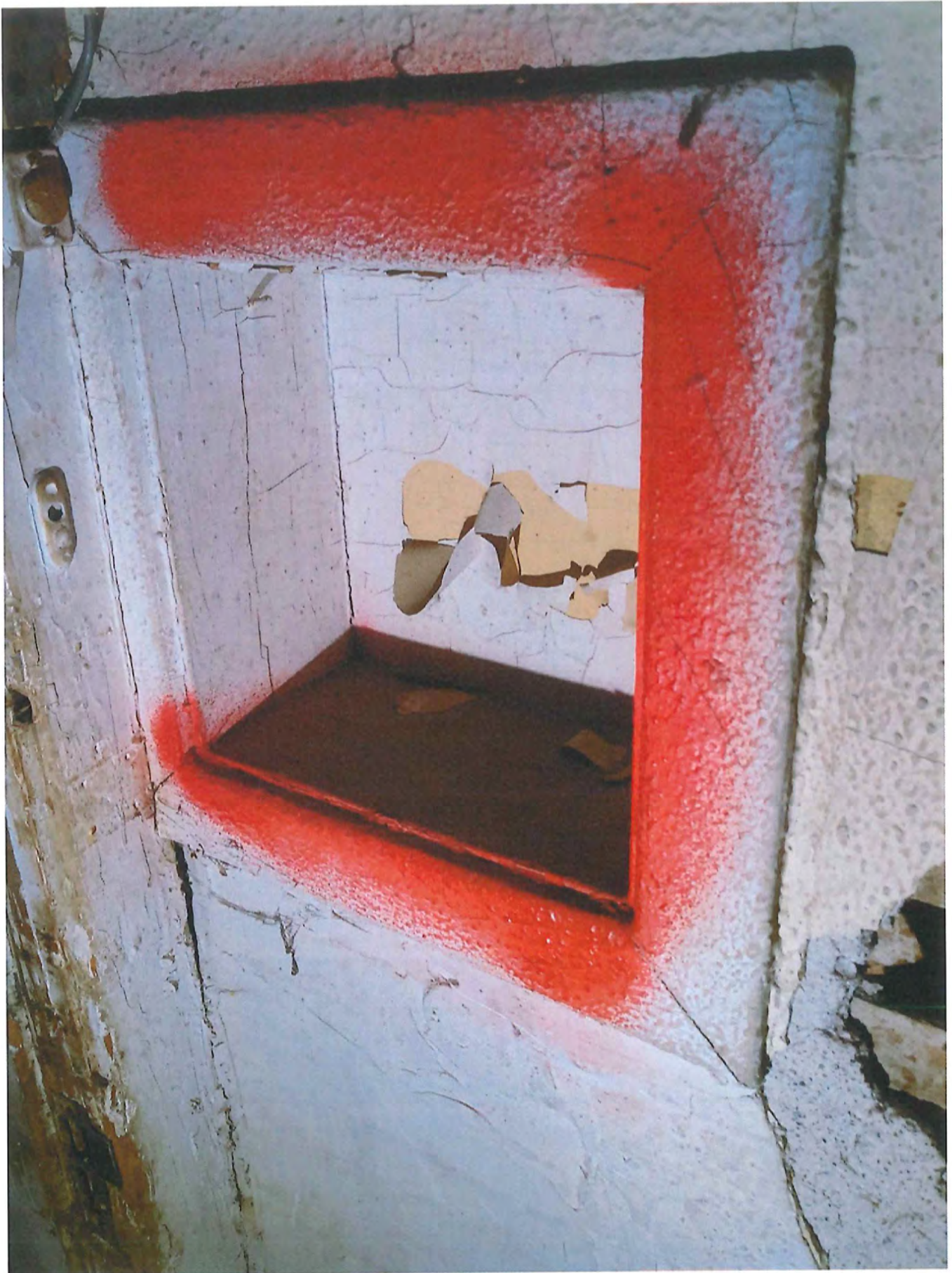
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1031 Marlborough, Feb-13-2019

B-1

(TYPE A)

KIMG0211



KIMG0213

1031 Marlborough, Feb-13-2019



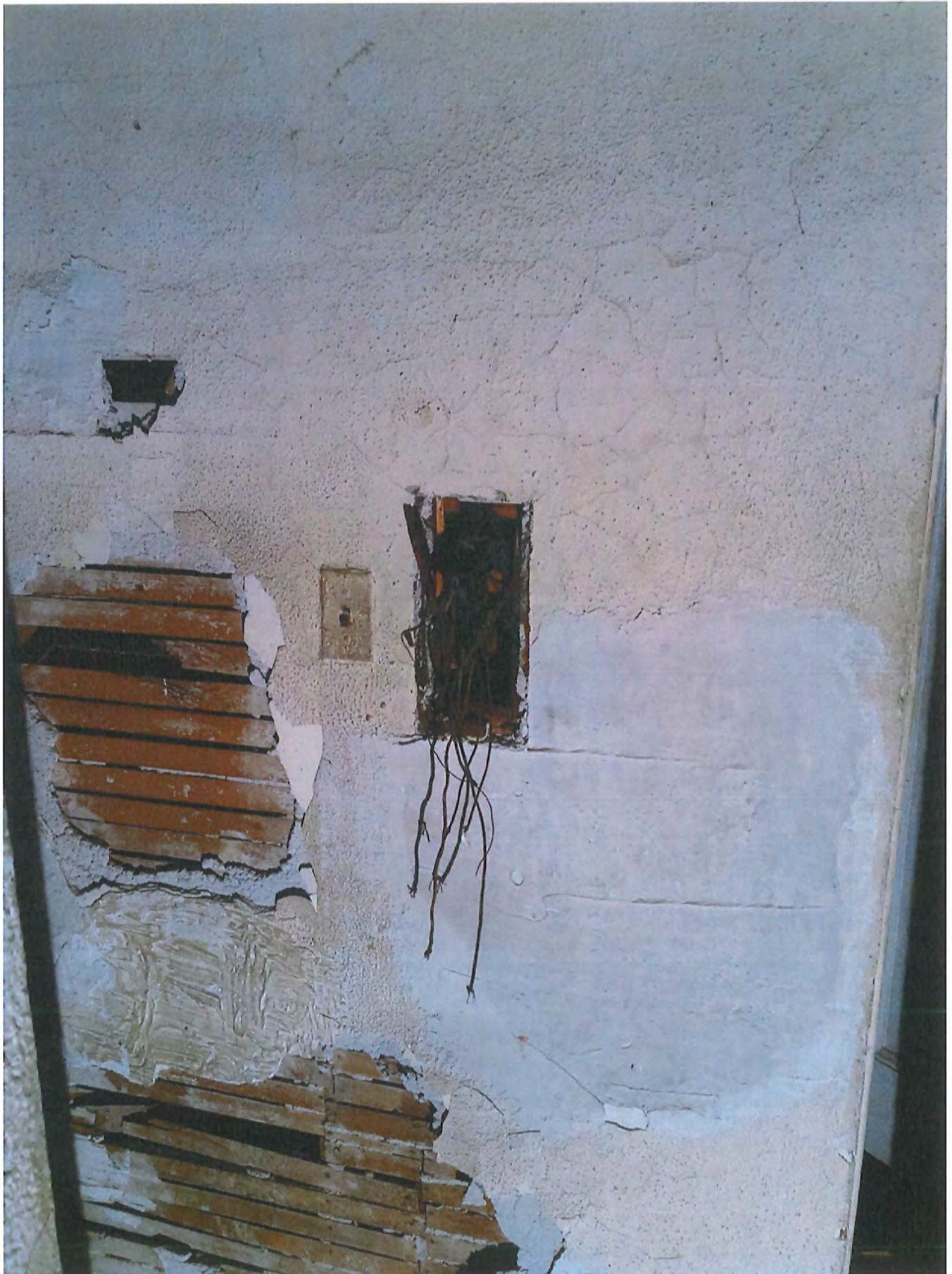
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1031 Marlborough, Feb-13-2019



KIMG0217

1031 Marlborough, Feb-13-2019



KIMG0218



KIMG0219

1031 Marlborough, Feb-13-2019



KIMG0220

1031 Marlborough, Feb-13-2019



KIMG0214

1031 Marlborough, Feb-13-2019



KIMG0215

1031 Marlborough, Feb-13-2019



KIMG0222

1031 Marlborough, Feb-13-2019



KIMG0224

1031 Marlborough, Feb-13-2019



KIMG0232

1031 Marlborough, Feb-13-2019



KIMG0231

1031 Marlborough, Feb-13-2019



KIMG0234

1031 Marlborough, Feb-13-2019



KIMG0236

1031 Marlborough, Feb-13-2019



KIMG0238

1031 Marlborough, Feb-13-2019



KIMG0250

1031 Marlborough, Feb-13-2019



KIMG0242

1031 Marlborough, Feb-13-2019



KIMG0243

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KIMG0244

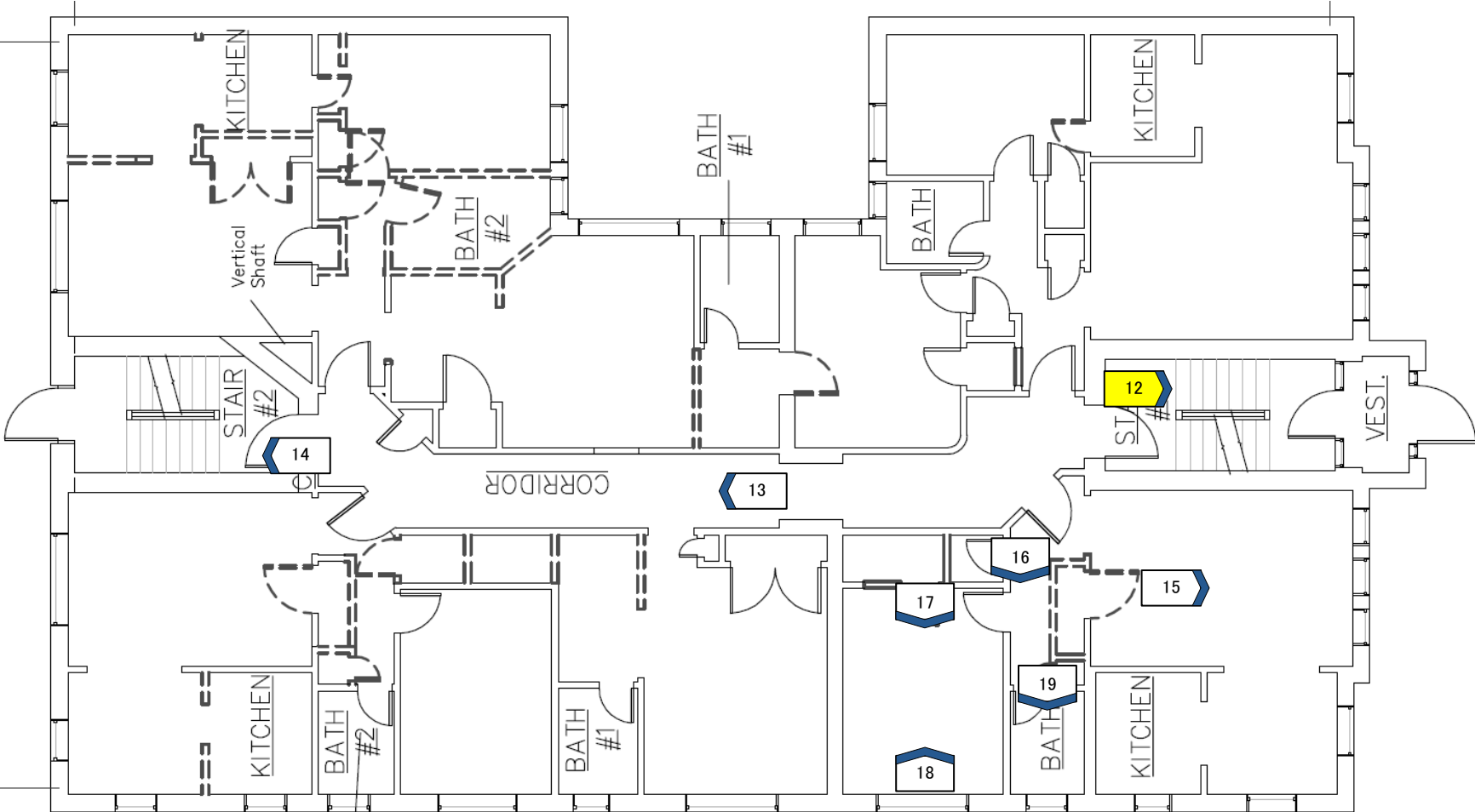
1031 Marlborough, Feb-13-2019



KIMG0245

1031 Marlborough, Feb-13-2019





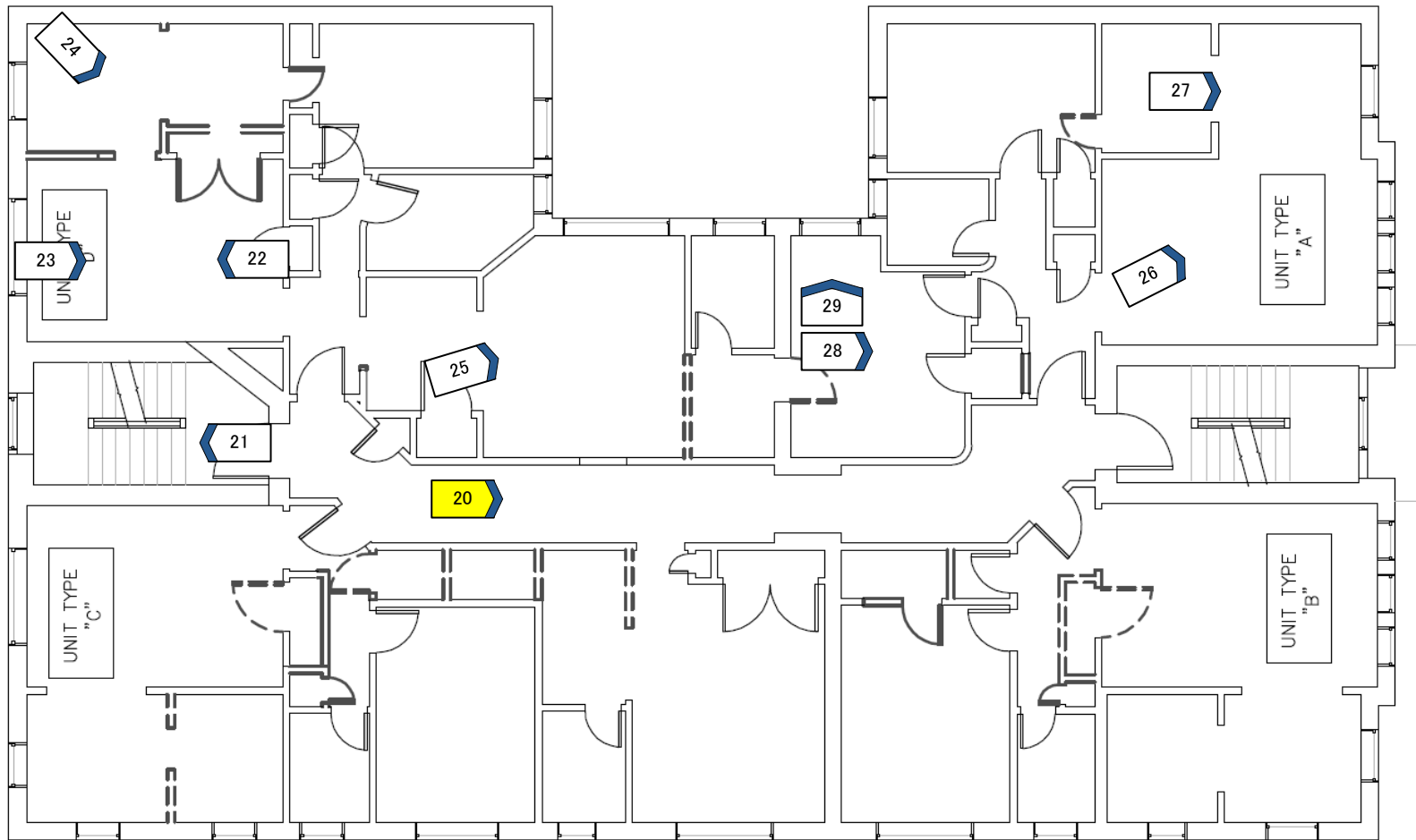
Marlborough Apartments[Second Floor] 20-29

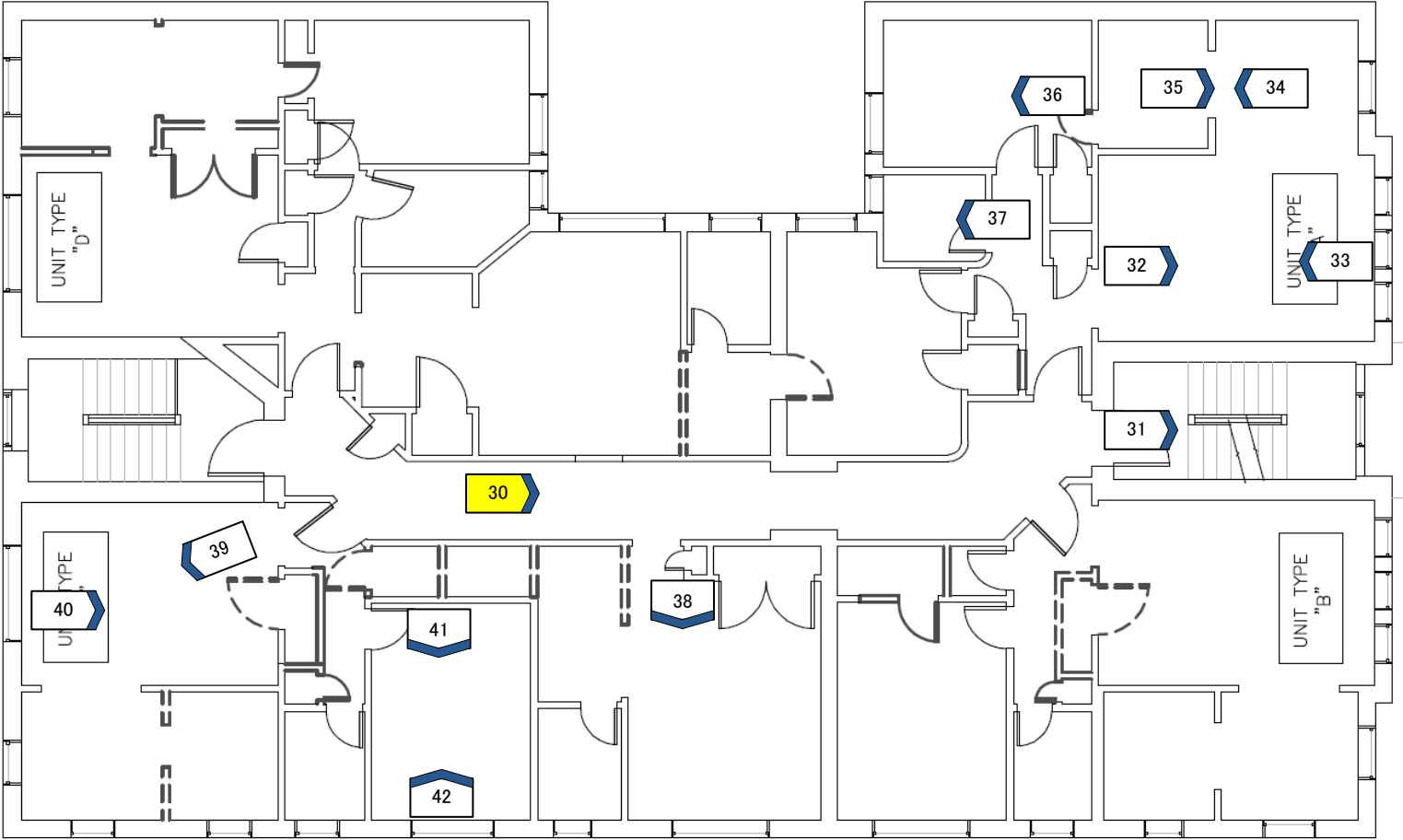
1031 Marlborough Street

Detroit, Michigan

May 2017

↑
Plan N

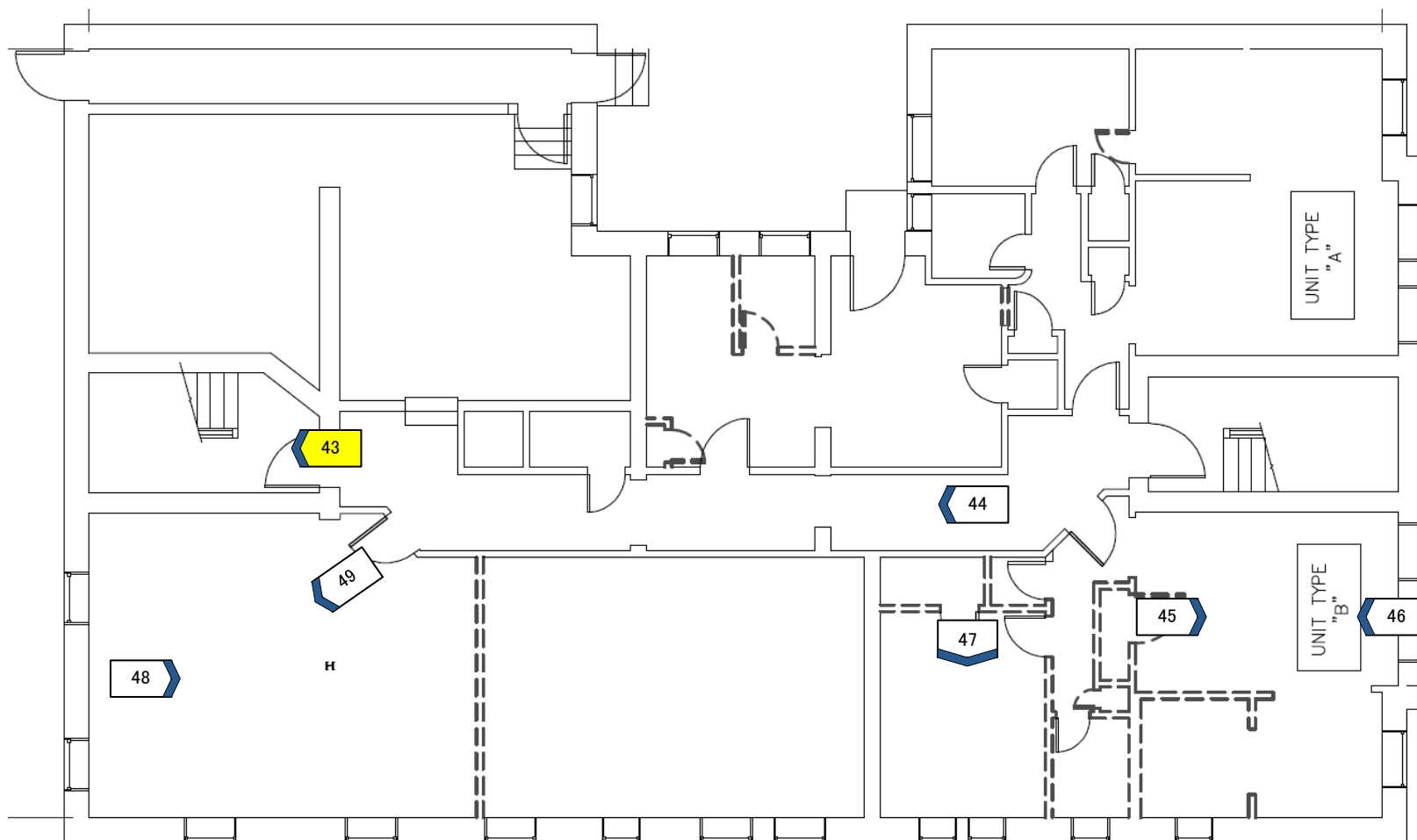




Marlborough Apartments[Basement] Photo 43

1031 Marlborough Street
Detroit, Michigan
May 2017

↑
Plan N





1. Exterior View, East Elevation, Looking W



2. Exterior Detail, East Elevation, Third Floor at Center-South, Window, Looking W



3. Exterior Detail, East Elevation, Entry, Looking W



4. Exterior View, South Elevation at East, Looking NW



5. Exterior View, South Elevation at West, Looking NW



6. Exterior View, West Elevation, Looking E



7. Exterior View, North Elevation at West, Looking S



8. Exterior View, North Elevation, Lightwell at West, Looking SW



9. Exterior View, North Elevation, Lightwell, Looking S



10. Exterior View, North Elevation, Lightwell at East, Looking SE



11. Exterior View, North Elevation at East, Looking S



12. Interior View, First Floor, Stair at East, Looking E



13. Interior View, First Floor, E-W Corridor, Looking W



14. Interior View, First Floor, Star at West, Looking W



15. Interior View, First Floor, Unit at Southeast, Living Room, Looking E



16. Interior View, First Floor, Unit at Southeast, Corridor, Looking S



17. Interior View, First Floor, Unit at Southeast, Bedroom, Looking S



18. Interior View, First Floor, Unit at Southeast, Bedroom, Looking N



19. Interior View, First Floor, Unit at Southeast, Bathroom, Looking S



20. Interior View, Second Floor, E-W Corridor, Looking E



21. Interior View, Second Floor, Stair at West, Looking W



22. Interior View, Second Floor, Unit at Northwest, Living Room, Looking W



23. Interior View, Second Floor, Unit at Northwest, Living Room, Looking E



24. Interior View, Second Floor, Unit at Northwest, Kitchen, Looking SE



25. Interior View, Second Floor, Unit at Northwest, Bedroom, Looking NE



26. Interior View, Second Floor, Unit at Northeast, Living Room, Looking NE



27. Interior View, Second Floor, Unit at Northeast, Dining Room, Looking E



28. Interior View, Second Floor, Unit at Northeast, Bedroom, Looking E



29. Interior View, Second Floor, Unit at Northwest, Bedroom, Looking N



30. Interior View, Third Floor, E-W Corridor, Looking E



31. Interior View, Third Floor, Stair at East, Looking E



32. Interior View, Third Floor, Unit at Northeast, Living Room, Looking E



33. Interior View, Third Floor, Unit at Northeast, Living Room, Looking W



34. Interior View, Third Floor, Unit at Northeast, Kitchen, Looking W



35. Interior View, Third Floor, Unit at Northeast, Dining Room, Looking E



36. Interior View, Third Floor, Unit at Northeast, Bedroom, Looking W



37. Interior View, Third Floor, Unit at Northeast, Bathroom, Looking W



38. Interior View, Third Floor, Unit at Center-South, Looking S



39. Interior View, Third Floor, Unit at Southwest, Living Room, Looking SW



40. Interior View, Third Floor, Unit at Southwest, Living Room, Looking E



41. Interior View, Third Floor, Unit at Southwest, Bedroom, Looking S



42. Interior View, Third Floor, Unit at Southwest, Bedroom, Looking N



43. Interior View, Basement, Stair at West, Looking W



44. Interior View, Basement, E-W Corridor, Looking W



45. Interior View, Basement, Unit at Southeast, Living Room, Looking E



46. Interior View, Basement, Unit at Southeast, Living Room, Looking W



47. Interior View, Basement, Unit at Southeast, Bedroom, Looking S



48. Interior View, Basement, Storage at Southwest, Looking E



49. Interior View, Basement, Storage at Southwest, Looking SW



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

OMB Approved
No. 1024-0009
Form 10-168
Rev. 2014

HISTORIC PRESERVATION CERTIFICATION APPLICATION
AMENDMENT / ADVISORY DETERMINATION

NPS Project Number
36575

Instructions: This page must bear the applicant's original signature and must be dated.

1. Property name Marlboro Apartments
Property address 1031 Marlborough Street, Detroit, Wayne County, MI
2. This form ☐ includes additional information requested by NPS for an application currently on hold.
☐ updates applicant or contact information.
☒ amends a previously submitted ☐ Part 1 ☒ Part 2 ☐ Part 3 application.
☐ requests an advisory determination that phase _____ of _____ phases of this rehabilitation project meets the Secretary of the Interior's Standards for Rehabilitation. Phase completion date _____
Estimated rehabilitation costs of phase (QRE) _____

Summarize information here; continue on following page if necessary.

Amendment 2 conveys updated project details.

3. Project Contact (if different from applicant)
Name John M. Tess, President Company Heritage Consulting Group
Street 1120 NW Northrup Street City Portland State OR
Zip 97209-2852 Telephone (503) 228-0272 Email Address jmtess@heritage-consulting.com

4. Applicant
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) ☒ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) ☐ if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Kathy Makino Signature _____ Date _____
Applicant Entity Shelbourne Development Company LLC SSN _____ or TIN 38-3586434
Street 8445 East Jefferson Avenue City Detroit State MI
Zip 48214-2721 Telephone (734) 905-8323 Email Address kathysmakino@aol.com

☐ Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed this amendment to the Historic Preservation Certification Application and has determined that the amendment:

- ☐ meets the Secretary of the Interior's Standards for Rehabilitation.
☐ will meet the Secretary of the Interior's Standard for Rehabilitation if the attached conditions are met.
☐ does not meet the Secretary of the Interior's Standards for Rehabilitation.
☐ updates the information on file and does not affect the certification.

Advisory Determinations:

- ☐ The National Park Service has determined that the work completed in this phase is consistent with the Secretary of the Interior's Standards for Rehabilitation. This determination is advisory only. A formal certification of rehabilitation can be issued only after all rehabilitation work and any associated site work or new construction have been completed. This approval could be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. A copy of this form will be provided to the Internal Revenue Service.

Date _____ National Park Service Authorized Signature _____

☐ NPS conditions or comments attached

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Marlboro Apartments

Property Name

1031 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

Amendment 2: As the project has progressed toward construction, existing conditions have been more closely evaluated and documented. The original Part 2 photo-documentation, taken in shows a several deteriorated building with most windows missing, extensive physical damage due to fire and vandalism, and severe materials damage due to weather exposure. For reference, a full copy of the Part 2 photographs are included here. Additional and current photographs of each floor and each unit are also included. The flooring has been evaluated by a flooring specialist and their assessment is included.

ITEM 2

ARCHITECTURAL FEATURE: West (Marlborough Street) Elevation – Front Door

DATE OF FEATURE: 1927, c. 1980s – 1990s, subsequent changes

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: The front door to the building is missing, although the arched frame is extant. In the Part 2, the applicant proposed to install a new door. By this amendment, the applicant is conveying design. The proposed design has a wood multilight door flanked by wood framed multilight sidelights.

PHOTOS: Page 1 (EGI Photographs, February, 2019)

DRAWINGS: A9.4 (EGI, Marlboro Apartments, February 26, 2019)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Marlboro Apartments

Property Name

1031 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 2

ARCHITECTURAL FEATURE: West (Marlborough Street) Elevation - Windows

DATE OF FEATURE: 1927, c. 1980s – 1990s, subsequent changes

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: In the original Part 2, applicant proposed to replace the existing windows with custom built wood based on drawings of the existing.

By this amendment, applicant is conveying shop drawings of the proposed windows for the street elevation from Pella. Applicant is also offering a customized Quaker aluminum window as an alternative. Both products are based on existing window conditions modified to accommodate double pane glazing. The applicant's preference is Quaker, based on cost, maintenance and durability. For convenience, existing window drawings provided in the Part 2 are included here. In both options, Cardinal LoE-272 is the proposed glazing.

PHOTOS: 1-2 (from the original Part 2 submission)

DRAWINGS: Pella Windows, Marlborough Apartments, 2/25/19
Quaker Windows, The Marlborough, EC-2 and PC-2

CONTINUATION/AMENDMENT SHEET
Historic Preservation
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Marlboro Apartments

Property Name

1031 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 3-5

ARCHITECTURAL FEATURE: South (alley), West and North Elevations - Windows

DATE OF FEATURE: 1927, c. 1980s – 1990s, subsequent changes

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: In the original Part 2, applicant proposed to replace the existing windows with custom built wood based on drawings of the existing.

By this amendment, applicant is proposing a customized Quaker aluminum window and conveying shop drawings based on the existing window conditions modified to accommodate double pane glazing. Proposed glazing is Cardinal LoE-272.

PHOTOS: 4-11 (from the original Part 2 submission)

DRAWINGS: Quaker Windows, The Marlborough, EC-1 and PC-1

CONTINUATION/AMENDMENT SHEET
Historic Preservation
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Marlboro Apartments

Property Name

1031 Marlborough Street, Detroit, Wayne County, Michigan

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ITEM 4/5

ARCHITECTURAL FEATURE: West/North Elevations – Mechanical Room Door

DATE OF FEATURE: 1927, c. 1980s – 1990s, subsequent changes

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: Within the light well, on the north wall, is a below grade exterior doorway to a boiler room. A similar door is found at the north end of the west elevation. Neither doorway is needed. Applicant is proposing to infill both doorways with brick, recessed approximately 1 inch to retain the outline of the opening. Applicant is also proposing to infill the stair/light well with dirt to eliminate the below-grade element. In practical terms, this will mean that the doorway will only be exposed on its upper half.

PHOTOS: 6, 8 (from the original Part 2 submission)

DRAWINGS: A-6 (EGI, Marlboro Apartments, February 26, 2019)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
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Marlboro Apartments
Property Name

1031 Marlborough Street, Detroit, Wayne County, Michigan
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ITEM 6

ARCHITECTURAL FEATURE: First Floor – Vestibule

DATE OF FEATURE: 1927, c. 1980s – 1990s, subsequent changes

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: The vestibule is a small rectangular space between the front door and the stairwell door. As built, it had a square tile floor, plaster walls and ceiling, with a square tile wainscot. The interior vestibule door is full light wood door in wood framed with flanking sidelights.

The plaster walls were applied directly to the brick and have failed. At the ceiling, the plaster was applied to lathe. Years of moisture have degraded the stability of the plaster and the integrity of the underlying lathe. Applicant is proposing to remove the plaster and install painted gypsum board at the walls and the ceiling.

The tile wainscot will be retained and repaired; new gypsum board walls above will retain the existing wall/tile relationship.

The interior side of the exterior door frame will be inspected, repaired and refinished. The vestibule door and frame will be inspected, repaired and refinished. New glazing will be installed in the door and sidelights.

The tile floor will be inspected and repaired as necessary.

PHOTOS: N/A

DRAWINGS: A1 (EGI, Marlboro Apartments, February 26, 2019)

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Marlboro Apartments

Property Name

1031 Marlborough Street, Detroit, Wayne County, Michigan

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ITEM 6-8

ARCHITECTURAL FEATURE: Interior – Structural

DATE OF FEATURE: 1927, c. 1980s – 1990s, subsequent changes

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: The northwest section of the wood framed building has collapsed on floors 1 through 3. The applicant is proposing to reconstruction the frame.

Additionally, new structural framing is required where bathtubs were salvaged.

PHOTOS: 25 (from the original Part 2 submission)
21-22, 28-29, 40, 52-53, 71, 82, 85, 94, 107
(EGI Photographs, February, 2019)

DRAWINGS: A3 (EGI, Marlboro Apartments, February 26, 2019)

CONTINUATION/AMENDMENT SHEET
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Marlboro Apartments
Property Name

1031 Marlborough Street, Detroit, Wayne County, Michigan
Property Address

ITEM 6-8

ARCHITECTURAL FEATURE: Interior – Stairwells

DATE OF FEATURE: 1927, c. 1980s – 1990s, subsequent changes

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: The building has two stairwells, similar in design.

The stairwells have plaster walls and ceiling with the plaster applied directly to the brick. The ceiling plaster was applied to lathe. The stair is wood with wood treads, risers, balustrade and rails. Stair landings are wood with a square wood baseboard.

Each stair is enclosed at each floor with a metal paneled door in metal frame with a single wire glass light. Each landing has a single exterior window with wood casing.

As elsewhere in the building, years of moisture have degraded the stability of the plaster and the integrity of the underlying lathe. Applicant is proposing to remove the plaster and install gypsum board at the walls and the ceiling. Finish will be textured paint.

Window casing will be salvaged and reinstalled. Baseboard, which is a simple rectangle without decoration, will be replaced matching existing dimensions.

Stair will be inspected, repaired and repainted. Floors are to be inspected and repaired.

Stairwell doors are in poor condition with broken glazing, rusted frame and rusted door. As fire doors, current code does not allow a window. Applicant is proposing to install new metal doors that meet fire code (e.g., no window) while also matching the historic profiles of the door.

PHOTOS: 12, 14, 21, 31, 43 (from the original Part 2 submission)
2, 62, 95 (EGI Photographs, February, 2019)

DRAWINGS: A1, A2, A9-4 (EGI, Marlboro Apartments, February 26, 2019)

CONTINUATION/AMENDMENT SHEET
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Marlboro Apartments
Property Name

1031 Marlborough Street, Detroit, Wayne County, Michigan
Property Address

ITEM 6-8

ARCHITECTURAL FEATURE: Basement, Floors 1-3 - Corridors

DATE OF FEATURE: 1927, c. 1980s – 1990s, subsequent changes

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: The floor plan in the building is largely consistent across all four floors. The corridors run the east-west length connecting the east and west stairwells. Each floor has five apartments, except the basement which only has three apartments located at the east.

Corridor materials and design are consistent with wood floors, wood-framed walls with plaster and cove cornice plaster ceiling. Walls have a square wood baseboard. At the center of the corridor is a cross brick fire wall with door opening; all doors are missing. Unit doors were single wood panel with traditional casing. Historically, each unit had a small door for milk delivery.

In general terms, the corridors are in poor condition. They suffer from weather exposure, fire and vandalism. The plaster and underlying lathe is deteriorated and cannot be feasibly repaired. Many of the baseboards are missing or damaged. All but one unit doors are missing. Most door casings are missing. As noted, the fire doors in the center are missing. Many of the milk delivery doors have been removed or damaged; the opening also does not provide a fire barrier. Flooring is also in poor condition with sections buckled.

Applicant is proposing to remove the plaster and install painted gypsum board. The cove at the ceiling will be re-created; a section of the cove will be salvaged to allow replication. Baseboards to be removed and new baseboards installed matching historic design. Door casings to be retained and repaired where extant, replicated where not. Entry doors will be replicated based on drawings of existing conditions. Buckled flooring is to be removed and infilled with plywood. Floors will be covered with luxury vinyl tile or carpet. Extant milk doors will be salvaged and reinstalled; openings themselves will be infilled for fire rating.

PHOTOS: 13, 16, 20, 30, 44 (from the original Part 2 submission)
2-9, 54-61, 96-99 (EGI Photographs, February, 2019)

DRAWINGS: A-1, A-2, A9.1 (EGI, Marlboro Apartments, February 26, 2019)

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Marlboro Apartments
Property Name

1031 Marlborough Street, Detroit, Wayne County, Michigan
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ITEM 6-8

ARCHITECTURAL FEATURE: Basement, Floors 1-3 - Units

DATE OF FEATURE: 1927, c. 1980s – 1990s, subsequent changes

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: The floor plan and materials are consistent throughout the building with five units per floor (except in the basement, where there are only the three units to the east). Each unit consists of a living room, dining nook, kitchen, bedroom and bath. The units along the north are two bedroom; the units on the south are one-bedroom at the ends and a studio at the center.

Typical finishes are plaster walls and ceiling with wood floors. Details include door casings, wood casings, and square perimeter baseboards. Interior doors are full wood with a single panel. Living rooms featured a cove ceiling with a picture rail. Open segmental pointed arches typically divide the living room from the entry and from the dining nook. One first floor unit (B) has a built-in bookcase. The dining nook typically was separated from the kitchen by flanking half-height cabinets supporting a segmental pointed arch. Typically, the outside wall cabinet had a door. Commonly, there was an iron board enclosure with frame and door. Kitchen cabinetry was attached, not built in. Cabinet form varies from unit to unit. As originally, it is unclear how the kitchen functioned assuming a kitchen sink, stove and refrigerator. Flooring was wood with sheet vinyl in the kitchen. Bathrooms were compact with plaster walls, subway-style tile wainscots, plaster ceiling, and mosaic tile flooring.

Conditions within units are poor. Vandalism, fires and exposure to the elements has caused extensive damage and degraded core materials. Plaster walls and ceilings, and in most instances the underlying lathe, have generally failed. Floors have buckled. Bathrooms have been stripped of fixtures and tile is mostly broken. In some locations, plaster walls and ceilings have failed entirely.

Applicant proposed to remove existing plaster and install new painted gypsum board walls and ceiling. Living room cove ceilings to be recreated applicant will salvage a section for use as a template. Segmental arches to be recreated based on drawings and photographs of existing conditions. Picture rail and baseboard to be replaced matching existing. Window casings, interior doors and door casings to be salvaged and reinstalled. Bookcase to be salvaged and reinstalled. Iron board cabinets and doors to be retained and repaired. Kitchen/dining room divider cabinets to be retained and repaired. Cabinets along the rear

CONTINUATION/AMENDMENT SHEET
Historic Preservation
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Marlboro Apartments

Property Name

1031 Marlborough Street, Detroit, Wayne County, Michigan

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kitchen wall to be removed and the kitchen configured to allow modern appliances. Buckled flooring to be removed and infilled with new plywood. Floors to be either vinyl or wall to wall carpet, depending upon location.

Bathroom tile to be removed. New bathrooms will have modern fixtures including a fiberglass shower unit, painted gypsum board walls and ceiling, and vinyl flooring.

All mechanical ducting will be enclosed. To accomplish this, applicant is proposing to construct a soffit in secondary locations within units. No soffits will impact window openings.

PHOTOS: 15, 17-19, 22-29, 32-42, 45-49(from the original Part 2 submission)
10-53, 63-94, 100-148 (EGI Photographs, February, 2019)

DRAWINGS: A1, A2, A4.2, A-5, A5.3, A5.4,A5.5, A5.6, A9.1 (EGI, Marlboro Apartments, February 26, 2019)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Marlboro Apartments

Property Name

1031 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 8

ARCHITECTURAL FEATURE: Basement – Slab

DATE OF FEATURE: 1927, c. 1980s – 1990s, subsequent changes

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: Sections of the basement floor slab needs to be replaced and upgraded. A portion needs to be removed to accommodate underground utilities. Wood framing and sleepers have generally rotted. Sections of the concrete slab to the east are in poor/failing condition. Applicant proposes partial demolition of the slab with replacement, while also removing a step in the corridor.

PHOTOS: N/A

DRAWINGS: A2.1 (EGI, Marlboro Apartments, February 26, 2019)

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Historic Preservation
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Marlboro Apartments

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1031 Marlborough Street, Detroit, Wayne County, Michigan

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ITEM 8

ARCHITECTURAL FEATURE: Basement - Corridor

DATE OF FEATURE: 1927, c. 1980s – 1990s, subsequent changes

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: The applicant is proposing to install a soffit approximately 9 inches square along the north wall of the basement corridor to enclose piping.

PHOTOS: 44 (from the original Part 2 submission)

DRAWINGS: A5.1 (EGI, Marlboro Apartments, February 26, 2019)

Use historic mix mortar mix for tuckpointing.
match existing adjacent joint composition, density,
dimension, color and profile.

Use low-pressure water spray with detergent for masonry cleaning.

See specifications sections 04901 Stone Restoration and Cleaning and 04902 Stone Restoration and Cleaning for stone and masonry restoration criteria, product requirements and procedures.

Replace interior baseboard, door, window and ceiling trim with new materials matching the locations, materials, sizes, profiles and finish type of existing.

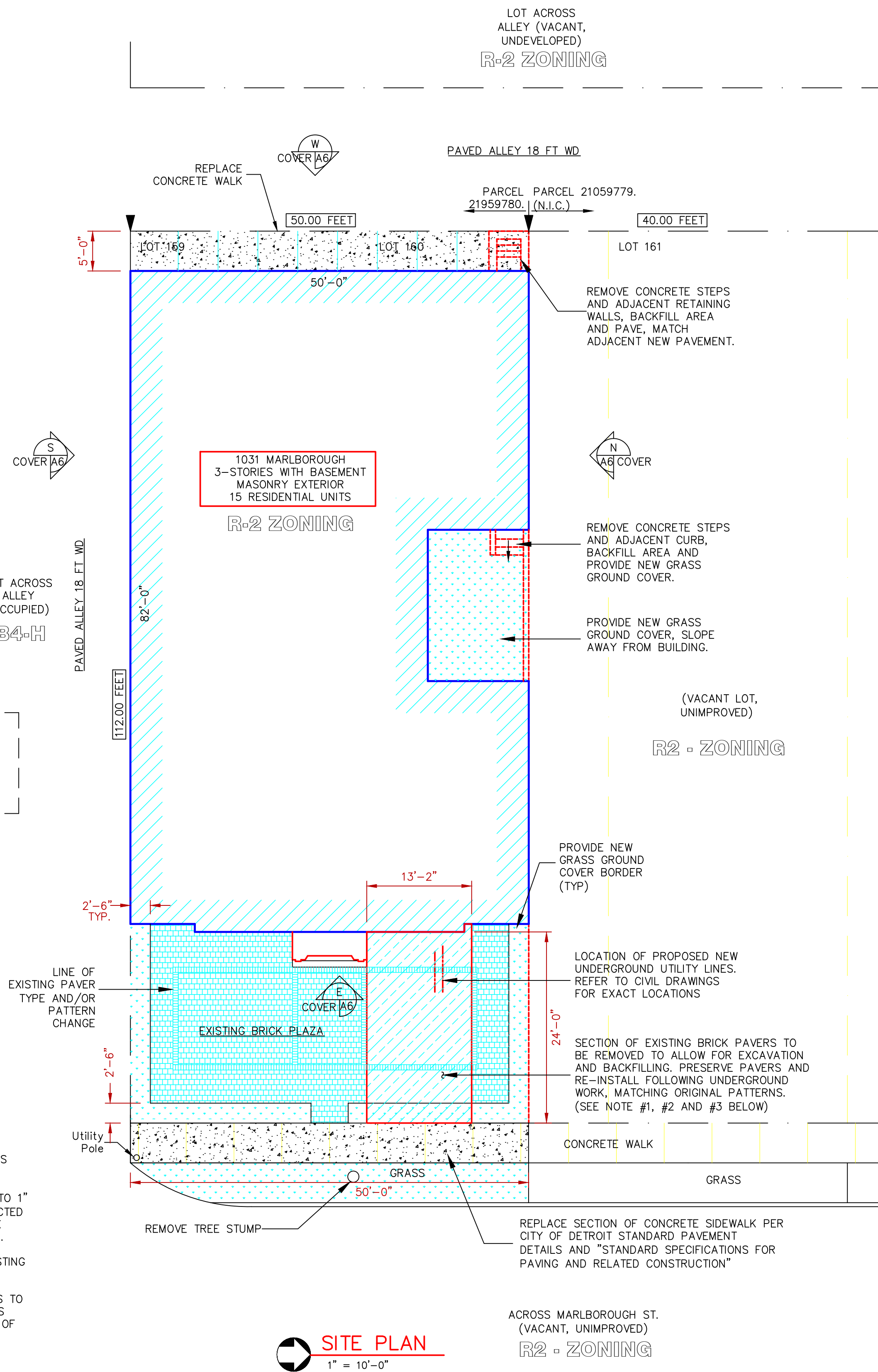
Replace all doors, mouldings and trim with new materials matching the locations, materials, sizes, profiles and finish type of existing and per door schedule.

Installation of all new mechanical, plumbing, electrical and life-safety systems must be concealed within the building's walls, floors, ceilings, or within new soffits. No system components shall be exposed, except for flush installed control devices, light fixtures and flush mounted receptacles.

1 REVISED SHEET INDEX TO ADD SHEETS A5.5, A5.6 AND A5.7

1. EDGE OF AREA OF PAVERS TO BE REMOVED TO ALIGN WITH EDGE OF EXISTING PAVER PATTERN CHANGE AS SHOWN.
2. RE-INSTALL PAVERS OVER 3/4" TO 1" SAND SETTING BED OVER 4" COMPACTED AGGREGATE BASE OVER WEED BLOCK FABRIC OVER COMPACTED SUBGRADE.
3. INSTALL PAVERS FLUSH WITH EXISTING ADJACENT PAVERS.
4. SOME AREAS OF EXISTING PAVERS TO BE REMOVED TO RECEIVE NEW GRASS GROUND COVER AS SHOWN INSTEAD OF RE-INSTALLED PAVERS.

A vicinity map showing the intersection of 1031 Marlborough. The map includes the following streets: Parkway Highway, Koorcietal, Conner, A. Jefferson, Marlbrough, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 170



PARCEL WITH BUILDING:
W MARLBOROUGH S 20 FT 160 159 POINTE VIEW JOS S VISGER &
EDGAR J HITCS SUB L17 P87 PLATS, WCR 21/302 50X112

ARCHITECTURAL

2015 MICHIGAN REHABILITATION CODE FOR
EXISTING BUILDINGS

MECHANICAL

2015 MICHIGAN MECHANICAL CODE
2015 MICHIGAN PLUMBING CODE

ELECTRICAL

NATIONAL ELECTRICAL CODE 2014

AUTOMATIC FIRE SUPPRESSION SYSTEM SHALL BE A DESIGN-BUILD RESPONSIBILITY OF THE CONTRACTOR.

UNIT NO.	NO. OF BEDROOMS	UNIT TYPE	FLOOR AREA
<u>Basement</u>			
B1	2	A	661
B2	1	B	552
B3	2	C	804
1st Floor			
1-A	2	A	708
1-B	1	B	574
1-C	2	C	830
1-D	2	D	832
2nd Floor			
2-A	2	A	708
2-B	1	B	574
2-C	2	C	830
2-D	2	D	832
3rd Floor			
3-A	2	A	708
3-B	1	B	574
3-C	2	C	830
3-D	2	D	832

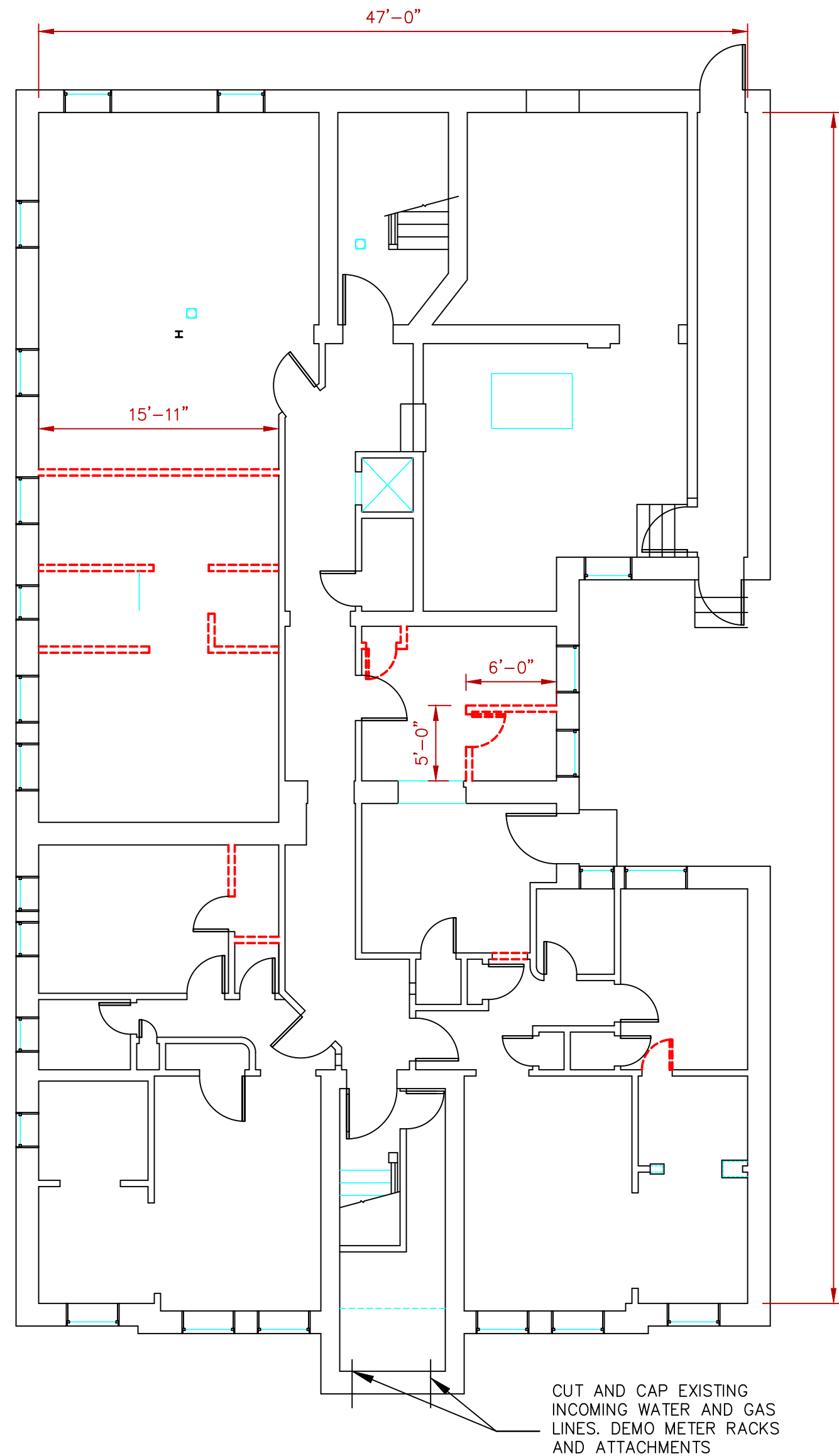
ACCESSIBILITY:
CONFIGURE ONE (1) DWELLING UNIT TO CONFORM TO TYPE 'B'
BARRIER-FREE DWELLING UNIT CODE REQUIREMENTS.

ARCHITECTURAL DRAWING SHEETS	
COVER	PROJECT DATA, SITE PLAN
A1	BASEMENT AND 1ST FLOOR DEMOLITION AND PROPOSED FLOOR PLANS
A1.1	UTILITY SERVICE COORDINATION PLAN
A2	2ND AND 3RD FLOOR DEMOLITION AND PROPOSED FLOOR PLANS
A2.1	BASEMENT FLOOR DEMO AND NEW SLAB PLANS
A3	ROOF PLAN, FLOOR FRAMING REPAIR PLAN
A4	ENLARGED FLOOR PLANS
A4.1	ENLARGED FLOOR PLANS
A4.2	FLOOR PATCH PLANS
A5	REFLECTED CEILING PLANS
A5.1	REFLECTED CEILING PLANS
A5.2	REFLECTED CEILING PLANS
A5.3	PARTIAL BUILDING SECTION
A5.4	CEILING CORNER AND FLOOR LOCATION PLAN
A5.5	ENLARGED REFLECTED CEILING PLANS
A5.6	ENLARGED REFLECTED CEILING PLANS
A5.7	ENLARGED REFLECTED CEILING PLANS
A6	BUILDING ELEVATIONS
A7	INTERIOR ELEVATIONS
A8	DOOR, FINISH AND PRODUCTS SCHEDULES
A9	WINDOW TYPES, WINDOW SCHEDULE
A10	WINDOW DETAILS

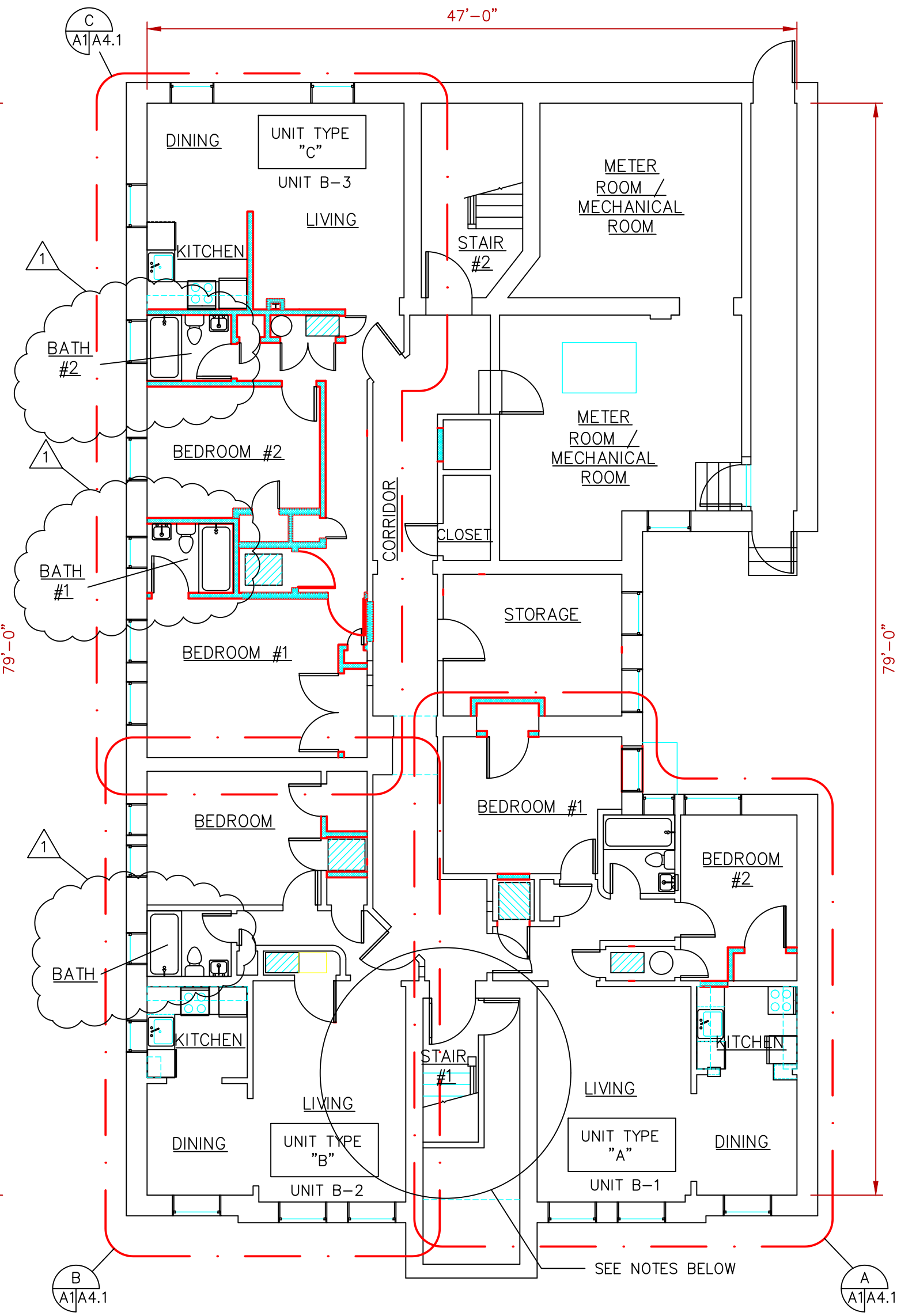
M-1	ABBREVIATIONS, SYMBOLS, GENERAL NOTES & SPECIFICATIONS
M-2	DETAILS
M-3	SCHEDULES
M-4	DETAILS
M-5	SCHEDULES
M-6	ROOF PLAN
M-7	NATURAL GAS, DOMESTIC WATER & DX COIL PIPING FLOW DIAGRAMS
M-8	BASEMENT AND 1ST FLOOR HVAC FLOOR PLANS
M-9	2ND AND 3RD FLOORS HVAC FLOOR PLANS
P-1	BASEMENT AND 1ST FLOOR PLUMBING/PIPING FLOOR PLANS
P-2	2ND AND 3RD FLOORS PLUMBING/PIPING FLOOR PLANS

E.0.1	DRAWING LIST, ABBREVIATIONS, SYMBOL LIST AND GENERAL NOTES
E.2.1	APARTMENT BASEMENT AND FIRST FLOOR LIGHTING PLANS
E.2.2	APARTMENT SECOND AND THIRD FLOOR LIGHTING PLANS
E.3.1	APARTMENT BASEMENT AND FIRST FLOOR POWER PLANS
E.3.2	APARTMENT SECOND AND THIRD FLOOR POWER PLANS
E.4.1	APARTMENT BASEMENT AND FIRST FLOOR AUXILIARY SYSTEMS
E.4.2	APARTMENT SECOND AND THIRD FLOOR AUXILIARY SYSTEMS
E.5.1	PLANS (Also Labeled as E.2.2)
E.5.2	ONE LINE DIAGRAMS, PANEL SCHEDULES AND LOAD CALCULATIONS
E.5.2	FIRE ALARM RISER DIAGRAM

REVIEW DRAFT

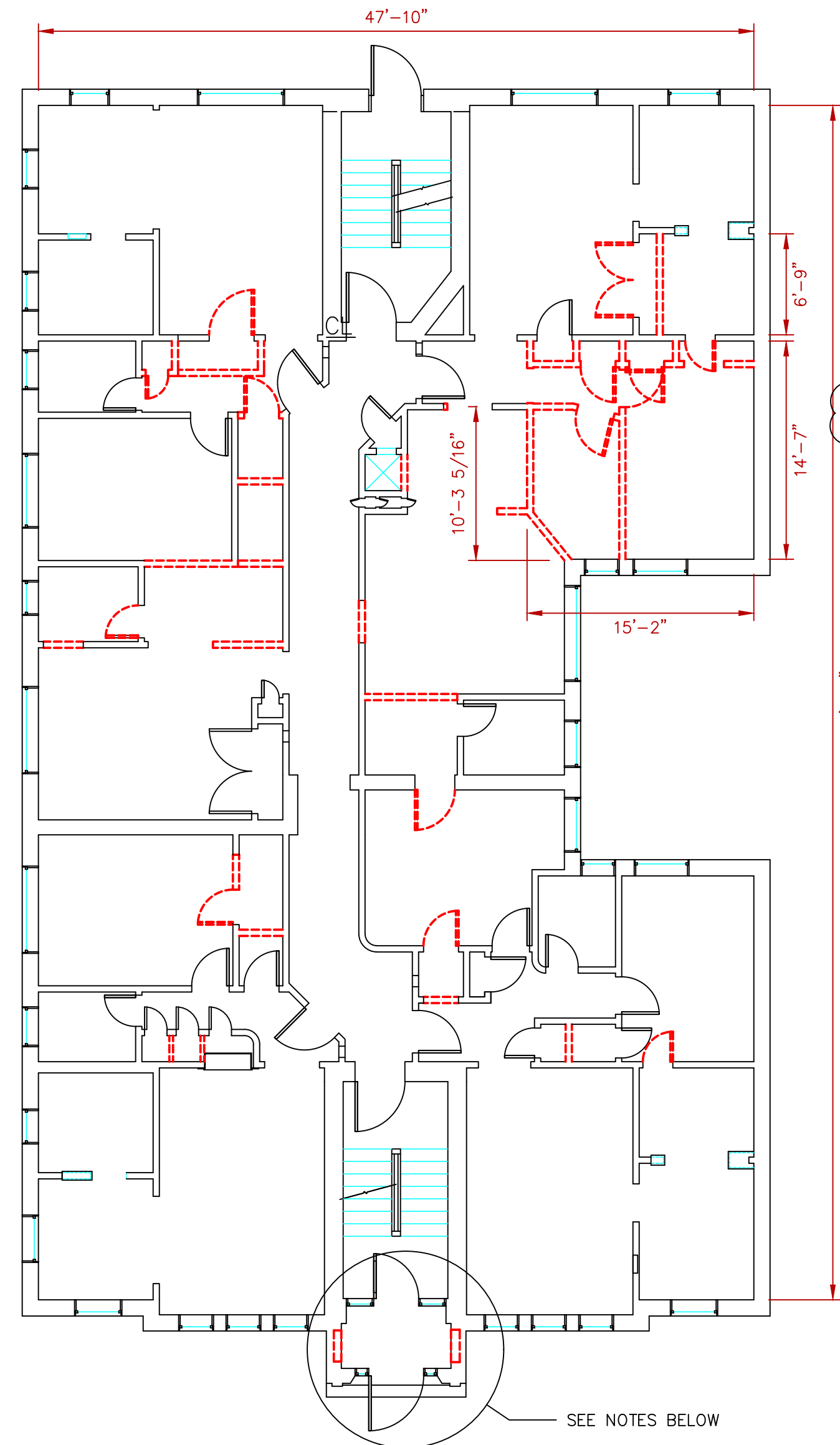


BASEMENT DEMOLITION FLOOR PLAN
1/8" = 1'-0"



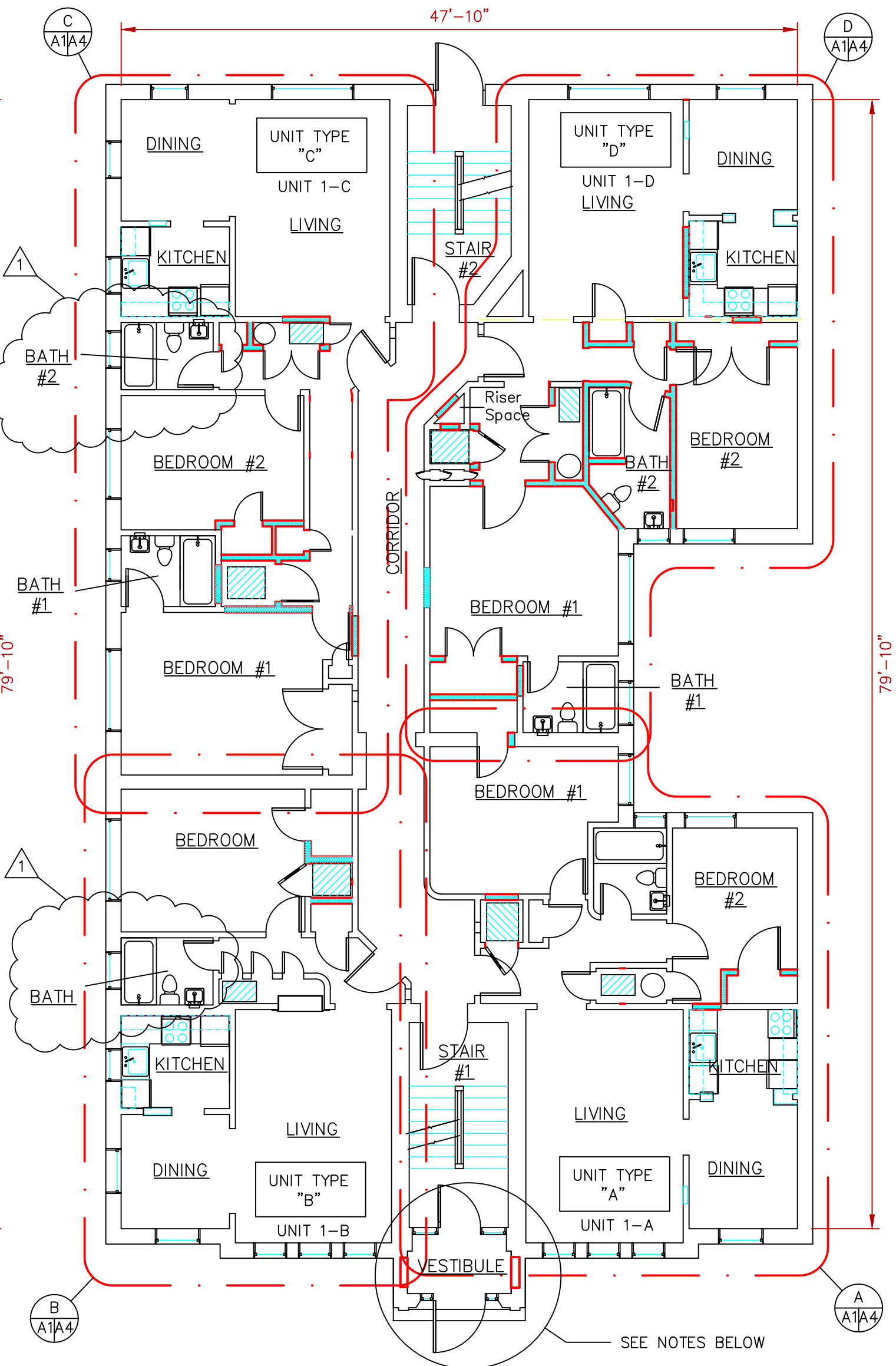
BASEMENT PROPOSED FLOOR PLAN
1/8" = 1'-0"

- BASEMENT FLOOR PLAN NOTES:**
1. REMOVE EXISTING WOOD STAIRCASE PRESERVING HANDRAIL AND BALUSTERS.
 2. CONSTRUCT NEW STAIR WITH EQUAL RISER HEIGHTS FROM GROUND FLOOR LANDING TO TOP OF NEW CONCRETE SLAB.
 3. REINSTALL HANDRAIL AND BALUSTERS. FINISH IN ACCORDANCE WITH THE FINISH SCHEDULE.



1ST FLOOR DEMOLITION FLOOR PLAN
1/8" = 1'-0"

- 1ST FLOOR DEMOLITION PLAN NOTES:**
1. REMOVE EXISTING STONE STEPS. REFER TO SPECIFICATIONS REGARDING STONE RESTORATION WORK.
 2. REMOVE EXISTING BUILT-IN MAILBOXES AND TRIM.
 3. EXISTING CERAMIC TILE FLOORING AND INTACT WALL FINISH IN VESTIBULE TO BE RESTORED AND PRESERVED IN PLACE.



