



February 21, 2019

Robbert McKay
Historic Architect
Michigan State Historic Preservation Office
702 W. Kalamazoo Street
Lansing, MI 48909

RE: IDAO Apartments (910 Marlborough Street, Detroit, Wayne County)
Part 2 – Description of Rehabilitation
Amendment 2

Dear Robb:

Please find enclosed two copies of Amendment 2 for the above referenced project. For convenience, we are including a full set of the Part 2 photographs and updated plans. The amendment addresses eight work items:

- The replacement window manufacturer for the street elevation has changed from Marvin to Pella.
- The city is requiring a fence at the street elevation basement door stair; applicant is conveying that design.
- The vinyl windows on the side and rear elevations will be retained and repaired, not replaced. At the glass block windows on these elevations, applicant is proposing to install vinyl matching the existing on the elevation to match the remainder. If this is a problem, the Pella product comparable to the front elevation would be acceptable.
- Two windows on the south alley at the ground will need to be enlarged for fire egress.
- Details are provided for the brick vents on the side and rear elevations; dryer vents are being deleted from the project.
- The door openings on the rear (east) elevation were to be infilled with brick; applicant is now proposing to infill with painted wood.
- Perimeter furring of interior walls was previously approved; this amendment conveys details.
- Finally, the applicant is proposing to install carpet over the underlayment rather than wood floors.

Robbert McKay, Historic Architect
Michigan State Historic Preservation Office
RE: IDAO Apartments (910 Marlborough St., Detroit, Wayne County), *Amendment 2*
February 21, 2019
Page 2

Should you have any questions or require additional information, please don't hesitate to contact me by telephone at (503) 228-0272 or by email at rmawson@heritage-consulting.com.

Sincerely,



Robert L. Mawson
Vice President

Cc: Monique Becker, Shelborne Development, LLC



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
AMENDMENT / ADVISORY DETERMINATION**



FILE COPY

NPS Project Number
30285

Instructions: This page must bear the applicant's original signature and must be dated.

1. Property name IDA0 Apartments
Property address 910 Marlborough Street

2. This form includes additional information requested by NPS for an application currently on hold.
 updates applicant or contact information.
 amends a previously submitted Part 1 Part 2 Part 3 application.
 requests an advisory determination that phase _____ of _____ phases of this rehabilitation project meets the Secretary of the Interior's Standards for Rehabilitation. Phase completion date _____
 Estimated rehabilitation costs of phase (QRE) _____

Summarize information here; continue on following page if necessary.

Amendment 2 proposes *project* revisions

3. Project Contact (if different from applicant)
 Name John M. Tess, President Company Heritage Consulting Group
 Street 1120 NW Northrup Street City Portland State OR
 Zip 97209-2852 Telephone (503) 228-0272 Email Address jmtess@heritage-consulting.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Kathy Makino Signature Date 2-21-19
 Applicant Entity Shelbourne Development Company LLC SSN _____ or TIN 36-3586430
 Street 8445 East Jefferson Avenue City Detroit State MI
 Zip 48214-2721 Telephone (734) 905-8323 Email Address kathysmakino@aol.com

Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed this amendment to the Historic Preservation Certification Application and has determined that the amendment:

- meets the Secretary of the Interior's Standards for Rehabilitation.
 will meet the Secretary of the Interior's Standard for Rehabilitation if the attached conditions are met.
 does not meet the Secretary of the Interior's Standards for Rehabilitation.
 updates the information on file and does not affect the certification.

Advisory Determinations:

- The National Park Service has determined that the work completed in this phase is consistent with the Secretary of the Interior's Standards for Rehabilitation. This determination is advisory only. A formal certification of rehabilitation can be issued only after all rehabilitation work and any associated site work or new construction have been completed. This approval could be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. A copy of this form will be provided to the Internal Revenue Service.

Date _____ National Park Service Authorized Signature _____

NPS conditions or comments attached

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

Amendment 2 conveys project design changes.

ITEM 2

ARCHITECTURAL FEATURE: West (Marlborough Street) Elevation

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: Two changes are proposed for the west elevation.

1. In Amendment 1, applicant conveyed product information for west elevation replacement windows. At that time, the product was Marvin Ultimate Insert Double-Hung. Applicant is now proposing a Pella product similar to the Marvin. Drawings and product information is attached. Proposed glazing is Cardinal LoE-272. It is clear, without tint or reflectivity.

2. In the Part 2, it was noted that the retaining wall at the north would be rebuilt to meet egress code. As part of this work, code is also requiring the installation of a rail. Design is conveyed here.

PHOTOS: 1 (from the Part 2 application); see also supplemental photo A
(attached)

DRAWINGS: A-3 and C-1 (Archive DS, dated 02.21.19)
(attached) See also 02, 03 and 06 (Pella 2-21-19)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 3

ARCHITECTURAL FEATURE: South (alley) – Enlarged Window Openings

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: In order to meet egress code for the basement apartments, two ground floor window openings along the alley will need to be slightly enlarged and a new casement style window installed in the opening. Applicant is proposing that this window be vinyl, matching the remainder of the south elevation windows. Alternatively, applicant is willing to install a clad window in these locations.

PHOTOS: 6 (from the Part 2 application) (attached)

DRAWINGS: A-3 (Archive DS, dated 02.21.19)
(attached) See also 02, 05, 06 and 07 (Pella 2-21-19)

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 6-8

ARCHITECTURAL FEATURE: Interior – Perimeter Wall Furring

DATE OF FEATURE: 1927. C. 2000

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: In the Part 2, the applicant noted that all perimeter walls have been stripped to the brick and proposed furring the walls and finishing the spaces with painted gypsum board. This amendment conveys furring details.

PHOTOS: All interior (11-25 from the Part 2 application)
(attached)

DRAWINGS: A-10 (Archive DS, dated 01.17.19)
(attached)

**CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application**

IDAO Apartments

Property Name

910 Marlborough Street, Detroit, Wayne County, Michigan

Property Address

ITEM 12

ARCHITECTURAL FEATURE: Mechanicals - Vents

DATE OF FEATURE: New Construction

EXISTING FEATURE AND CONDITION: N/A

WORK AND IMPACT ON FEATURE: In the Part 2, applicant proposed installing dryer and brick vents on the secondary elevations. The dryer vents have been eliminated. Vents are limited to the roof line. Proposed product is Ruskin BV100, painted to blend.

PHOTOS: 6, 8, 9 (from the Part 2 application)
(attached)

DRAWINGS: A-3 (Archive DS, dated 01.17.19)
(attached)

OTHER: Ruskin BV100 Product Specifications
(attached)



1. Exterior View, West Elevation, Looking E



2. Exterior View, West and South Elevations, Looking NE



3. Exterior Detail, West Elevation at South, Upper Floors, Looking W



4. Exterior Detail, West Elevation at South, Lower Floors, Looking W



5. Exterior Detail, West Elevation, Entry at Center, Looking W



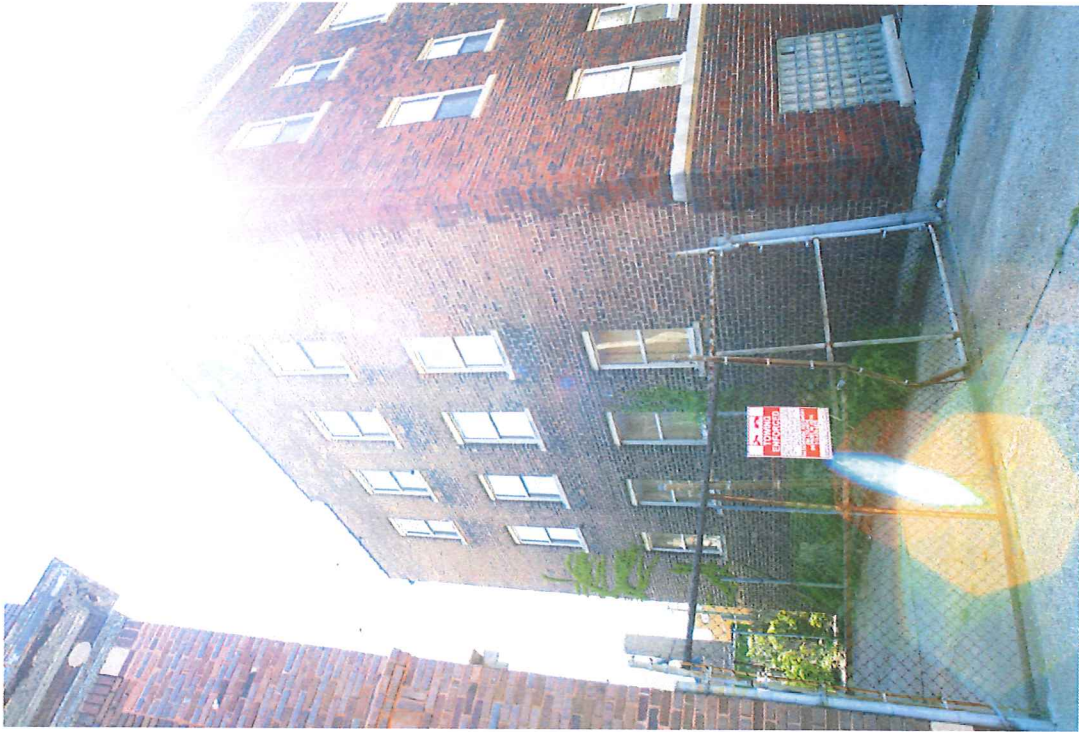
6. Exterior View, South Elevation, Looking N



7. Exterior View, South and East Elevations, Looking NW



8. Exterior View, East Elevation, Looking W



9. Exterior View, North Elevation, Looking SE



10. Interior View, First Floor, Entry, Looking W



11. Interior View, First Floor, Stair at Center-West, Looking W



12. Interior View, First Floor at Northwest, Looking SE



13. Interior View, First Floor at Northwest, Looking S



14. Interior View, First Floor at Southeast, Looking N



15. Interior View, Second Floor, Stair at Center-West, Looking W



16. Interior View, Second Floor at Center-West, Looking N



17. Interior View, Second Floor at Northeast, Looking SW



18. Interior View, Second Floor at Southwest, Looking E



19. Interior View, Third Floor at Center-East, Looking E



20. Interior View, Third Floor at Northwest, Looking SE



21. Interior View, Third Floor at Northwest, Looking E



22. Interior View, Third Floor at Southwest, Looking NE



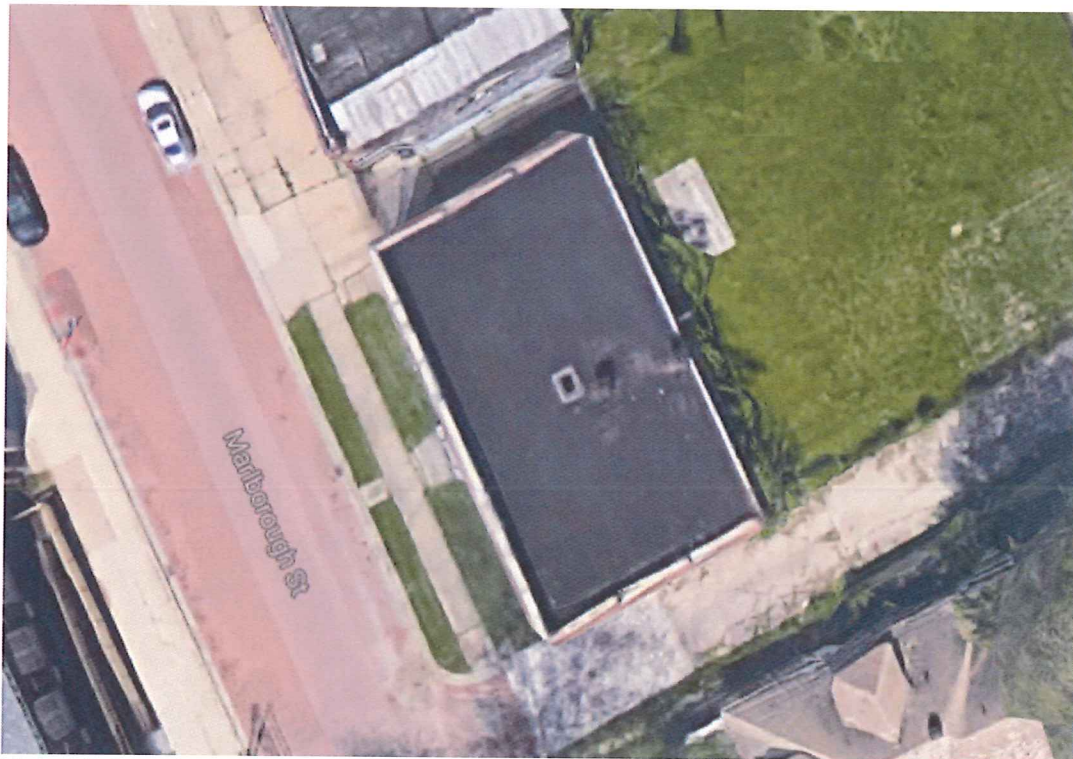
23. Interior View, Third Floor at Southwest, Looking E



24. Interior View, Basement at Center-East, Looking NW



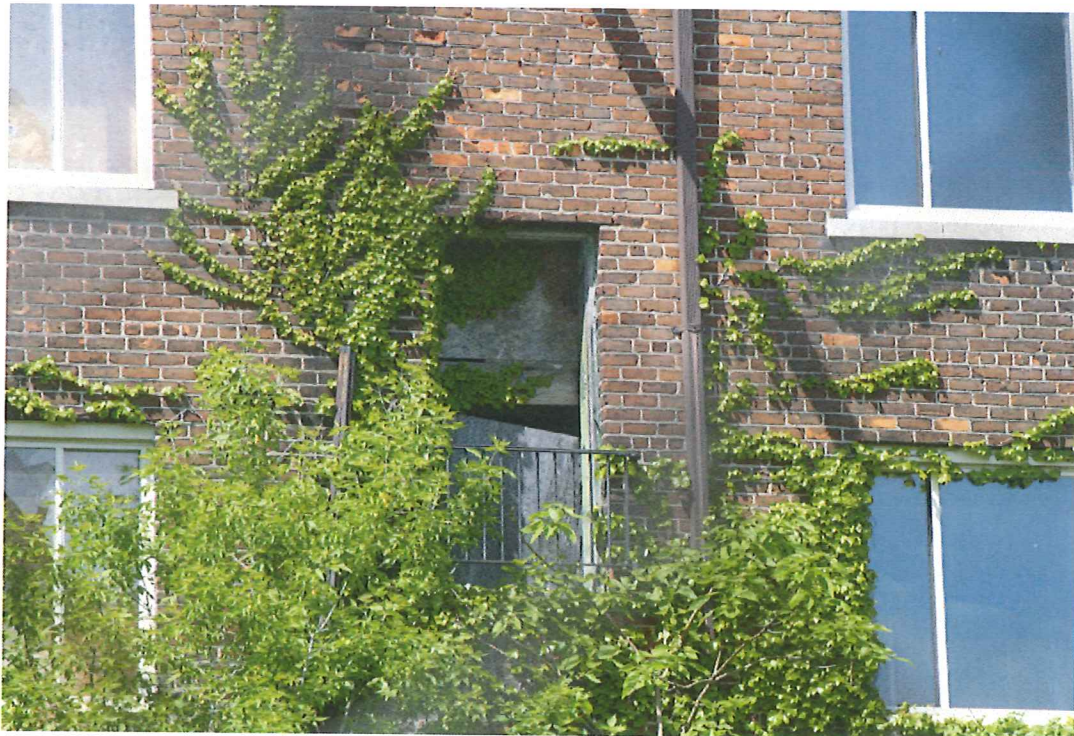
25. Interior View, Basement at Center-South, Looking N



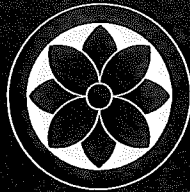
26. Aerial View of Roof (Source: Google)



Supplemental Photo A: Exterior View, West Elevation, Retaining Wall to Basement Door



Supplemental Photo B: Exterior View, East Elevation, Center Bay Doorway, Typical



BUILDING OWNER:
SHELBORNE DEVELOPMENT
8445 E. JEFFERSON
DETROIT, MI 48214
(313) 459-8243

NO. TITLE

C-1	SITE PLAN / GEN. NOTES
GN-1	ABBREVIATIONS AND LEGEND
GN-2	GENERAL NOTES
GN-3	GENERAL NOTES
AD-1	EXISTING PLANS
A-1	BASEMENT AND FIRST FLOOR PLAN
A-2	SECOND AND THIRD FLOOR PLAN
A-3	ELEVATIONS
A-4	SECTIONS
A-5	ENLARGED ELEVATION
A-6	STAIR SECTIONS AND DETAILS
A-7	INTERIOR ELEVATIONS
A-8	MISC. DETAILS
A-9	NEW FLOOR DETAILS
A-10	WINDOW DETAILS
A-X	FURNITURE PLANS
M-1	BASEMENT AND FIRST FLOOR HVAC
M-2	SECOND AND THIRD FLOOR HVAC
M-2.1	ROOF PLAN HVAC
M-3	OUTSIDE AIR REQUIREMENTS
M-4	MECHANICAL SPECIFICATIONS
P-1	BASEMENT AND FIRST FLOOR PLUMBING
P-2	SECOND AND THIRD FLOOR PLUMBING
P-3	WATER RISERS
P-4	SANITARY RISERS
M-7	MECHANICAL SPECS.
E-1	BASEMENT AND FIRST FLOOR ELECTRICAL
E-2	SECOND AND THIRD FLOOR ELECTRICAL
E-3	ELECTRICAL SPECS. AND RISERS
E-4	ROOF PLAN ELECTRICAL

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ArchiveDS

615 GRISWOLD STE. 1710
DETROIT - MI 48226

313.963.6687
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A PORTION OF THE DRAWINGS ARE COPY

PRINT DATE: 01.17.19



MARLBOROUGH APARTMENTS

910 MARLBOROUGH STREET

CONDITIONS OF THE CONTRACT

1) THE PURPOSE OF THE DRAWINGS IS TO INDICATE THE DESIGN INTENT OF THE PROJECT. THE OWNER PROVIDED SUB CONTRACTORS ARE RESPONSIBLE FOR THE MEANS AND METHOD OF CONSTRUCTION OUTSIDE THOSE SPECIFICALLY INDICATED IN THE DRAWINGS.

2) THE CONTRACTOR WILL NOTIFY THE OWNER AND ARCHITECT OF CONFLICTS BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS.

3) CONTRACTORS SHALL COORDINATE THE SELECTION AND INSTALLATION OF THE FINISH MATERIALS AND LIGHTING FIXTURES WITH THE OWNER AND THE ARCHITECT.

4) A PRODUCT SPECIFIED BY REFERENCE STANDARD SHALL COMPLY WITH THE REQUIREMENTS OF THE STANDARD IN EFFECT ON THE DATE OF THE BIDDING DOCUMENTS, UNLESS A DATE IS SPECIFIED WITH THE STANDARD, THEN THE EDITION OF THE STANDARD SO DATED SHALL GOVERN.

5) NO PROVISION OF ANY REFERENCE STANDARD, MANUAL, STATUTE, CODE, OR REGULATION (WHETHER OR NOT SPECIFICALLY INCORPORATED OR REFERENCED IN THE DOCUMENTS) SHALL BE EFFECTIVE TO CHANGE THE DUTIES OF THE OWNER, THE ARCHITECT, OR THE CONTRACTOR, OR ANY OF THEIR OFFICERS, EMPLOYEES, OR CONSULTANTS, NOR SHALL IT BE USED TO AUTHORIZE THE ARCHITECT OR ANY OF HIS OFFICERS, EMPLOYEES, OR CONSULTANTS TO SUPERVISE OR DIRECT THE FURNISHING OR INSTALLATION OF ANY WORK.

6) THE ROLE OF THE ARCHITECT DURING CONSTRUCTION IS AS FOLLOWS:

(1) INTERPRETING MATTERS CONCERNING REQUIREMENTS OF THE CONTRACT DOCUMENTS IN RESPONSE TO WRITTEN OR VERBAL REQUESTS FROM THE OWNER.
(2) REVIEWING AND ADVISING THE OWNER AS TO THE APPROPRIATENESS OF THE CONTRACTOR'S SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES.

7) CONTRACTOR SHALL INSURE THE PROTECTION OF THE PERSONS AND PROPERTY INCLUDING THREAT FROM TOXIC MATERIALS OR SUBSTANCES.

8) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, TESTING AND BALANCING OF THE HVAC AND ELECTRICAL SYSTEMS.

CLEANING OF PREMISES

-CONTRACTOR SHALL NOT ALLOW TO ACCUMULATE AND SHALL REMOVE, AT THEIR OWN EXPENSE, FROM THE PREMISES AND THE SITE, AT LEAST ONCE A WEEK. THEIR SURPLUS AND SCRAP MATERIAL, BULK WASTE AND DEBRIS, RESULTING FROM THEIR WORK AND THE WORK OF THEIR EMPLOYEES AND SUBCONTRACTORS.

-ALL SUCH DEBRIS AND WASTE THAT IS COMBUSTIBLE SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH DAY.

-GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN-UP OF THE ENTIRE SITE.

-ALL GLASS IS TO BE PROFESSIONALLY CLEANED.

SCOPE OF WORK NOTES

1.CLEAN EXTERIOR OF BUILDING PER SPECIFICATIONS. (SEE SHT. A-3)

2.CLEAN COMPLETELY ALL LIMESTONE SURFACES INCLUDING RUST STAINS BY POWER WASHING WITH MASONRY CLEANER.

3.FIELD VERIFY STRUCTURAL INTEGRITY OF STEEL LINTEL OVER EXISTING EXTERIOR OPENINGS INCLUDING BUT NOT LIMITED TO WINDOWS AND DOORS. CAREFULLY REMOVE ALL STRUCTURALLY DEFORMED, FATIGUED, AND SEVERELY RUSTED STEEL LINTELS. FURNISH AND INSTALL NEW STEEL LINTEL. MATCH THICKNESS AND PROFILE OF ORIGINAL STEEL. NOTIFY ARCHITECT IMMEDIATELY OF UNACCEPTABLE CONDITIONS BEFORE PROCEEDING WITH THE WORK.

4.FIELD VERIFY ALL MASONRY OPENINGS PRIOR TO FABRICATION OF NEW WINDOWS AND DOORS.

5.REMOVE ALL EXPOSED AND/OR ABANDONED UTILITY WIRES OR CONDUIT. CAP OFF WIRES AND PROVIDE PAINTED STEEL COVER PLATE OVER ABANDONED JUNCTION BOXES.

6.SHOP PRIME AND FIELD PAINT NEW STEEL LINTELS TO MATCH ADJACENT CONSTRUCTION. PRIMING AND PAINTING OF STEEL LINTELS SHALL BE PERFORMED BEFORE INSTALLATION OF NEW WINDOW SYSTEM.

7.REMOVE DETERIORATED AND LOOSE SEALANT FROM ALL JOINTS AND AROUND OPENINGS. CLEAN JOINTS AND RESEAL WITH BACKER ROD AND SEALANT.

8.TUCK POINT ALL MASONRY JOINTS OPENED BEFORE AND AFTER MASONRY CLEANING INCLUDING LIMESTONE UNITS AT ENTRY.

9.SRAPE, PRIME, AND PAINT ALL EXPOSED SHEET METAL WORK.

10.CAREFULLY REMOVE EXISTING LIMESTONE UNITS OR SILLS WHERE INDICATED ON DRAWINGS. INSTALL NEW LINTEL. RE-INSTALL EXISTING LIMESTONE (USE STAINLESS STEEL OR BRONZE ANCHORS AS REQUIRED TO SECURE MASONRY TO STRUCTURE.)

11.EXISTING LINTELS THAT ARE TO REMAIN SHALL BE SANDBLASTED DOWN TO BARE METAL. PAINT USING ONE COAT OF EXTERIOR GRADE PRIMER AND TWO TOP COATS.

12.ALL SHIMS AND BLOCKING SHALL BE TREATED LUMBER. BLOCKING AT SILLS SHALL BE CONTINUOUS.

13.PROVIDE SEALANT WHERE SHOWN ON THE DRAWING AND REQUIRED BY SPECIFICATIONS, (TYPICAL @ ALL WINDOWS).

14.PAINT WITH ANTI-OXIDIZING COATING, NEW AND EXISTING METAL DOORS AND DOOR FRAMES, GUTTERS, DOWN-SPOUTS, HAND RAILS, LOUVERED VENTS, EXHAUST FAN HOOD, ETC., COLORS SHALL BE CHOSEN BY THE OWNER AND THE ARCHITECT BASED ON MFRS SAMPLES.

15. NEW MORTAR FOR TUCKPOINTING SHALL BE COMPOSED OF A HISTORIC MORTAR MIX AND WILL COMPLY WITH NPS PRESERVATION BRIEF 2. MORTAR TO MATCH HISTORIC MORTAR IN COMPOSITION, DENSITY, DIMENSION, COLOR, STRENGTH, AND PATTERN.

16. ALL CONCRETE SHALL BE COMPOSED OF AN EXPOSED AGGREGATE, TINTED GREY, OR FINISHED WITH CLEAR CURING COMPOUND. AVOID BRIGHT WHITE FINISHED PRODUCT.

17. NEW BRICK INFILL OF FORMER DOOR OPENINGS SHALL BE INSET APPROX. 1- INCH IN EXISTING WALL. NEW BRICK SHALL MATCH THE OLD BRICK IN COLOR, DIMENSION, AND PATTERN.

18. ALL CLEANING TO CONFORM TO PRESERVATION BRIEF 1. MASONRY CLEANING SHALL BE DONE BY WATER WASHING OR WATER WASHING WITH NON-IONIC DETERGENTS (TERGITOL OR EQUAL-APPROVED BY ARCHITECT). START WITH LOW PRESSURE (100 PSI) SPRAY. SCRUB ONLY WITH NATURAL BRISTLE BRUSH IF NECESSARY. FINISH CLEANING WITH A WATER RINSE.

19. THE ROOF SYSTEM SHALL BE FULLY ADHERED, ETHYLENE PROPYLENE DIENE MONOMER (EPDM) MEMBRANE SYSTEM PROVIDED BY CARLISLE, CELOTEX, FIRESTONE BUILDING PRODUCTS, GENFLEX, OR ARCHITECT'S APPROVED EQUAL.

CODE SUMMARY

•Relevant Codes:
Mich Rehabilitation Code for Existing Buildings 2015
LEVEL 3 ALTERATION
Michigan Mechanical Code 2015
Michigan Electrical Code 2015
Michigan Plumbing Code 2015
N.F.P.A. 13R

•Building Information
Proposed Use Group: R-2
Existing Use Group: R-2
Construction Type: 3B
Building Height: 36'-8"
Allowable Sq. Footage: 16000/floor (MBC table 503)
Actual Sq. Footage: 2,155/floor
Min. Sq. Footage per Occupant: 200 sq ft
Occupant Load : 11 per floor

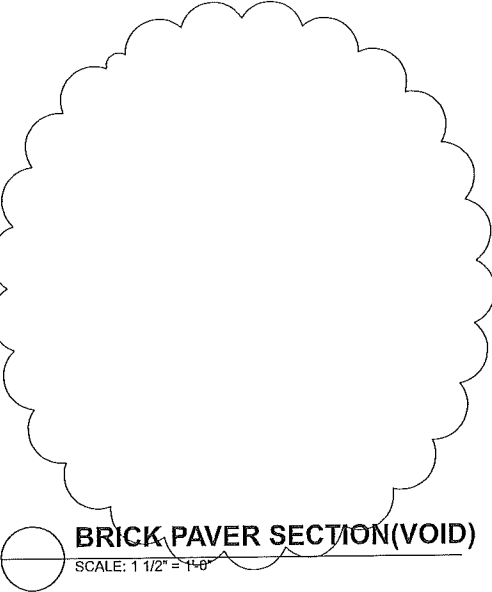
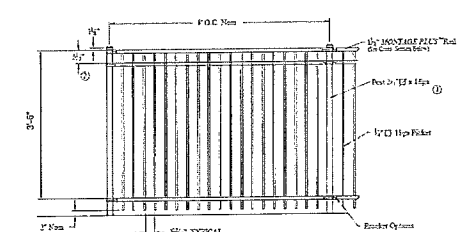
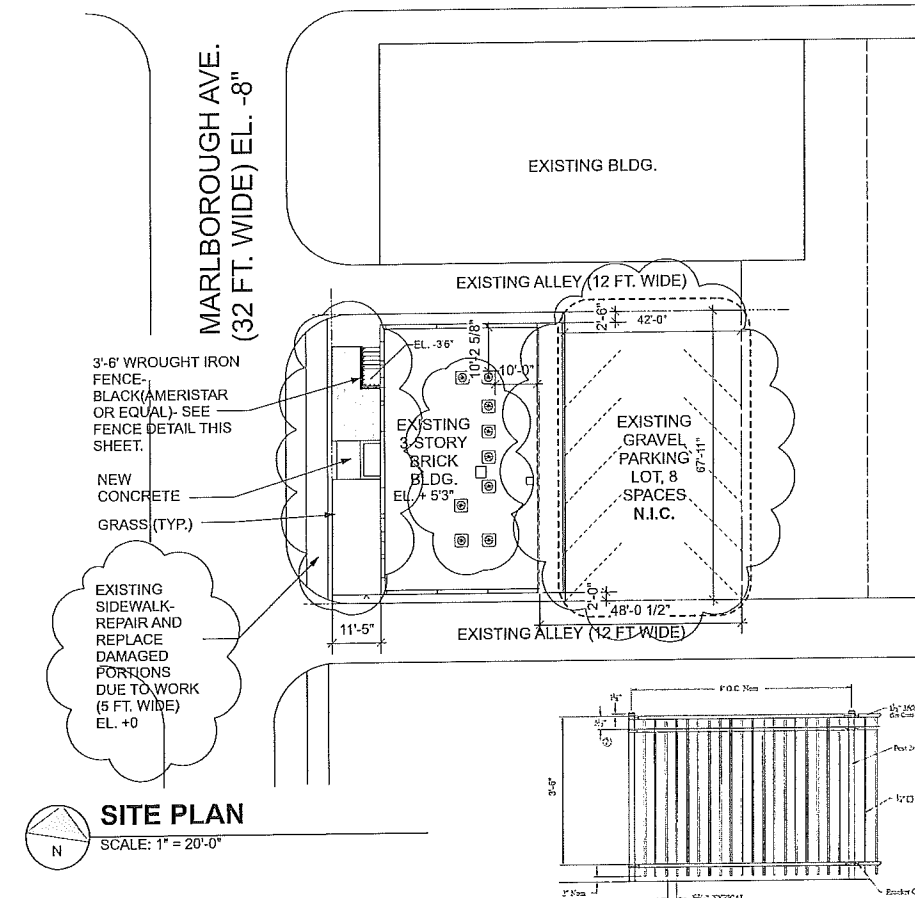
•Parking
Required for use R-2: 1.25 spaces per unit
Existing: 0 Spaces
Provided: 8 Spaces

•Barrier-Free Requirements
Building is exempt from Barrier-Free exterior access due to its historic Status and technical infeasibility

•Egress Requirements
-One exit req'd. Building is fully sprinklered (MRCEB 805.3.1.9- R2-Enclosure within 20' of entry doors)
-Bedrooms are provided with egress windows
-Egress corridors must be minimum 36" in width (MBC 1004.3.2.2)
-Doors to exit stairs must be self-closing (MBC 714.2.7)
-Unit entry doors are to be C label (45 min. rating)
-Automatic closers on all unit entry doors (MBC 714.2.7)

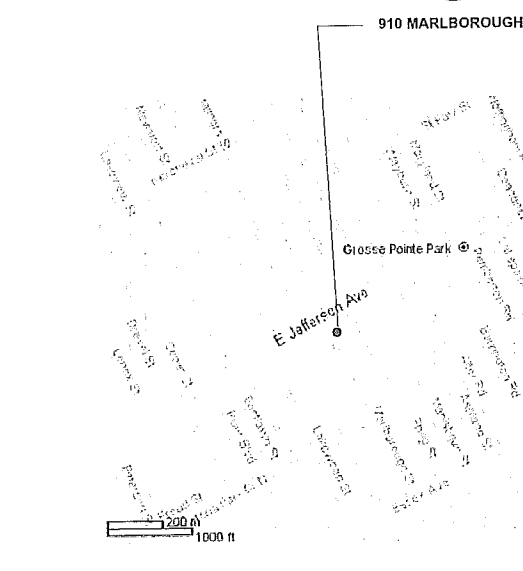
•Fire Rating Requirements (from MBC table 601)
Exterior walls: 2 hr (Load Bearing) 1hr (Non Loadbearing) per table 602 - Fire separation distance greater than 5'-0"
Load bearing partitions: 0 hr.
Non-load bearing partitions: 0 hr.
Dwelling unit separation: 1 hr. (Blg. Fully Sprinklered) table 708.1
Fire separation of exits: 2 hr.
Fire separation of shafts: 2 hr.
Mechanical room: 0 hr. (Table 509 MBC 2015- Furnace Rms sprinkler provided)
Structural members: 0 hr.
Floor construction (serves as dwelling unit separation): 1/2 hr. (Blg. fully Sprinklered)
Roof construction: 0 hr.