1ST FLOOR PROPOSED FLOOR PLAN
1/8" = 1'-0"

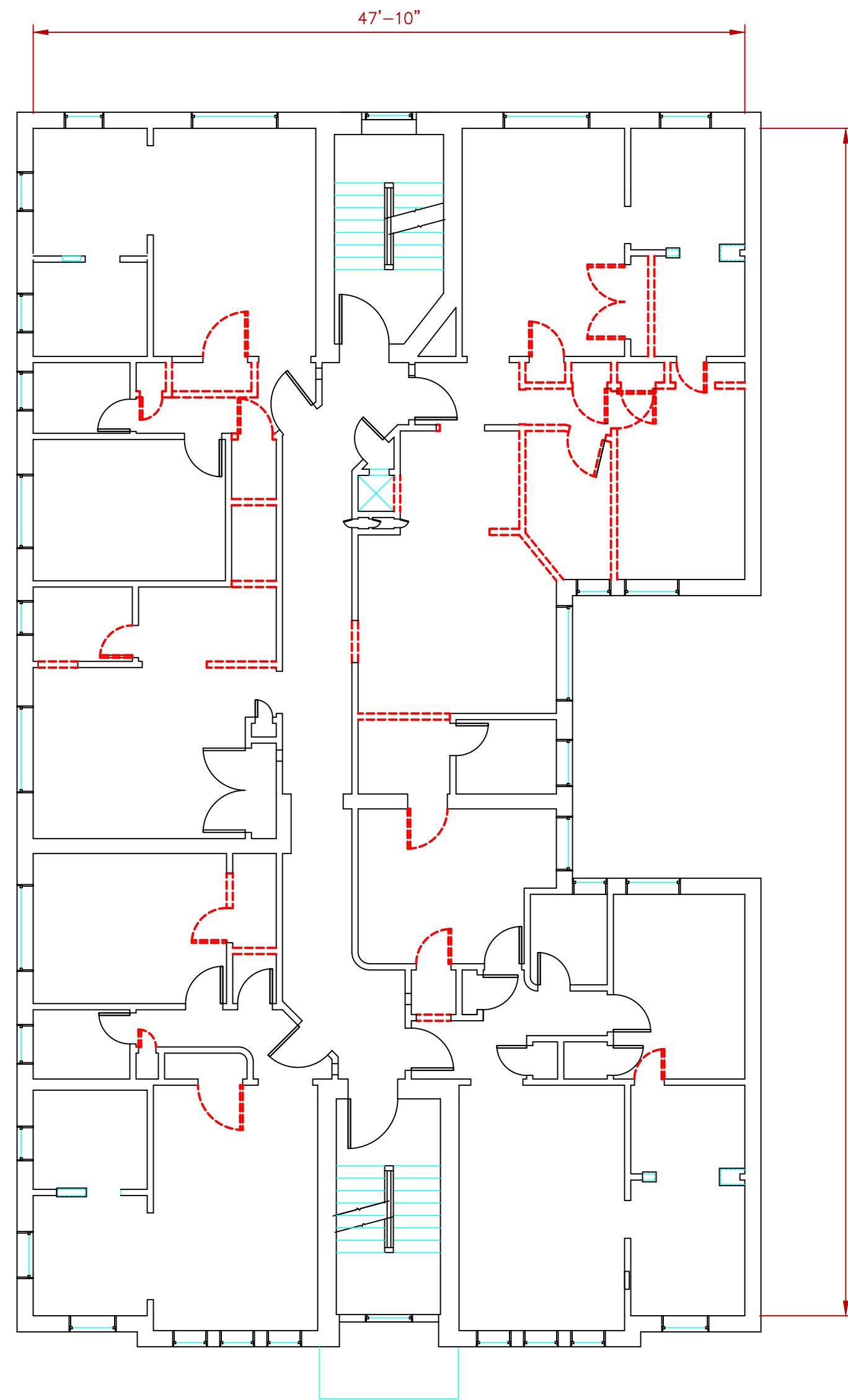
- 1ST FLOOR PROPOSED PLAN NOTES:**
1. INSTALL NEW STONE STEP UNITS MATCHING SIZE, SHAPE AND MATERIAL OF EXISTING ONES TO BE REMOVED. REFER TO SPECIFICATIONS REGARDING STONE RESTORATION WORK.
 2. INSTALL NEW BUILT-IN MAILBOXES AND TRIM IN EXISTING OPENINGS. REFER TO PRODUCTS SCHEDULE FOR NEW MAILBOX DETAILS.
 3. REPLACE INNER VESTIBULE DOOR BETWEEN VESTIBULE AND FRONT STAIRWELL.

DEMOLITION PLAN - SYMBOLS KEY

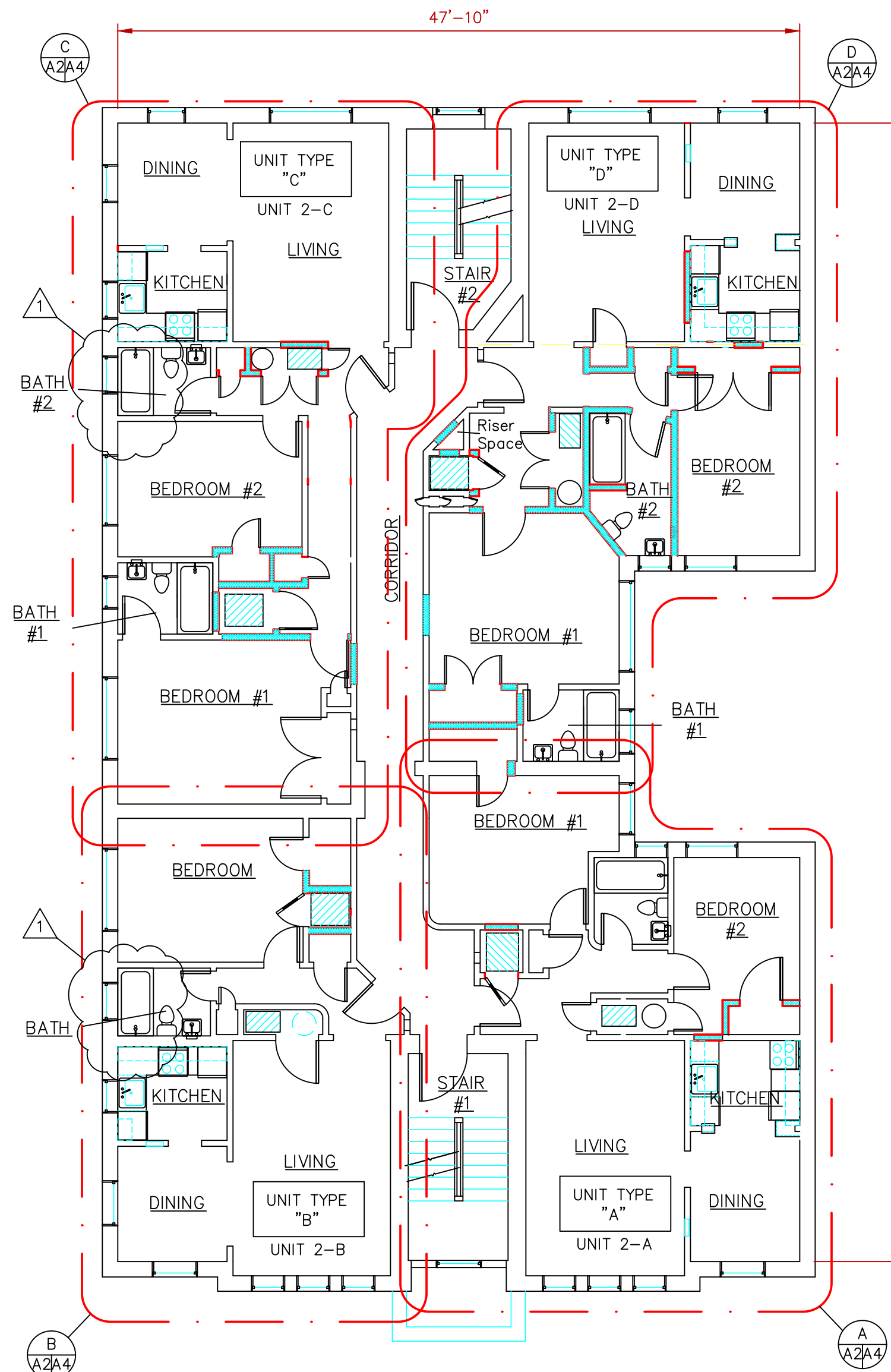
===== EXISTING FULL HEIGHT WOOD FRAMED PLASTER FINISHED NON-LOAD BEARING PARTITION WALL TO BE REMOVED. NOTE: SOME WALLS MAY NOT HAVE EXISTING PLASTER FINISH ON EACH SIDE. REMOVE EXISTING DOORS AND FRAMES WHERE SHOWN.

REVISIONS THIS SHEET

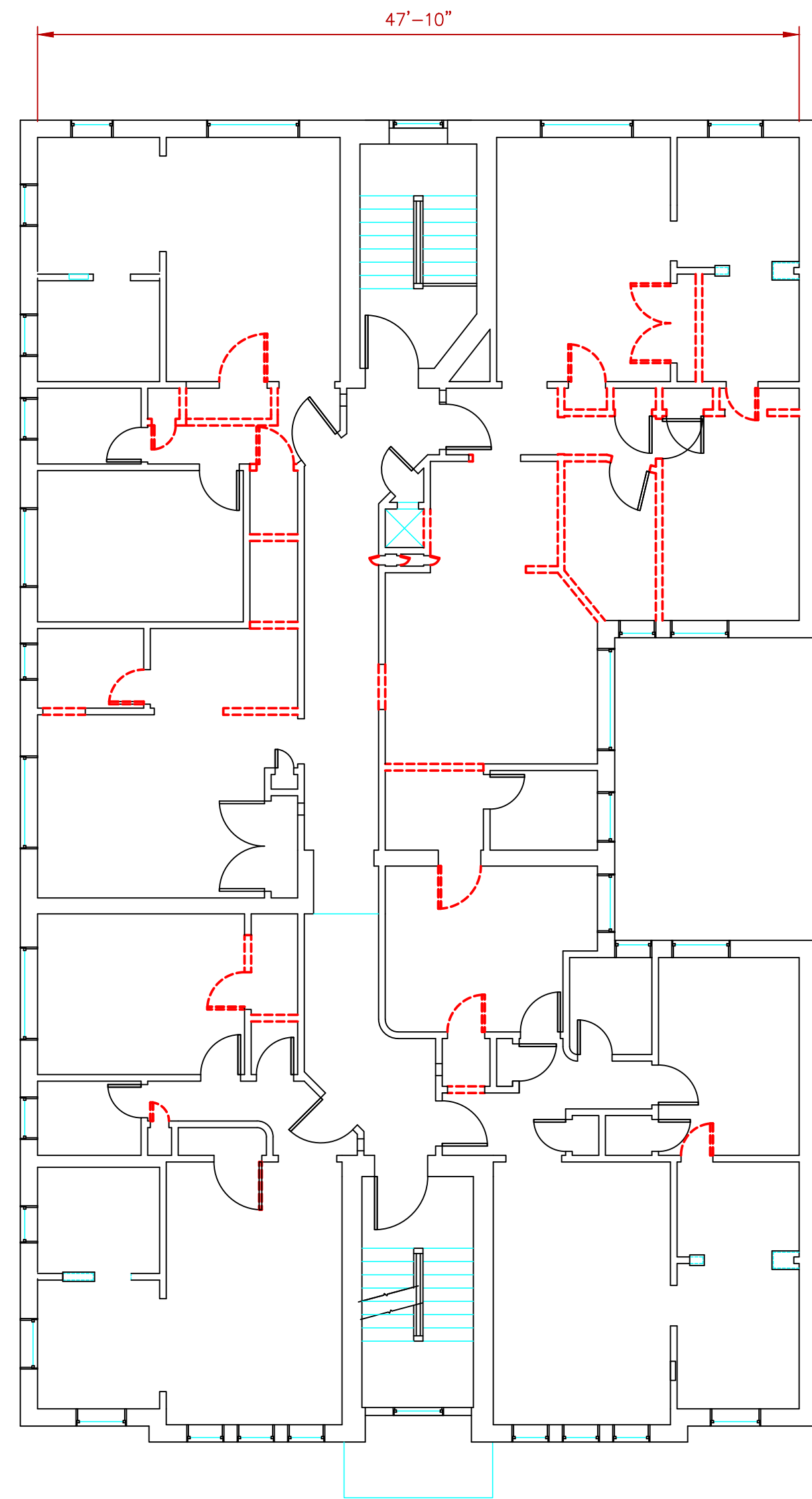
△ REVISED TUB/SHOWER UNIT SIZES



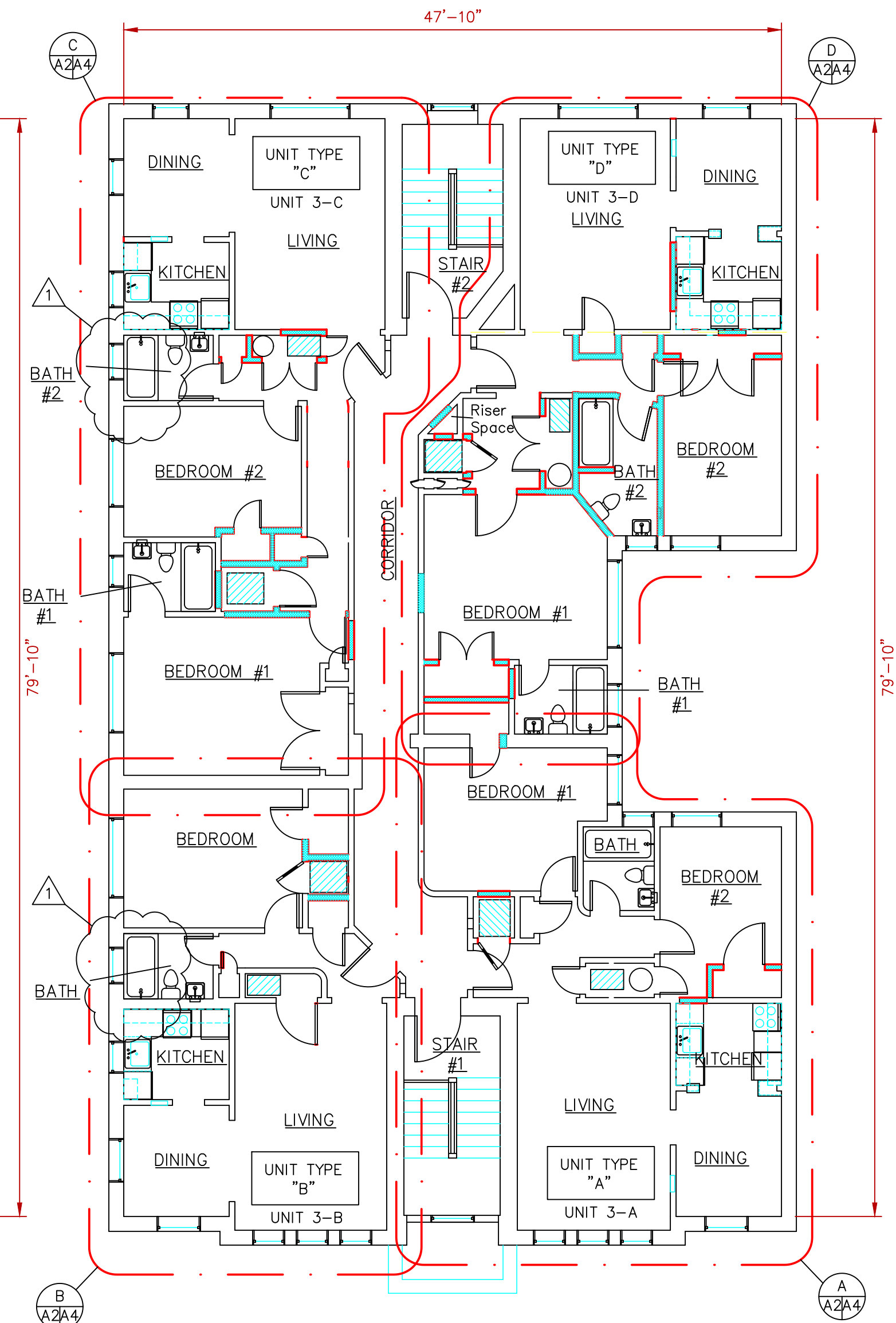
2ND FLOOR DEMOLITION FLOOR PLAN
1/8" = 1'-0"



2ND FLOOR PROPOSED FLOOR PLAN
1/8" = 1'-0"



3RD FLOOR DEMOLITION FLOOR PLAN
1/8" = 1'-0"



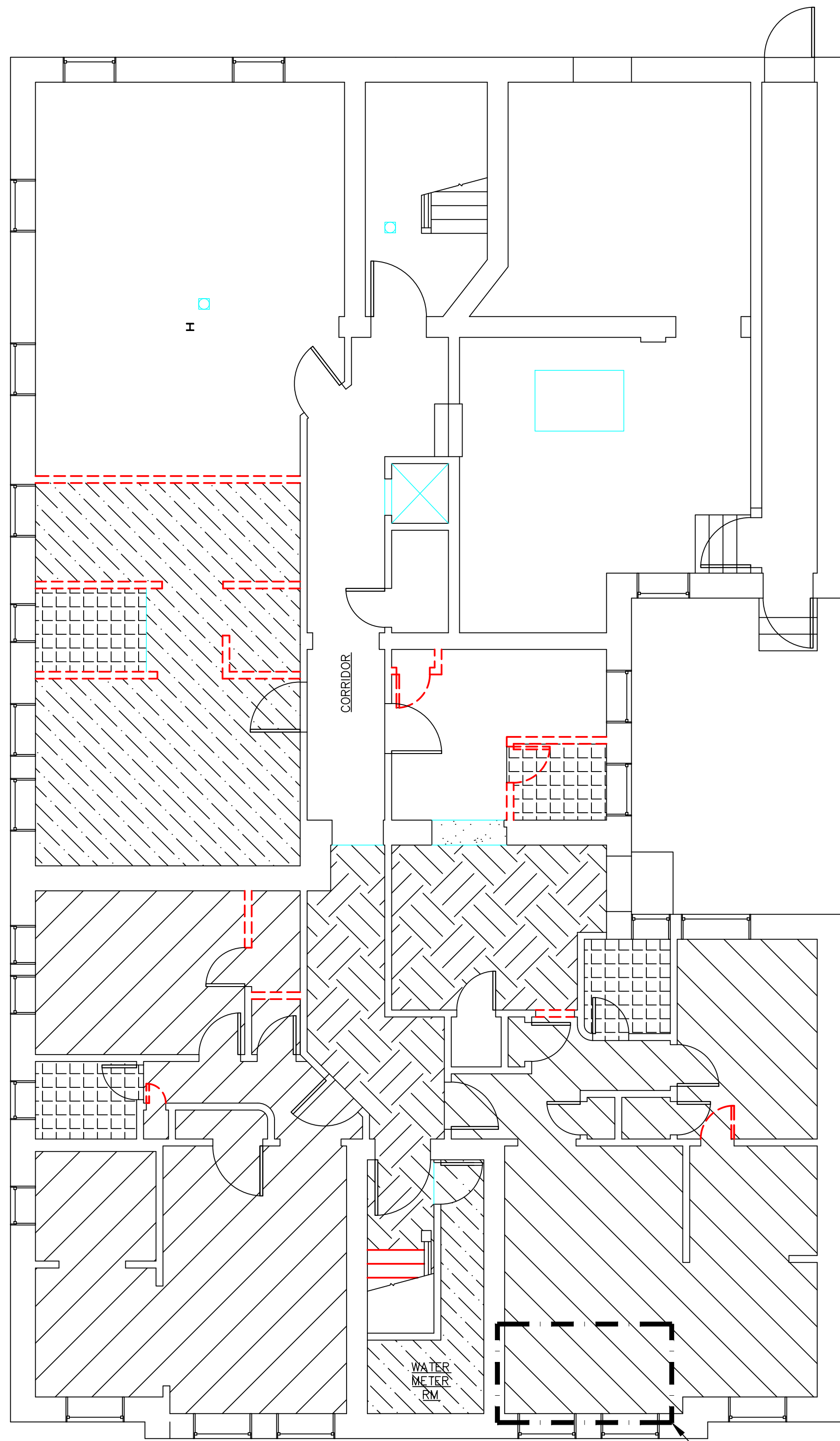
3RD FLOOR PROPOSED FLOOR PLAN
1/8" = 1'-0"

DEMOLITION PLAN - SYMBOLS KEY

----- EXISTING FULL HEIGHT WOOD FRAMED PLASTER FINISHED NON-LOAD BEARING PARTITION WALL TO BE REMOVED. NOTE: SOME WALLS MAY NOT HAVE EXISTING PLASTER FINISH ON EACH SIDE. REMOVE EXISTING DOORS AND FRAMES WHERE SHOWN.

REVISIONS THIS SHEET

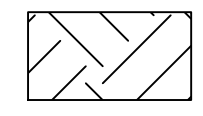
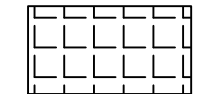
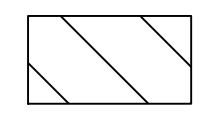
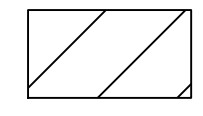

△ REVISED TUB/SHOWER UNIT SIZES



 **BASEMENT FLOOR DEMOLITION PLAN**
3/16" = 1'-0"

THESE SYMBOLS APPLY ONLY TO AREAS OF EXISTING FLOOR CONSTRUCTION TO BE REMOVED AS SHOWN ON THE BASEMENT FLOOR DEMOLITION PLAN. EXISTING FLOOR CONSTRUCTION TO REMAIN EXCEPT WHERE OTHERWISE NOTED.

DEMOLITION PLAN – SYMBOLS KEY

- | | |
|---|--|
|  | WOOD PLANK FLOORING OVER WOOD SLEEPERS OVER CONCRETE BASE. DEMOLISH WOOD CONSTRUCTION DOWN TO EXISTING CONCRETE. AREA = APPROXIMATELY 348 SQ. FT. |
|  | DEMOLISH CERAMIC TILE ON 4in CONCRETE BASE OVER ADDITIONAL 7in CONCRETE SLAB BELOW. COMBINED AREAS = APPROXIMATELY 114 SQ. FT. |
|  | FINISH GRADE HARDWOOD OVER WOOD PLANKS OVER WOOD SLEEPERS OVER CONCRETE BASE. DEMOLISH WOOD CONSTRUCTION DOWN TO EXISTING CONCRETE. AREA = APPROX. 467 SQ. FT. |
|  | DEMOLISH RAISED FLOOR: FINISH GRADE HARDWOOD OVER FRAMING. AREA = APPROXIMATELY 493 SQ. FT. |
|  | AREA OF EXISTING CONCRETE FLOOR SLAB TO BE REMOVED |

DEMOLITION PLAN GENERAL NOTE

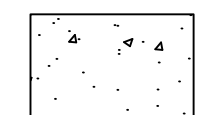
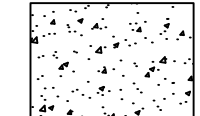
1. REFER TO CIVIL AND UNDERGROUND UTILITY LOCATION COORDINATION PLAN A1.1 FOR ADDITIONAL INFORMATION.

DEMO EXISTING FLOOR SLAB IN THIS AREA TO ACCOMMODATE INSTALLATION OF NEW UNDERGROUND UTILITY LINES. SEE CIVIL PLANS AND UTILITY SERVICE COORDINATION PLAN FOR ADDITIONAL INFORMATION

AREAS OF NEW LEVEL CONCRETE FLOOR TOPPING OVER EXISTING CONCRETE BASE. PROVIDE MINIMUM 3 INCH TOTAL CONCRETE THICKNESS.

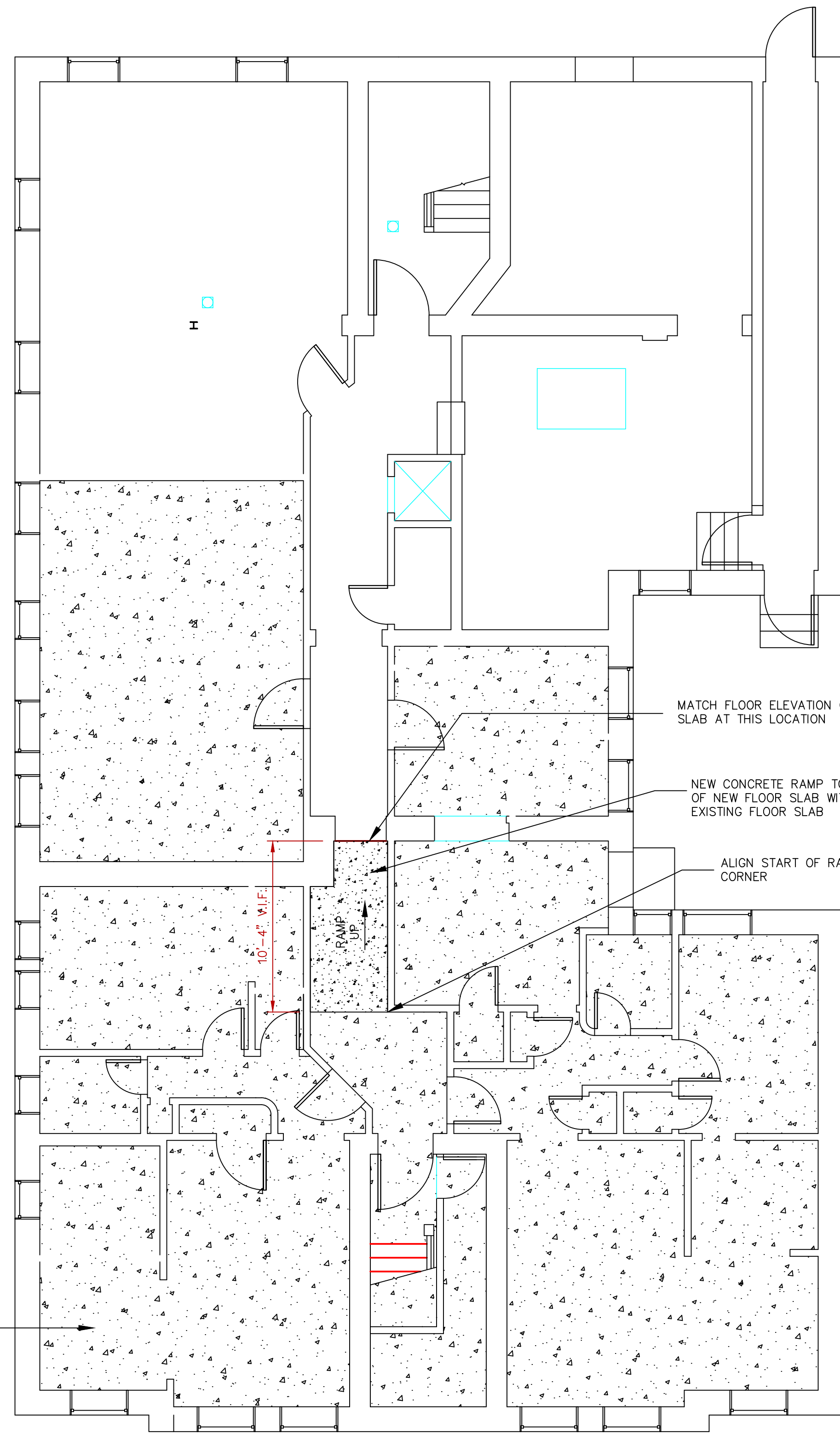
THESE SYMBOLS APPLY ONLY TO AREAS TO RECEIVE NEW CONCRETE FLOOR SLABS AS SHOWN ON THE BASEMENT FLOOR NEW SLAB PLAN

NEW SLAB PLAN – SYMBOLS KEY

- | | |
|---|---|
|  | NEW CONCRETE FLOOR SLAB
AREA = APPROXIMATELY 1,981 SQ. FT. (VERIFY IN FIELD) |
|  | NEW CONCRETE RAMP |

FLOOR SLAB PLANS GENERAL NOTES:

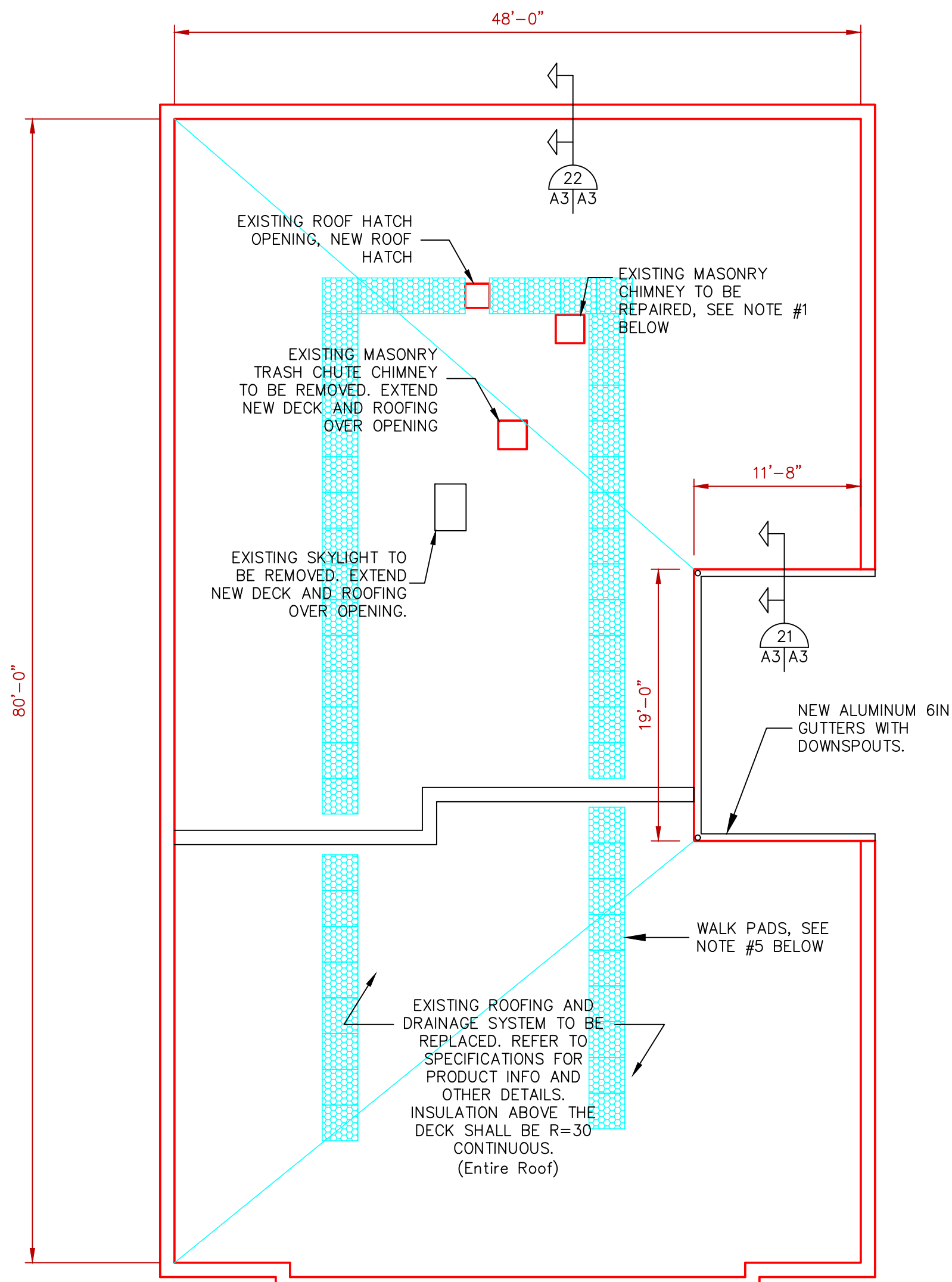
1. VERIFY QUANTITIES IN FIELD.
2. CONCEALED CONDITIONS ARE ESTIMATED.



 **BASEMENT FLOOR, NEW SLAB PLAN**
3/16" = 1'-0"

ISSUE DATES:

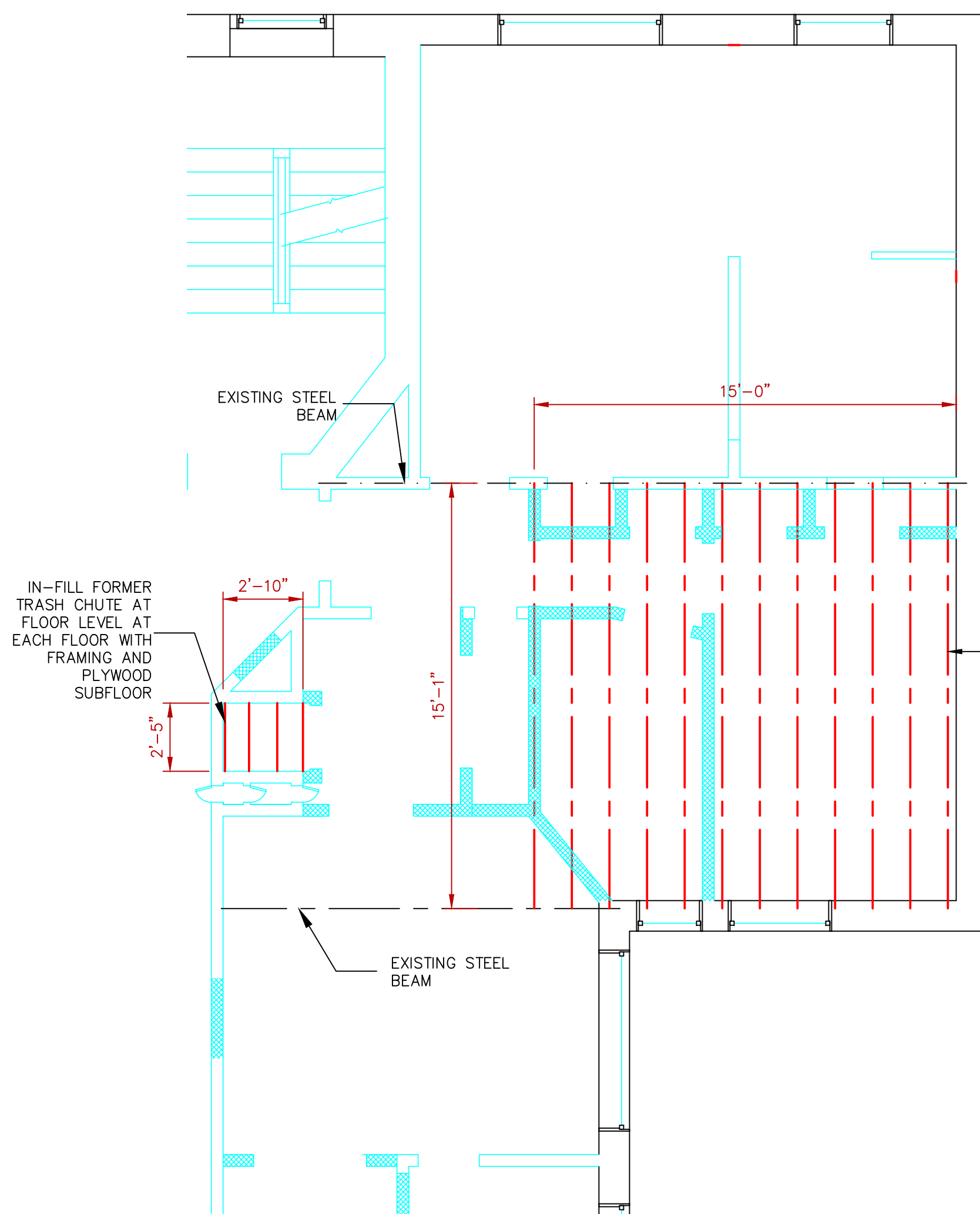
HISTORIC REVIEW
JUL-26-2017
ADDENDUM #1
MAR-28-2018
ADDENDUM #2
OCT-1-2018
ADDENDUM #3
JAN-10-2019
BULLETIN #1
JAN-30-2019



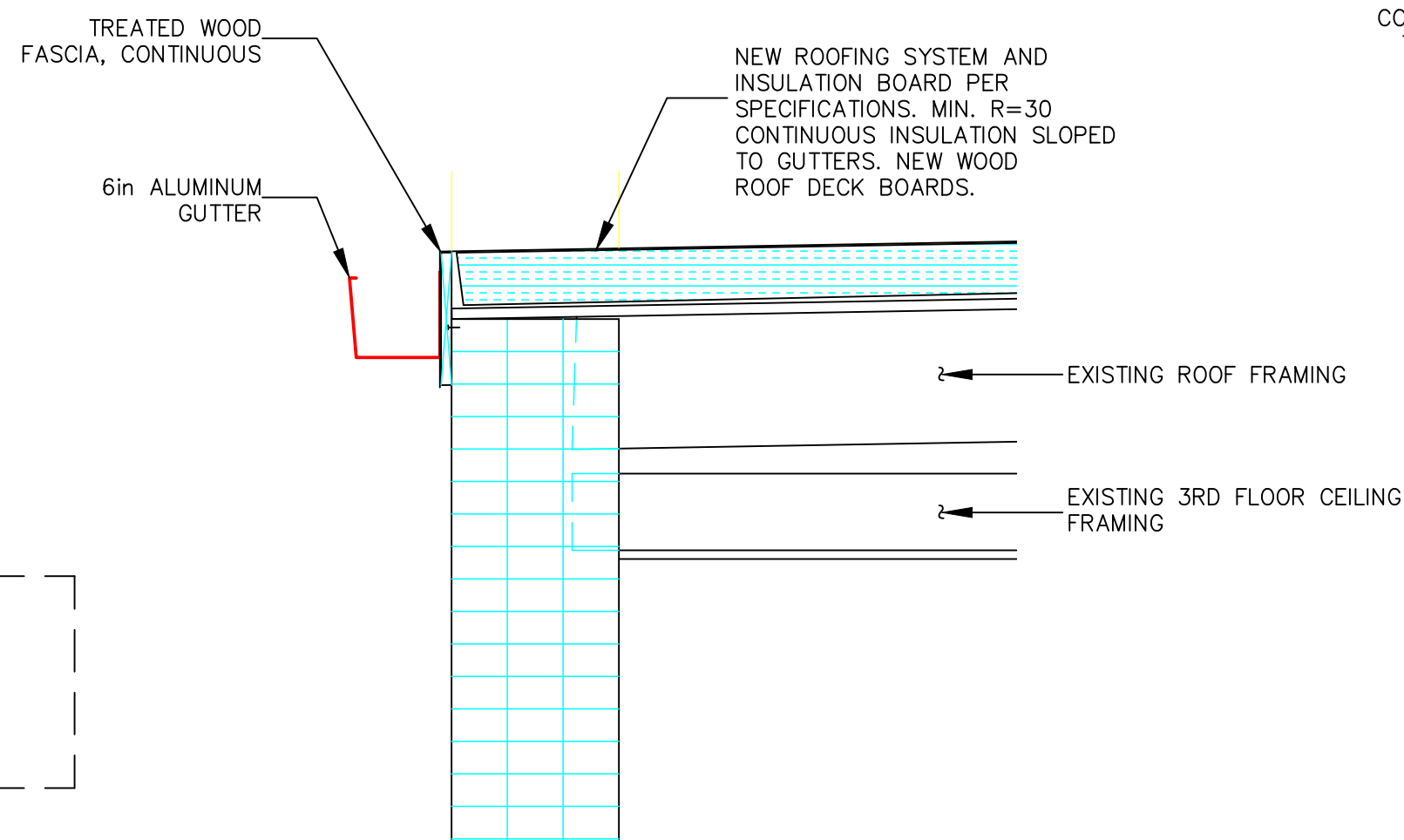
ROOF PLAN
1/8" = 1'-0"

ROOF PLAN AND SECTIONS GENERAL NOTES:

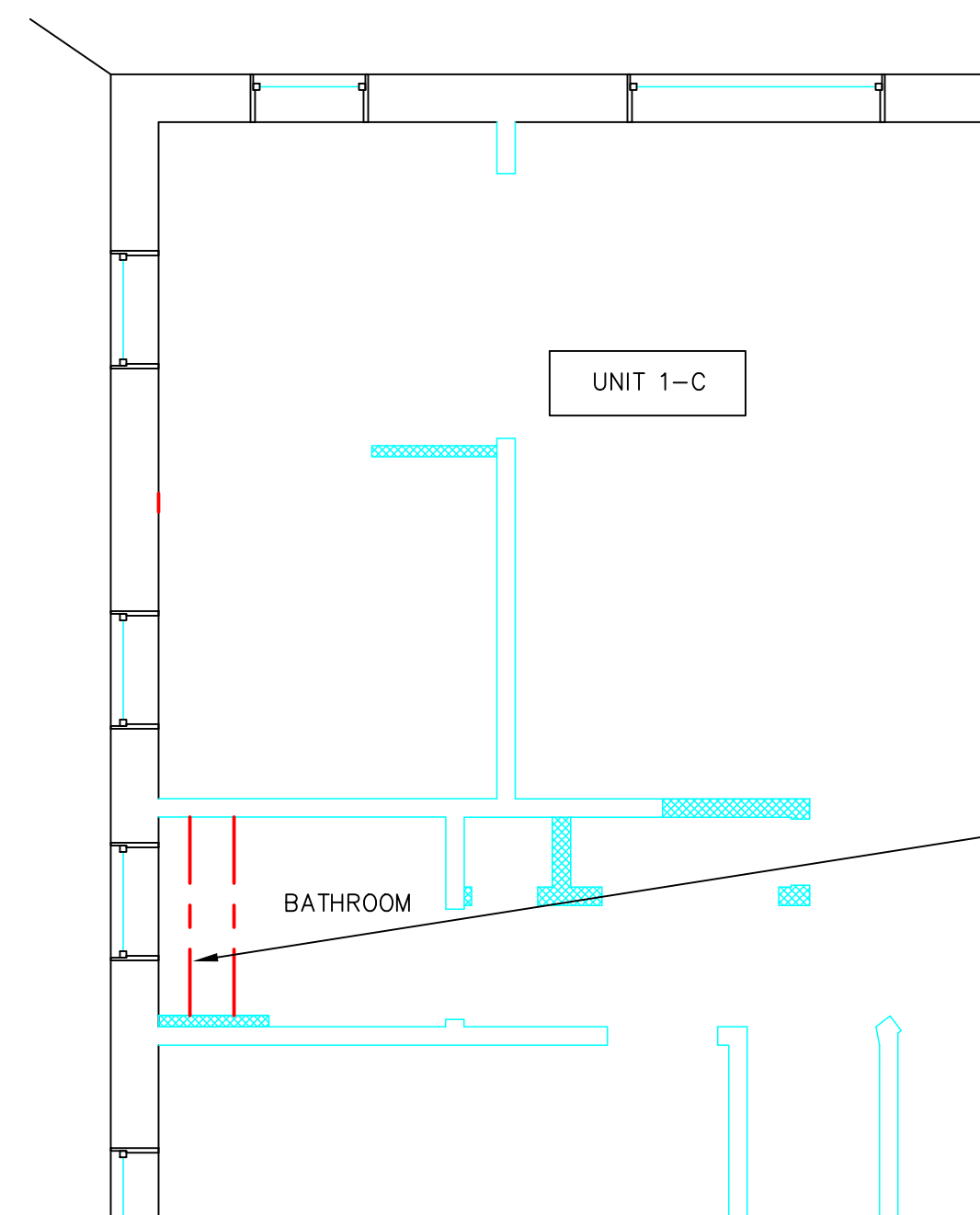
1. RESTORE MASONRY CHIMNEYS IN ACCORDANCE WITH THE MASONRY RESTORATION AND CLEANING SPECIFICATIONS.
2. REFER TO MECHANICAL DRAWINGS FOR ROOFTOP MECHANICAL EQUIPMENT AND VENT LOCATIONS. ALIGN NEW WALK PAD ROUTES TO ACCESS NEW HVAC EQUIPMENT.
3. REFER TO SPECIFICATIONS FOR ADDITIONAL ROOFING SYSTEM REQUIREMENTS.
4. CONCEALED EXISTING CONDITIONS BELOW ROOF DECK ARE ESTIMATED, TO BE VERIFIED IN FIELD.
5. WALK PADS SHALL BE DURO-LAST ROOF-TRAK III, INSTALLED PER MANUFACTURER'S INSTRUCTIONS.



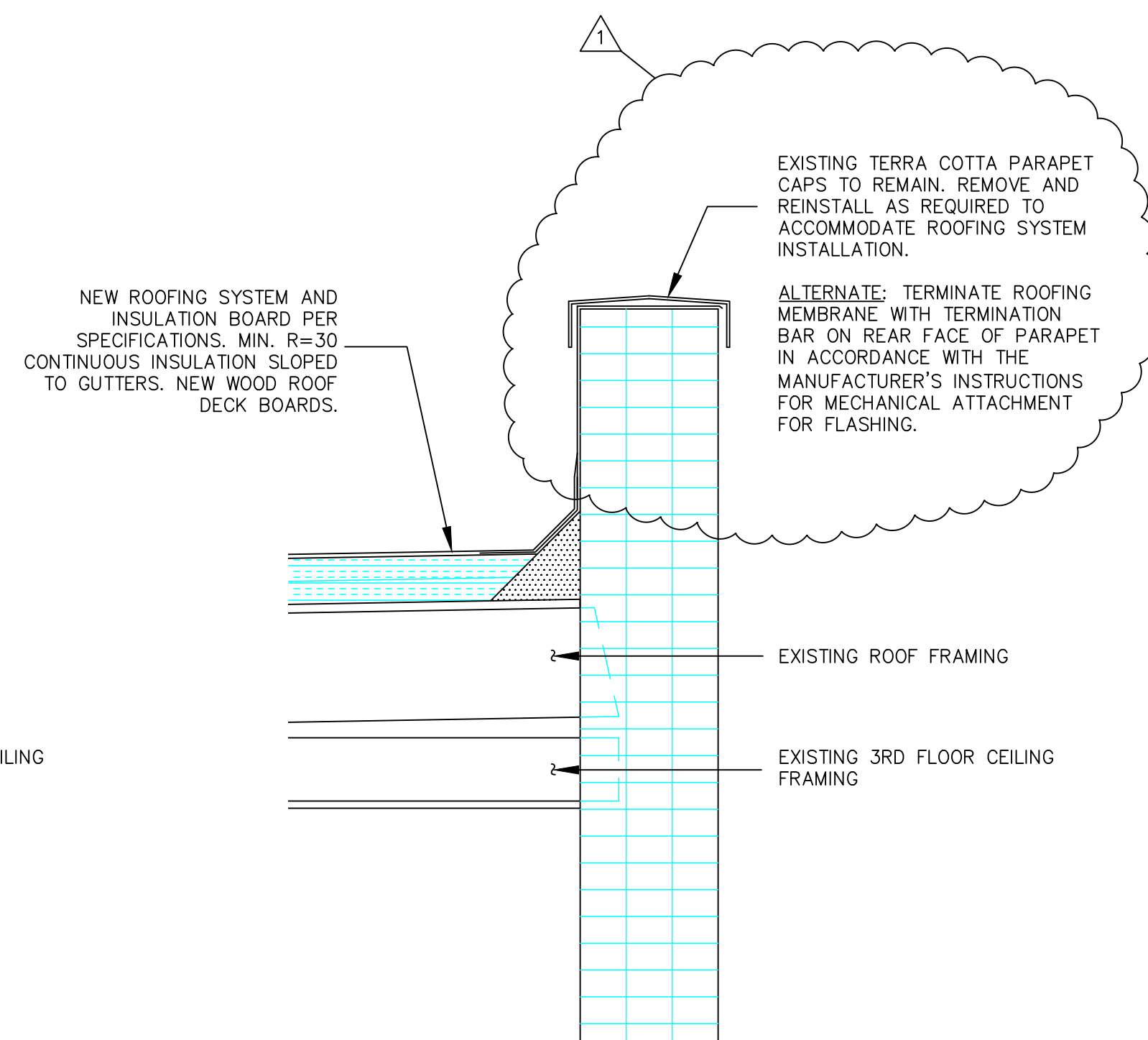
FLOOR FRAMING REPAIR PLAN – TYPICAL AT 1ST, 2ND AND 3RD FLOORS
1/4" = 1'-0"



SECTION THROUGH ROOF AT GUTTER
1" = 1'-0"



FLOOR FRAMING REPAIR UNDER TUBS IN BATHROOMS (TYP)
1/4" = 1'-0"

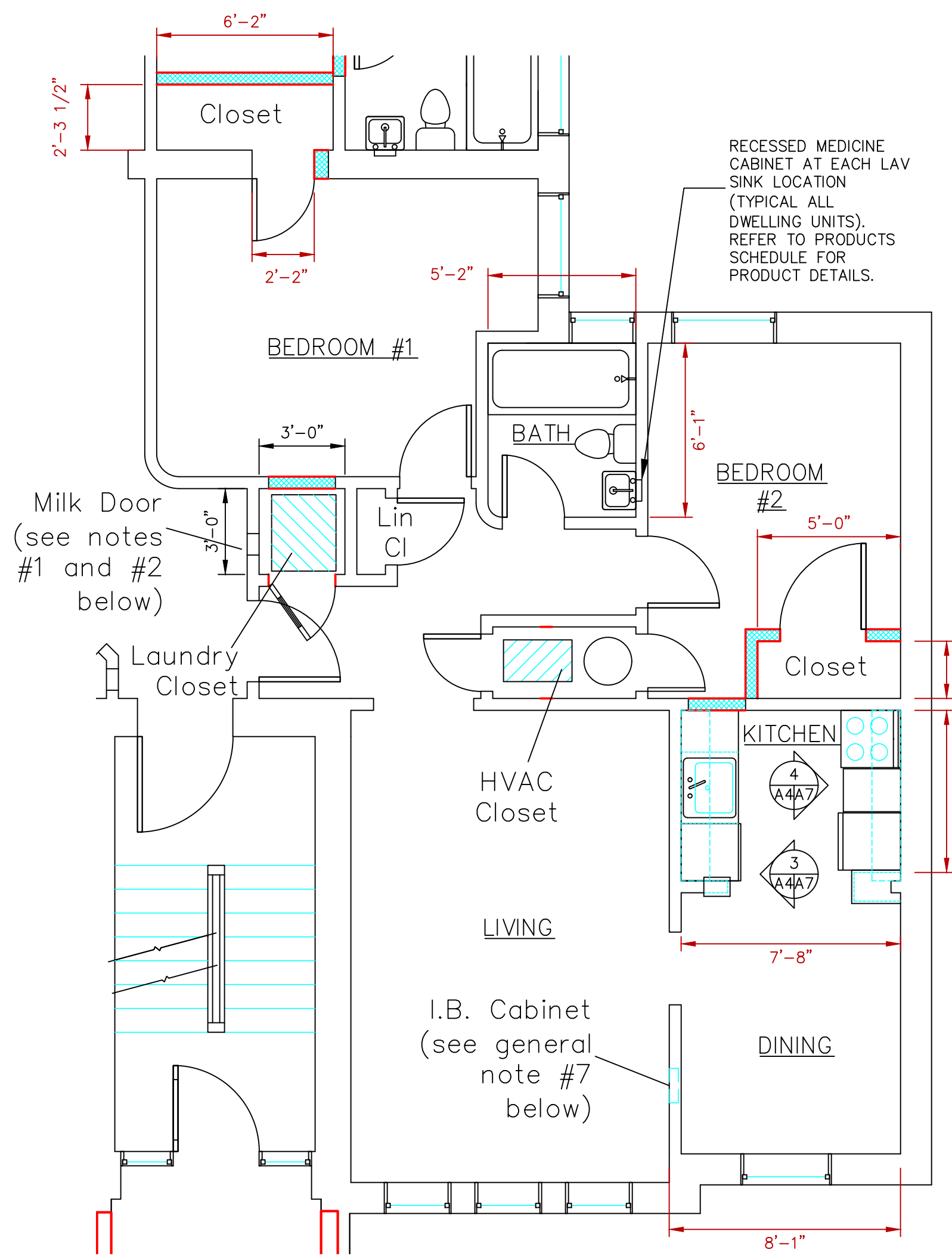


SECTION THROUGH ROOF AT PARAPET, SIMILAR AT FIRE WALL
1" = 1'-0"

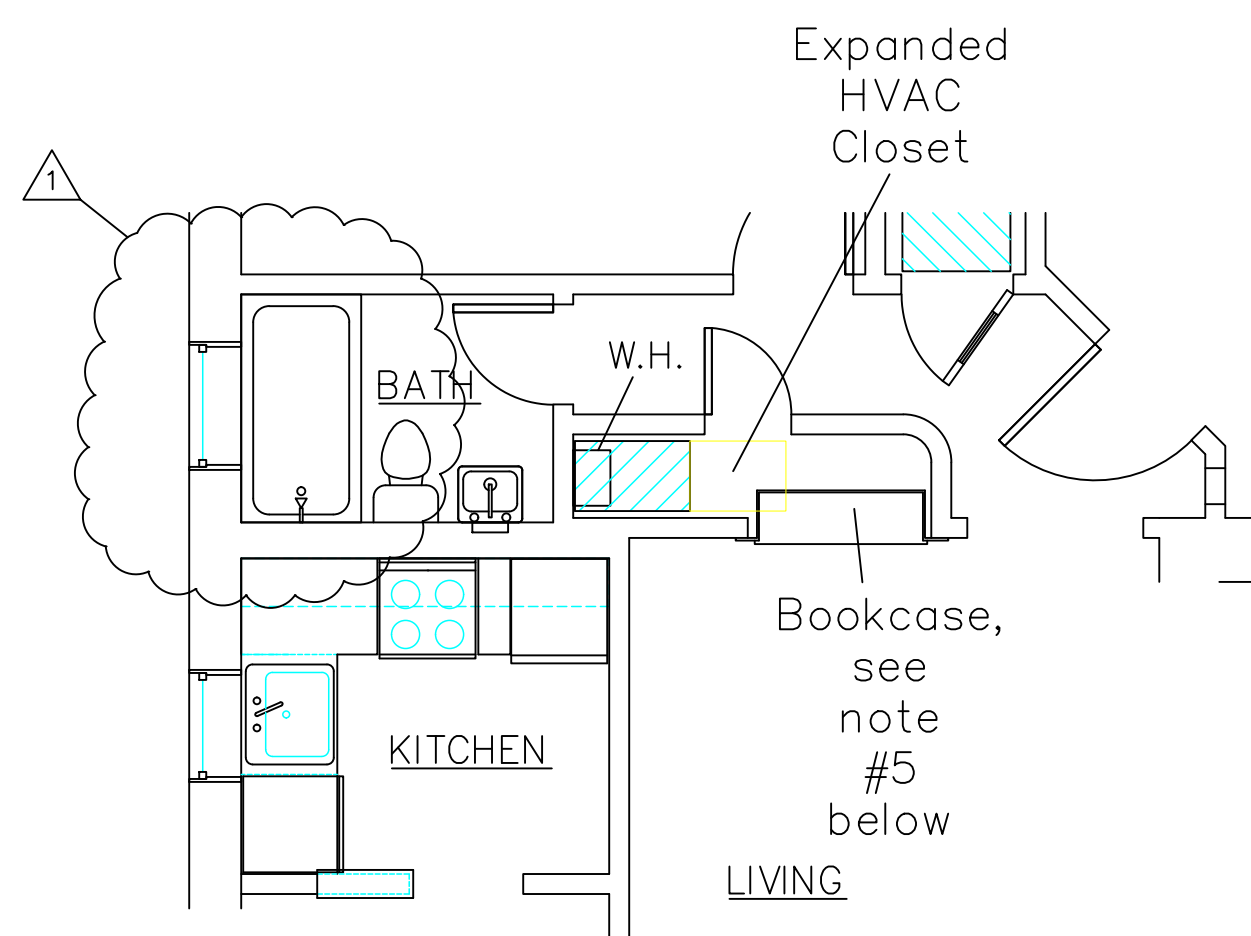
REVISIONS THIS SHEET	
1	ADDED ALTERNATE FOR ROOF FLASHING AT PARAPETS

ISSUE DATES:

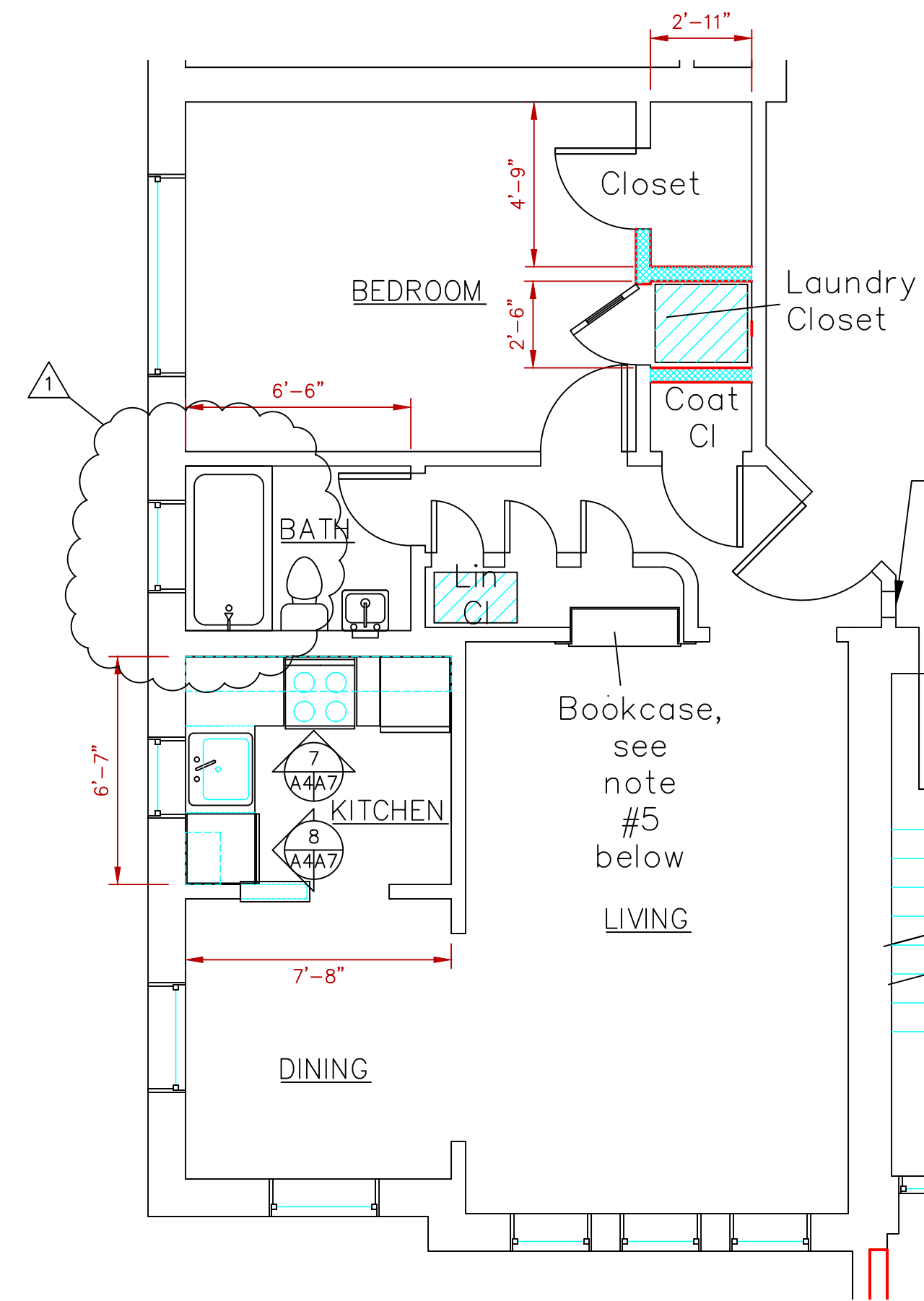
- ADDENDUM #1
MAR-28-2018
- ADDENDUM #2
OCT-1-2018
- ADDENDUM #3
JAN-10-2019
- BULLETIN #1
JAN-30-2019
- BULLETIN #2
FEB-26-2019



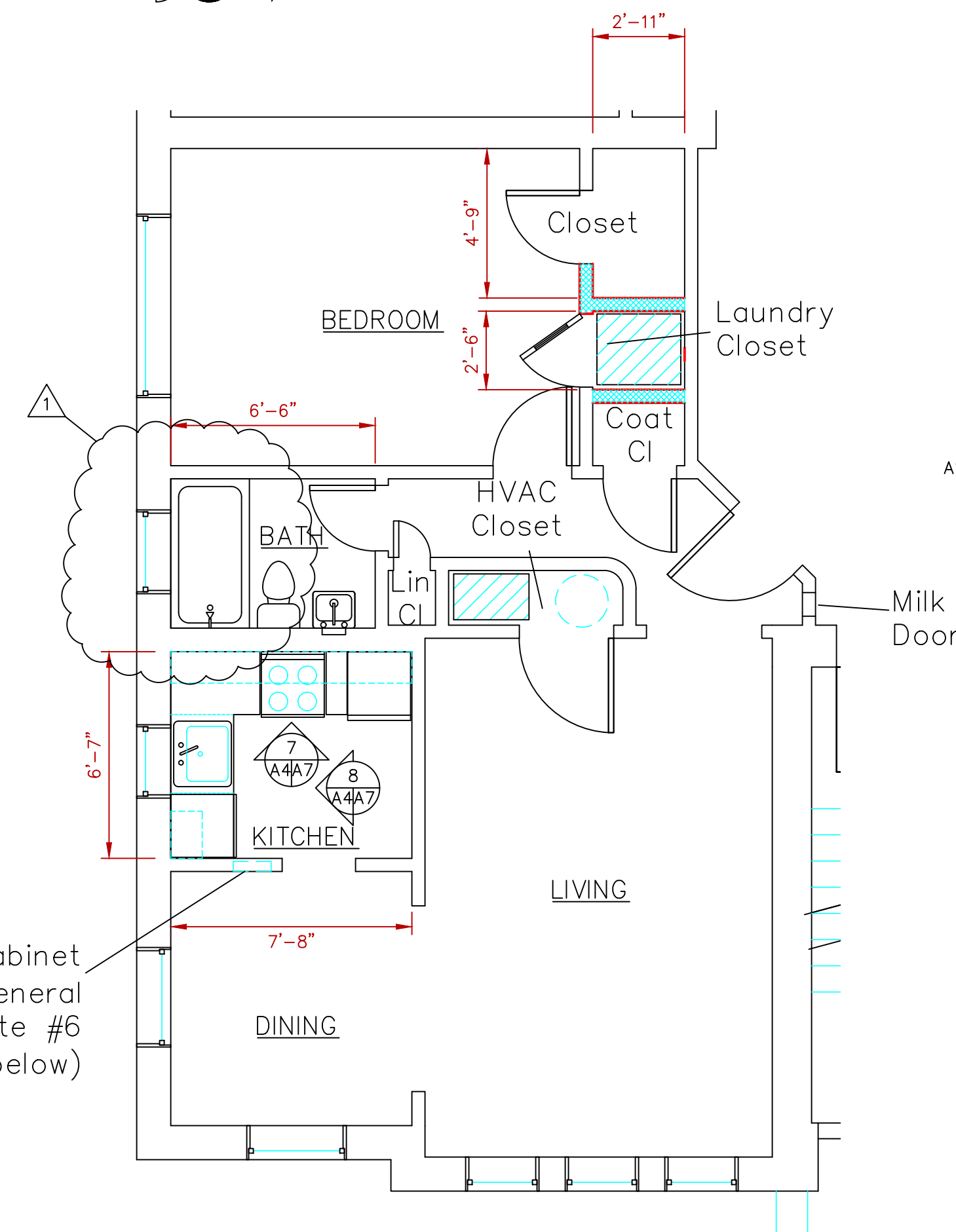
ENLARGED PROPOSED FLOOR PLAN –
UNIT TYPE A (1st, 2nd 3rd floors)



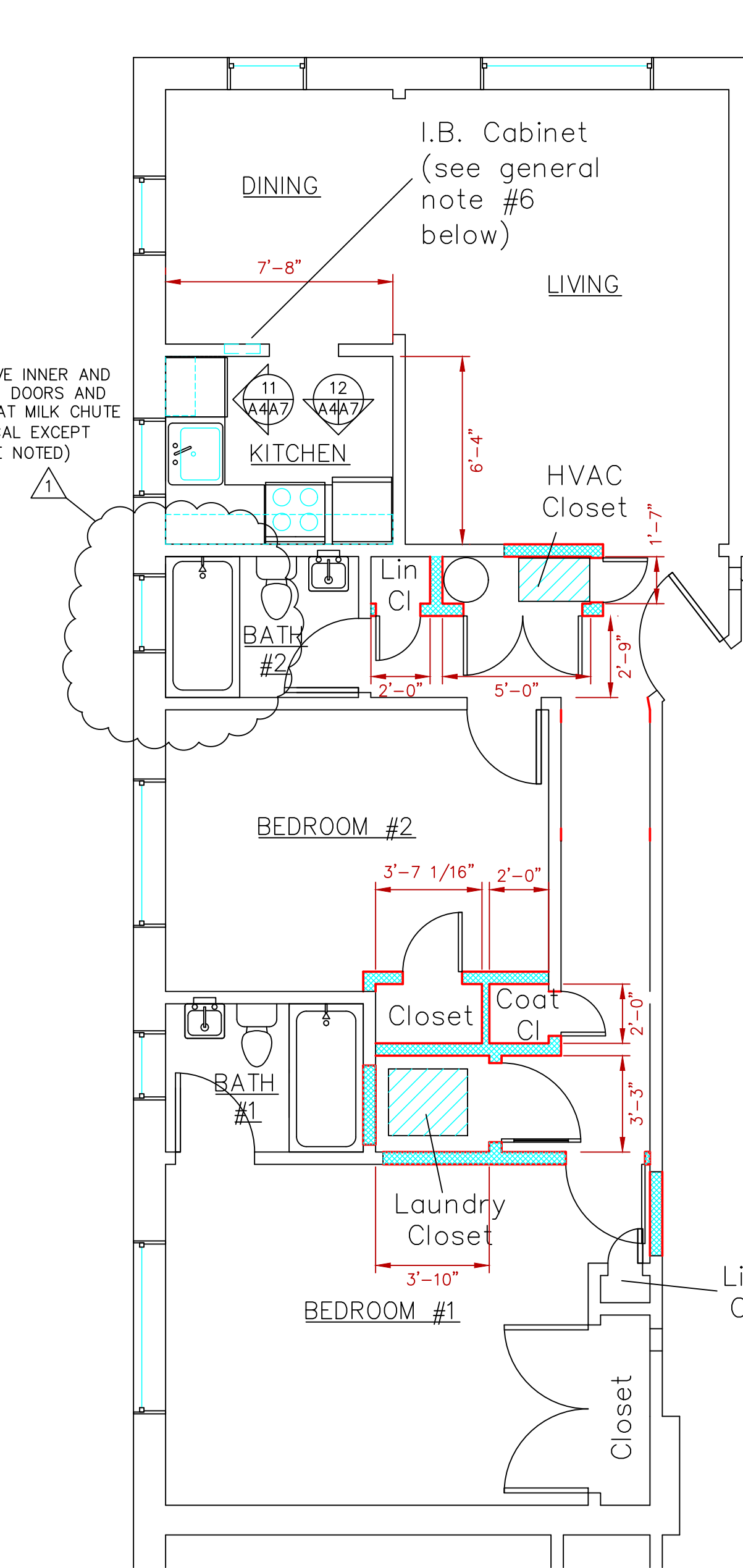
ENLARGED PROPOSED ALTERNATE
FLOOR PLAN AT HVAC CLOSET,
UNIT TYPE B – 1ST FL ONLY



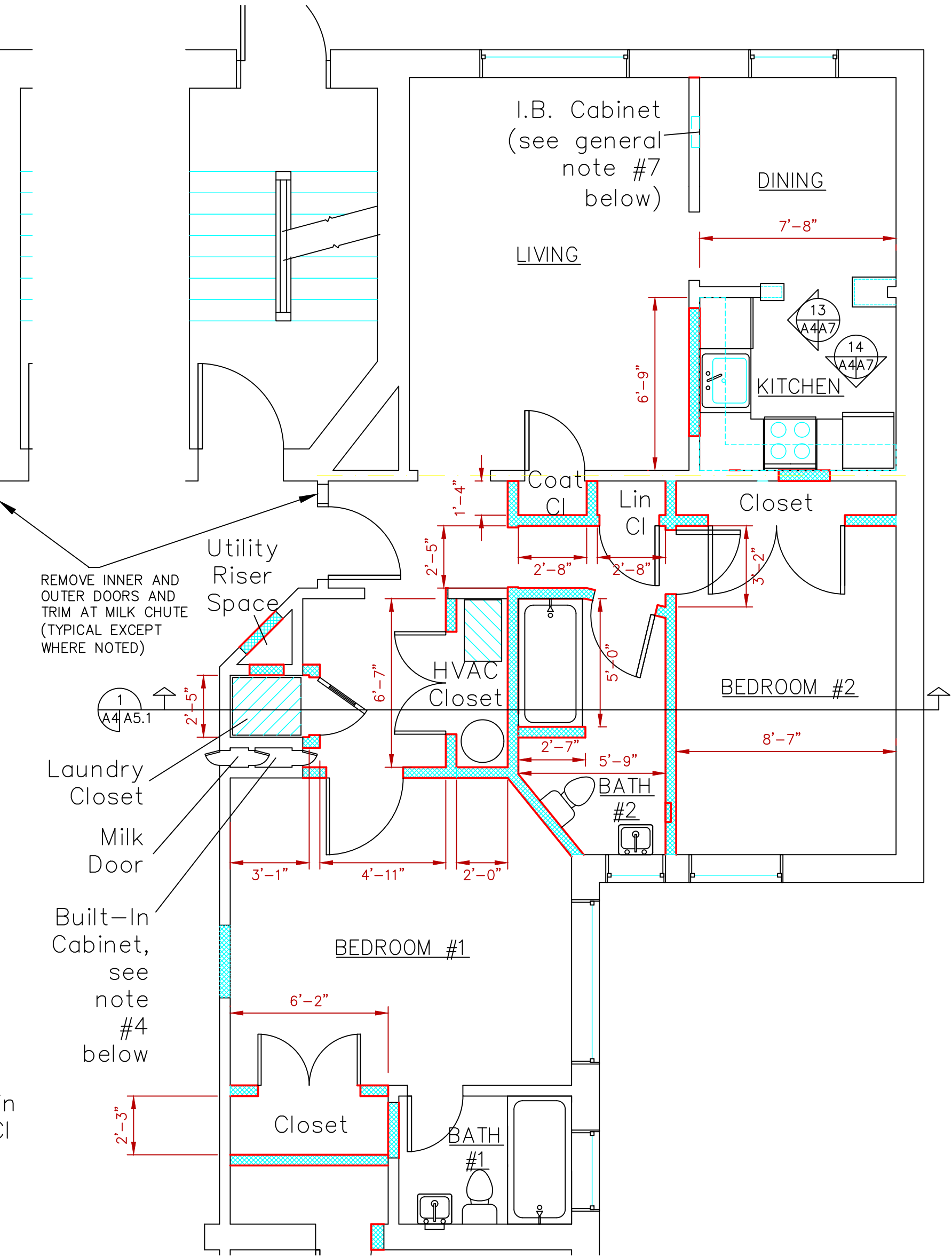
ENLARGED PROPOSED FLOOR PLAN –
UNIT TYPE B (1st floor only)



ENLARGED PROPOSED FLOOR PLAN –
UNIT TYPE B (2nd and 3rd floors)



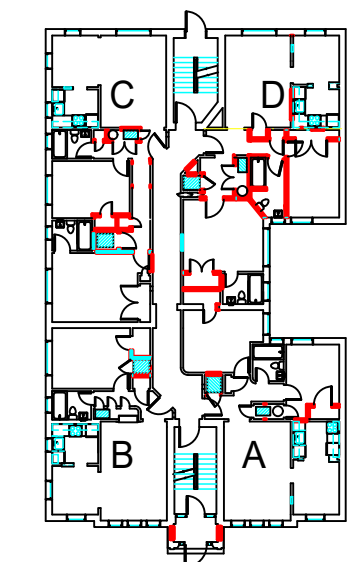
ENLARGED PROPOSED FLOOR PLAN –
UNIT TYPE C (1st, 2nd 3rd floors)



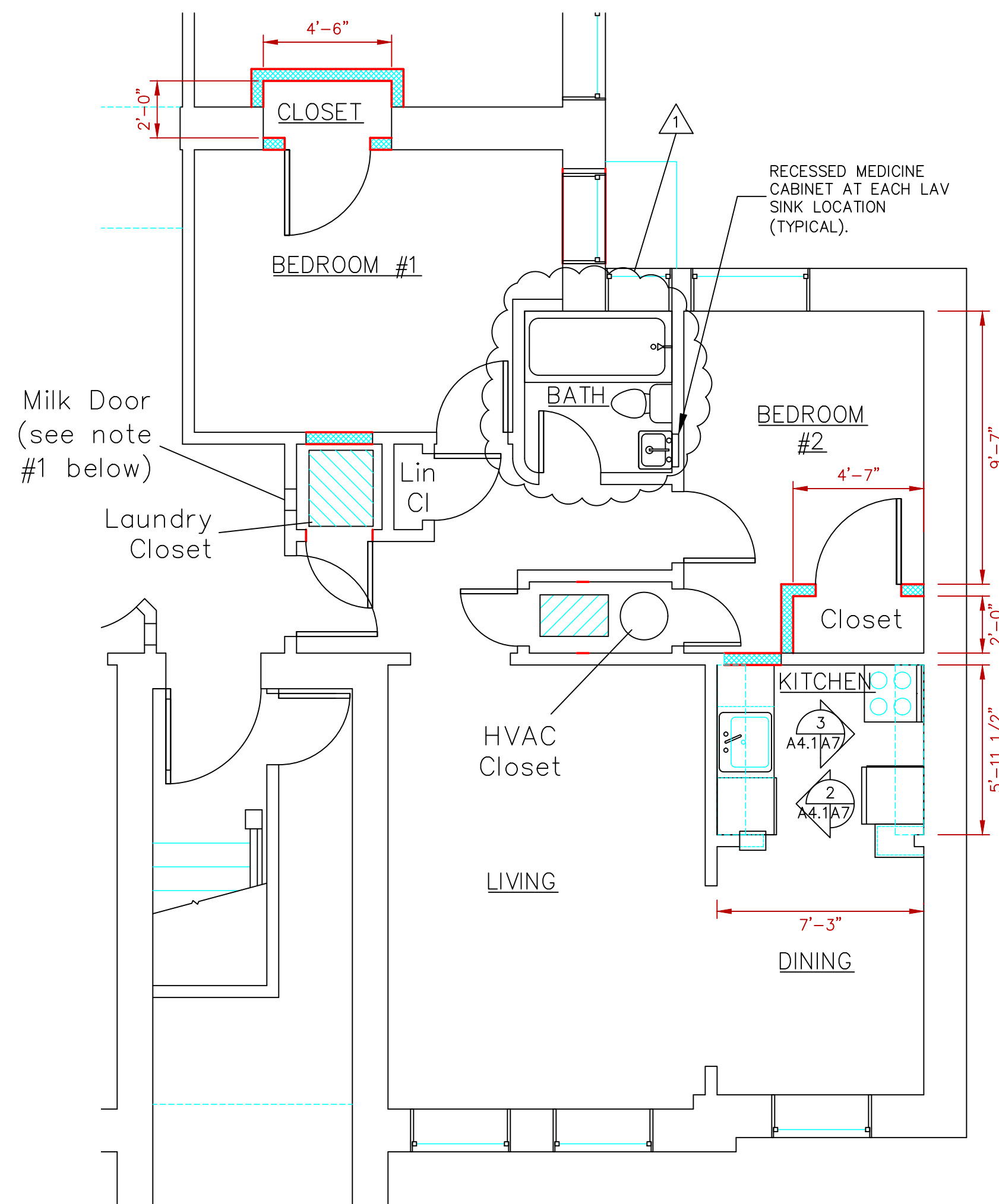
ENLARGED PROPOSED FLOOR PLAN –
UNIT TYPE D (1st, 2nd 3rd floors)

REVISIONS THIS SHEET	
1	REVISED TUB/SHOWER UNIT SIZES

- GENERAL NOTES FOR ENLARGED PROPOSED PLANS:
1. REMOVE DOOR, FRAME AND TRIM AT EXISTING MILK DOORS/CHUTES.
 2. EXISTING NICHE (INSTEAD OF MILK DOOR/CHUTE) AT 1ST FLOOR ONLY. REFINISH AND PRESERVE EXISTING PROFILE AND FEATURES INCLUDING SHELF AND TRIM.
 3. UNIT 1-D IS DESIGNATED AS TYPE "B" ACCESSIBLE.
 4. PRESERVE AND RESTORE BUILT-IN CABINET AT FORMER MILK CHUTE AT UNIT TYPE "D", INCLUDING DOOR, TRIM AND HARDWARE.
 5. PRESERVE AND REFINISH BUILT-IN BOOKCASE. FINISH PER FINISH SCHEDULE.
 6. PRESERVE IRONING BOARD CABINET SHELL AND DOOR, REMOVING INTERIOR WORKING PARTS. REPLICATE FRAMING AND TRIM AROUND CABINET WHERE REMOVED. REFINISH DOOR. INSTALL NEW DOOR HARDWARE.
 7. REMOVE IRONING BOARD CABINET DOOR AND TRIM.
 8. WALL-MOUNTED WATER HEATER REQUIRED FOR ALTERNATE FLOOR PLAN AT HVAC CLOSET, UNIT TYPE "B", 1ST FLOOR ONLY.



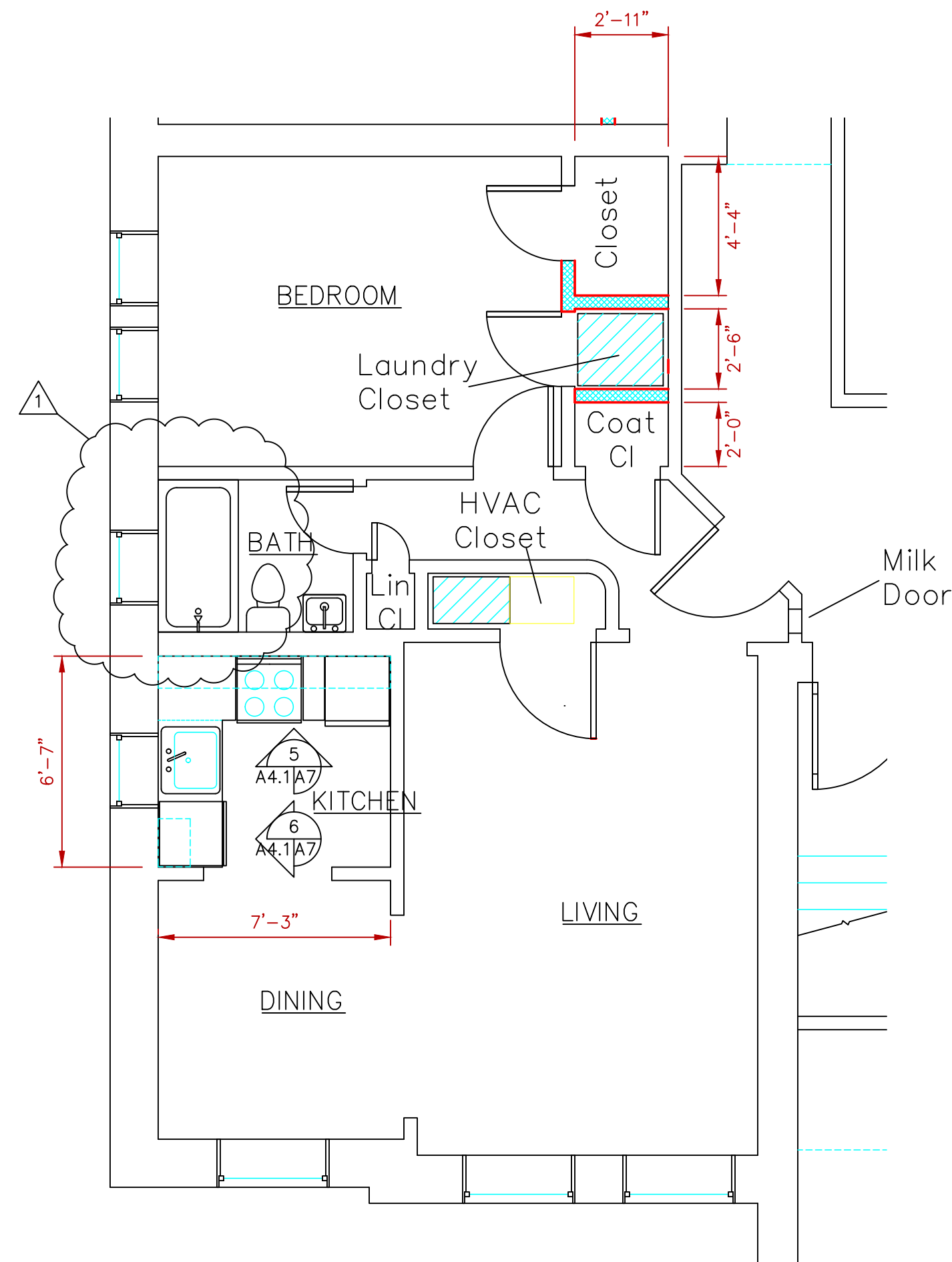
KEY PLAN
1/32" = 1'-0"



ENLARGED PROPOSED FLOOR PLAN –
UNIT TYPE A – BASEMENT

A1/A2/A3
1/4" = 1'-0"

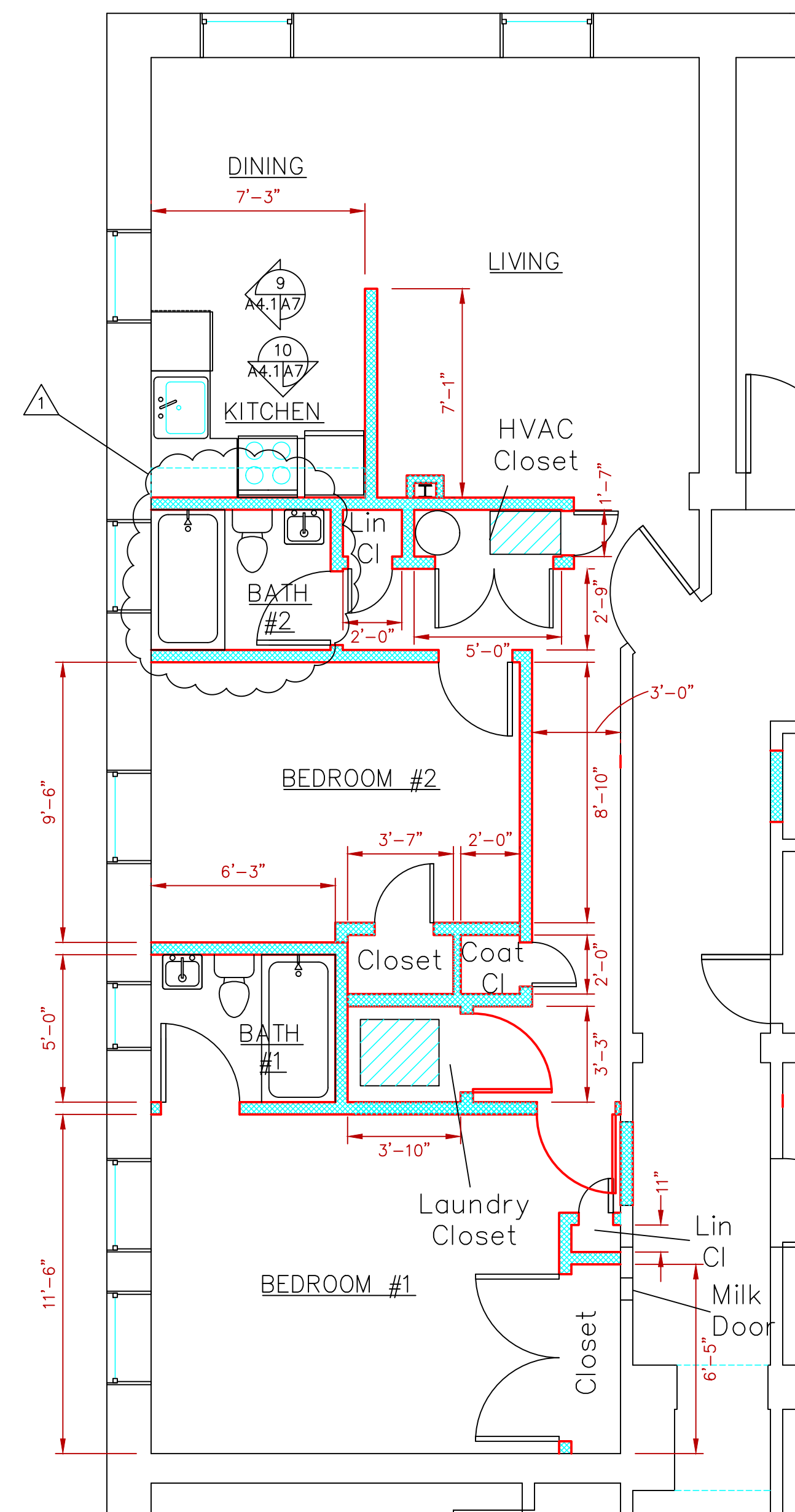
GENERAL NOTE FOR ENLARGED PROPOSED PLAN:
1. REMOVE DOOR, FRAME AND TRIM AT EXISTING MILK DOOR/CHUTE.



ENLARGED PROPOSED FLOOR PLAN –
UNIT TYPE B – BASEMENT

A1/A2/A3
1/4" = 1'-0"

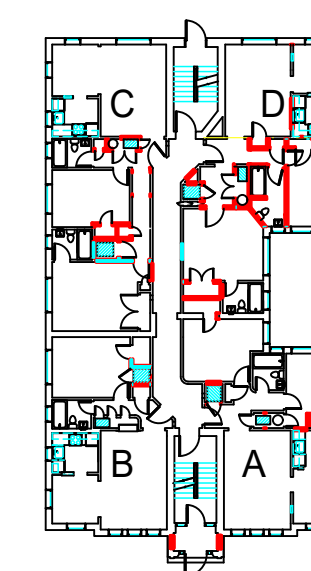
GENERAL NOTES FOR ENLARGED PROPOSED PLANS:
1. REMOVE DOOR, FRAME AND TRIM AT EXISTING MILK DOORS/CHUTES.
2. EXISTING NICHE (INSTEAD OF MILK DOOR/CHUTE) AT 1ST FLOOR ONLY. REFINISH AND PRESERVE EXISTING PROFILE AND FEATURES INCLUDING SHELF AND TRIM.
3. UNIT 1-D IS DESIGNATED AS TYPE "B" ACCESSIBLE.



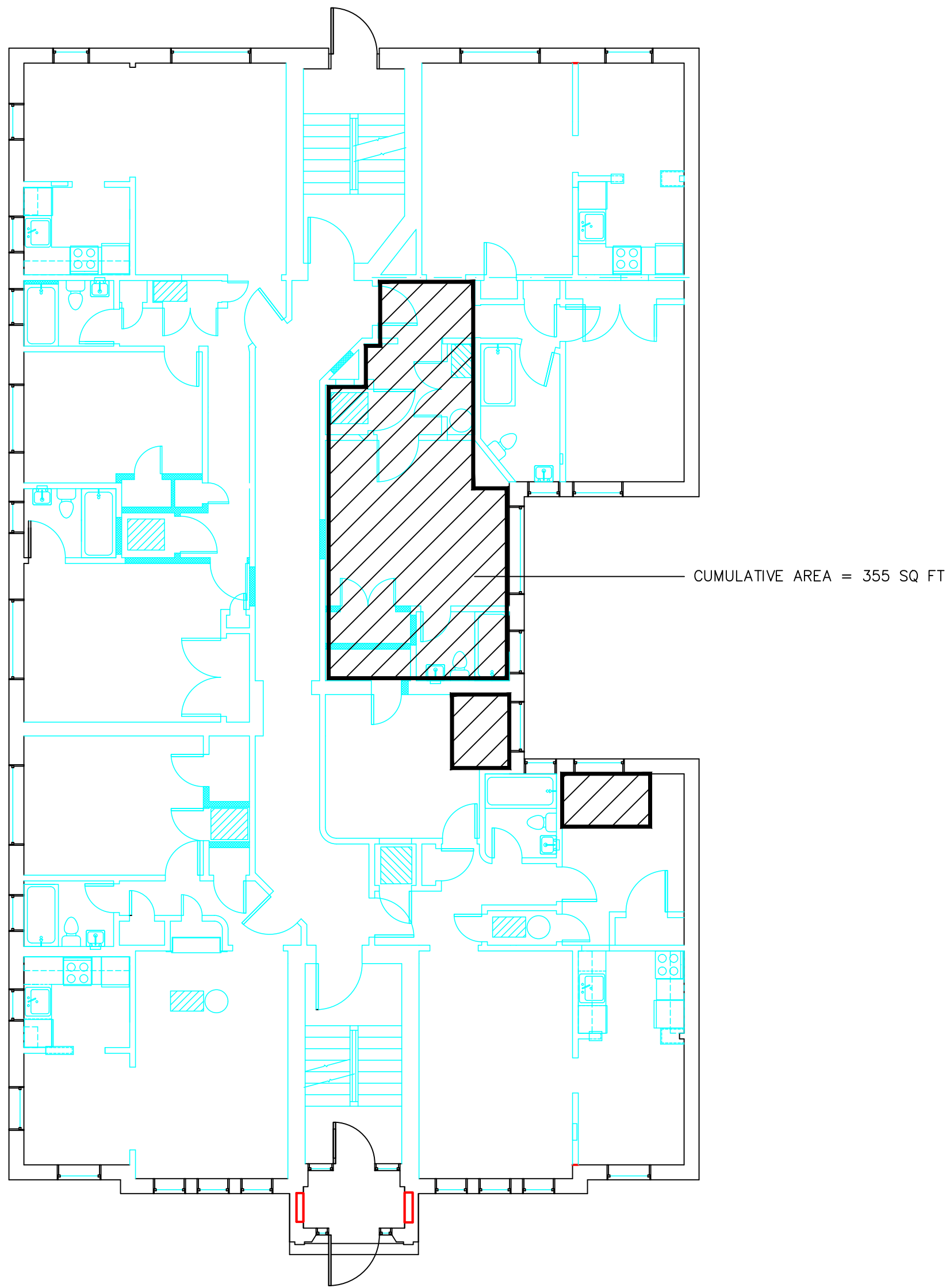
ENLARGED PROPOSED FLOOR PLAN –
UNIT TYPE C – BASEMENT

A1/A2/A3
1/4" = 1'-0"

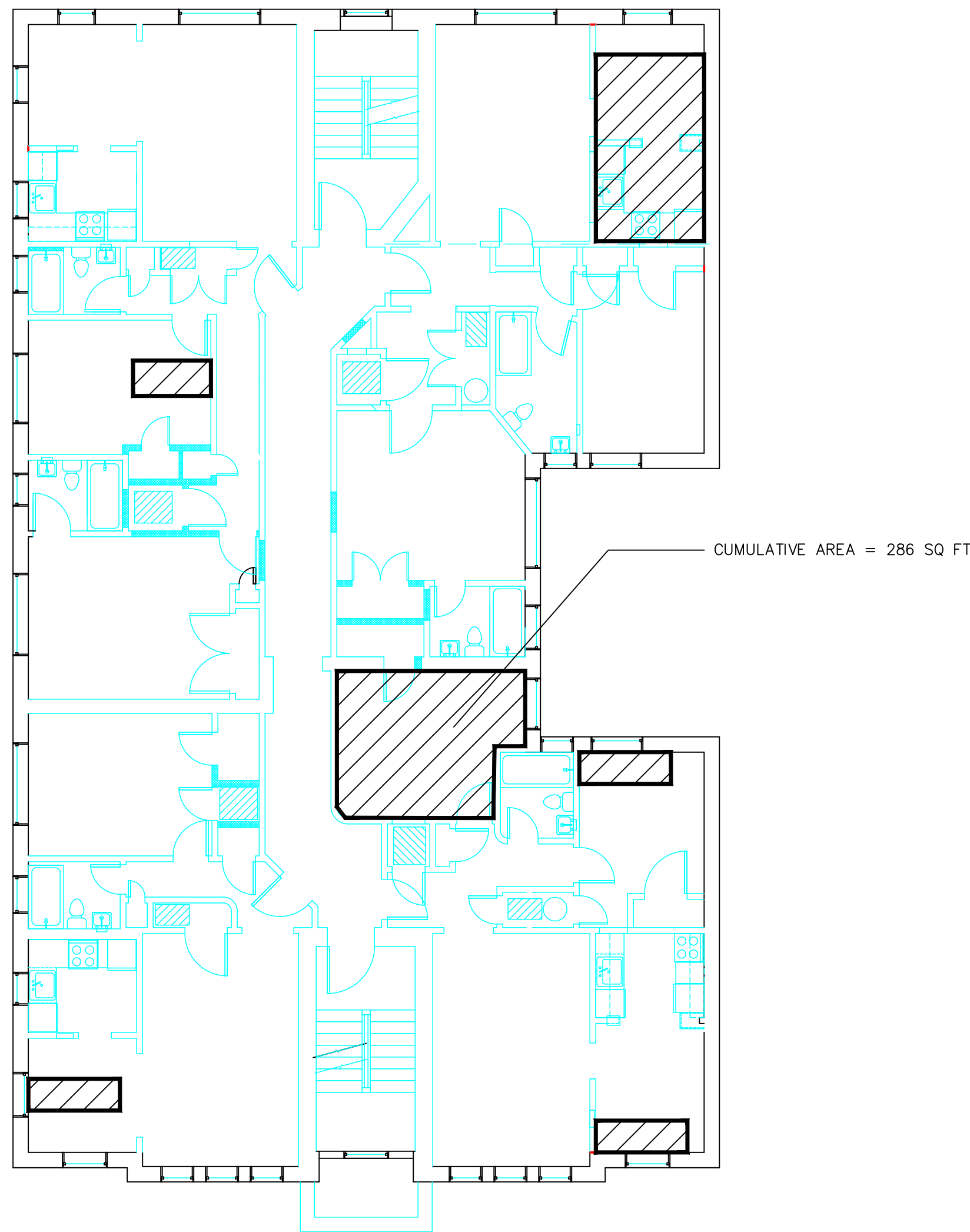
REVISIONS THIS SHEET
1. REVISED TUB/SHOWER UNIT SIZES



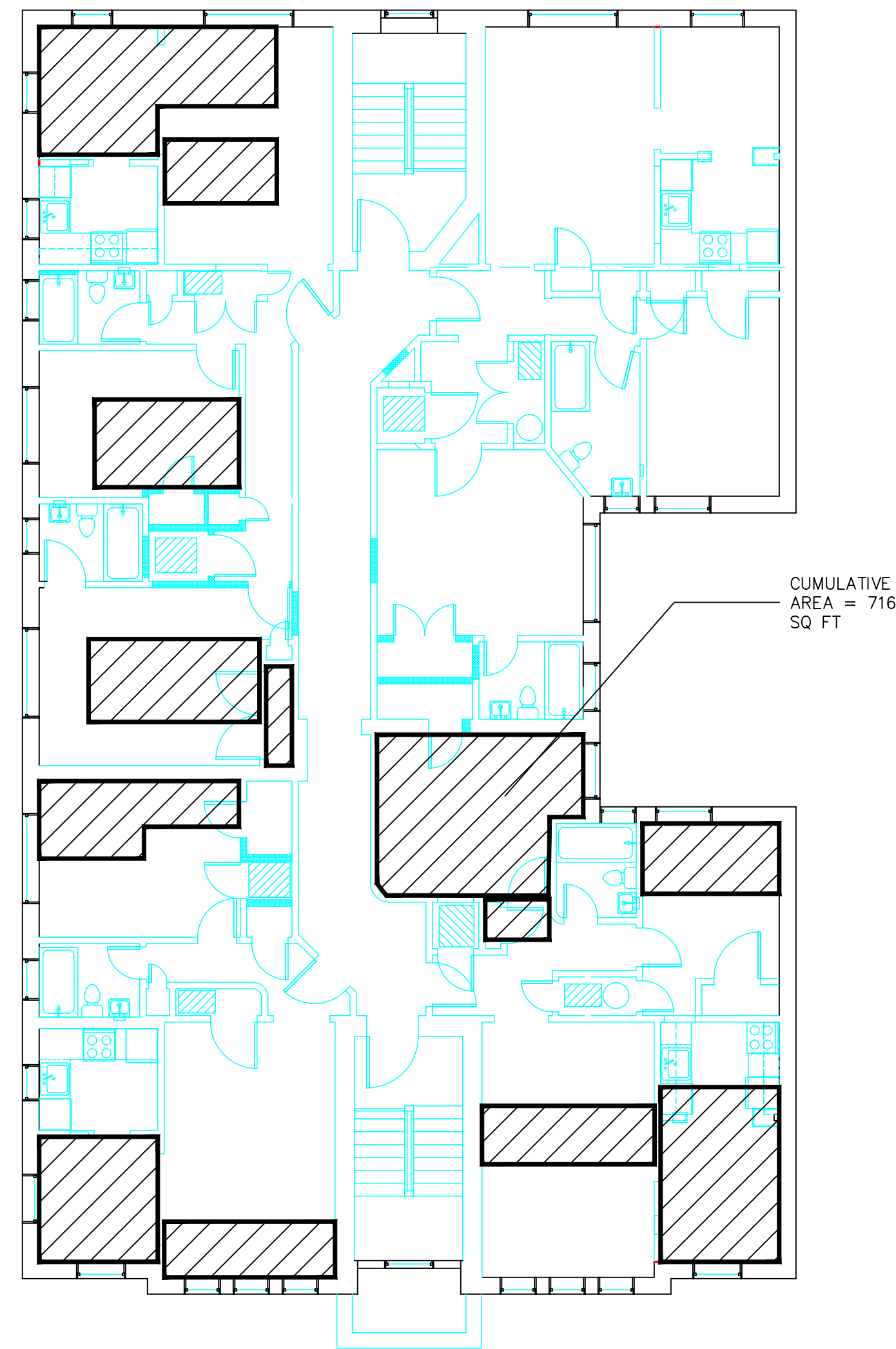
KEY PLAN
1/32" = 1'-0"



1st FLOOR, HARDWOOD FLOORING PATCH LOCATIONS
1/4" = 1'-0"

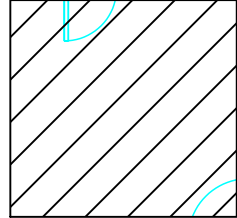


2nd FLOOR, HARDWOOD FLOORING PATCH LOCATIONS
1/4" = 1'-0"

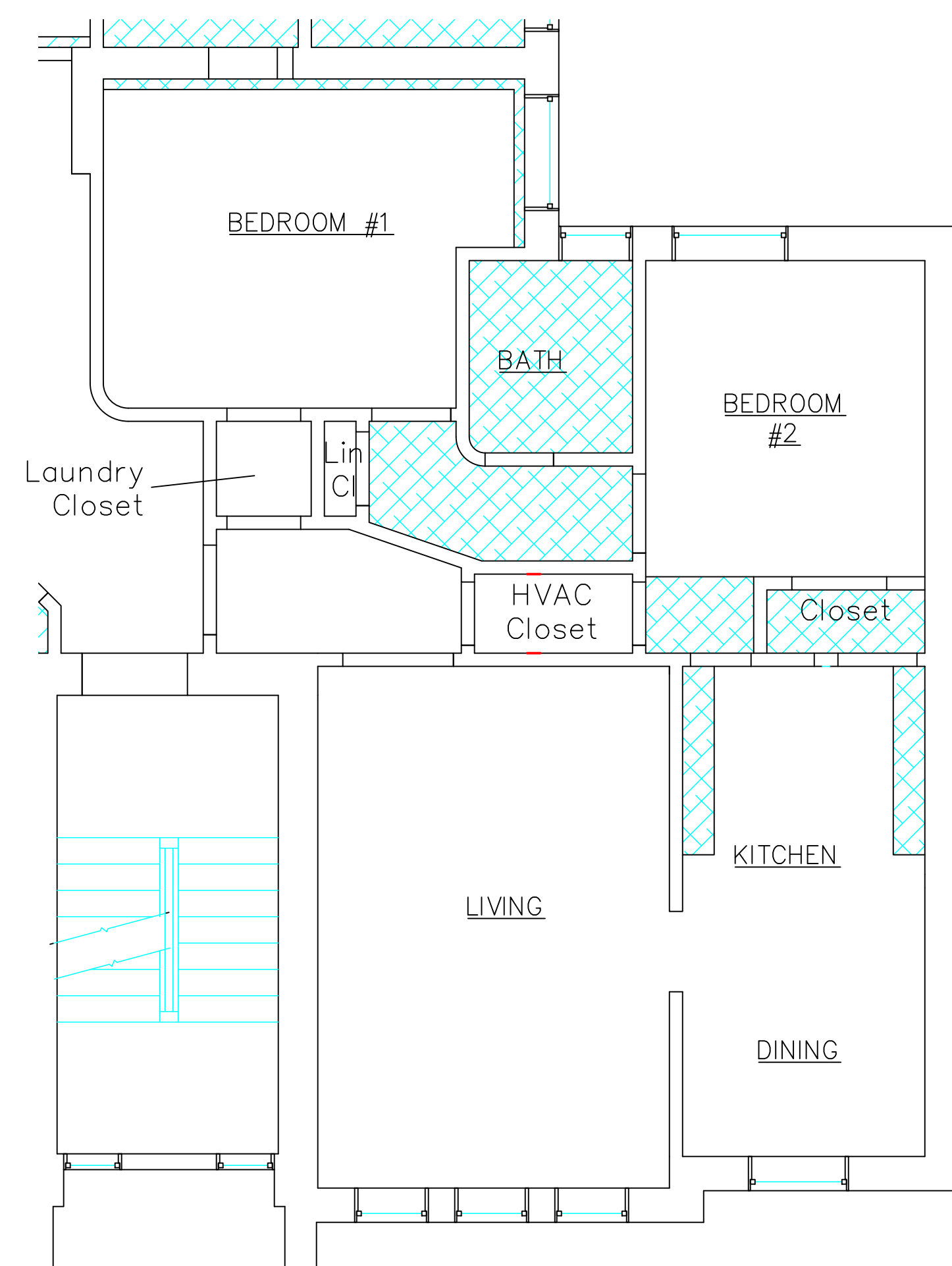


3rd FLOOR, HARDWOOD FLOORING PATCH LOCATIONS
1/4" = 1'-0"

PLAN SYMBOLS

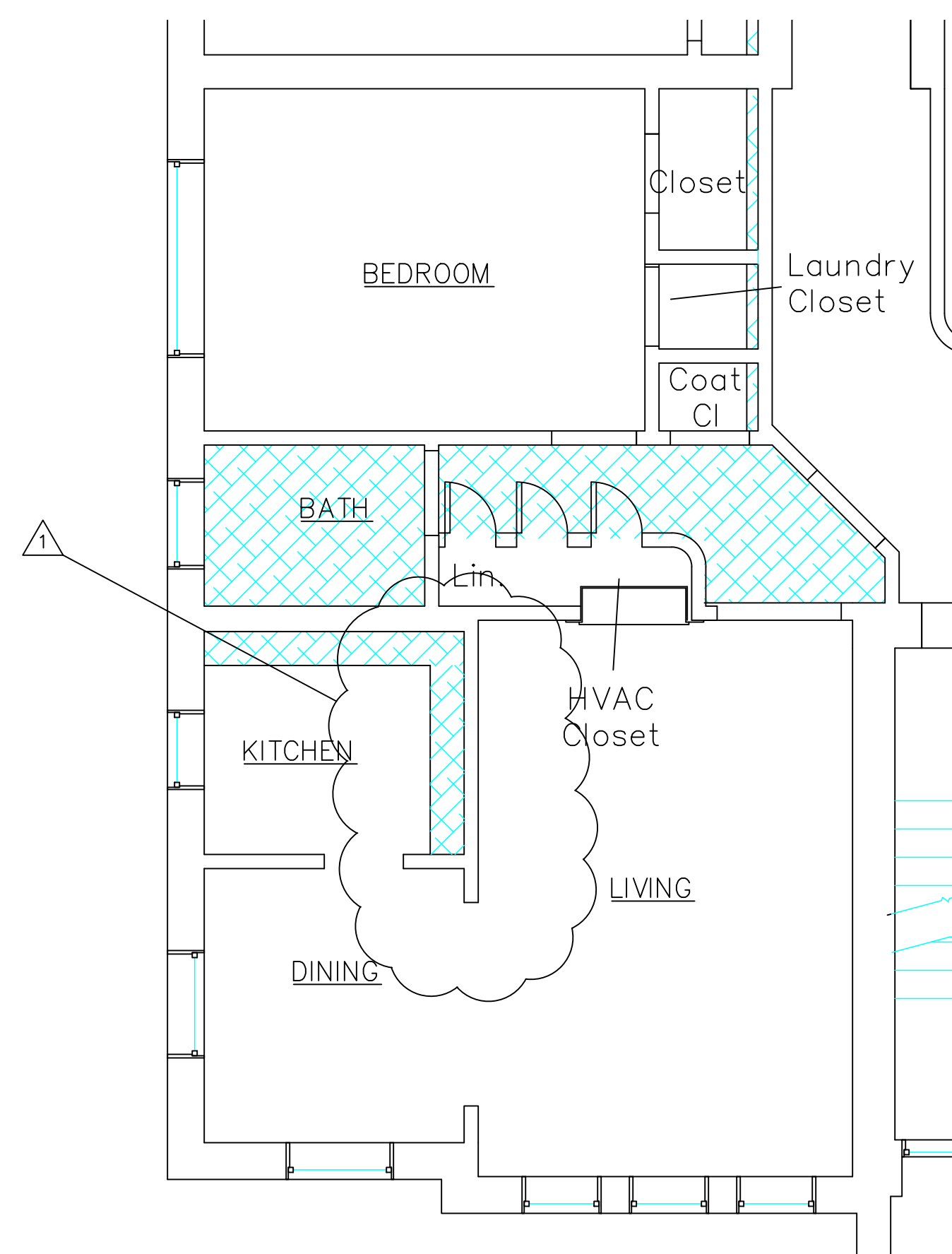


AREAS OF EXISTING HARDWOOD FLOORING TO BE REMOVED AND PATCHED WITH PLYWOOD OR OSB FLUSH WITH EXISTING ADJACENT FLOORING SURFACE. PRESERVE EXISTING HARDWOOD FLOORING TO REMAIN, PROTECT FROM DAMAGE.



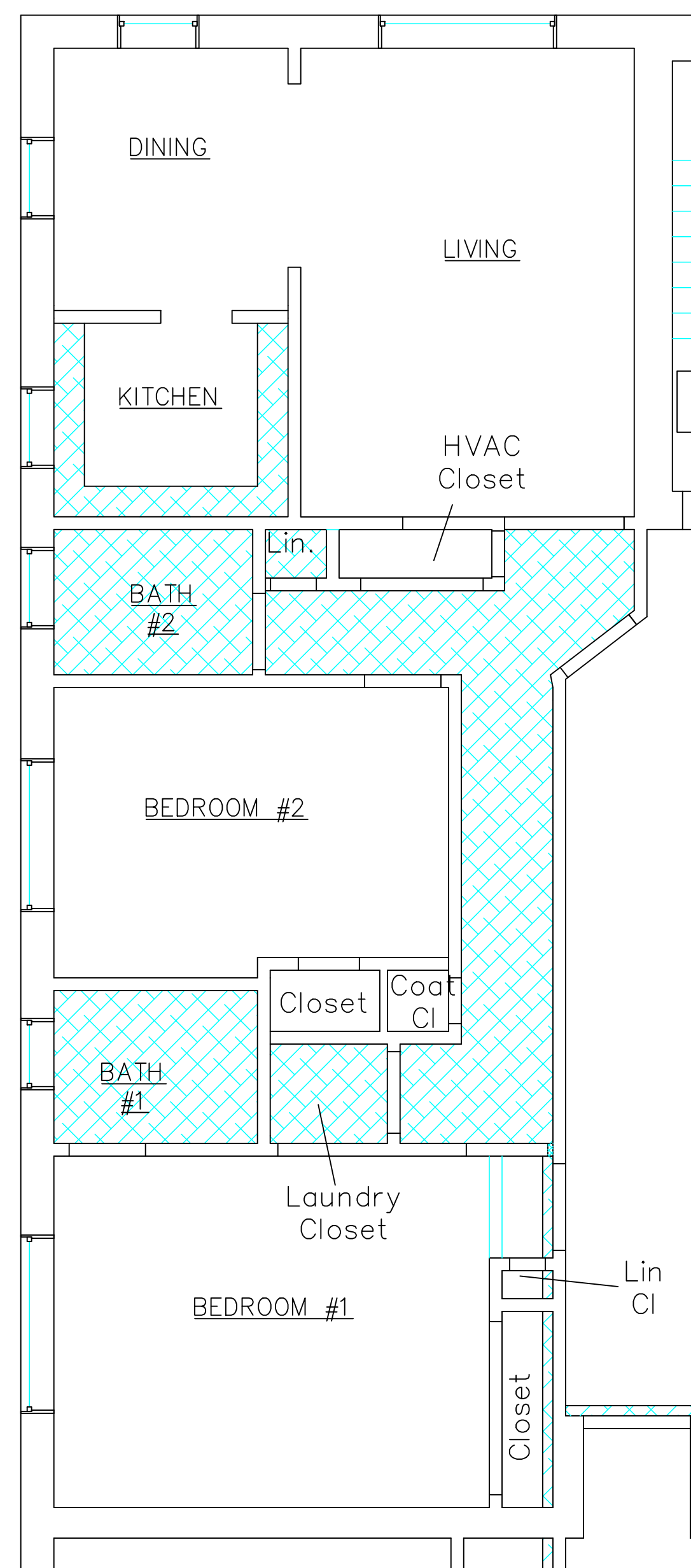
PROPOSED REFLECTED CEILING PLAN –
UNIT TYPE A, 1ST, 2ND, 3RD FLOORS

1/4" = 1'-0"
SIM. AT BASEMENT



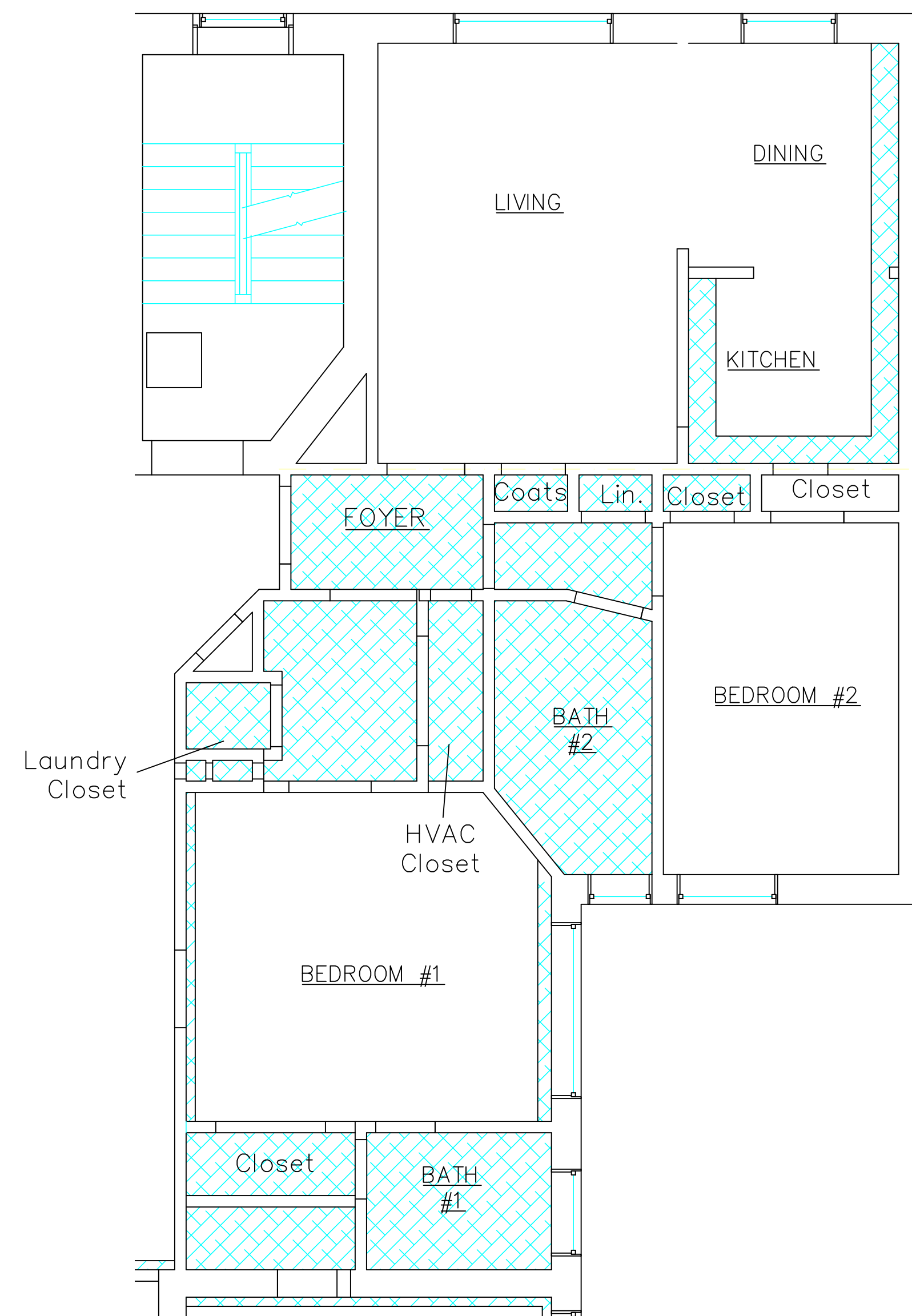
PROPOSED REFLECTED CEILING PLAN –
UNIT TYPE B, 2ND, 3RD FLOORS

1/4" = 1'-0"



PROPOSED REFLECTED CEILING PLAN –
UNIT TYPE C, 1ST, 2ND, 3RD FLOORS

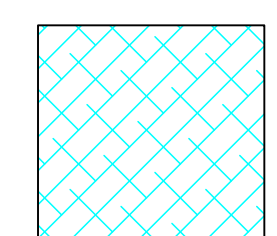
1/4" = 1'-0"



PROPOSED REFLECTED CEILING PLAN –
UNIT TYPE D, 1ST, 2ND, 3RD FLOORS

1/4" = 1'-0"

REFLECTED CEILING PLAN SYMBOLS



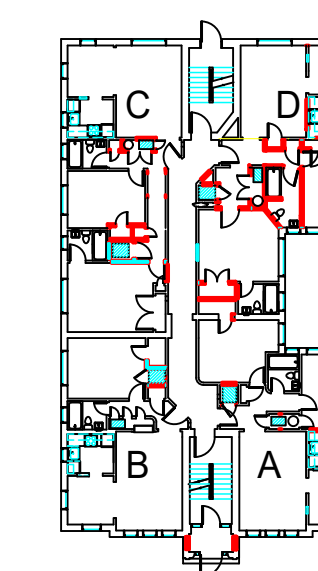
SECTION OF CEILING DROP OR SOFFIT. SOFFIT HEIGHT AS INDICATED IN SECTIONS. CEILING DROP DEPTH IS 9 INCHES TYPICAL EXCEPT WHERE NOTED OTHERWISE IN SECTIONS. TYPICAL CEILING HEIGHT ON 1ST THROUGH 3RD FLOORS IS 8'-8".

REVISIONS THIS SHEET

1. ADDED SOFFIT TO CONNECT HVAC CLOSET TO DINING ROOM.
2. ADDED CHART FOR FINDING CEILING PLANS BY LOCATION

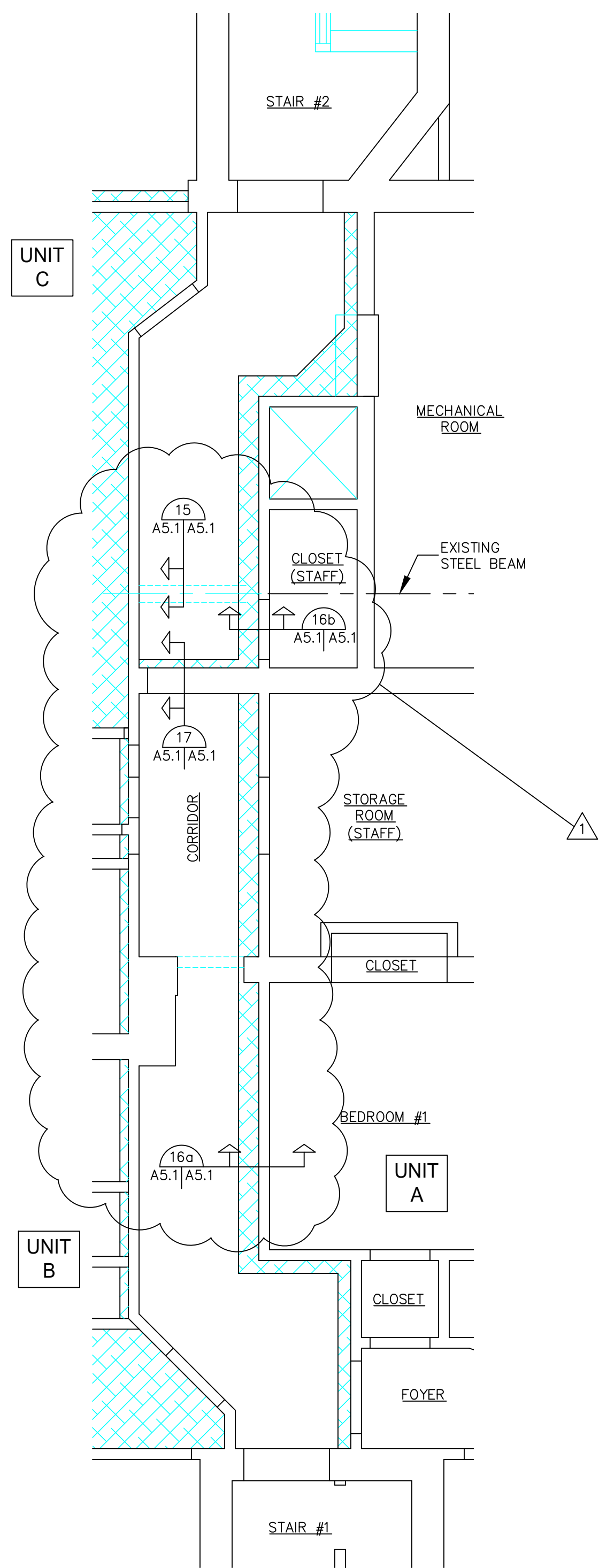
CEILING PLAN LOCATION BY UNIT/SHEET

	B.	1ST FL.	2ND FL.	3RD FL.
UNIT A	A5.5	A5	A5	A5
UNIT B	A5.5	A5.5	A5	A5
UNIT C	A5.5	A5	A5	A5
UNIT D	N/A	A5	A5	A5
CORRIDORS	A5.1	A5.1	A5.1	A5.1



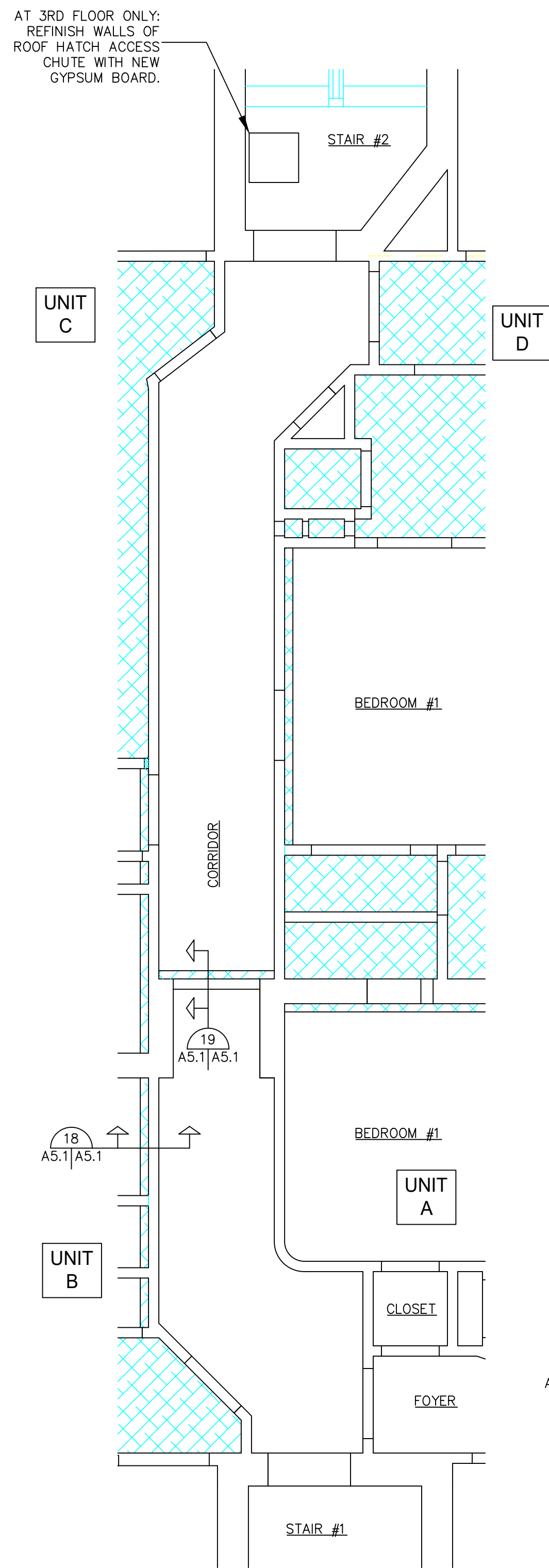
KEY PLAN

1/32" = 1'-0"



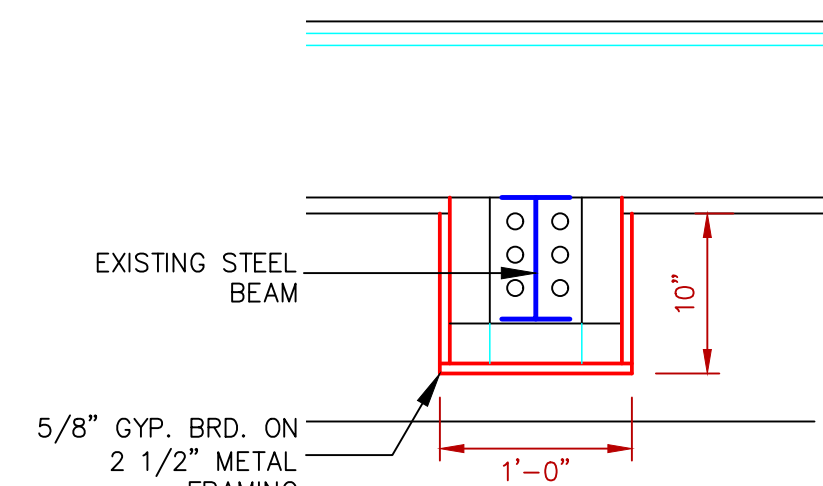
PROPOSED REFLECTED CEILING PLAN —
BASEMENT CORRIDOR

1/4" = 1'-0"



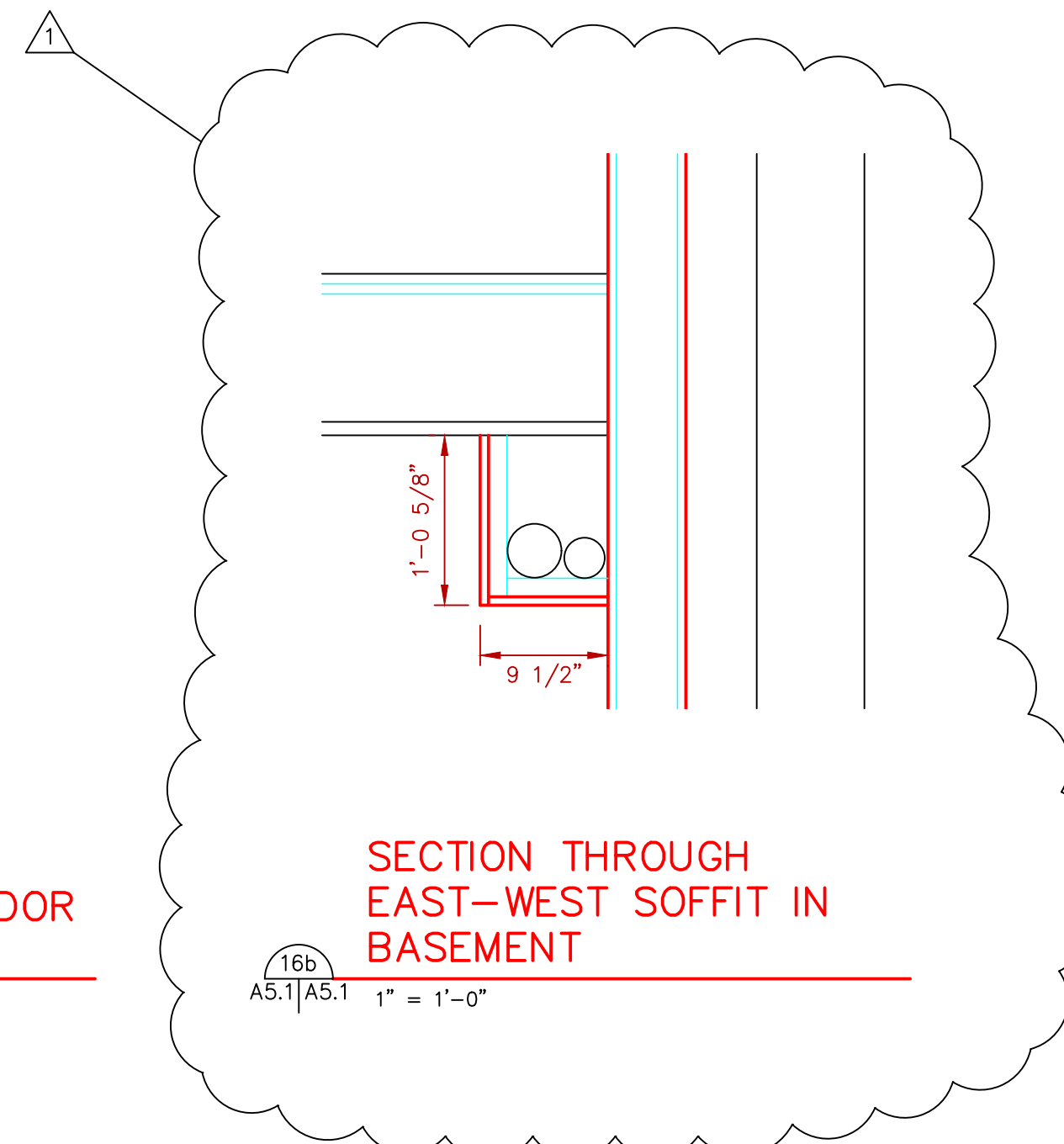
PROPOSED REFLECTED CEILING PLAN —
1ST, 2ND AND 3RD FLOOR CORRIDOR

1/4" = 1'-0"



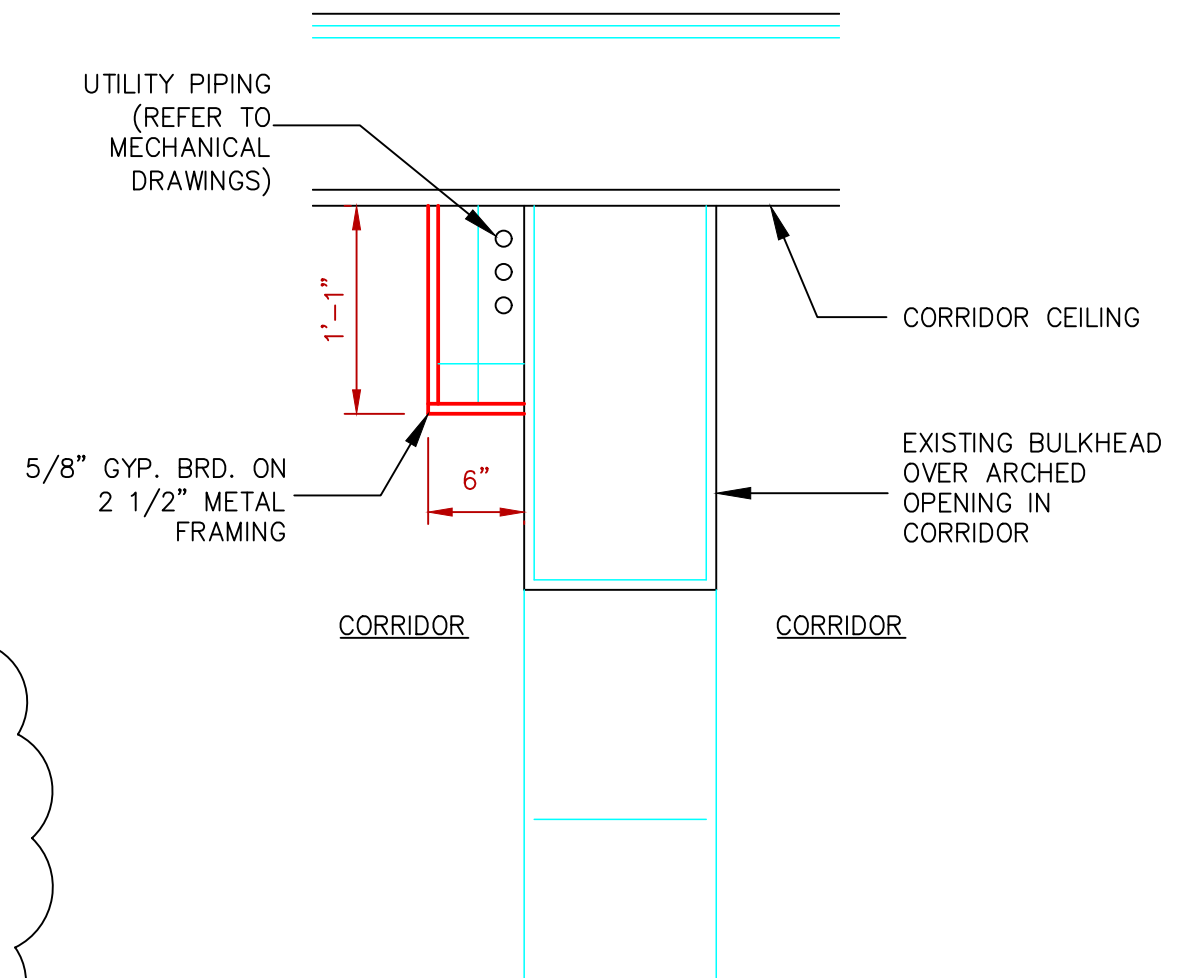
SECTION THROUGH
BASEMENT CROSS-CORRIDOR
SOFFIT AT BEAM

15
A5.1 | A5.1 1" = 1'-0"



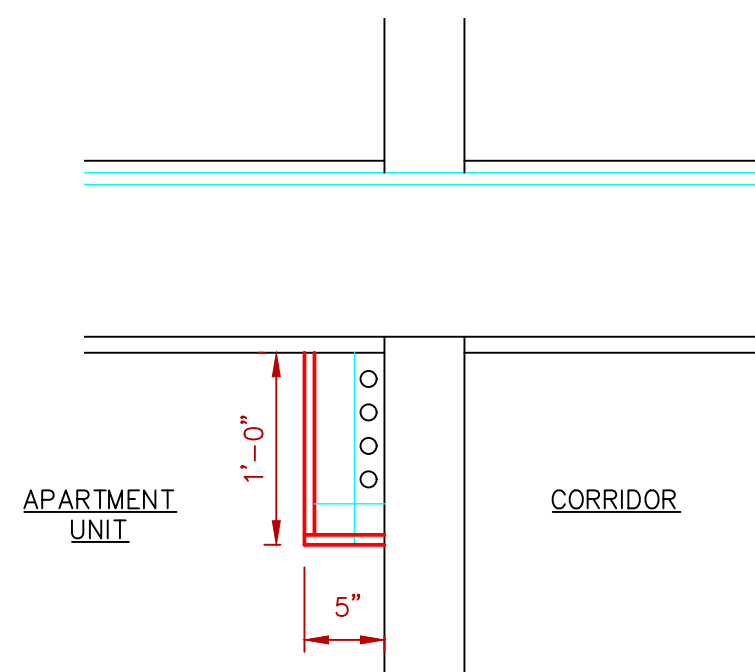
SECTION THROUGH
EAST-WEST SOFFIT IN
BASEMENT

16b
A5.1 | A5.1 1" = 1'-0"



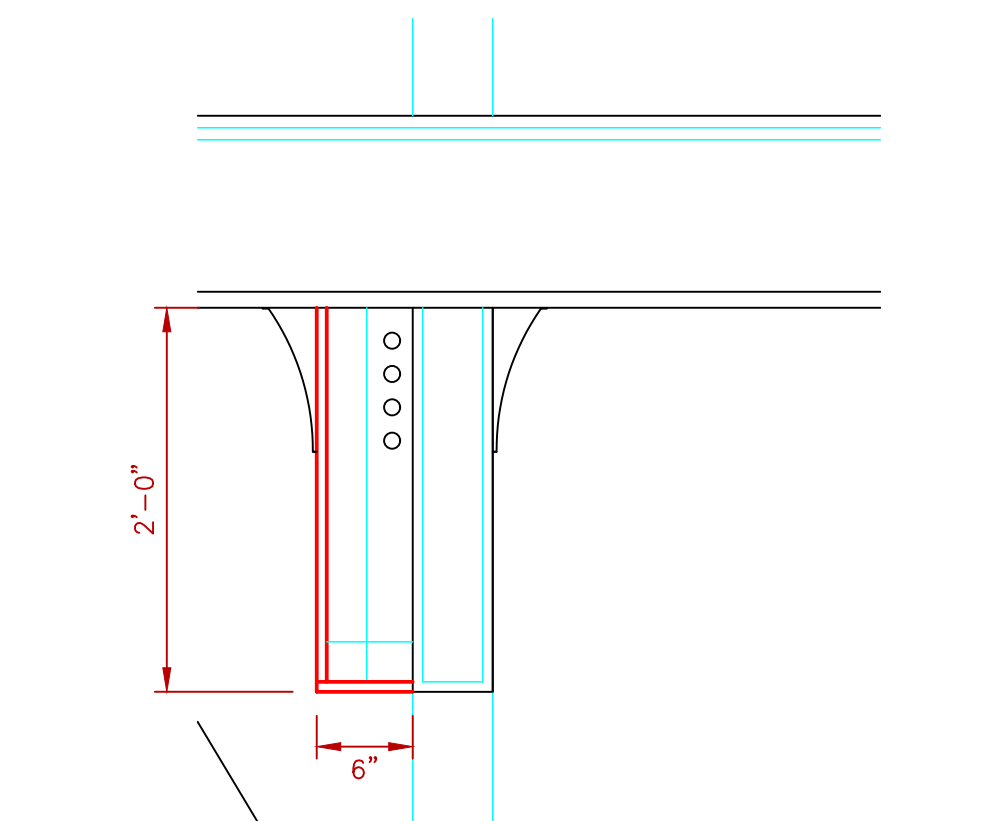
SECTION THROUGH
BASEMENT CROSS-CORRIDOR
SOFFIT AT ARCHWAY

17
A5.1 | A5.1 1" = 1'-0"



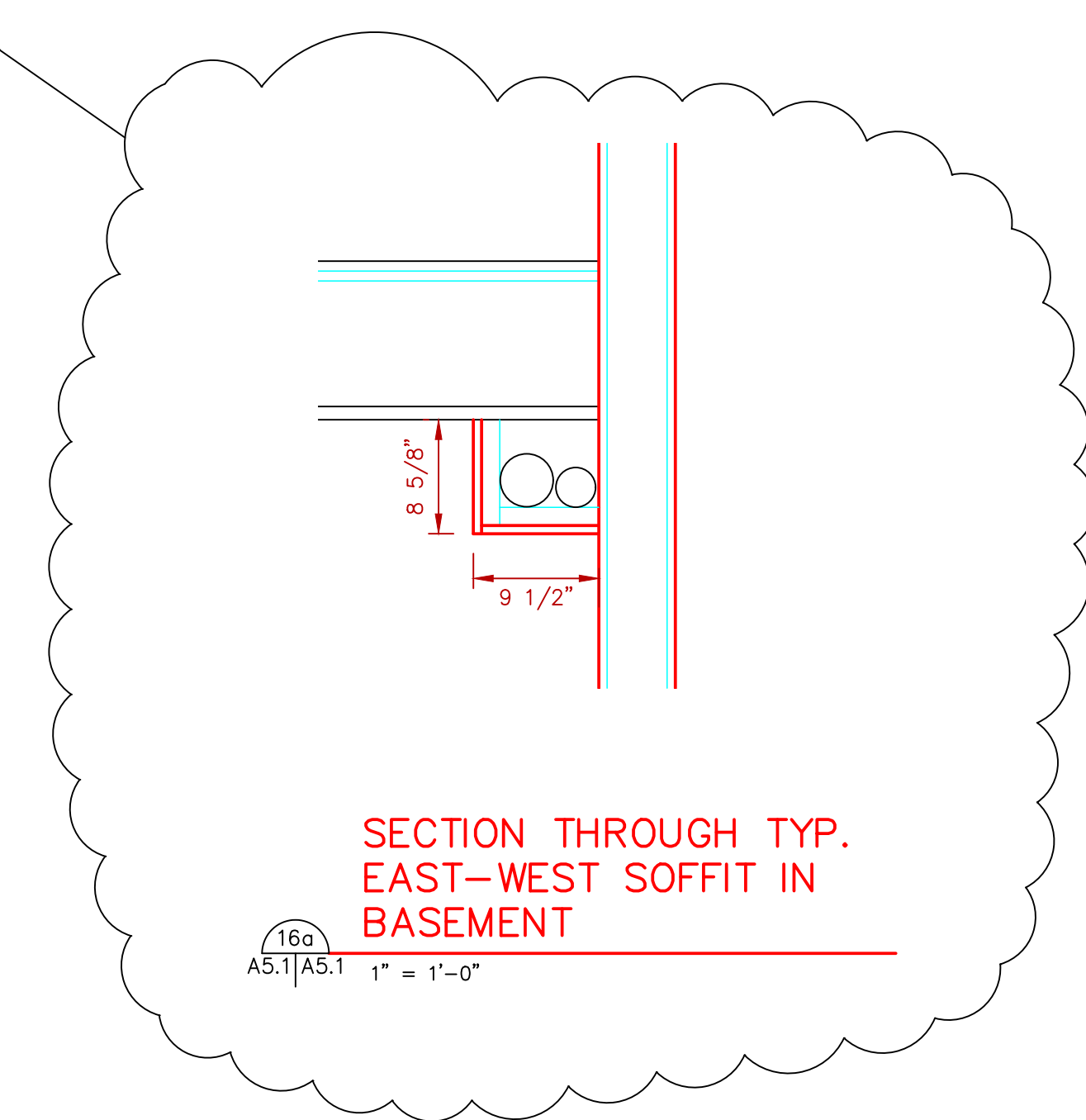
SECTION THROUGH TYP.
EAST-WEST SOFFITS, 1ST,
2ND AND 3RD FLOORS

18
A5.1 | A5.1 1" = 1'-0"



SECTION THROUGH 1ST, 2ND, 3RD
FLOOR CROSS-CORRIDOR SOFFIT

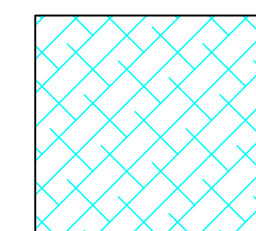
19
A5.1 | A5.1 1" = 1'-0"



SECTION THROUGH TYP.
EAST-WEST SOFFIT IN
BASEMENT

16a
A5.1 | A5.1 1" = 1'-0"

REFLECTED CEILING PLAN SYMBOLS



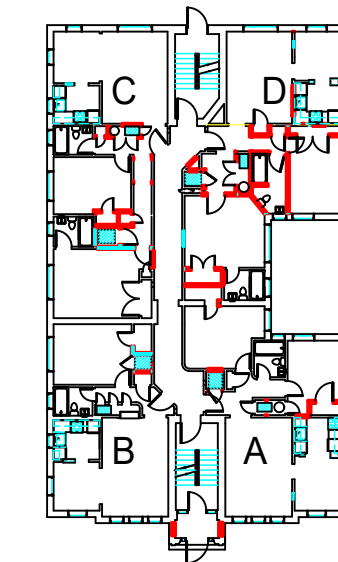
SECTION OF CEILING DROP OR SOFFIT. SOFFIT HEIGHT AS INDICATED IN SECTIONS. CEILING DROP DEPTH IS 9 INCHES TYPICAL EXCEPT WHERE NOTED OTHERWISE IN SECTIONS. TYPICAL CEILING HEIGHT ON 1ST THROUGH 3RD FLOORS IS 8'-8".