JEFFERSON

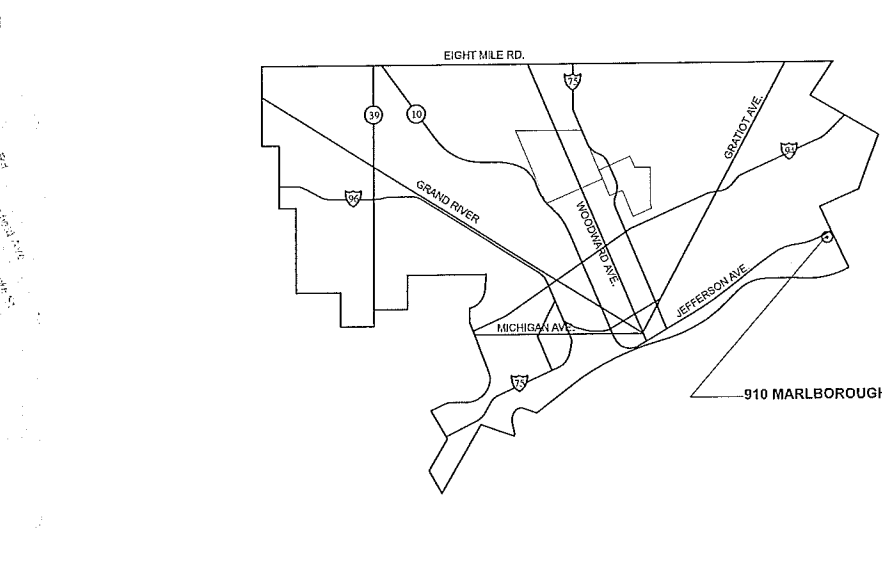


SITE PLAN
SCALE: 1" = 20'-0"

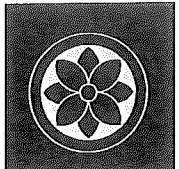
FENCE DETAIL (AMERISTAR "MONTAGE PLUS" OR APPROVED EQ)
NOT TO SCALE



LOCATION MAP
NOT TO SCALE



CITY OF DETROIT
NOT TO SCALE



MARLBOROUGH APARTMENTS
910 Marlborough Street
Detroit, Michigan
SHELBORNE DEVELOPMENT

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Site Plan, General Notes

Issued For:
Permits:

Revision: 07.24.17

Revision For: Historic Comments 09.05.17

Permits: 091517

PERMIT REVISIONS 120117

ADDENDUM #2

Bulletin 1

Checked:

Approved:

Project Number:

Date:



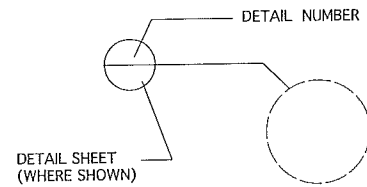
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A DIVISION OF NEW URBAN DESIGN GROUP
SHEET NUMBER:



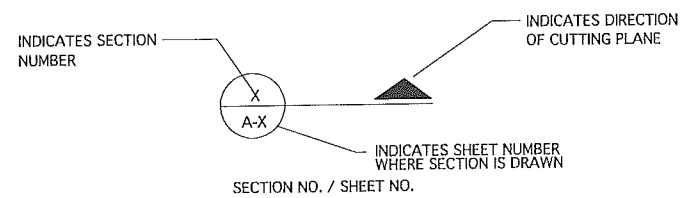
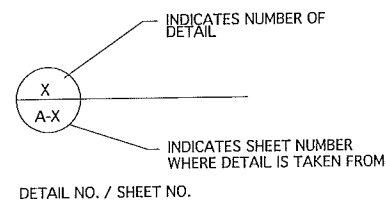
MARLBOROUGH APARTMENTS
 910 Marlborough Street
 Detroit, Michigan
SHELBORNE DEVELOPMENT

ARCHITECTURAL GRAPHIC SYMBOLS

SYMBOL	DESCRIPTION
100	ROOM NUMBER
22	DOOR NUMBER
22	WINDOW NUMBER
10	EQUIPMENT NUMBER
⊕	FLOOR ELEVATION OR WORK POINT REFERENCE
X A-X	ELEVATION/SECTION



PLAN / DETAILS.



ABBREVIATIONS

ACP	ACOUSTICAL PANEL	F	FIRE EXTINGUISHER	MO	MASONRY OPENING	SECT	SECTION
ADJ	ADJUSTABLE	FD	FLOOR DRAIN	MATL	MATERIAL	SHT	SHEET
AFF	ABOVE FINISH FLOOR	FLUOR	FLUORESCENT	MAX	MAXIMUM	SIM	SIMILAR
ARCH	ARCHITECTURAL	FT	FEET	MECH	MECHANICAL		
BF	BARRIER FREE	FTG	FOOTING	MTL	METAL	SPEC	SPECIFICATION
BLKG	BLOCKING	FRM	FRAME	MIN	MINIMUM	SQ	SQUARE
BRD	BOARD	FJR	FURRING	MISC	MISCELLANEOUS	SO FT	SQUARE FOOT
BOT	BOTTOM	FIN	FINISH	MTR	MORTAR	STD	STANDARD
		FIN FL	FINISHED FLOOR	MTD	MOUNTED	STL	STEEL
				MULL	MULLION		
CPT	CARPET	GA	GAUGE			SAN	SANITARY DRAIN
CLG	CEILING	GALV	GALVANIZED			STOR	STORAGE
CLG DIFF	CEILING DIFFUSER	GL	GLASS	NOM	NOMINAL	SUR	SURFACE
CLG HGT	CEILING HEIGHT	GR	GRADE	NIC	NOT IN CONTRACT	SUSP	SUSPENDED
CEM	CEMENT	GWB	GYP SUM WALLBOARD	NTS	NOT TO SCALE	SATC	SUSPENDED ACOUSTICAL
CTR	CENTER			NO	NUMBER		
CLR	CLEAR OR CLEARANCE	HAZ	HAZARD	NRC	NOISE REDUCTION COEFFICIENT	TA	TOILET ACCESSORIES
CONC	CONCRETE	HDW	HARDWARE			T GL	TEMPERED GLASS
CONSTR	CONSTRUCTION	HGT	HEIGHT			THRES	THRESHOLD
CONT	CONTINUOUS	HVAC	HEATING, VENTILATING, & AIR CONDITIONING	OFF	OFFICE	T&G	TONGUE & GROOVE
C.J.	CONTROL JOINT	HM	HOLLOW METAL	OPNG	OPENING	TYP	TYPICAL
CW	COLD (POTABLE) WATER	HW	HOT WATER			THK	THICK(NESS)
CNU	CONCRETE MASONRY UNIT			OD	OUTSIDE DIAMETER	UR	URINAL
CT	CERAMIC TILE	IN	INCHES	OA	OVERALL	U.N.O.	UNLESS NOTED OTHERWISE
DF	DRINKING FOUNTAIN	ID	INSIDE DIAMETER	O.C	ON CENTER	V	VENT
DIA	DIAMETER	INSUL	INSULATION	PTD	PAINTED	VERT	VERTICAL
DIM	DIMENSION	INT.	INTERIOR	PNL	PANEL	VCT	VINYL COMPOSITION TILE
DR	DOOR	JT	JOINT	PTN	PARTITION	VB	VINYL BASE
DN	DOWN	KD	KILN DRIED	PWD	PLYWOOD		
DWG	DRAWING			PT	PRESSURE TREAT	W/	WITH
D.V.	DISH WASHER	LAM	LAMINATED	QT	QUARRY TILE	W/O	WITHOUT
		LG	LENGTH			WD	WOOD
EA	EACH	LVR	LOUVER	RD	ROOF DRAIN	WC	WATER CLOSET
EL	ELEVATION	LAV	LAVATORY	REC	RECESSED	WP	WATERPROOFING
EQ	EQUAL			REF	REFERENCE	WPMBR	WATERPROOF MEMBRANE
EXH	EXHAUST			REQD	REQUIRED	WB	WOOD BASE
EXST	EXISTING			REV	REVISION		
EXPAN	EXPANSION			R	RISER		
EXP	EXPOSED			RFG	ROOFING		
EXT	EXTERIOR			RM	ROOM		
EIS	EXTERIOR INSULATION SYSTEM			RO	ROUGH OPENING		

MATERIAL LEGEND

	EARTH		PLYWOOD
	CONCRETE		BLANKET INSULATION
	ACOUSTICAL CEILING TILE		RIGID INSULATION
	QUARRY TILE		SHIM
	GYP SUM BOARD PARTITION		ROUGH WOOD: CONTINUOUS
	CONCRETE MASONRY UNITS (C.M.U.)		FINISHED WOOD
	FACE BRICK		

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Abbreviations and Legend

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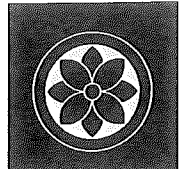
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SHELBORNE DEVELOPMENT

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Specifications and Schedules

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SHEET NUMBER:

GN-3

- 6. VINYL COMPOSITION TILE: FS SS-T-312, TYPE IV: 12" X 12" UNLESS OTHERWISE INDICATED
 - 7. RUBBER FLOOR TILE: PRODUCTS COMPLYING WITH ASTM F 1344: 12 X 12" X 1/8" GAUGE.
 - 8. REQUIRE INSTALLER TO INSPECT SUBFLOOR SURFACES TO DETERMINE THAT THEY ARE SATISFACTORY. A SATISFACTORY SUBFLOOR SURFACE IS DEFINED AS ONE THAT IS SMOOTH AND FREE FROM CRACKS, HOLES, RIDGES, AND/OR COATINGS PREVENTING ADHESIVE BOND, AND OTHER DEFECTS IMPAIRING PERFORMANCE OR APPEARANCE.
 - 9. PERFORM BOND AND MOISTURE TESTS ON CONCRETE SUBFLOORS TO DETERMINE IF SURFACES ARE SUFFICIENTLY CURED AND DRY AS WELL AS TO ASCERTAIN PRESENCE OF CURING COMPOUNDS.
 - 10. DO NOT ALLOW RESILIENT FLOORING WORK TO PROCEED UNTIL SUBFLOOR SURFACES ARE SATISFACTORY.
 - 11. INSTALL AND FINAL CLEAN TILE FLOORING PER MANUFACTURER'S RECOMMENDATION.
- PAINTING**
- 1. SUBMIT 8-1/2 X 11 COLOR CHIPS ON HEAVY PAPER TO MATCH ARCHITECT'S COLOR CHIPS FOR EACH COLOR AND TYPE OF PAINT SPECIFIED FOR ARCHITECT'S APPROVAL.
 - 2. MANUFACTURES OTHER THAN THOSE LISTED BELOW MAY BE SUBMITTED FOR CONSIDERATION IN ACCORDANCE WITH GENERAL REQUIREMENTS DIVISION 1.

- .01 BENJAMIN MOORE & CO.
- .02 THE GLIDDEN CO.
- .03 PITTSBURGH PAINTS
- .04 PRATT & LAMBERT
- .05 SHERWIN WILLIAMS
- .06 UNITED COATINGS

- 3. FERROUS METALS I.E. DOORS, RAILINGS, FENCES, LINTELS, ETC...
 - A. FIRST COAT: (TO BE USED EVEN AT SHOP PRIMED ITEMS)
 - BENJAMIN MOORE: IRONCLAD RETARDO RUST INHIBITIVE PAINT 153
 - GLIDDEN: LIFE MASTER PRO WATER REDUCTIBLE RED OXIDE PRIMER NO. 6970
 - PITTSBURGH PAINTS: SPEED HIDE INHIBITIVE METAL PRIMER 6-208 OR 6-212
 - PRATT & LAMBERT: EFFECTO RUST INHIBITING PRIMER
 - SHERWIN WILLIAMS: KEN KROMIC METAL PRIMER
 - B. SECOND AND THIRD COATS:
 - BENJAMIN MOORE: MOORECRAFT LATEX HOUSE AND TRIM PAINT 170 EXCEPT AT RAILINGS WHICH SHALL BE IMPERVO ENAMEL 133.
 - GLIDDEN: LIFE MASTER PRO WATER REDUCTIBLE ACRYLIC NO. 6960 SERIES
 - PITTSBURGH PAINTS: MAJOR HALL 79 SERIES LATEX URETHANE/EGGSHELL EXCEPT AT RAILINGS WHICH SHALL BE WATER BASED GLOSS ENAMEL 51-LINE.
 - SHERWIN WILLIAMS: DTM ACRYLIC GLOSS COATING (WATER REDUCIBLE)
- 4. CEMENTITIOUS AND SYNTHETIC MATERIALS:
 - A. TWO COATS (ADD A PRIME COAT IF RECOMMENDED BY MANUFACTURER):
 - GLIDDEN: SPRED ULTRA EXTERIOR SATIN HOUSE PAINT 6725 SERIES
 - SHERWIN WILLIAMS: A-100 SATIN LATEX HOUSE AND TRIM PAINT, 79-LINE
 - PITTSBURGH PAINTS: MAJOR HALL EXTERIOR HOUSE AND TRIM PAINT, 79-LINE
 - PITTSBURGH PAINTS: SPEED HIDE ALKYD L.O. SHEEN ENAMEL 6-90
 - PRATT & LAMBERT: VITALITE ALKYD UNDERCOAT, 2ND COAT;
 - VIRALITE ENAMEL, 3RD COAT
 - SHERWIN WILLIAMS: PRO-MAR 200 ALKYD EGG-SHELL ENAMEL

- 5. NATURAL FINISHED WOODWORK:
 - COORDINATE WITH FINISH CARPENTRY AND MILLWORK SECTION (6N-2) TO VERIFY SCOPE OF WORK TO BE FINISHED BY MILLWORK CONTRACTOR.
 - .01 FIRST STEP: WOOD FILLER, APPLIED AS PER MANUFACTURER'S INSTRUCTIONS
 - BENJAMIN MOORE: BENWOOD PASTE WOOD FILLER 238
 - GLIDDEN: NONE AVAILABLE; USE PRODUCT RECOMMENDED BY MANUFACTURER.
 - PITTSBURGH PAINT: NONE AVAILABLE; USE PRODUCT RECOMMENDED BY MANUFACTURER
 - PRATT & LAMBERT: FILLER SEALER
 - SHERWIN WILLIAMS: SHERWOOD NATURAL FILLER D70T1
 - .02 SECOND STEP: STAIN, AS NEEDED TO ACHIEVE COLOR AS PER ARCHITECT; APPLIED AS MANUFACTURER'S INSTRUCTIONS.
 - BENJAMIN MOORE: MOORE'S INTERIOR WOOD PENETRATING STAIN 241
 - GLIDDEN: WOODMASTER 1650.
 - PITTSBURGH PAINTS: REZ 77-9 POLYURETHENE
 - PRATT & LAMBERT: VARMOR POLYURETHENE, SATIN
 - SHERWIN WILLIAMS: POLYURETHENE VARNISH A87V1/A87F1
 - .03 THIRD STEP: SANDING SEALER, IF RECOMMENDED BY THE MANUFACTURER.
 - .04 FOURTH STEP: TWO (2) FINISH COATS
 - BENJAMIN MOORE: BENWOOD POLYURETHENE, LOW LUSTER 435
 - GLIDDEN: NO. 82 SATIN SHEEN
 - PITTSBURGH PAINTS: REZ 77-9 POLYURETHENE
 - PRATT & LAMBERT: VARMOR POLYURETHENE, SATIN
 - SHERWIN WILLIAMS: POLYURETHENE VARNISH A87V1/A87F1

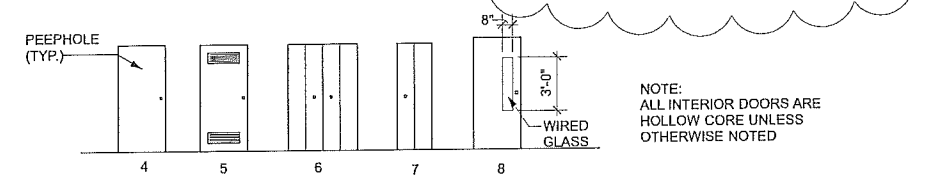
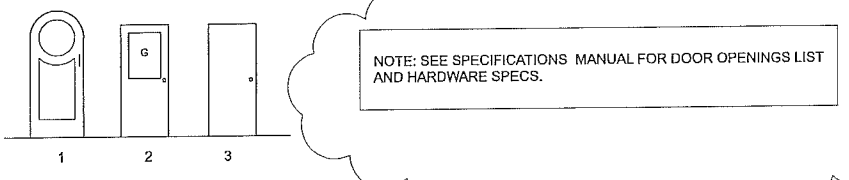
- 6. ALL SPECIFIED PRODUCTS SHALL BE APPLIED AT THE MINIMUM WET THICKNESS RATE AS RECOMMENDED BY THE MANUFACTURER.
- 7. DO NOT APPLY SUCCEEDING COATS UNTIL UNDERCOATS ARE THOROUGHLY DRY.
- 8. AFTER COMPLETION OF THE WORK, DO ALL NECESSARY TOUCHING UP OF ALL THE PAINTING AND FINISHING AND LEAVE THE WORK IN PERFECT CONDITION.
- 9. ADDITIONAL COSTS WILL BE REQUIRED WHERE FINISHED WORK IS NOT IN COMPLETE COMPLIANCE WITH ALL REQUIREMENTS OF THESE SPECIFICATIONS, OR IF COMPLETE COVERAGE IS NOT ACCOMPLISHED IN THE SPECIFIED NUMBER OF COATS.
- 10. PERFORM ALL PAINTING AND FINISHING, USING SPECIFIED MATERIALS APPLIED BY THOROUGHLY EXPERIENCED SKILLED WORKMEN.
- 11. EXCEPT WHERE SPECIFICALLY AUTHORIZED BY THE ARCHITECT TO DO OTHERWISE: APPLY FLAT OR EGGSHELL WALL PAINT BY BRUSH OR ROLLER; APPLY GLOSS OR SEMI-GLOSS WITH BRUSH ONLY.
- 12. FLOW ON MATERIALS TO INSURE SMOOTH, EVEN COATS, FREE FROM SOIL, RUIHS, BRUSH MARKS, BAGS, AND LAPS. APPLY PROPRIETARY PAINT PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 13. SANDING: IN ADDITION TO PREPARATORY SANDING, FINE SAND BETWEEN SUCCEEDING COATS OF ALL VARNISH ENAMEL OR FLAT ENAMEL, USING SANDPAPER APPROPRIATE TO THE FINISH. USE FINE PRODUCTION PAPER BETWEEN COATS.
- 14. FINISH INTERIOR OF ALL CLOSETS AND CABINETS SAME AS ADJOINING ROOMS, UNLESS OTHERWISE SCHEDULED.
- 15. APPLY ONE COAT OF SANDING SEALER AND ON COAT OF SEMI-GLOSS VARNISH TO INSIDES OF ALL DRAWERS UNLESS OTHERWISE SPECIFIED.

SPACE TITLE NAME/DESCRIPTION	FLOOR FINISH	BASE	WALL				REMARKS
			NORTH	SOUTH	EAST	WEST CEILING	
LOBBY	EXISTG CT	CT	PAINT	PAINT	PAINT	PAINT	
FOYER	SV	SV	PAINT	PAINT	PAINT	PAINT	
STAIR	VCT	VB	PAINT	PAINT	PAINT	PAINT	
VESTIBULE	SV	VB	PAINT	PAINT	PAINT	PAINT	
TENANT STORAGE	SV	VB	EXISTG	EXISTG	EXISTG	EXISTG	PAINT CLEAR AND SEAL EXISTING BRICK WALLS
TYP. UNIT SPACES							
LIVING	CPT	WB	PAINT	PAINT	PAINT	PAINT	
CORRIDOR	CPT	WB	PAINT	PAINT	PAINT	PAINT	
KITCHEN/DINING	SV	WB	PAINT	PAINT	PAINT	PAINT	
BATH	SV	VB	PAINT	PAINT	PAINT	PAINT	
MECHANICAL	SV	VB	PAINT	PAINT	PAINT	PAINT	
BEDROOM 1	CPT	WB	PAINT	PAINT	PAINT	PAINT	
BEDROOM 2	CPT	WB	PAINT	PAINT	PAINT	PAINT	
BEDROOM 3	CPT	WB	PAINT	PAINT	PAINT	PAINT	
W.I.C.	CPT	WB	PAINT	PAINT	PAINT	PAINT	
LAUNDRY	SV	VB	PAINT	PAINT	PAINT	PAINT	

VCT - VINYL COMPOSITION TILE
WD - WOOD
CPT - CARPET
WB - WOOD BASE
VB - VINYL BASE
CT - CERAMIC TILE
SV - SHEET VINYL

NOTE: ALL INTERIOR WALLS TO RECEIVE PAINT ARE GYP. BD.

DOOR #	FLOOR	LOCATION	DOOR SIZE	TYPE	MATL	FRAME	LABEL	FINISH	NOTES
01	E	BUILDING ENTRY	3'-0" X 7'-0"	1	WD	WD		PNT	EXISTING OPENING
02	B	B.F. UNIT ENTRY	3'-0" X 7'-0"	4	WD	HM	20 MIN	PNT	EXISTING OPENING
03	B	CLOSET DOOR	5'-0" X 6'-8"	6	WD	WD		FACT	BI-FOLD DOORS
04	B,1,2,3	STAIR DOOR	3'-0" X 7'-0"	8	HM	HM	1-5 HR	PNT	EXISTING OPENING
05	B,1,2,3	LAUNDRY ROOM	3'-0" X 6'-8"	2	WD	WD		PNT	EXISTING OPENING
06	B,1,2,3	MECHANICAL ROOM	3'-0" X 6'-8"	5	WD	WD		PNT	
07	B,1,2,3	UNIT DOOR	3'-0" X 6'-8"	4	WD	HM	20 MIN	PNT	INSULATED
08	B,1,2,3	BATHROOM DOOR	2'-8" X 6'-8"	3	WD	WD		FACT	
09	B,1,2,3	BEDROOM DOOR	2'-8" X 6'-8"	3	WD	WD		FACT	
10	B,1,2,3	W.I.C. DOOR	4'-0" X 6'-8"	6	WD	WD		FACT	BI-FOLD DOORS
11	B,1,2,3	CLOSET DOOR	2'-0" X 6'-8"	7	WD	WD		FACT	BI-FOLD DOOR
12	B,1,2,3	CLOSET DOOR	6'-0" X 6'-8"	3	WD	WD		FACT	
13	B	BATHROOM DOOR	3'-0" X 6'-8"	3	WD	WD		FACT	
14	B	BEDROOM DOOR	3'-0" X 6'-8"	3	WD	WD		FACT	
15	B,1,2,3	CLOSET DOOR	2'-6" X 6'-8"	7	WD	WD		FACT	BI-FOLD DOOR



NOTE: SEE SPECIFICATIONS MANUAL FOR DOOR OPENINGS LIST AND HARDWARE SPECS.

NOTE: ALL INTERIOR DOORS ARE HOLLOW CORE UNLESS OTHERWISE NOTED



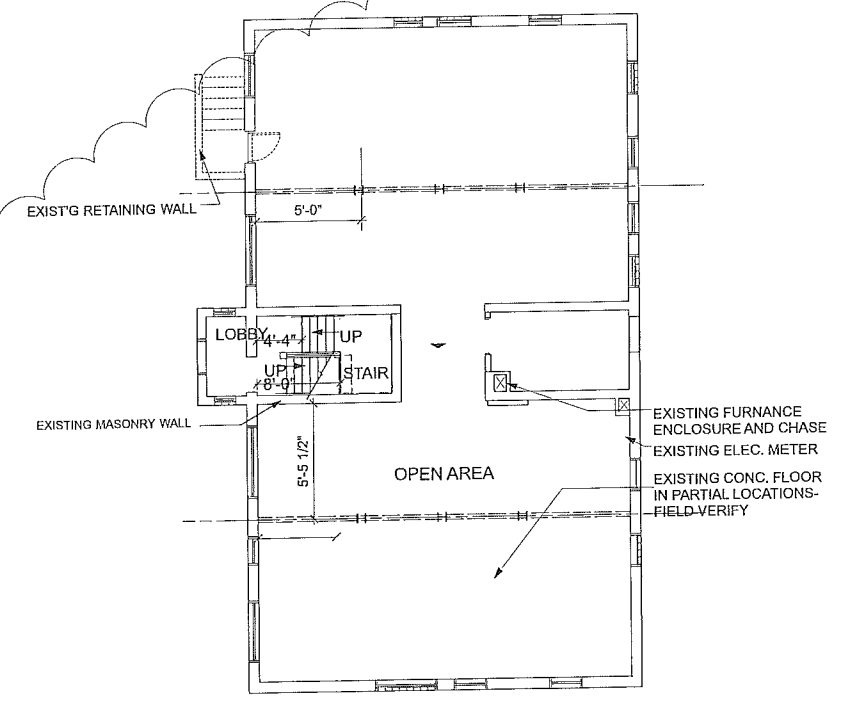
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 Existing Floor Plans

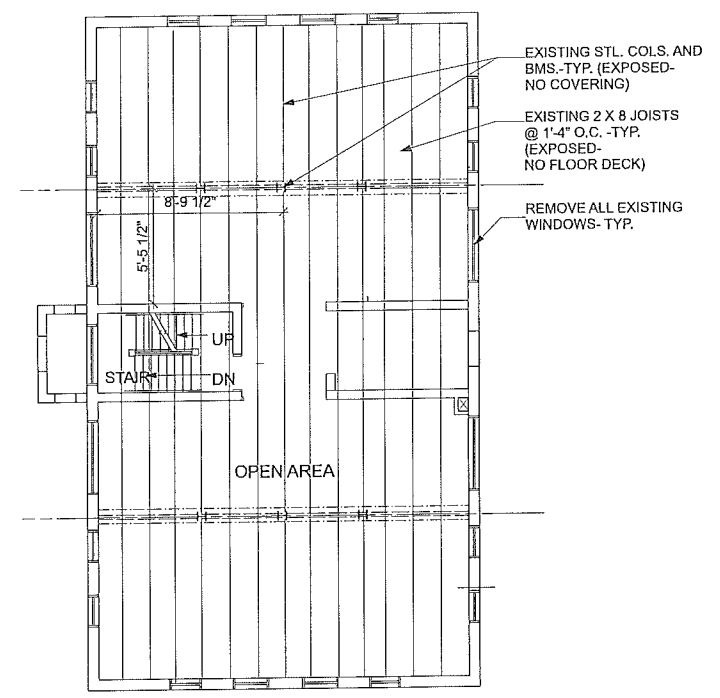
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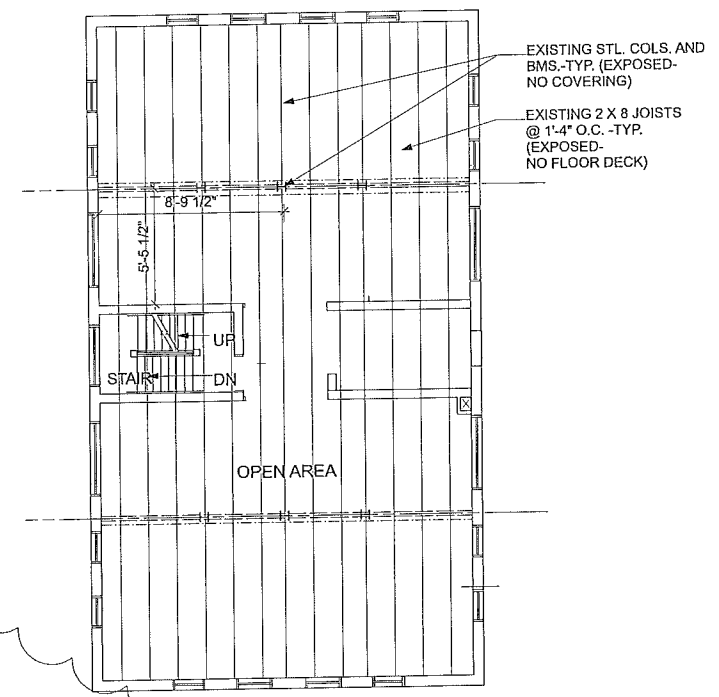
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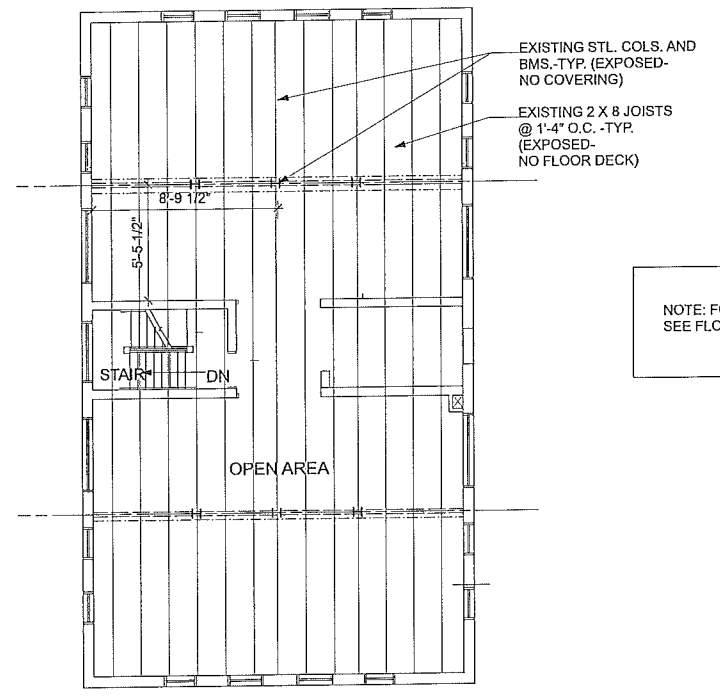
BASEMENT EXISTING PLAN
 SCALE: 1/8"=1'-0"



FIRST FLOOR EXISTING PLAN
 SCALE: 1/8"=1'-0"



SECOND FLOOR EXISTING PLAN
 SCALE: 1/8"=1'-0"



THIRD FLOOR EXISTING PLAN
 SCALE: 1/8"=1'-0"

NOTE: FOR EXISTING WALLS ON FLOORS 1, 2, AND 3
 SEE FLOOR PLANS

LEGEND

	EXISTING WALL
	EXIST'G BM AND JOISTS
	EXISTING WALL TO BE DEMOLISHED



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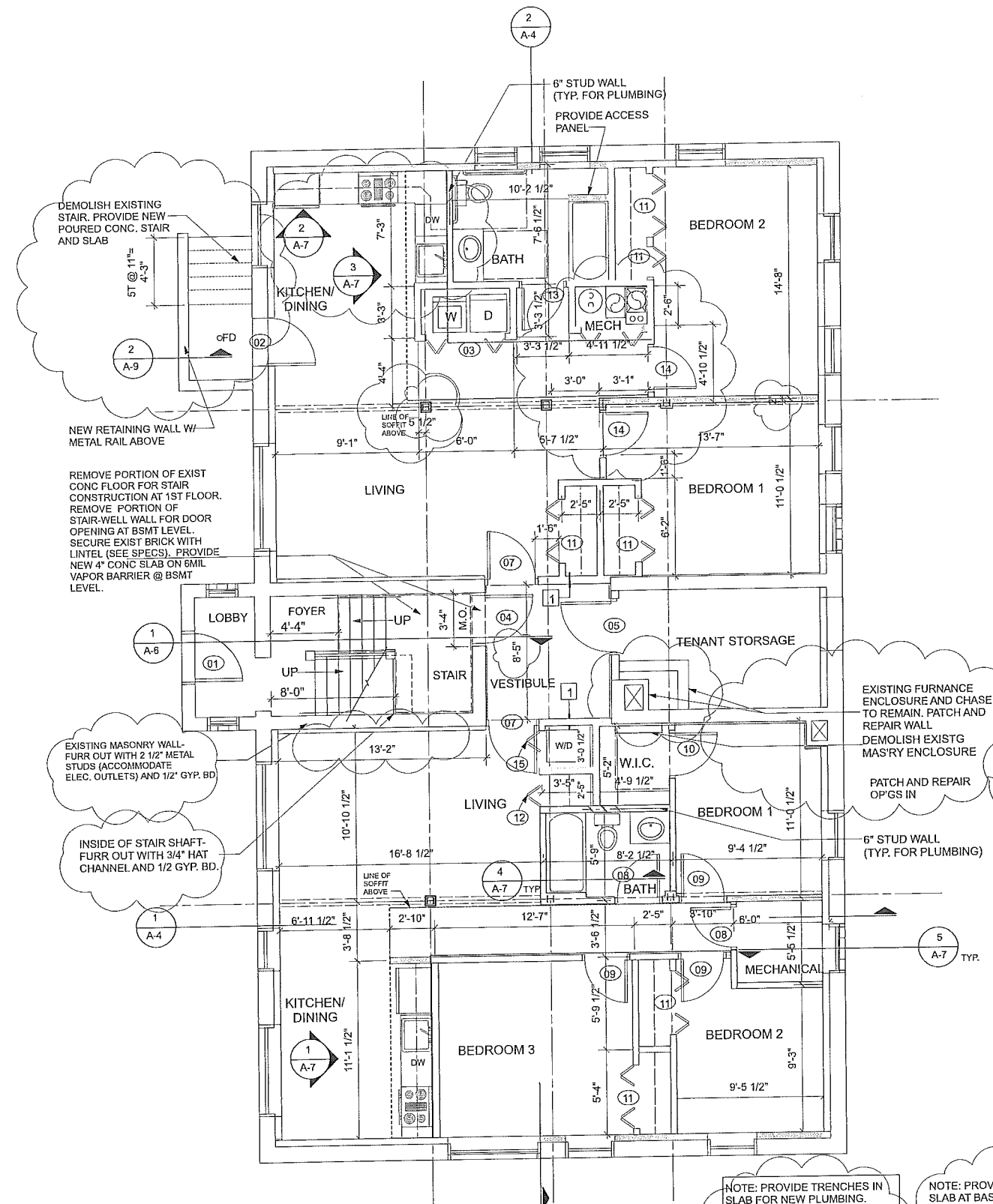
Basement and First Floor Plan

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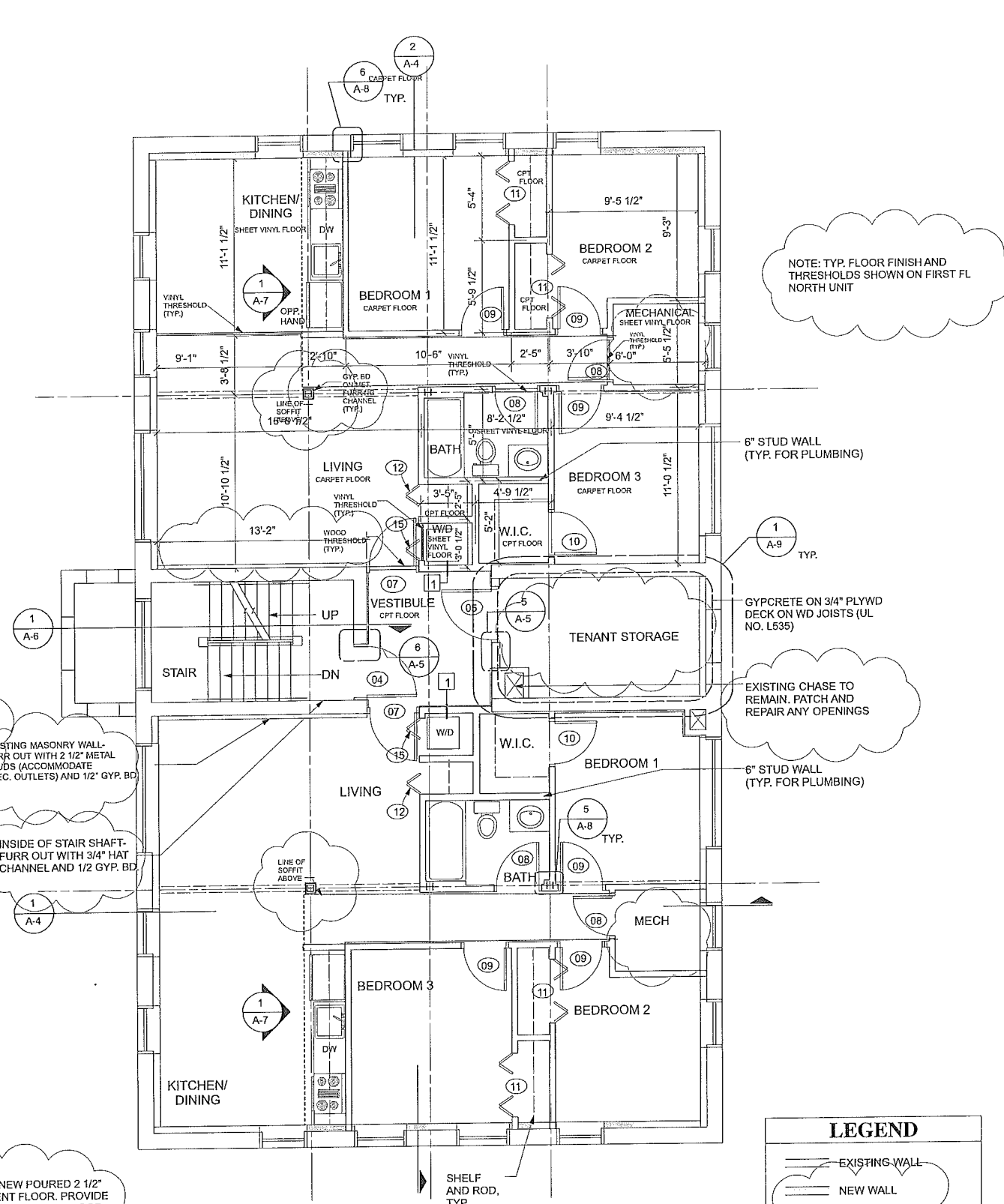
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BASEMENT PLAN
 SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

LEGEND

	EXISTING WALL
	NEW WALL
	EXISTING WALLS TO BE DEMOLISHED
	RATED WALL - SEE 3/A-8

*NOTE: ALL WALLS ARE TO BE 1/2" GYP. BD. ON STEEL FRAMING UNLESS OTHERWISE NOTED
 *SEE SHT. A-8 FOR WALL TYPE CONSTRUCTION
 *NOTE: ALL INTERIOR UNIT WALLS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE OR CEILING ABOVE.
 *FOR TYP DOOR PLACEMENT SEE SHEET A8

NOTE: PROVIDE TRENCHES IN SLAB FOR NEW PLUMBING. PROVIDE NEW CONCRETE CAPPING COAT. COORDINATE WITH PLUMBING LOCATIONS SHOWN ON MECH. DRAWINGS

NOTE: PROVIDE NEW POURED 2 1/2" SLAB AT BASEMENT FLOOR. PROVIDE LEVELING COAT FOR ENTIRE FLOOR. PROVIDE VAPOR BARRIER UNDER NEW POUR.

NOTE: 7'-6" MIN. CEILING HEIGHT IN BASEMENT, VERIFY BEFORE POURING SLAB

NOTE: TYP. FLOOR FINISH AND THRESHOLDS SHOWN ON FIRST FL NORTH UNIT

DEMOLISH EXISTING STAIR. PROVIDE NEW POURED CONC. STAIR AND SLAB

REMOVE PORTION OF EXIST CONC FLOOR FOR STAIR CONSTRUCTION AT 1ST FLOOR. REMOVE PORTION OF STAIR-WELL WALL FOR DOOR OPENING AT BSMT LEVEL. SECURE EXIST BRICK WITH LINTEL (SEE SPECS). PROVIDE NEW 4" CONC SLAB ON 6MIL VAPOR BARRIER @ BSMT LEVEL.

EXISTING MASONRY WALL- FURR OUT WITH 2 1/2" METAL STUDS (ACCOMMODATE ELEC. OUTLETS) AND 1/2" GYP. BD

INSIDE OF STAIR SHAFT- FURR OUT WITH 3/4" HAT CHANNEL AND 1/2 GYP. BD.

EXISTING FURNACE ENCLOSURE AND CHASE TO REMAIN. PATCH AND REPAIR WALL. DEMOLISH EXISTG MAS'RY ENCLOSURE

PATCH AND REPAIR OPGS IN

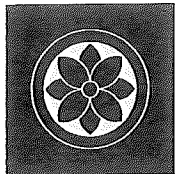
EXISTING MASONRY WALL- FURR OUT WITH 2 1/2" METAL STUDS (ACCOMMODATE ELEC. OUTLETS) AND 1/2" GYP. BD

INSIDE OF STAIR SHAFT- FURR OUT WITH 3/4" HAT CHANNEL AND 1/2 GYP. BD.

GYPCRETE ON 3/4" PLYWD DECK ON WD JOISTS (UL NO. L535)

EXISTING CHASE TO REMAIN. PATCH AND REPAIR ANY OPENINGS

NOTE: ALL INTERIOR EXPOSED BRICK WALLS TO BE FURRED OUT WITH DRYWALL- U.N.O. WALLS TO RECEIVE ELEC. OUTLETS FRAME WITH 2 1/2" METAL STUDS. WALLS TO RECEIVE ONLY APPLIED DRYWALL FRAME WITH 3/4" HAT CHANNEL.



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Second and Third Floor Plan

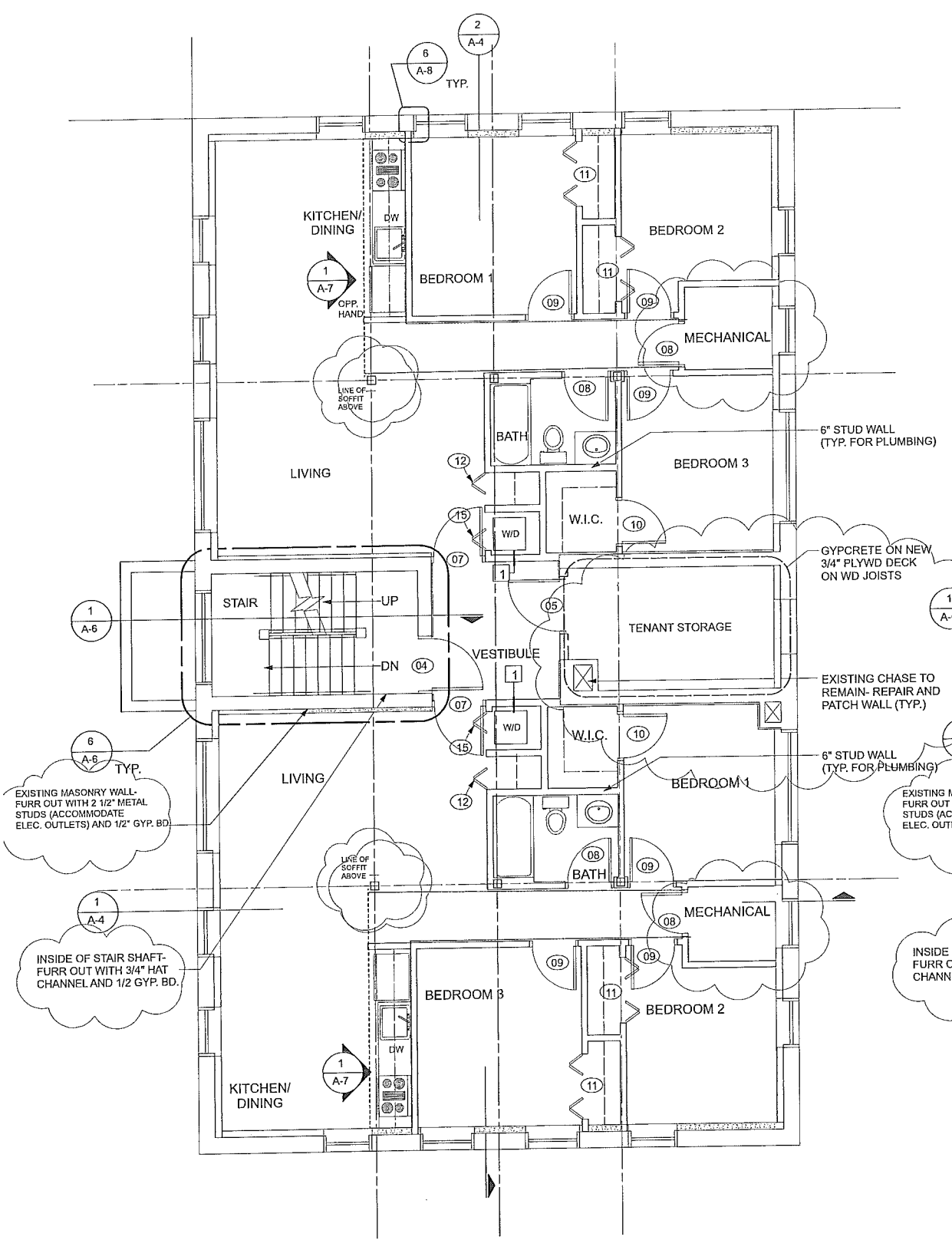
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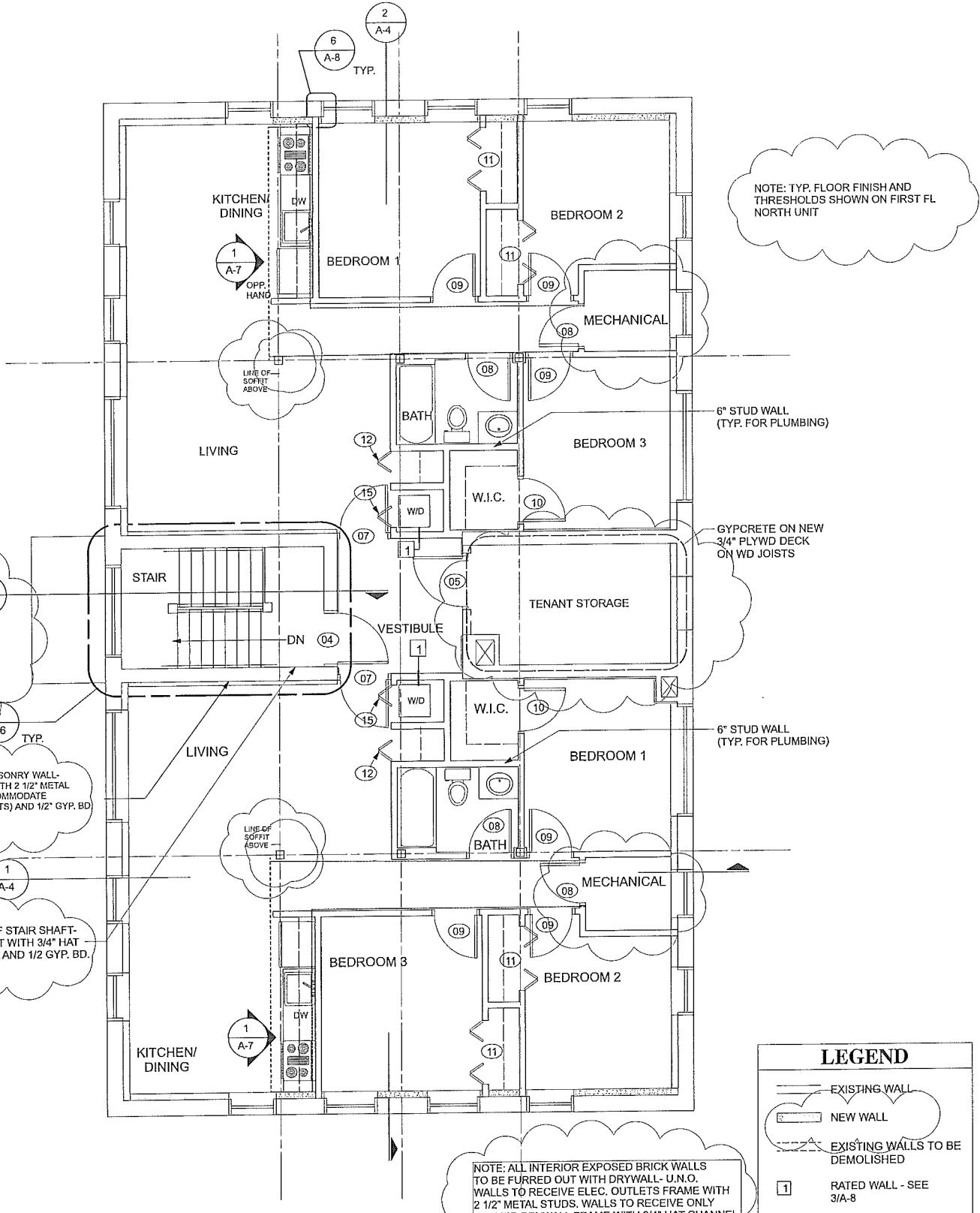
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NOTE: FOR TYPICAL DIMENSIONS SEE SHEET A-1

SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



NOTE: ALL INTERIOR EXPOSED BRICK WALLS TO BE FURRED OUT WITH DRYWALL- U.N.O. WALLS TO RECEIVE ELEC. OUTLETS FRAME WITH 2 1/2" METAL STUDS. WALLS TO RECEIVE ONLY APPLIED DRYWALL FRAME WITH 3/4" HAT CHANNEL

NOTE: TYP. FLOOR FINISH AND THRESHOLDS SHOWN ON FIRST FL NORTH UNIT

LEGEND

- EXISTING WALL
- NEW WALL
- EXISTING WALLS TO BE DEMOLISHED
- 1 RATED WALL - SEE 3/A-8

NOTE: FOR TYPICAL DIMENSIONS SEE SHEET A-1

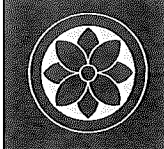
THIRD FLOOR PLAN
 SCALE: 1/4"=1'-0"

*NOTE: ALL WALLS ARE TO BE 1/2" GYP. BD. ON STEEL FRAMING UNLESS OTHERWISE NOTED

*SEE SHT. A-x FOR WALL TYPE CONSTRUCTION

*NOTE: ALL INTERIOR UNIT WALLS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE OR CEILING ABOVE.

*FOR TYP DOOR PLACEMENT SEE SHEET A-2



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Roof Plan

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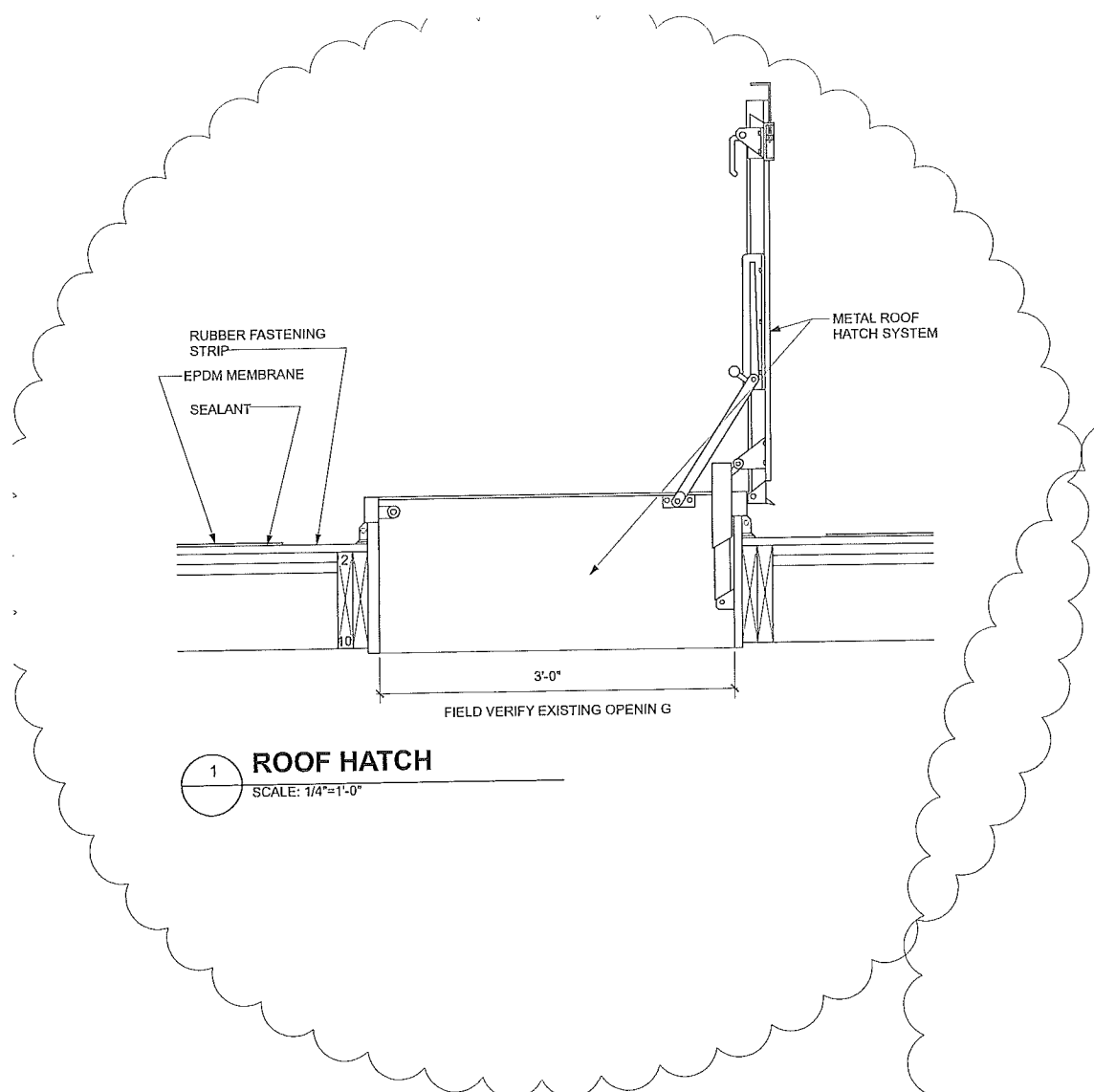


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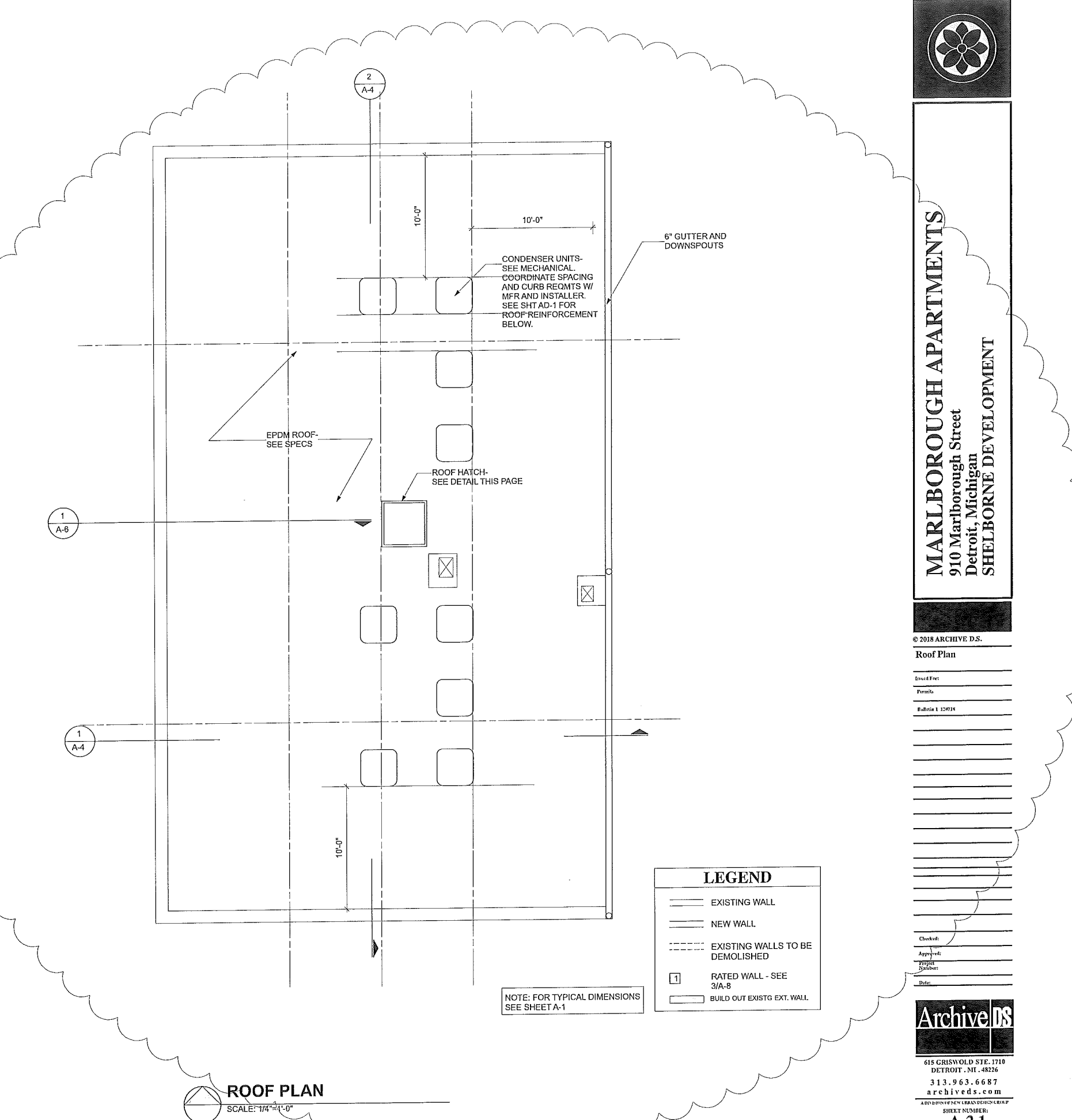
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1 ROOF HATCH
 SCALE: 1/4"=1'-0"

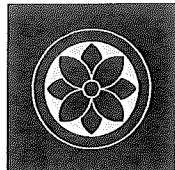


LEGEND

	EXISTING WALL
	NEW WALL
	EXISTING WALLS TO BE DEMOLISHED
	RATED WALL - SEE 3/A-8
	BUILD OUT EXISTG EXT. WALL

NOTE: FOR TYPICAL DIMENSIONS SEE SHEET A-1

ROOF PLAN
 SCALE: 1/4"=1'-0"



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Elevations

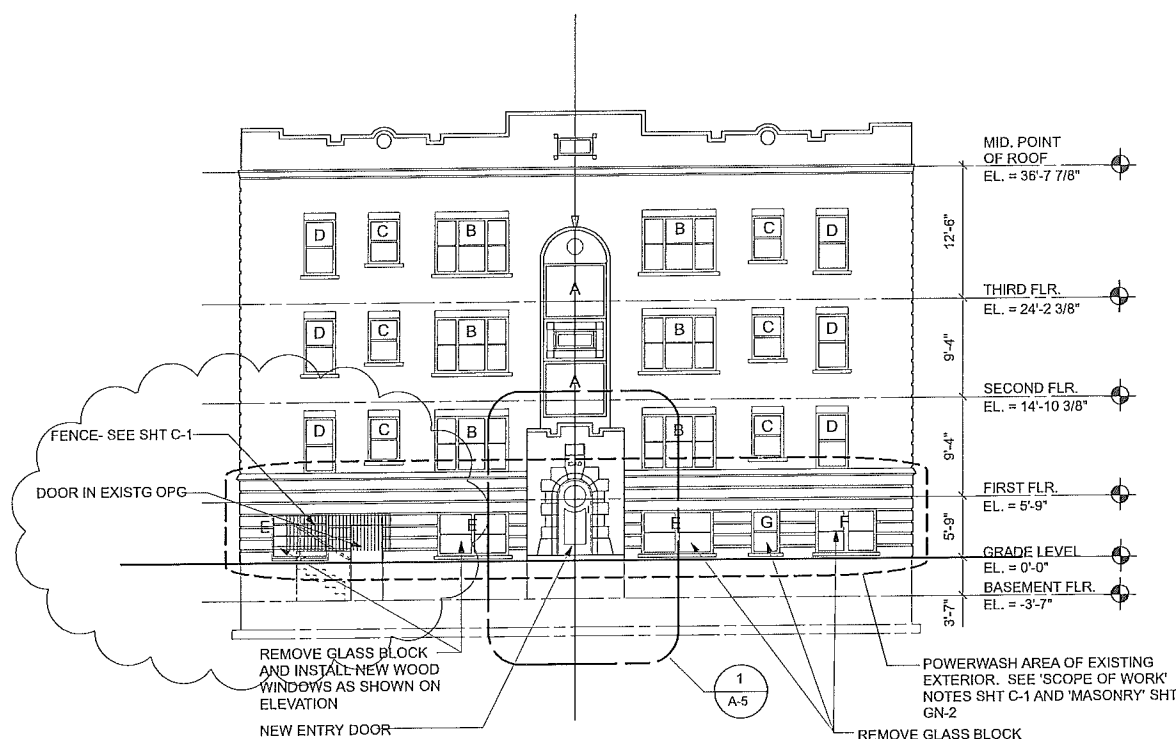
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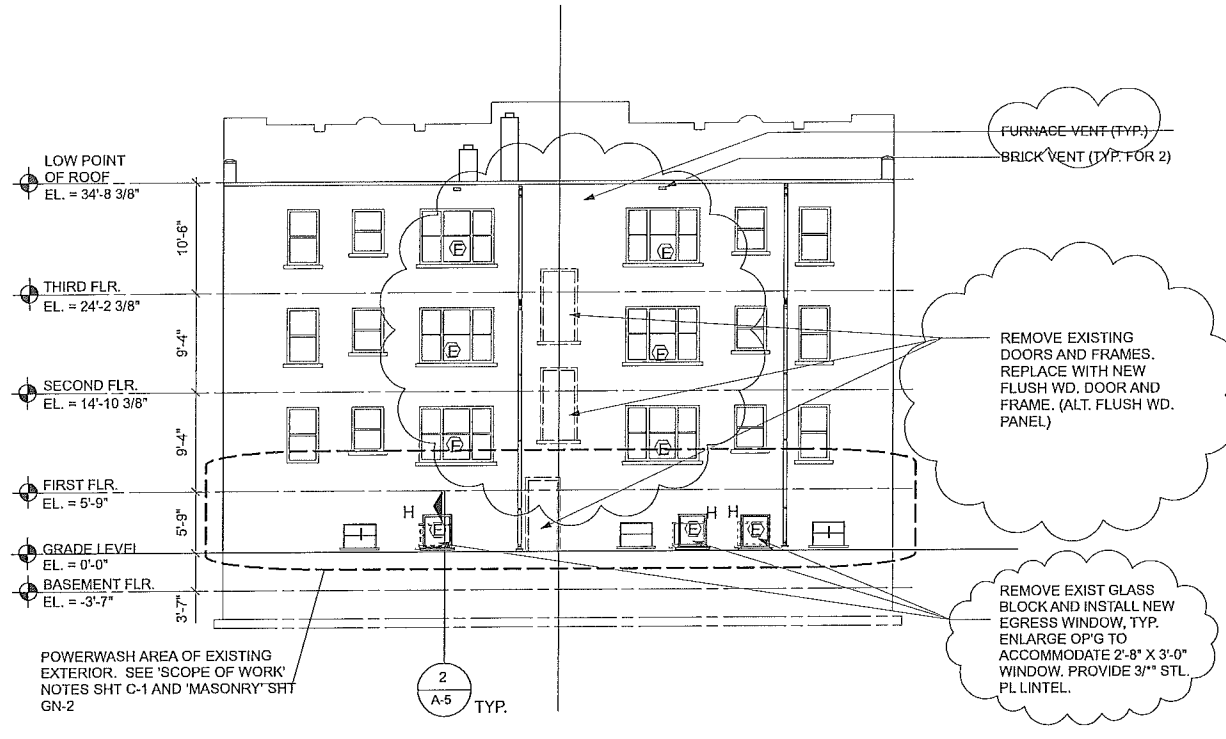


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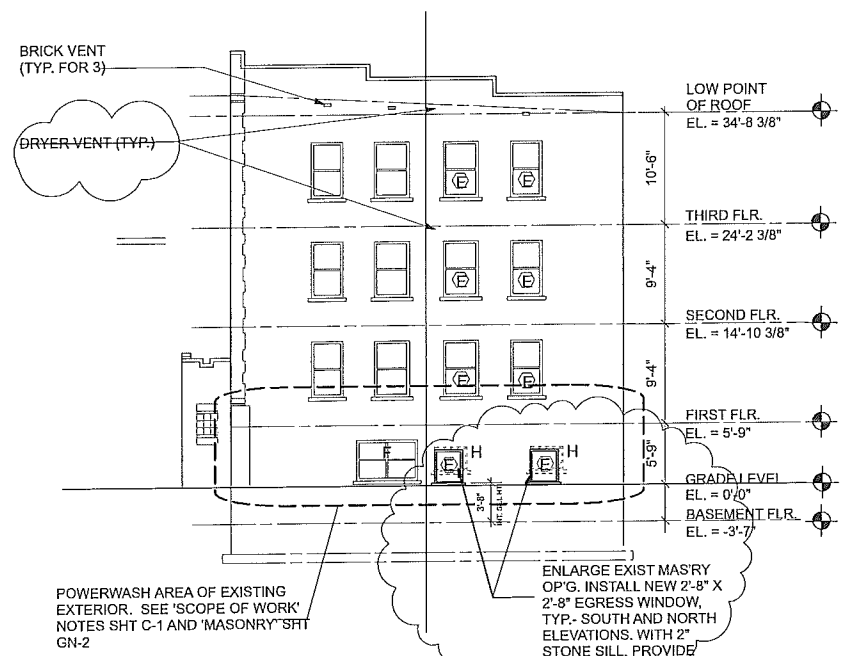
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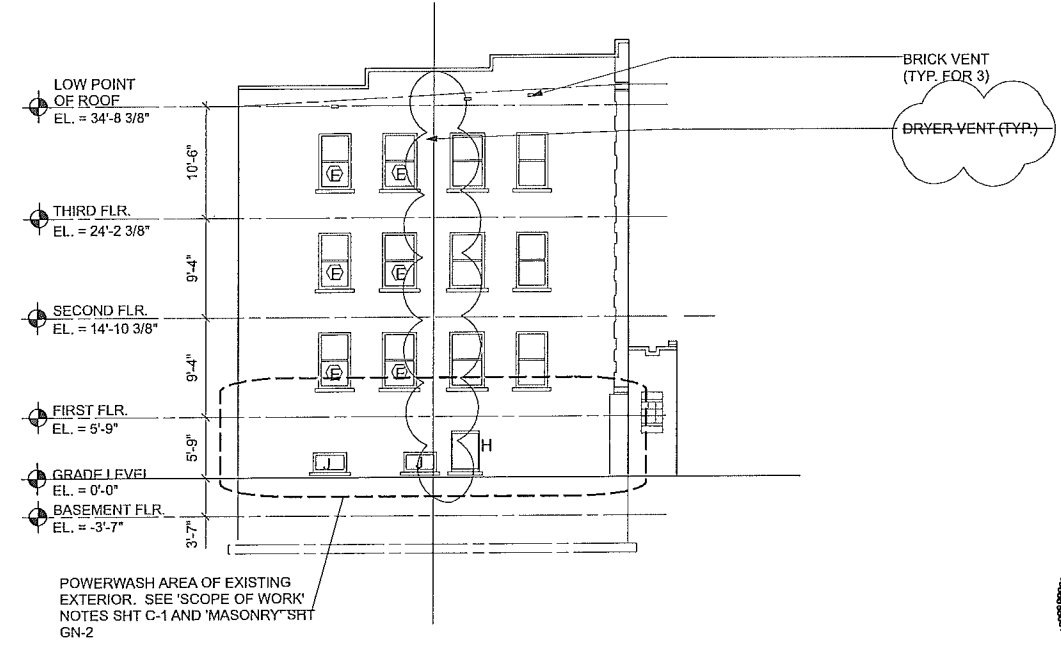
1 WEST ELEVATION
 SCALE: 1/8"=1'-0"