CEILING PLAN LOCATION BY UNIT/SHEET

	B.	1ST FL.	2ND FL.	3RD FL.
UNIT A	A5.5	A5	A5	A5
UNIT B	A5.5	A5.5	A5	A5
UNIT C	A5.5	A5	A5	A5
UNIT D	N/A	A5	A5	A5
CORRIDORS	A5.1	A5.1	A5.1	A5.1

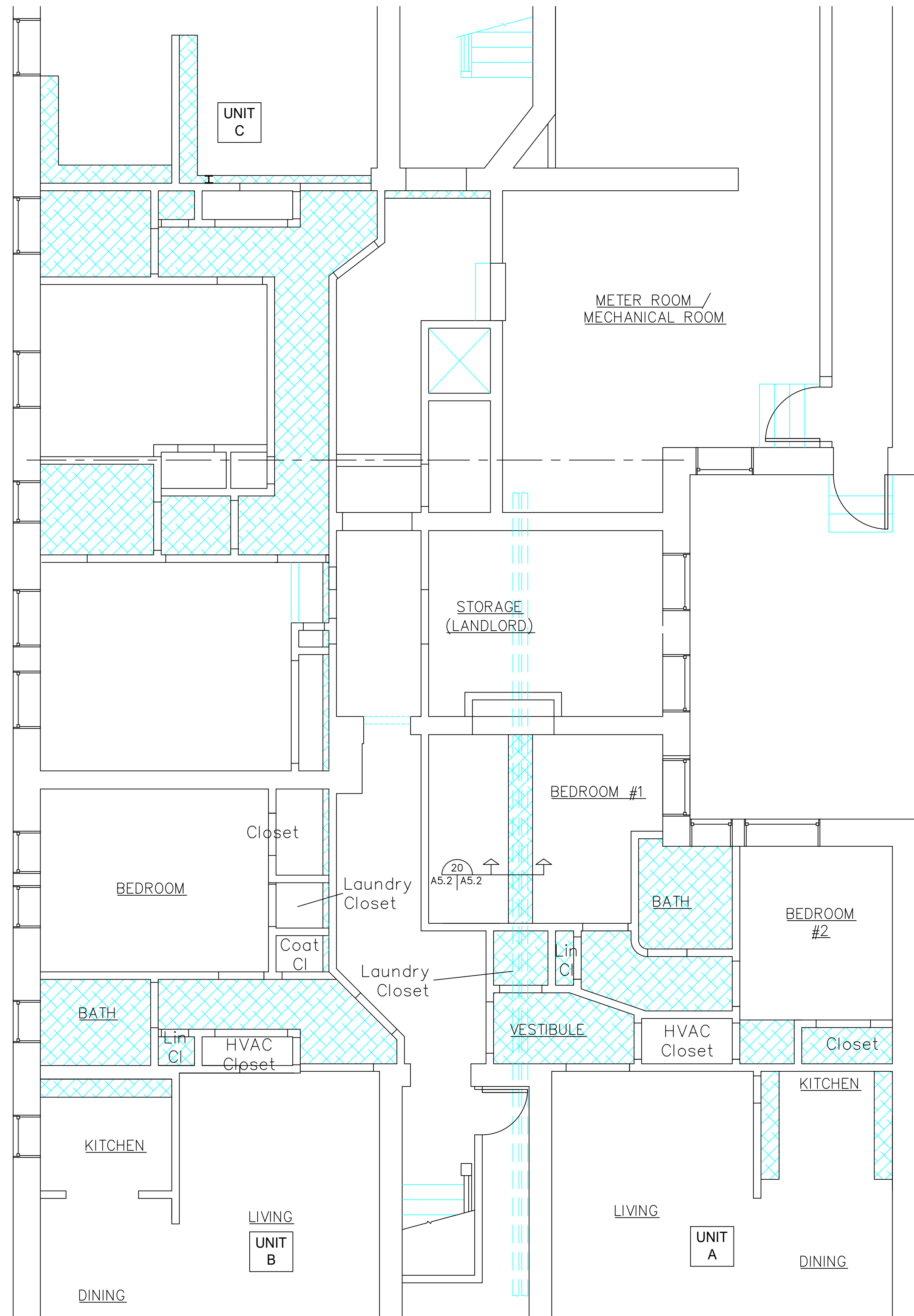
REVISIONS THIS SHEET

- CHANGED HEIGHT OF A PORTION OF THE BASEMENT HORIZONTAL PIPING CHASE. CHANGED WIDTH OF BASEMENT HORIZONTAL PIPING CHASE.
- ADDED CHART FOR FINDING CEILING PLANS BY LOCATION

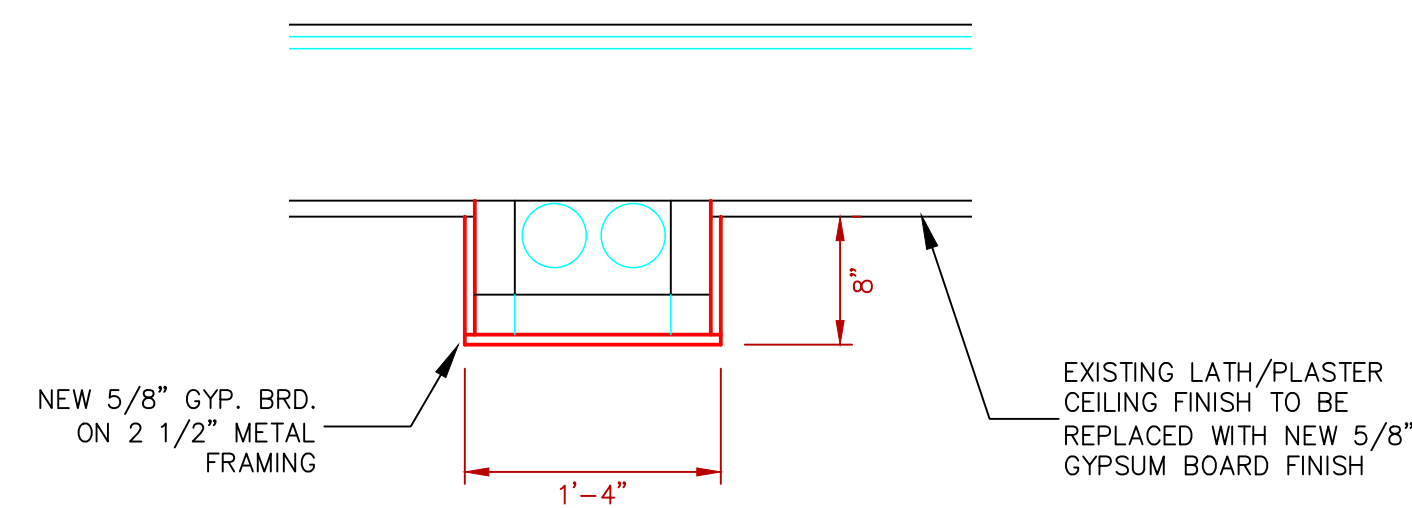


KEY PLAN

1/32" = 1'-0"

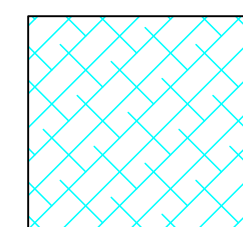


ALTERANTE PROPOSED REFLECTED
CEILING PLAN - BASEMENT
1/4" = 1'-0"

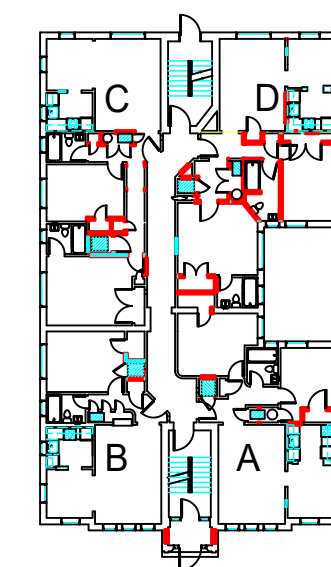


SECTION THROUGH NEW SOFFIT
IN BASEMENT UNIT "A"
A5.2 | A5.2 20
1" = 1'-0"

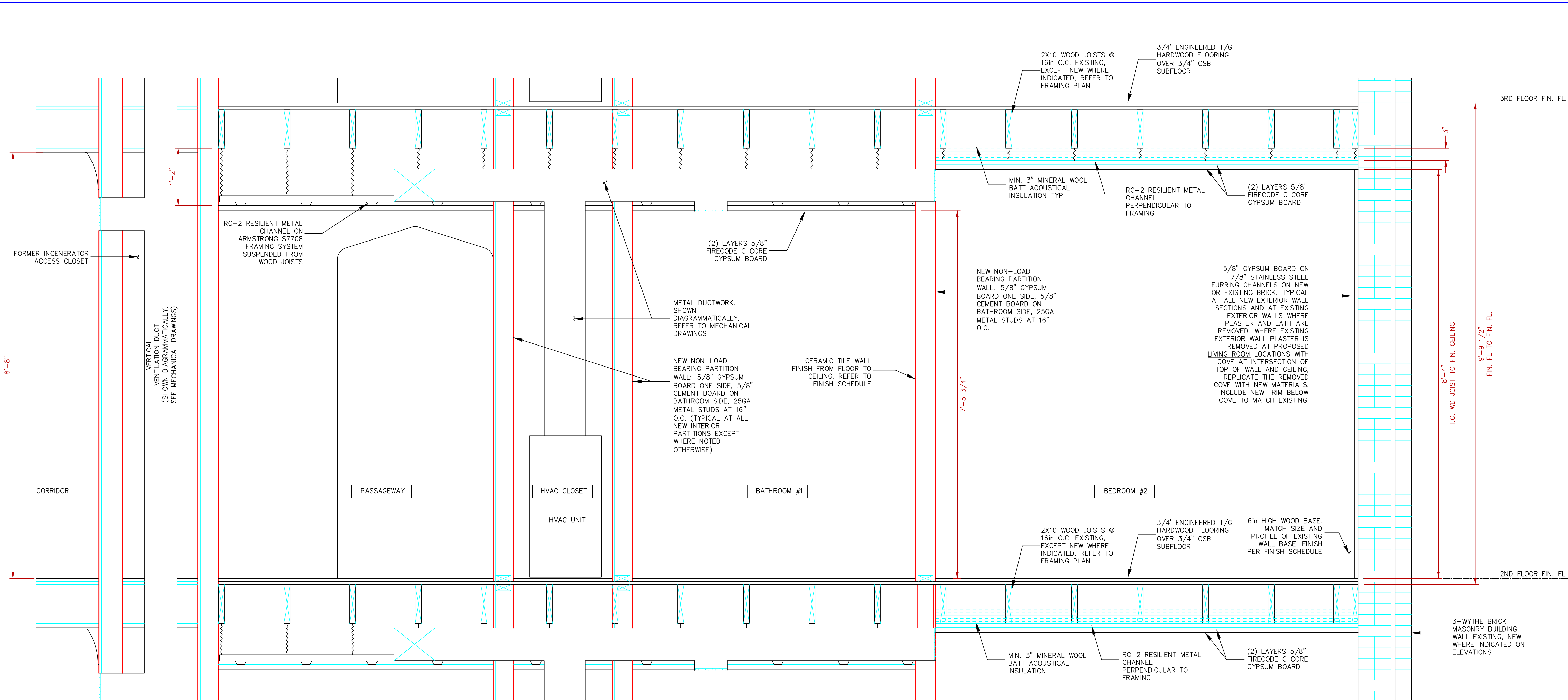
REFLECTED CEILING PLAN SYMBOLS



SECTION OF CEILING DROP OR SOFFIT. SOFFIT HEIGHT AS INDICATED IN SECTIONS. CEILING DROP DEPTH IS 9 INCHES TYPICAL EXCEPT WHERE NOTED OTHERWISE IN SECTIONS. TYPICAL CEILING HEIGHT ON 1ST THROUGH 3RD FLOORS IS 8'-8".



KEY PLAN
1/32" = 1'-0"

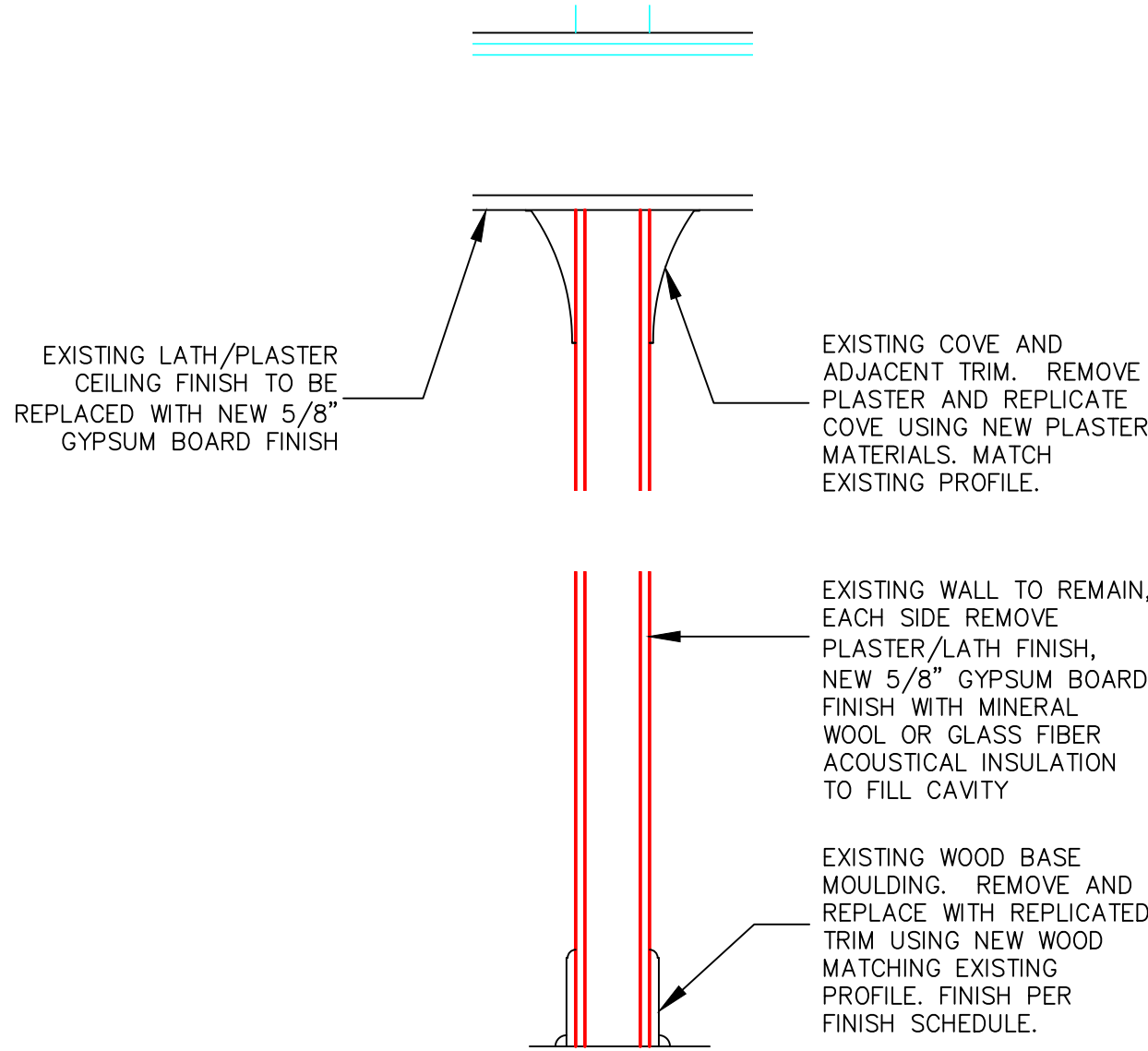


**PARTIAL BUILDING SECTION
AT CEILING DROPS**

A4 | A5.1.3 | 1" = 1'-0"

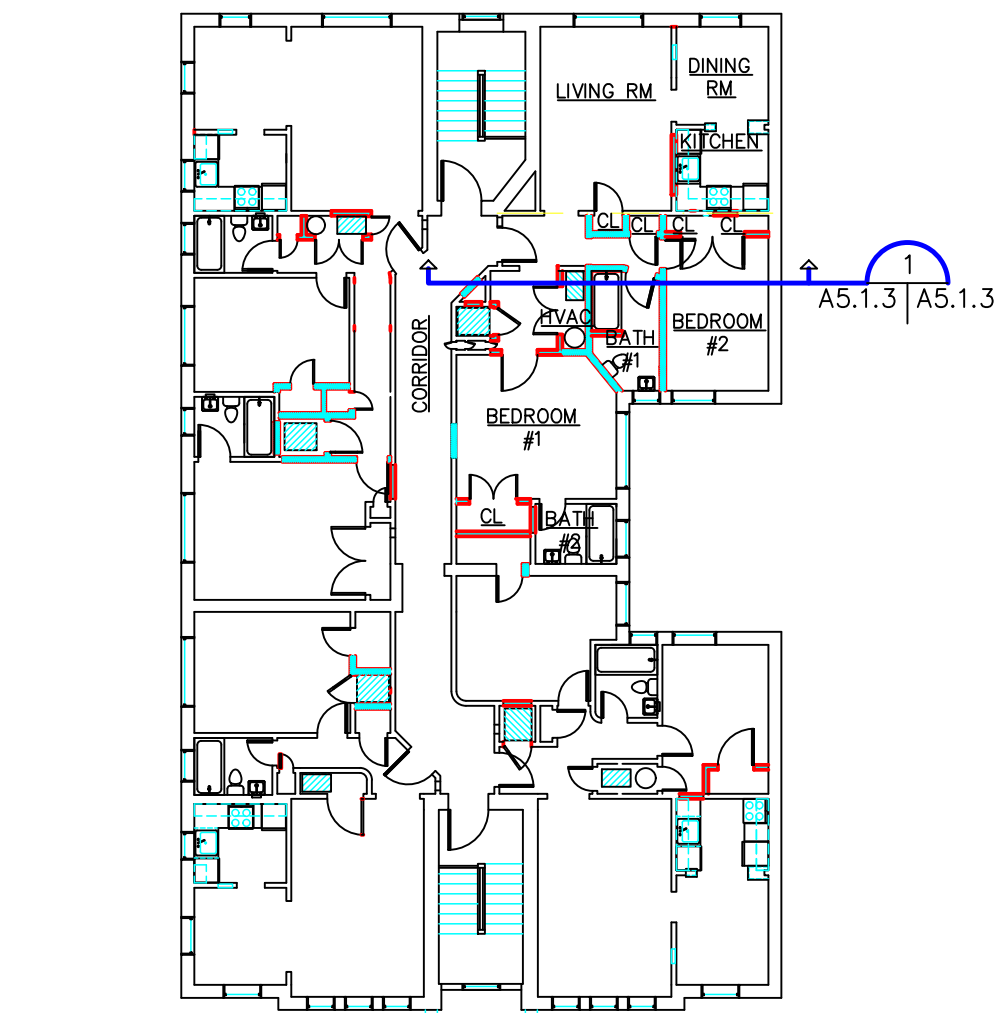
BUILDING SECTION GENERAL NOTES:

1. FLOOR/CEILING ASSEMBLY CONFORMS TO UL DESIGN #1541 FOR 2-HOUR ASSEMBLY (1-HOUR REQUIRED) AND FOR AN STC RATING OF 59 (MIN. STC 50 REQUIRED), REQUIRED BETWEEN FLOORS ONLY.
2. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION FLOORING MATERIALS, INCLUDING ACCESSORIES.
3. FLOORING MATERIAL SHALL HAVE A CLASS I OR CLASS II RATING, AS SPECIFIED.
4. FOLLOW ASTM C754 FOR INSTALLATION OF GYPSUM BOARD CEILING FRAMING.
5. SIMILAR AT AREAS OTHER THAN SECTIONS OF NEW FRAMING, OMIT NEW WALL CONSTRUCTION.
6. NEW GYPSUM BOARD SHALL BE "TYPE-X" OR "FIRE-CODE" OR OTHER FIRE RATED CLASSIFIED PRODUCT.



**TYPICAL SECTION AT EXISTING
INTERIOR WALL TO BE RE-FINISHED**

21 | A5.3 | 1" = 1'-0"



2ND FLOOR KEY PLAN

1/16" = 1'-0"

EDWARDS GROUP INTERNATIONAL, INC.
Architecture | Design | Planning Solutions
14000 Woodward Ave., Suite 400
Detroit, MI 48202
313-965-4200 / Fax 313-965-7678

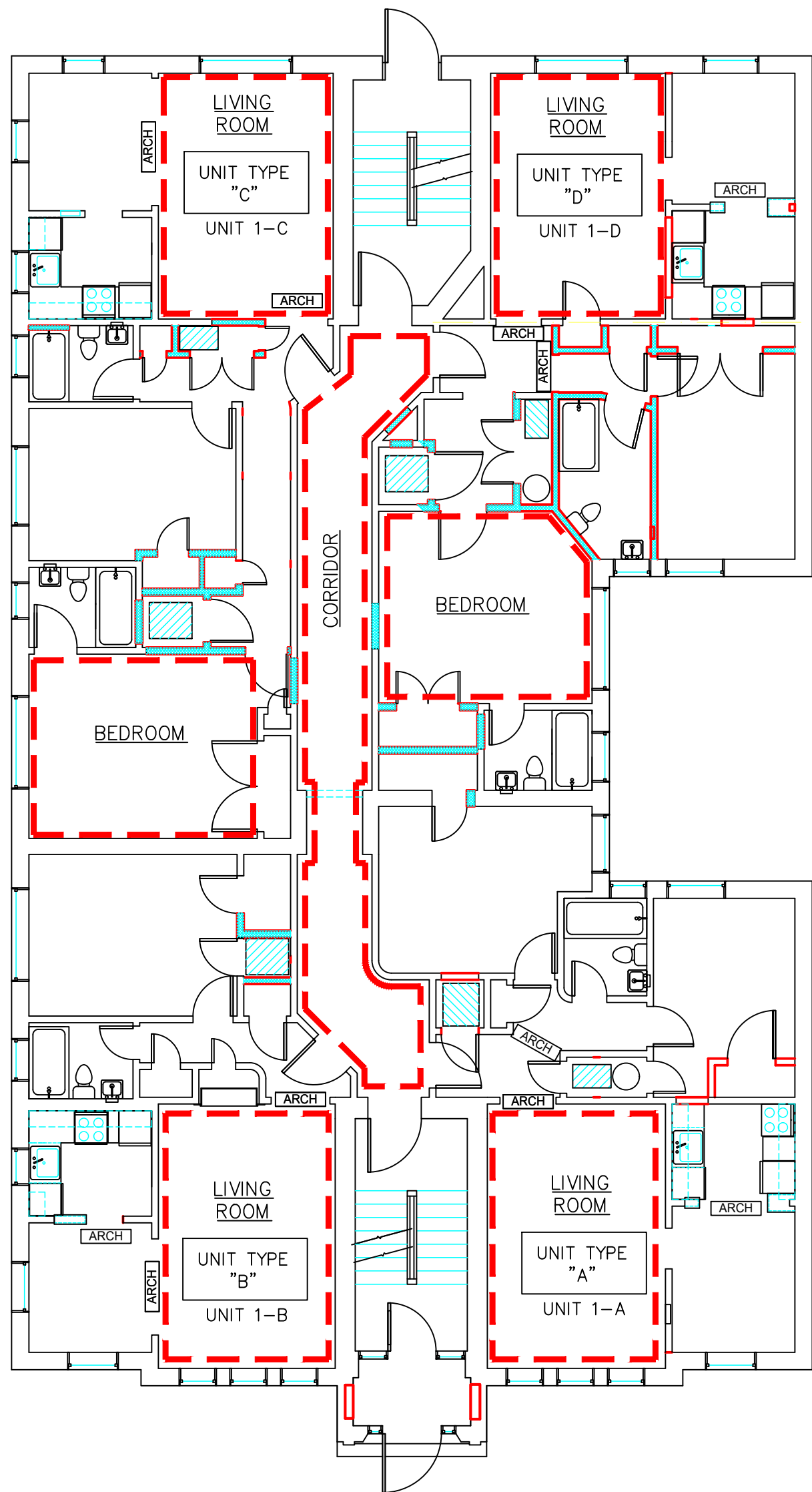
Aina Associates, Inc.
Mechanical | Electrical | Engineering
24175 NorthWestern Hwy.
Southfield, MI 48075
313-292-8822

PARTIAL BUILDING SECTION
1031 MARLBOROUGH ST.
DETROIT, MICHIGAN

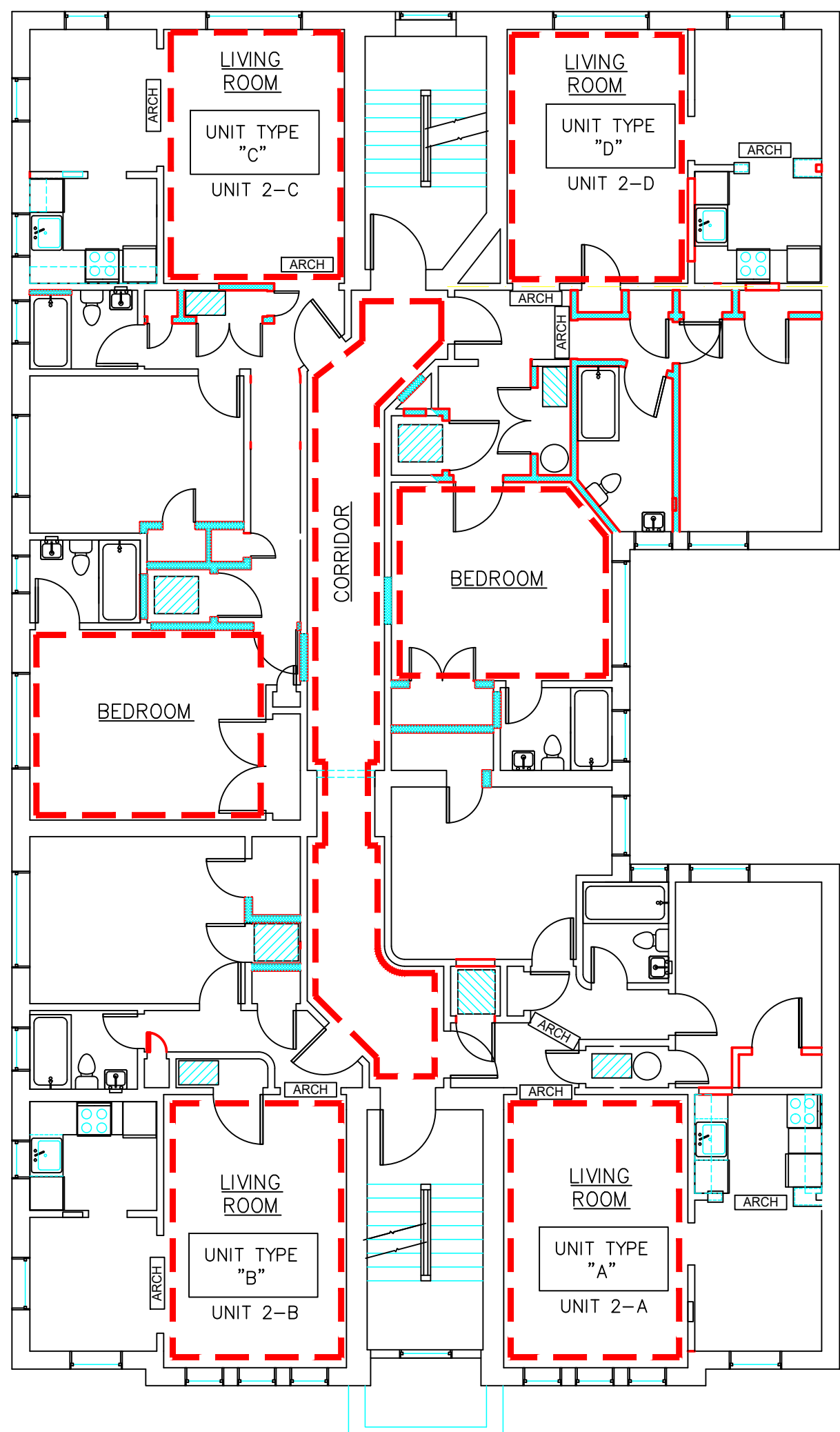
**MARLBORO APARTMENTS
BUILDING RENOVATION**

ISSUE DATES:
PERMIT
SEP-23-2016
HISTORIC REVIEW
JUL-26-2017
ADDENDUM #1
MAR-28-2018
ADDENDUM #2
OCT-1-2018
ADDENDUM #3
JAN-10-2019

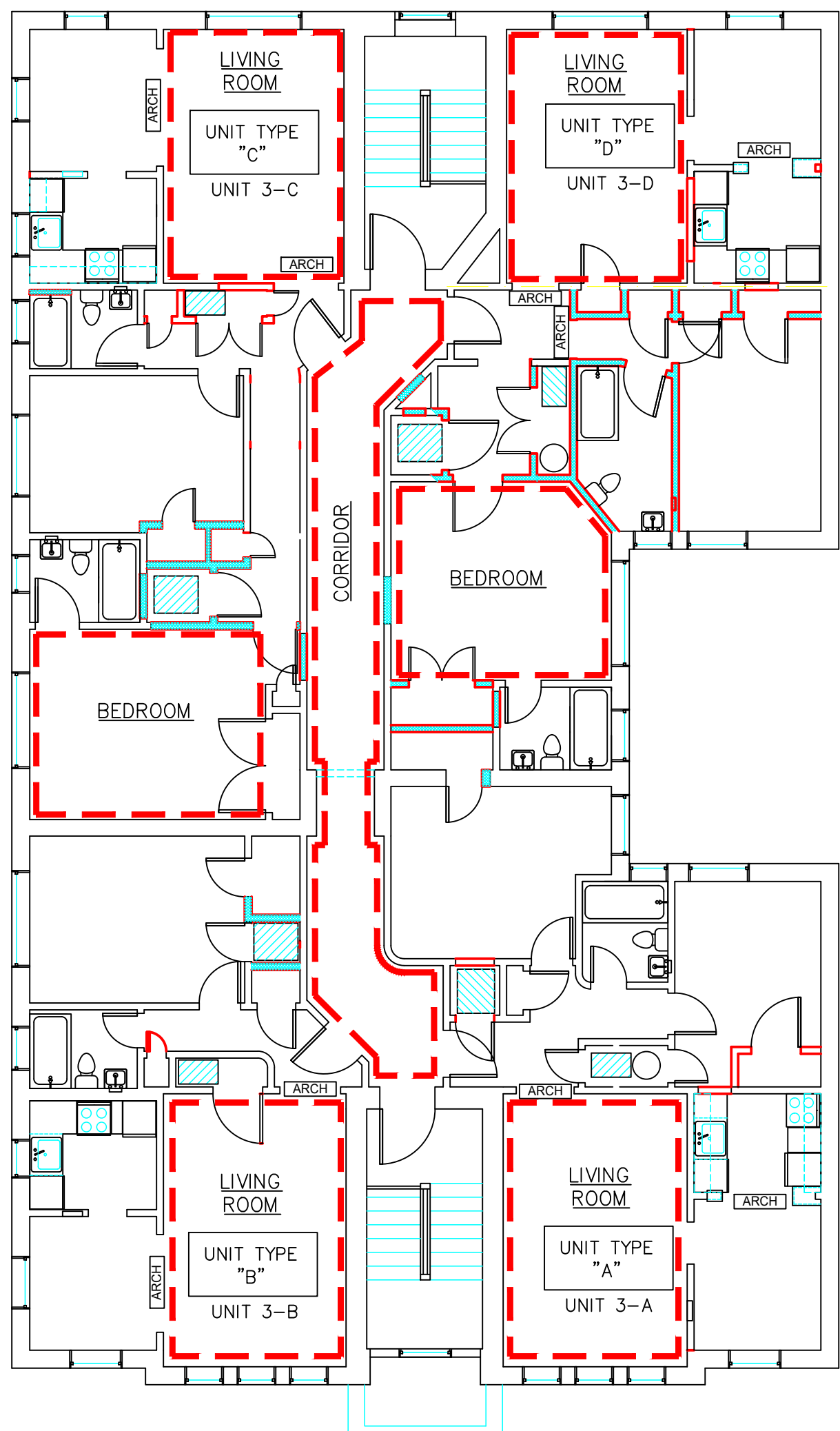
A5.3



CEILING COVES AND ARCH LOCATIONS,
1ST FLOOR
1/8" = 1'-0"



CEILING COVES AND ARCH LOCATIONS,
2ND FLOOR
1/8" = 1'-0"

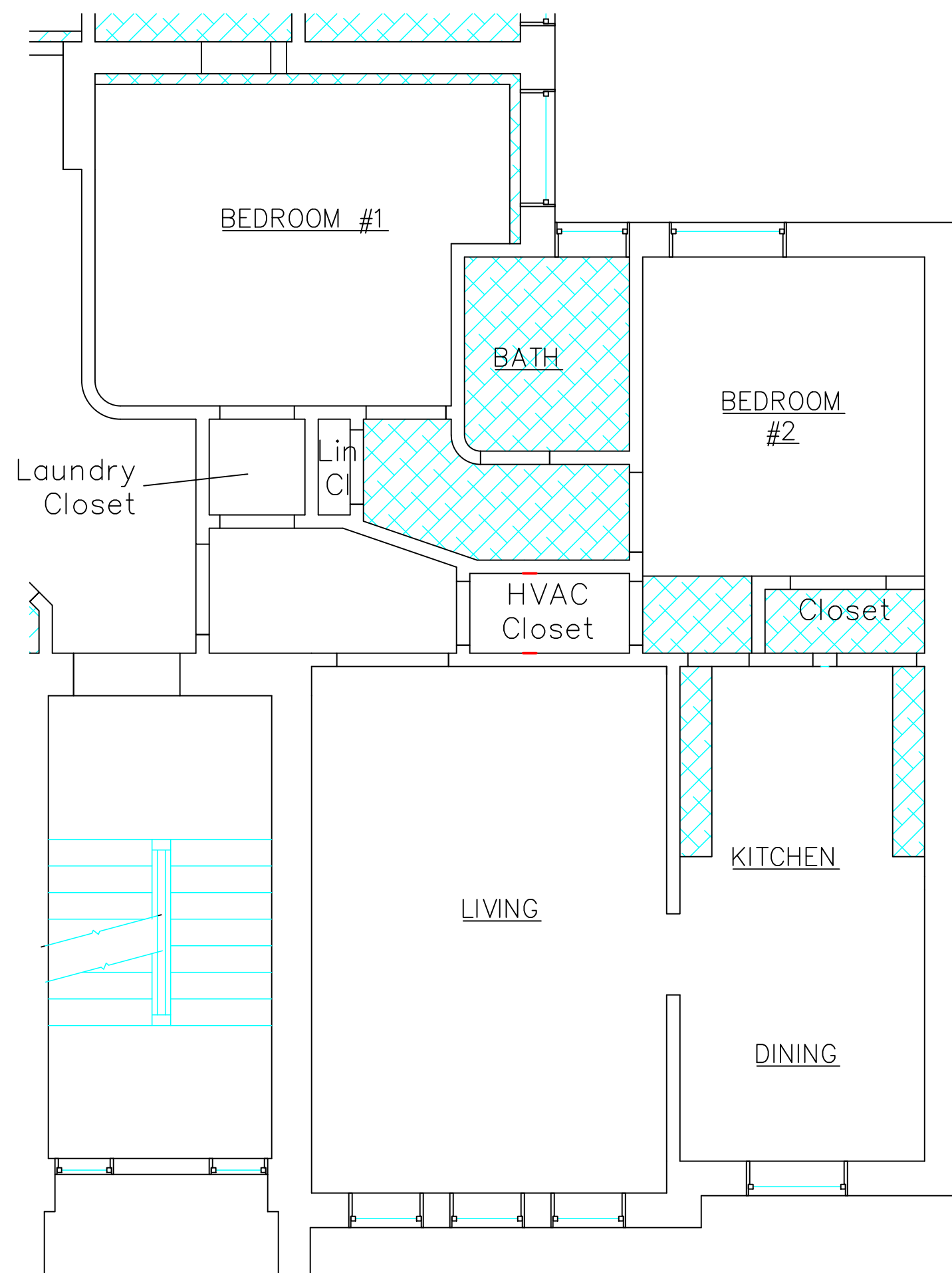


CEILING COVES AND ARCH LOCATIONS,
3RD FLOOR
1/8" = 1'-0"

PLAN SYMBOLS

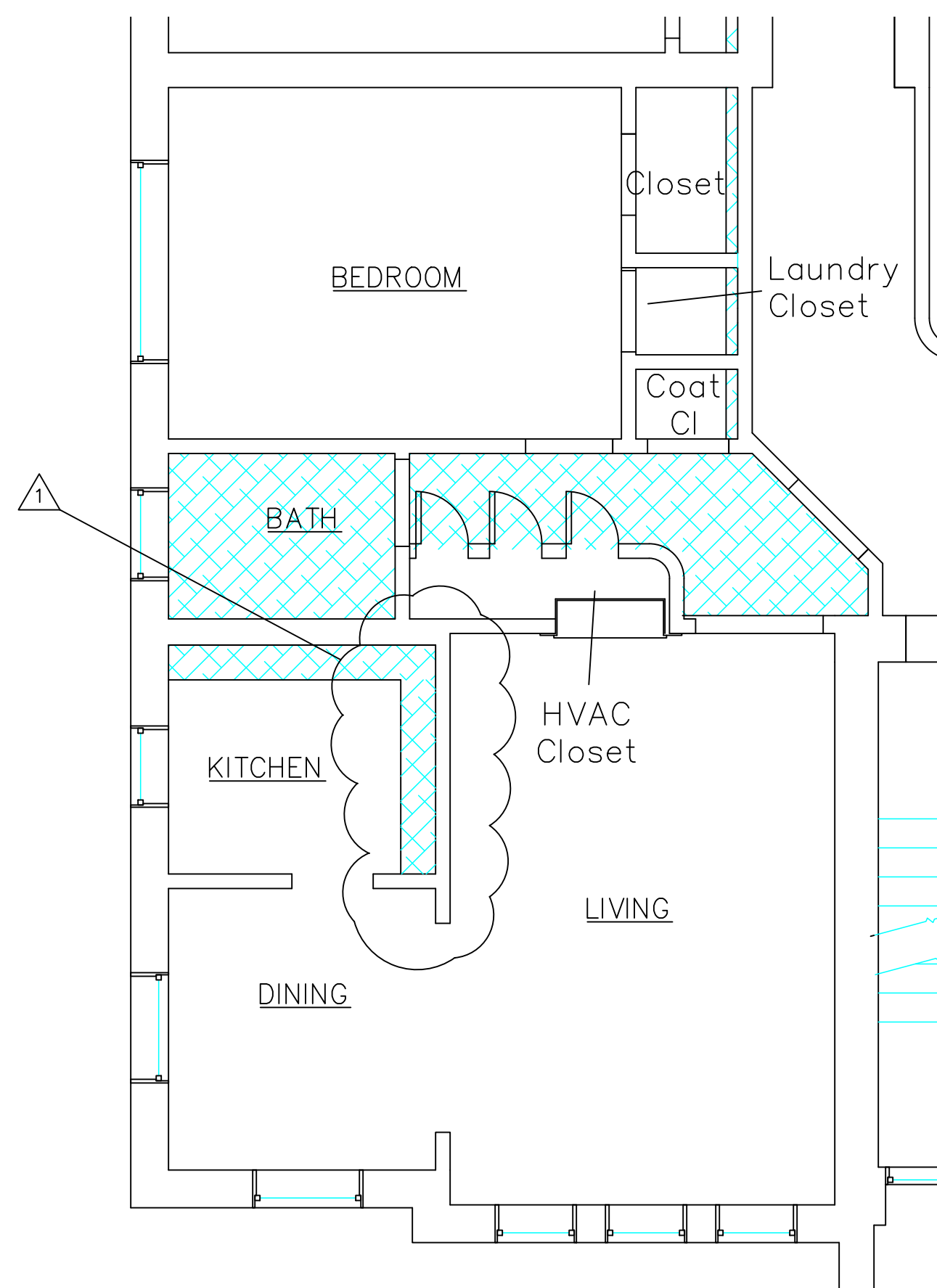
AREAS OF EXISTING PLASTER COVES AT WALL/CEILING INTERSECTION. REPLICATE EXISTING COVES WHERE REMOVED AT EXISTING/PROPOSED LIVING ROOM SPACES AND CORRIDORS. MATCH SIZE AND PROFILE OF EXISTING COVES, INCLUDING TRIM.

INDICATES LOCATION OF EXISTING CURVED OR POINTED PLASTER ARCHWAY ABOVE OPENING TO BE REPLICATED WHERE REMOVED. MATCH SIZE AND PROFILE OF EXISTING ARCHES.



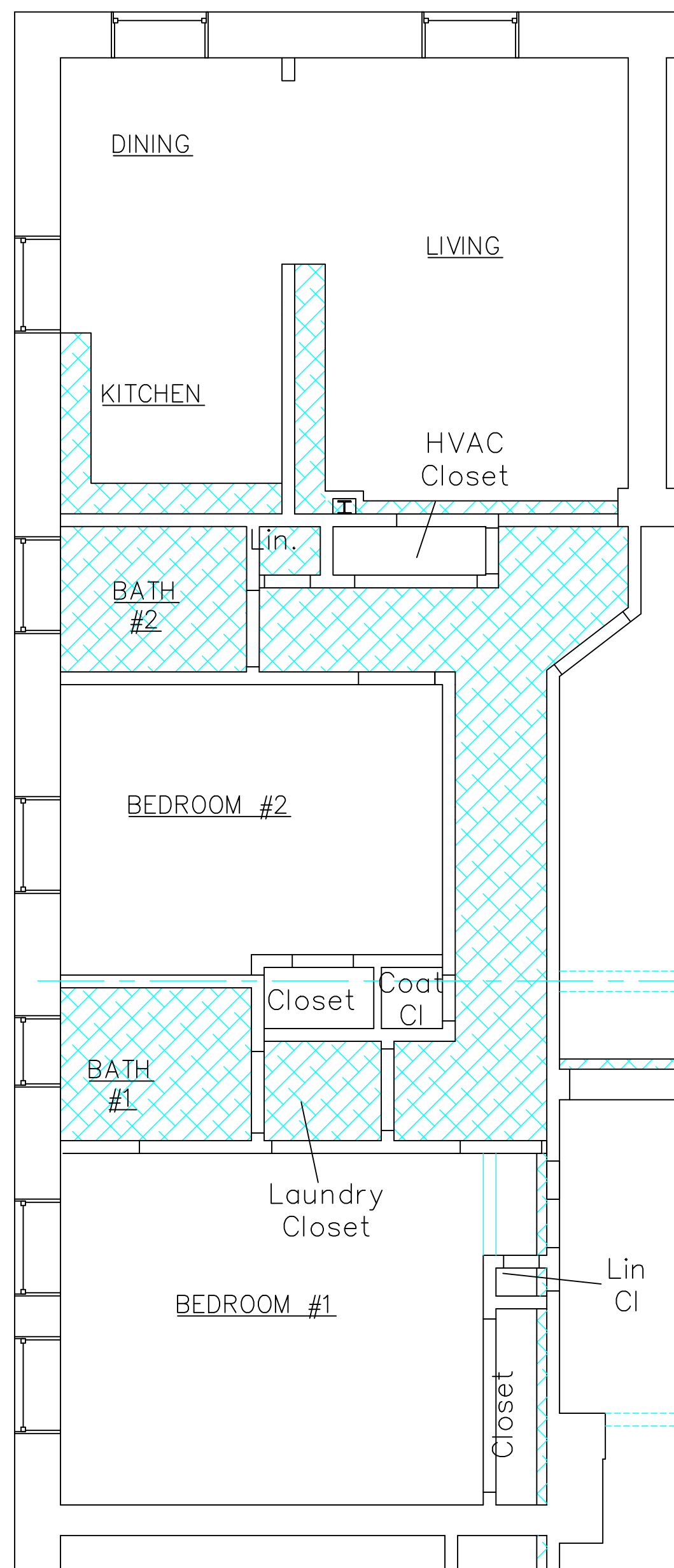
PROPOSED REFLECTED CEILING PLAN – UNIT TYPE A, BASEMENT

1/4" = 1'-0"
SIM. AT BASEMENT



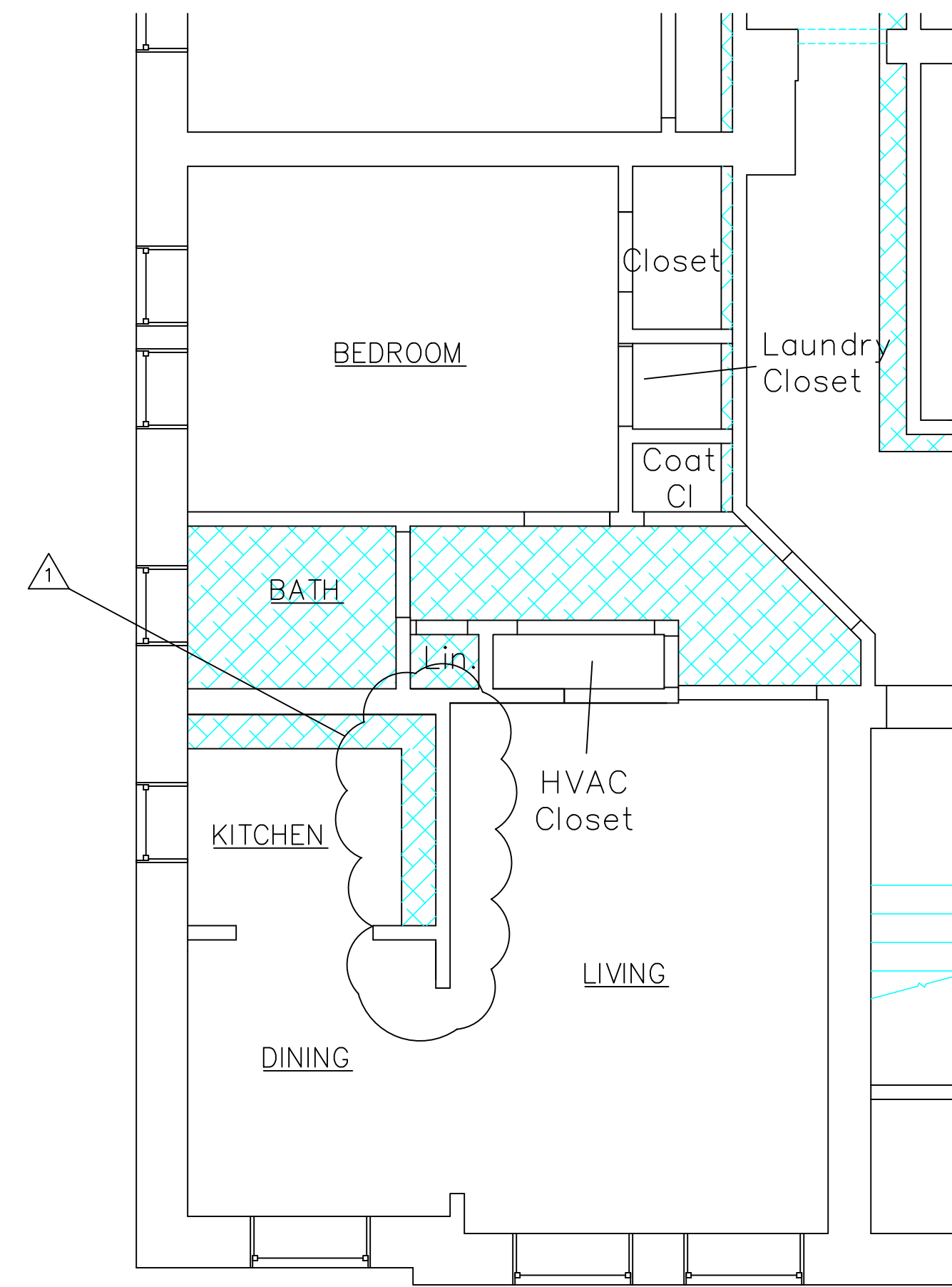
PROPOSED REFLECTED CEILING PLAN – UNIT TYPE B, 1ST FLOOR

1/4" = 1'-0"



PROPOSED REFLECTED CEILING PLAN – UNIT TYPE C, BASEMENT

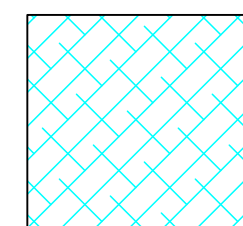
1/4" = 1'-0"



PROPOSED REFLECTED CEILING PLAN – UNIT TYPE B, BASEMENT

1/4" = 1'-0"

REFLECTED CEILING PLAN SYMBOLS



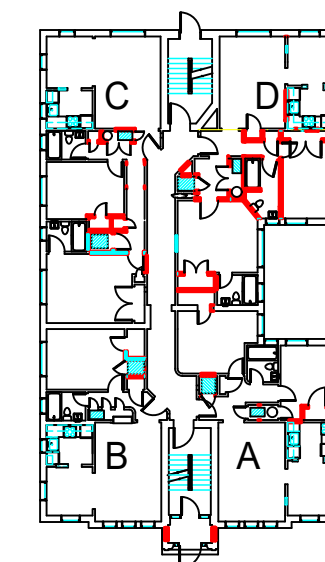
SECTION OF CEILING DROP OR SOFFIT. SOFFIT HEIGHT AS INDICATED IN SECTIONS. CEILING DROP DEPTH IS 9 INCHES TYPICAL EXCEPT WHERE NOTED OTHERWISE IN SECTIONS. TYPICAL CEILING HEIGHT ON 1ST THROUGH 3RD FLOORS IS 8'-8".

REVISIONS THIS SHEET	
1	ADDED SOFFIT TO CONNECT HVAC CLOSET TO DINING ROOM
2	ADDED CHART FOR FINDING CEILING PLANS BY LOCATION

2

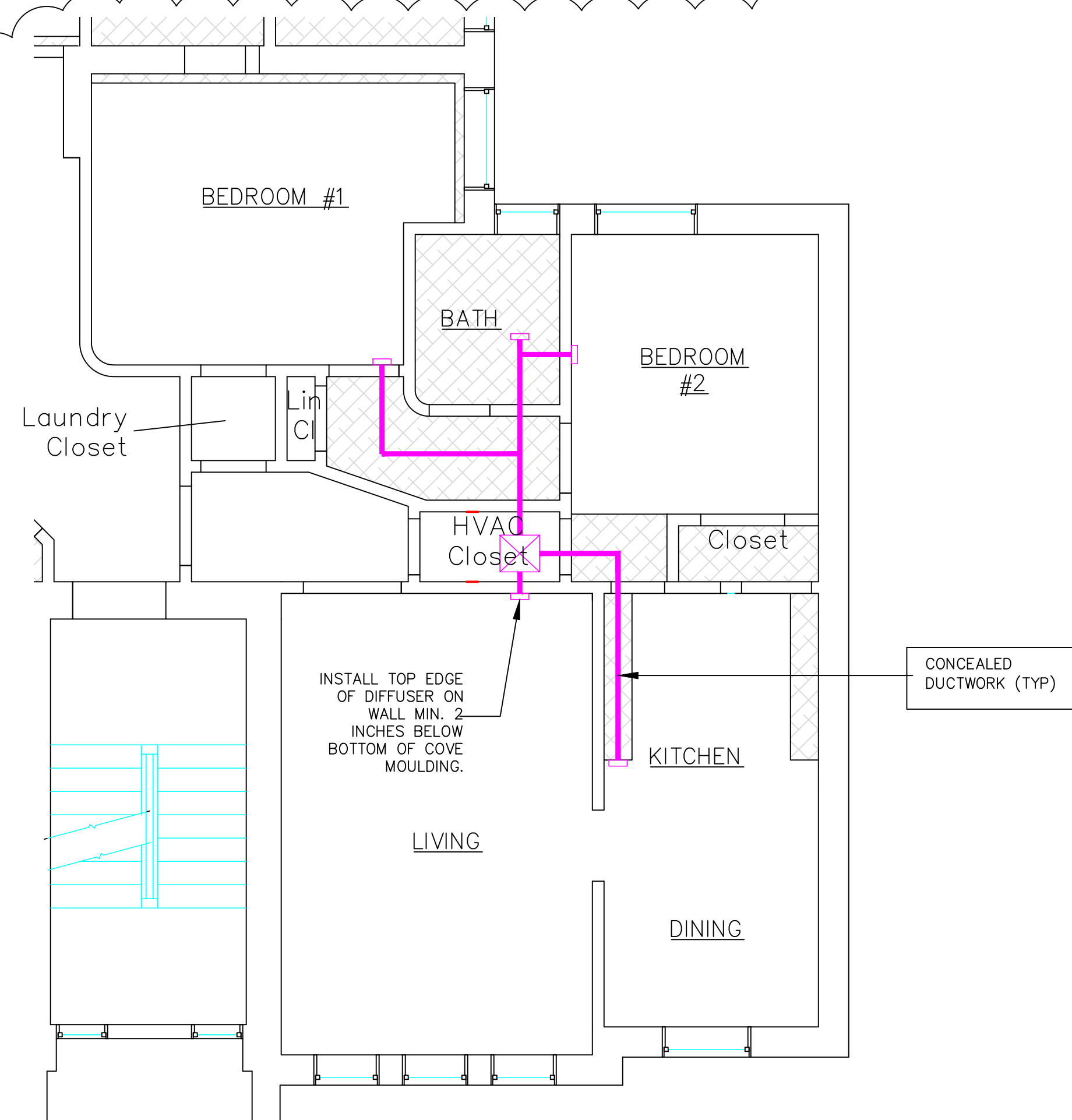
CEILING PLAN LOCATION BY UNIT/SHEET

	B	1ST FL	2ND FL	3RD FL
UNIT A	A5.5	A5	A5	A5
UNIT B	A5.5	A5.5	A5	A5
UNIT C	A5.5	A5	A5	A5
UNIT D	N/A	A5	A5	A5
CORRIDORS	A5.1	A5.1	A5.1	A5.1



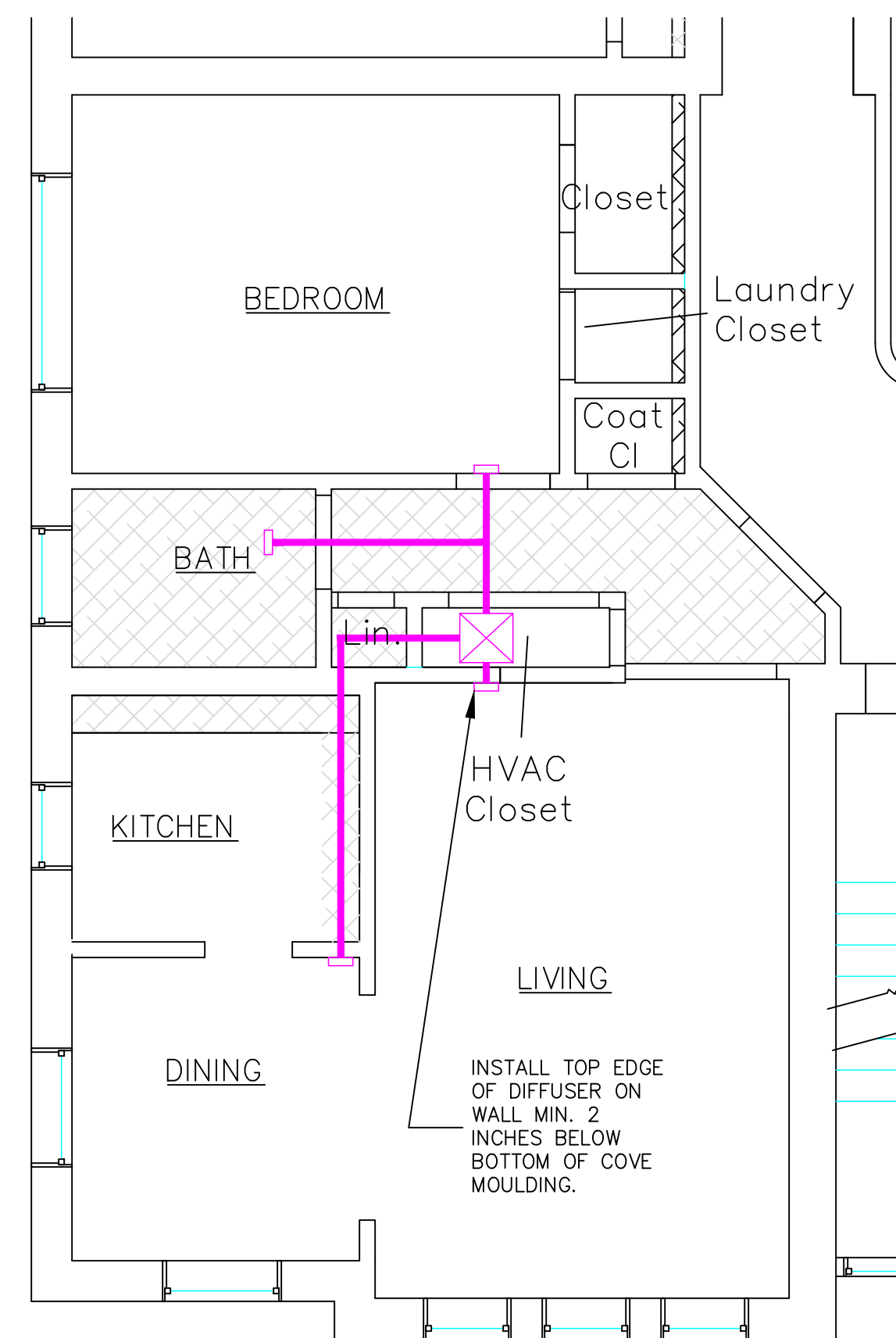
KEY PLAN

1/32" = 1'-0"



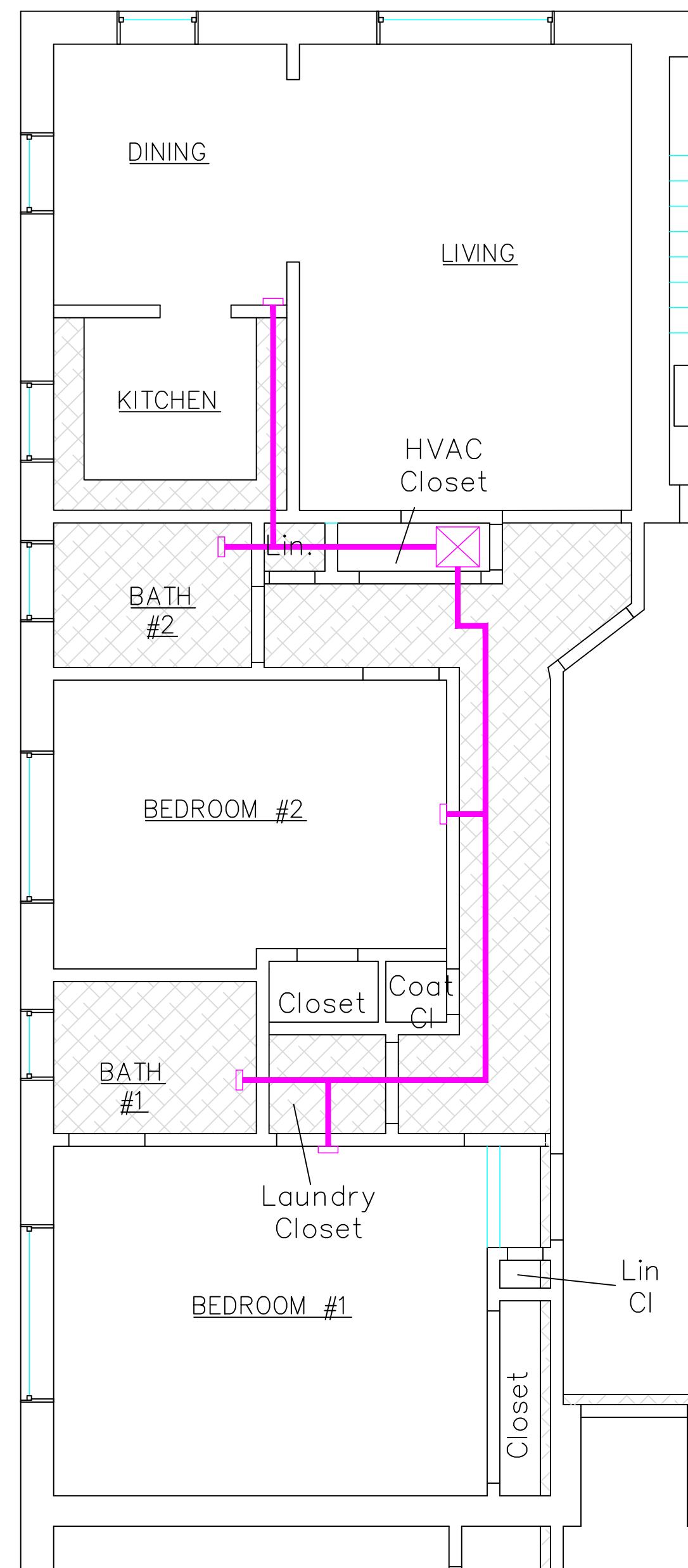
**PROPOSED REFLECTED CEILING PLAN –
UNIT TYPE A, 1ST, 2ND, 3RD FLOORS**

1/4" = 1'-0"
SIM. AT BASEMENT



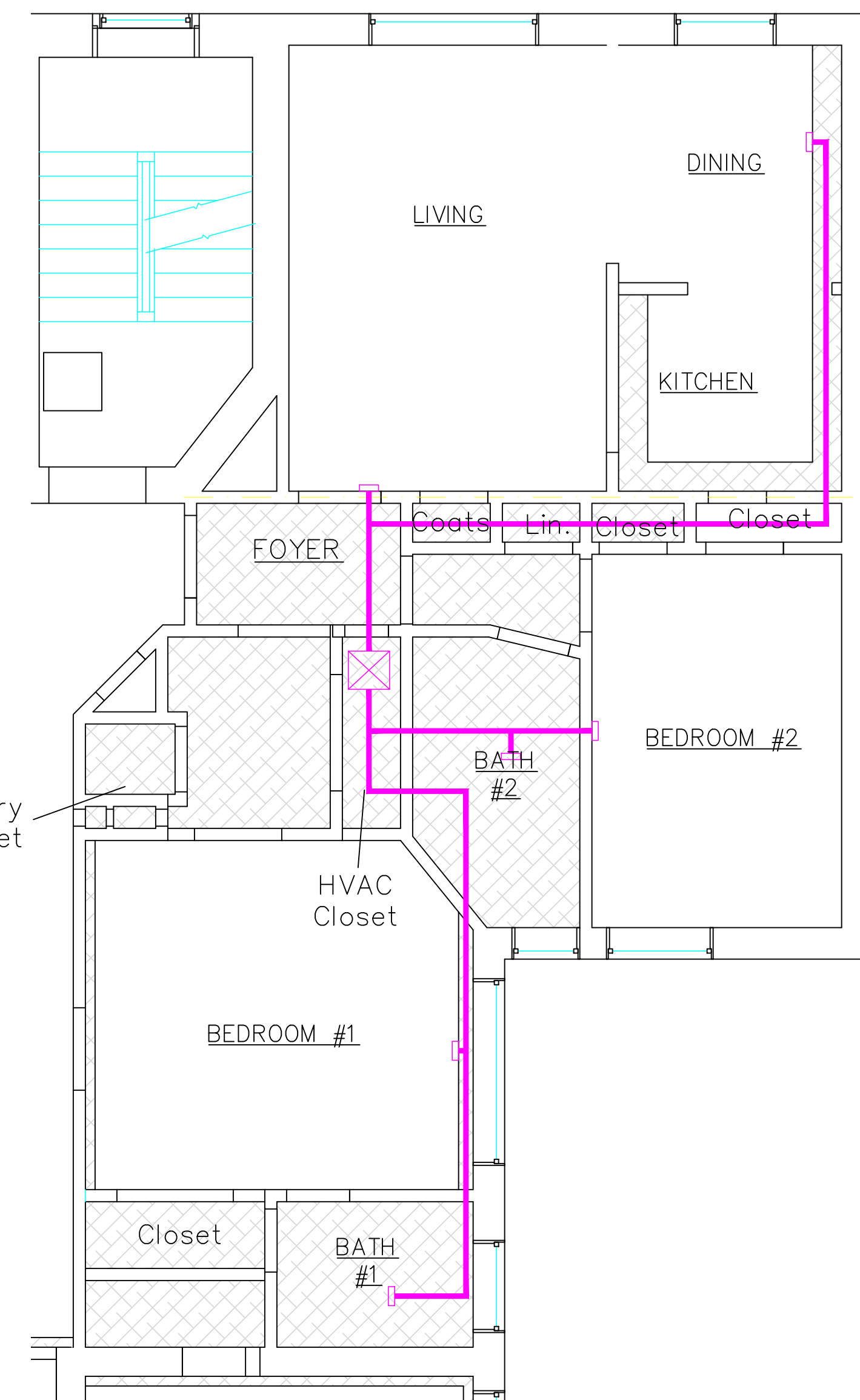
**PROPOSED REFLECTED CEILING PLAN –
UNIT TYPE B, 2ND, 3RD FLOORS**

1/4" = 1'-0"
SIMILAR AT 1ST FLOOR



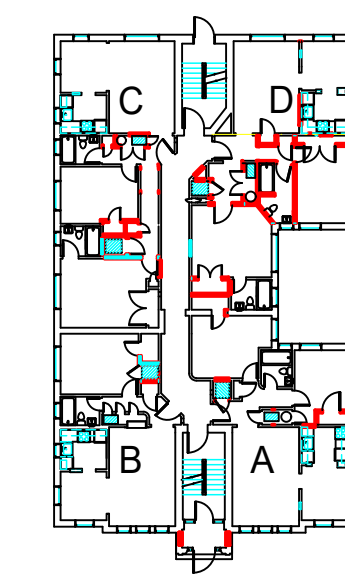
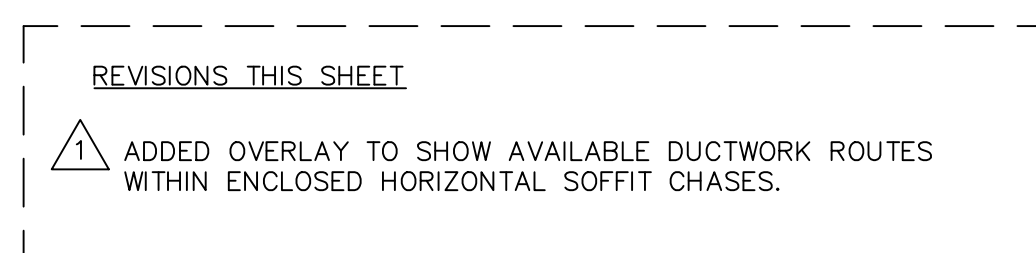
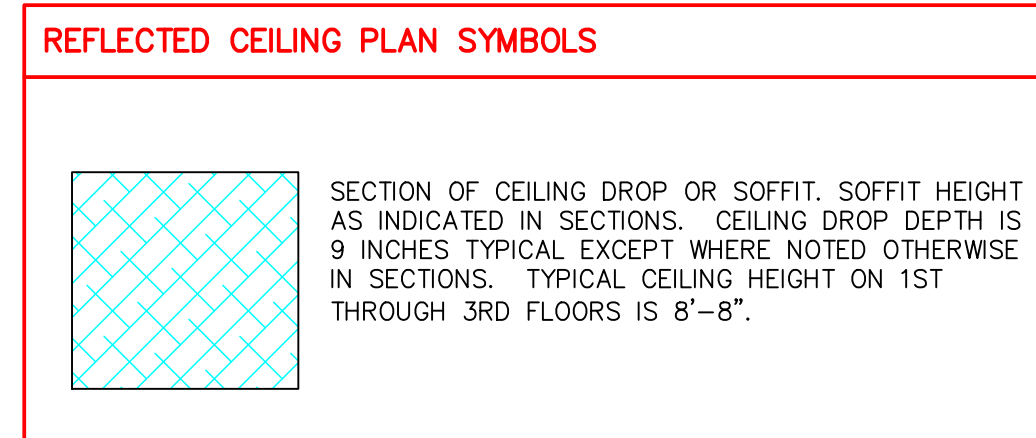
**PROPOSED REFLECTED CEILING PLAN –
UNIT TYPE C, 1ST, 2ND, 3RD FLOORS**

1/4" = 1'-0"

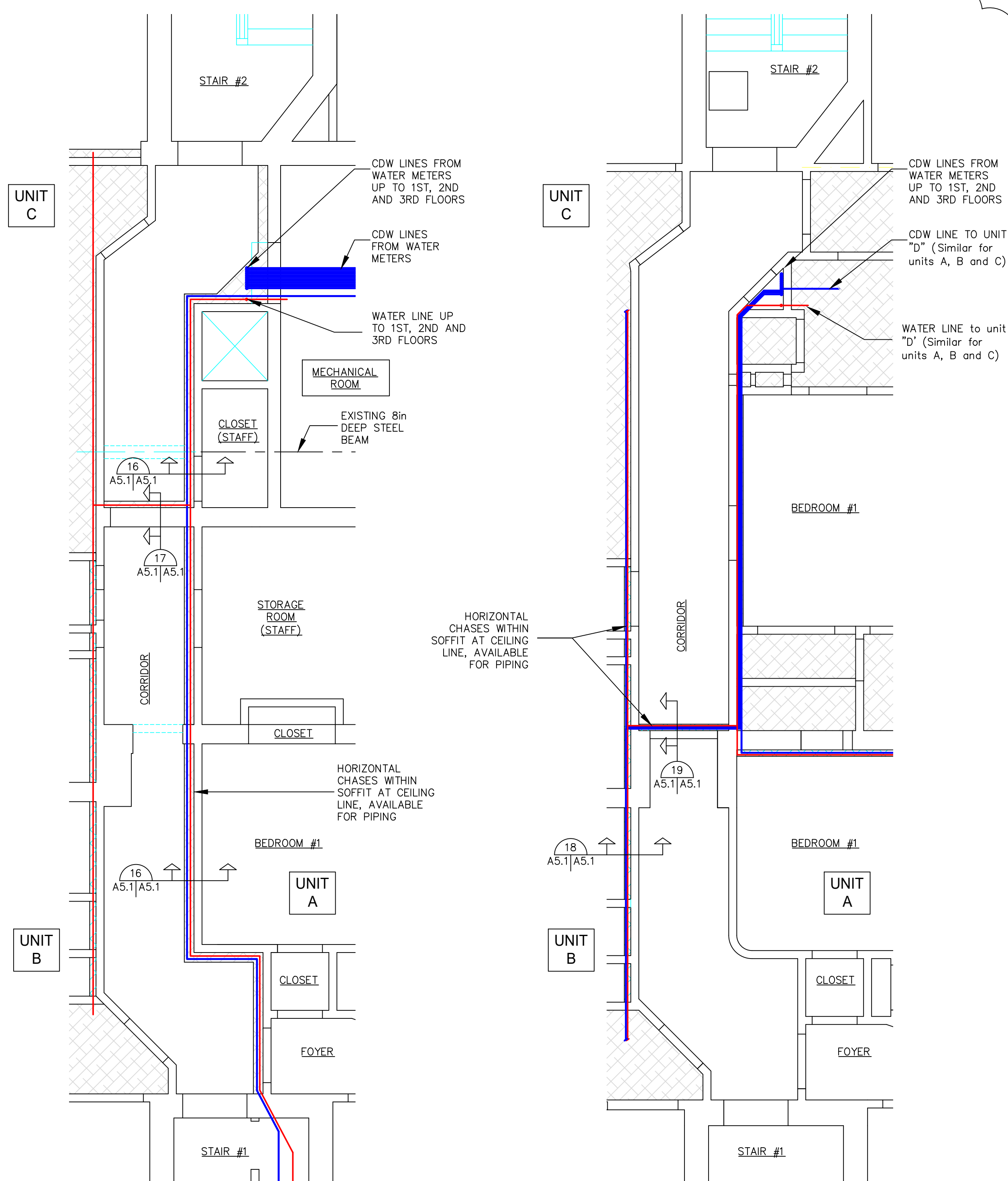


**PROPOSED REFLECTED CEILING PLAN –
UNIT TYPE D, 1ST, 2ND, 3RD FLOORS**

1/4" = 1'-0"



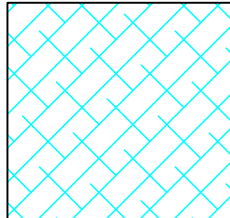
KEY PLAN
1/32" = 1'-0"




REFLECTED CEILING PLAN, AVAILABLE
PIPING CHASES, BASEMENT CORRIDOR
1/4" = 1'-0"


REFLECTED CEILING PLAN, AVAILABLE PIPING
CHASES, 1ST, 2ND AND 3RD FLOORS
1/4" = 1'-0"

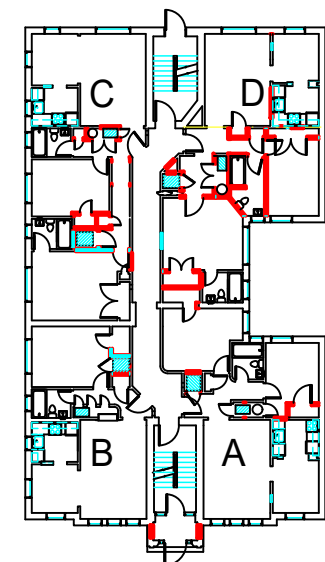
REFLECTED CEILING PLAN SYMBOLS

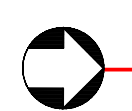
 SECTION OF CEILING DROP OR SOFFIT. SOFFIT HEIGHT AS INDICATED IN SECTIONS. CEILING DROP DEPTH IS 9 INCHES TYPICAL EXCEPT WHERE NOTED OTHERWISE IN SECTIONS. TYPICAL CEILING HEIGHT ON 1ST THROUGH 3RD FLOORS IS 8'-8".