2 EAST ELEVATION
 SCALE: 1/8"=1'-0"

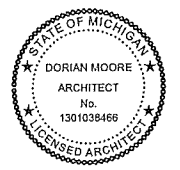


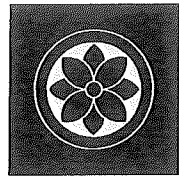
3 SOUTH ELEVATION
 SCALE: 1/8"=1'-0"



4 NORTH ELEVATION
 SCALE: 1/8"=1'-0"

NOTE:
 1. PROVIDE NEW WINDOWS IN ALL EXISTING WINDOW OPENINGS
 2. FOR WINDOW DETAILS-SEE SHT. A-10
 3. (E) = EGRESS WINDOW





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 Detroit, Michigan
 SHELBORNE DEVELOPMENT

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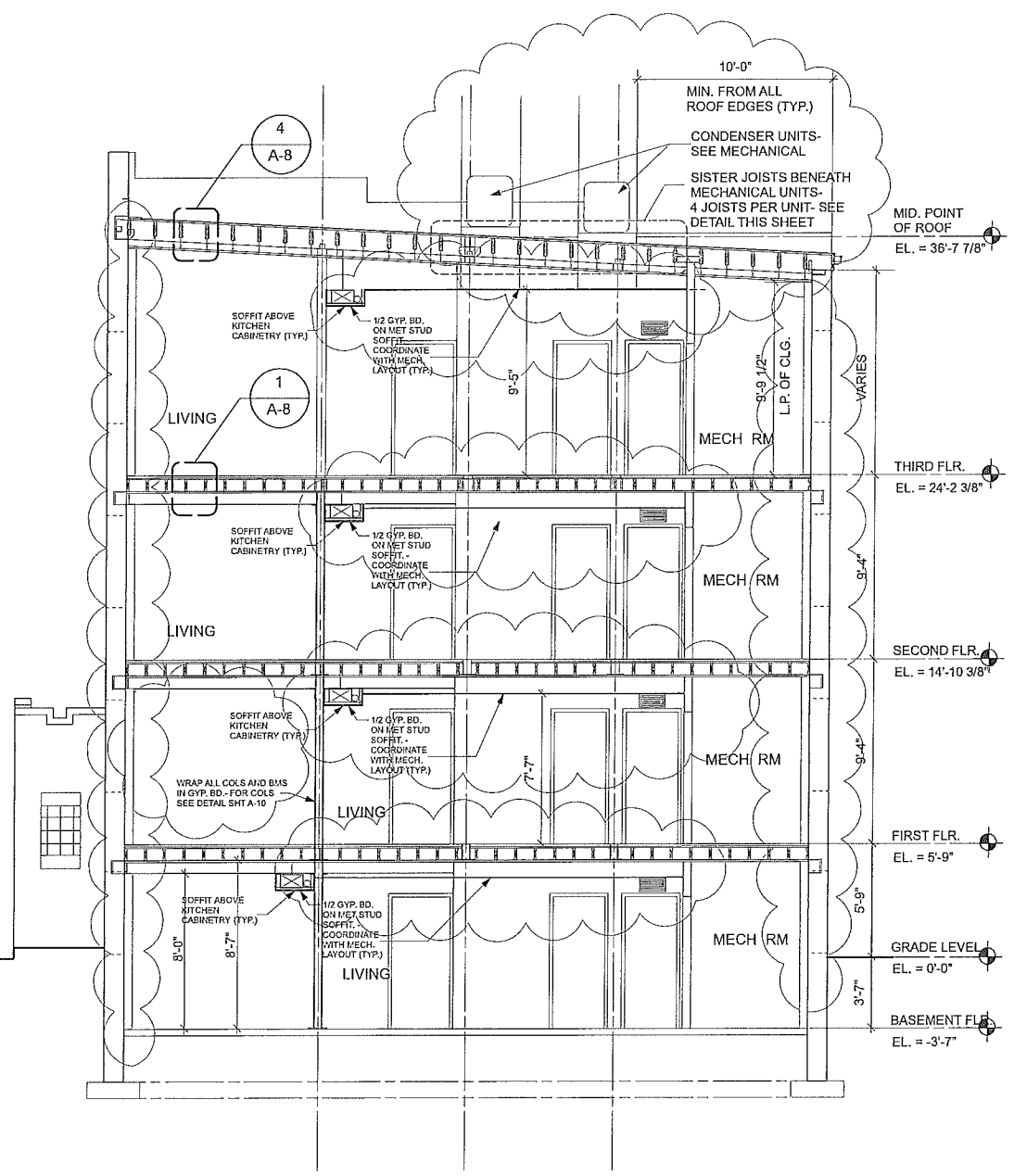
Sections

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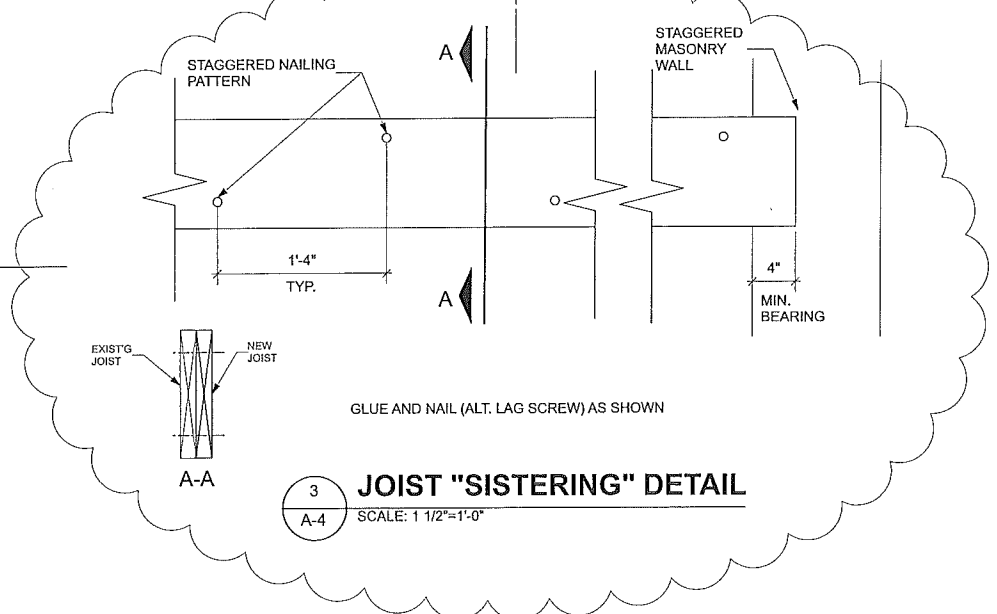


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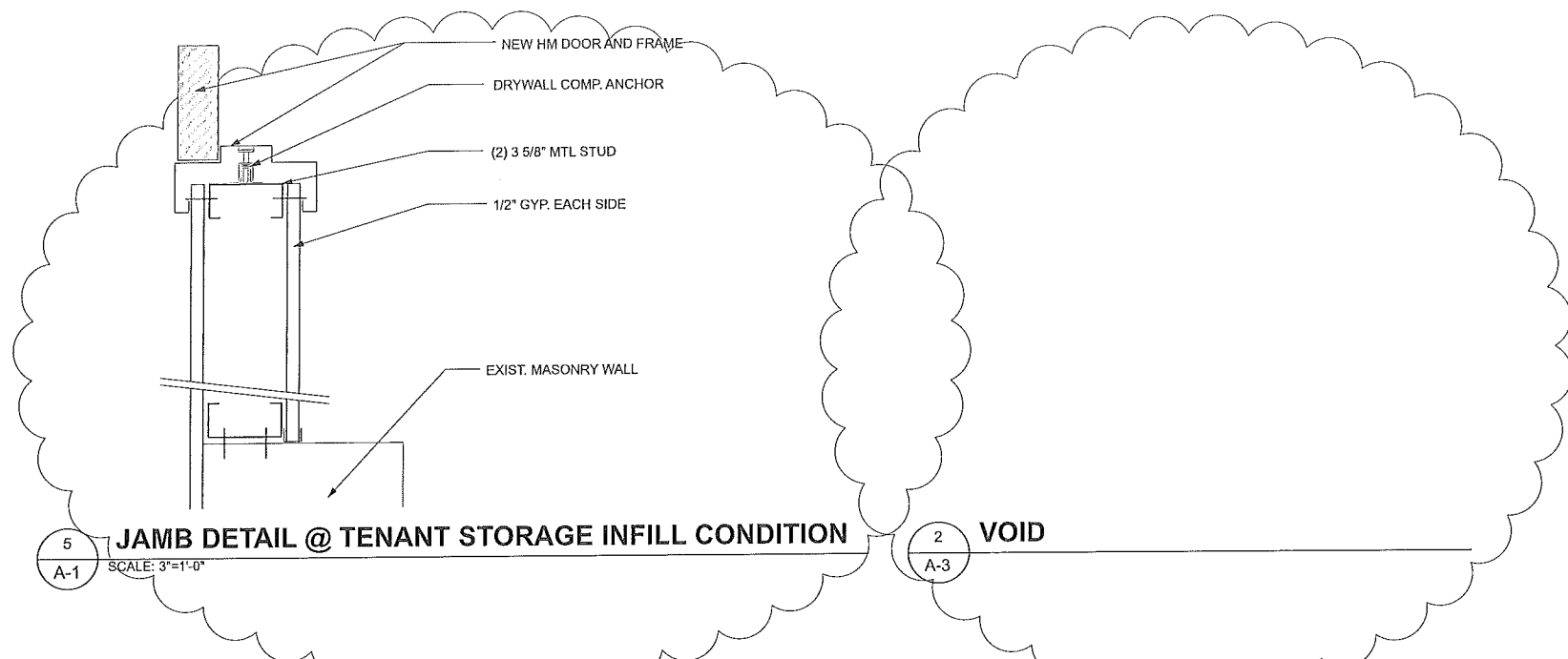


2 SECTION
 A-1 SCALE: 1/4"=1'-0"

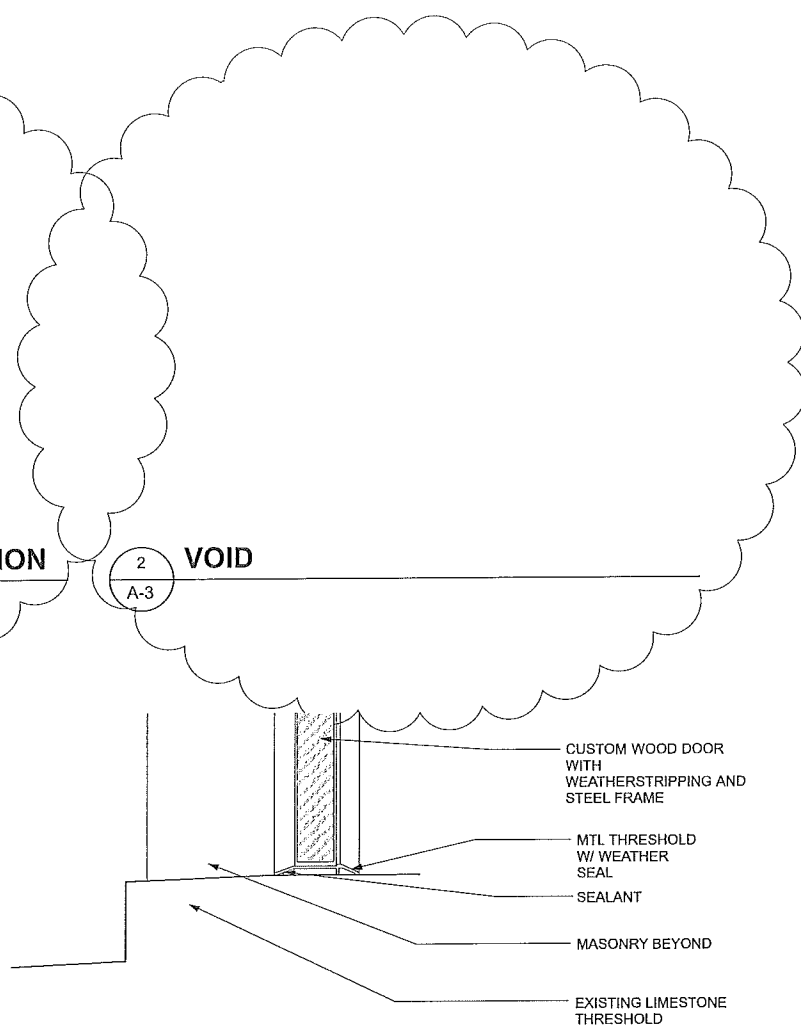


3 JOIST "SISTERING" DETAIL
 A-4 SCALE: 1 1/2"=1'-0"

1 SECTION
 A-1 SCALE: 1/4"=1'-0"

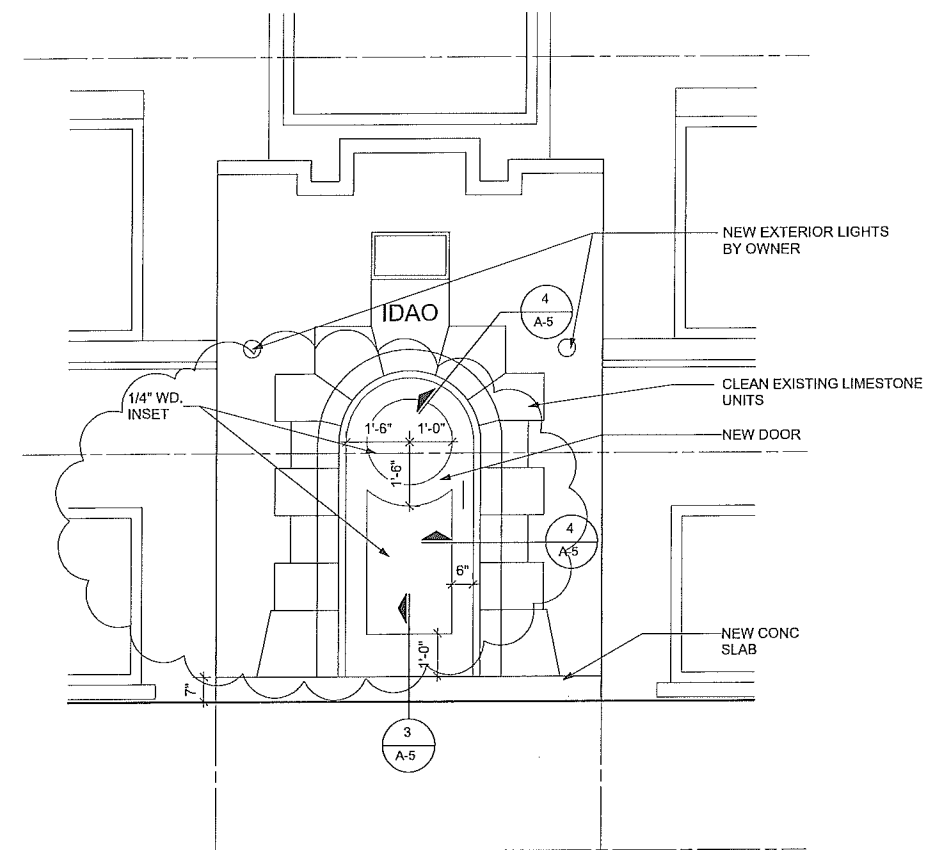


5 JAMB DETAIL @ TENANT STORAGE INFILL CONDITION
SCALE: 3"=1'-0"

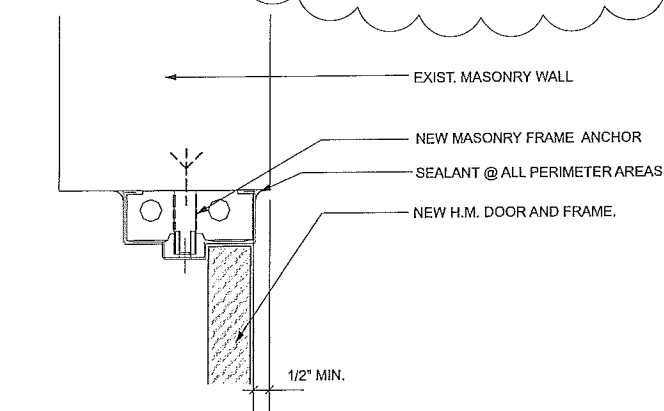


BUILDING ENTRY DOOR THRESHOLD DETAIL

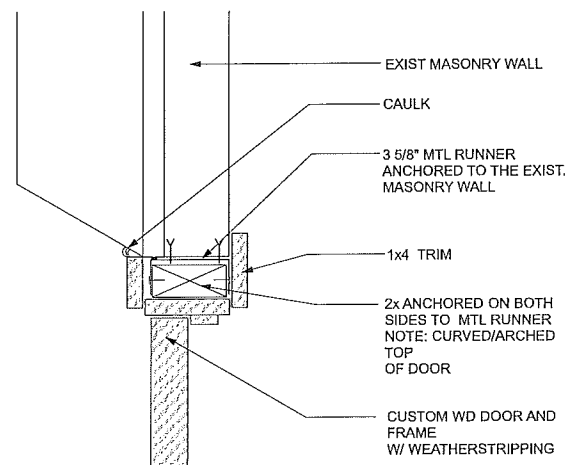
3 SCALE: 3"=1'-0"



1 ENLARGED ELEVATION
SCALE: 1/2"=1'-0"

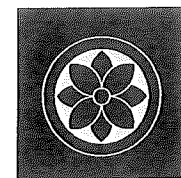


6 JAMB DETAIL
SCALE: 3"=1'-0"



BUILDING ENTRY DOOR JAMB DETAIL

4 SCALE: 3"=1'-0"



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Enlarged Elevation

Titled Part

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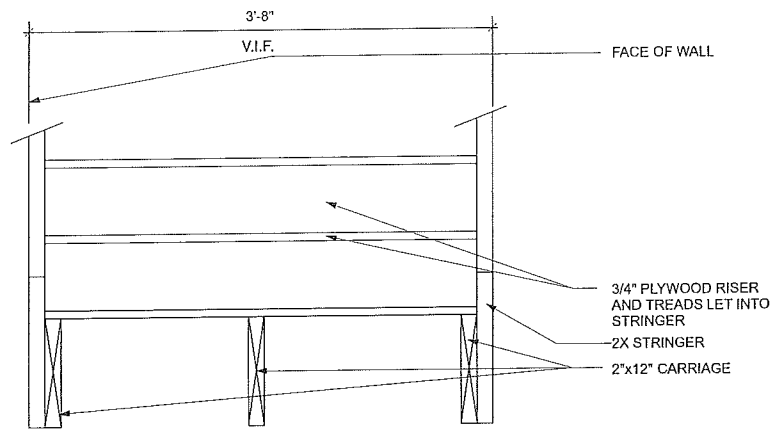
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Date:

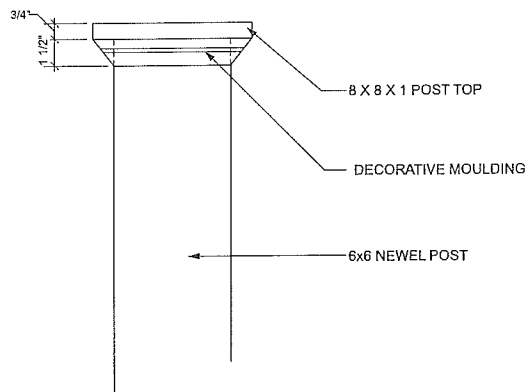


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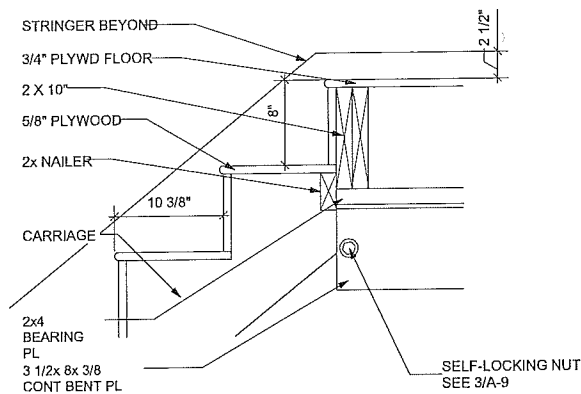
2 STAIR CROSS-SECTION DETAIL

2
A-6 SCALE: 1 1/2"=1'-0"



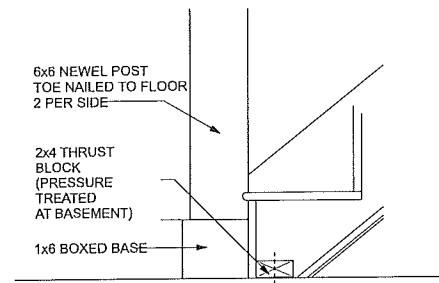
3 NEWEL POST TOP DETAIL

3
A-6 SCALE: 3"=1'-0"



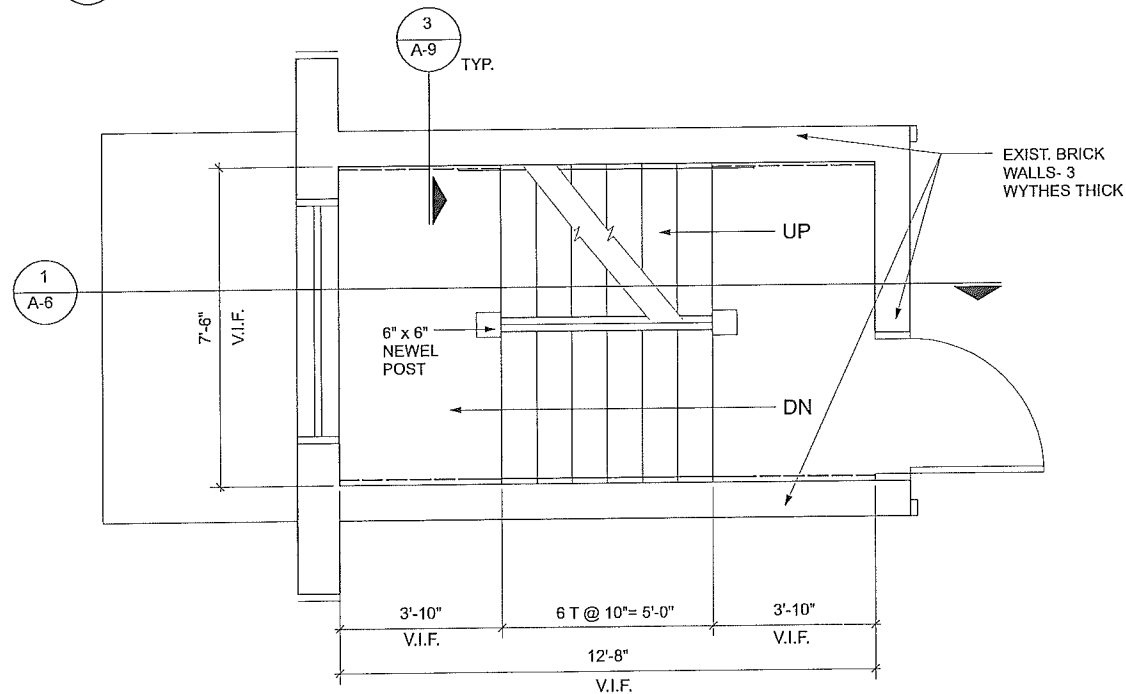
4 STAIR SECTION DETAIL

4
A-6 SCALE: 1 1/2"=1'-0"



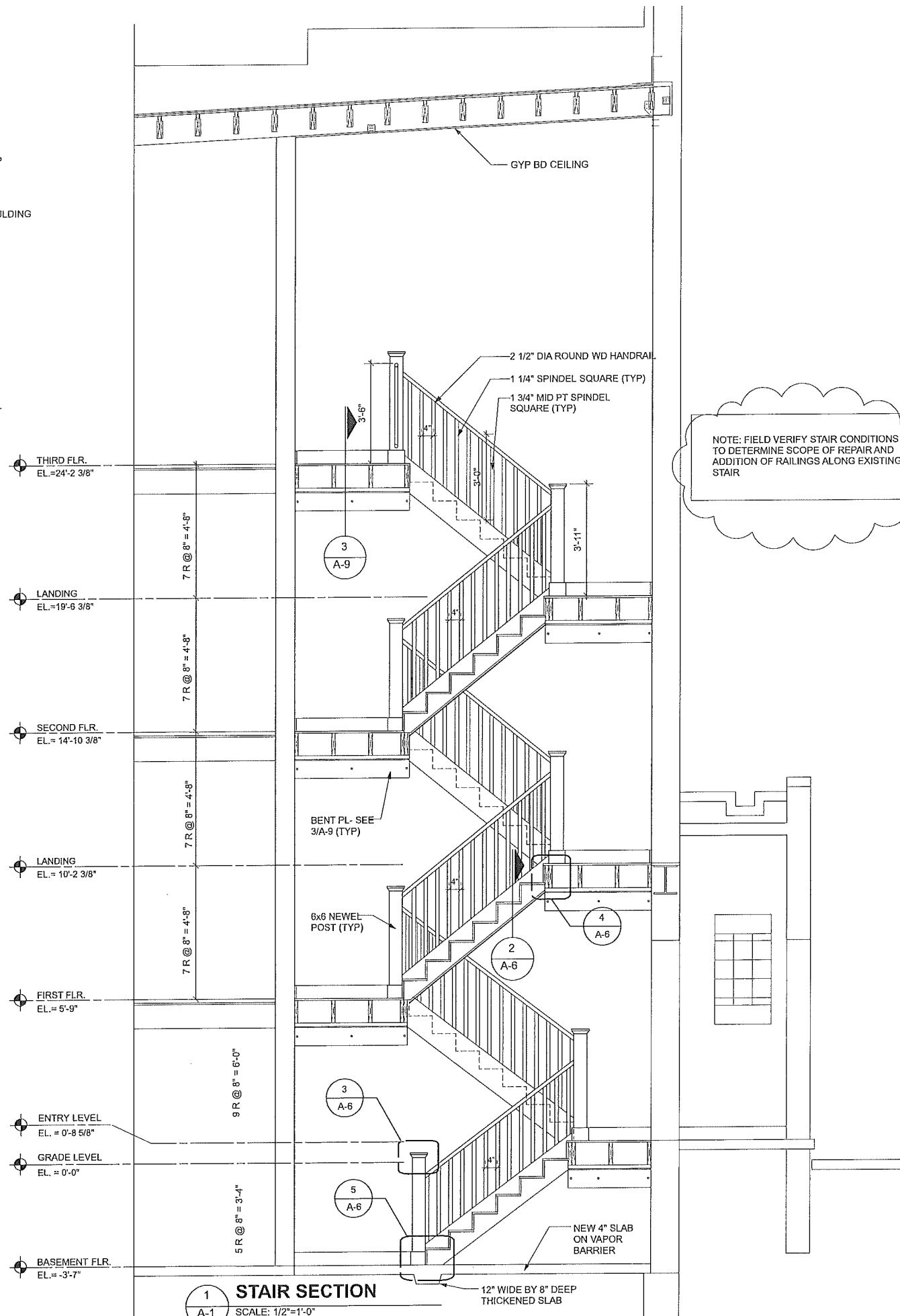
5 STAIR SECTION DETAIL

5
A-6 SCALE: 1 1/2"=1'-0"



6 ENLARGED STAIR PLAN-TYPICAL

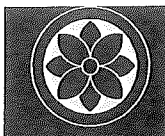
6
A-2 SCALE: 1/2"=1'-0"



1 STAIR SECTION

1
A-1 SCALE: 1/2"=1'-0"

NOTE: FIELD VERIFY STAIR CONDITIONS TO DETERMINE SCOPE OF REPAIR AND ADDITION OF RAILINGS ALONG EXISTING STAIR



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Stair Sections and Details

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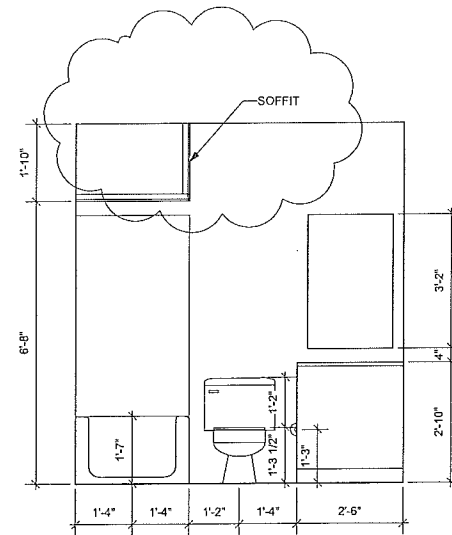


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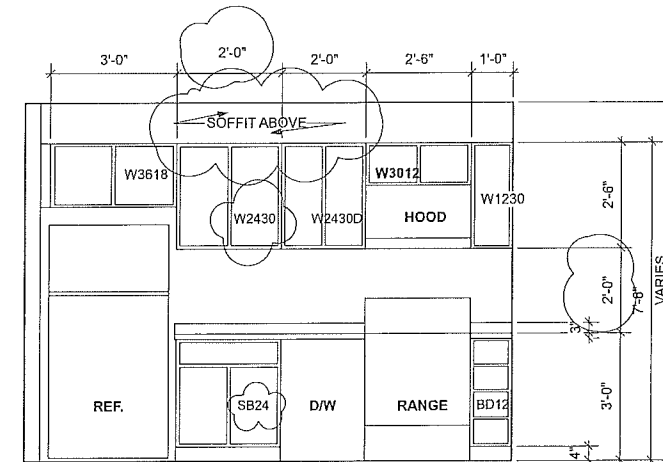
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SHEET NUMBER:

A-6

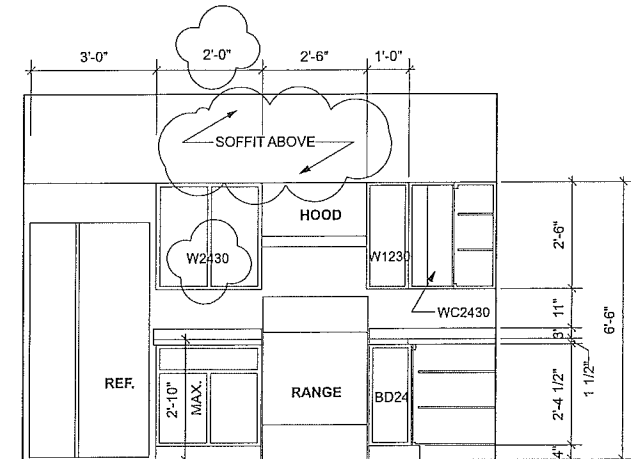
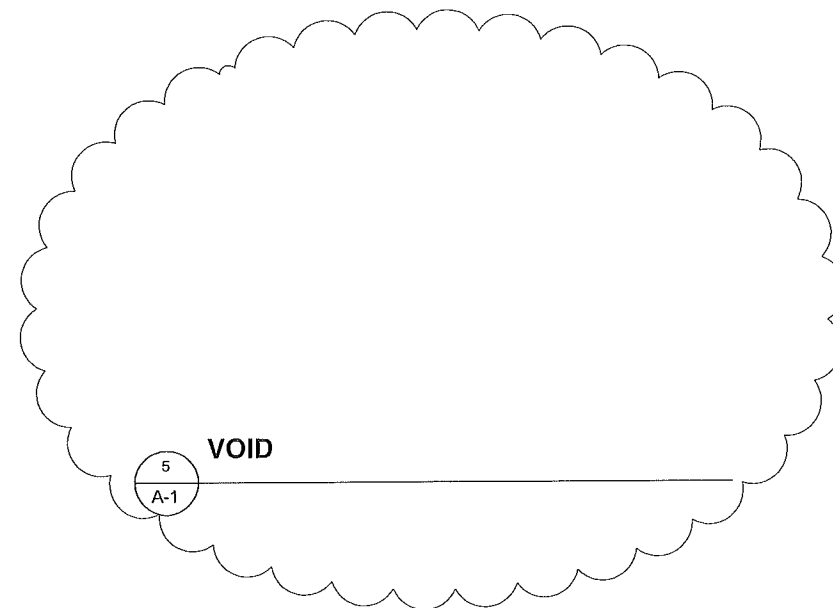
NOTE:
ALL CABINETS #S SHOWN ARE MERILLAT