 AVAILABLE WATER PIPING ROUTE WITHIN ENCLOSED CHASES

REFLECTED CEILING PLAN GENERAL NOTES:
1. REFER TO PLUMBING DRAWINGS FOR PIPING REQUIREMENTS.
2. REFER TO FIRE SUPPRESSION SYSTEM DRAWINGS FOR SUPPRESSION SYSTEM REQUIREMENTS.

REVISIONS THIS SHEET	
	ADDED OVERLAY OF PIPE RUNS IN SOFFITS TO SHOW AVAILABLE PIPING ROUTES WITHIN ENCLOSED HORIZONTAL CHASE.



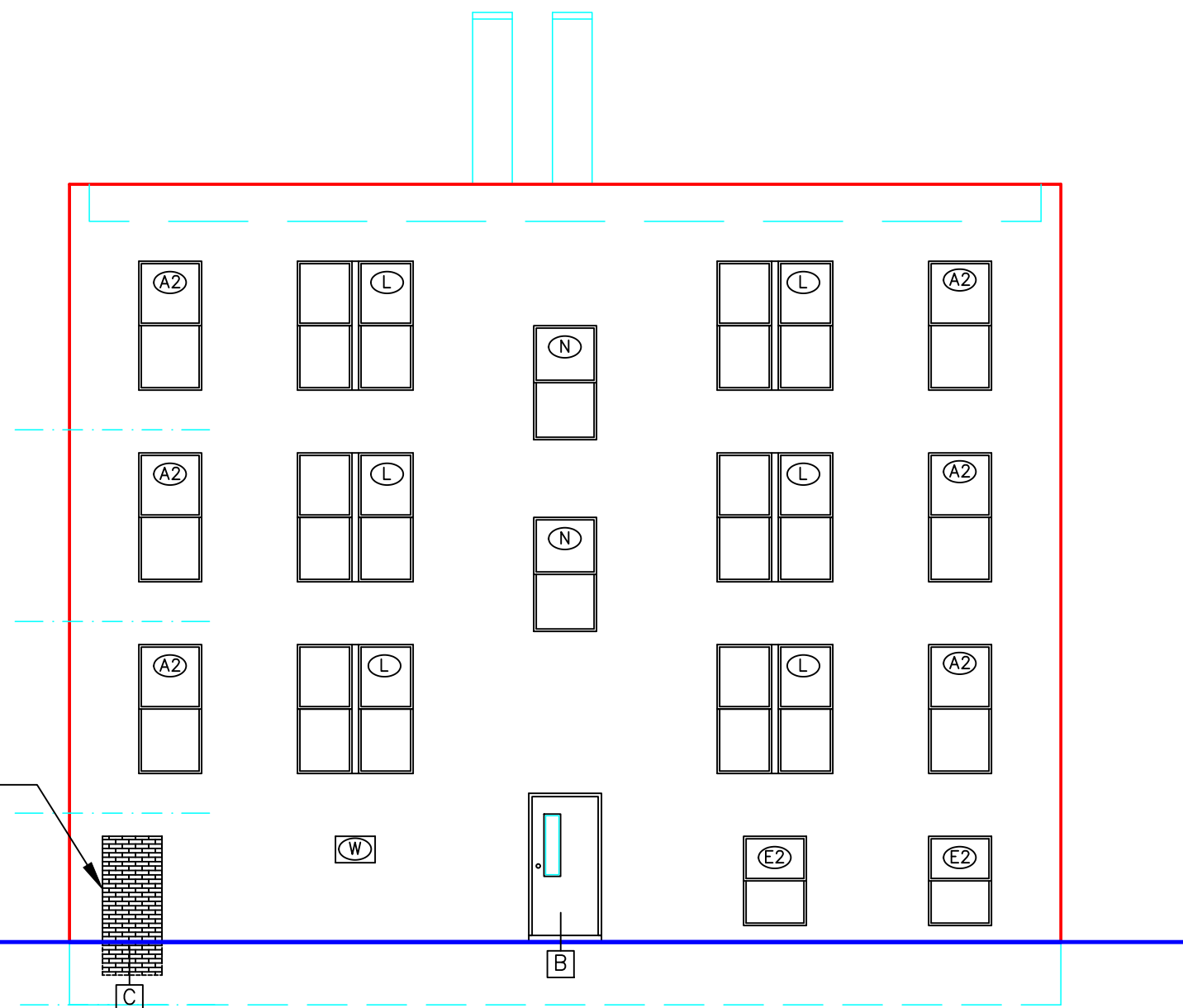
 **KEY PLAN**
1/32" = 1'-0"



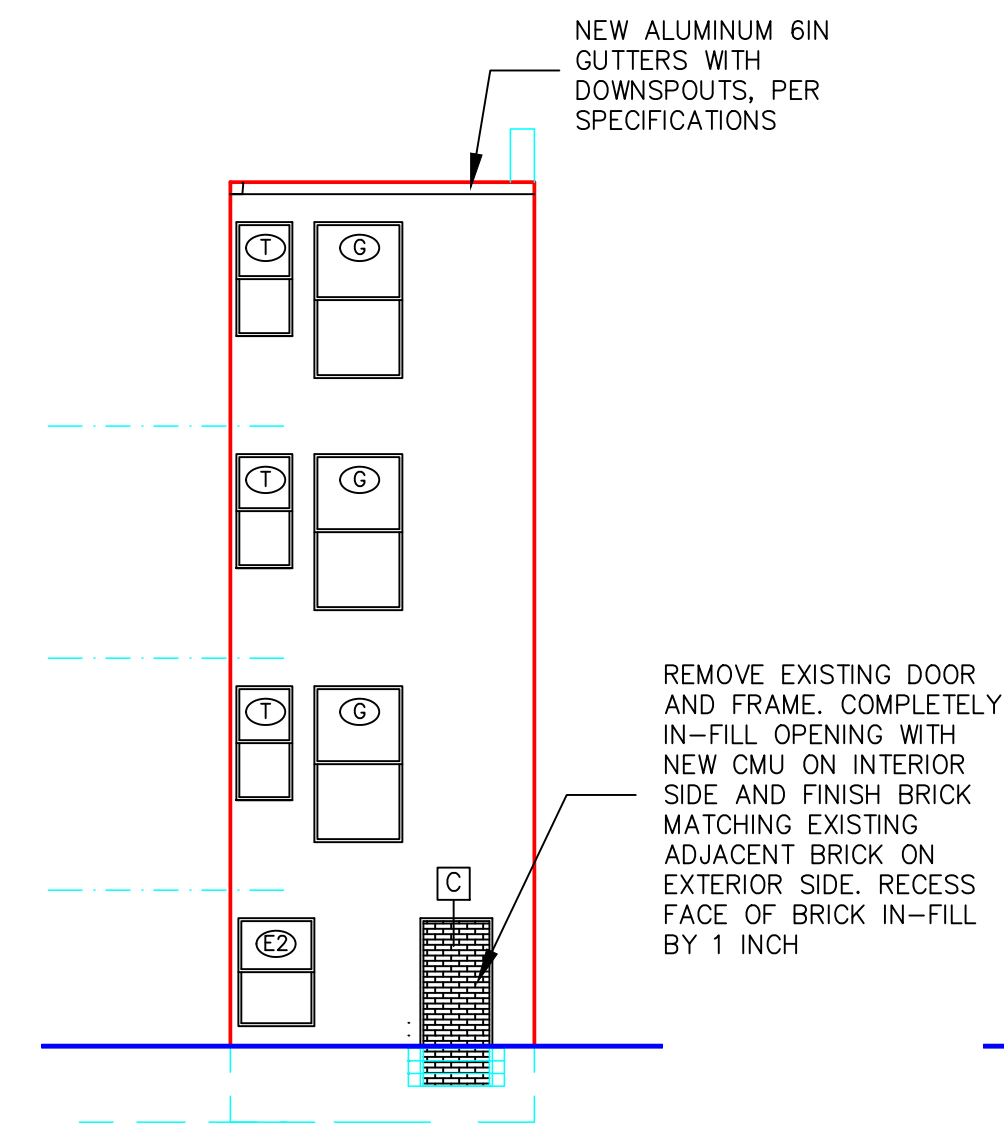
BUILDING ELEVATION - EAST
1/4" = 1'-0"

BUILDING ELEVATION - EAST, GENERAL NOTE:
1. REMOVE EXISTING LIGHT FIXTURES AND REPLACE WITH NEW. REFER TO PRODUCTS SCHEDULE FOR FIXTURE DETAILS.

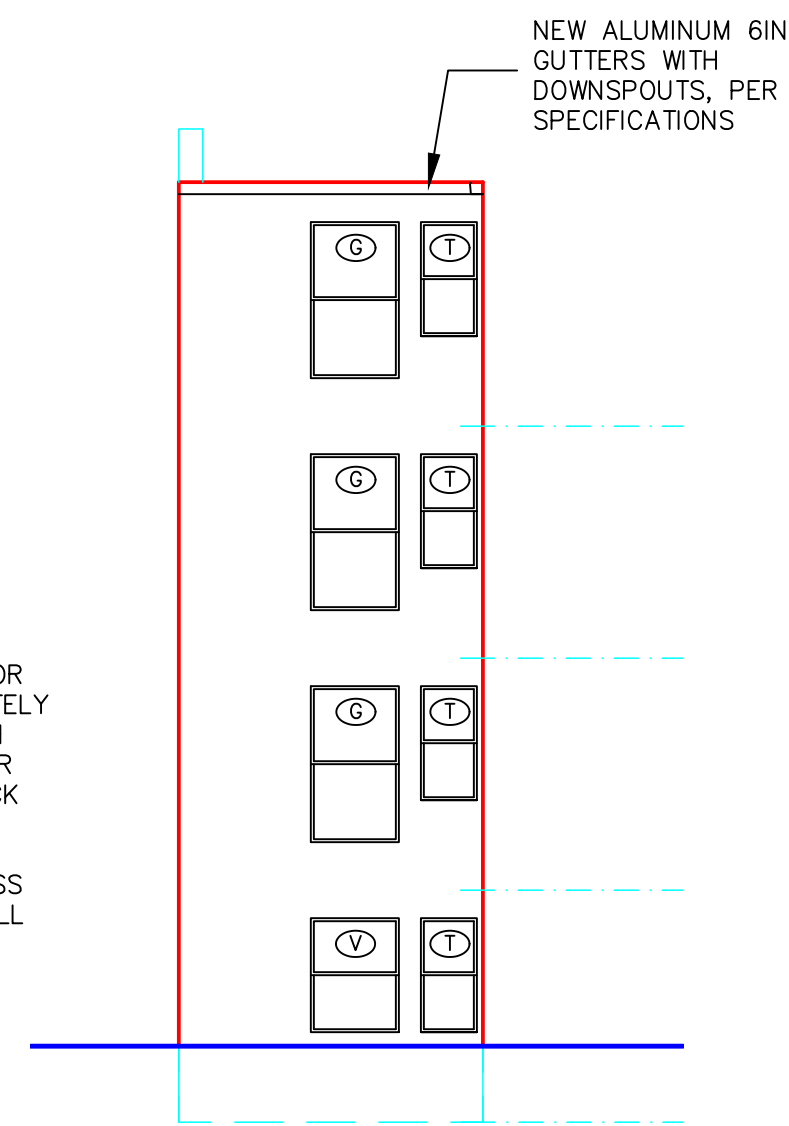
REMOVE EXISTING DOOR AND FRAME. COMPLETELY IN-FILL OPENING WITH NEW CMU ON INTERIOR SIDE AND FINISH BRICK MATCHING EXISTING ADJACENT BRICK ON EXTERIOR SIDE. RECESS FACE OF BRICK IN-FILL BY 1 INCH



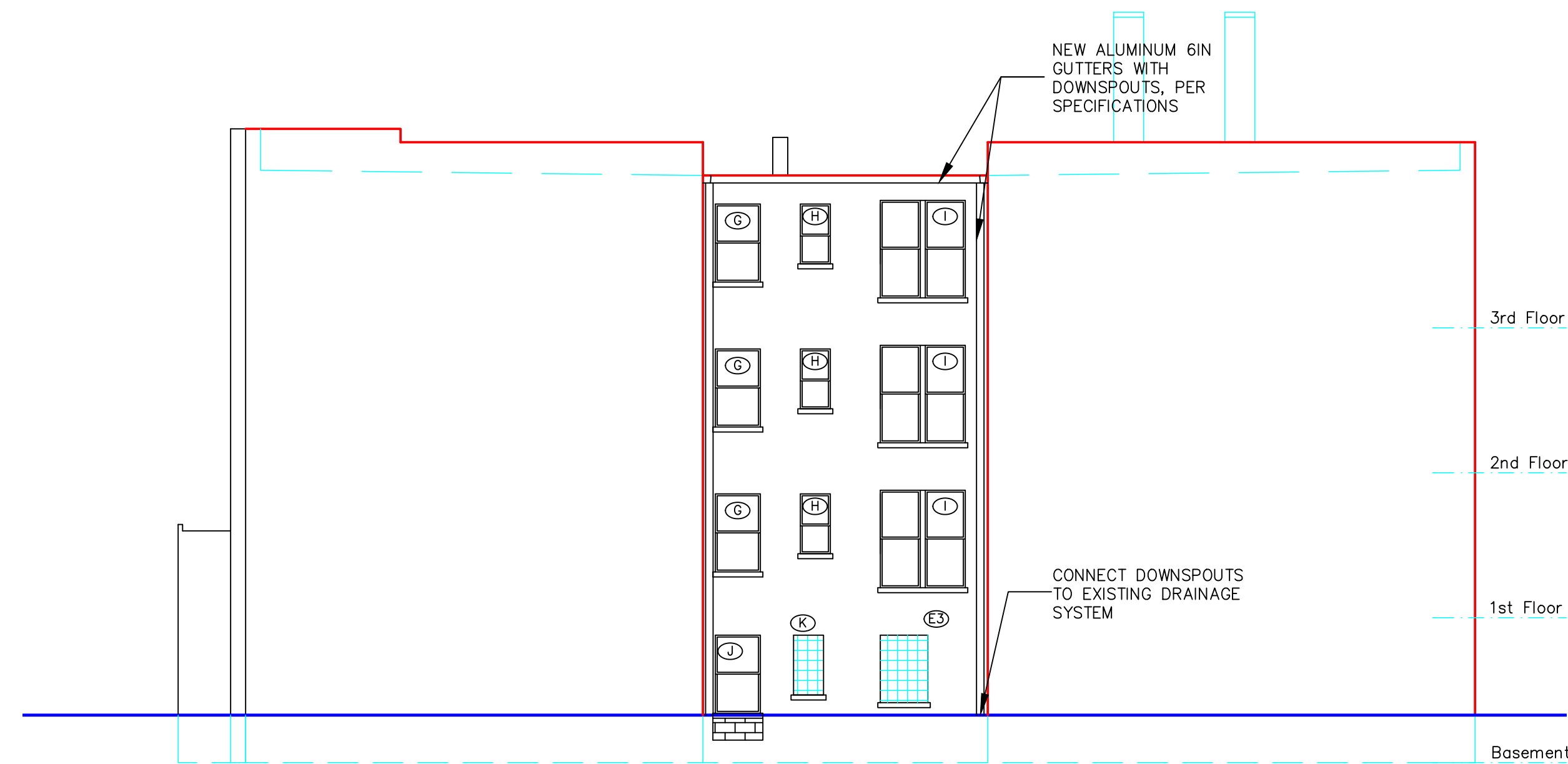
BUILDING ELEVATION - WEST
1/8" = 1'-0"



BUILDING ELEVATION - EAST AT COURTYARD
1/8" = 1'-0"



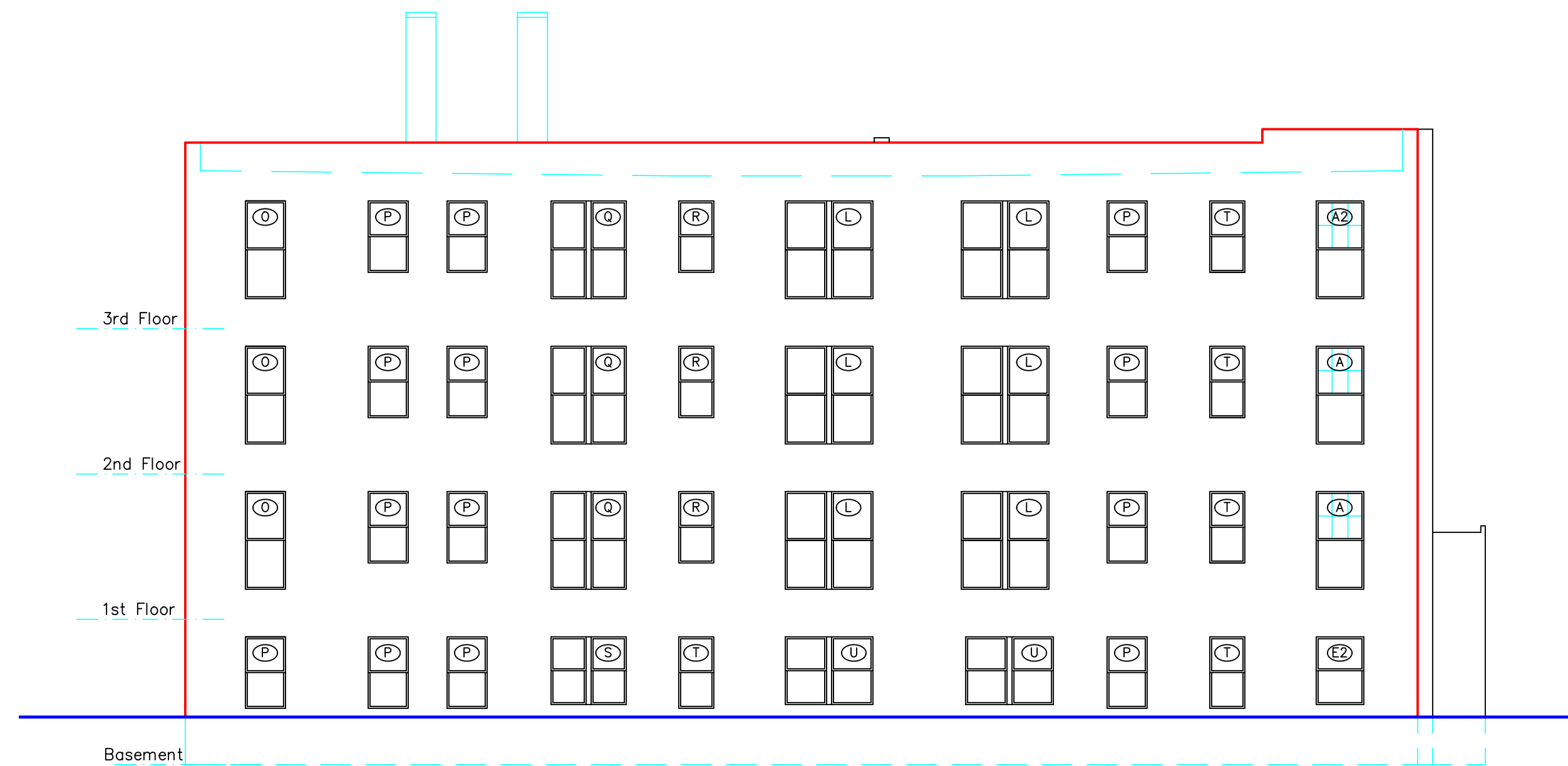
BUILDING ELEVATION - WEST AT COURTYARD
1/8" = 1'-0"



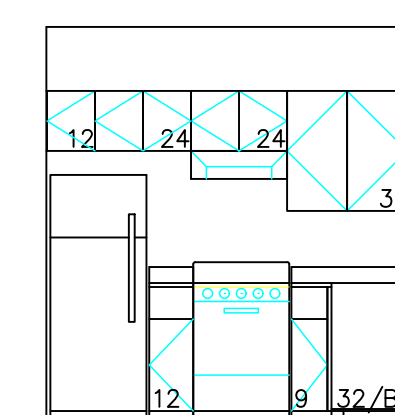
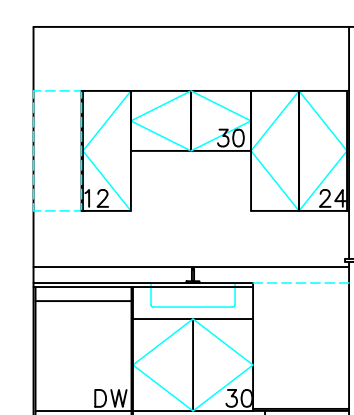
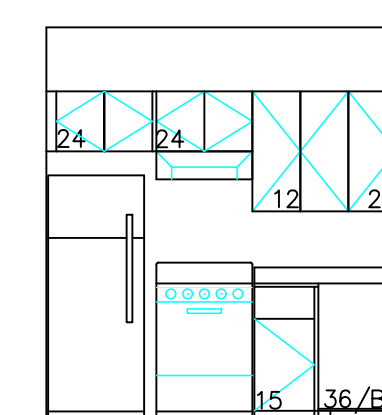
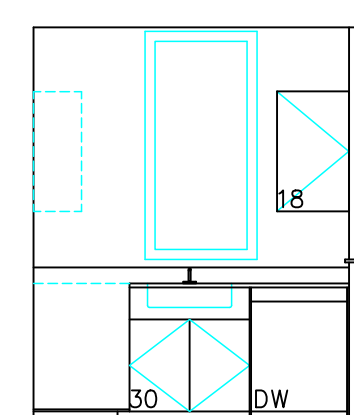
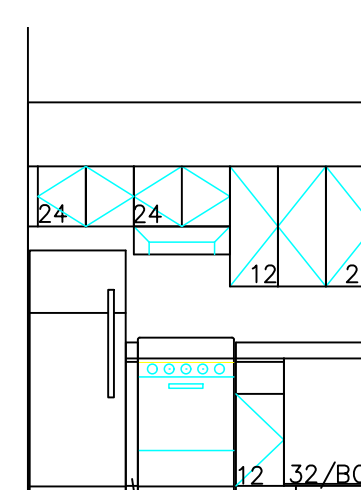
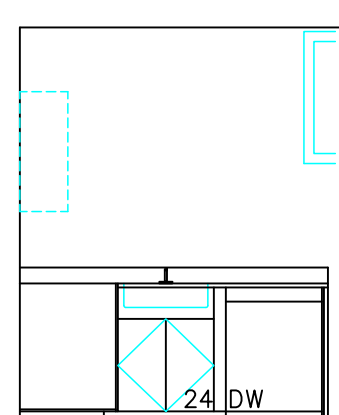
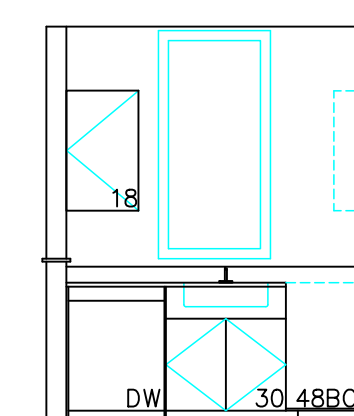
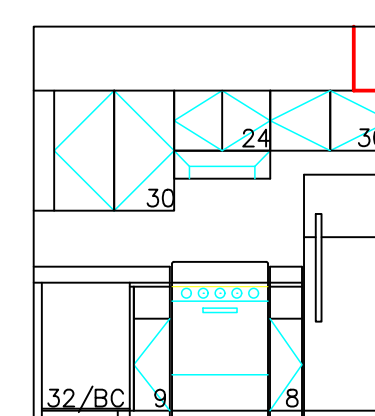
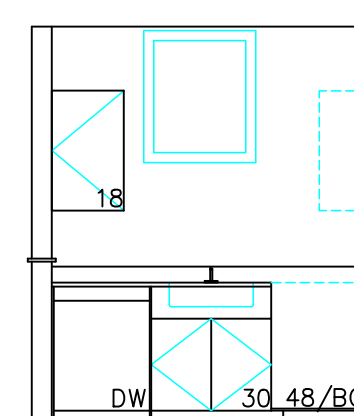
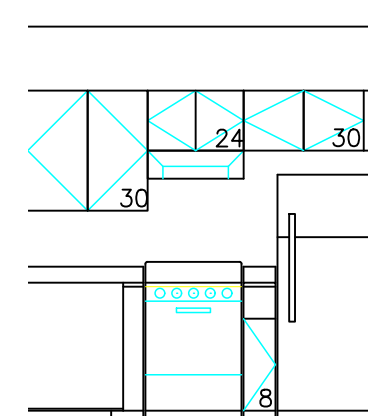
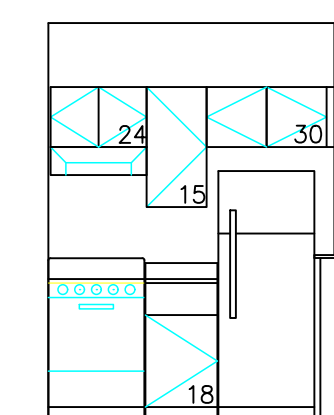
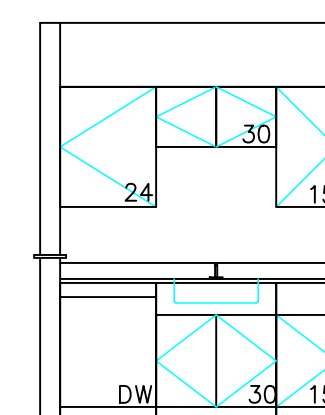
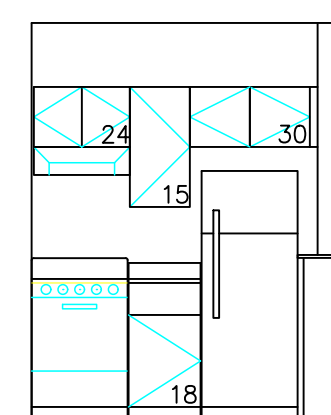
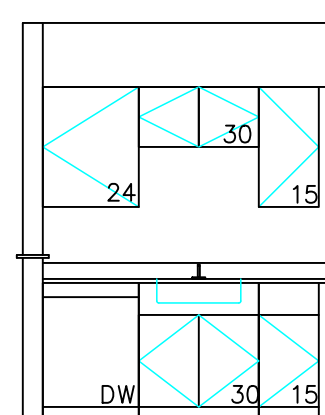
BUILDING ELEVATION - NORTH
1/4" = 1'-0"

NEW ALUMINUM 6IN GUTTERS WITH DOWNSPOUTS, PER SPECIFICATIONS

CONNECT DOWNSPOUTS TO EXISTING DRAINAGE SYSTEM



BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



REVISIONS THIS SHEET

1 ADJUSTED SCALE OF DRAWING TO 1/4" = 1'-0"

ROOM FINISH SCHEDULE – COMMON AREAS

Room / Area	Finish
Corridors	
Floors - Existing	Hardwood
Floors - New	Luxury Vinyl Tile, non-adhesive over existing wood and new OSB patch
Walls - Existing	Paint on plaster
Walls - New	Paint on new gypsum board
Ceilings - Existing	Paint on plaster
Ceilings - New	Paint on new gypsum board
Ceiling Coves - New	Paint on new replicated plaster coves
Stairwells / Staircases / Landings	
Floors/Treads - Existing	Hardwood
Floors/Treads - New	Repair, refinish existing hardwood, new anti-slip tread strips
Walls - Existing	Paint on plaster
Walls - New	Paint on new gypsum board
Ceilings - Existing	Paint on plaster
Ceilings - New	Paint on new gypsum board
Front Building Vestibule	
Floors - Existing	Ceramic tile
Floors - New	Existing ceramic tile to be restored
Walls - Existing	Paint on plaster and ceramic wall tiles
Walls - New	Paint on new gypsum board, ceramic wall tile to remain
Ceilings - Existing	Paint on plaster
Ceilings - New	Paint on new gypsum board
Stairwell Handrails and Guardrails	
Handrails, Balustrade - Existing	Painted wood and stained wood
Handrails, Balustrade - New	Restore and re-stain wood, replicate missing pieces
Tenant Unit Entry Doors	
Unit Entry Doors - Existing	None existing
Unit Entry Doors - New	Wood stain on new wood
Basement storage room, former meter room and mechanical rooms	
Floors - Existing	Concrete slab on grade, unfinished
Floors - New	Concrete slab on grade, unfinished
Walls - Existing	Brick, unfinished
Walls - New	Brick, unfinished
Ceilings - Existing	Paint on plaster
Ceilings - New	Paint on new gypsum board (incl. underside of front stairs)
Doors and Frames, Non-Tenant Areas at Corridors, except stairs	
Doors and Frames - Existing	Various finishes on hardwood frames (doors missing)
Doors and Frames - New	Paint on new wood doors Alternate #1: Wood stain on new wood doors
Door and Frame, Front Bldg Vestibule Inner Door	
Door and Frame - Existing	Wood stain on wood door
Door and Frame - New	Wood stain on restored wood door
Doors and Frames, Exit Stairwells	
Doors and Frames - Existing	Paint on hollow metal
Doors and Frames - New	Paint on new hollow metal
Door, Front Building Entry	
Door - Existing	Unfinished hollow metal
Door - New	Stained hardwood, new door
Door Frame, Front Building Entry	
Door Frame - Existing	Stained hardwood (damaged)
Door Frame - New	New hardwood frame, stained

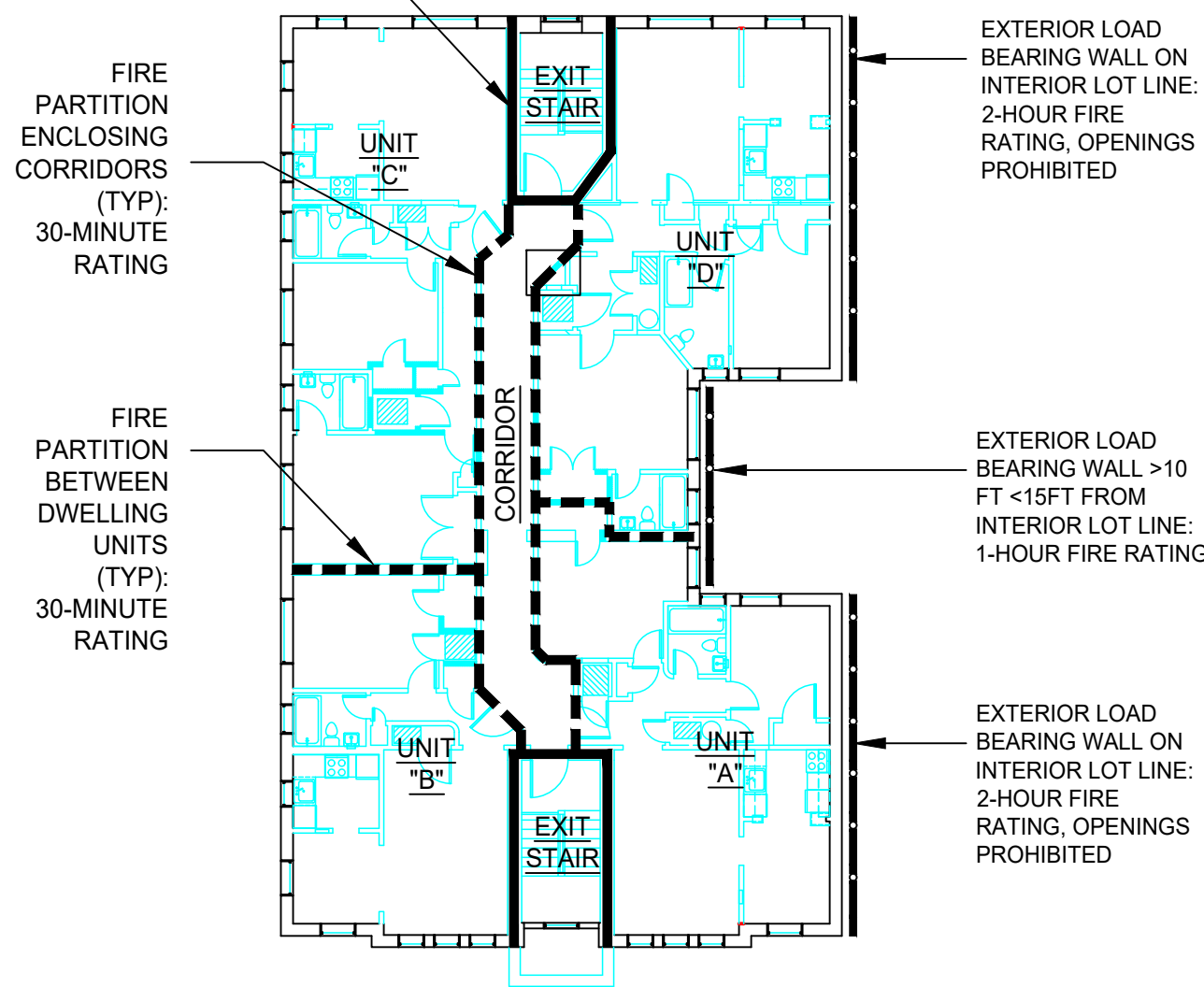
FINISH SCHEDULE NOTES

1. INSTALL NEW FINISHES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. CERAMIC TILE IN MAIN FRONT VESTIBULE IS TO BE PRESERVED AND RESTORED.
3. FLOOR FINISHES SHALL BE CLASS I OR II RATED.

ROOM FINISH SCHEDULE – APARTMENT UNITS

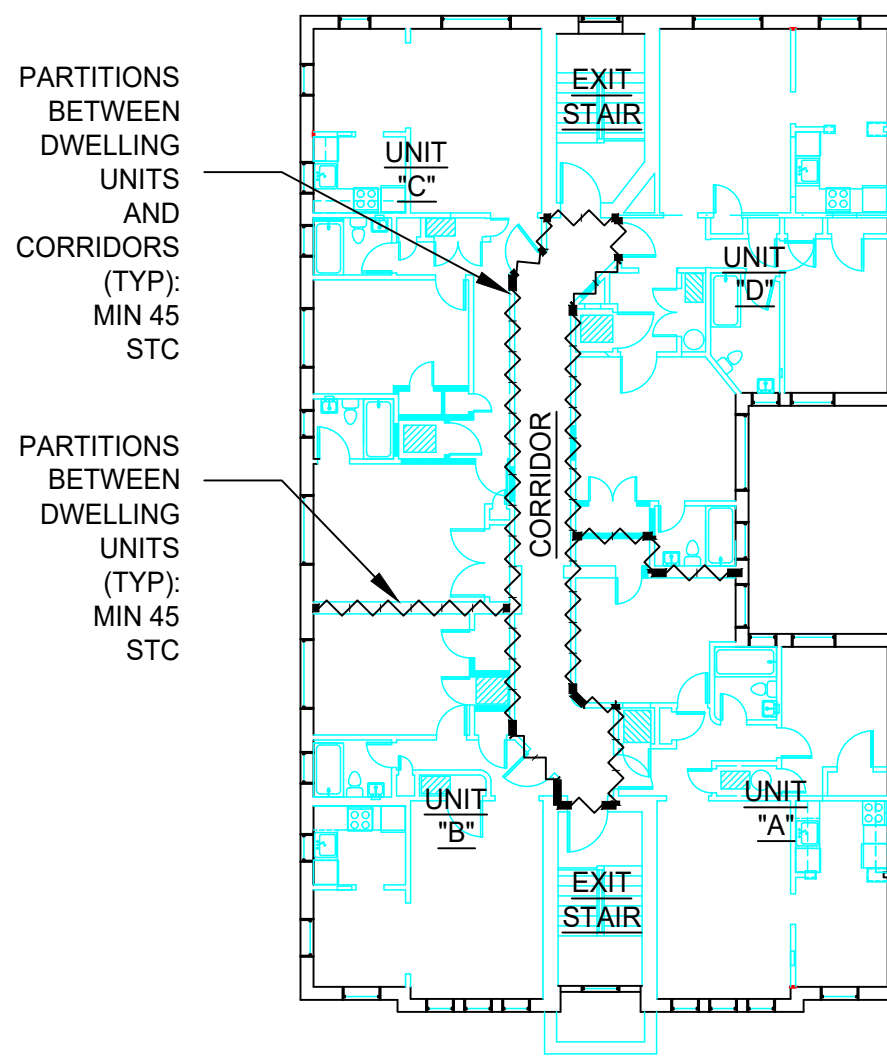
Room / Area	Finish
Foyers, Living Rooms, Dining Rooms, Closets outside of Bedrooms, Hallways	
Floors - Existing	Hardwood
Floors - New	Luxury Vinyl Tile, non-adhesive over existing wood and new OSB patch
Walls - Existing	Paint on plaster
Walls - New	Paint on new gypsum board
Ceilings - Existing	Paint on plaster
Ceilings - New	Paint on new gypsum board
Bedrooms, Bedroom Closets	
Floors - Existing	Hardwood
Floors - New	Carpet and underlayment over existing hardwood
Kitchens	
Floors - Existing	Hardwood
Floors - New	New sheet vinyl flooring over existing hardwood
Walls - Existing	Paint on plaster
Walls - New	Paint on new gypsum board
Walls - New back/sides of stoves	Ceramic wall tile thin-set on gypsum board
Ceilings - Existing	Paint on plaster
Ceilings, Soffits - New	Paint on new gypsum board
Bathrooms	
Floors - Existing	Mosaic ceramic tile on mortar base
Floors - New	New sheet vinyl flooring over existing hardwood Alternate #1: New ceramic floor tile Alternate #2: Restore existing fully intact ceramic floor tile
Walls - Existing, plaster areas	Paint on plaster
Walls - Existing, tile areas	Ceramic wall tile on mortar base
Walls - New, exposed wall areas	Paint on water-resistant wallboard
Walls - New at tub/showers	Composite tub/shower surround unit
Ceilings - Existing	Paint on plaster
Ceilings - New, general	Paint on water-resistant wallboard
Wall Base	
Wall Base - Existing	Various painted wood
Wall Base - New	New wood wall base, match existing, painted
Window Treatments	
Window Blinds (except bathrooms)	New aluminum horizontal blinds
Window Sills	
Window Sills - Existing	Painted wood
Window Sills - New	Solid surface material with finished edges Alternate #1: New hardwood matching existing, stained
Doors and Frames, Within Tenant Units	
Doors and Frames - Existing	Various finishes on wood doors (most missing) and frames
Doors and Frames - New	Paint on new replicated wood doors and frames
Miscellaneous Trim and Woodwork	
Divider Cabinets, Shelves - Existing	Various finishes on wood
Divider Cabinets, Shelves - New	Paint over existing stabilized surfaces
Picture Frame Wall Trim - Existing	Painted wood
Picture Frame Wall Trim - New	Paint over new wood trim matching existing

ENCLOSED EXIT
STAIRS (TYP):
2-HOUR RATING
WITH 90-MINUTE
DOORS



FIRE RATED SEPARATIONS KEY PLAN, TYP FOR 1ST, 2ND AND 3RD FLOORS

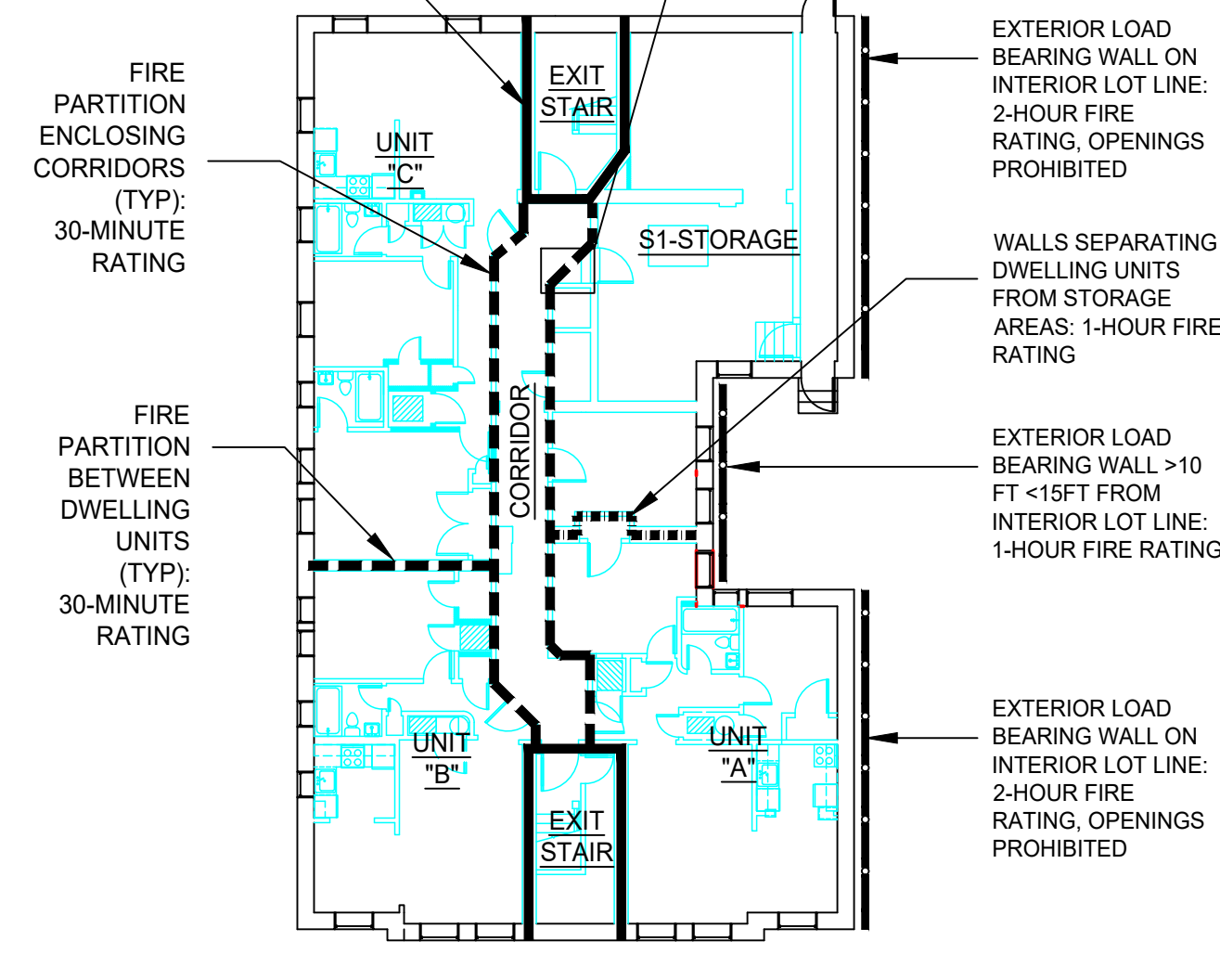
1/16" = 1'-0"
NOTE: VERTICAL SEPARATIONS SHOWN



STC* RATED SEPARATIONS KEY PLAN, TYP FOR 1ST, 2ND AND 3RD FLOORS

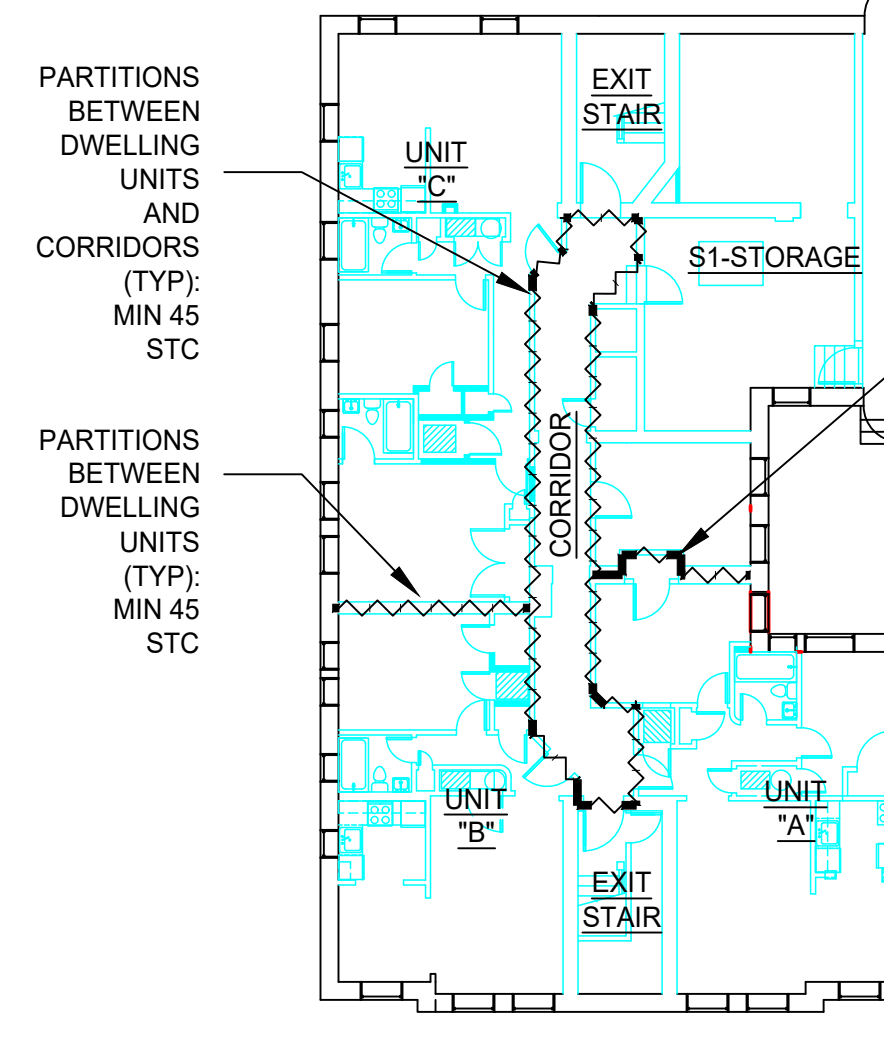
1/16" = 1'-0"
NOTES:
1. VERTICAL SEPARATIONS SHOWN
2. STC = SOUND TRANSMISSION COEFFICIENT
3. WORK CANNOT REDUCE EXISTING STC RATINGS BELOW CODE REQUIREMENT FOR NEW.

ENCLOSED EXIT
STAIRS (TYP):
2-HOUR RATING
WITH 90-MINUTE
DOORS



FIRE RATED SEPARATIONS KEY PLAN, BASEMENT

1/16" = 1'-0"
NOTE: VERTICAL SEPARATIONS SHOWN



STC* RATED SEPARATIONS KEY PLAN, BASEMENT

1/16" = 1'-0"
NOTES:
1. VERTICAL SEPARATIONS SHOWN
2. STC = SOUND TRANSMISSION COEFFICIENT
3. WORK CANNOT REDUCE EXISTING STC RATINGS BELOW CODE REQUIREMENT FOR NEW.

PLAN AND DIAGRAM SYMBOLS

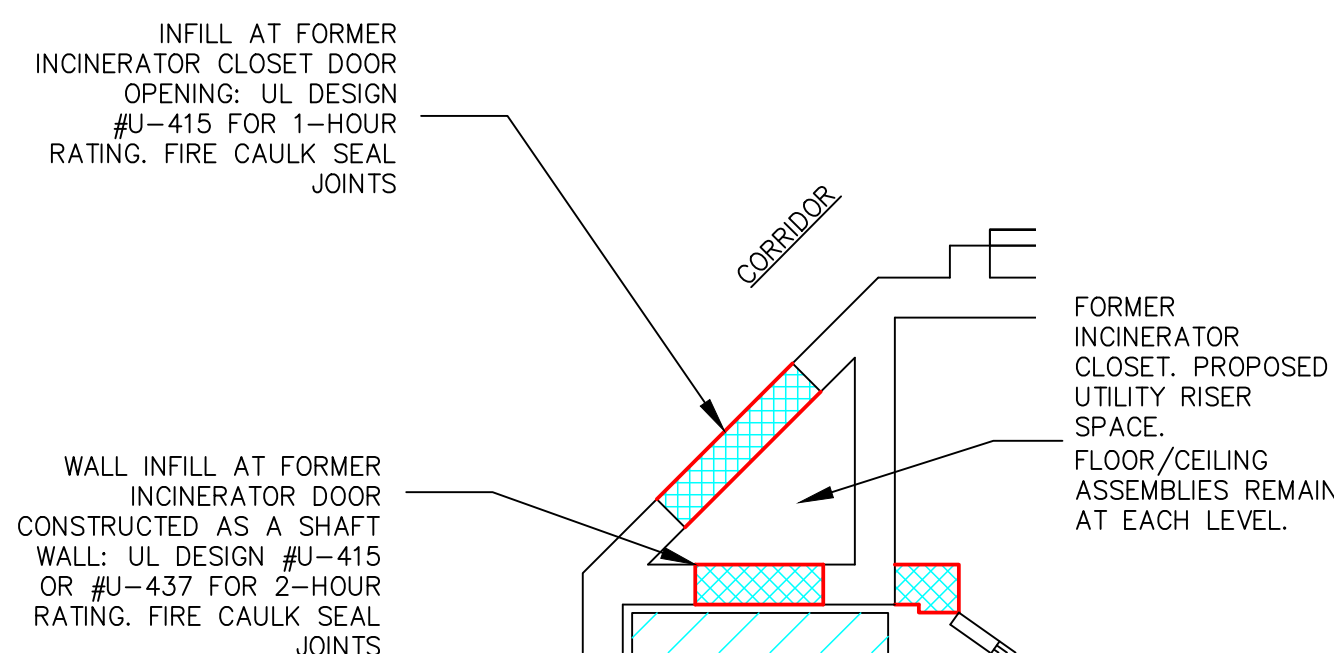
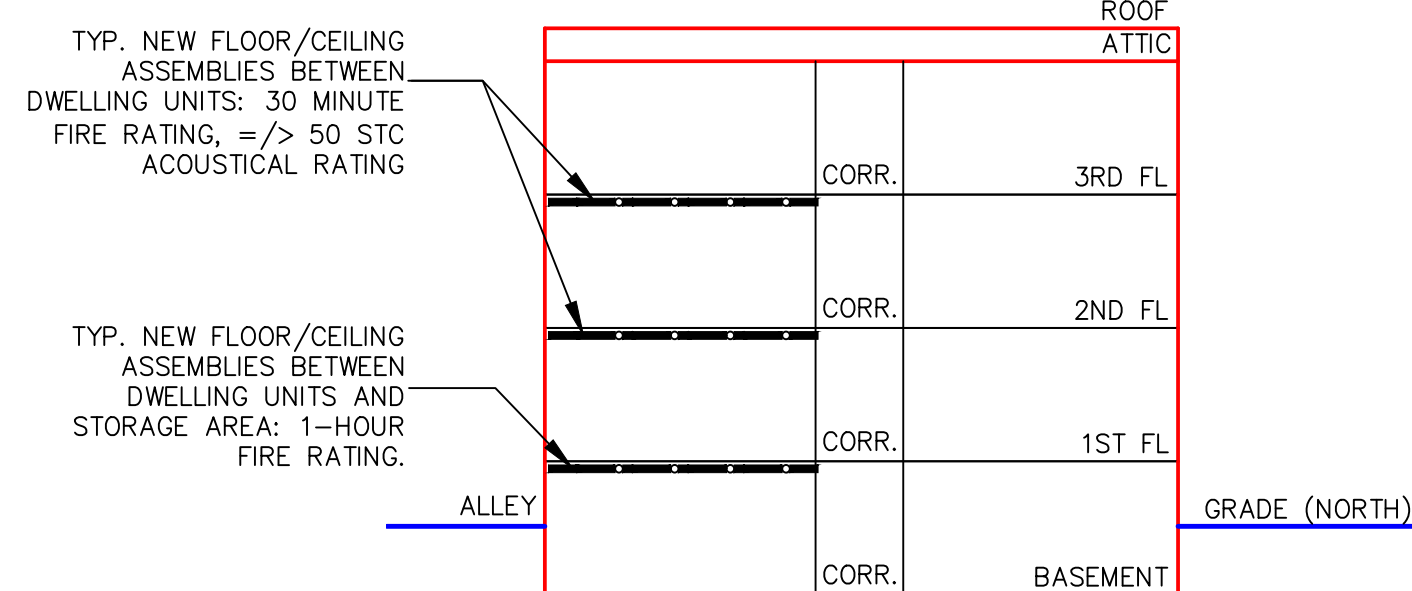
- 30-MINUTE RATED FIRE PARTITION
- 1-HOUR RATED FIRE PARTITION
- 2-HOUR RATED FIRE BARRIER
- FLOOR/CEILING ASSEMBLY WITH FIRE RATING AND STC RATINGS AS NOTED
- STC RATED PARTITION

REVISIONS THIS SHEET

- 1. REVISED FINISH SCHEDULES

HORIZONTAL RATED SEPARATIONS KEY DIAGRAM

1/16" = 1'-0"

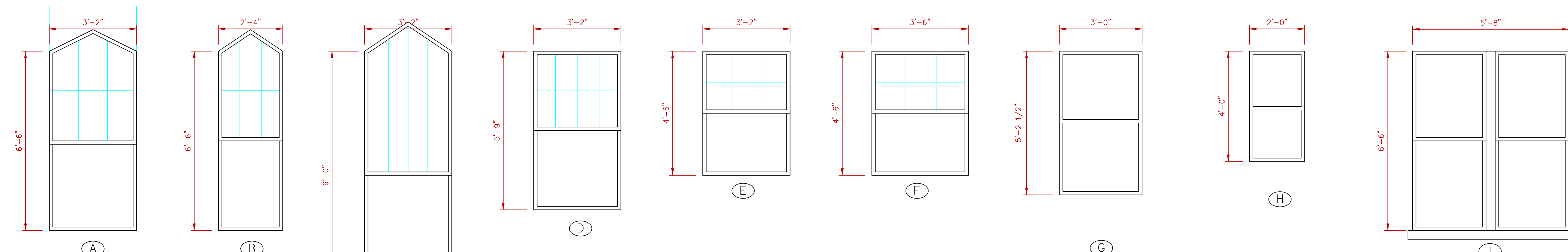


ENLARGED PLAN AT WEST VENTILATION AND PIPING RISER SPACE

1/16" = 1'-0"

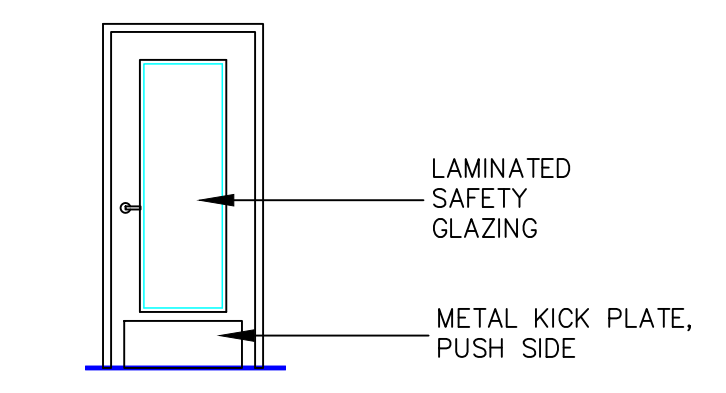
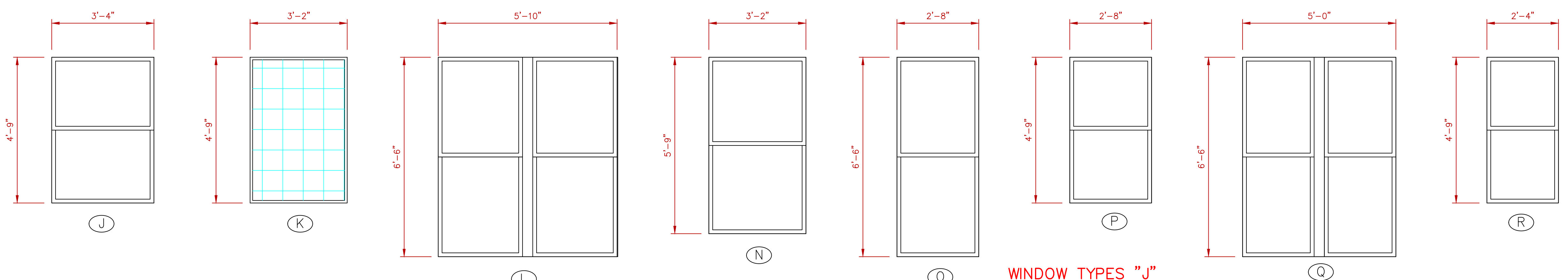
ISSUE DATES:

- HISTORIC REVIEW
JUL-26-2017
- ADDENDUM #1
MAR-28-2018
- ADDENDUM #2
OCT-1-2018
- ADDENDUM #3
JAN-10-2019
- BULLETIN #2
FEB-26-2019



WINDOW TYPES "A" THROUGH "I"
1/2" = 1'-0"

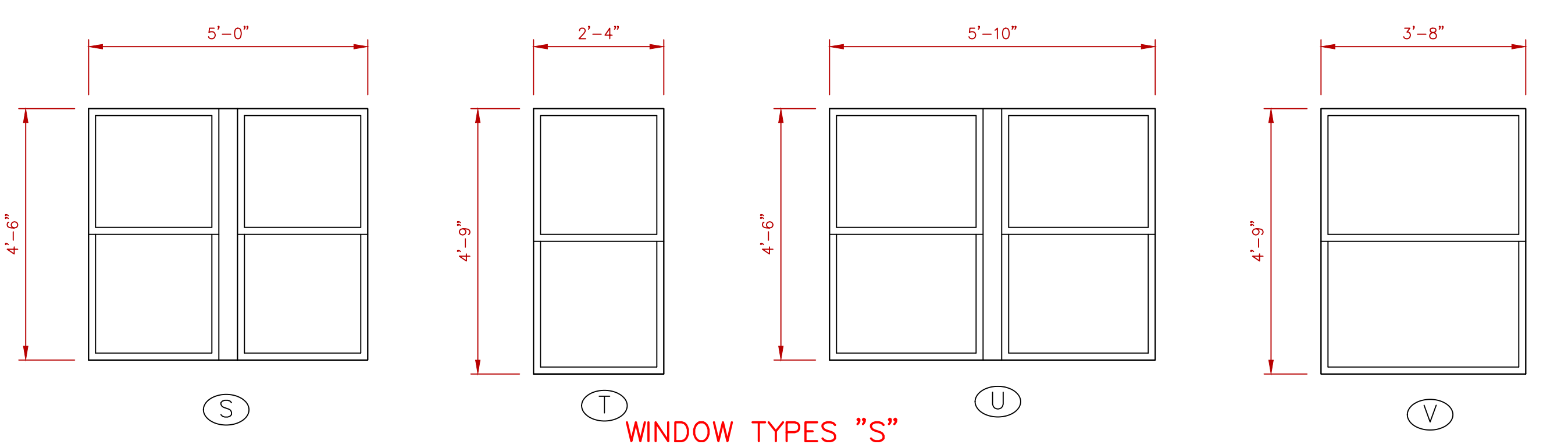
WINDOW TRIM GENERAL NOTE:
1. REPLACE EXISTING TRIM AROUND WINDOWS AND SILLS WITH NEW TRIM AND SILLS MATCHING EXISTING SHAPE, PROFILE AND SIZE. FINISH PER FINISH SCHEDULE.



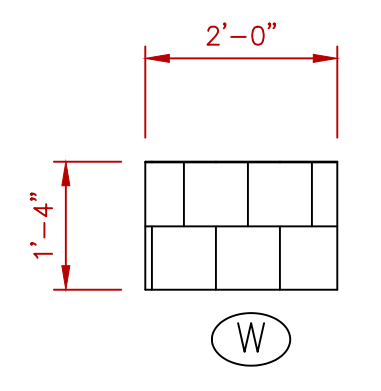
VESTIBULE INNER DOOR
1/4" = 1'-0"

1. HARDWARE: ELECTRONIC ENTRANCE LATCH/LOCK, CLOSER.
2. SOLID CORE WOOD CONSTRUCTION, MATCH EXISTING DOOR STYLE AND DIMENSIONS.

WINDOW TYPES "J" THROUGH "R"
1/2" = 1'-0"

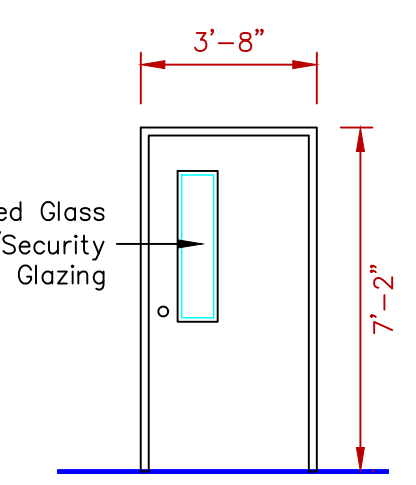


WINDOW TYPES "S" THROUGH "V"
1/2" = 1'-0"

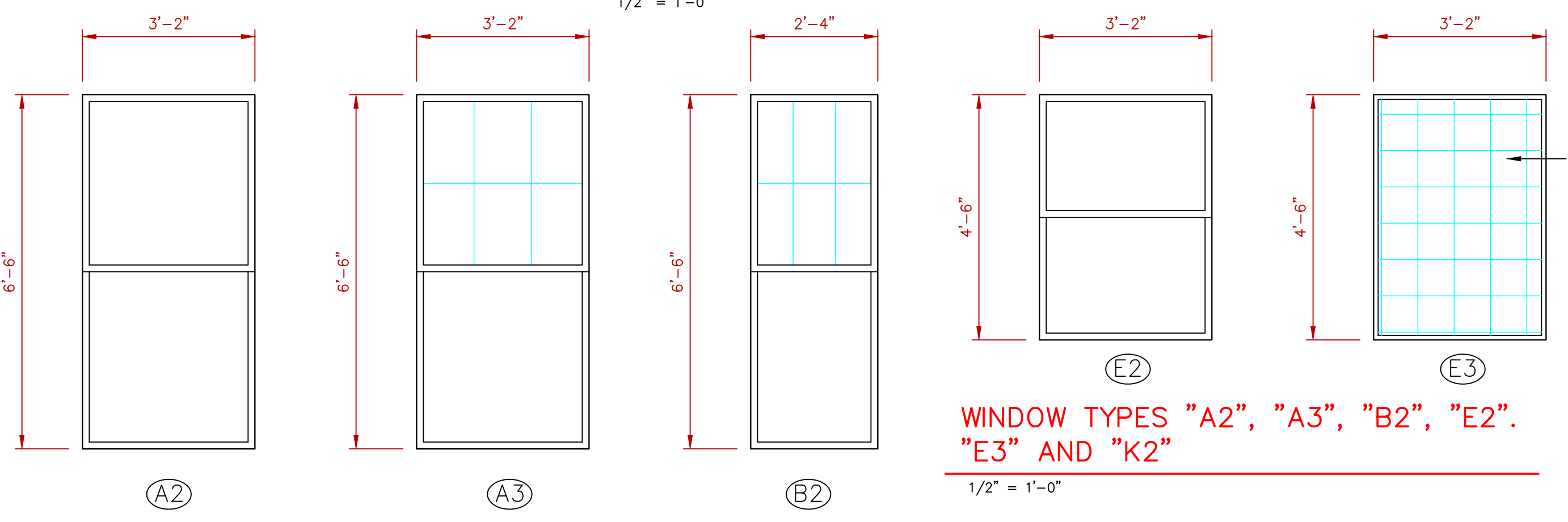


WINDOW TYPE "W"
1'-4" = 1'-0"

EXTERIOR DOOR TYPE 'A'
1/4" = 1'-0"



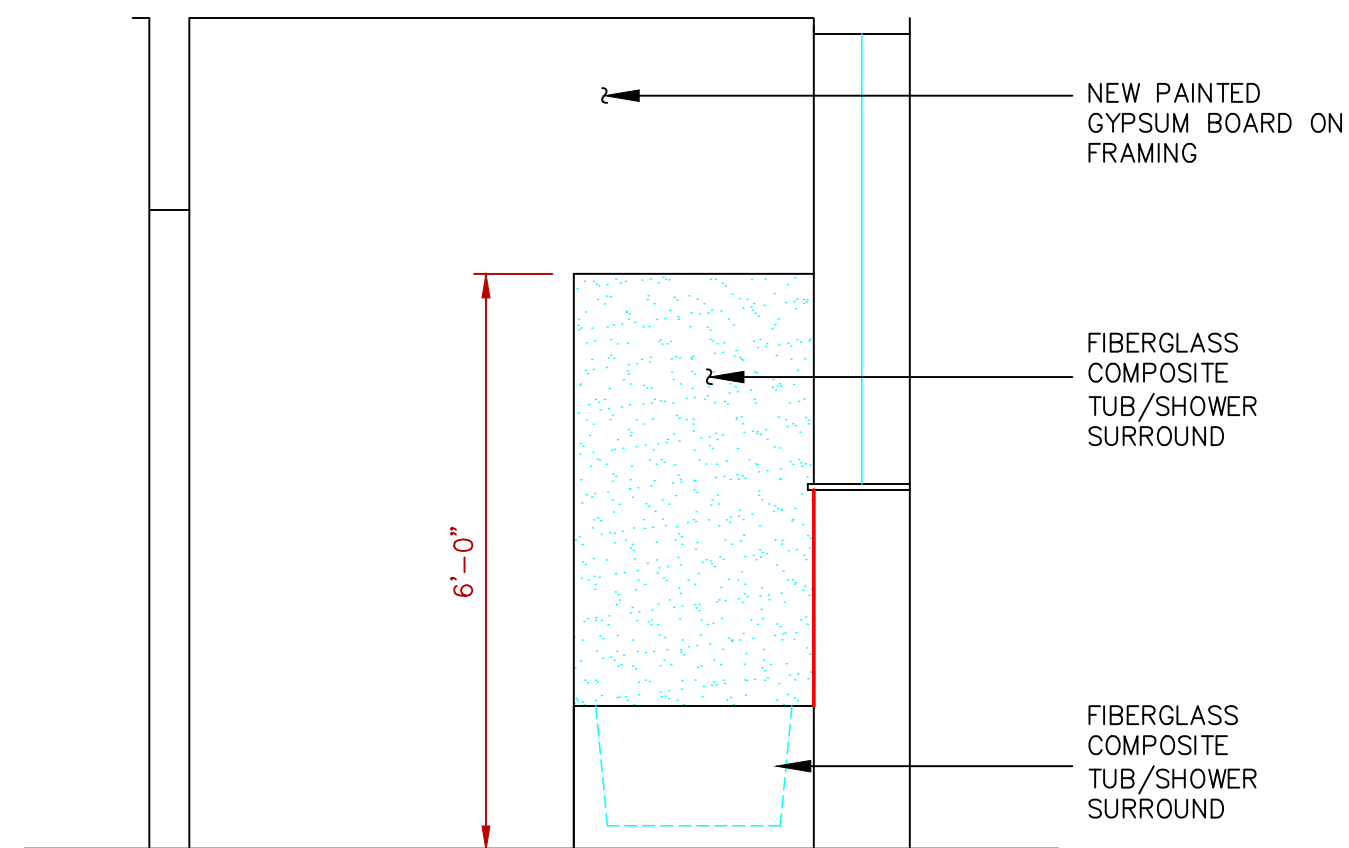
EXTERIOR DOOR TYPE 'B'
1/4" = 1'-0"



WINDOW TYPES "A2", "A3", "B2", "E2", "E3" AND "K2"
1/2" = 1'-0"

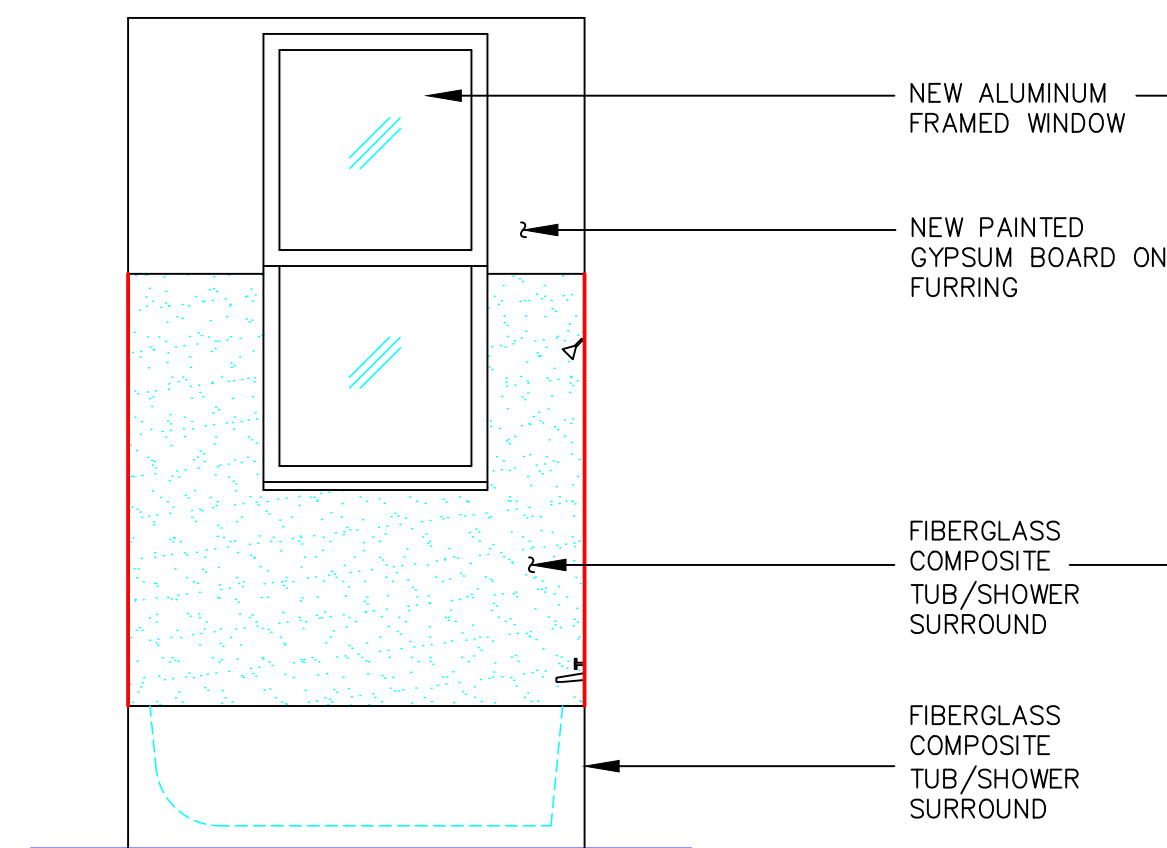
WINDOW TYPE	ELEVATION				EAST (Courtyard)	WEST (Courtyard)	QUANTITIES
	EAST	SOUTH	WEST	NORTH			
A	2						2
A2			6				6
A3	4	3					7
B	6						6
B2	12						12
C	n/a						0
D	1						1
E	2						2
E2		1	3		1		5
E3				1			1
F	4						4
G				3	3	3	9
H				3			3
I				3			3
J				1			1
K				1			1
L		6	6				12
M							0
N			2				2
O		3					3
P		13					13
Q		3					3
R		3					3
S		1					1
T		5			3	4	12
U		2					2
V					1		1
W			1				1
TOTAL	31	40	18	12	8	7	116

WINDOW SCHEDULE NOTES
1. Field verify window opening sizes and conditions.
2. All new operable windows shall be constructed with insulated glazing with a maximum unit U value of 0.33.
3. Obscured glazing at all toilet rooms and bathrooms.