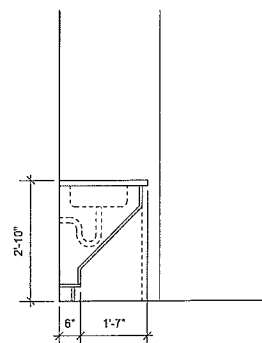
4 BATHROOM ELEVATION
SCALE: 1/2"=1'-0"



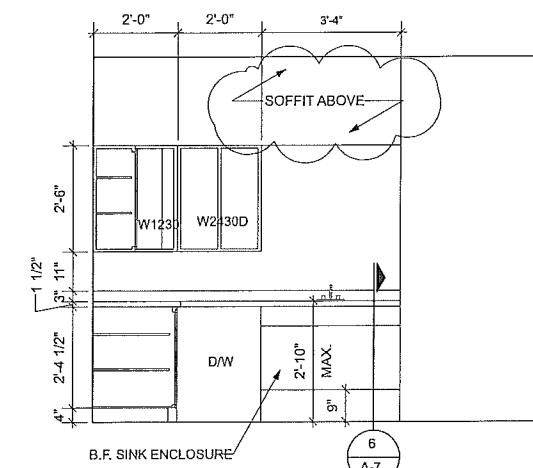
1 TYPICAL KITCHEN ELEVATION
SCALE: 1/2"=1'-0"



2 KITCHEN ELEVATION
SCALE: 1/2"=1'-0"



6 BARRIER FREE SINK SECTION
SCALE: 1/2"=1'-0"



3 KITCHEN ELEVATION
SCALE: 1/2"=1'-0"

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Interior Elevations

Level Feet

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BULLETIN 1

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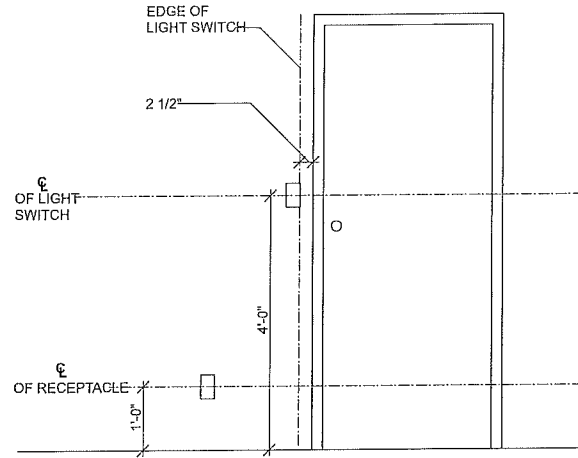
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Date:

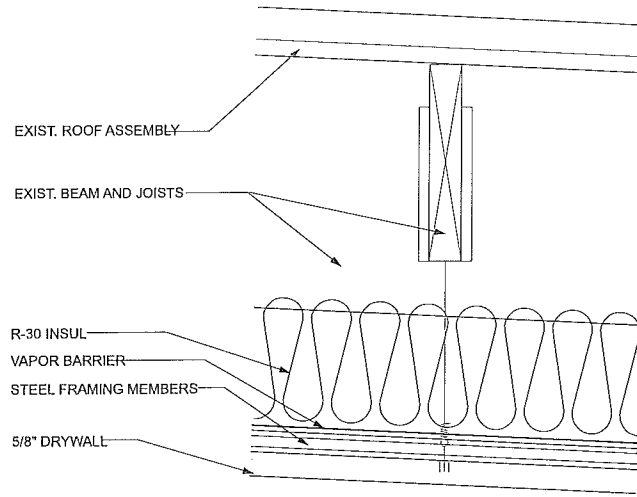
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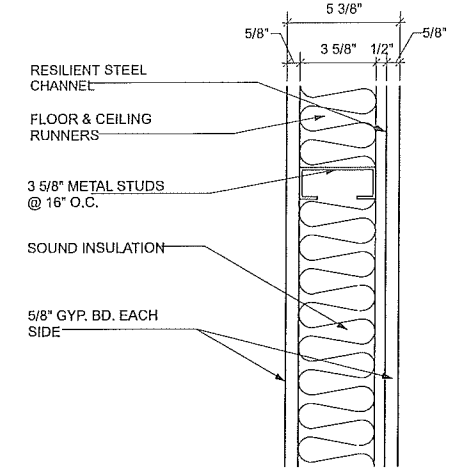


9 TYP. ELECTRICAL LOCATIONS
A-8 SCALE: 3/4"=1'-0"

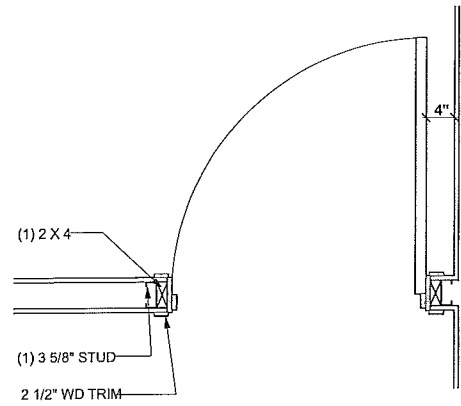


NOTE: ATTIC SPACE VENTED THROUGH (8) BRICK VENTS, SEE SHEET A-3

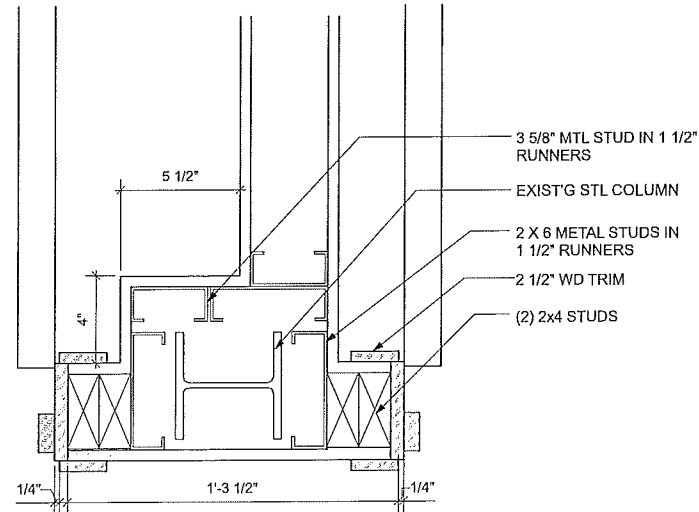
4 THIRD FLOOR CLG. DETAIL
A-4 SCALE: 3"=1'-0"



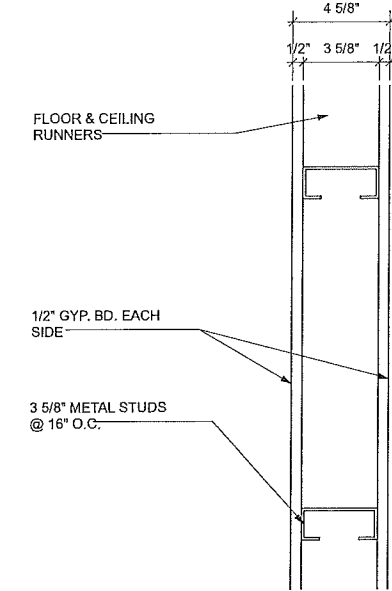
3 UNIT SEPARATION WALL @ CORR.
SCALE: 3"=1'-0" 1 HOUR WALL PER UL# U423



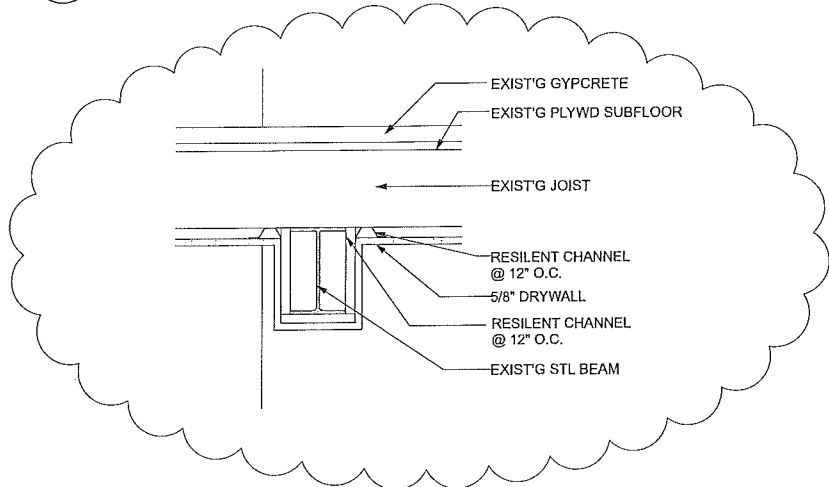
8 TYP. DOOR PLACEMENT
A-8 SCALE: 1"=1'-0"



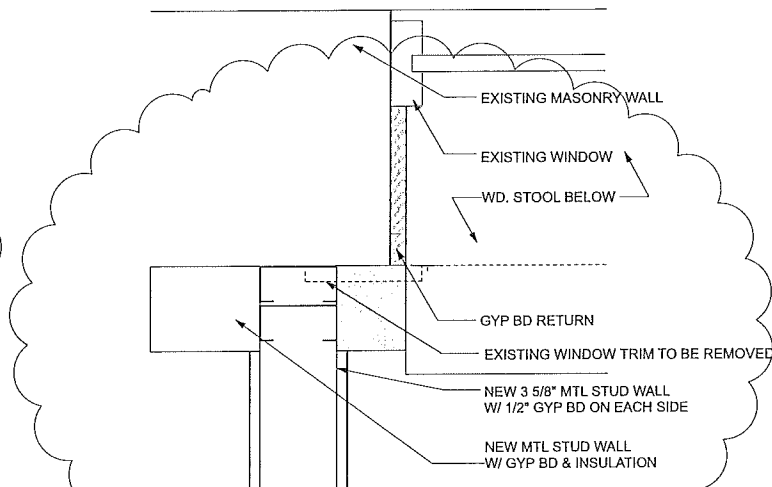
5 COLUMN ENCLOSURE DETAIL
A-1 SCALE: 3"=1'-0"



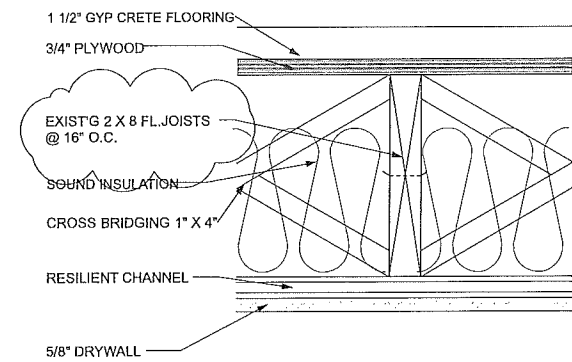
2 TYP. WALL
SCALE: 3"=1'-0"



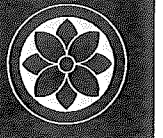
7 TYP. BM ENCLOSURE IN FIRE RATED FLOOR
A-4 SCALE: 1 1/2"=1'-0"



6 ENLARGED FLOOR PLAN DETAIL
A-1 SCALE: 3"=1'-0"



1 UL# L535 - 1 HR. FLOOR
A-4 SCALE: 3"=1'-0" * 1/2 HOUR SEPARATION REQUIRED



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Misc. Details

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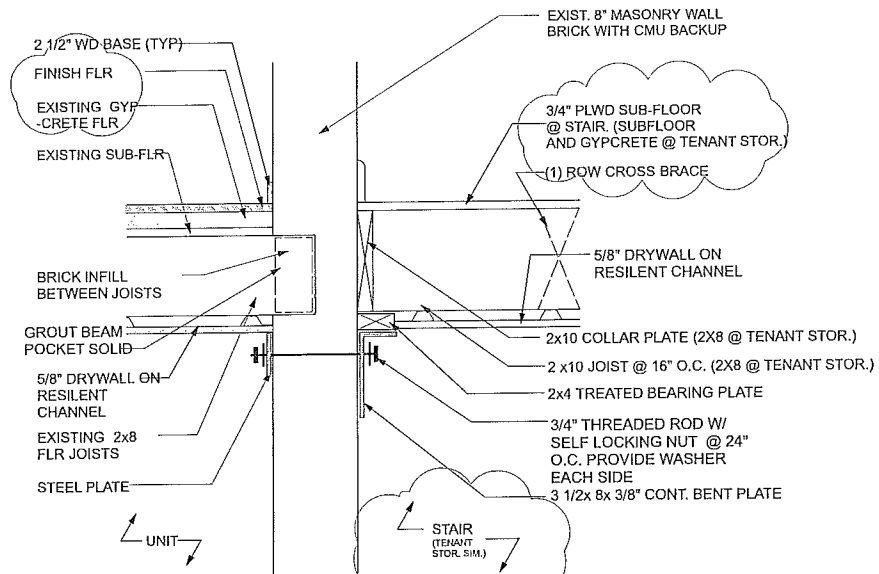
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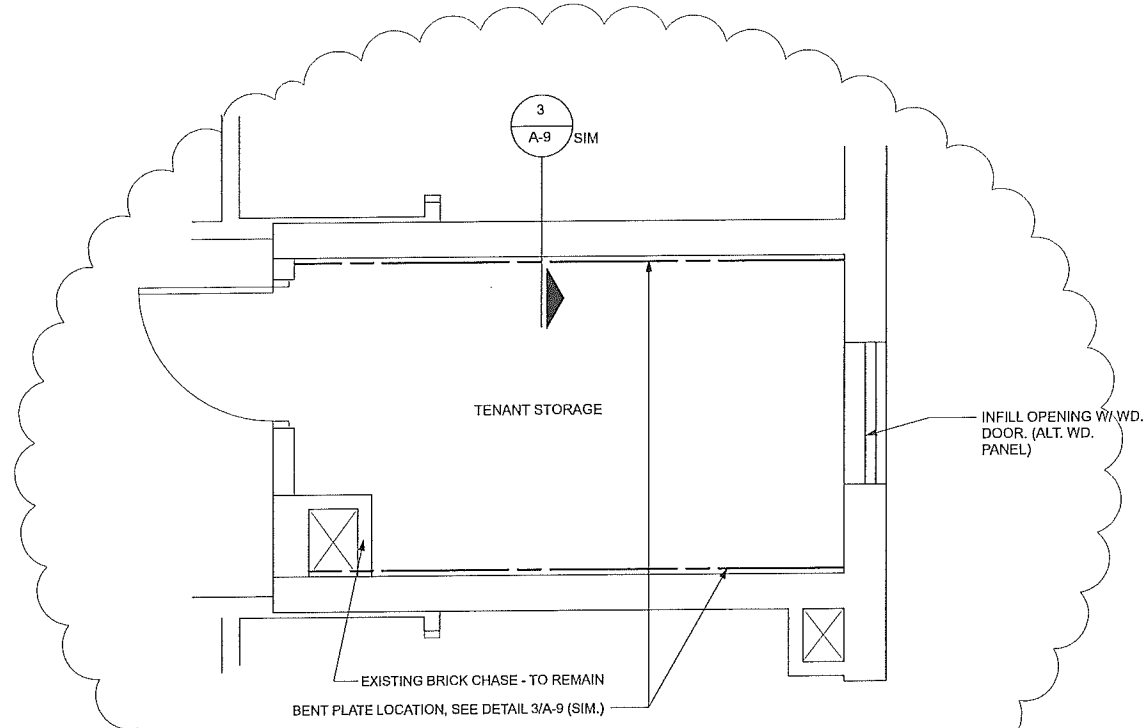
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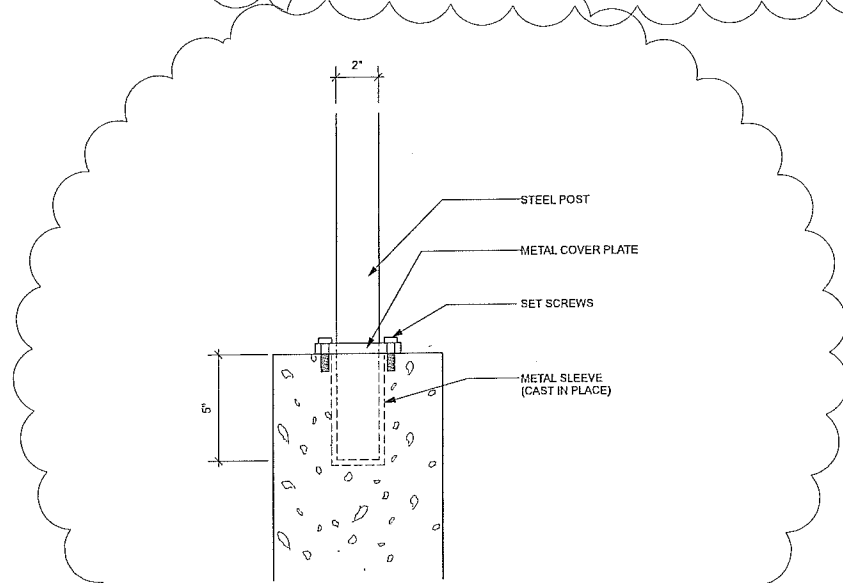
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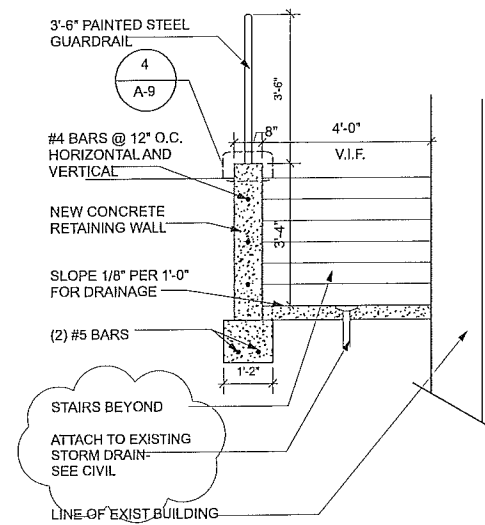
3 NEW FLOOR DETAIL @ STAIR AND UNIT
 SCALE: 1 1/2"=1'-0"



1 ENLARGED PLAN @ TENANT STORAGE ROOM
 SCALE: 1/2"=1'-0"



4 CONNECTION DETAIL (VOID)
 SCALE: 3"=1'-0"



2 RETAINING WALL DETAIL
 SCALE: 1/2"=1'-0"

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Misc. Details

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PULLETTIN 11.25.18

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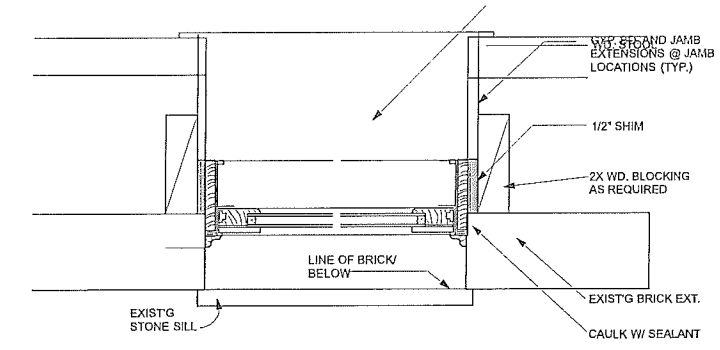
Misc. Details

Issue#	Date
Form2a	06.17
Revisions	07.24.17
1156.18	
BULLETIN 113-2018	

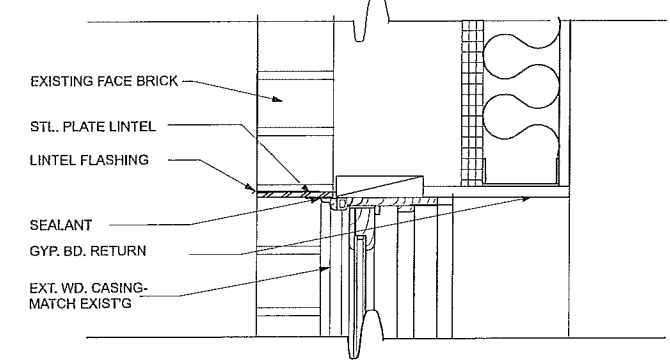
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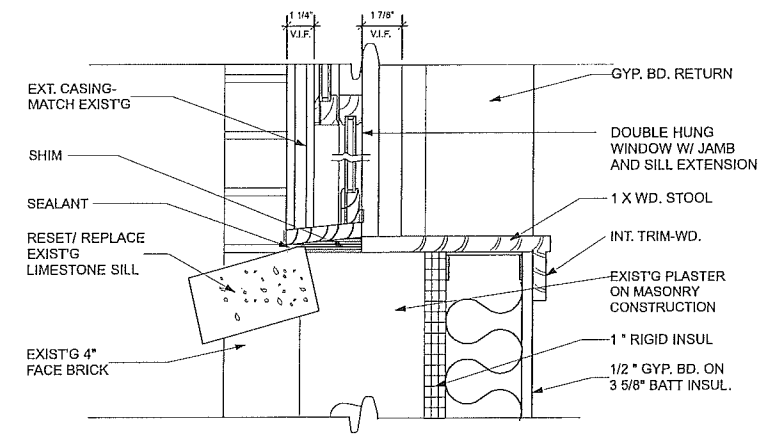
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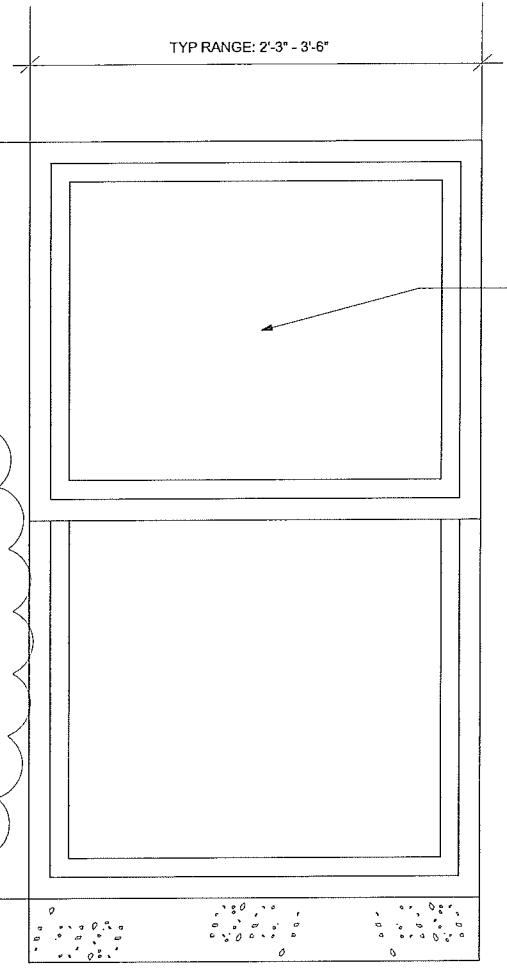
TYP. JAMB DETAIL
 SCALE: 3"=1'-0"



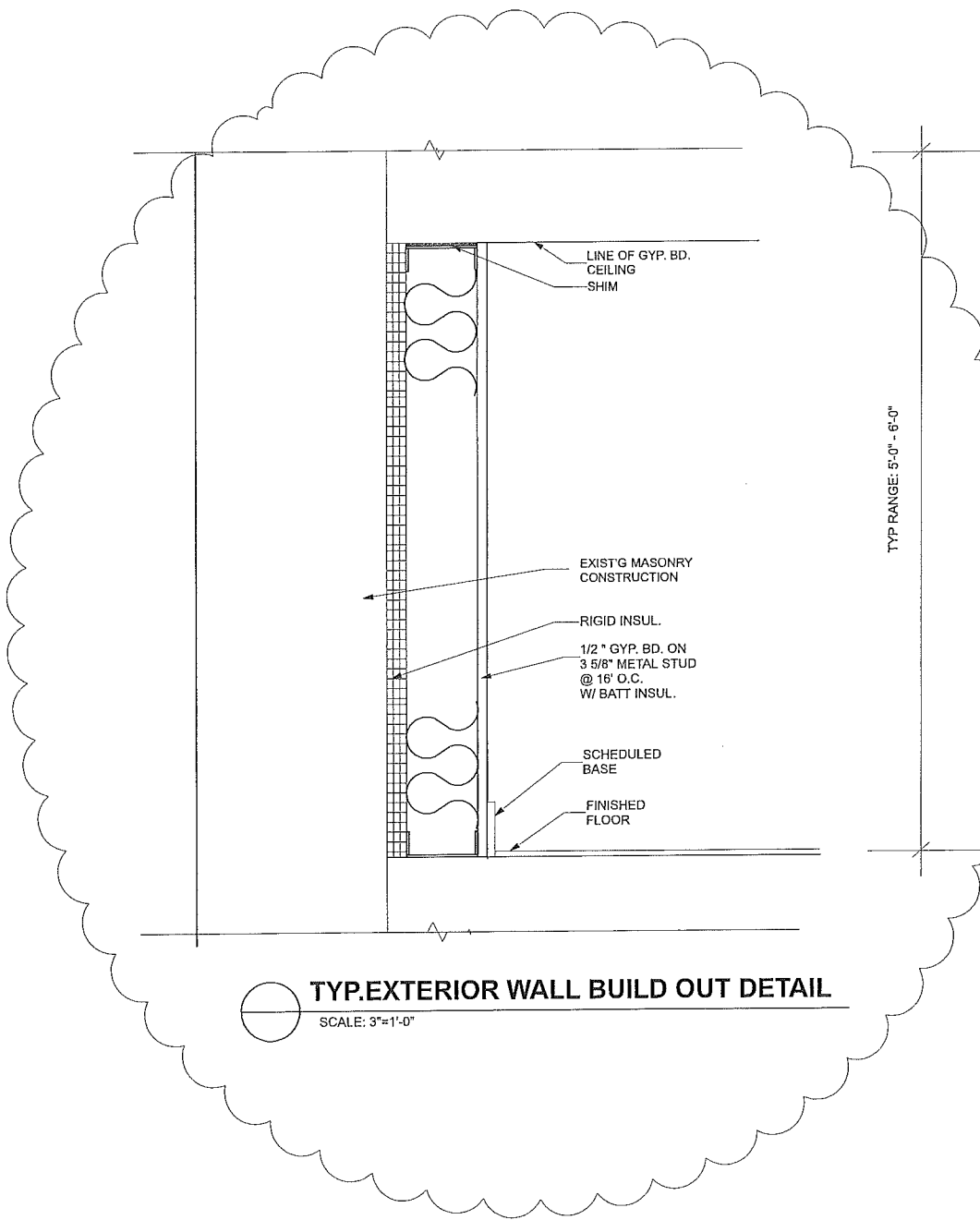
TYP. HEAD DETAIL
 SCALE: 3"=1'-0"



TYP. SILL DETAIL
 SCALE: 3"=1'-0"

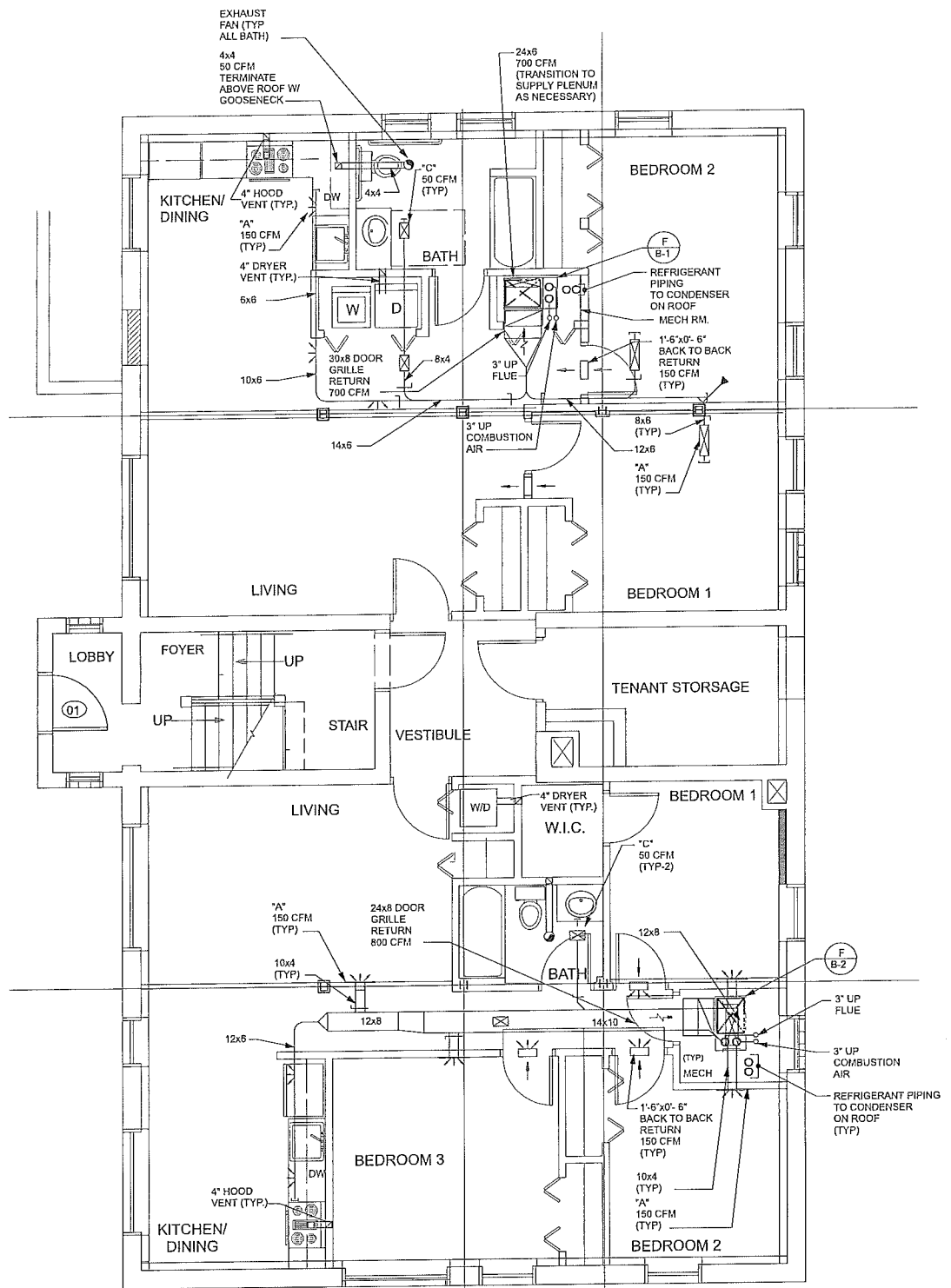


TYP. WINDOW ELEVATION
 SCALE: 1 1/2"=1'-0"



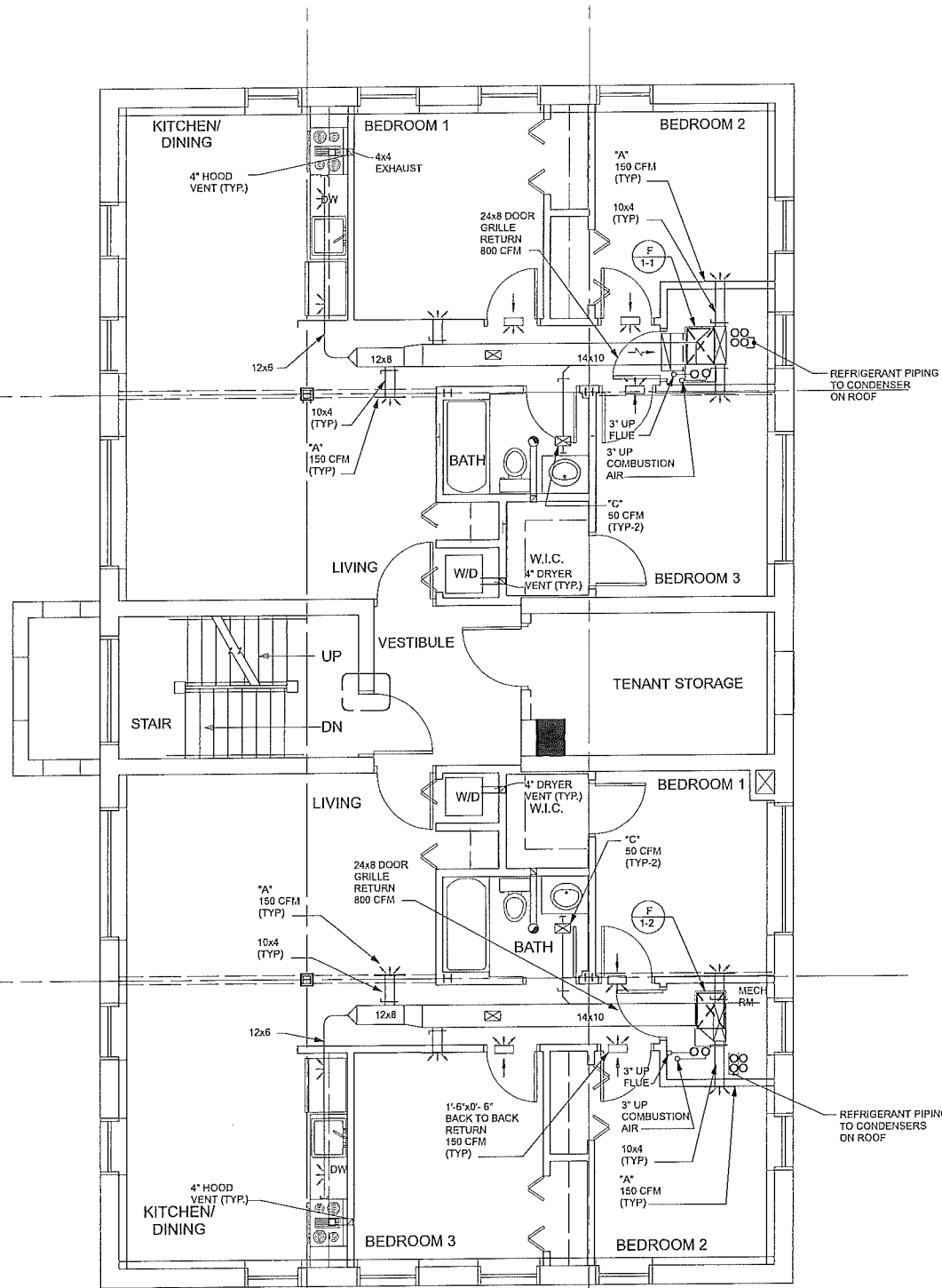
TYP. EXTERIOR WALL BUILD OUT DETAIL
 SCALE: 3"=1'-0"