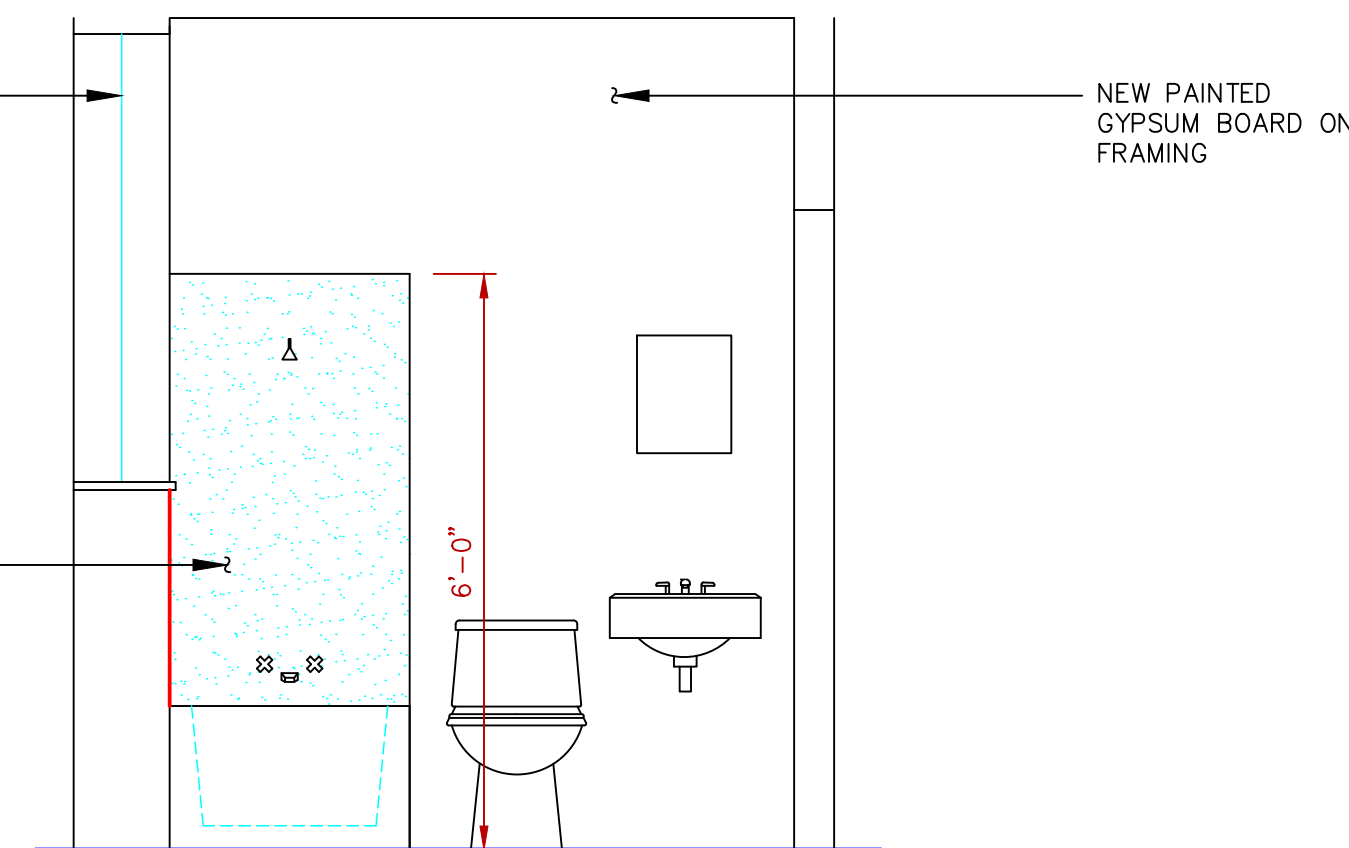
25
1/2" = 1'-0"

**TYPICAL PROPOSED BATHROOM
INTERIOR ELEVATION, TUB FOOT WALL**



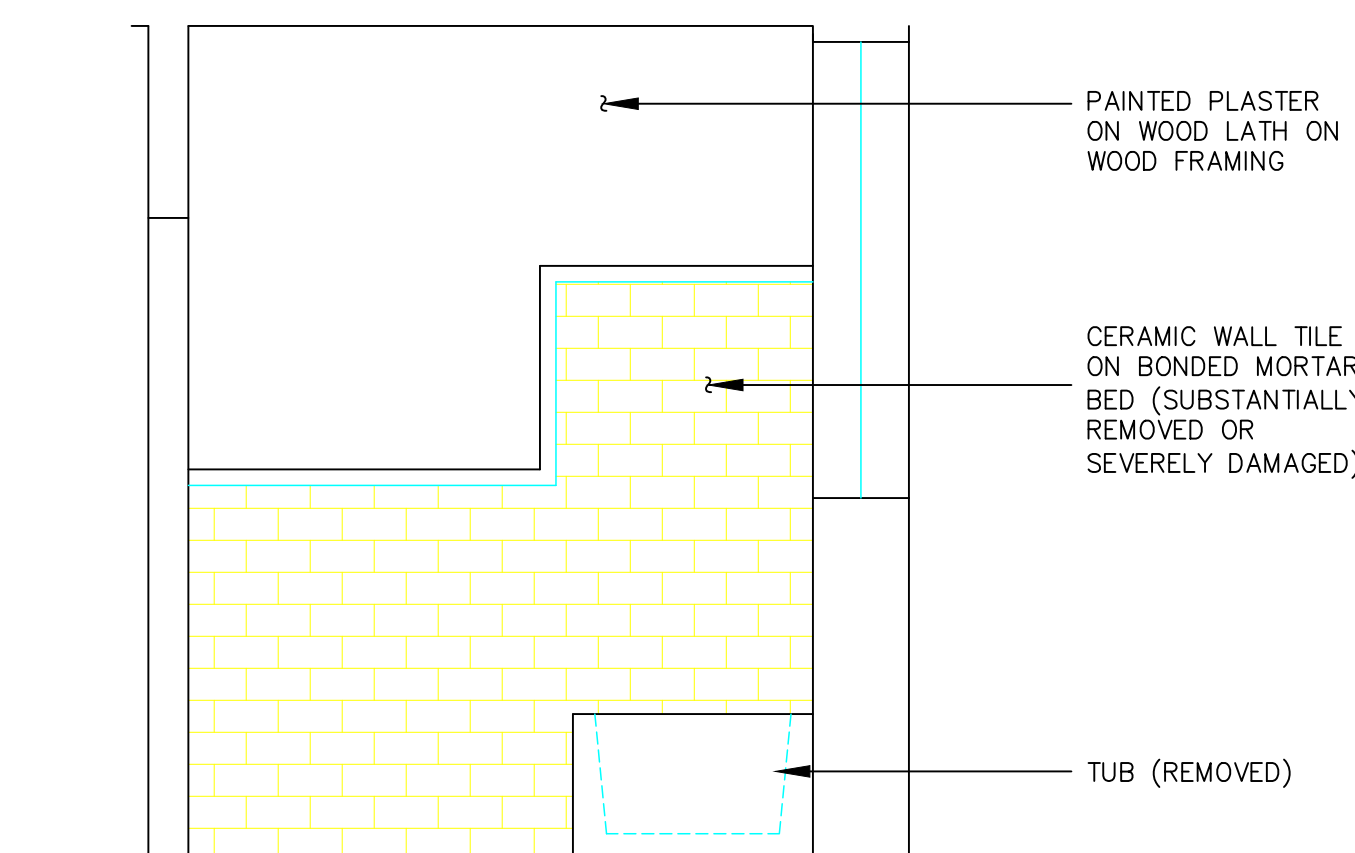
27
1/2" = 1'-0"

**TYPICAL PROPOSED BATHROOM
INTERIOR ELEVATION, TUB WALL**



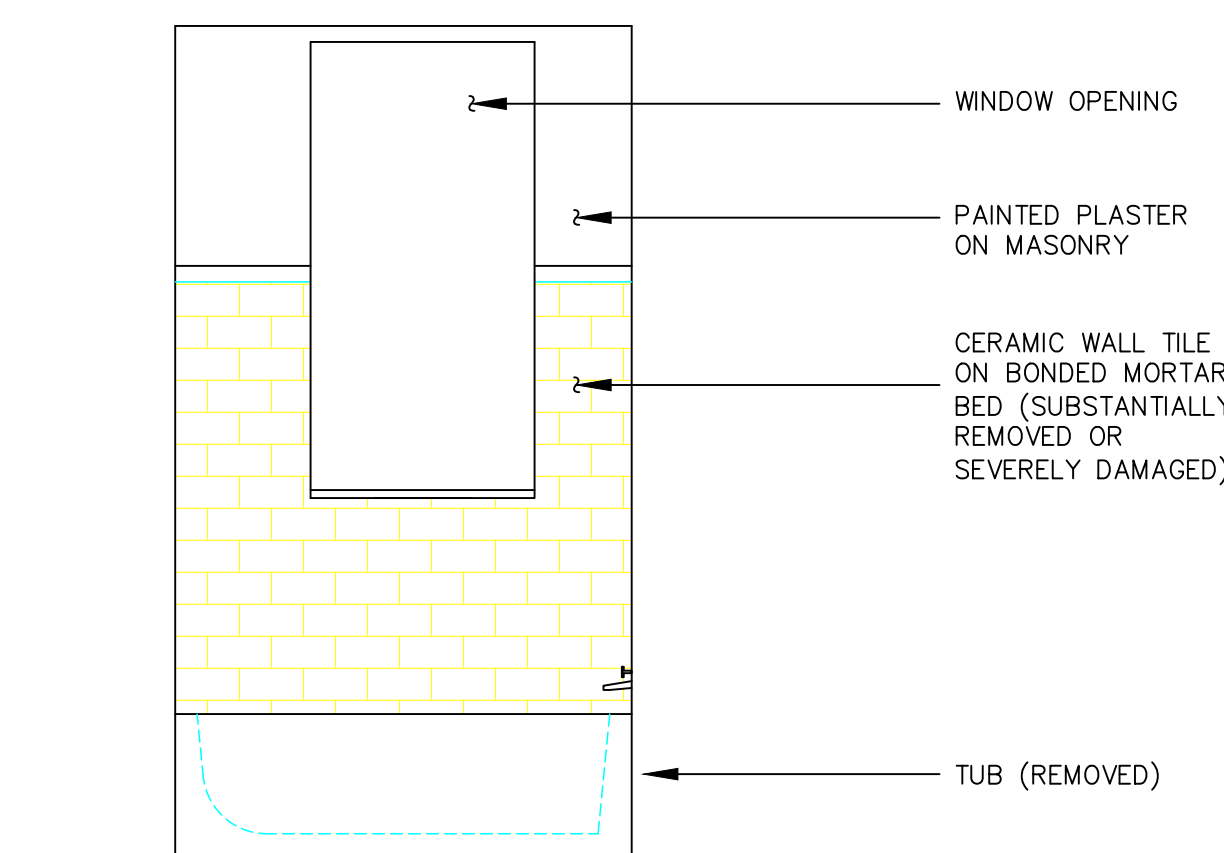
29
1/2" = 1'-0"

**TYPICAL PROPOSED BATHROOM INTERIOR
ELEVATION, TOILET/SINK WALL**



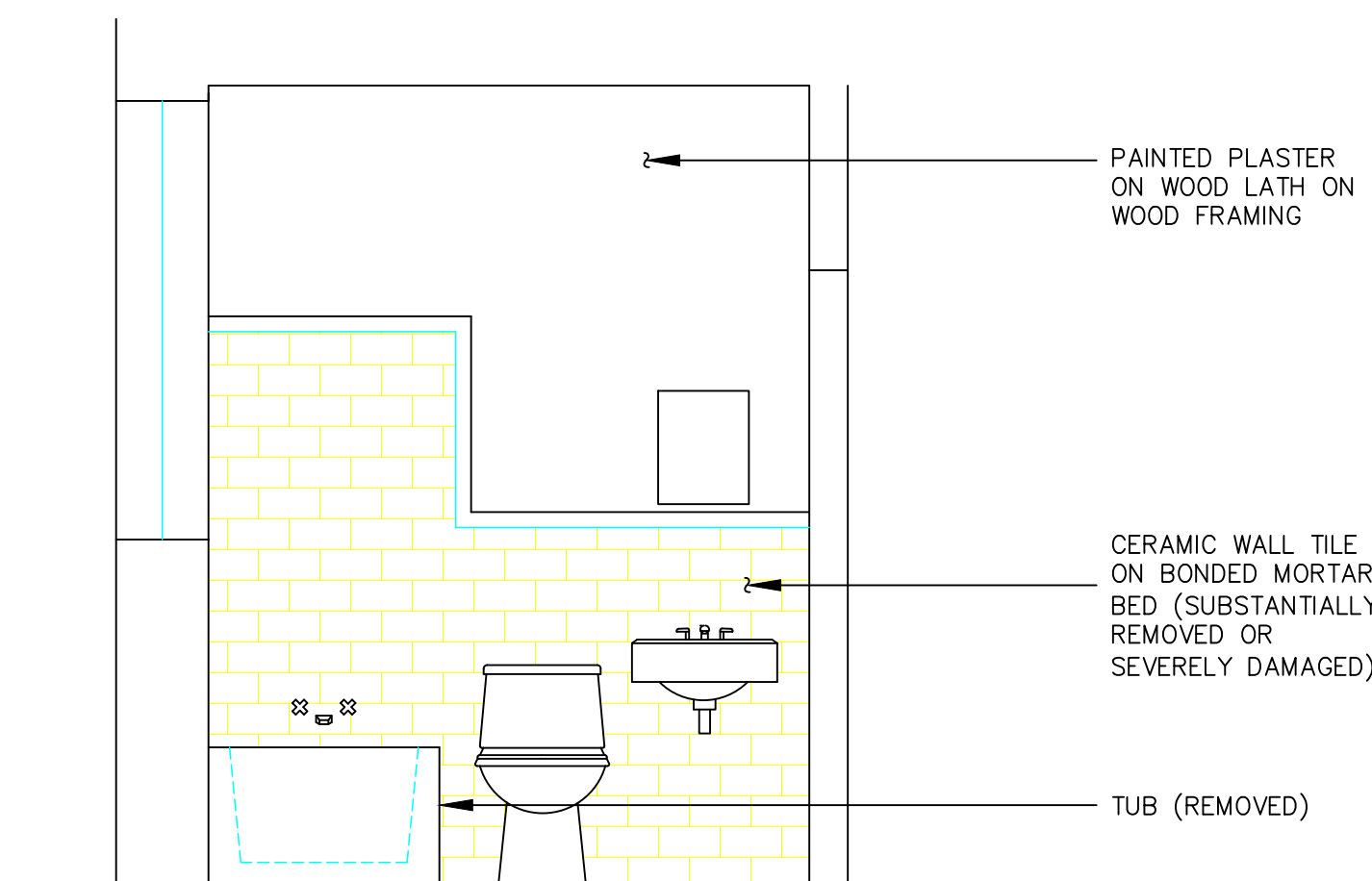
24
1/2" = 1'-0"

**TYPICAL EXISTING BATHROOM
INTERIOR ELEVATION, TUB FOOT WALL**



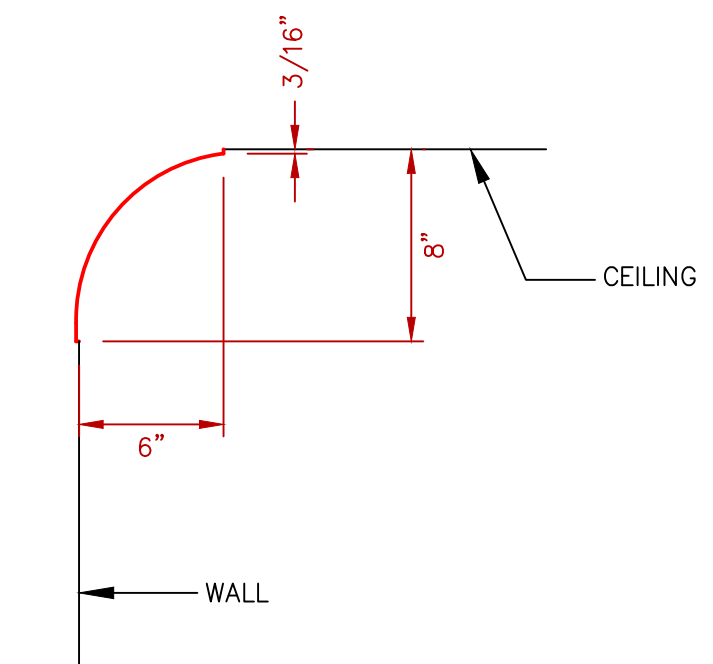
26
1/2" = 1'-0"

**TYPICAL EXISTING BATHROOM
INTERIOR ELEVATION, TUB WALL**



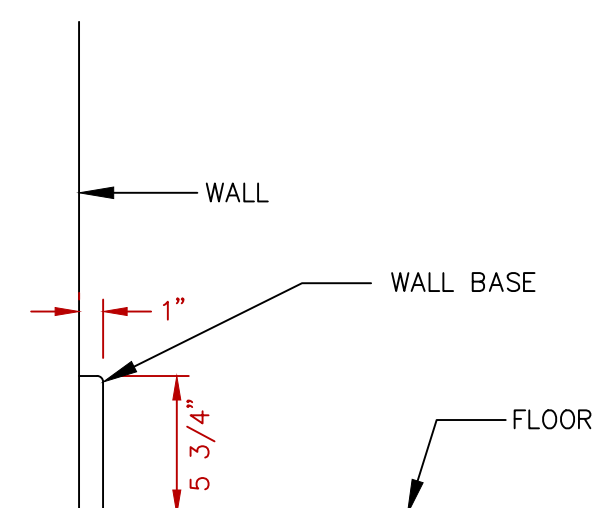
28
1/2" = 1'-0"

**TYPICAL EXISTING BATHROOM
INTERIOR ELEVATION, TOILET WALL**



31
1" = 1'-0"

**SIDE VIEW OF TYPICAL COVE AT
WALL/CEILING INTERSECTION**

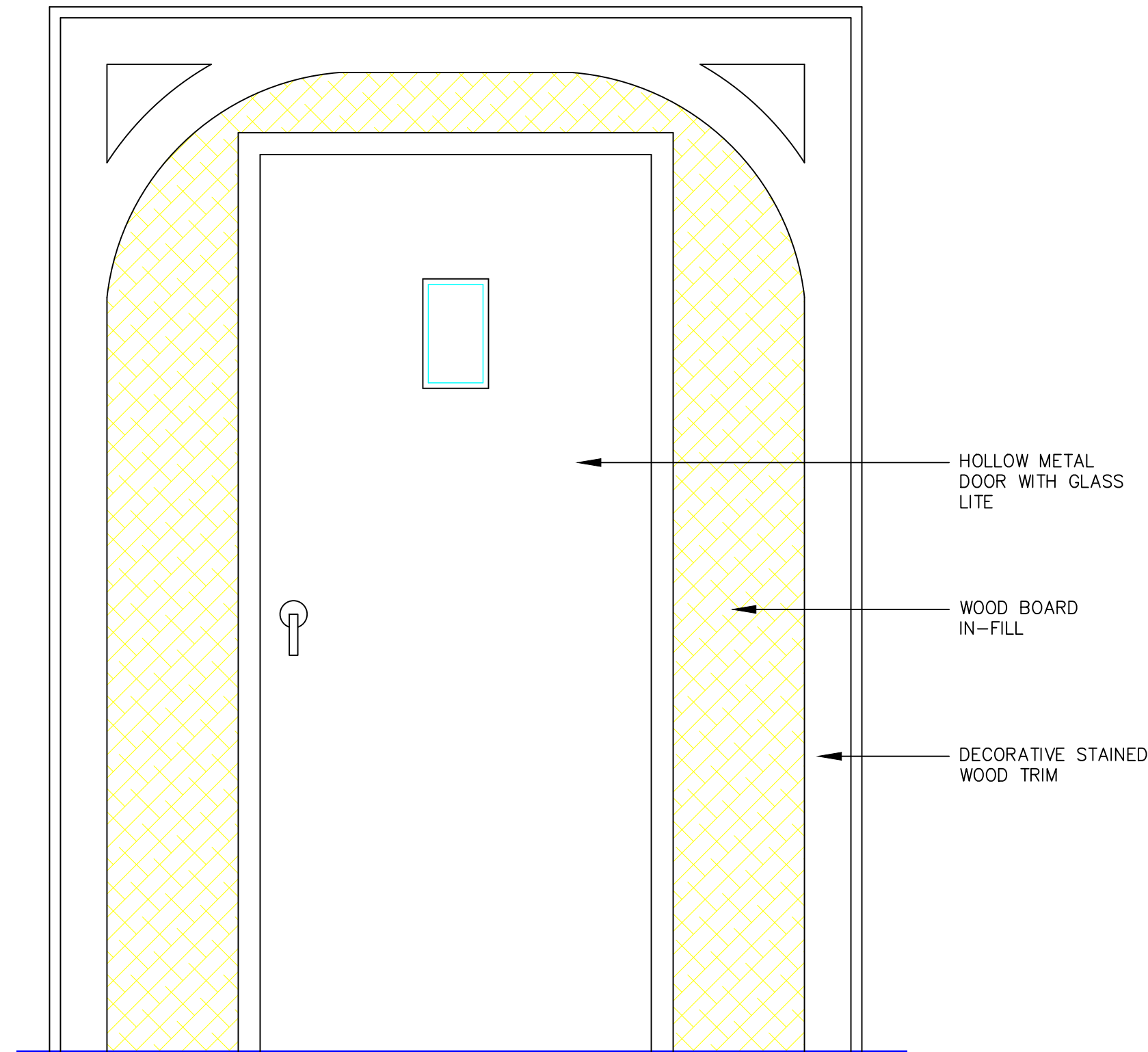


30
1" = 1'-0"

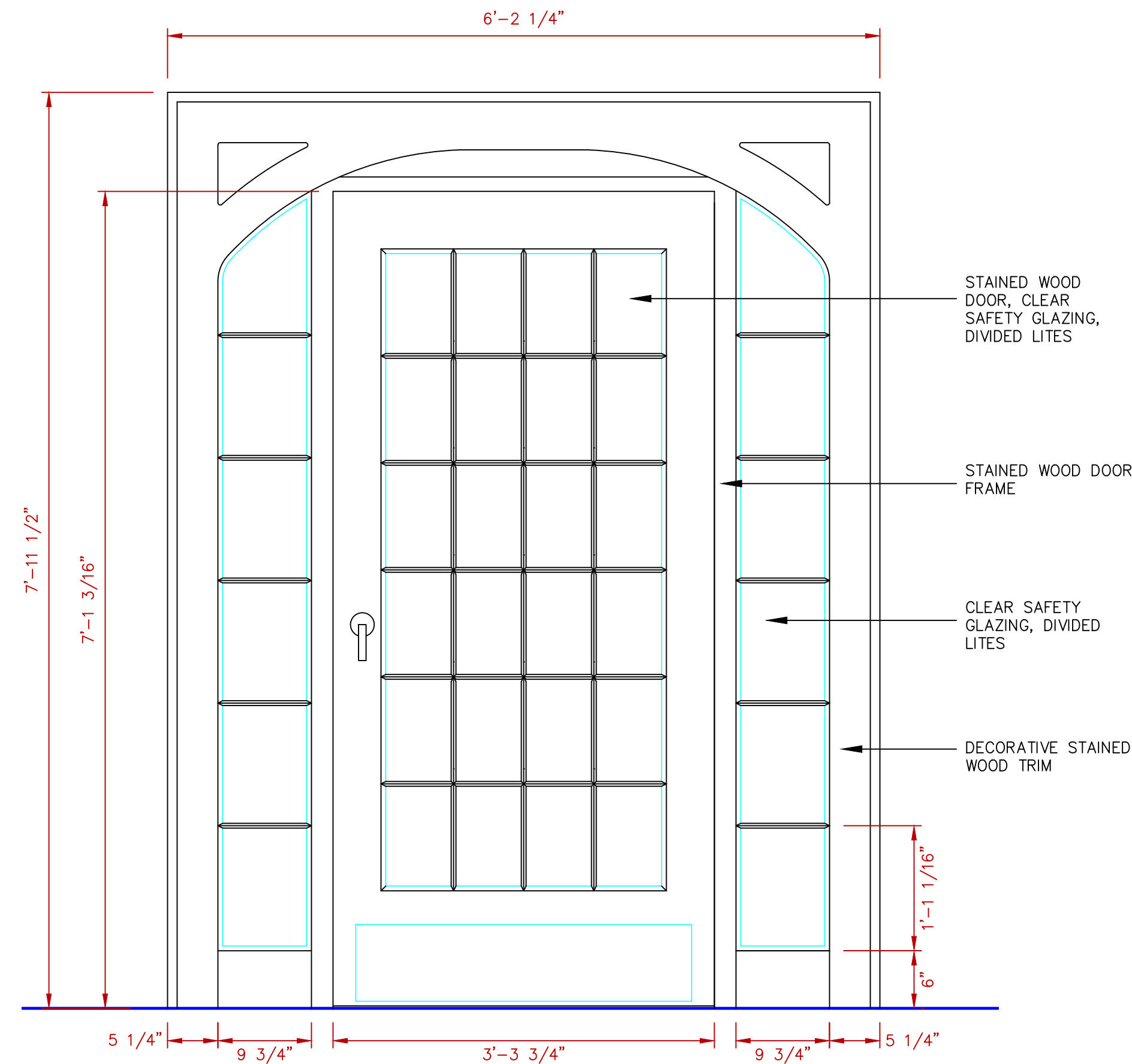
**SIDE VIEW OF TYPICAL WALL
BASE**

REVISIONS THIS SHEET

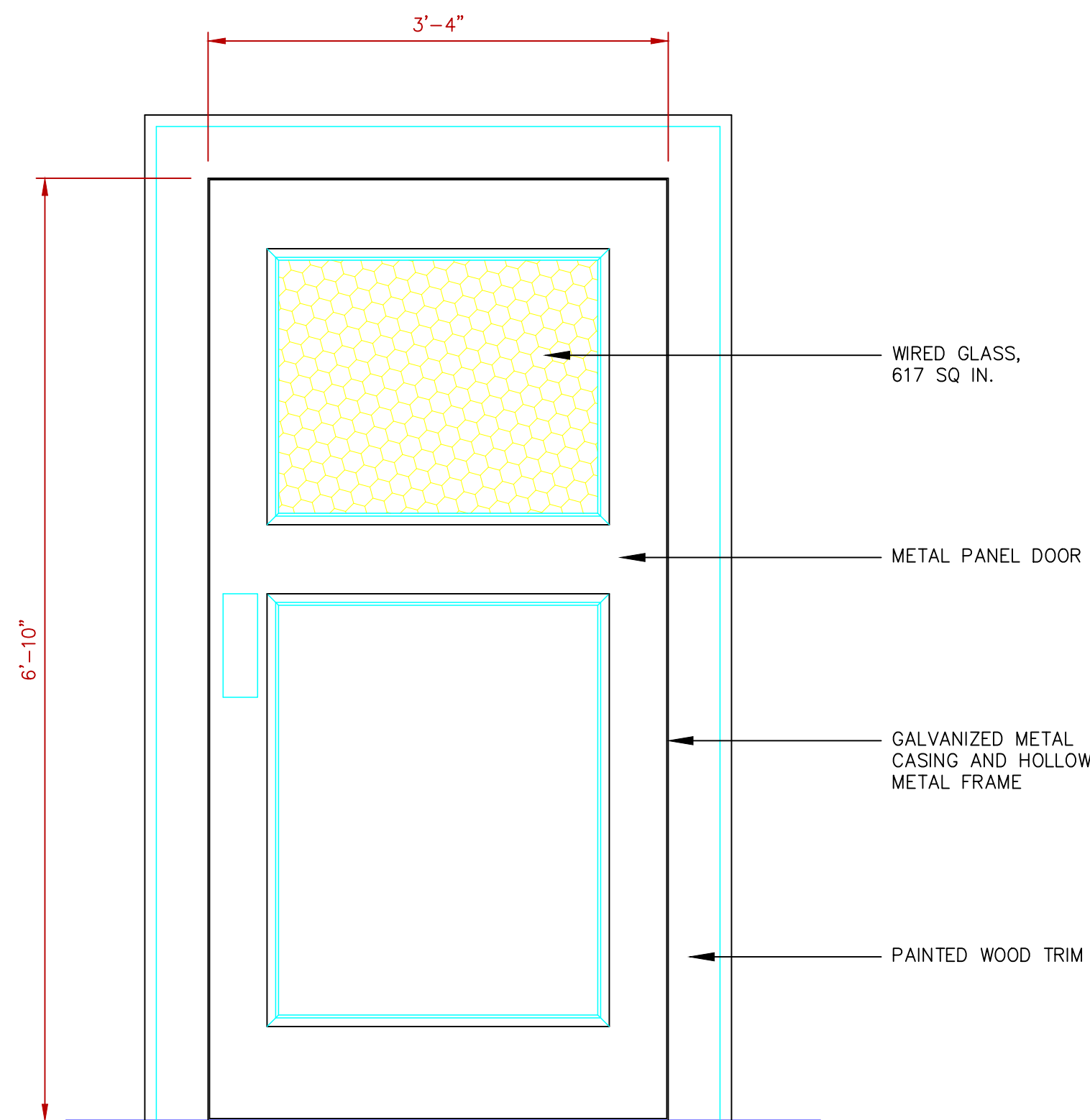
- 1 ADDED TYPICAL BATHROOM INTERIOR ELEVATIONS
- 2 ADDED DETAILS OF COVED CROWN MOULDING AND WALL BASE



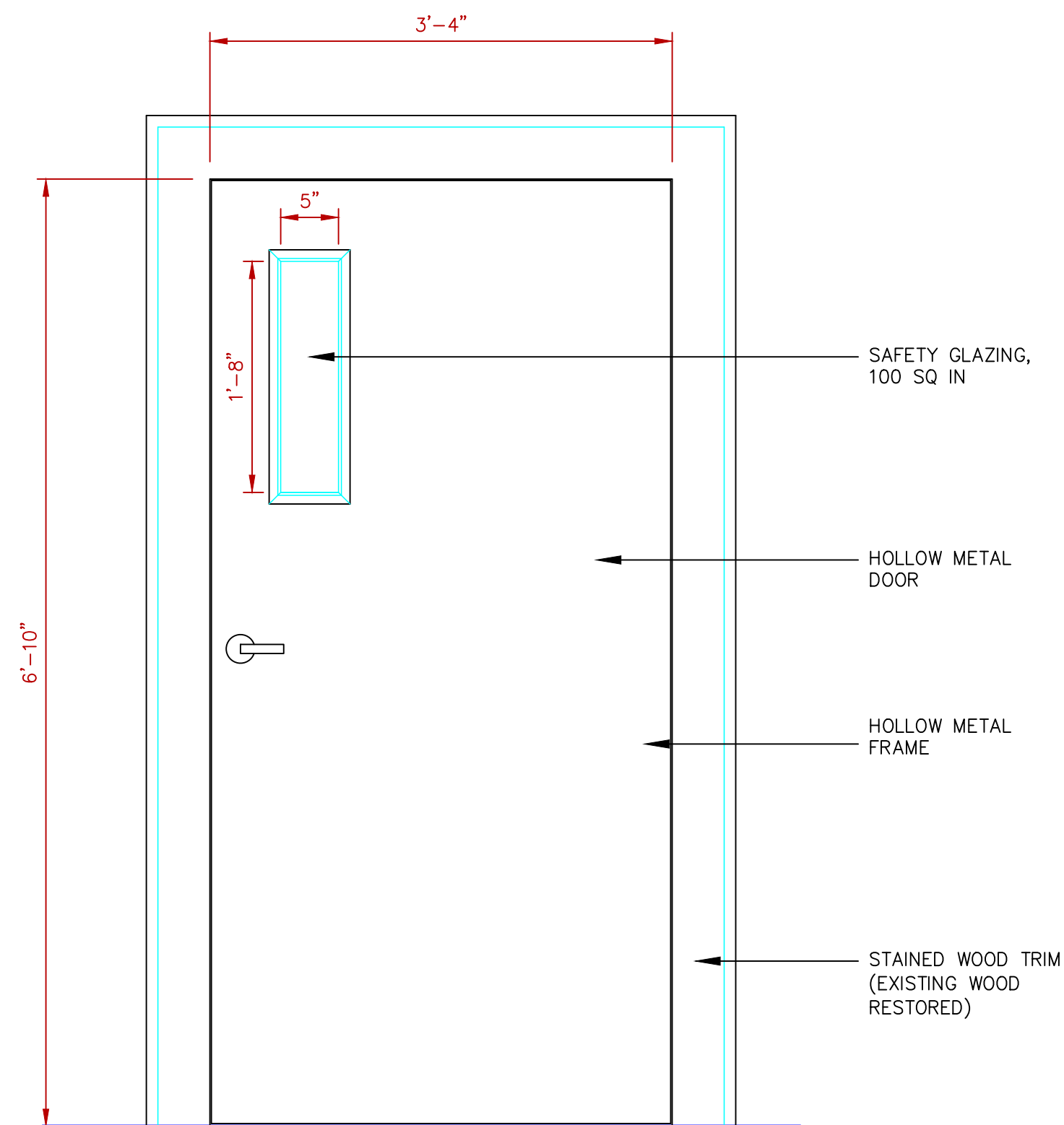
BUILDING MAIN ENTRANCE DOOR, EXISTING
1" = 1'-0"
VIEW FROM INTERIOR



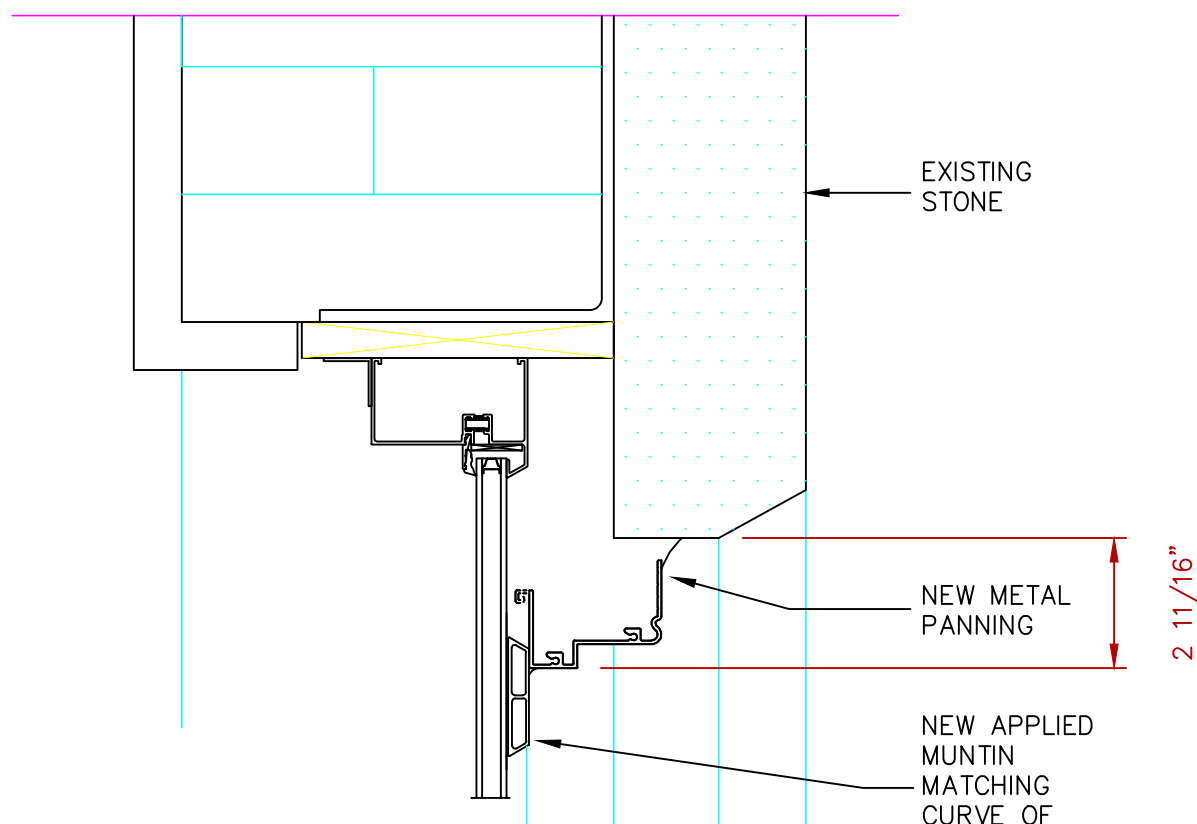
BUILDING MAIN ENTRANCE DOOR, PROPOSED
1" = 1'-0"
VIEW FROM INTERIOR



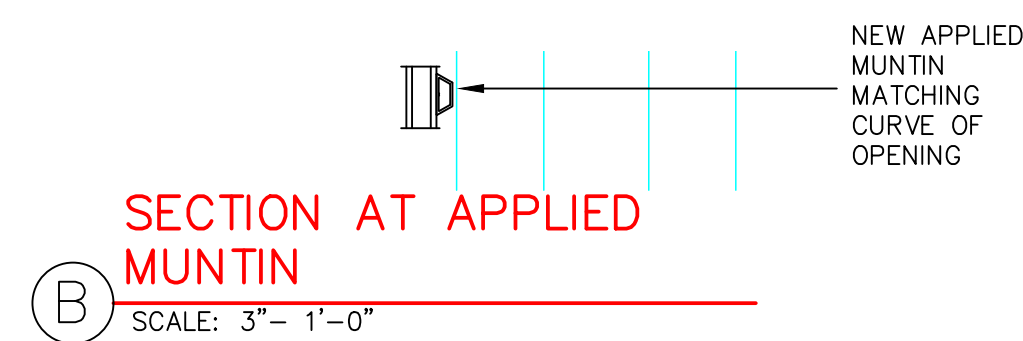
EXIT STAIR DOOR, EXISTING
1" = 1'-0"
VIEW FROM CORRIDOR



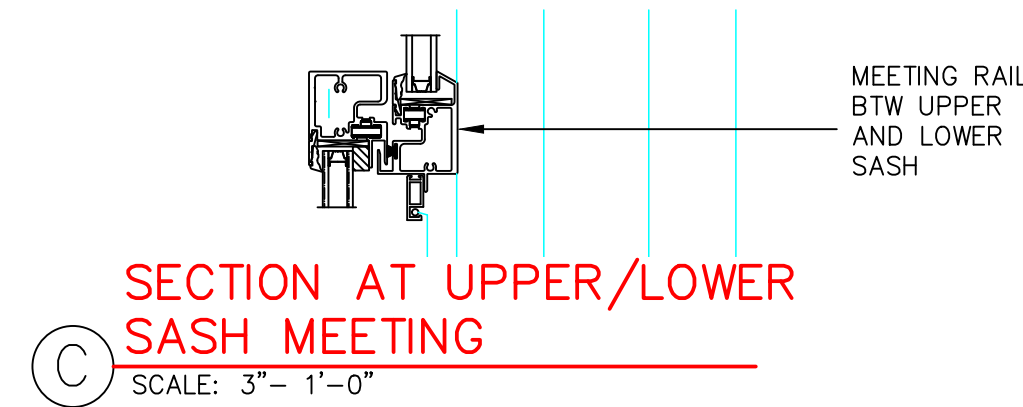
EXIT STAIR DOOR, PROPOSED
1" = 1'-0"
VIEW FROM CORRIDOR



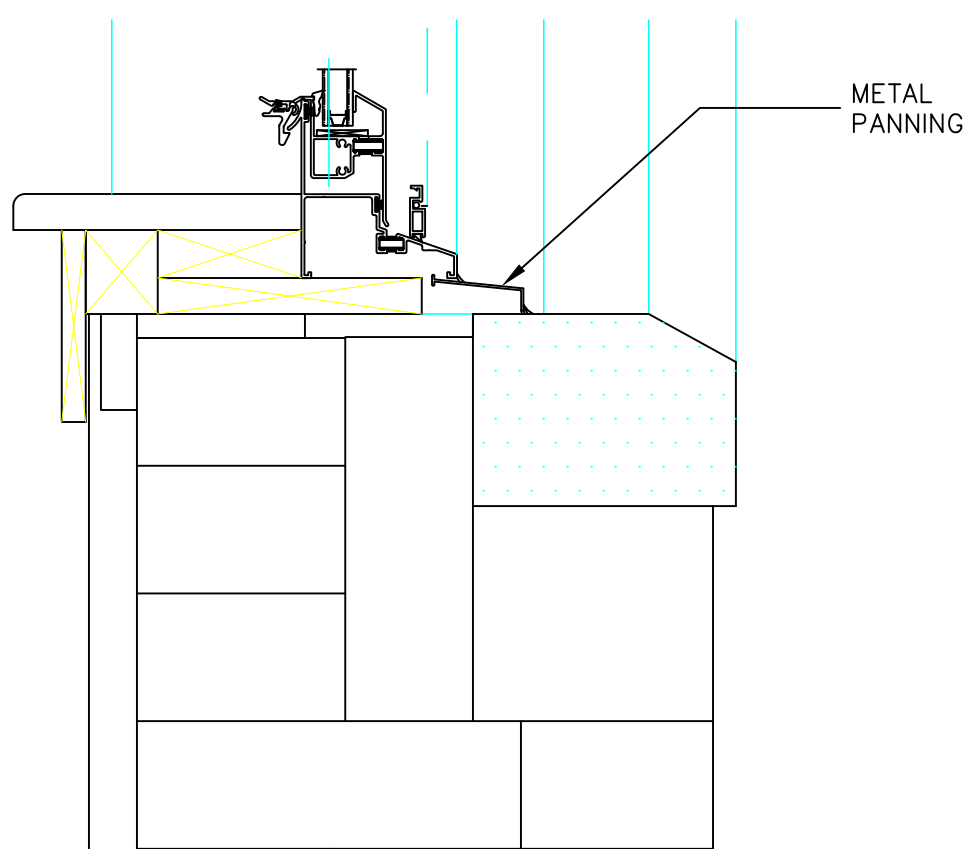
A SECTION THROUGH HEAD
SCALE: 3" = 1'-0"



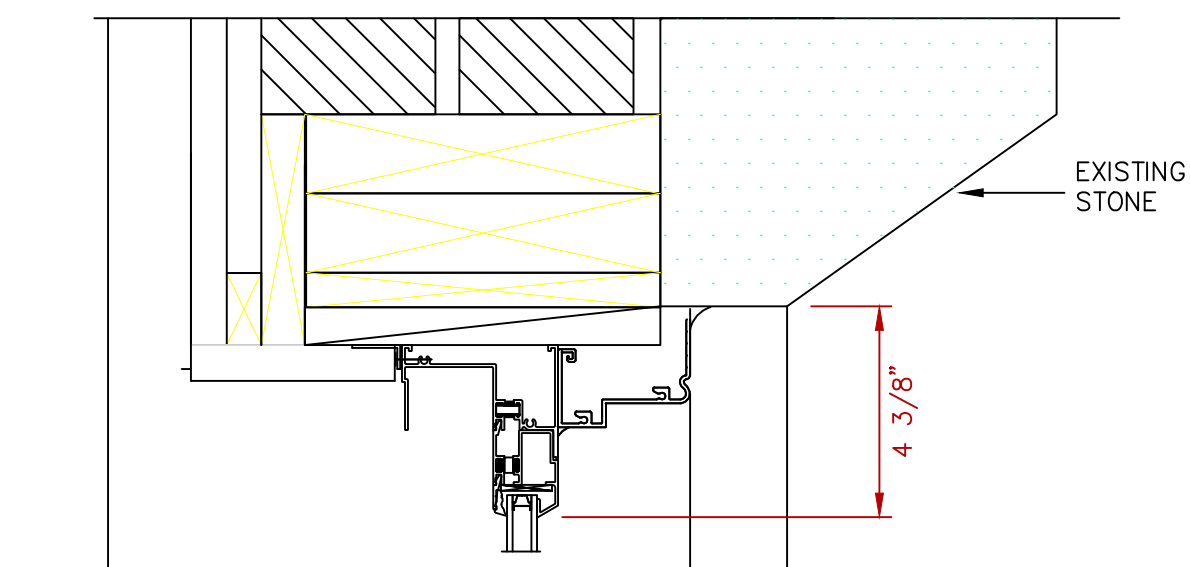
B SECTION AT APPLIED MUNTIN
SCALE: 3" = 1'-0"



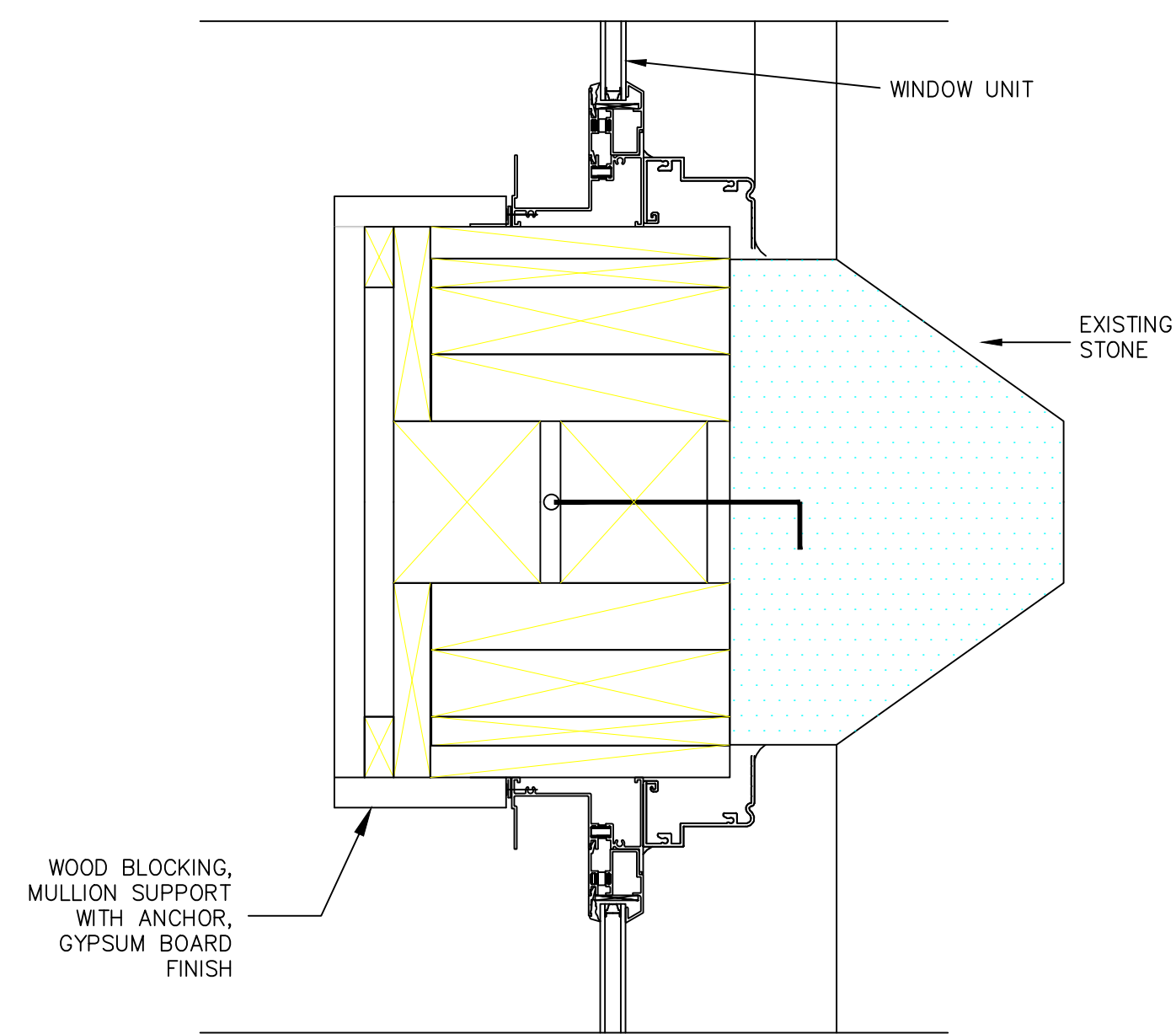
C SECTION AT UPPER/LOWER SASH MEETING
SCALE: 3" = 1'-0"



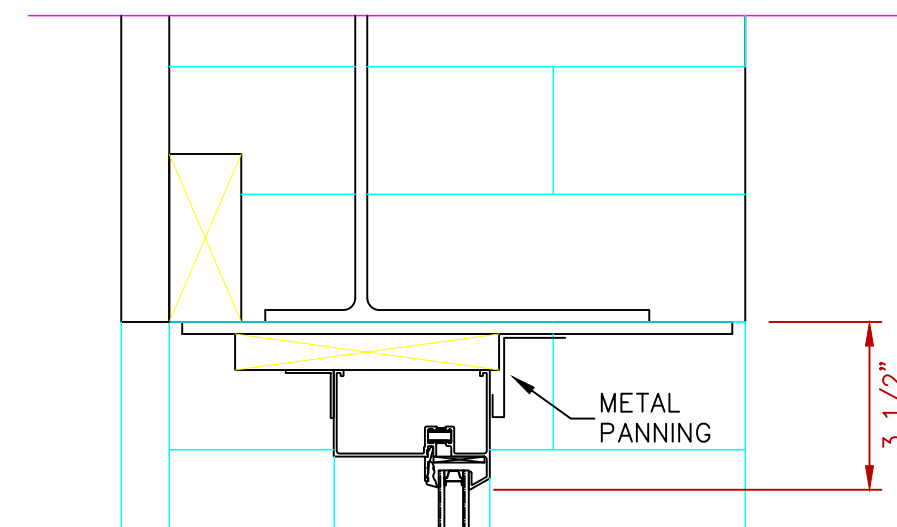
D SECTION AT SILL
SCALE: 3" = 1'-0"



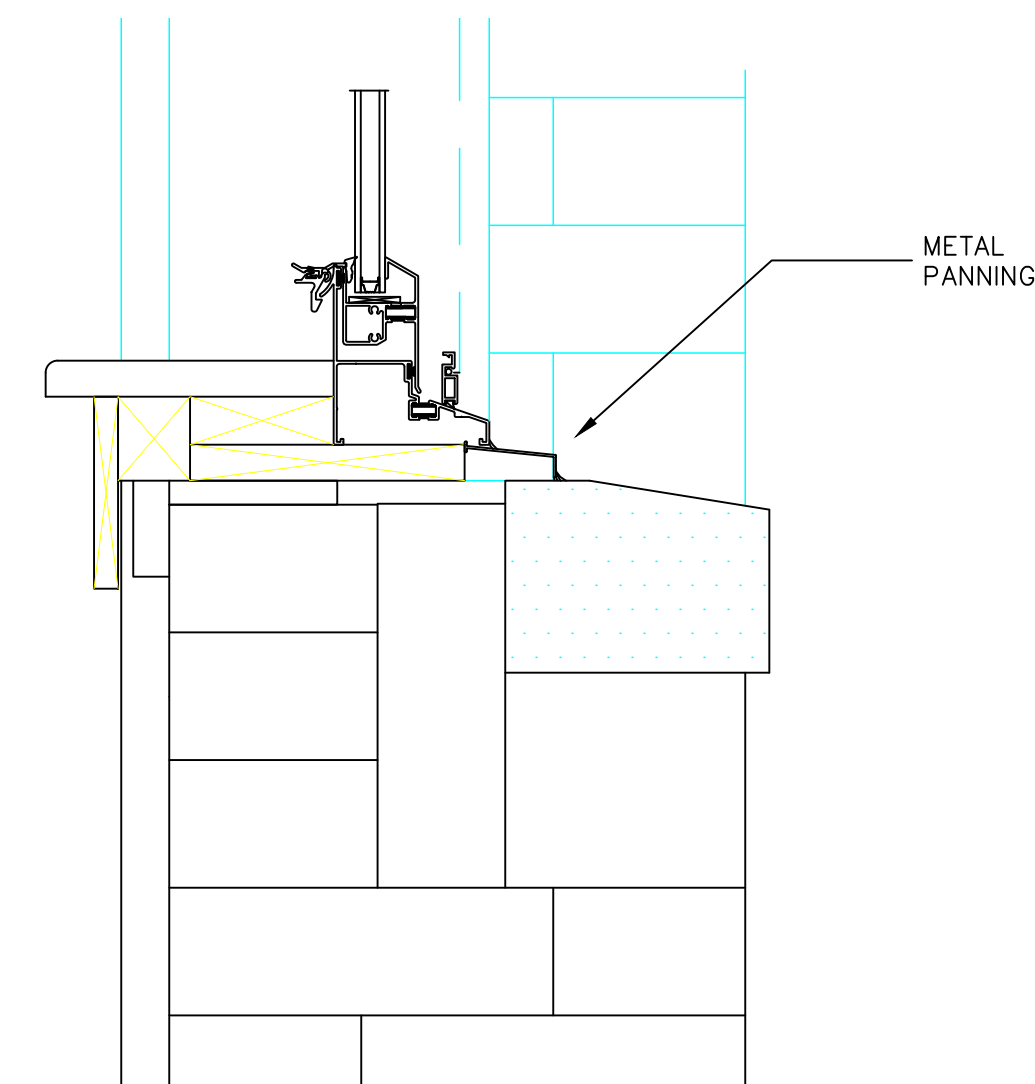
E SECTION THROUGH JAMB
SCALE: 3" = 1'-0"



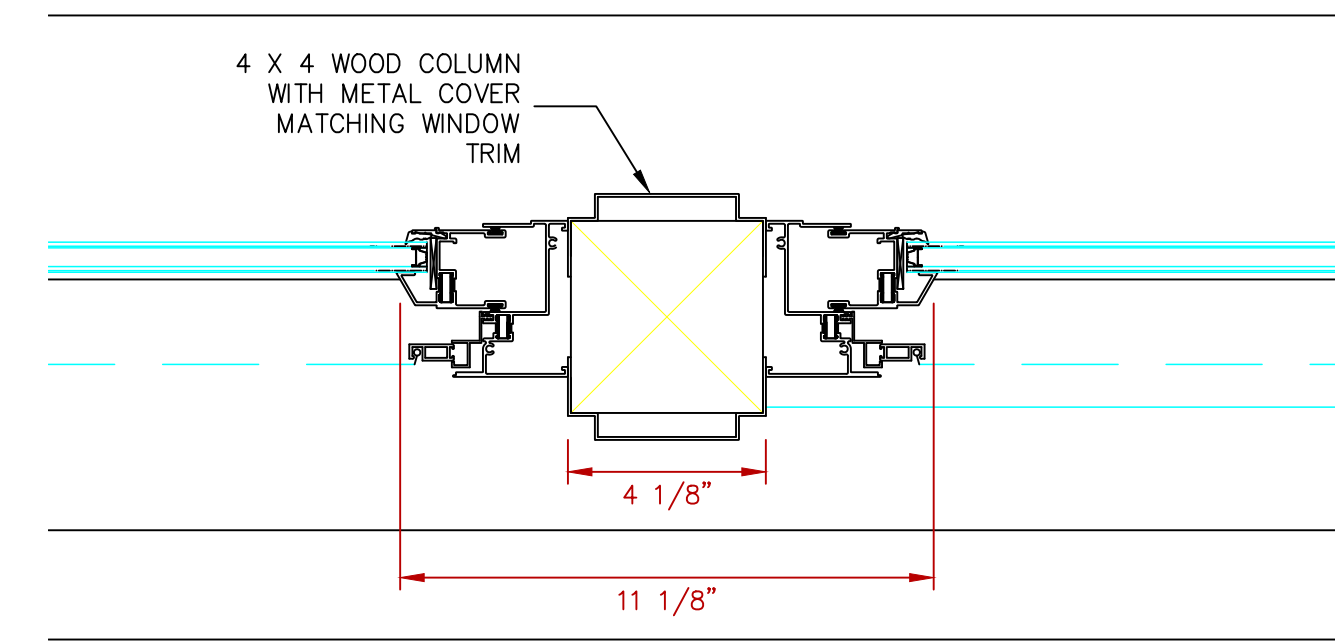
F HORIZONTAL SECTION AT STONE PILLAR BETWEEN WINDOW UNITS
SCALE: 3" = 1'-0"



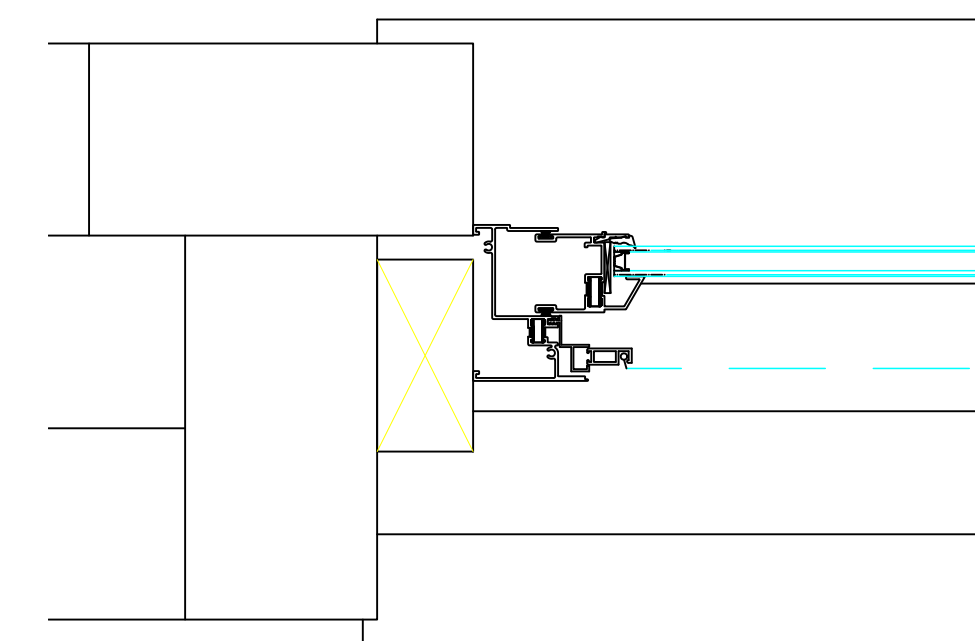
G SECTION THROUGH HEAD
SCALE: 3" = 1'-0"



H SECTION THROUGH SILL
SCALE: 3" = 1'-0"



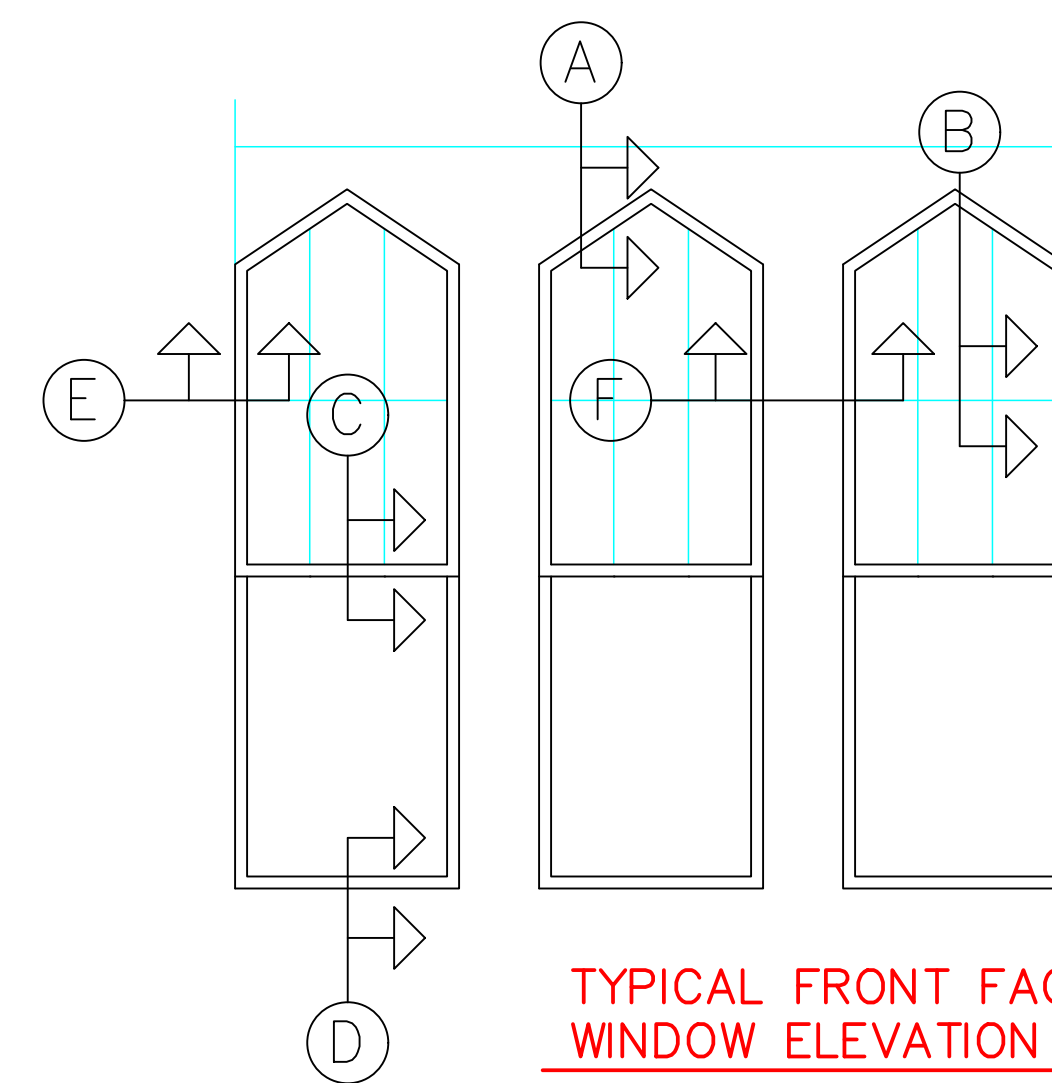
I SECTION THROUGH MULLION
SCALE: 3" = 1'-0"



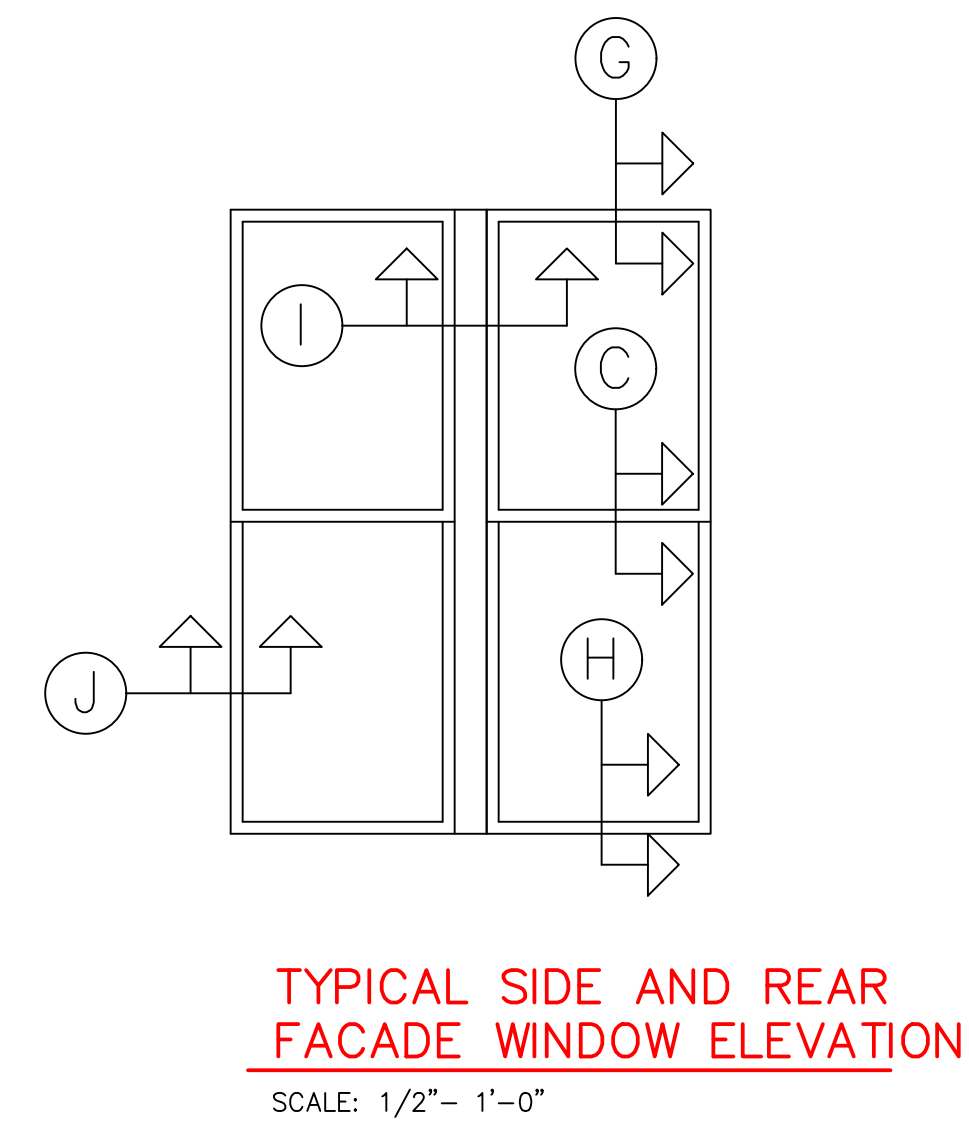
J SECTION THROUGH JAMB
SCALE: 3" = 1'-0"

REPLACEMENT WINDOW BASIS OF DESIGN:

QUAKER H300 SINGLE-HUNG HISTORICAL (H-HC40), ALUMINUM WITH BAKED ON POWDER COAT COLOR FINISH, INSULATED GLAZING, WIRE MESH SCREEN, SURFACE APPLIED SIMULATED MUNTINS.