WOOD WINDOW BY ALLIANCE, ANDERSON, MARVIN, OR EQ. BASIS OF DESIGN: MARVIN "ULTIMATE INSERT" DOUBLE HUNG WINDOW



BASEMENT PLAN
SCALE: 1/4"=1'-0"

NOTE:
1. PROVIDE ALL BATHS WITH EXHAUST FAN
SIMILAR AS SHOWN ABOVE



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

PROJECT TITLE:

MARBOROUGH APARTMENTS

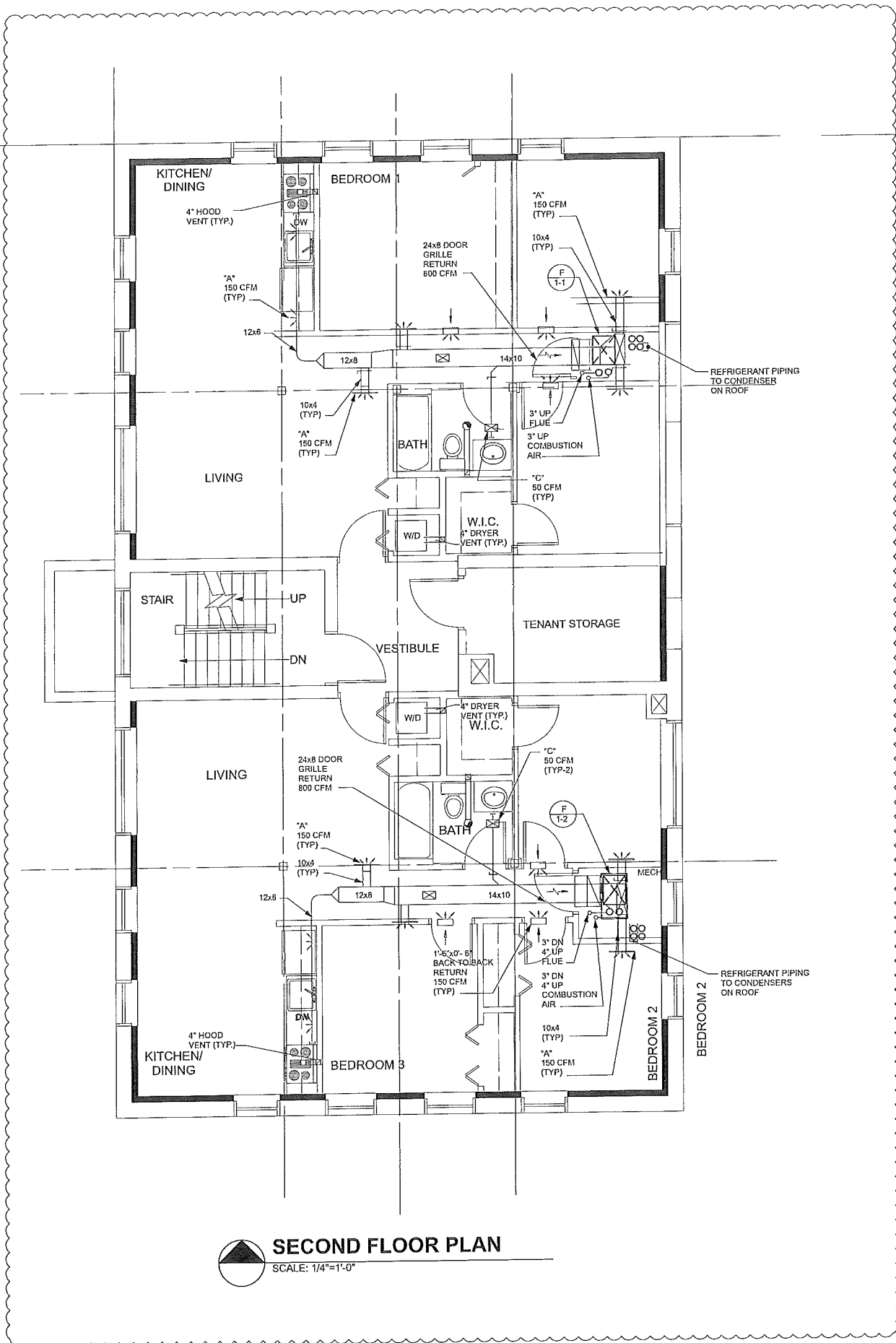
DETROIT, MICHIGAN

SHEET TITLE

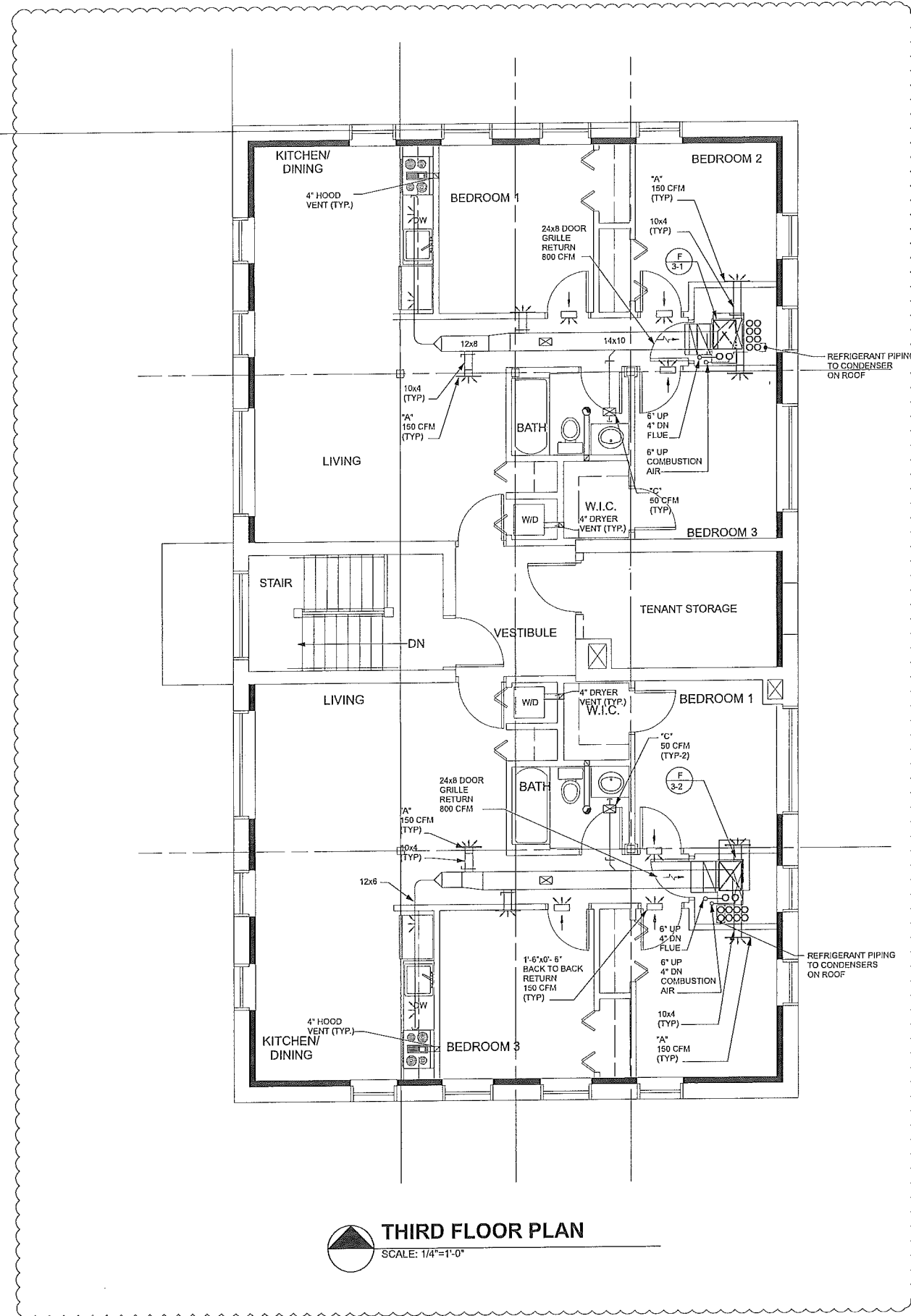
BASEMENT
AND FIRST
FLOOR PLAN-
HVAC

SHEET #

M-1



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

BULLETIN 1

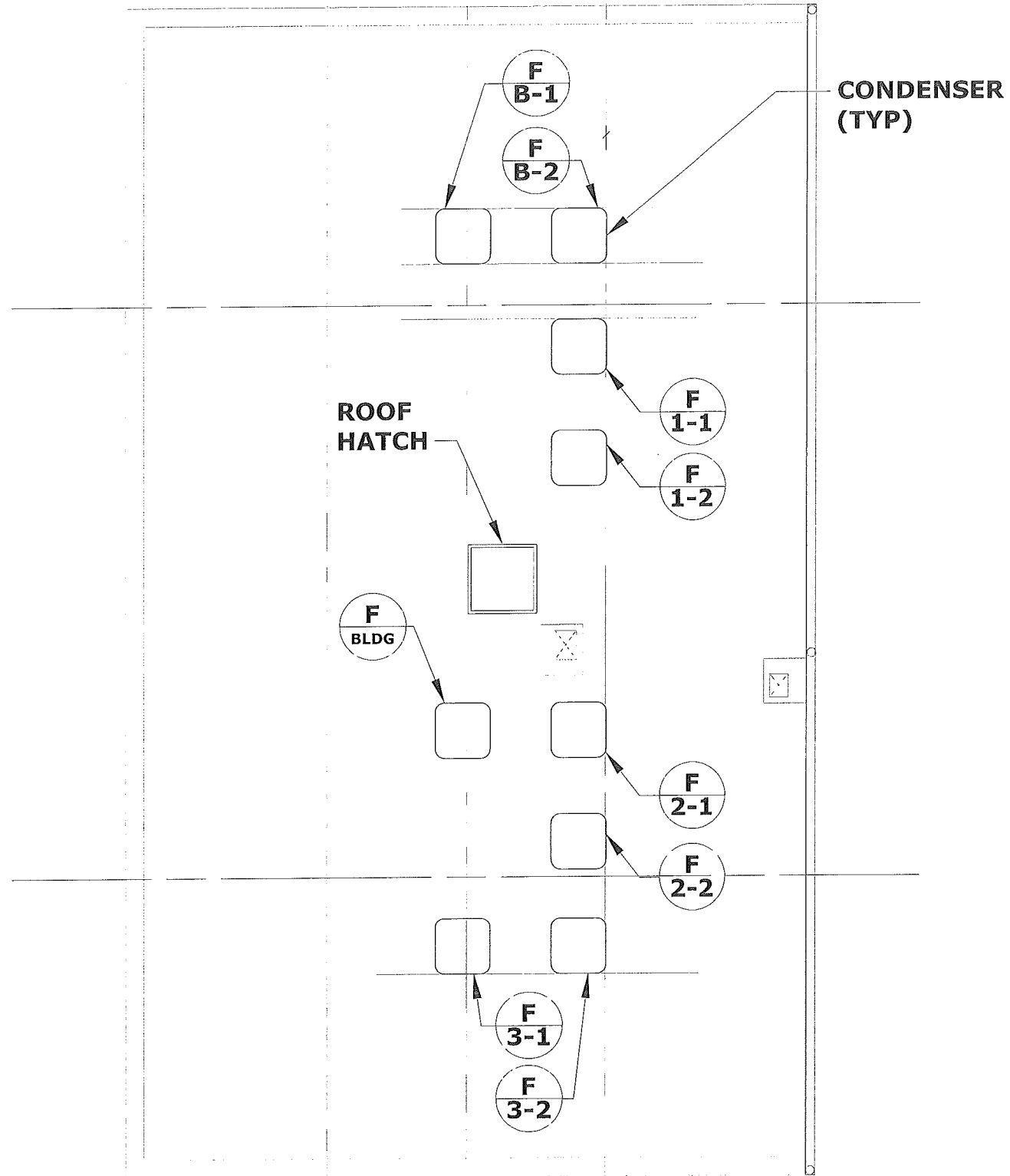
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PROJECT TITLE:
MARLBOROUGH APARTMENTS
DETROIT, MICHIGAN

SHEET TITLE
BASEMENT AND FIRST FLOOR PLAN-HVAC

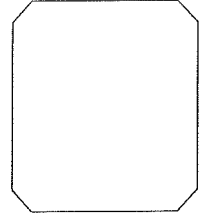
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M-2



ROOF PLAN
SCALE: 1/4"=1'-0"

M4

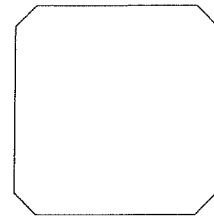


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DETROIT, MICHIGAN

SHEET TITLE
ROOF PLAN

PROJECT #
SHEET #
M-2.1



ROOM NAME	FOOTAGE AREA (FT ²)	OCCUPANT DENSITY (PERSONS/1000 FT ²)	# OF OCCUPANTS (PERSONS)	OUTDOOR AIR FLOW RATE (CFM/PERSON)	OUTDOOR AIR FLOW (CFM)
BASEMENT--(NORTH APARTMENT)					
1. BEDROOM(#1)	--	--	2	15 CFM/PERSON	30
2. BEDROOM(#2)	--	--	1	15 CFM/PERSON	15
3. KITCHEN	--	--	--	EXHAUST ONLY	--
4. BATH	--	50 CFM/WC	1 WC	50	50
				TOTAL O.A. REQUIRED =	95

NOTE: EF-1, SERVES BASEMENT NORTH APARTMENT IS SCHEDULED TO PROVIDE A TOTAL OF 850 CFM SUPPLY AIR MAX.

BASEMENT--(SOUTH APARTMENT)					
1. BEDROOM(#1)	--	--	2	15 CFM/PERSON	30
2. BEDROOM(#2)	--	--	1	15 CFM/PERSON	15
3. BEDROOM(#3)	--	--	1	15 CFM/PERSON	15
4. KITCHEN	--	--	--	EXHAUST ONLY	--
5. BATH(#1)	--	50 CFM/WC	1 WC	50	50
5. BATH(#2)	--	50 CFM/WC	1 WC	50	50
				TOTAL O.A. REQD =	160

NOTE: EF-2 TYPE SERVES BASEMENT SOUTH APARTMENT IS SCHEDULED TO PROVIDE A TOTAL OF 1,000 CFM SUPPLY AIR MAX.

1ST FLOOR--(NORTH APARTMENT)					
1. BEDROOM(#1)	--	--	2	15 CFM/PERSON	30
2. BEDROOM(#2)	--	--	1	15 CFM/PERSON	15
2. BEDROOM(#3)	--	--	1	15 CFM/PERSON	15
3. KITCHEN	--	--	--	EXHAUST ONLY	--
4. BATH(#1)	--	50 CFM/WC	1 WC	50	50
5. BATH(#2)	--	50 CFM/WC	1 WC	50	50
				TOTAL O.A. REQUIRED =	160

NOTE: EF-2 TYPE SERVES 1ST FLR. NORTH APARTMENT IS SCHEDULED TO PROVIDE A TOTAL OF 1,000 CFM SUPPLY AIR MAX.

1ST FLOOR--(SOUTH APARTMENT)					
1. BEDROOM(#1)	--	--	2	15 CFM/PERSON	30
2. BEDROOM(#2)	--	--	1	15 CFM/PERSON	15
3. BEDROOM(#3)	--	--	1	15 CFM/PERSON	15
4. KITCHEN	--	--	--	EXHAUST ONLY	--
5. BATH(#1)	--	50 CFM/WC	1 WC	50	50
5. BATH(#2)	--	50 CFM/WC	1 WC	50	50
				TOTAL O.A. REQD =	160

NOTE: EF-2 TYPE SERVES 1ST FLR. SOUTH APARTMENT IS SCHEDULED TO PROVIDE A TOTAL OF 1,000 CFM SUPPLY AIR MAX.

2ND FLOOR--(NORTH APARTMENT)-----SEE DWG. M-4					
1. BEDROOM(#1)	--	--	2	15 CFM/PERSON	30
2. BEDROOM(#2)	--	--	1	15 CFM/PERSON	15
2. BEDROOM(#3)	--	--	1	15 CFM/PERSON	15
3. KITCHEN	--	--	--	EXHAUST ONLY	--
4. BATH(#1)	--	50 CFM/WC	1 WC	50	50
5. BATH(#2)	--	50 CFM/WC	1 WC	50	50
				TOTAL O.A. REQUIRED =	160

NOTE: EF-2 TYPE SERVES 2ND FLR. NORTH APARTMENT IS SCHEDULED TO PROVIDE A TOTAL OF 1,000 CFM SUPPLY AIR MAX.

2ND FLOOR--(SOUTH APARTMENT) -----SEE DWG. M-4					
1. BEDROOM(#1)	--	--	2	15 CFM/PERSON	30
2. BEDROOM(#2)	--	--	1	15 CFM/PERSON	15
3. BEDROOM(#3)	--	--	1	15 CFM/PERSON	15
4. KITCHEN	--	--	--	EXHAUST ONLY	--
5. BATH(#1)	--	50 CFM/WC	1 WC	50	50
5. BATH(#2)	--	50 CFM/WC	1 WC	50	50
				TOTAL O.A. REQD =	160

NOTE: EF-2 TYPE SERVES 2ND FLR. SOUTH APARTMENT IS SCHEDULED TO PROVIDE A TOTAL OF 1,000 CFM SUPPLY AIR MAX.

3RD FLOOR--(NORTH APARTMENT)-----SEE DWG. M-4					
1. BEDROOM(#1)	--	--	2	15 CFM/PERSON	30
2. BEDROOM(#2)	--	--	1	15 CFM/PERSON	15
2. BEDROOM(#3)	--	--	1	15 CFM/PERSON	15
3. KITCHEN	--	--	--	EXHAUST ONLY	--
4. BATH(#1)	--	50 CFM/WC	1 WC	50	50
5. BATH(#2)	--	50 CFM/WC	1 WC	50	50
				TOTAL O.A. REQUIRED =	160

NOTE: EF-2 TYPE SERVES 3RD FLR. NORTH APARTMENT IS SCHEDULED TO PROVIDE A TOTAL OF 1,000 CFM SUPPLY AIR MAX.

3RD FLOOR--(SOUTH APARTMENT) -----SEE DWG. M-4					
1. BEDROOM(#1)	--	--	2	15 CFM/PERSON	30
2. BEDROOM(#2)	--	--	1	15 CFM/PERSON	15
3. BEDROOM(#3)	--	--	1	15 CFM/PERSON	15
4. KITCHEN	--	--	--	EXHAUST ONLY	--
5. BATH(#1)	--	50 CFM/WC	1 WC	50	50
5. BATH(#2)	--	50 CFM/WC	1 WC	50	50
				TOTAL O.A. REQD =	160

NOTE: EF-2 TYPE SERVES 3RD FLR. SOUTH APARTMENT IS SCHEDULED TO PROVIDE A TOTAL OF 1,000 CFM SUPPLY AIR MAX.

BUILDING TOTAL OUTSIDE AIR SUPPLY = 1,215 CFM

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PROJECT TITLE:
MARLBOROUGH APARTMENTS
-
DETROIT, MICHIGAN

SHEET TITLE
BUILDING
OUTSIDE AIR
REQUIREMENT
CALCULATIONS

DRAWN BY: _____
APPROVED BY: _____
SCALE: --
DATE: _____

PROJECT # _____ SHEET #
M3

MECHANICAL SPECIFICATION

GENERAL NOTES

- THE ACCOMPANYING DRAWINGS SHOW THE ARRANGEMENT, GENERAL DESIGN AND EXTENT OF THE WORK AND ARE MORE OR LESS DIAGRAMMATICAL WITH EQUIPMENT IN ITS GENERAL LOCATION, EXCEPT THAT IN CERTAIN CASES, THE DRAWINGS MAY INCLUDE DETAILS GIVING EXACT LOCATIONS AND ARRANGEMENTS.
- THE DRAWINGS ARE NOT INTENDED TO BE SCALED FOR ROUGHING IN NOR TO SERVE AS SHOP DRAWINGS. IF DRAWINGS ARE REQUIRED FOR THIS PURPOSE OR HAVE TO BE MADE FROM FIELD MEASUREMENTS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE SUCH DRAWINGS.
- THE PLANS AND SPECIFICATIONS ARE INTENDED TO INCLUDE ALL WORK AND MATERIALS FOR ENTIRE COMPLETION OF THE WORK. ANY ITEM OF MATERIAL, LABOR OR INSTALLATION REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AND OMITTED FROM EITHER THE PLANS AND SPECIFICATIONS OR BOTH, BUT OBVIOUSLY UNDERSTOOD, SHALL BE FURNISHED AS PART OF THE CONTRACT WITHOUT ADDITIONAL COST.
- UPON COMPLETION OF THE CONTRACT, THE OWNER SHALL RECEIVE THROUGH THE ARCHITECT, A COMPLETE SET OF MANUFACTURER'S OPERATING AND MAINTENANCE INSTRUCTIONS AND PARTS LISTS WITH NUMBERS AND DESCRIPTIONS FOR EACH PIECE OF EQUIPMENT. AT THE COMPLETION OF THE JOB, THE CONTRACTOR SHALL PREPARE A PRINTED SET OF OPERATING INSTRUCTIONS FOR ALL MECHANICAL SYSTEMS AND EQUIPMENT FOR USE BY THE OWNER'S MAINTENANCE PERSONNEL. THE CONTRACTOR SHALL ALSO PROVIDE THE OWNER'S PERSONNEL WITH INSTRUCTIONS IN THE OPERATIONAL USE OF ALL SYSTEMS AND EQUIPMENT.
- THE CONTRACTOR SHALL PREPARE FABRICATION DRAWINGS AS NECESSARY TO ASSURE THAT ALL OF HIS WORK WILL FIT WITHIN THE ALLOTTED SPACE. THE FABRICATION DRAWINGS SHALL SHOW ALL HVAC AND PLUMBING EQUIPMENT, SPECIALTIES AND DEVICES AND ALL RELATED SHEET METAL DUCTWORK, PLUMBING PIPING, GAS PIPING, FIRE PROTECTION PIPING OR OTHER MECHANICAL ITEMS WHICH ARE TO BE INSTALLED WITHIN THE CEILING SPACE.
- SHOP DRAWINGS, PORTFOLIOS AND/OR CATALOGUES ON ALL ITEMS OF MECHANICAL EQUIPMENT SPECIFIED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR WRITTEN APPROVAL BY THE ENGINEER. NO EQUIPMENT SHALL BE DELIVERED TO THE JOB SITE UNTIL SAID APPROVAL IS ISSUED.
- AT THE END OF THE JOB, CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR THE OWNER, PARTS AND MATERIALS MANUALS ON ALL ITEMS OF MECHANICAL EQUIPMENT.
- THE CONTRACTOR SHALL SUBMIT A MINIMUM OF SEVEN (7) COPIES OF SHOP DRAWINGS COVERING EACH ITEM OF MECHANICAL EQUIPMENT.
- THE MECHANICAL WORK INTENDED UNDER THESE SPECIFICATIONS, AND AS INDICATED ON THE DRAWINGS SHALL CONSIST OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES TOGETHER WITH SUPERVISION AND TOOLS NECESSARY FOR INSTALLATION OF HEATING, AIR CONDITIONING, PLUMBING, AND FIRE PROTECTION SYSTEMS.
- ALL WORK SHALL BE IN STRICT CONFORMITY WITH BOCA, OSHA, MICHIGAN, AND ALL LOCAL AND STATE RULES, AND REGULATIONS, AND CODES APPLICABLE TO THE TRADE AFFECTED.
- THE CONTRACTOR SHALL MAKE APPLICATION FOR ALL PERMITS, AND LICENSES NECESSARY FOR THE PROSECUTION OF HIS WORK, AND SHALL PAY ALL FEES, AND COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS GOVERNING THE INSTALLATION OF HIS WORK.
- THIS CONTRACTOR SHALL PROVIDE ALL LABOR FOR THE COMPLETE ERECTION OF THE INSTALLATION, ALL LABOR TO BE PERFORMED BY COMPETENT WORKMEN SKILLED IN THEIR PARTICULAR BRANCHES OF THE TRADE.
- THIS CONTRACTOR SHALL REMOVE ALL RUBBISH, AND DIRT RESULTING FROM HIS WORK, FROM THE BUILDING, AND PREMISES. SUCH RUBBISH, AND DIRT SHALL BE REMOVED NOT ONLY ON COMPLETION OF THE WORK, BUT ALSO AT SUCH OTHER TIMES AS THE RUBBISH MAY ACCUMULATE TO THE EXTENT OF INTERFERING WITH THE CONSTRUCTION WORK.
- THE CONTRACTOR, ON HIS OWN BEHALF, SHALL ISSUE A WRITTEN GUARANTEE COVERING THE WORK UNDER THIS CONTRACT AND INCLUDE THE GUARANTEES OF HIS SUB-CONTRACTORS, ALL OF WHICH HE SHALL BE HELD RESPONSIBLE FOR.
- ALL GUARANTEES SHALL BE FOR THE OWNER'S PROTECTION AGAINST DEFECTIVE WORKMANSHIP, AND/OR MECHANICAL DEFECTS IN EQUIPMENT AND MATERIALS.
- GUARANTEE SHALL BE EFFECTIVE FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL CERTIFICATE.
- SHOULD ANY DEFECTS APPEAR DURING THE PERIOD OF THE GUARANTEE, THE CONTRACTOR SHALL MAKE GOOD ANY SUCH DEFECTS, REPLACING ALL MATERIALS EFFECTED THEREBY, AND MAKE GOOD ANY DAMAGE TO WORK AND MATERIALS INSTALLED BY HIM UNDER HIS CONTRACT.
- AT THE COMPLETION OF HIS WORK, THE MECHANICAL CONTRACTOR SHALL REMOVE ALL REFUSE, AND DIRT, MAKE ANY, AND ALL ADJUSTMENTS REQUIRED, AND LEAVE HIS WORK IN CLEAN AND PROPER WORKING ORDER.
- UPON THE COMPLETION OF THE PLUMBING WORK, COMPLETE TESTS SHALL BE MADE TO THE SATISFACTION OF THE ENGINEER. ALL PIPING SHALL BE TESTED AS PRESCRIBED IN THE RULES, AND REGULATIONS OF THE CITY OF DETROIT AND WAYNE COUNTY BOARD OF HEALTH.

EXISTING BUILDING NOTES

- BEFORE SUBMITTING PROPOSALS FOR THE WORK, EACH BIDDER SHALL BE HELD TO HAVE EXAMINED THE PREMISES, AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO WORK IN PERFORMING HIS PART OF THE WORK. NO EXTRAS WILL BE ALLOWED THE CONTRACTOR ON ACCOUNT OF HIS FAILURE TO MAKE THE ABOVE MENTIONED EXAMINATION OR NEGLECT TO INCLUDE ALL MATERIALS, AND LABOR REQUIRED TO COMPLETE THE WORK.
- ALL CHASES, RECESSES, AND CORING OF CONCRETE BLOCK WALLS REQUIRED FOR INSTALLATION OF NEW PIPES SHALL BE BY THE CONTRACTOR.
- ALL CUTTING, AND PATCHING OF EXISTING WALLS, FLOORS, CEILING, ETC., REQUIRED FOR INSTALLATION OF THE NEW WORK WITHIN THE EXISTING BUILDING SHALL BE DONE BY THIS CONTRACTOR. ALL WORK SHALL BE DONE IN A NEAT MANNER SO AS TO RESTORE ALL DAMAGED SURFACES, USING MATERIALS MATCHING EXISTING.

NEW WORK NOTES

- ALL EXCAVATION, BACKFILLING, PIPE SLEEVES, ETC., SHALL BE BY THE CONTRACTOR.
- ALL PATCHING, AND FLASHING OF THE ROOF AREAS FOR EXHAUST AIR OPENING, AND EQUIPMENT ROOF CURBS BY THE CONTRACTOR.
- PROVIDE SEPA "AS-BUILT" DRAWINGS AT COMPLETION SHOWING ALL DUCT SIZES, LOCATIONS, DAMPERS, ETC., INSTALLED OR MODIFIED UNDER THIS CONTRACT.

PIPE AND PIPE FITTINGS

- ALL DOMESTIC COLD WATER, HOT WATER, HOT WATER RECIRCULATING ABOVE GROUND OR EXPOSED SHALL BE TYPE "L" HARD SEAMLESS COPPER TUBING. PIPES BELOW GROUND SHALL BE TYPE "K" COPPER TUBING WITH WROUGHT COPPER FITTINGS, AND SILVER SOLDERED JOINTS.
- GAS PIPING 3", AND UNDER SHALL BE SCHEDULE 40, ASTM-A120 SCREWED FITTINGS BLACK STEEL.
- FIRE PROTECTION PIPE SHALL CONFORM WITH NFPA-13 REQUIREMENTS.
- SANITARY, AND STORM UNDERGROUND SHALL BE SERVICE WEIGHT CAST IRON SOL. PIPE, AND FITTINGS.
- STORM, SANITARY WASTE AND VENT PIPING ABOVE GROUND SHALL BE SCHEDULE 40, ASTM-D-2447-74, FIRE RETARDANT POLYPROPYLENE CONFORMING TO ASTM-D-635, AND ASTM-D-2843. SANITARY WASTE PIPING CONNECTIONS SHALL BE SCHEDULE 40 P.V.C.
- INSTALL CLEANOUTS NOT MORE THAN FIFTY FEET APART ON HORIZONTAL WASTE, AND STORM PIPING.
- HORIZONTAL PIPES SHALL BE SUPPORTED AS LISTED BELOW:

PIPE SIZE	ROD DIAMETER	SPACING
UP TO 1-1/4"	3/8"	8 FT.
1-1/2" AND 2"	3/8"	10 FT.

SHUT OFF VALVES

- SHUT-OFF VALVES FOR DOMESTIC WATER UP TO, AND INCLUDING 1-1/4" SHALL BE SOLDERED ALL BRASS, 200 POUNDS PRESSURE.
- SHUT-OFF VALVES SHALL BE LINNEMAYER OR HBCO.

NATURAL GAS VALVES

- GAS STOP COCKS SHALL BE LEVER HANDLE, CRANE NO. 298.
- BRANCH LINE VALVES SHALL BE 200 POUNDS SCREWED TYPE FOR SIZES INCLUDING 2".
- GAS VALVES SHALL BE ACT OR WALWORTH.

INSULATION

- PROVIDE PIPE INSULATION FOR ALL DOMESTIC HOT WATER, AND DOMESTIC HOT WATER RECIRCULATED PIPES. INSULATION THICKNESS SHALL BE 1" FOR PIPES 1/2" TO 2".
- INSULATE ALL DOMESTIC COLD WATER PIPES WITH 1" THICK INSULATION.

PLUMBING NOTES

PLUMBING FIXTURES:

ALL PLUMBING FIXTURES INCLUDING WC, LAV, TUB, SHOWER, KITCHEN SINK TO BE SELECTED BY THE OWNER.

AIR DISTRIBUTION

- GRILLES, REGISTER, DIFFUSERS
 - AIR OUTLETS SHALL BE OF SIZE, AND CAPACITIES AS SHOWN ON DRAWINGS AS MANUFACTURED BY TITUS OR KRUEGER.
- DUCTWORK
 - ALL DUCTWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SMACNA STANDARDS WITH SIZES AS SHOWN ON DRAWINGS.
- FURNISH, AND INSTALL FUSIBLE LINK FIRE DAMPERS AS REQUIRED WHENEVER A SUPPLY, RETURN, OR EXHAUST AIR DUCTWORK PASSES THROUGH RATED WALLS OR FLOORS.
- ACCESS DOORS
 - INSTALL ACCESS DOORS IN CEILINGS FOR ACCESS TO SHUT-OFF VALVES, AND CONTROLS.
 - INSTALL VOLUME DAMPERS IN ALL SUPPLY AIR DUCTWORK BRANCHES LEADING TO SUPPLY AIR DIFFUSERS.

























FIRE PROTECTION

- THE MECHANICAL WORK INTENDED UNDER THIS SPECIFICATION, AND AS SHOWN OR INDICATED ON THE DRAWINGS HERETOFORE MENTIONED, SHALL CONSIST OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, SPECIALTIES, AND SERVICES, TOGETHER WITH SUPERVISION, TOOLS, SCAFFOLDING, TRANSPORTATION, AND TEMPORARY CONSTRUCTION NECESSARY FOR THE COMPLETE INSTALLATION OF THE FOLLOWING FIRE PROTECTION WORK AS SPECIFIED, ALL COMPLETE, AND TESTED, AND TURNED OVER TO THE OWNER IN PROPER, AND SATISFACTORY OPERATING CONDITION, BRIEFLY DESCRIBED AS FOLLOWS.
- FURNISH MATERIALS, LABOR, EQUIPMENT, WORKING PLANS, ETC., TO INSTALL AUTOMATIC SPRINKLER SYSTEM FOR BASEMENT, FIRST FLOOR, SECOND FLOOR AND THIRD FLOOR.
- ALL WORK SHALL BE INSTALLED FOR THE APPROVAL, AND/OR ACCEPTANCE OF THE FOLLOWING:
 - FIRE DEPARTMENT OF CITY OF DETROIT.
- THE FIRE PROTECTION SYSTEM SHALL BE DESIGNED, AND INSTALLED TO COMPLY WITH THE FOLLOWING STANDARDS, AND/OR CODES OF THE LATEST ISSUE:
 - NFPA Pamphlet 13 - SPRINKLER SYSTEMS
 - PREPARE DETAILED SHOP DRAWINGS AND HYDRAULIC CALCULATIONS, ALL TO BE APPROVED BY THE CITY OF DETROIT FIRE DEPARTMENT PRIOR TO INSTALLATION.

TEMPERATURE CONTROLS

- INSTALL PROGRAMMABLE WALL MOUNTED THERMOSTAT FOR ALL FURNACES.

SYMBOL LEGEND

-  GAS VALVE
-  GATE VALVE
-  B.E.G. BELOW EXISTING GRADE WATER CLOSET
-  FD FLOOR DRAIN
-  LAV LAVATORY
-  TUB BATH TUB
-  W.D. WASHER DRYER
-  WR WATER RISER
-  SR SANITARY RISER
-  DW DISH WASHER
-  EF EXHAUST FAN
-  C CONDENSING UNIT
-  F FURNACE
-  K-S-KITCHEN SINK
-  EWH ELECTRIC WATER HEATER
-  COLD WATER (CW)
-  HOT WATER (HW)
-  SANITARY (SA)
-  V VENT
-  HORIZONTAL FIRE DAMPER
-  VERTICAL FIRE DAMPER
-  VOLUME DAMPER
-  S SANITARY RISER
-  W WATER RISER

ROOMS VENTILATION CALCULATIONS

ROOM NAME	FOOTAGE AREA [FT ²]	OCCUPANT DENSITY (PERSONS/1000) FT ³	# OF OCCUPANTS (PERSONS)	OUTDOOR AIR FLOW RATE (CFM/PERSON)	OUTDOOR AIR FLOW (CFM)
1. CORRIDOR	120	0.05 CFM/ FT ³	-	-	7.2
2. SERVER'S STATION	62	70	4	7.5	30
3. DINING ROOM	1718	70	120	7.8	800
4. TOILETS (RMV)	-	50 CFM/NO	2 WC	100	100
TOTAL REQUIRED =					1037.2

NOTE: RTU-1 IS SCHEDULED FOR 1230 CFM OUTSIDE PROVISION, MORE, THAN REQUIRED.

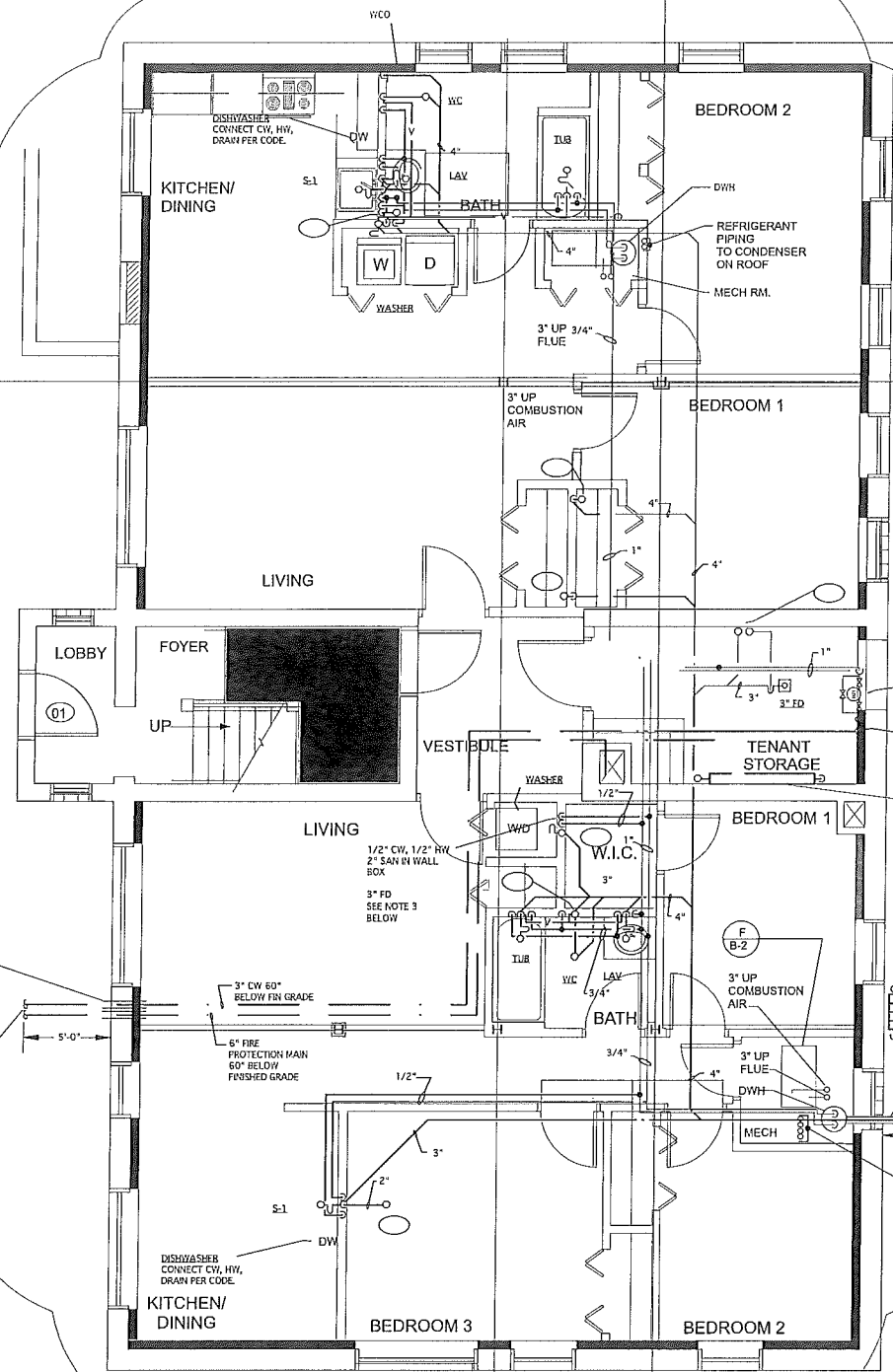
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PROJECT TITLE:
**MARBOROUGH APARTMENTS
DETROIT, MICHIGAN**

SHEET TITLE
**MECHANICAL
SPECIFICATIONS**

DRAWN BY:
APPROVED BY:
SCALE: NO SCALE
DATE:

PROJECT # SHEET #
M4



BASEMENT FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0"

- NOTES:**
1. ALL HORIZONTAL SAN PIPES SHOWN AS DASHED LINES ARE BELOW SLAB AND TO BE SLOPED 1/8" PER FT.
 2. ALL CW, HW, VENT PIPES ARE AT BASEMENT CEILING UNLESS NOTED OTHERWISE.
 3. PROVIDE ALL LAUNDRY ROOMS WITH FLOOR DRAIN AS SHOWN.
 4. PROVIDE ALL DOMESTIC WATER HEATER (DWH) WITH WATER INLET/OUTLET SHUT-OFF VALVES.

ELECTRIC WATER HEATER (EWH)

ELECTRIC WATER HEATER 40 GALLONS CAPACITY, TWO HEATING ELEMENTS 1500WATTS EACH, LOCHMAR MODEL ETX040K. INSTALL DRAIN PAN FOR WATER HEATERS INSTALLED AT 1ST, 2ND AND 3RD FLOORS.

(2) 1" WATER METERS AND BY PASS (STACKED)

FIRE PROTECTION RISER AND CONTINUATION AND CONNECTION TO THE SPRINKLER HEADS BY THE FIRE PROTECTION SUBCONTRACTOR.

(8) FRV AND GAS METER BY THE GAS COMPANY EXTEND 1 1/4" GAS 1/2" SAN SURFACES AND GAS WATER HEATER AT BASEMENT, 1ST, 2ND, 1ND 3RD FLOORS.

PIPE SLEEVE

6" SAN ESTIMATED (E.G. -12"-5" (FIELD VERIFY))

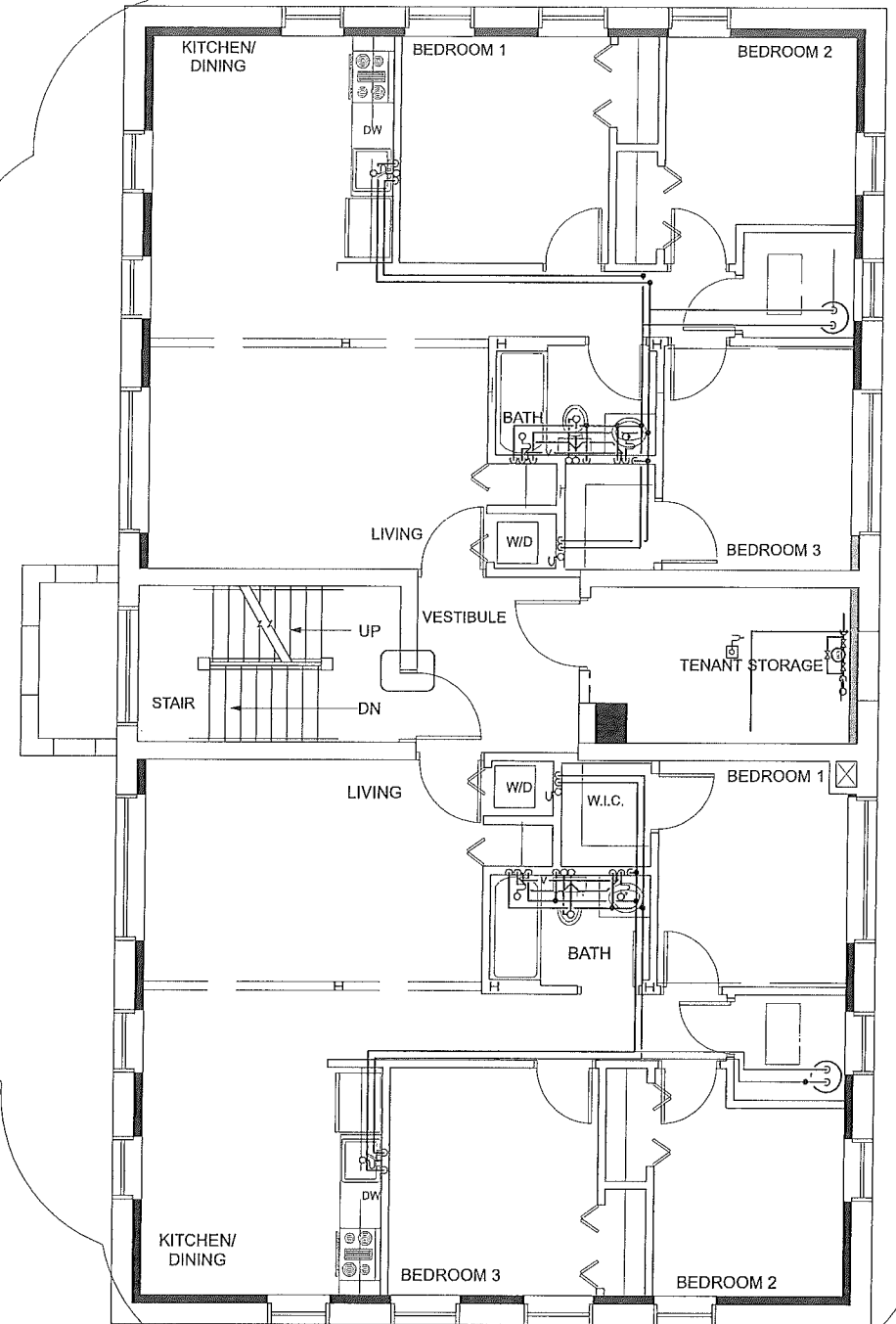
FOR CONTINUATION SEE CIVIL

REFRIGERANT PIPING TO CONDENSER ON ROOF (TYP)

PLUMBING FIXTURE SCHEDULE

FIXTURE	COLD WATER	HOT WATER	WASTE	VENT
WC	1/2"	-	4"	2"
LAV	1/2"	1/2"	1 1/2"	1 1/2"
LT	1/2"	1/2"	2"	1 1/2"
S-1	1/2"	1/2"	1 1/2"	1 1/2"
TUB	1/2"	1/2"	2"	1 1/2"
WASHER	1/2"	1/2"	2"	1 1/2"
FD	-	-	3"	1 1/2"

NOTE:
INSTALL 3/4 HP GARBAGE DISPOSER UNDER ALL KITCHEN SINKS.



FIRST FLOOR PLAN-PLUMBING
SCALE: 1/4" = 1'-0"

NOTE:

1. ALL HORIZONTAL CW, HW AND VENT PIPES ARE AT FIRST FLOOR CEILING, UNLESS NOTE OTHERWISE.
2. ALL HORIZONTAL SAN PIPES ARE AT BASEMENT CEILING.
3. SEE RISER DIAGRAMS DRAWING H-5.
4. INSTALL 30"x30" FIBER GLASS DRAIN PAN UNDER ALL WATER HEATERS.

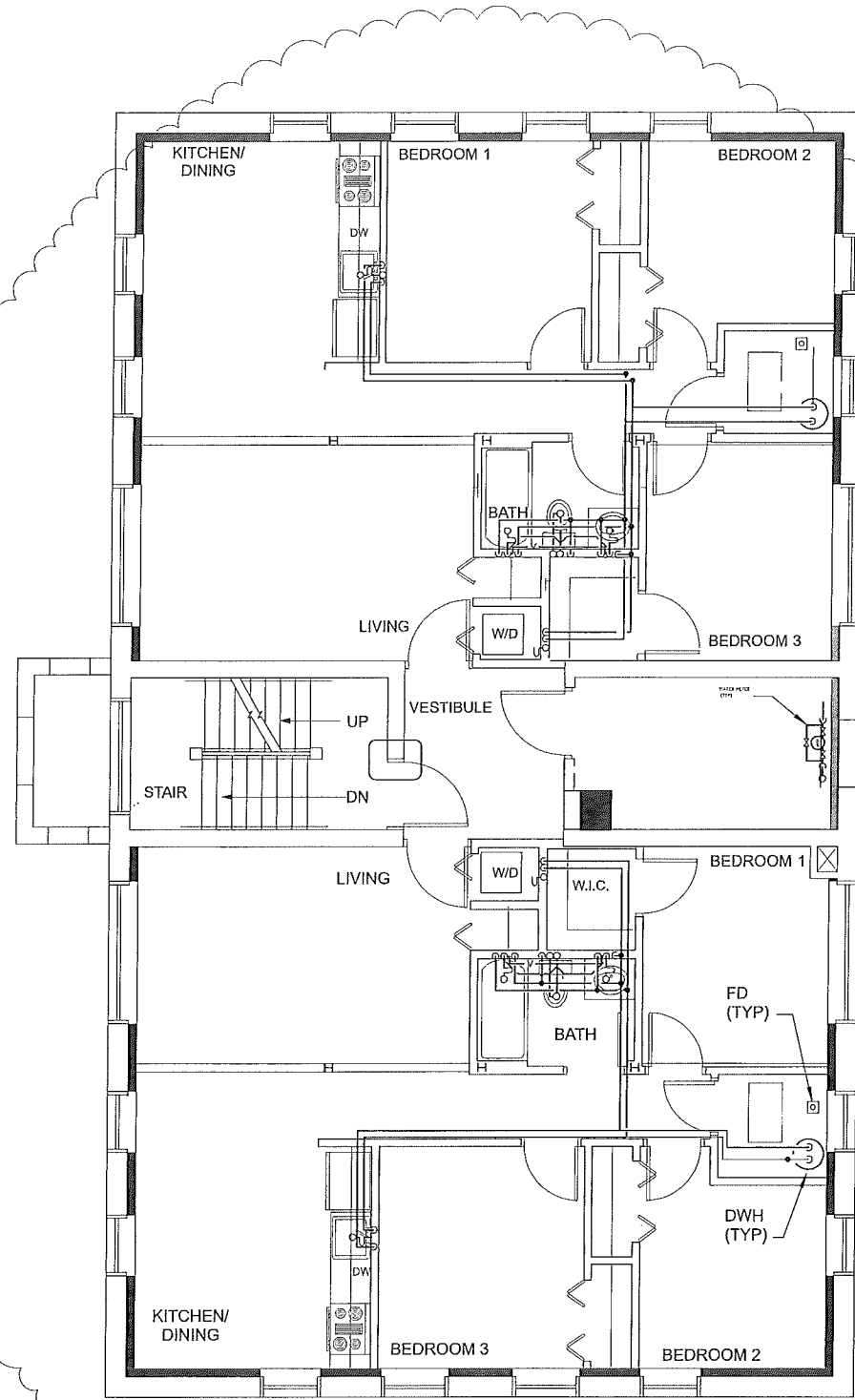
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PROJECT TITLE:
**MARBOROUGH APARTMENTS
DETROIT, MICHIGAN**

SHEET TITLE
BASEMENT AND FIRST FLOOR PLAN - PLUMBING

DRAWN BY:
APPROVED BY:
SCALE:
DATE:

PROJECT #
SHEET #
P-1



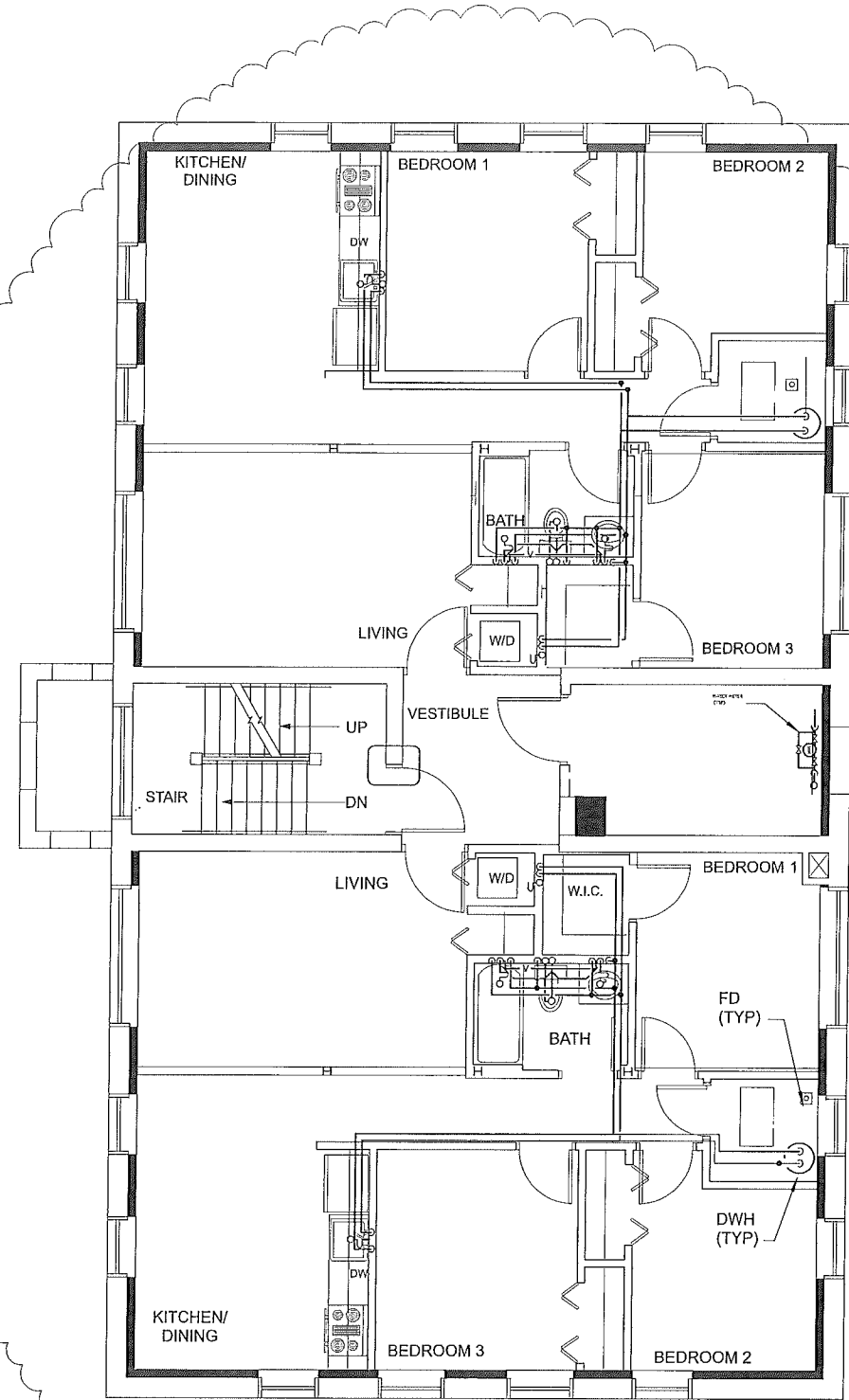
SECOND FLOOR PLAN - PLUMBING

SCALE: 1/4" = 1'-0"

NOTE:

ALL HORIZONTAL CW, HW AND VENT PIPES ARE AT SECOND FLOOR CEILING, UNLESS NOTE OTHERWISE.
ALL HORIZONTAL SAN PIPES ARE AT FIRST FLOOR

SEE RISER DIAGRAMS DRAWING P-3.
INSTALL 30"x30" FIBER GLASS DRAIN PAN UNDER ALL WATERS.
SEE NOTES 3 & 4 BELOW BASEMENT FLOOR PLAN



THIRD FLOOR PLAN - PLUMBING

SCALE: 1/4" = 1'-0"

NOTE:

ALL HORIZONTAL CW, HW AND VENT PIPES ARE AT SECOND FLOOR CEILING, UNLESS NOTE OTHERWISE.
ALL HORIZONTAL SAN PIPES ARE AT FIRST FLOOR

SEE RISER DIAGRAMS DRAWING P-3.
INSTALL 30"x30" FIBER GLASS DRAIN PAN UNDER ALL WATERS HEATERS.
SEE NOTES 3 & 4 BELOW BASEMENT FLOOR PLAN

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PROJECT TITLE:
MARLBOROUGH APARTMENTS
DETROIT, MICHIGAN

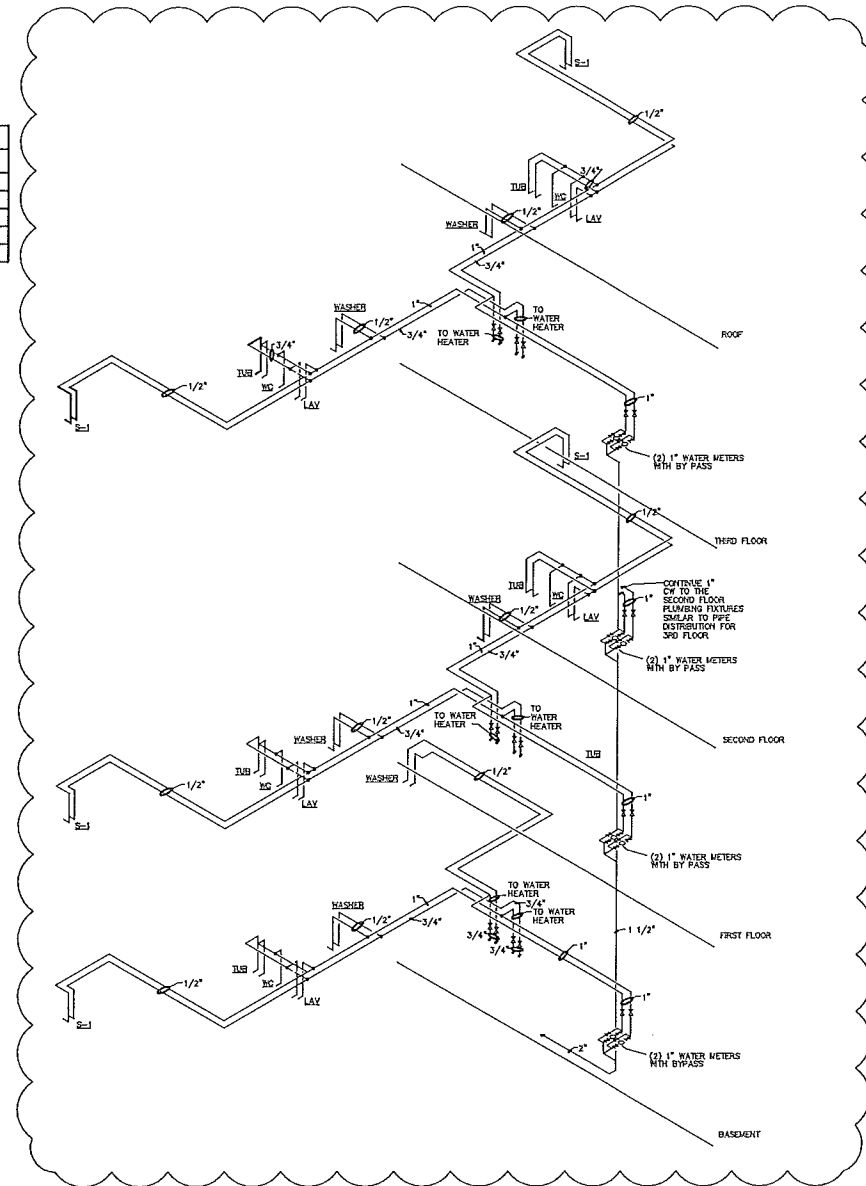
SHEET TITLE
SECOND AND THIRD FLOOR PLAN - PLUMBING

DRAWN BY:
APPROVED BY:
SCALE:
DATE:

PROJECT #
SHEET #
P-2

PLUMBING FIXTURES PIPE SIZES				
PLUMBING CODE	COLD WATER	HOT WATER	VENT	WASTE
WC	1/2"	-	2"	4"
LAV	1/2"	1/2"	1 1/2"	1 1/2"
KITCH. SINK	1/2"	1/2"	1 1/2"	1 1/2"
WASHER	1/2"	1/2"	1 1/2"	2"
TUB	1/2"	1/2"	1 1/2"	2"

NOTE:
INSTALL 3/4" HP. GARBAGE DISPOSER
UNDER ALL KITCHEN SINKS.



WATER RISERS
NOT TO SCALE
NOTE: LOCATE WATER HEATERS IN RESPECTIVE APARTMENT
UNIT MECH. ROOM

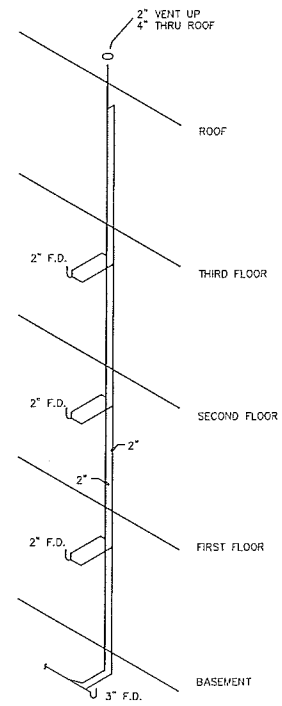
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PROJECT TITLE:
MARLBOROUGH APARTMENTS
- DETROIT, MICHIGAN

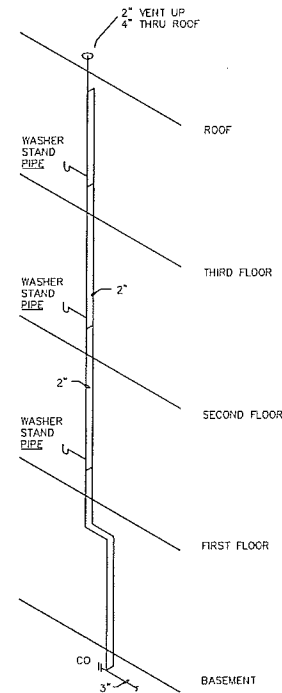
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WATER RISERS

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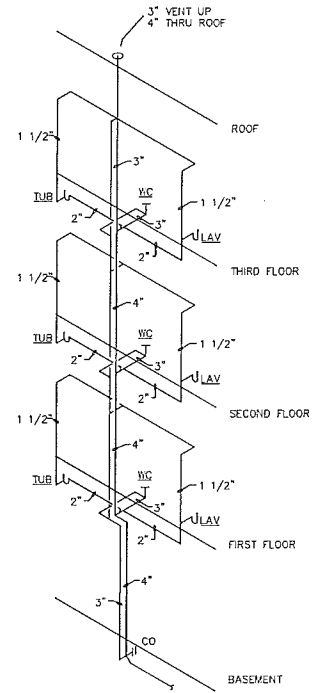
PROJECT SHEET
P-3



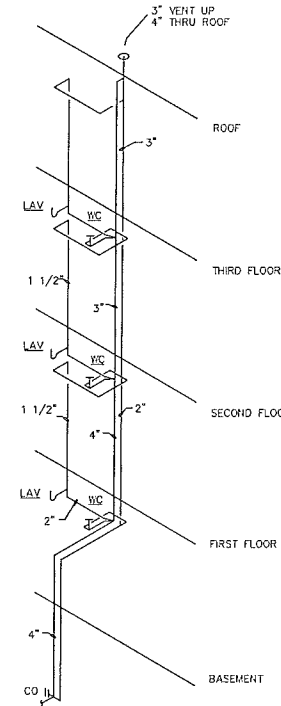
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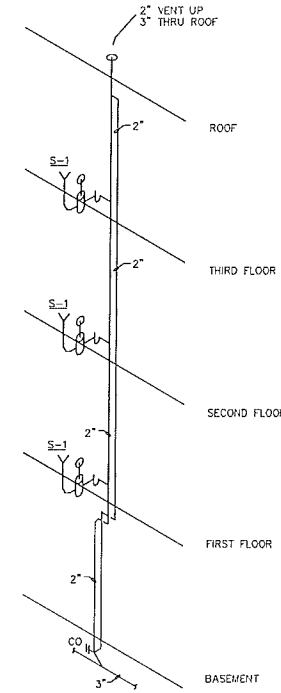
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S-2
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S-1
NOT TO SCALE