TYPICAL FRONT FACADE WINDOW ELEVATION
SCALE: 1/2" = 1'-0"



TYPICAL SIDE AND REAR FACADE WINDOW ELEVATION
SCALE: 1/2" = 1'-0"

INSTALLATION SHOP DRAWING FOR MARLBOROUGH APARTMENTS BUILDING RENOVATIONS 1031 MARLBOROUGH ST.; DETROIT, MI

General Notes

- 1) WARRANTY
 - a) All warranties for the performance of Pella® Products are void if the product is installed contrary to these installation shop drawings and other applicable standard product installation instructions. See www.pella.com for the Pella product limited warranty and care instructions.
- 2) RESPONSIBILITY FOR PROPER INSTALLATION AND CODE COMPLIANCE
 - a) These drawings and details are prepared exclusively for use with Pella products, are based on the information provided to Pella Corporation, and are prepared for use by architects, contractors, or other construction professionals. Final approval by others is required to assure proper integration with other building materials and trades, and compliance with code and design intent. Pella Corporation is not responsible for any form of hazardous material encountered in connection with the installation and use of the Pella products. Pella Corporation is not responsible for deviation from the designed installation or for any errors occurring through the use of these drawings for purposes other than installation of Pella products.
 - b) It is the responsibility of the architect and contractor to verify all dimensions, quantities, grille patterns, installation details, product performance requirements, safety glazing requirements, and egress requirements for compliance with local codes, government regulations and project requirements prior to fabrication of Pella products. Pella Corporation will not be responsible for noncompliance nor accept responsibility beyond manufacturing products in accordance with dimensions shown on these drawings. CAUTION: Unless indicated otherwise, these units are glazed with annealed glass and cannot be installed in hazardous locations as defined by local codes and/or government laws and regulations.
 - c) Install all Pella products and accessories in accordance with these drawings and standard product installation instructions. Unless specified otherwise in these drawings, Pella product installation, all exterior and interior wood trim, blocking, sealant, backer rod, shims, wall flashing, and insulation are provided by others.
 - d) Special Sealants Note: Interior and exterior sealants must be commercial grade complying with the project architectural specifications and shall meet ASTM-C920, unless otherwise specified on these drawings. Sealants used in the installation of the Pella windows and doors must be installed per sealant manufacturers' recommendations, local code requirements, and state and federal laws, including proper application, surface preparation, use of primers, compatibility with other sealants and adjacent materials. Backer rods shall be non-gassing, comply with ASTM C1330 and applicable for its intended use. Its diameter should be 25 percent greater than the joint width for joints less than 1".
 - e) Windows and doors are sized to accommodate the following opening tolerances except where local codes are more stringent.
 - i) Vertical dimensions between high and low points -- plus 1/4" or minus 0"
 - ii) Width dimensions -- plus 1/4" or minus 0"
- 3) NOTE ON BARRIER WALL SYSTEMS, EXTERIOR INSULATION AND FINISH SYSTEMS AND OTHER NON-WATER MANAGED SYSTEMS
 - a) Because all construction must anticipate some water infiltration, it is important that the wall system be designed and constructed to properly manage moisture. Pella Corporation is not responsible for claims or damages caused by anticipated and unanticipated water infiltration, deficiencies in building design, construction and maintenance; failure to install Pella products in accordance with Pella's installation instructions, or the use of Pella products in barrier wall systems which do not allow for proper management of moisture within the wall system (see the following). The determination of the suitability of all building components, including the use of Pella products, as well as the design and installation of flashing and sealing systems is the responsibility of the Buyer or User, the architect, contractor, installer, or other construction professional and is not the responsibility of Pella. All risks related to building design and construction, or the maintenance, installation and use of Pella products shall be assumed by Buyer and/or User.
 - b) **IMPORTANT NOTICE:** Pella products **should not** be used in barrier wall systems which do not allow for proper management of moisture within the wall systems, such as barrier Exterior Insulation and Finish Systems (EIFS) (also known as synthetic stucco) or similar systems. Except in the states of California, New Mexico, Arizona, Nevada, Utah, and Colorado, Pella makes no warranty of any kind on, and assumes no responsibility for, Pella windows and doors installed in barrier wall systems. In the states listed above, the installation of Pella Products in EIFS or similar barrier systems must be in accordance with Pella's instructions for that type of construction.
- 4) These drawings are the property of Pella Corporation and must not be reproduced in whole or in part without written permission from an authorized representative of Pella Corporation.
- 5) Product cross sections shown on these drawings are subject to change without notice.

Construction Documents Received

THESE DRAWINGS WERE PREPARED FROM THE FOLLOWING INFORMATION			DATED
ARCHITECTURAL PLANS	SHEETS A6, A9		9-23-16
SPECIFICATIONS	NONE		-
ADDENDUM	NONE		-
OTHER	EC-1, EC-2		6-1-17

Mullion Reinforcement

THIS REINFORCING DESIGN CONSIDERS WIND LOADING ON THE COMBINATION AND DEAD LOAD FOR PELLA PRODUCTS ONLY.		
MARK #	REINFORCEMENT TYPE	MAX. END LOAD
END CONNECTIONS MUST NOT INTERFERE WITH FRAMES OR SEALANT PLACEMENT. WALL CONSTRUCTION AND END CONNECTIONS MUST BE DESIGNED TO ACCEPT THE LOADS INDICATED. STEEL REINFORCEMENT MUST BE PRIMED & TOP COATED WITH QUALITY PAINT. USE FULL PENETRATION WELDS AT CONNECTIONS.		

Abbreviations

ALUM.	= ALUMINUM	LBS.	= POUNDS	R.O.	= ROUGH OPENING
B.O.	= BY OTHERS	MAX.	= MAXIMUM	SDS.	= SELF-DRILLING SCREW
CONT.	= CONTINUOUS	MIN.	= MINIMUM	SIM.	= SIMILAR
CLR.	= CLEARANCE	M.O.	= MASONRY OPENING	TBD.	= TO BE DETERMINED
DTL.	= DETAIL	NA.	= NOT APPLICABLE	TOT. FR.	= TOTAL FRAME
DIM.	= DIMENSION	OC.	= ON CENTER	V.G.	= VISIBLE GLASS
EQ.	= EQUAL	OPG.	= OPENING	VIF.	= VERIFY IN FIELD
FWHS.	= FLAT HEAD WOOD SCREW	OPP.	= OPPOSITE	WO.	= WINDOW OPENING
FR.	= FRAME	REQ'D	= REQUIRED		

Hatch Patterns

	PLYWOOD		BRICK		STEEL		FOAM SEALANT
	GYPSUM		CONCRETE		RIGID INSULATION		SOLID
	WOOD		CONCRETE BLOCK		GROUT		BATT INSULATION

Symbols

	= TEMPERED GLAZING		= LAMINATED		= PANEL
	= IMPACT GLAZING		= OBSCURE GLAZING		= SPANDREL
	= FIELD MULLION INDICATOR		PARTIAL BLOCKING		SEALANT
	= DETAIL CUT		CONTINUOUS BLOCKING		BACKER ROD
	= MULLION REINFORCEMENT		SPRAY FOAM SEALANT		

Components & Cladding Design Pressures

CODE: ASCE 7-10 (IBC 2012, IBC 2015)

Mean Roof Height (ft):	40
Design Wind Speed (MPH):	115
Exposure Category:	C
Building Classification/Occupant Category:	II
Topographical Factor:	1

Building Length (ft):	NA
Building Width (ft):	NA
Edge Strip "a" (ft):	Verify

Sq ft of opening	Zone 4		Zone 5	
	Pos	Neg	Pos	Neg
10	21.2	-23.1	21.2	-28.5
20	20.2	-22.2	20.2	-26.6
50	18.9	-20.9	18.9	-24.0
100	17.9	-19.9	17.9	-22.1
500	15.7	-17.6	15.7	-17.7

Note: The pressures and loads shown have been converted to comply with WDMA/AAMA standards and NAFS Performance rating system. This system is based on Allowable Stress design pressures.

FAILURE TO CONFIRM THESE DESIGN PRESSURES BY A LOCAL STRUCTURAL ENGINEER OR BUILDING OFFICIAL MAY RESULT IN INADEQUATE MULLION DESIGN OR SELECTION OF PRODUCTS.

Field Water Testing

FIELD WATER TESTING (IF SPECIFIED) SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E1105 TEST PROCEDURE B. THE TEST PRESSURE SHALL BE BASED ON THE MAXIMUM POSITIVE COMPONENTS AND CLADDING DESIGN PRESSURE. UTILIZING THE AAMA 502 FIELD TEST REDUCTION, THE WATER TEST PRESSURE IS 10% OF THE MAXIMUM POSITIVE DESIGN PRESSURE.

Deviations from Architectural Drawings

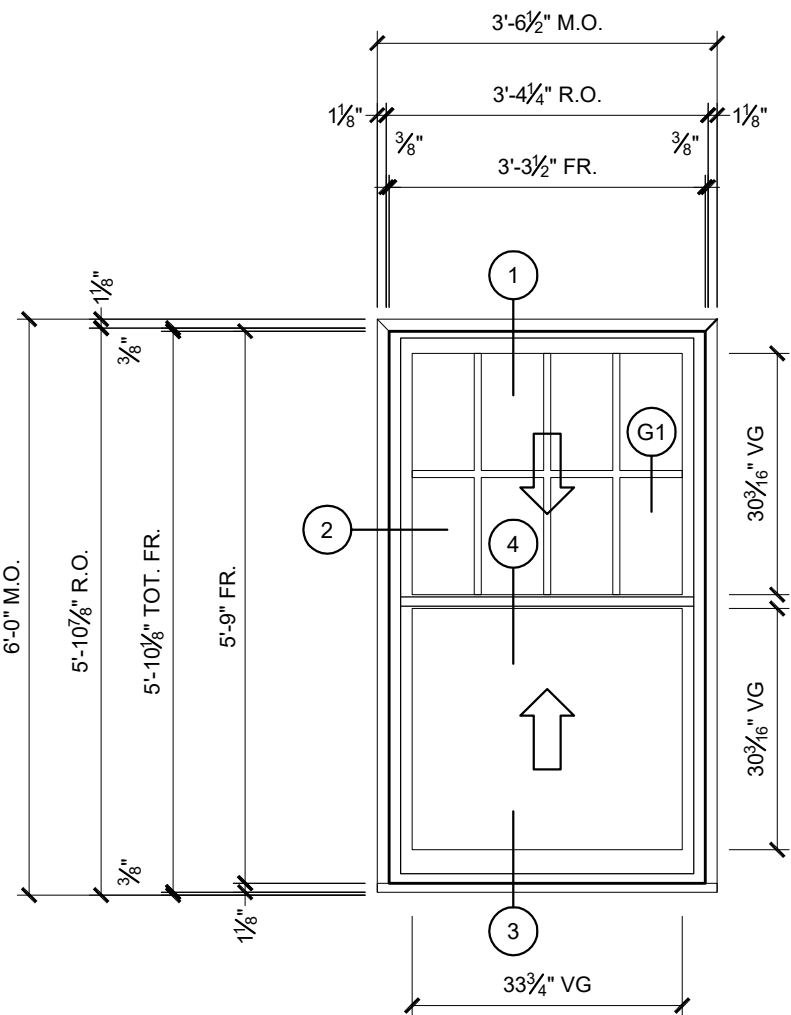
CONFIRM THE FOLLOWING ITEMS ARE ACCEPTABLE WITH THE GENERAL CONTRACTOR AND PROJECT ARCHITECT:

- 1) THE WINDOW SCHEDULE IN THE ARCHITECTURAL DRAWINGS INDICATES 1" THICKNESS INSULATED GLAZING IS REQUIRED. PELLA GLAZING THICKNESS VARIES WITH THE STRUCTURAL REQUIREMENTS OF THE PRODUCT.
- 2) THE WINDOW SCHEDULE IN THE ARCHITECTURAL DRAWINGS INDICATES A GRILLE PATTERN FOR THE TYPE C, D AND E WINDOWS THAT VARY FROM THAT OF THE TYPE D AND E PELLA WINDOWS IN THIS SHOP DRAWING.
- 3) THE WINDOW SCHEDULE IN THE ARCHITECTURAL DRAWINGS INDICATES A QUANTITY OF WINDOWS THAT VARY FROM THAT OF THE QUANTITIES OF PELLA WINDOWS IN THIS SHOP DRAWING.

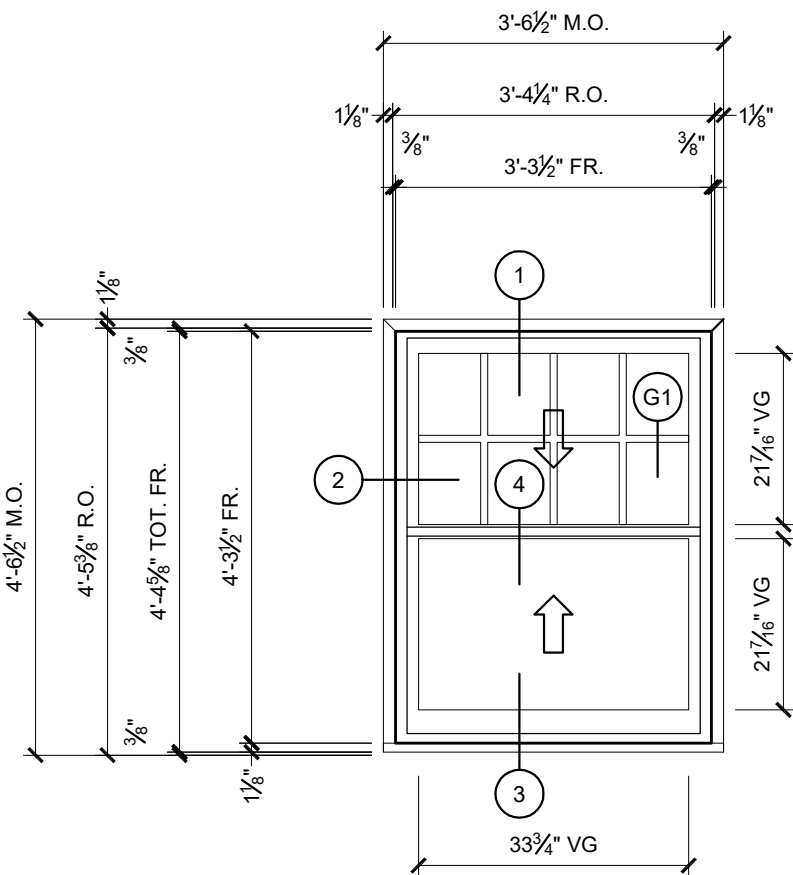
Special Notes

CONFIRM THE FOLLOWING ITEMS ARE ACCEPTABLE WITH THE GENERAL CONTRACTOR AND PROJECT ARCHITECT:

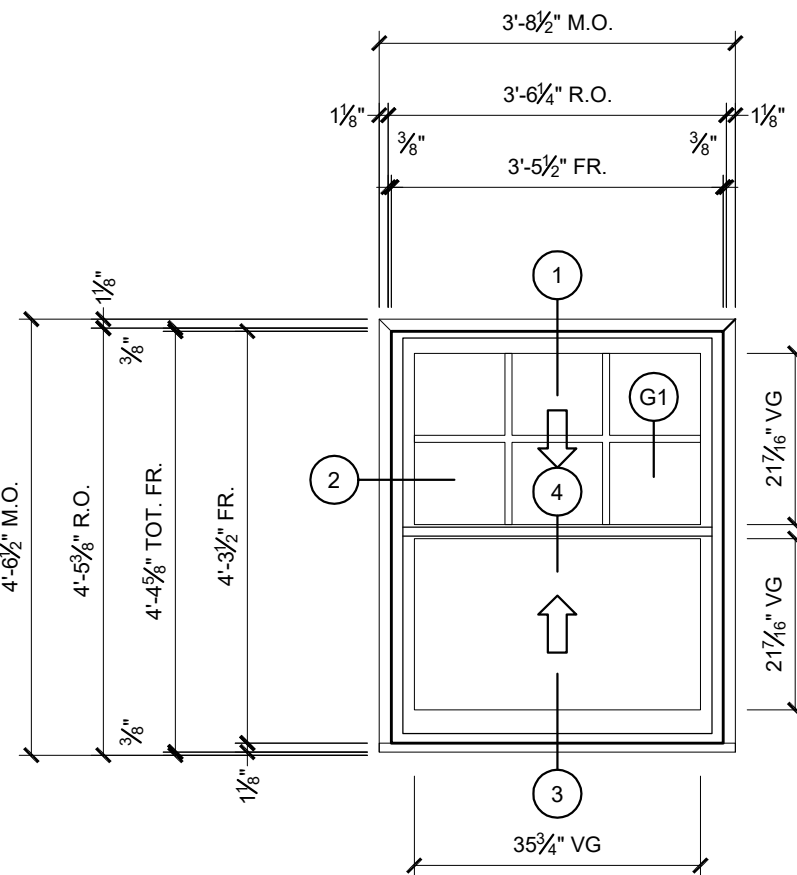
- 1) INSTALLATION ACCESSORIES SUCH AS BLOCKING, SHIMS, FASTENERS, FLASHING TAPES, FLASHINGS, SEALANTS, INTERIOR TRIM OR FINISHES, AND WEATHER BARRIER ARE BY OTHERS UNLESS NOTED OTHERWISE.
- 2) FIELD VERIFY ALL DETAILS & DIMENSIONS
- 3) ARCHITECT TO VERIFY SAFETY GLAZING & EGRESS REQUIREMENT
- 4) CAUTION WHEN HANDLING PRODUCT: ALL PELLA PRODUCTS SHOULD BE KEPT VERTICAL DURING HANDLING AND STORAGE. ANY MISHANDLING COULD RESULT IN PRODUCT AND/OR MULLION FAILURE.
- 5) IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE ALL WINDOWS AND DOORS ARE CLOSED AND LOCKED DURING INCLEMENT WEATHER OR WHEN A ROOM IN WHICH A WINDOW OR DOOR IS INSTALLED IS VACANT.
- 6) PELLA CORPORATION DID NOT RECEIVE PROJECT SPECIFICATIONS. THEREFORE, CONFORMANCE TO PROJECT SPECIFICATIONS IS THE SOLE RESPONSIBILITY OF THE PELLA SALES BRANCH AND THE GENERAL CONTRACTOR.
- 7) DUE TO THE NATURE OF ANY REPLACEMENT PROJECT, IT IS IMPERATIVE THAT THE ARCHITECT, ENGINEER OR CONTRACTOR DETERMINES IF THE EXISTING STRUCTURE IS STRUCTURALLY SOUND FOR THE ANCHORAGE OF THE WINDOWS SPECIFIED FOR THIS PROJECT. IN ADDITION, THE ARCHITECT, ENGINEER AND CONTRACTOR MUST DETERMINE IF THE DETAILS SHOWN ON THESE DRAWINGS ARE ACCEPTABLE WITH THE EXISTING FLASHING FOR AN EFFECTIVE WATER MANAGED SYSTEM. ALSO, THE EXISTING WALL CONSTRUCTION MUST BE CHECKED TO DETERMINE IF WATER PROBLEMS EXIST. ANY WATER PENETRATION MUST BE REPAIRED PRIOR TO INSTALLING THE NEW WINDOWS.



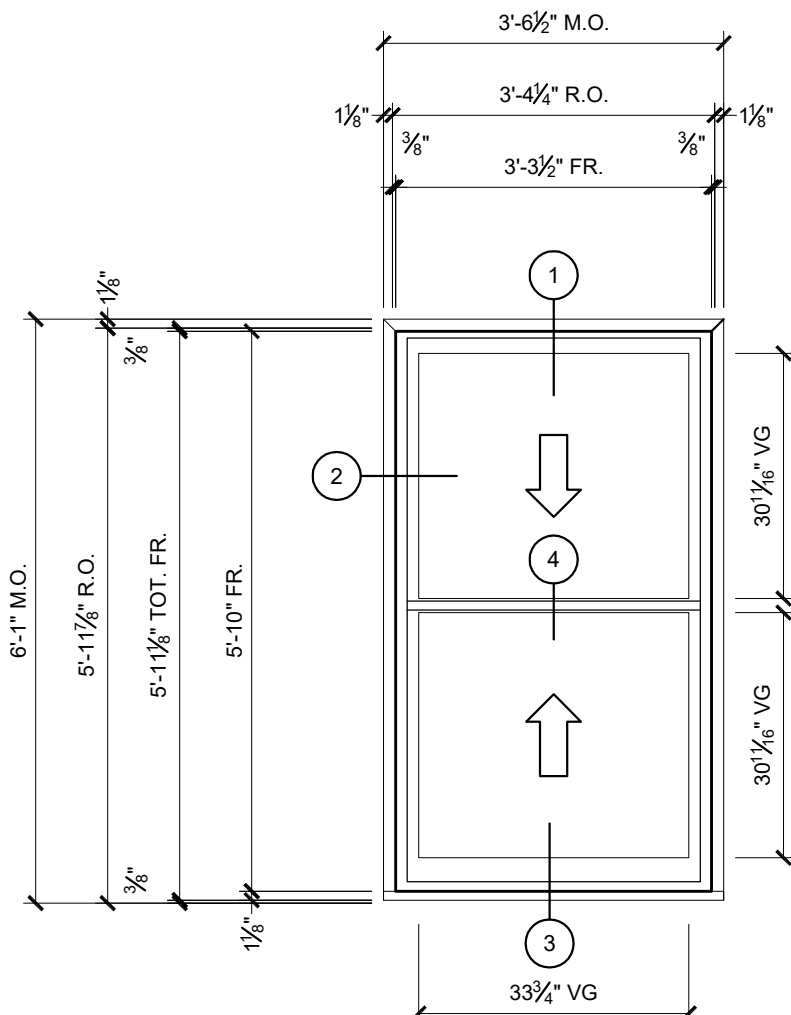
Window D - 1031
LINE # 25 1 QTY



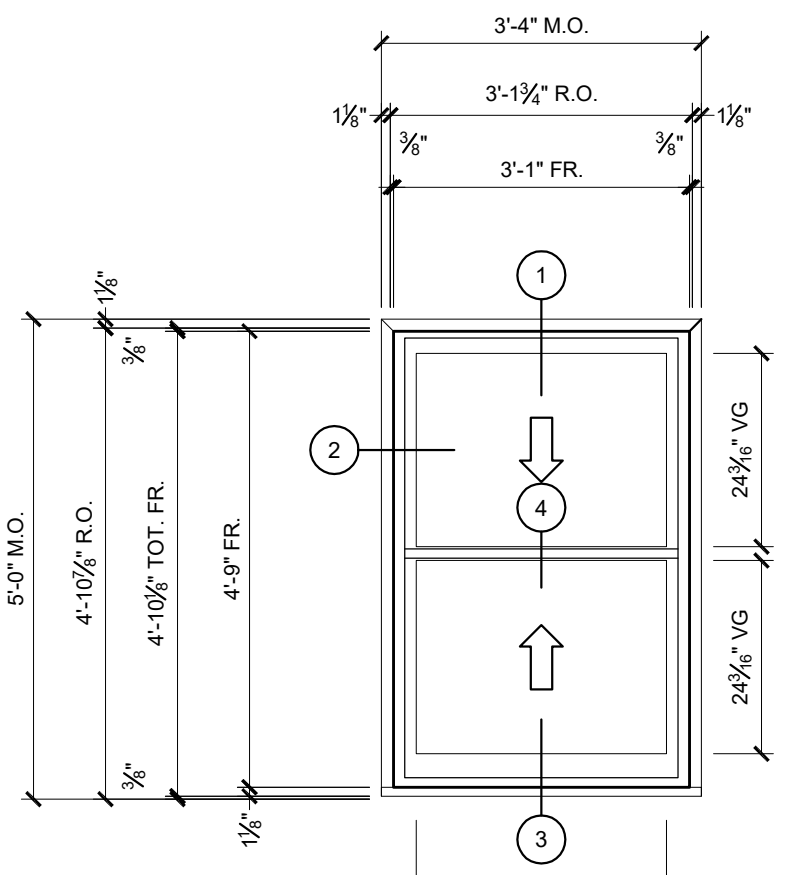
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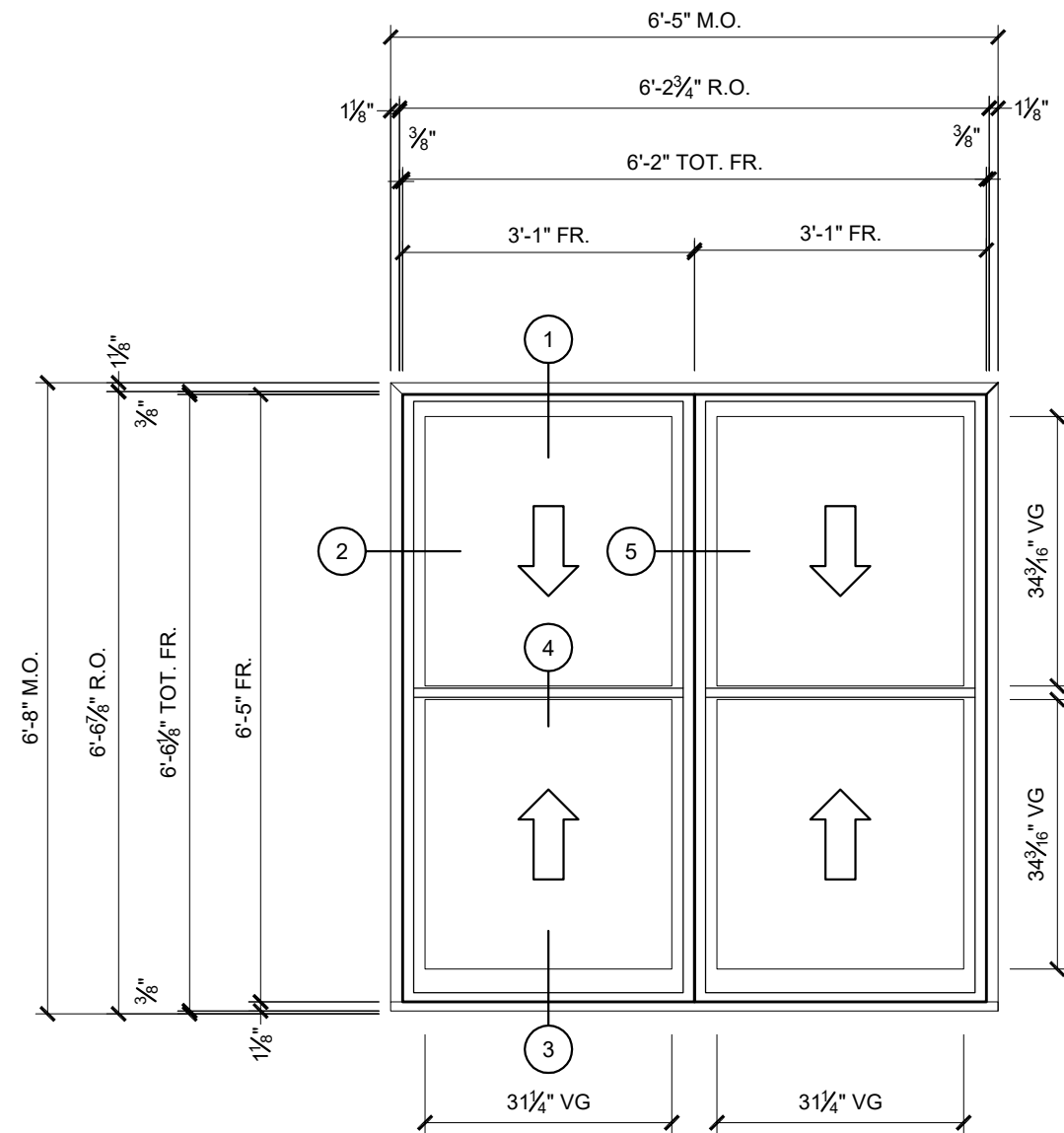
Window F - 1031
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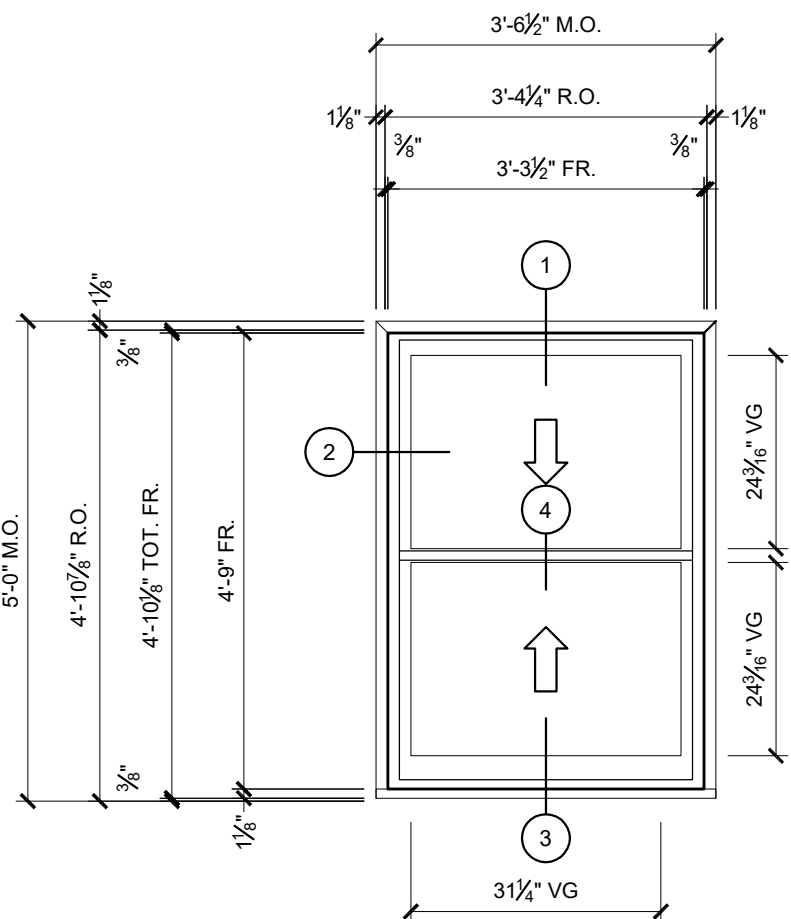
Window G - 1031
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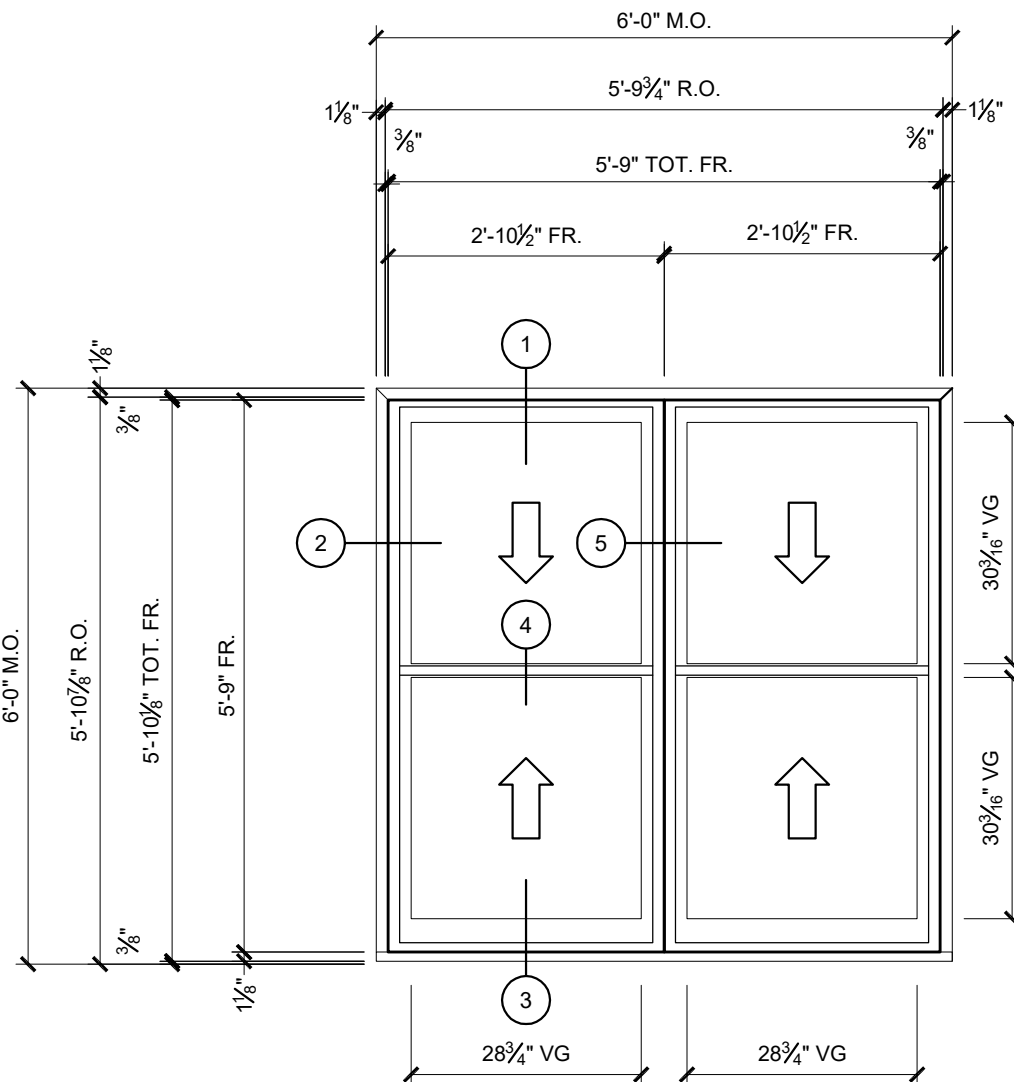
Window H - 1031
LINE # 45 3 QTY



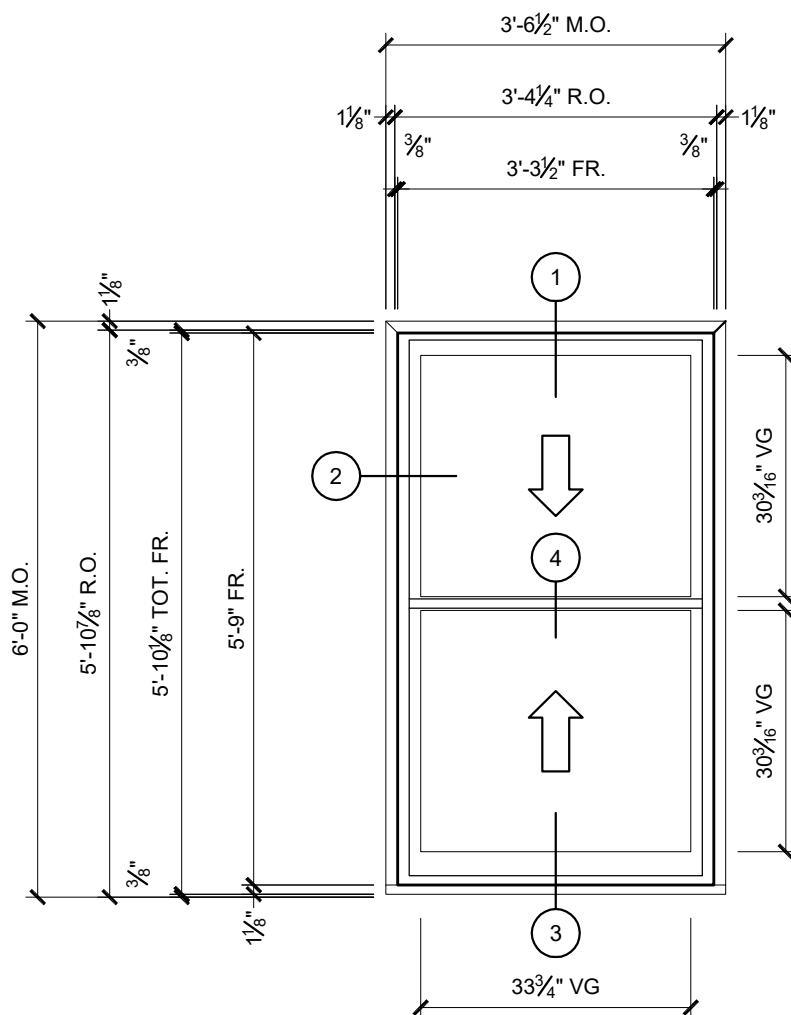
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LINE # 50 3 QTY



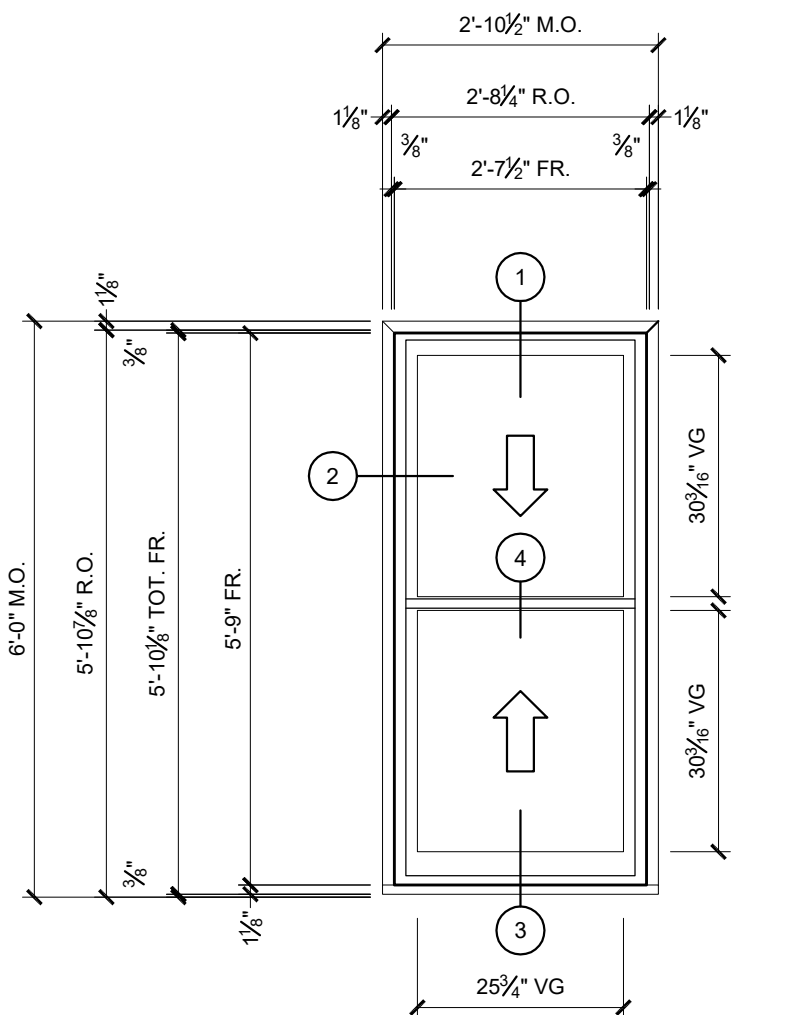
Window J - 1031
LINE # 55 3 QTY



Window L - 1031
LINE # 60 12 QTY



Window N - 1031
LINE # 65 2 QTY



Window O - 1031
LINE # 70 3 QTY

INSTALLATION SHOP DRAWING FOR

MARLBOROUGH APARTMENTS BUILDING RENOVATIONS

LOCATION: 1031 MARLBOROUGH ST.: DETROIT, MI

ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.

ORIGINAL: 2-7-19

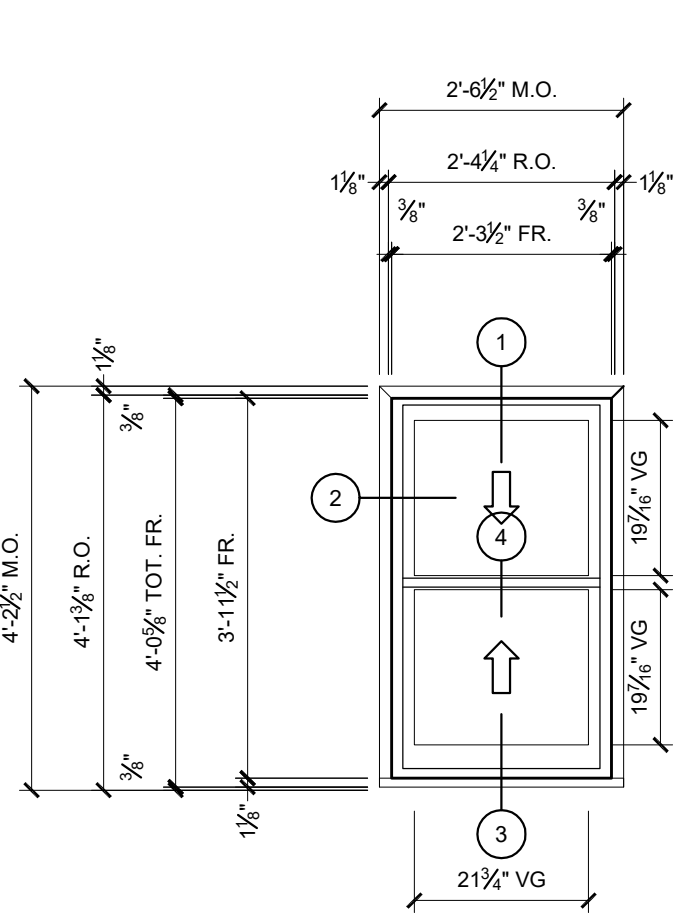
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CHECKED BY: GG

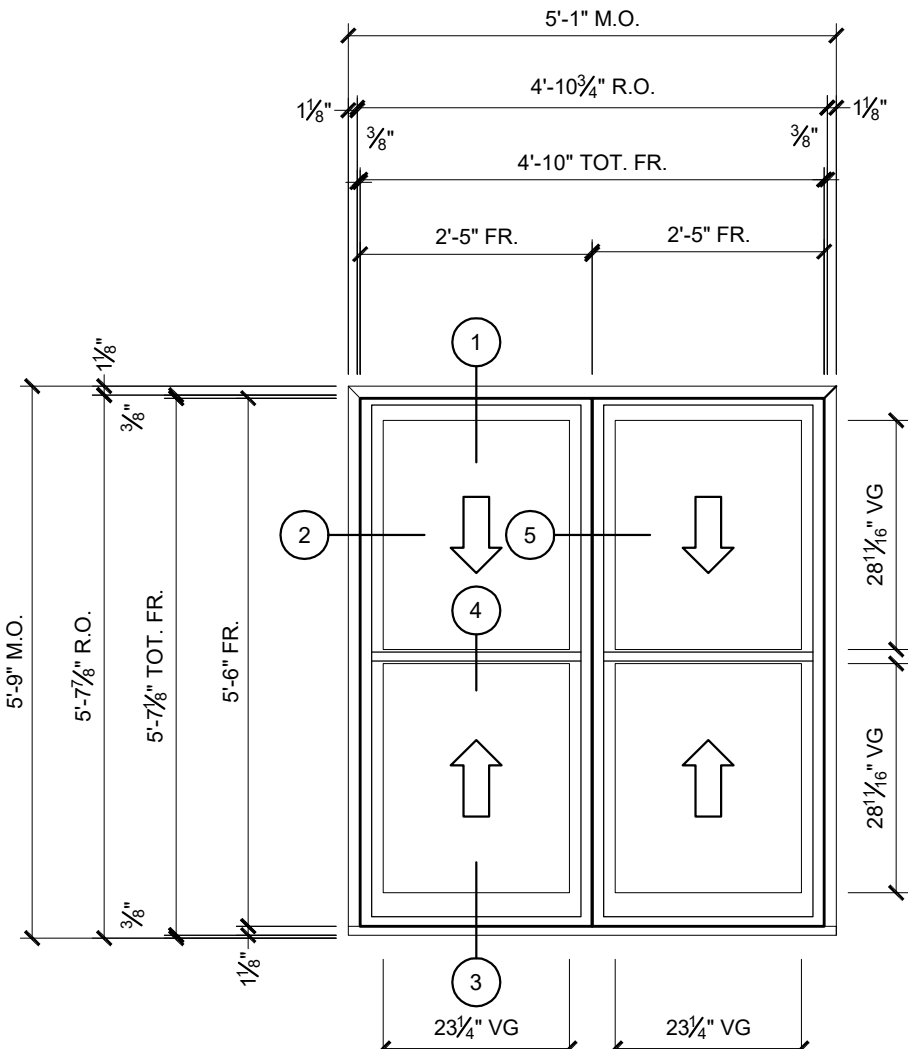
Project No.:
206374.17

SHEET:
02 OF 10

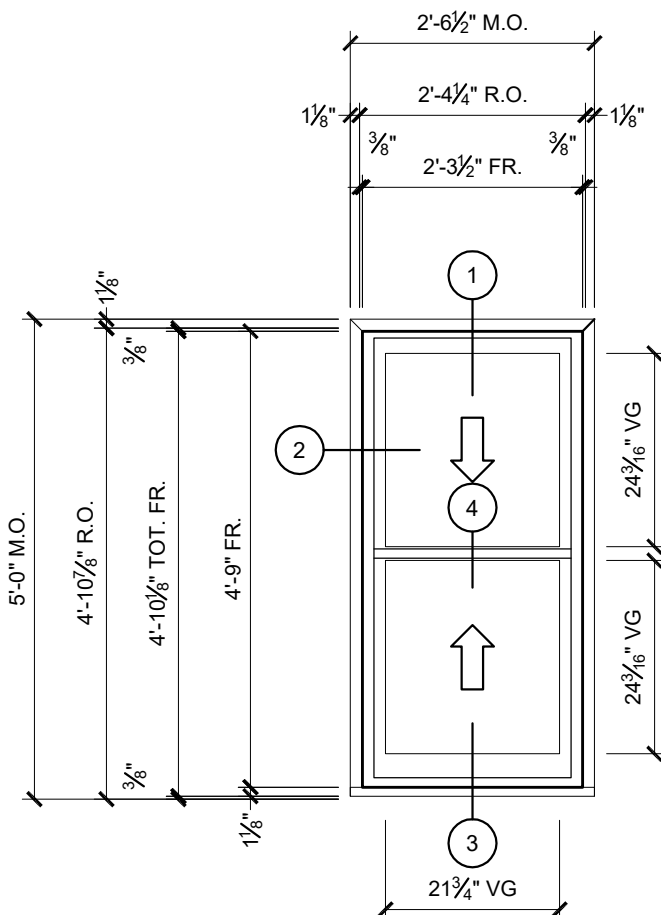
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3	-	4	-
4	-	5	-



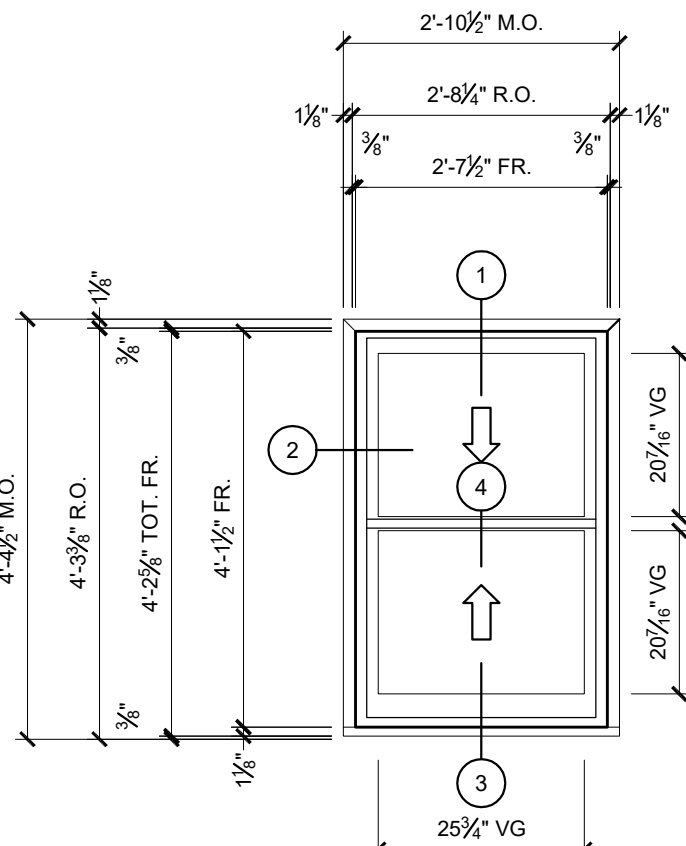
Window P - 1031
LINE # 75 9 QTY



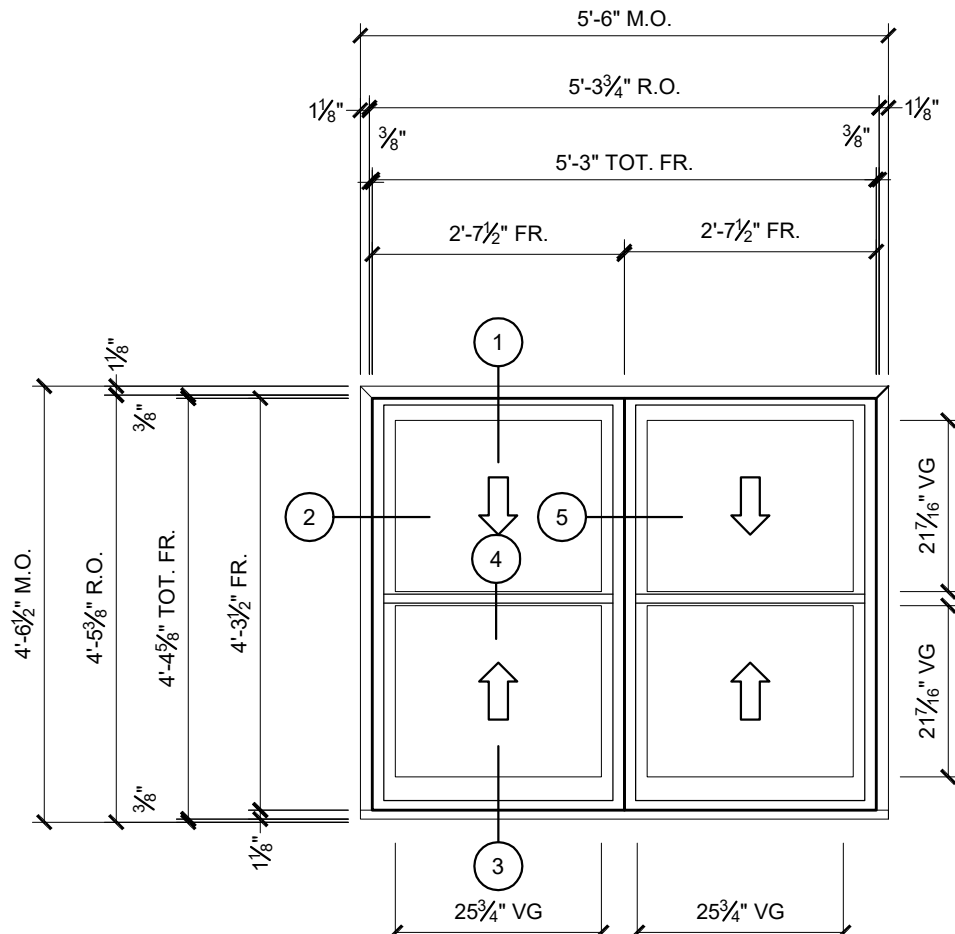
Window Q - 1031
LINE # 80 3 QTY



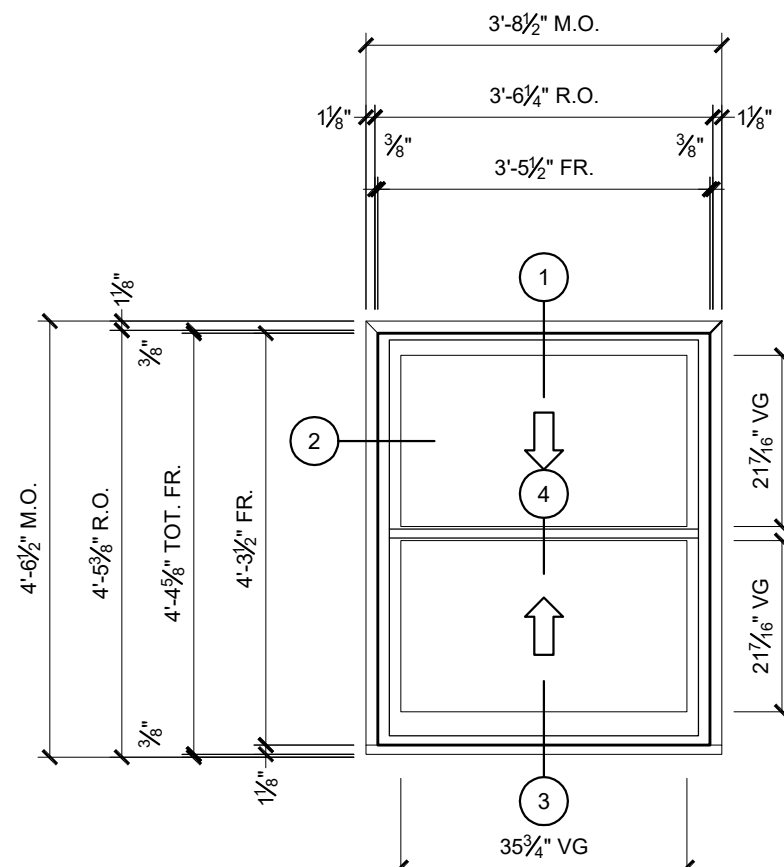
Window R - 1031
LINE # 85 3 QTY



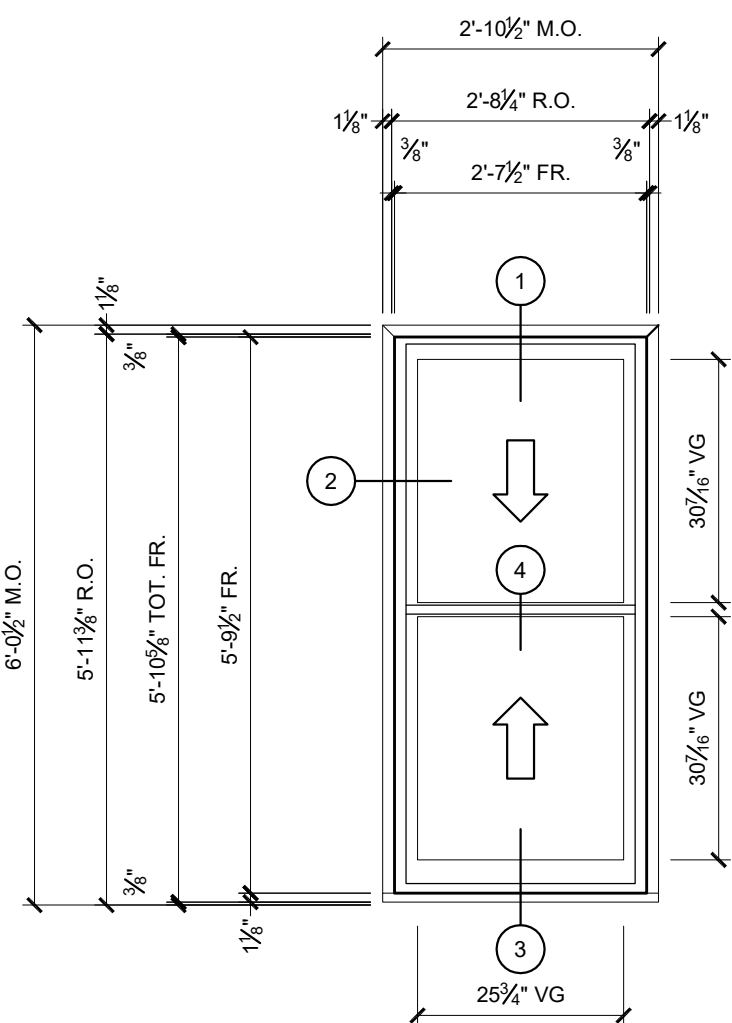
Window T - 1031
LINE # 95 9 QTY



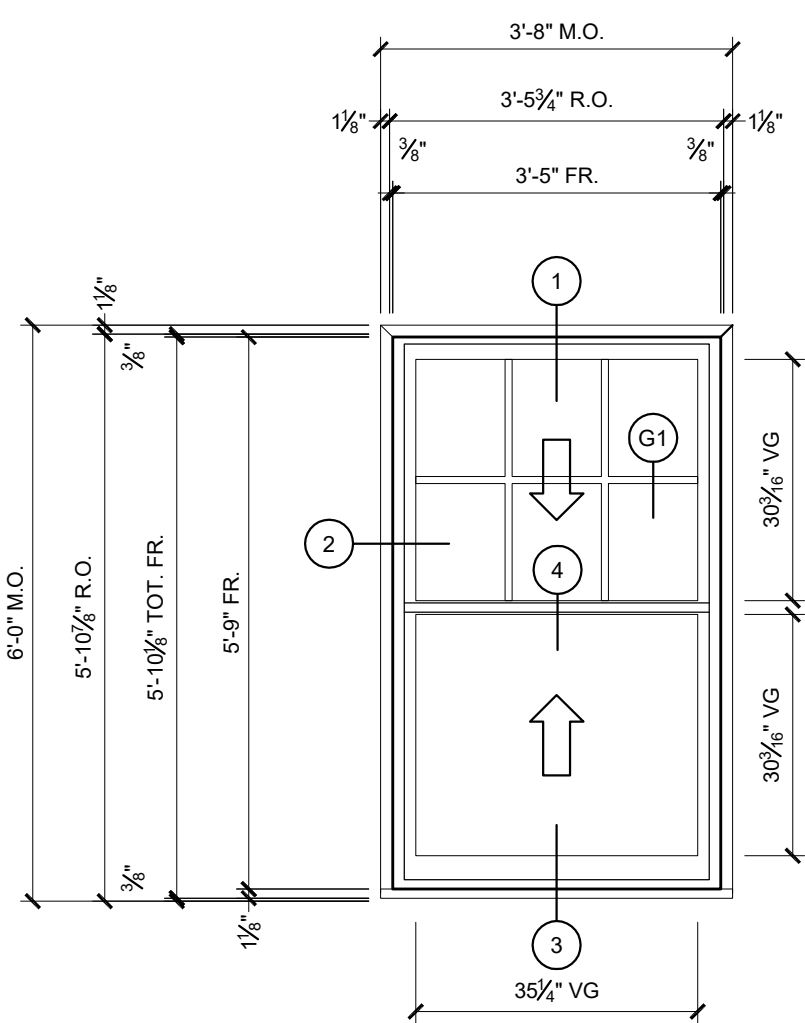
Window U - 1031
LINE # 100 1 QTY



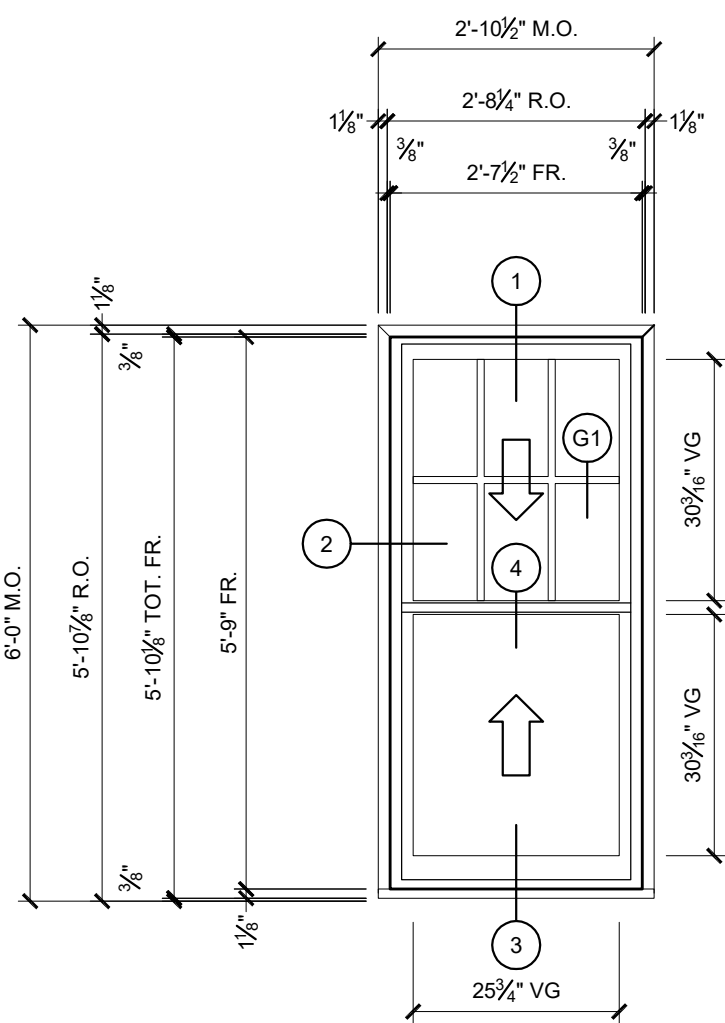
Window V - 1031
LINE # 105 1 QTY



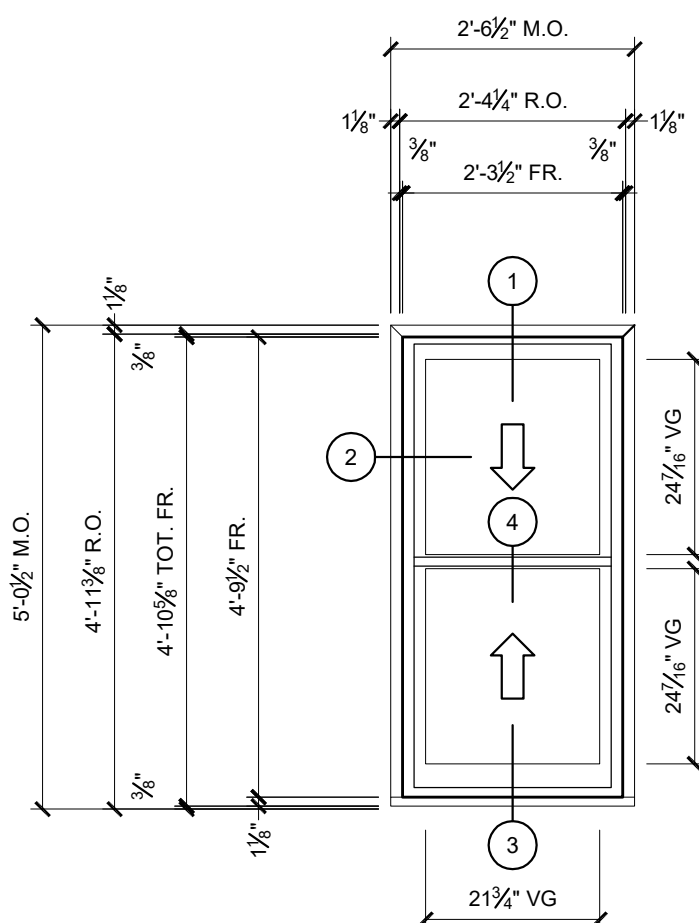
Window A2 - 1031
LINE # 110 6 QTY



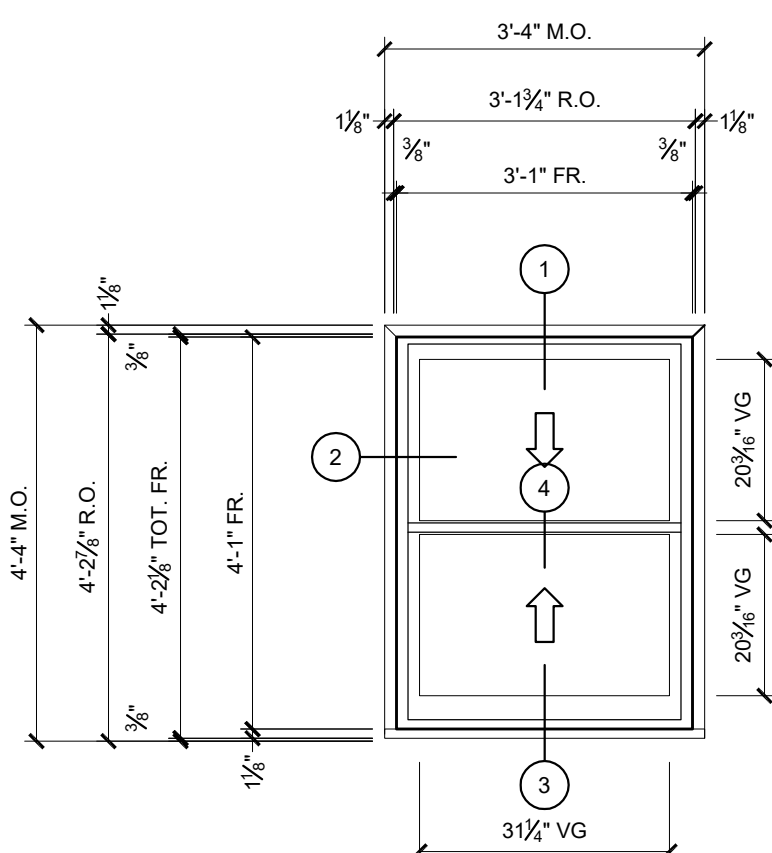
Window A3 - 1031
LINE # 115 6 QTY



Window B2 - 1031
LINE # 120 12 QTY



Window T - no WOD
LINE # 260 3 QTY



1031 s. elev grd P
LINE # 270 6 QTY

INSTALLATION SHOP DRAWING FOR

MARLBOROUGH APARTMENTS BUILDING RENOVATIONS

LOCATION: 1031 MARLBOROUGH ST.: DETROIT, MI

ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.

ORIGINAL: 2-7-19

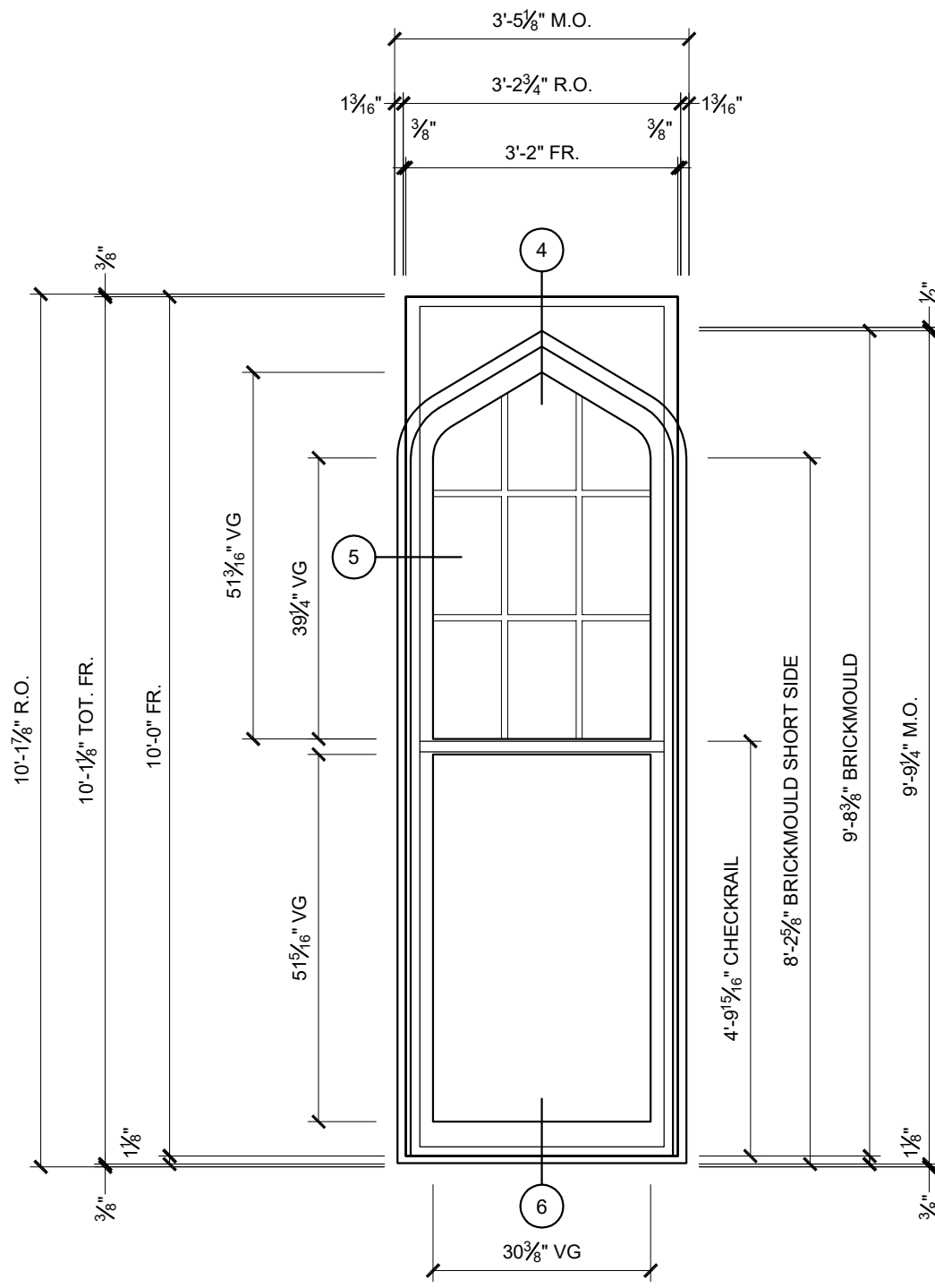
DRAWN BY: NRK

CHECKED BY: GG

Project No.:
206374.17

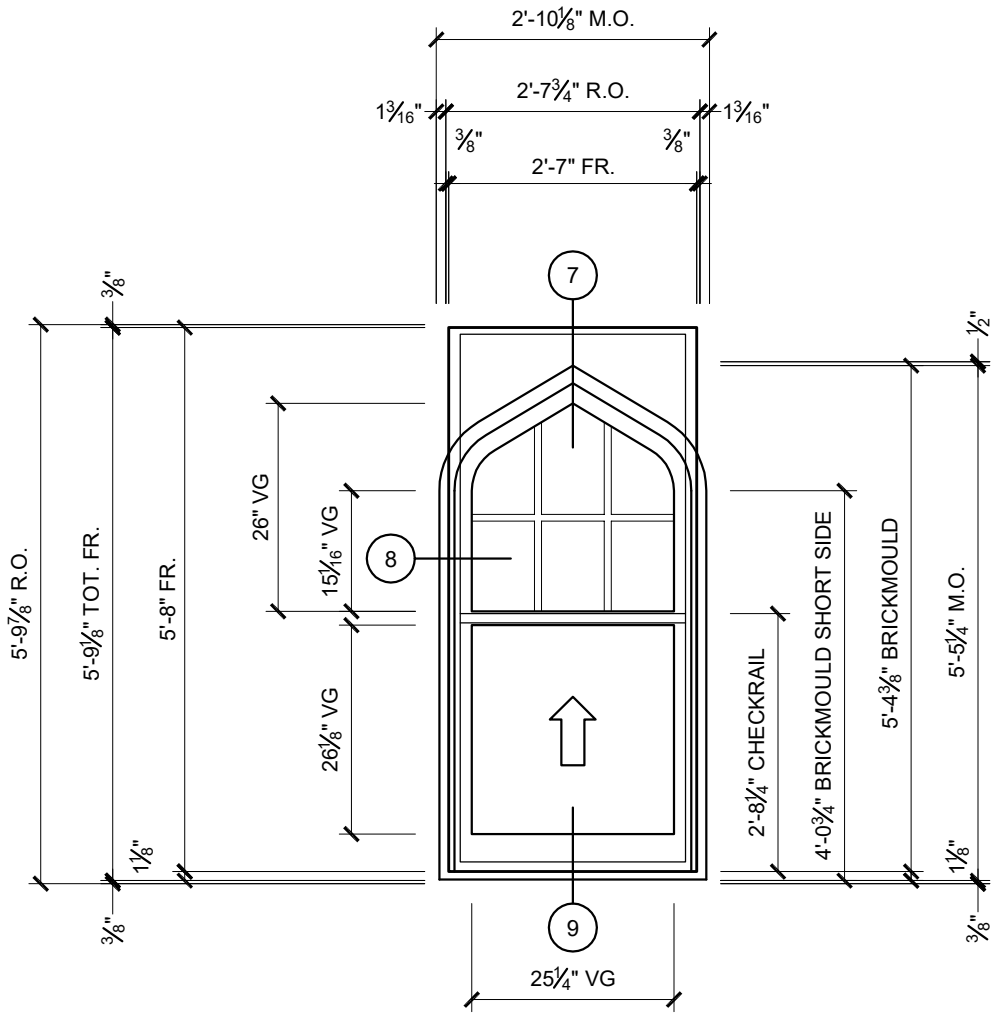
SHEET:
03 OF 10

REV.	DATE	REV.	DATE
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2	2-26-19	2	-
3	-	3	-
4	-	4	-
5	-	5	-



2 Window C - 1031 1
LINE # 290 QTY

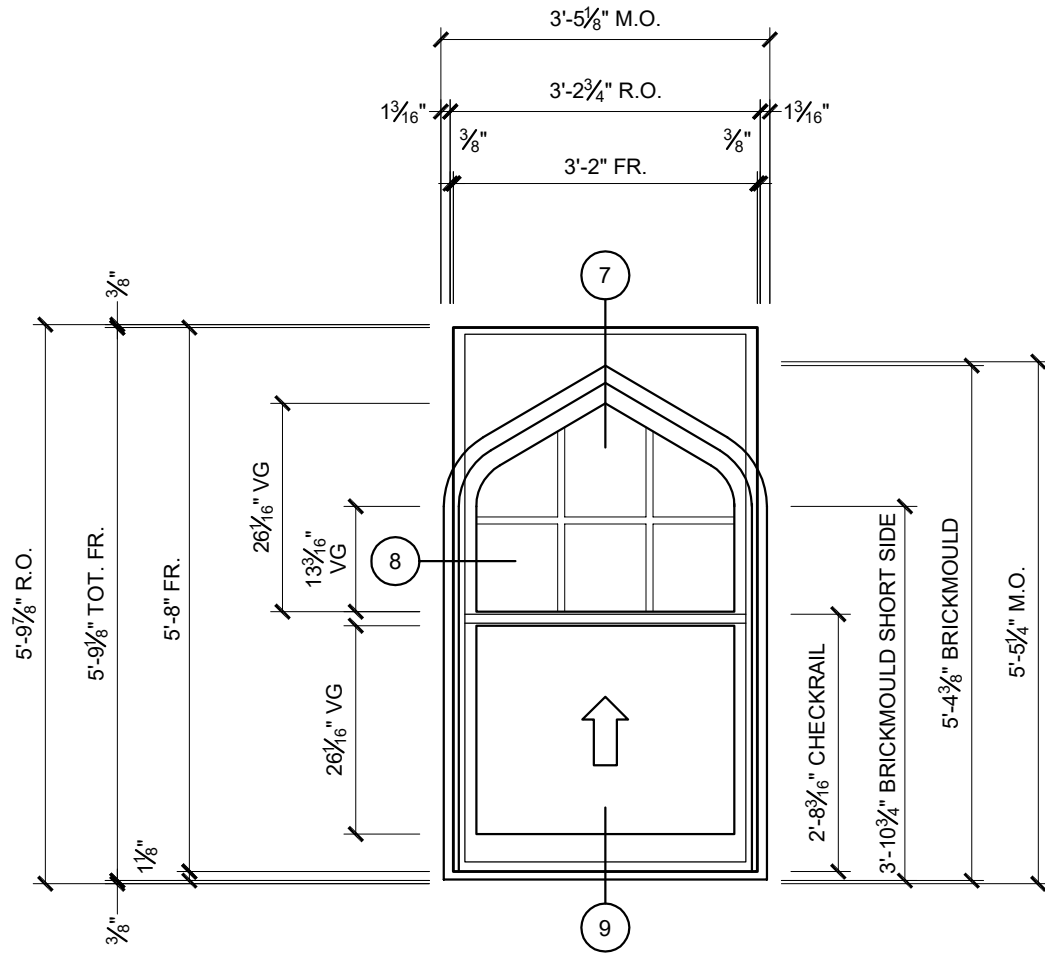
CUSTOM SHAPE MONUMENTAL SIMULATED HUNG SQUAREBACK



2 Window B - 1031 3
LINE # 295 QTY

2 Window B - 1031 3
LINE # 300 QTY

CUSTOM SHAPE RESERVE MODEL 5 SINGLE HUNG SQUAREBACK



2 Window A - 1031 3
LINE # 305 QTY

CUSTOM SHAPE RESERVE MODEL 5 SINGLE HUNG SQUAREBACK

INSTALLATION SHOP DRAWING FOR

MARLBOROUGH APARTMENTS BUILDING RENOVATIONS

LOCATION: 1031 MARLBOROUGH ST., DETROIT, MI
ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.

ORIGINAL: 2-7-19

DRAWN BY: NRK

CHECKED BY: GG

Project No.:
206374.17

SHEET:
04 OF 10

REV.	DATE	REV.	DATE
1	2-14-19	1	-
2	2-26-19	2	-
3	-	3	-
4	-	4	-
5	-	5	-

ARCHITECTURAL
SUPPORT SERVICES

DEPARTMENT

Pella Corporation
Window and Door Installation Solutions
Pella, Iowa

11/18/13

SPECIFICATIONS																	2																																							
Line #	Quote No.	Unit ID	Windowset Name	Operation / Venting	Exterior Material Type	Wood Type	Exterior Finish	Interior Finish	Exterior Sash / Panel Profile	Interior Sash / Panel Profile	Glazing Type	Insulated Type	Glass Strength	Insulated Glass Options	Low-E Glass Style	Gas Filled	Hardware Finish	Screen Option	U-Factor	SHGC	VLT	Performance Class	PG	Grille Application	Grille Exterior Profile	Grille Interior Profile	Grille Bar Profile Width	Jamb Extended Wall Depth	Screen Exterior Paint Grade	Screen Color																										
25	10929563	Window D - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Primed	Putty Glaze	Ogee	Insulated	Dual	Annealed	Green Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.30	0.25	0.41	CW	45	Integral Light Technology(R) Grilles	Putty Glaze	Ogee	7/8"	4 9/16"																												
30	10929563	Window E - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Primed	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.29	0.25	0.47	CW	45	Integral Light Technology(R) Grilles	Putty Glaze	Ogee	7/8"	4 9/16"																												
35	10929563	Window F - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Primed	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.29	0.25	0.47	CW	45	Integral Light Technology(R) Grilles	Putty Glaze	Ogee	7/8"	4 9/16"																												
40	10929563	Window G - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
45	10929563	Window H - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Green Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.29	0.28	0.46	CW	45	No Grille				4 9/16"																												
50	10929563	Window I - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
50	10929563	Window I - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
55	10929563	Window J - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
60	10929563	Window L - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
60	10929563	Window L - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
65	10929563	Window N - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
70	10929563	Window O - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
75	10929563	Window P - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
80	10929563	Window Q - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
80	10929563	Window Q - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
85	10929563	Window R - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
95	10929563	Window T - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
100	10929563	Window U - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
100	10929563	Window U - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
105	10929563	Window V - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
110	10929563	Window A2 - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"																												
115	10929563	Window A3 - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.29	0.25	0.47	CW	45	Integral Light Technology(R) Grilles	Putty Glaze	Ogee	7/8"	4 9/16"																												
120	10929563	Window B2 - 1031	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.29	0.25	0.47	CW	45	Integral Light Technology(R) Grilles	Putty Glaze	Ogee	7/8"	4 9/16"																												
																																	INSTALLATION SHOP DRAWING FOR				MARLBOROUGH APARTMENTS BUILDING RENOVATIONS										LOCATION: 1031 MARLBOROUGH ST., DETROIT, MI ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.									
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																																	Project No.:				206374.17																			
																																	SHEET:				05										OF 10									

SPECIFICATIONS



Line #	Quote No.	Unit ID	Windowset Name	Operation / Venting	Exterior Material Type	Wood Type	Exterior Finish	Interior Finish	Exterior Sash / Panel Profile	Interior Sash / Panel Profile	Glazing Type	Insulated Type	Glass Strength	Insulated Glass Options	Low-E Glass Style	Gas Filled	Hardware Finish	Screen Option	U-Factor	SHGC	VLT	Performance Class	PG	Grille Application	Grille Exterior Profile	Grille Interior Profile	Grille Bar Profile Width	Jamb Extended Wall Depth	Screen Exterior Paint Grade	Screen Color
260	10929563	Window T - no WOD	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"		
270	10929563	1031 s. elev grnd P	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Wood	Pine	Primed	Bright White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	No Screen	0.28	0.28	0.53	CW	45	No Grille				4 9/16"		
290	10929563	Window C - 1031	Architect Series(R) Reserve Traditional Monumental Double-Hung	Simulated Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White		0.29	0.23	0.43	LC	25	Integral Light Technology(R) Grilles	Putty Glaze	Ogee	7/8"	5 7/16"		
295	10929563	Window B - 1031	Architect Series(R) Reserve Traditional Single-Hung	Single Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	Half Screen	0.29	0.25	0.47	CW	45	Integral Light Technology(R) Grilles	Putty Glaze	Ogee	7/8"	5 7/16"	Standard EnduraClad	Brown
300	10929563	Window B - 1031	Architect Series(R) Reserve Traditional Single-Hung	Single Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	Half Screen	0.29	0.25	0.47	CW	45	Integral Light Technology(R) Grilles	Putty Glaze	Ogee	7/8"	5 7/16"	Standard EnduraClad	Brown
305	10929563	Window A - 1031	Architect Series(R) Reserve Traditional Single-Hung	Single Hung	Wood	Pine	Primed	Prefinished White Paint	Putty Glaze	Ogee	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	White	Half Screen	0.29	0.25	0.47	CW	45	Integral Light Technology(R) Grilles	Putty Glaze	Ogee	7/8"	5 7/16"	Standard EnduraClad	Brown

**ARCHITECTURAL
SUPPORT SERVICES**

D E P A R T M E N T

Door Installation Solutions

tion



Window and Door Installation Solutions
Pella Corporation
Pella, Iowa

REV:	DATE:	REV:	DATE:
1	2-14-19	7	-
2	2-26-19	8	-
3	-	9	-
4	-	10	-
5	-	11	-
6	-	12	-

INSTALLATION SHOP DRAWING FOR

MARLBOROUGH APARTMENTS BUILDING RENOVATIONS

LOCATION: 1031 MARLBOROUGH ST.; DETROIT, MI
ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.

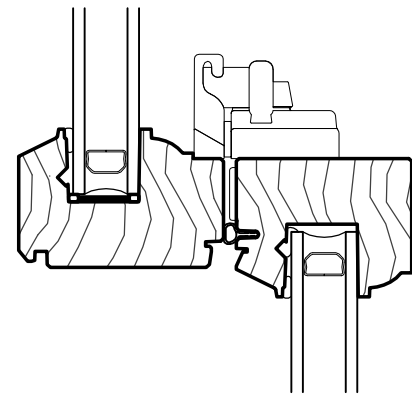
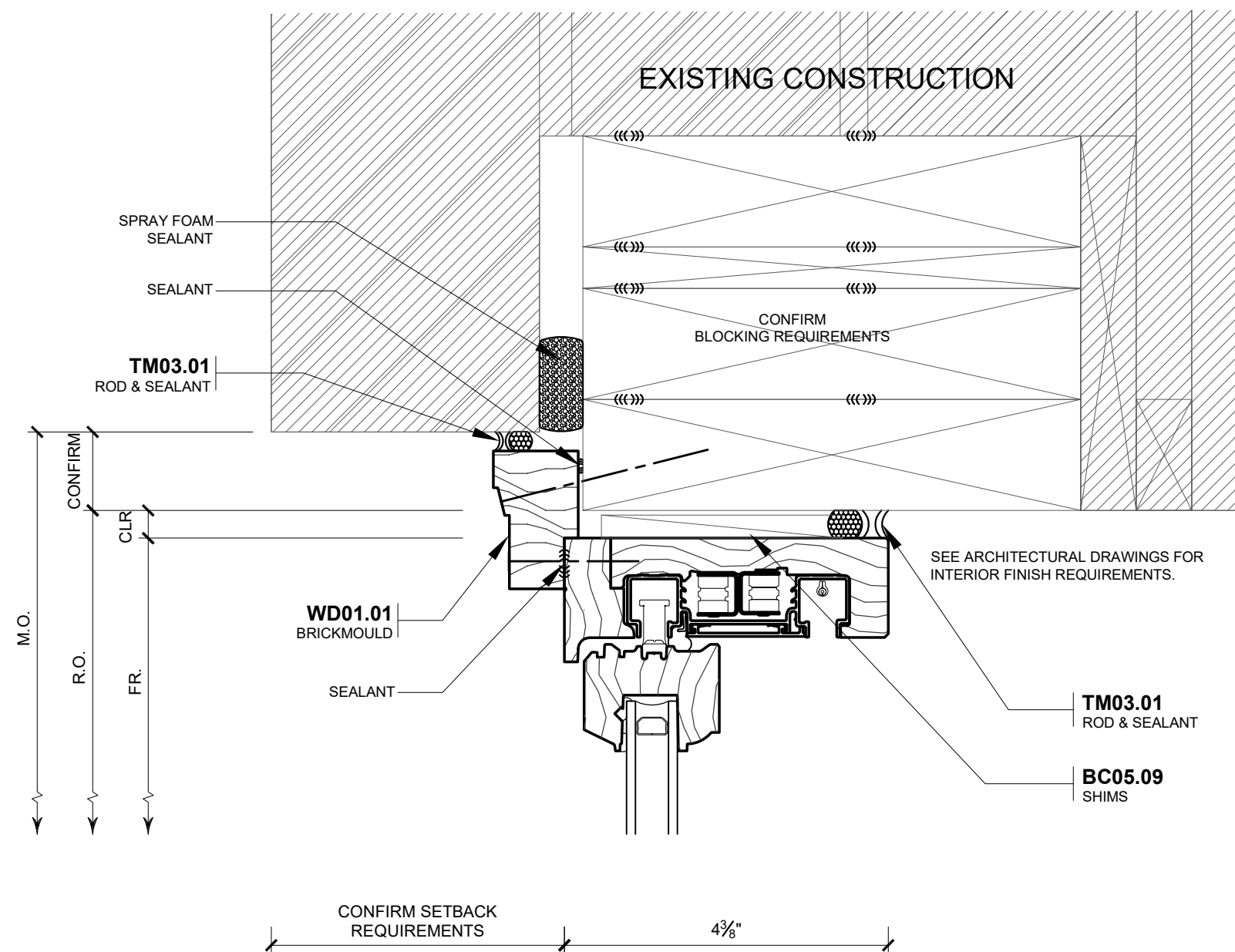
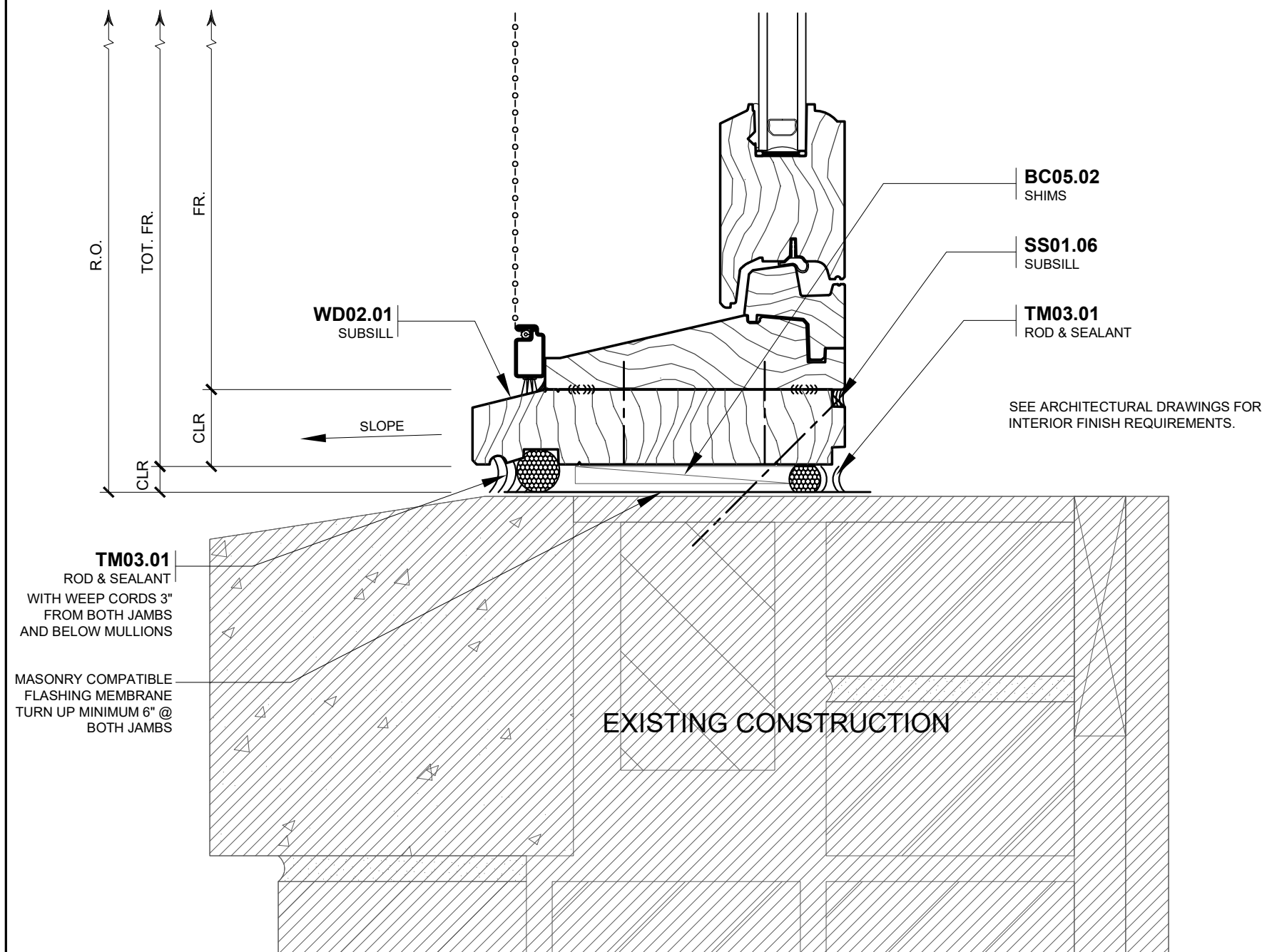
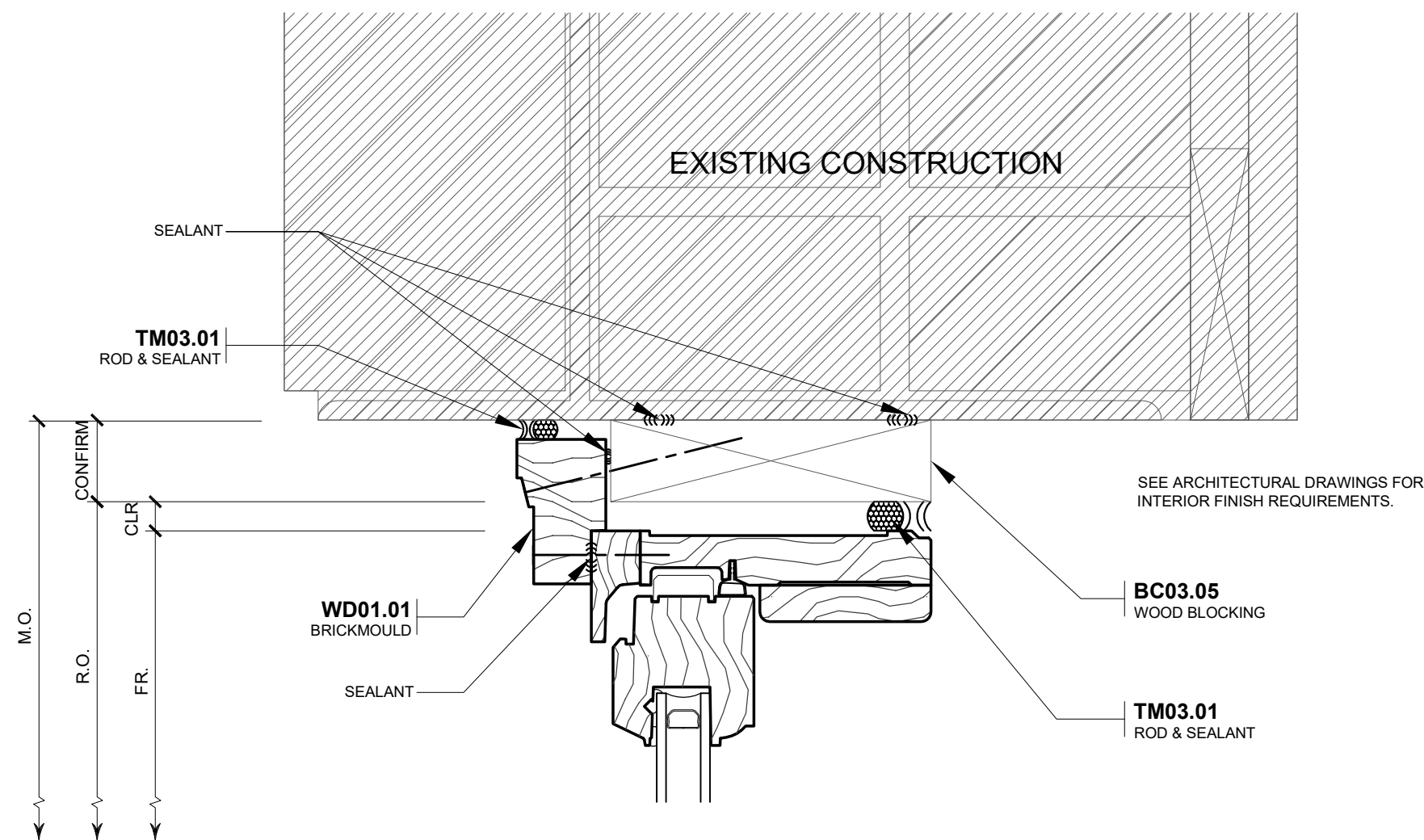
ORIGINAL: 2-7-19

DRAWN BY: NRK

CHECKED BY: G

Project No.:
206374.17

SHEET: 06 OF 10



DETAIL KEYNOTES

BC : BUILDING COMPONENTS (BY OTHERS)

BC03.05 CONTINUOUS WOOD BLOCKING. SEAL AND ANCHOR SECURELY TO WALL CONSTRUCTION.
BC05.02 LEVEL OPENING SILL PRIOR TO UNIT INSTALLATION. PROVIDE IMPERVIOUS SHIMS 1/2" FROM EACH
OPENING JAMB AND AT WINDOW MULLION AS REQUIRED. FOR VINYL WINDOWS, ADD SHIMS SO MAXIMUM
SPACING IS 18".
BC05.09 SHIM AND PLUMB UNITS AS PER INSTALLATION INSTRUCTIONS. (DO NOT OVER SHIM)

SS : SUBSILL / SILL PANS

SS01.06 ANCHOR UNIT THRU SUBSILL TO OPENING WITHIN 6" OF ENDS AND 16" ON CENTER (MAXIMUM).

TM : THERMAL AND MOISTURE PROTECTION

TM03.01 WATER RESISTANT BACKER ROD AND SEALANT.

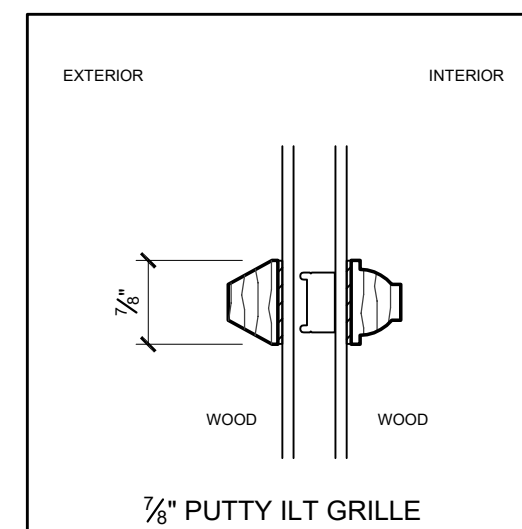
WD : WOOD WINDOW ACCESSORIES

WD01.01 BACK CAULK BRICKMOULD AND ANCHOR TO WALL CONSTRUCTION WITH 16d GALVANIZED NAILS WITHIN 6" OF ENDS AND 16" ON CENTER.

WD02.01 WOOD SUBSILL.


VERIFY EXISTING CONSTRUCTION

REVIEW ALL EXISTING CONSTRUCTION FOR OPENING SIZE & ENSURE STABILITY OF EXISTING MATERIALS. CONFIRM THAT THE PROPOSED DETAILS WILL COMPLY W/ EXISTING FLASHING TO PROVIDE EFFECTIVE WATER MANAGED SYSTEM.



G1	GRILLE SECTION
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REV#	DATE	REV#	DATE
1	2-14-19	1	-
2	2-26-19	2	-
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4	-	4	-
5	-	5	-
6	-	6	-



**ARCHITECTURAL
SUPPORT SERVICES**

D E P A R T M E N T

Windows and Door Installation Solutions

Pella Corporation
Pella, Iowa

INSTALLATION SHOP DRAWING FOR

MARLBOROUGH APARTMENTS BUILDING RENOVATIONS

LOCATION: 1031 MARLBOROUGH ST.; DETROIT, MI
ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.

ORIGINAL: 2-7-19

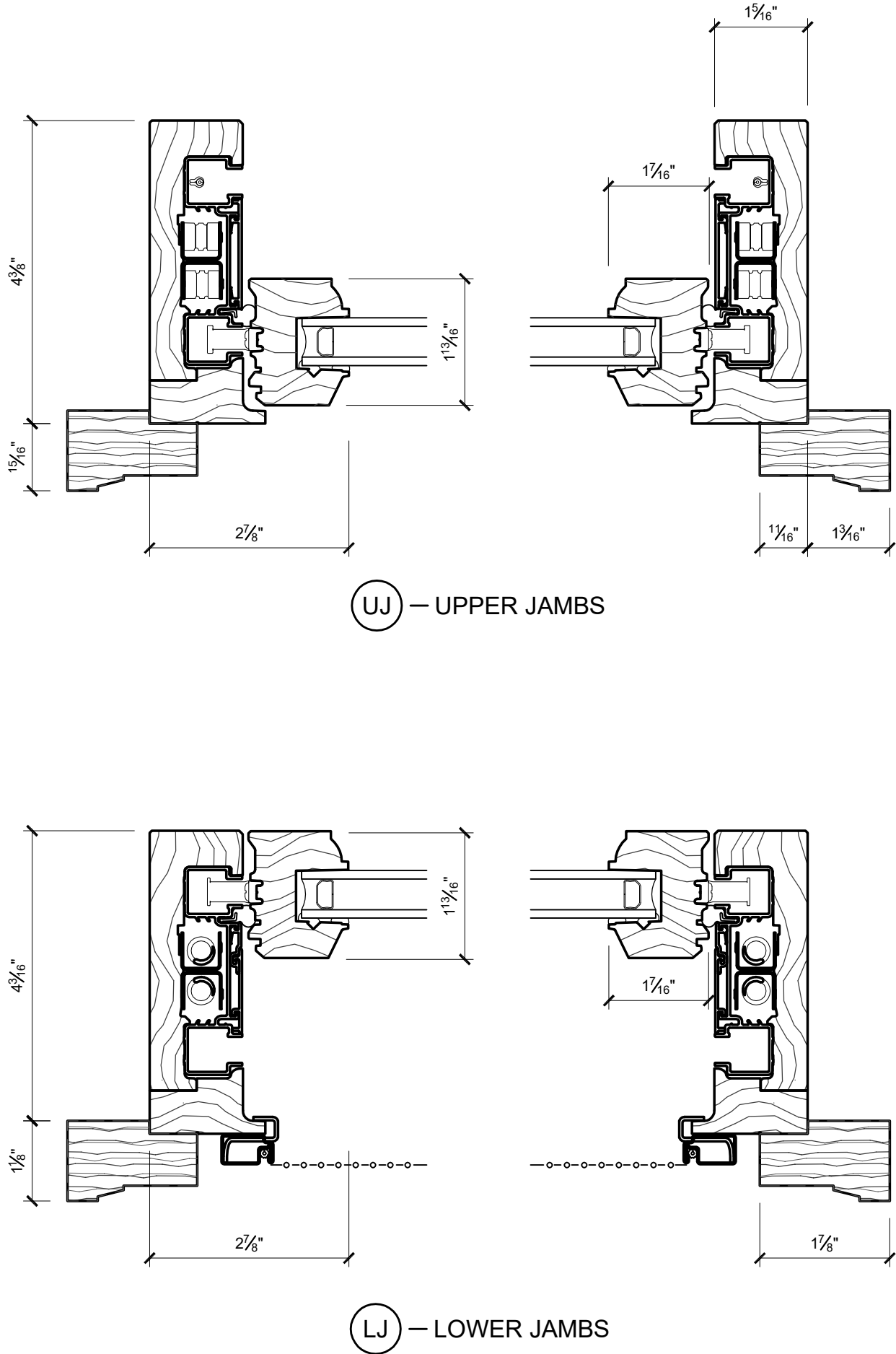
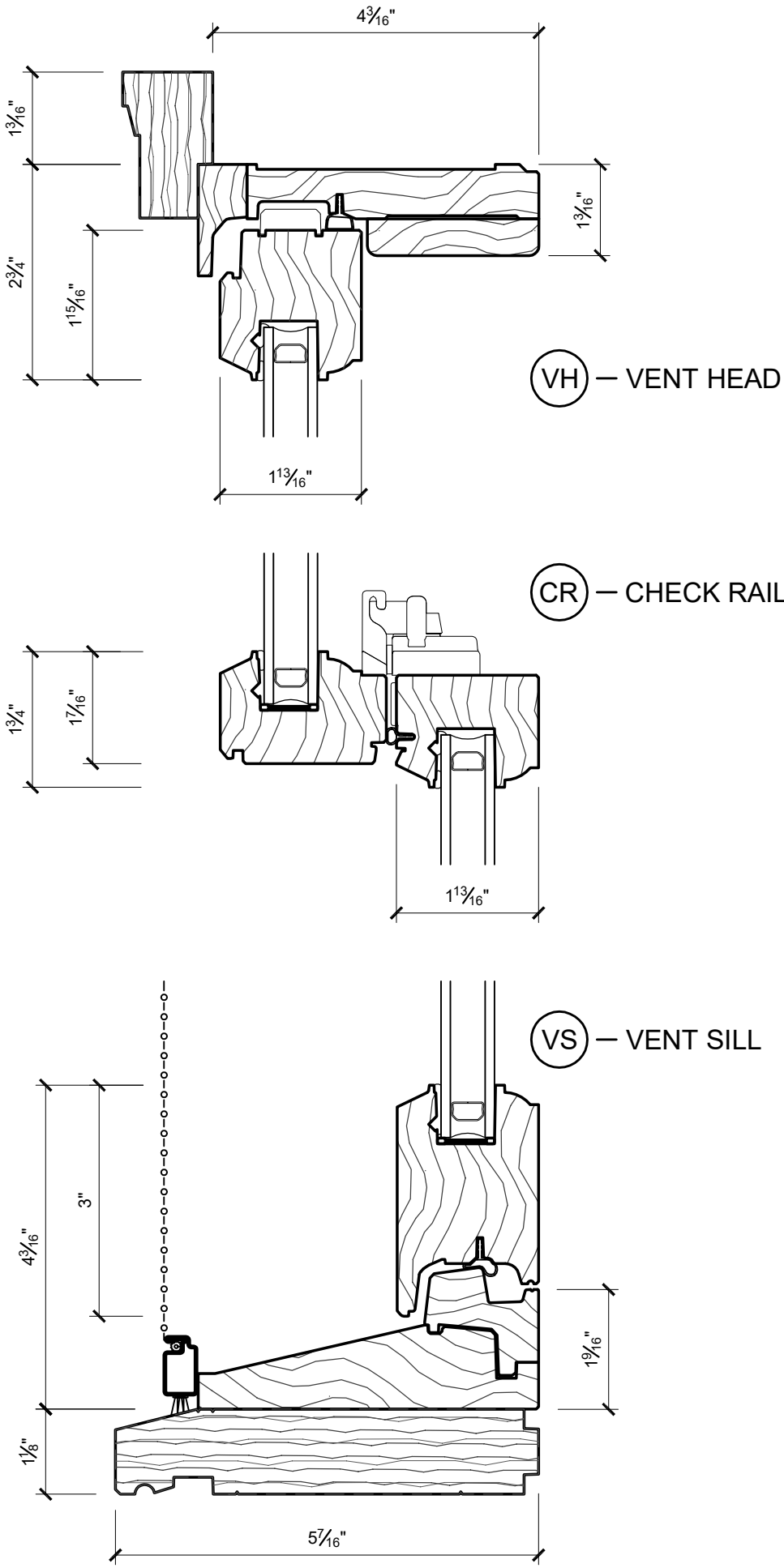
DRAWN BY: NRK

CHECKED BY: GG

Project No.:
206374.17

SHEET: 07 OF 10

DOUBLE HUNG



INSTALLATION SHOP DRAWING FOR

MARLBOROUGH APARTMENTS BUILDING RENOVATIONS

LOCATION: 1031 MARLBOROUGH ST., DETROIT, MI

ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.

ORIGINAL: 2-7-19

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CHECKED BY: GG

Project No.:
206374.17

SHEET:
08 OF 10



ARCHITECTURAL
SUPPORT SERVICES

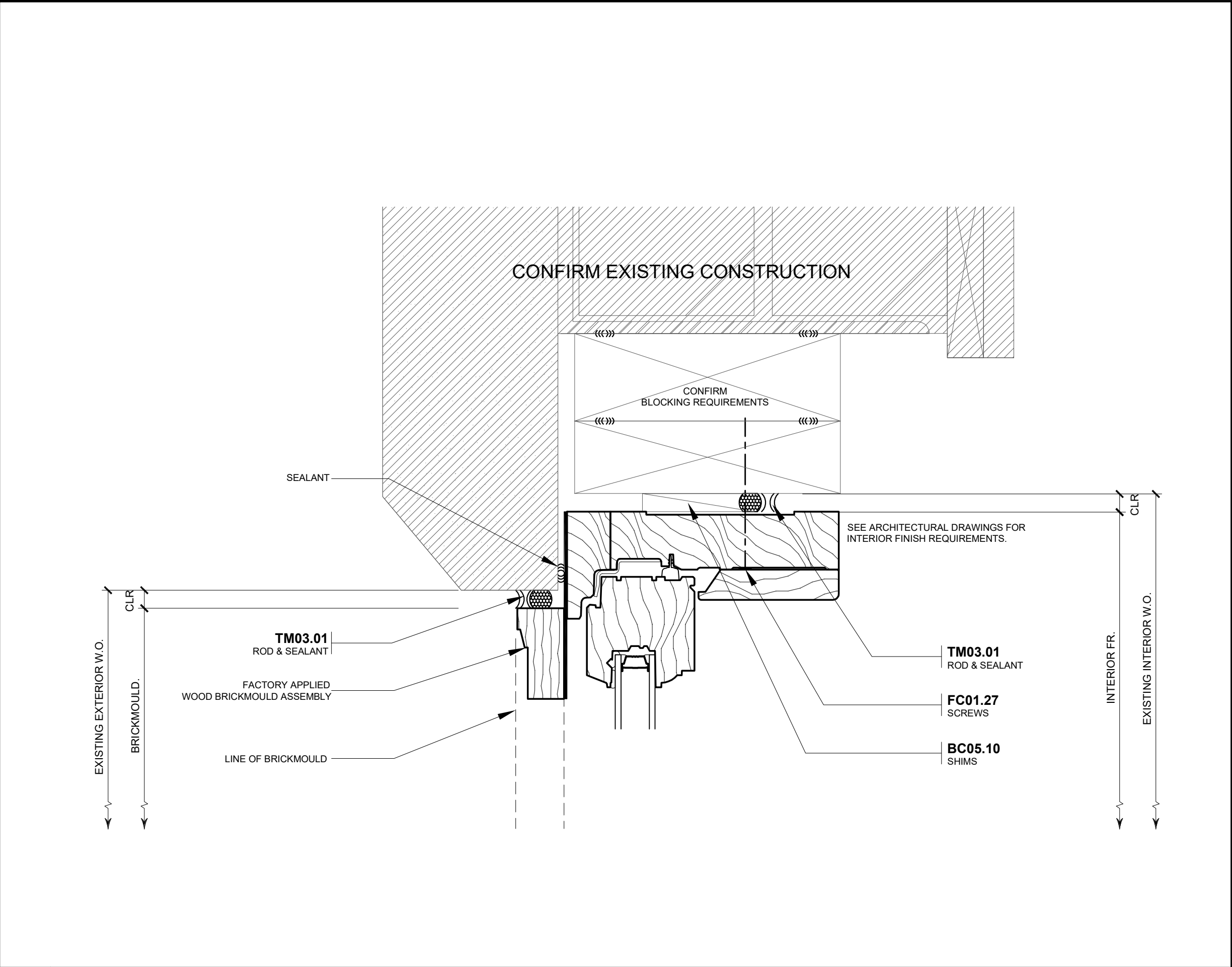
D E P A R T M E N T

Window and Door Installation Solutions

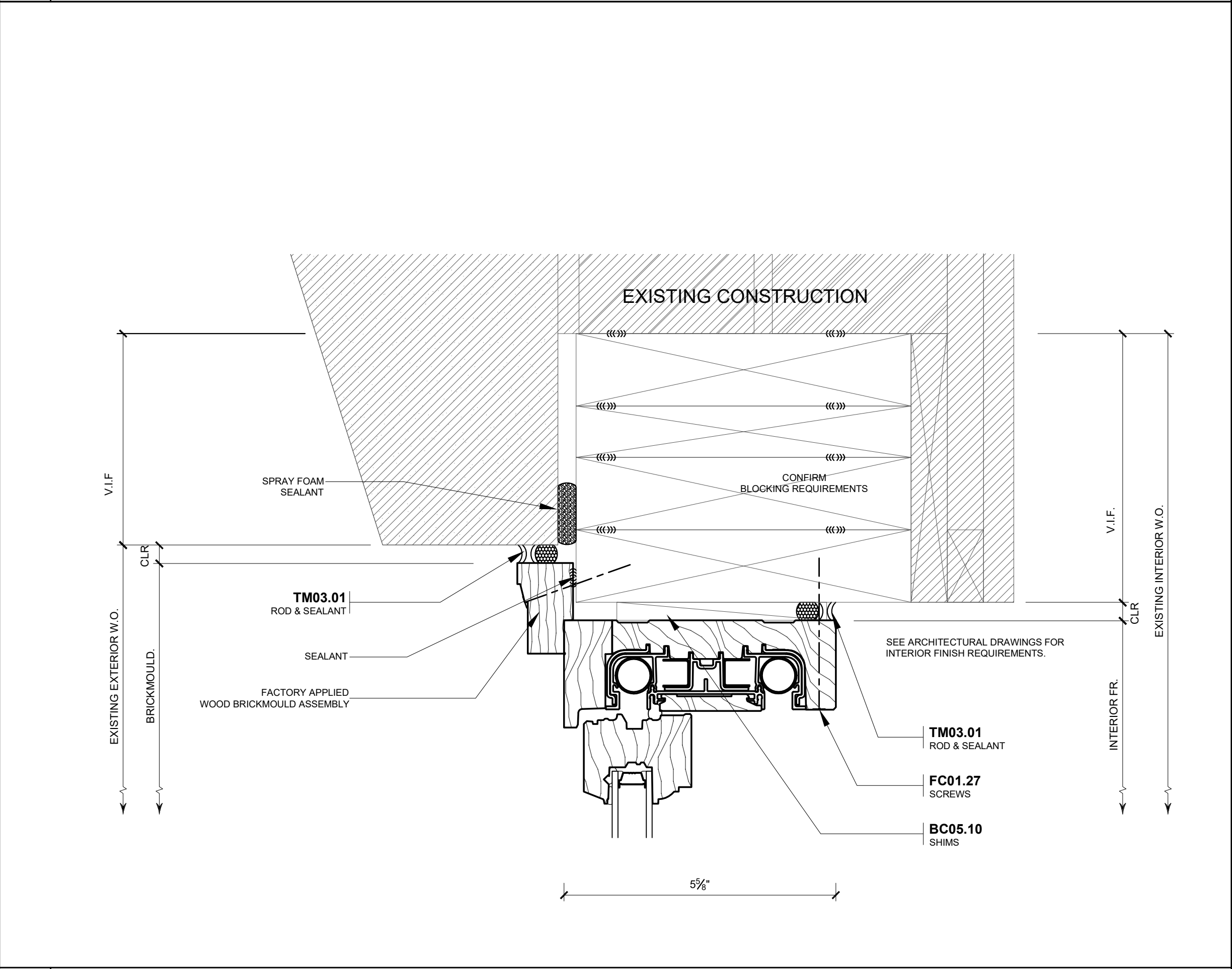
Pella Corporation
Pella, Iowa

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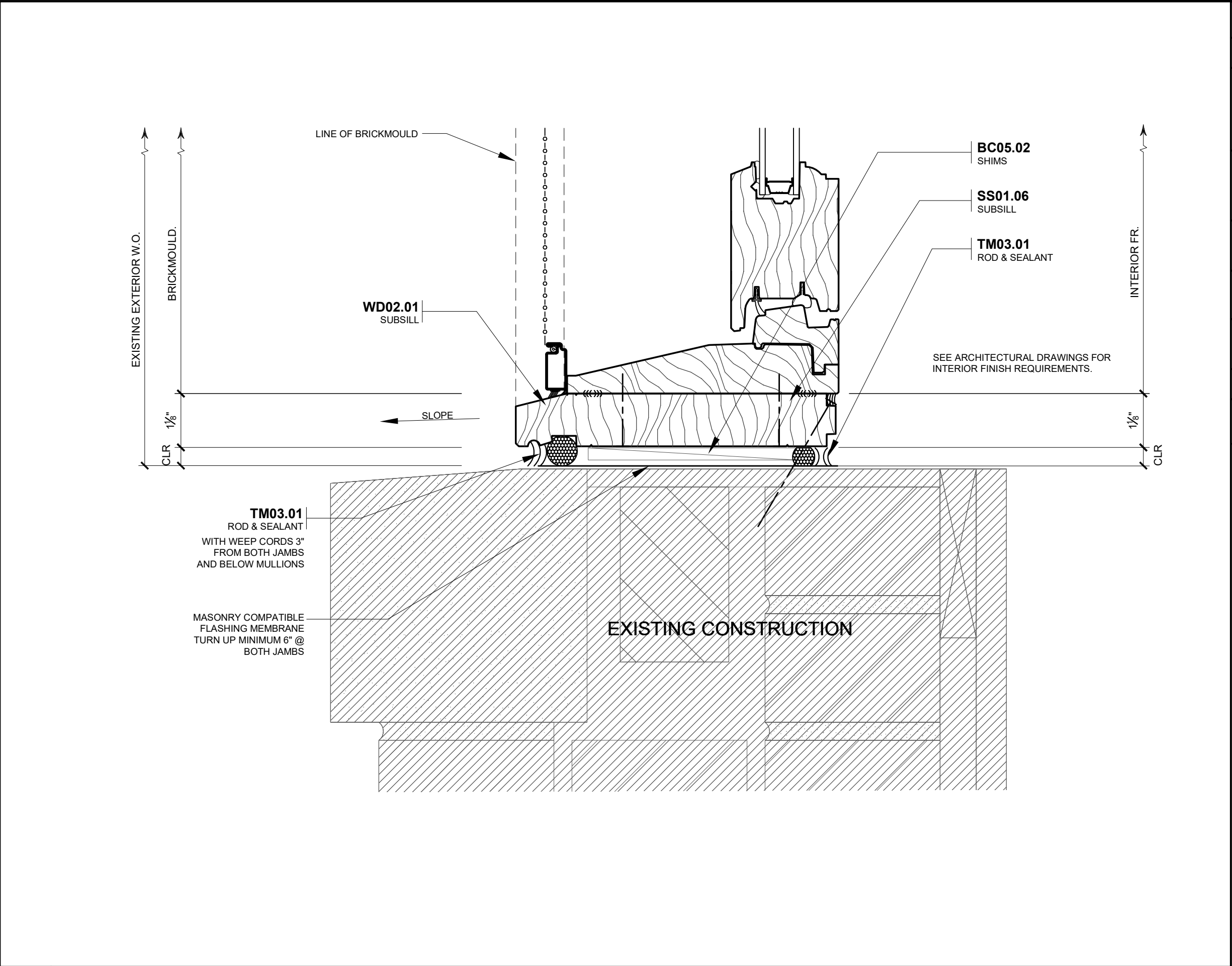
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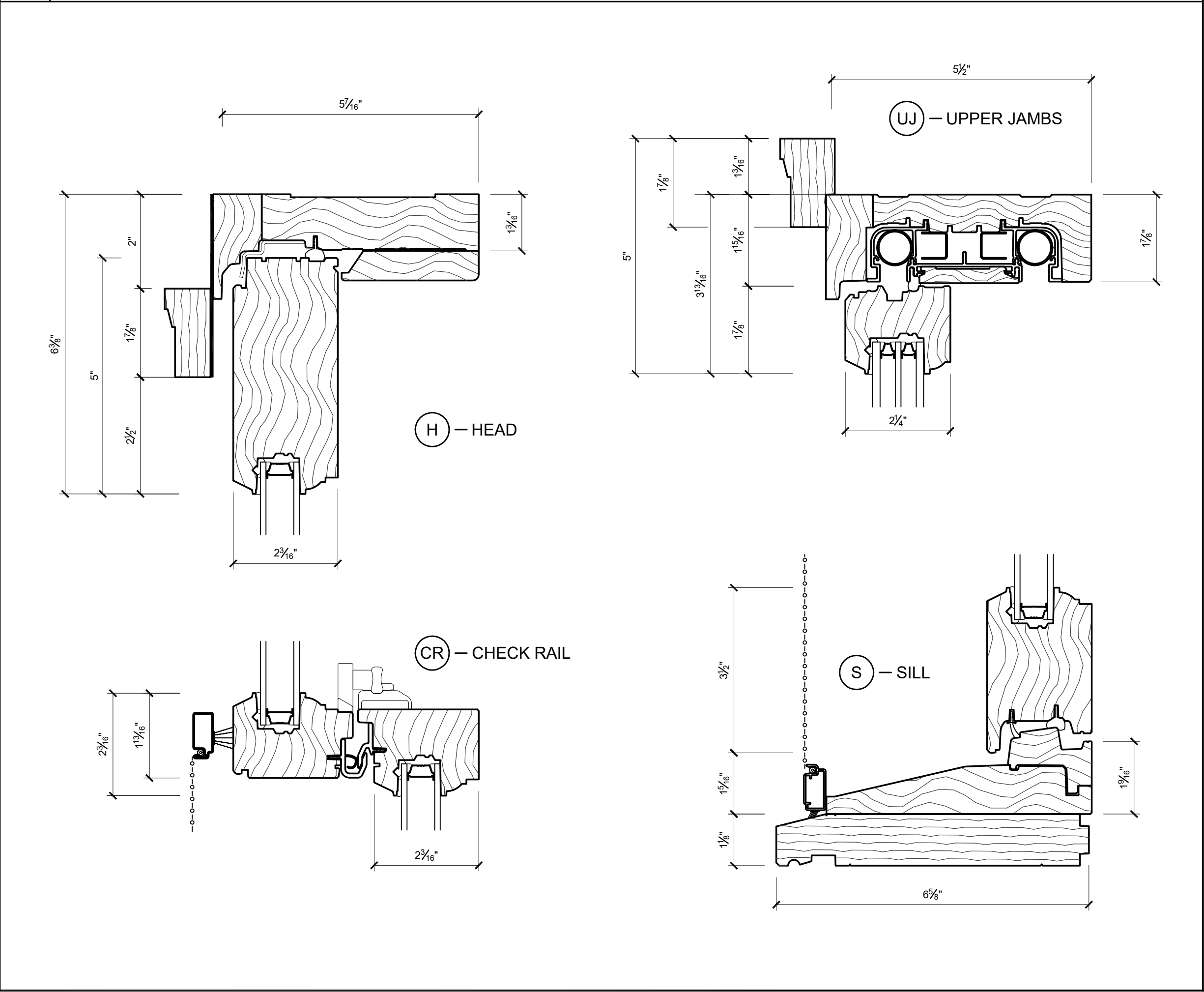
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REF. ARCH. DWG.: 3/EC-2



5 JAMB - SQUARE BACK 2
REF. ARCH. DWG.: 1/EC-2, 2/EC-2 (SIM.)




6 SILL - SQUARE BACK 2
REF. ARCH. DWG.: 5/EC-2



DETAIL KEYNOTES
BC : BUILDING COMPONENTS (BY OTHERS)
BC05.02 LEVEL OPENING SILL PRIOR TO UNIT INSTALLATION. PROVIDE IMPERVIOUS SHIMS 1/2" FROM EACH OPENING JAMB AND AT WINDOW MULLION AS REQUIRED. FOR VINYL WINDOWS, ADD SHIMS SO MAXIMUM SPACING IS 18".
BC05.10 SHIM AS REQUIRED AT ANCHORAGE LOCATIONS. (DO NOT OVER SHIM)
FC : FASTENING COMPONENTS
FC01.27 PRE-DRILL PILOT HOLES AND ANCHOR UNIT TO OPENING WITH #8 x 3 1/8" FINISH HEAD WOOD SCREWS SPACED WITHIN 6" OF OUTSIDE EDGE AND 16" ON CENTER MAXIMUM. CAUTION: SHIM AT ANCHORAGE LOCATIONS. DO NOT BOW WINDOW FRAME.
SS : SUBSILL / SILL PANS
SS01.06 ANCHOR UNIT THRU SUBSILL TO OPENING WITHIN 6" OF ENDS AND 16" ON CENTER (MAXIMUM).
TM : THERMAL AND MOISTURE PROTECTION
TM03.01 WATER RESISTANT BACKER ROD AND SEALANT.
WD : WOOD WINDOW ACCESSORIES
WD02.01 WOOD SUBSILL.
VERIFY EXISTING CONSTRUCTION
REVIEW ALL EXISTING CONSTRUCTION FOR OPENING SIZE & ENSURE STABILITY OF EXISTING MATERIALS. CONFIRM THAT THE PROPOSED DETAILS WILL COMPLY W/ EXISTING FLASHING TO PROVIDE EFFECTIVE WATER MANAGED SYSTEM.

ARCHITECTURAL
SUPPORT SERVICES

DEPARTMENT

**Pella Corporation**
Window and Door Installation Solutions
Pella, Iowa

REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE
1	2-14-19	2	2-28-19	3	-	4	-
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3	-	4	-	5	-	6	-
4	-	5	-	6	-	7	-
5	-	6	-	7	-	8	-

INSTALLATION SHOP DRAWING FOR

MARLBOROUGH APARTMENTS BUILDING RENOVATIONS

LOCATION: 1031 MARLBOROUGH ST., DETROIT, MI

ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.

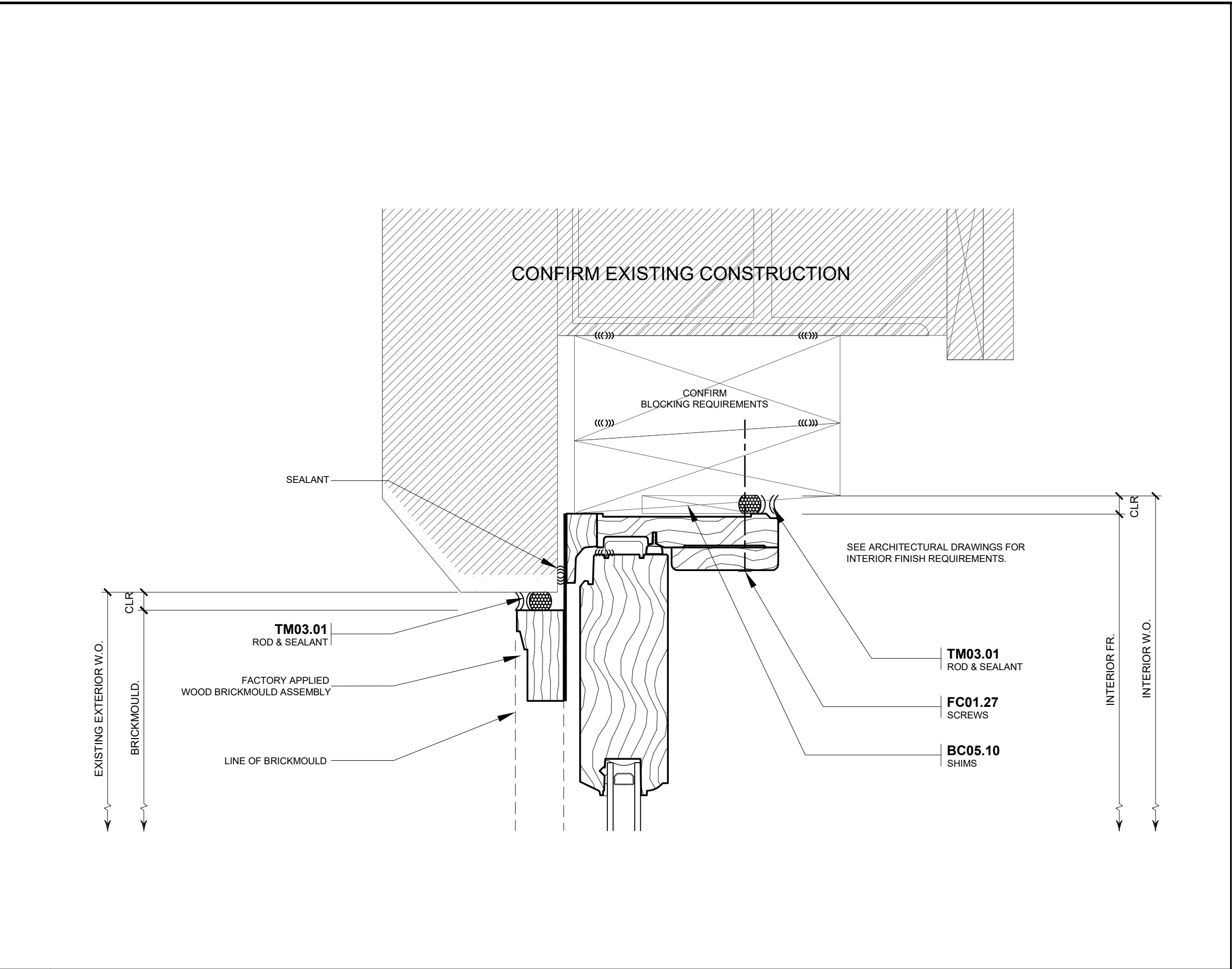
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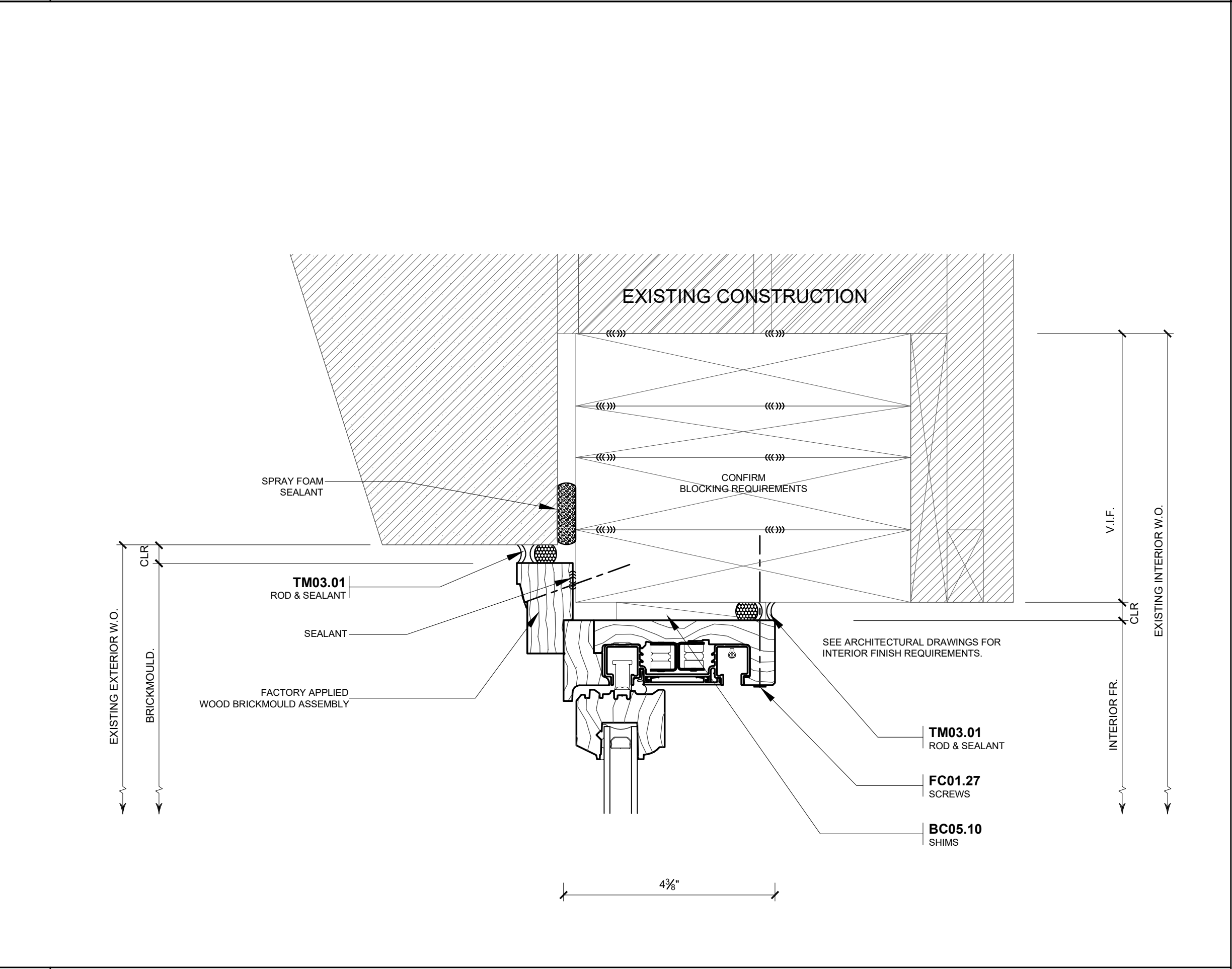
CHECKED BY: GG

Project No.: 206374.17

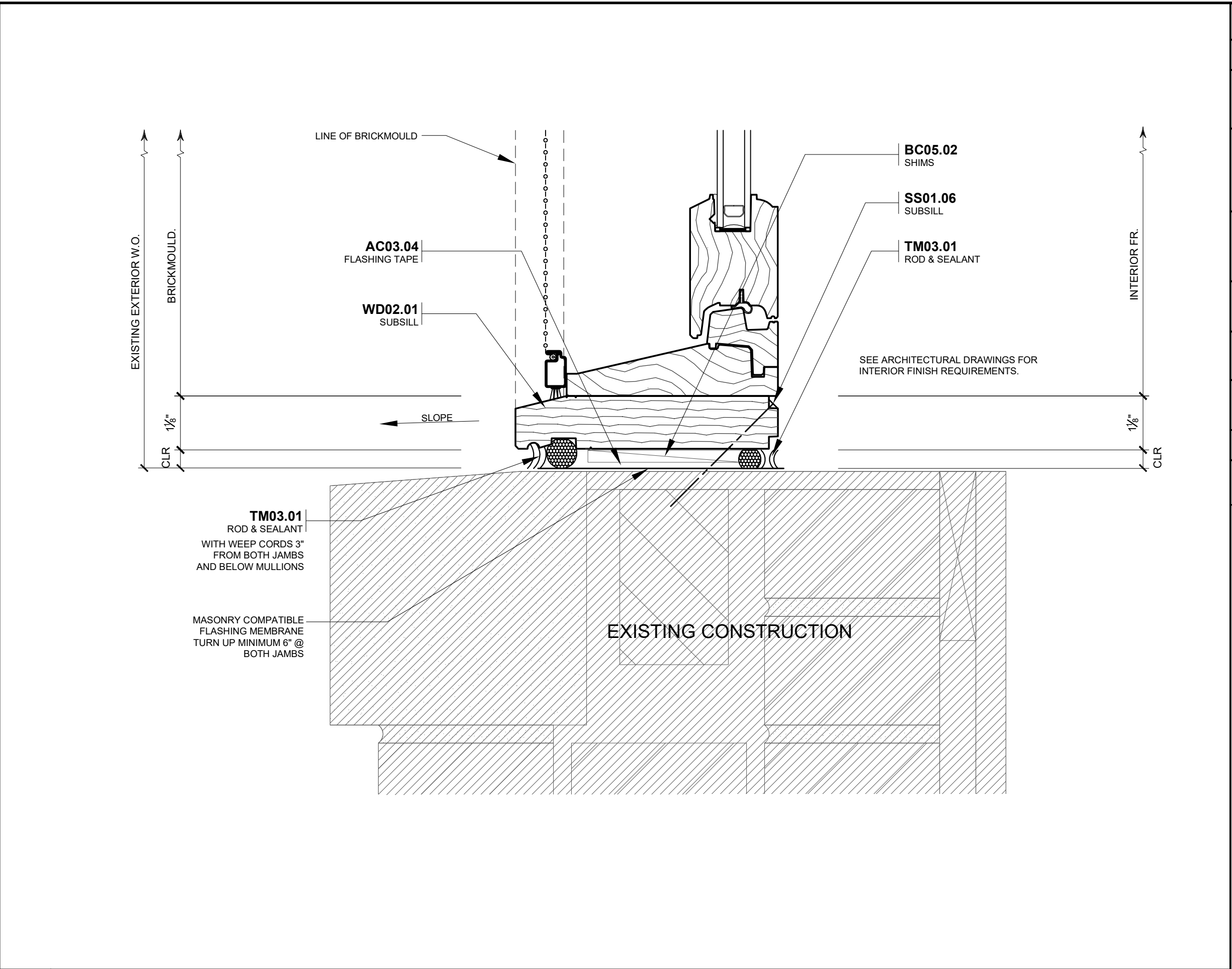
SHEET: 09 OF 10



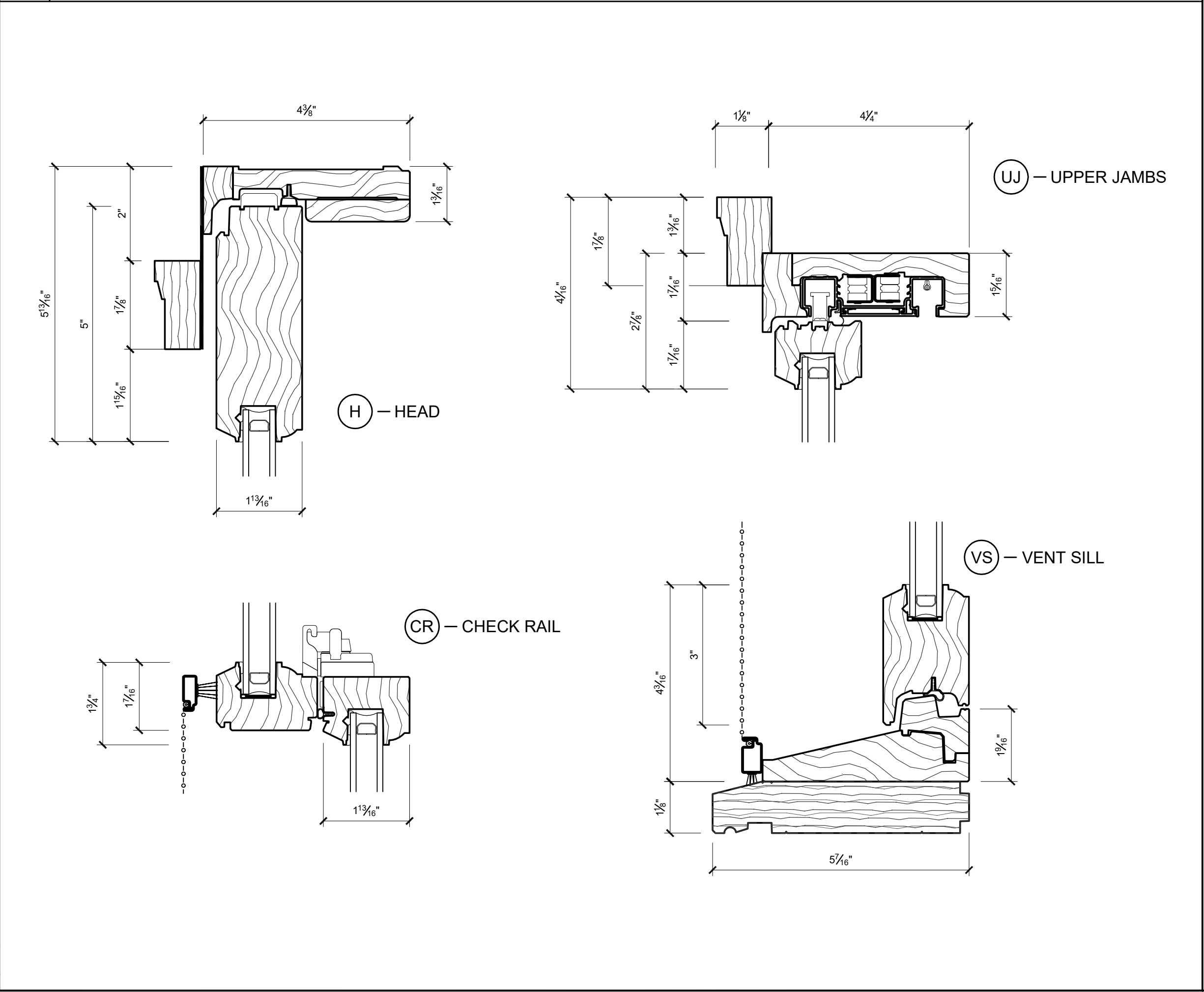
7 HEAD - SQUARE BACK 2
REF. ARCH. DWG.: 3/EC-2



8 JAMB - SQUARE BACK 2
REF. ARCH. DWG.: 1/EC-2, 2/EC-2 (SIM.)



9 SILL - SQUARE BACK 2
REF. ARCH. DWG.: 5/EC-2



DETAIL KEYNOTES
AC : ATTACHMENT COMPONENTS
AC03.04 PELLA SMARTFLASH FOIL BACKED, BUTYL WINDOW AND DOOR FLASHING TAPE (OR EQUAL), APPLY OVER ROUGH OPENING SILL EXTENDING 6" UP EACH JAMB AND OVERLAP TO EXTERIOR AS PER DETAIL.
BC : BUILDING COMPONENTS (BY OTHERS)
BC05.02 LEVEL OPENING SILL PRIOR TO UNIT INSTALLATION. PROVIDE IMPERVIOUS SHIMS 1/2" FROM EACH OPENING JAMB AND AT WINDOW MULLION AS REQUIRED. FOR VINYL WINDOWS, ADD SHIMS SO MAXIMUM SPACING IS 18"
BC05.10 SHIM AS REQUIRED AT ANCHORAGE LOCATIONS. (DO NOT OVER SHIM)
FC : FASTENING COMPONENTS
FC01.27 PRE-DRILL PILOT HOLES AND ANCHOR UNIT TO OPENING WITH #8 x 3 1/8" FINISH HEAD WOOD SCREWS SPACED WITHIN 6" OF OUTSIDE EDGE AND 16" ON CENTER MAXIMUM. CAUTION: SHIM AT ANCHORAGE LOCATIONS. DO NOT BOW WINDOW FRAME.
SS : SUBSILL / SILL PANS
SS01.06 ANCHOR UNIT THRU SUBSILL TO OPENING WITHIN 6" OF ENDS AND 16" ON CENTER (MAXIMUM).
TM : THERMAL AND MOISTURE PROTECTION
TM03.01 WATER RESISTANT BACKER ROD AND SEALANT.
WD : WOOD WINDOW ACCESSORIES
WD02.01 WOOD SUBSILL.

VERIFY EXISTING CONSTRUCTION
REVIEW ALL EXISTING CONSTRUCTION FOR OPENING SIZE & ENSURE STABILITY OF EXISTING MATERIALS. CONFIRM THAT THE PROPOSED DETAILS WILL COMPLY W/ EXISTING FLASHING TO PROVIDE EFFECTIVE WATER MANAGED SYSTEM.

REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE
1	2-14-19	2	2-25-19	3	-	4	-	5	-

ARCHITECTURAL
SUPPORT SERVICES
DEPARTMENT

Pella Corporation
Window and Door Installation Solutions
Pella, Iowa

INSTALLATION SHOP DRAWING FOR
MARLBOROUGH APARTMENTS BUILDING RENOVATIONS
LOCATION: 1031 MARLBOROUGH ST., DETROIT, MI
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