SANITARY RISERS
NOT TO SCALE

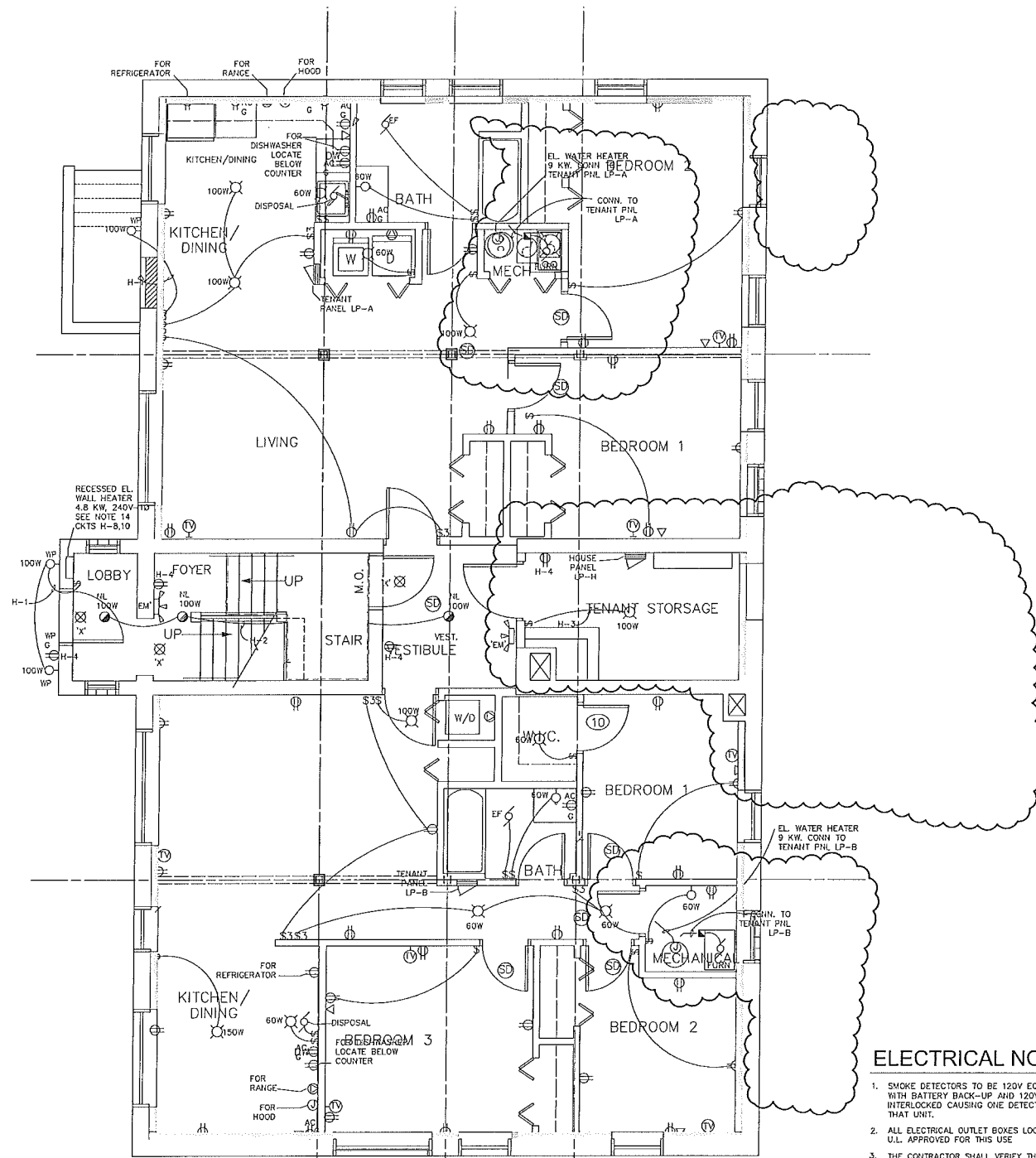
DATE	ISSUED FOR

PROJECT TITLE:
MARLBOROUGH APARTMENTS
DETROIT, MICHIGAN

SHEET TITLE
SANITARY RISERS

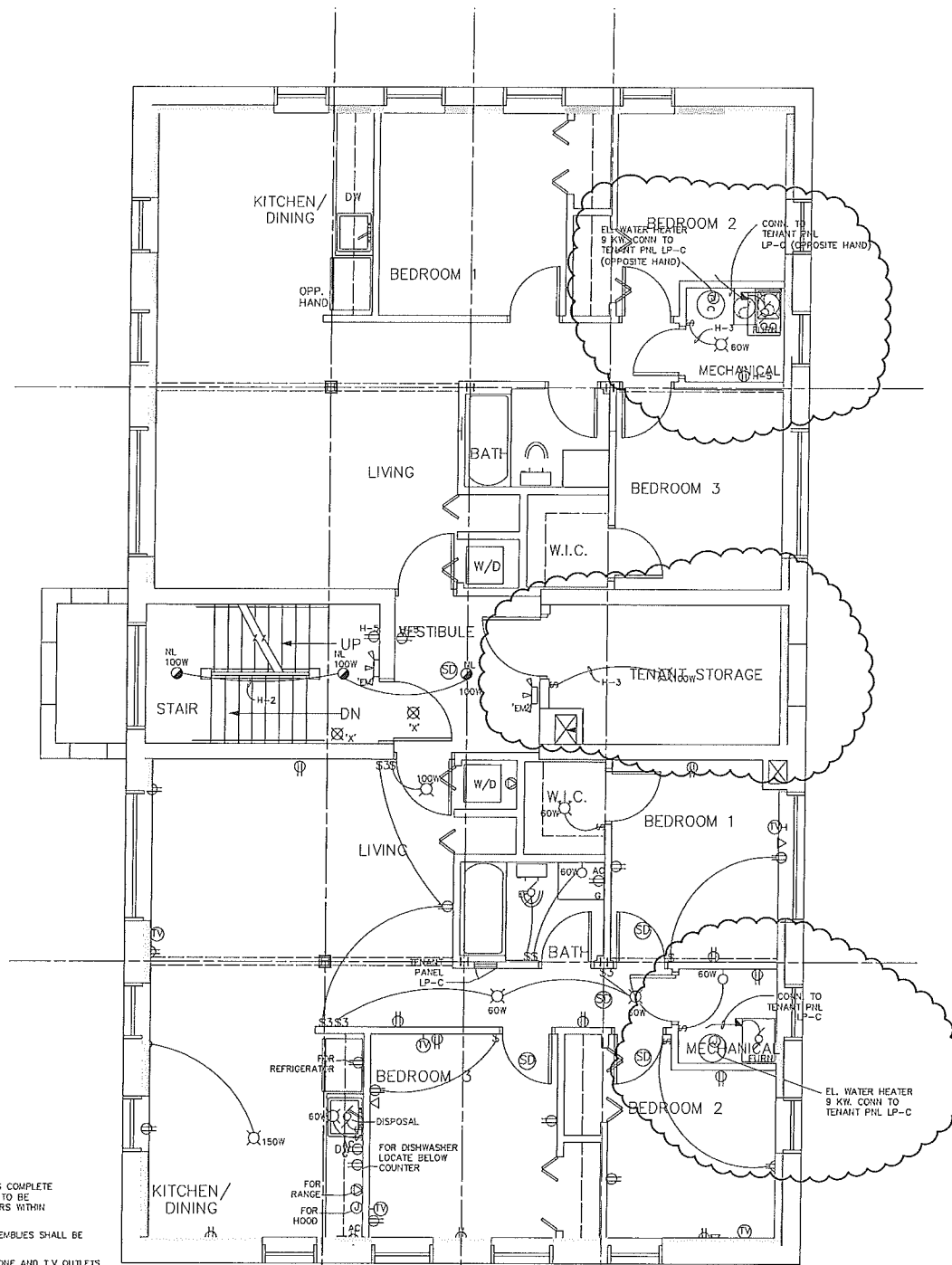
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PROJECT # SHEET #
P4



BASEMENT FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

1. SMOKE DETECTORS TO BE 120V EQUAL TO GENTEX #9120 SERIES COMPLETE WITH BATTERY BACK-UP AND 120V SUPPLY. SMOKE DETECTORS TO BE INTERLOCKED CAUSING ONE DETECTOR TO SET OFF ALL DETECTORS WITHIN THAT UNIT.
2. ALL ELECTRICAL OUTLET BOXES LOCATED IN IHR RATED WALL ASSEMBLIES SHALL BE U.L. APPROVED FOR THIS USE.
3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF TELEPHONE AND T.V. OUTLETS PRIOR TO ROUGH-IN.
4. INSTALL ELECTRICAL BOXES ON OPPOSITE SIDES OF WALL MIN. 24" APART HORIZONTALLY, WHEREVER POSSIBLE. PROVIDE U.L. LISTED METALLIC BOXES W/UL LISTED PLUTY PADS. BOXES SHALL NOT BE INSTALLED BACK TO BACK.
 - A. NON-METALLIC BOXES, LISTED FOR USE IN STAGGERED STUD CONSTRUCTION SHALL BE MIN. 24" APART, WHEN LOCATED ON OPPOSITE SIDES OF WALL. SEE DETAIL/SECTIONS ON ARCH. DRAWINGS.
 - B. PROVIDE U.L. LISTED NON-METALLIC BOXES. BLOCK OFF STUD SPACE & PROVIDE 5/8" TYPE "X" CYP.BD. ON BACK SIDE, SEAL PERIMETER SEE DETAIL/SECTIONS ON ARCH. DRAWINGS.
5. CONTRACTOR SHALL PROVIDE RECEPTACLES INSTALLED PER N.E.C. 210.52
6. CLOTHES CLOSET LIGHTS SHALL BE PROVIDED AND LOCATED TO COMPLY WITH N.E.C. 410.6
7. PROVIDE PERMANENT SIGNAGE FOR METER UNIT NO'S (PERMANENT FELT TIP MARKER SHALL NOT BE ACCEPTABLE TO OWNER) THIS SIGNAGE IS NOT INCLUDED IN OWNERS SIGNAGE ALLOWANCE.
8. PROVIDE STRAPPING OF EXTERIOR CONDUIT AT CONDENSING UNITS TO BE W/NYLON STRAP TIES.
9. SEE ARCH. PLANS FOR ELECTRICAL CONTROLS AND OUTLET MOUNTING HEIGHTS.
10. PC FIXTURES MUST HAVE CLOSBES, NO EXPOSED LAMPS.
11. WHERE OUTLETS ARE SHOWN TO BE SWITCHED, SWITCH UPPER OUTLET ONLY
12. CONNECT BEDROOM RECEPTACLES TO "ARC FAULT" BREAKERS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
13. ALL EXIT LIGHTS AND EMERGENCY BATTERY LIGHTS TO BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING.
14. RECESSED ELECTRIC WALL HEATER 240V, 10, 4800W COMPLETE WITH BUILT-IN THERMOSTAT EQUAL TO QMARK #LFX-484. CONNECT TO 30A-2P BREAKER WITH 2 #10 & 1 #10(G)-3/4".

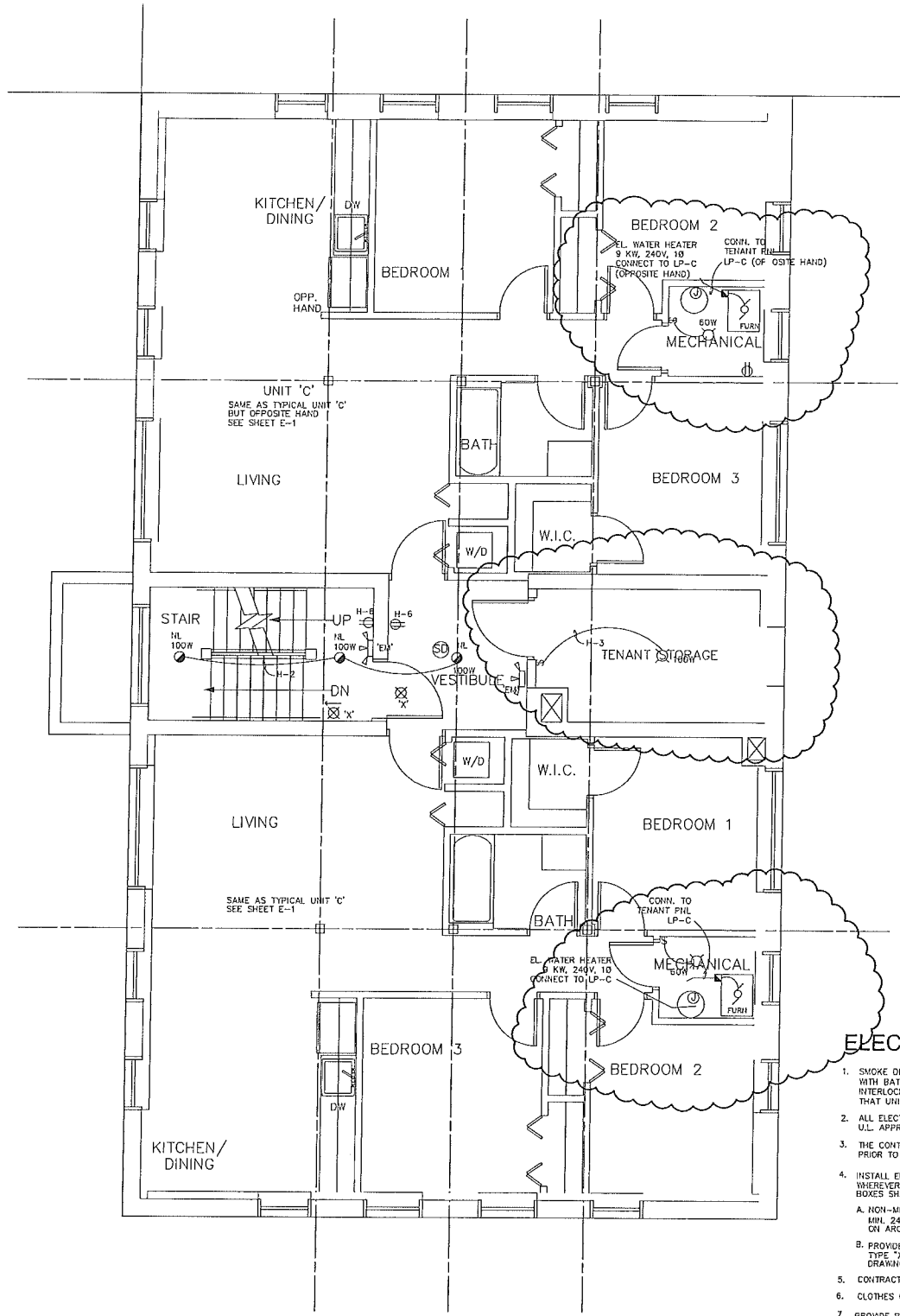
DATE	ISSUED FOR

PROJECT TITLE:
MARLBOROUGH APARTMENTS
-
DETROIT, MICHIGAN

SHEET TITLE
BASEMENT,
FIRST FLOOR
PLANS -
ELECTRICAL

DRAWN BY: L.H.N.
APPROVED BY: A.M.
SCALE: -
DATE: -

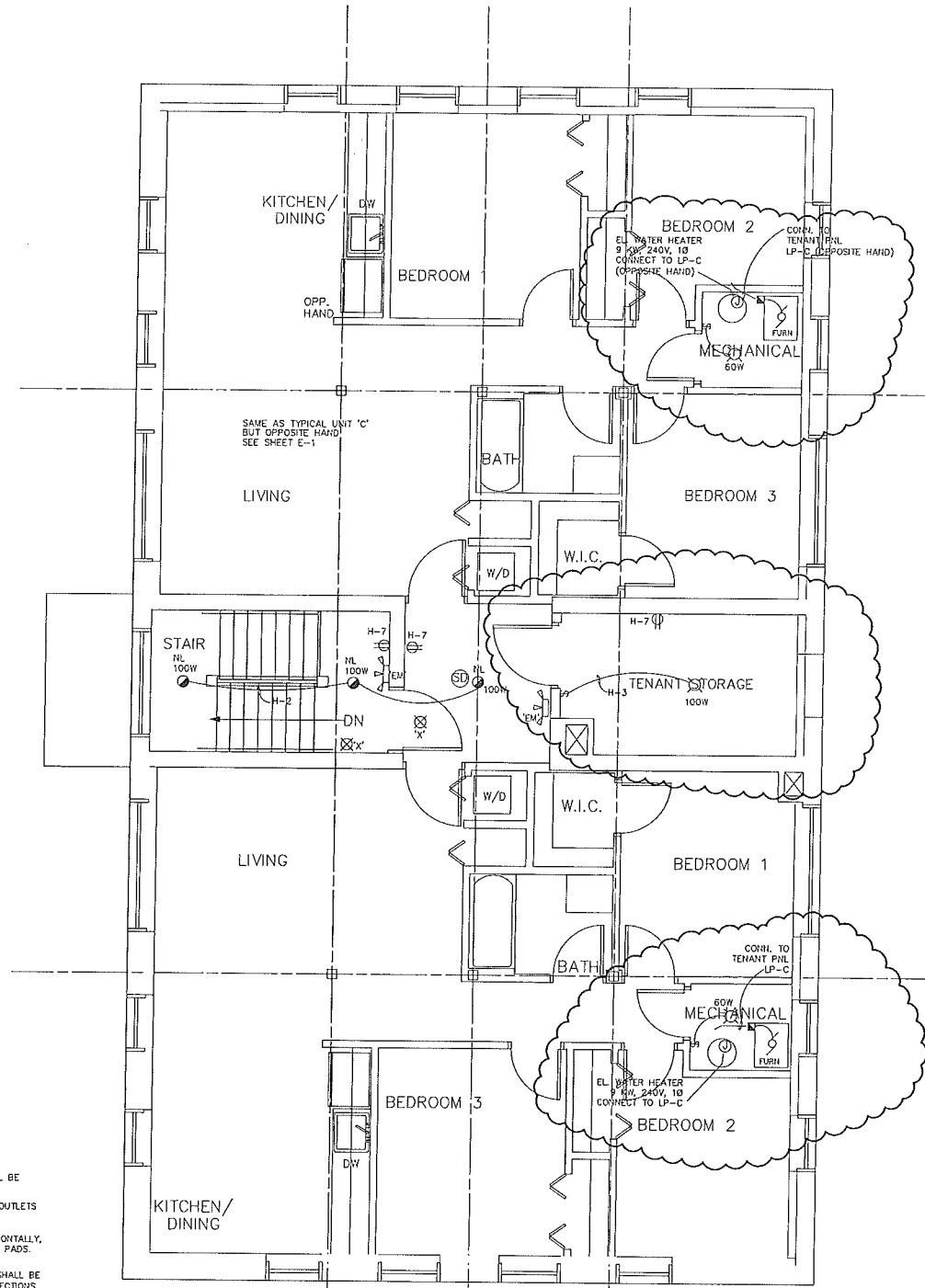
PROJECT # SHEET #
E-1



SECOND FLOOR PLAN - ELECTRICAL
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

1. SMOKE DETECTORS TO BE 120V EQUAL TO GENTEX #9120 SERIES COMPLETE WITH BATTERY BACK-UP AND 120V SUPPLY. SMOKE DETECTORS TO BE INTERLOCKED CAUSING ONE DETECTOR TO SET OFF ALL DETECTORS WITHIN THAT UNIT.
2. ALL ELECTRICAL OUTLET BOXES LOCATED IN IHR RATED WALL ASSEMBLIES SHALL BE U.L. APPROVED FOR THIS USE
3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF TELEPHONE AND T.V OUTLETS PRIOR TO ROUGH-IN
4. INSTALL ELECTRICAL BOXES ON OPPOSITE SIDES OF WALL MIN. 24" APART HORIZONTALLY, WHEREVER POSSIBLE. PROVIDE U.L. LISTED METALLIC BOXES W/U.L. LISTED PUTTY PADS. BOXES SHALL NOT BE INSTALLED BACK TO BACK.
 - A. NON-METALLIC BOXES, LISTED FOR USE IN STAGGERED STUD CONSTRUCTION SHALL BE MIN. 24" APART, WHEN LOCATED ON OPPOSITE SIDES OF WALL. SEE DETAIL/SECTIONS ON ARCH DRAWINGS.
 - B. PROVIDE U.L. LISTED NON-METALLIC BOXES. BLOCK OFF STUD SPACE & PROVIDE 5/8" TYPE "X" GYP.BD. ON BACK SIDE, SEAL PERIMETER SEE DETAIL/SECTIONS ON ARCH. DRAWINGS.
5. CONTRACTOR SHALL PROVIDE RECEPTACLES INSTALLED PER N.E.C. 210.52
6. CLOTHES CLOSET LIGHTS SHALL BE PROVIDED AND LOCATED TO COMPLY WITH I.L.E.C. 410.8
7. PROVIDE PERMANENT SIGNAGE FOR METER UNIT NO'S (PERMANENT FELT TIP MARKER SHALL NOT BE ACCEPTABLE TO OWNER) THIS SIGNAGE IS NOT INCLUDED IN OWNERS SIGNAGE ALLOWANCE.
8. PROVIDE STRAPPING OF EXTERIOR CONDUIT AT CONDENSING UNITS TO BE W/NYLON STRAP TIES.
9. SEE ARCH. PLANS FOR ELECTRICAL CONTROLS AND OUTLET MOUNTING HEIGHTS.
10. PC FIXTURES MUST HAVE GLOBES, NO EXPOSED LAMPS.
11. WHERE OUTLETS ARE SHOWN TO BE SWITCHED, SWITCH UPPER OUTLET ONLY
12. CONNECT BEDROOM RECEPTACLES TO "ARC FAULT" BREAKERS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
13. ALL EXIT LIGHTS AND EMERGENCY BATTERY LIGHTS TO BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHING.



THIRD FLOOR PLAN - ELECTRICAL
SCALE: 1/4" = 1'-0"

DATE	ISSUED FOR

PROJECT TITLE:
MARLBOROUGH APARTMENTS
-
DETROIT, MICHIGAN

SHEET TITLE
SECOND & THIRD
FLOOR PLANS
- ELECTRICAL

DRAWN BY:
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SCALE: -
DATE:

PROJECT #
SHEET #
E-2

ELECTRICAL SPECIFICATIONS

- 1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND CERTIFICATES OF INSPECTION FOR WORK HEREIN SPECIFIED. THE COST OF SUCH PERMITS AND CERTIFICATES SHALL BE INCLUDED IN HIS BID PROPOSAL.
2. THE CONTRACTOR SHALL COMPLY WITH ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, REGULATIONS AS WELL AS THE RULES AND STANDARDS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE NATIONAL ELECTRIC CODE, THE NEMA, AIEE, OSHA , ADA AND CITY OF DETROIT.
3. ALL CONDUIT AND CABLE SHALL BE CONCEALED WHERE POSSIBLE. SHOULD ANY FIELD CONDITIONS PREVENT RUNNING OF CONDUIT, ETC., AS SHOWN ON THE PLANS, THE CONTRACTOR IS REQUIRED TO MAKE ANY MINOR DEVIATIONS THEREFROM AS DETERMINED BY THE ARCHITECT WITHOUT ADDITIONAL COST. CONTRACTOR SHALL BEAR COSTS FOR ALL NECESSARY CUTTING AND PATCHING OF EXISTING WALLS AND FLOORS. SUCH REPAIRS TO BE DONE BY SPECIFIC TRADE INVOLVED.
4. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE GENERAL CONTRACTOR AND WITH OTHER SUB-CONTRACTORS ON THE JOB AND SHALL CHECK WITH ARCHITECT PRIOR TO PLACING OF ANY FLUSH PANELS, DEVICES OR OTHER EQUIPMENT.
5. THE ELECTRICAL DRAWING SHOWS THE ARRANGEMENTS, GENERAL DESIGN AND BITECH OF THE WIRING SYSTEM ONLY. THE CIRCUIT RUNS ARE DIAGRAMMATIC; HOWEVER, THE DRAWING MAY INCLUDE DETAILS ON SPECIFIC DATA. PULL BOXES OR JUNCTION BOXES, THOUGH NOT SHOWN ON THE PLANS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. ELECTRICAL WORK INDICATED ON THE PLANS BUT NOT COVERED BY THIS SPECIFICATIONS OR VICE VERSA, SHALL BE PROVIDED AND INSTALLED BY THIS CONTRACTOR. THE DRAWINGS ARE NOT INTENDED TO BE USED FOR ROUGH-IN DIMENSIONS.
6. PROVIDE AND INSTALL AND REMOVE UPON COMPLETION OF PROJECT. A COMPLETE TEMPORARY ELECTRIC SERVICE AND DISTRIBUTION SYSTEM FOR CONSTRUCTION IN FULL ACCORDANCE WITH "GENERAL REQUIREMENTS" AND OSHA AND AS REQUIRED TO MAINTAIN SERVICE DURING OPERATIONAL HOURS AND MECHANICAL SYSTEMS AND ALARM SYSTEMS AFTER HOURS.
7. DISCONNECT SWITCHES
A. DISCONNECT SWITCHES SHALL BE UNFUSED AS NOTED ON THE DRAWINGS. QUICK-MAKE, QUICK-BREAK, VISIBLE BLADE TYPE WITH FULL COVER INTERLOCK. SWITCHES RATED 200 AMPERES OR LESS SHALL BE NONREPOWER RATED. ENCLOSURE SHALL BE NEMA 1 UNLESS OTHERWISE NOTED. MEANS FOR PADLOCKING THE OPERATING HANDLE IN THE "OPEN" OR "CLOSED" POSITION SHALL BE PROVIDED. SWITCHES SHALL BE OF THE VOLTAGE RATINGS AND CURRENT CARRYING CAPACITIES INDICATED ON THE DRAWINGS. SWITCHES SHALL BE AS MANUFACTURED BY WESTINGHOUSE, SQUARE D OR APPROVED EQUAL.
8. LIGHTING PANELBOARDS:
A. PANELBOARDS SHALL BE 240/120 VOLTS, SINGLE PHASE, 3 WIRE, SOLID NEUTRAL WITH MAIN LUGS ONLY OR WITH REMOVABLE SCREW-ON COVER. PANELBOARDS SHALL BE OF THE SIZE AND NUMBER AS INDICATED ON THE PLANS.
B. PANELBOARDS SHALL BE DEAD-FRONT TYPE WITH FLUSH OR SURFACE MOUNTED STEEL CABINETS AS SHOWN AND AN INTERIOR ASSEMBLY OF BUS BAR SUPPORTS AND CIRCUIT BREAKERS. TRIMS SHALL HAVE HINGED DOORS WITH CIRCUIT BREAKERS SUITABLE FOR IDENTIFYING THE USE OF PANELBOARD BREAKERS.
C. CIRCUIT BREAKERS SHALL BE MOLDED PLASTIC CAST TYPE AC RATED, QUICK-MAKE, QUICK-BREAK WITH TRIP FREE OPERATING HANDLE, POSITION INDICATOR AND THERMAL MAGNETIC TRIP DEVICE. TWO AND THREE POLE BREAKERS SHALL HAVE A COMMON OPERATING HANDLE AND COMMON TRIP DEVICE. TWO AND THREE POLE BREAKERS SHALL HAVE A COMMON OPERATING HANDLE AND COMMON TRIP MECHANISM. TRIP RATING SHALL BE AS INDICATED ON THE DRAWINGS AND A MINIMUM INTERRUPTING CAPACITY SHALL BE 10,000 AMPERES SYMMETRICAL AT 120 VOLTS.
9. FUSES
A. FUSES SHALL BE OF THE DUAL ELEMENT TYPE WITH THERMAL CUTOUT THAT OPENS AT 260 DEGREES F AND WITH COPPER FUSE LINK ELEMENTS FOR SHORT CIRCUIT PROTECTION.
10. WIRE AND CABLE (600 VOLT)
A. ALL WIRE AND CABLE SHALL BE 98% CONDUCTIVE COPPER CONDUCTORS, A MINIMUM OF NO. 12 AWG UNLESS OTHERWISE NOTED, ROMEX SHALL BE USED WHEREVER PERMITTED. ALL OTHER WIRING TO BE IN CONDUIT AS FOLLOWS:
1. TYPE TW, THW OR THHN.
2. NO 12 AWG AND SMALL MAY BE STRANDED.
3. NO 10 AWG AND LARGER SHALL BE STRANDED.
4. SERVICE ENTRANCE (TYPE SE AND USE) AND NON METALLIC SHEATHED CABLE (NM OR NMC) WITH GROUND WIRE MAY BE USED WHERE PERMITTED BY N.E.C. AND LOCAL CODE AUTHORITIES.
11. CONDUITS
A. CONDUITS 3" AND SMALLER SHALL BE GALVANIZED "THINWALL" TYPE UNLESS OTHERWISE INDICATED ON THE PLANS. CONDUITS LOCATED BELOW OR IN SLAB OR EXPOSED OUTDOORS SHALL BE HOT DIPPED GALVANIZED TYPE OR SHERARDIZED RIGID TYPE. ALL CONDUITS BELOW GRADE AND OUT OF DOORS SHALL BE RIGID PLASTIC PVC WITH GROUND WIRE. "NMC" MAYBE USED WHERE APPROVED BY LOCAL AUTHORITIES.
B. FLEXIBLE METALLIC CONDUIT MAY BE USED WHERE THINWALL CONDUIT IS IMPRACTICAL AND AT MOTOR CONNECTIONS.
C. ALL CONDUITS SHALL BE RUN CONCEALED WHEREVER POSSIBLE. EXPOSED CONDUITS WILL BE PERMITTED IN UNFINISHED AREAS IN MECHANICAL AND ELECTRICAL ROOMS AND UTILITY AREAS.
12. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND PLACE ALL CONDUIT, OUTLETS AND PULL BOXES FOR TELEPHONE SYSTEM EXTENSION PER TELEPHONE COMPANY REQUIREMENTS.
13. NAMEPLATES SHALL BE PROVIDED ON ALL MOTOR STARTERS, DISCONNECT SWITCHES, REMOTE SWITCHES, PANELBOARDS AND SIMILAR EQUIPMENT. NAMEPLATES SHALL BE PHENOLIC TYPE WHITE LETTERS ON BLACK BACKGROUND.
14. PULL BOXES AND JUNCTION BOXES
A. PROVIDE AND INSTALL PULLBOXES AND JUNCTION BOXES AS INDICATED ON THE PLANS OR AT LOCATIONS REQUIRED FOR THE PROPER PULLING OR TIEING OF 4" RIGID STEEL CONDUIT RACEWAY. Wires AND CABLES. THEY SHALL HAVE REMOVABLE SCREW-ON COVER WITH D.E.Co. SERVICE CONDUCTORS PER D.E.Co. REQUIREMENTS. EXTEND CONDUIT TO POINT OF INTERFACING WITH D.E.Co. SERVICE CONDUCTORS - VERIFY WITH D.E.Co.
15. WIRING DEVICES
A. DEVICES IN CONCEALED CONDUIT SYSTEMS SHALL BE INSTALLED IN SINGLE OR MULTIPLE GANG BOXES WITH GANG PLATES AS SPECIFIED.
B. RECEPTACLES SHALL HAVE A SEPARATE POLE FOR EQUIPMENT GROUNDING.
C. RECEPTACLES IN GENERAL SHALL BE GROUNDING TYPE, AND SHALL CONFORM TO NEMA PERFORMANCE STANDARDS.
1. DUPLEX AND SINGLE RECEPTACLES SHALL BE GROUNDING TYPE, RATED 15 AMPERES, 125 VOLT, 3-WIRE, COLOR TO BE SELECTED BY ARCHITECT.
D. SPECIAL RECEPTACLES
1. WEATHERPROOF RECEPTACLES SHALL BE FLUSH WITH ALUMINUM COVER AND P & S INTERRUPTER TYPE RECEPTACLE, 1591F/1591WP.

E. TOGGLE SWITCHES

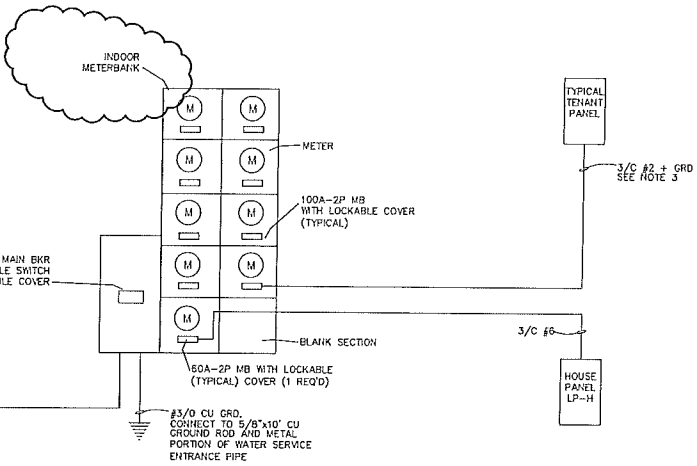
- 1. SWITCHES SHALL BE OF TOTALLY ENCLOSED BAKEITE BASE AND COVER. TERMINALS SHALL BE FOR SIDE OR BACK WIRING.
2. SWITCHES FOR LOCAL CONTROL OF LIGHTING UNITS, OR FOR OTHER SPECIFIED PURPOSES, SHALL BE QUIET TYPE, SPECIFICATION GRADE WITH PHENOLIC MATERIAL TOGGLE HANDLES RATED 15 OR 20 AMPERES, 120 VOLT.
3. SWITCHES FOR STAIRWELL LIGHTING TO BE LIGHTED HANDLE TYPE.
16. LIGHTING FIXTURES
A. THE CONTRACTOR SHALL PROVIDE, INSTALL AND CONNECT ALL LIGHTING FIXTURES, COMPLETE WITH LAMPS.
B. ALL FIXTURES SHALL BEAR THE UNDERWRITER'S LABEL.
C. ALL FIXTURES SHALL BE NEW AND UNMOUNTED.
D. PROVIDE RETAINER CLIPS FOR ALL LAY-IN FIXTURES.
E. ALL FLUORESCENT FIXTURE LENSES MUST BE OF VIRGIN ACRYLIC PLASTIC.
F. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING PROPER TYPE FIXTURES FOR THE TYPE OF CEILING BEING USED IN THE VARIOUS AREAS - THE CONTRACTOR SHALL CHECK WITH ARCHITECTURAL DRAWINGS AND ORDER THE PROPER TYPE: I.E., THERMALLY PROTECTED FIXTURES WHERE REQUIRED; FLANGE OR GRID FIXTURES WHERE REQUIRED, ETC.
17. SMOKE DETECTORS FOR APARTMENTS TO BE INTERWIRED WITHIN APARTMENT, 220 VOLT, EQUAL TO GENTEX #9120 SERIES COMPLETE WITH BATTERY BACK-UP AND 120V VOLT SUPPLY. SMOKE DETECTORS TO BE INTERLOCKED CAUSING ONE DETECTOR TO SET OFF ALL DETECTORS WITHIN THAT UNIT OR HOUSE.
18. PROVIDE COMPLETE TELEPHONE SYSTEMS INCLUDING OUTLETS WHERE SHOWN AND TELEPHONE CABLE FROM OUTLETS TO CENTRAL TELEPHONE SYSTEM SERVICE ENTRANCE POINT.
19. PROVIDE COMPLETE CABLE TV SYSTEM INCLUDING OUTLETS AND CABLE TO CENTRAL LOCATION, TO INTERFACE WITH LOCAL CABLE COMPANY. VERIFY WITH OWNERS REPRESENTATIVE EXACT METHOD OF INSTALLATION AND TYPE OF JACKS REQUIRED.
20. MULTI-METERING UNITS TO BE OUTDOOR TYPE UTILITY COMPANY APPROVED COMPLETE WITH REQUIRED METER SOCKETS, MAIN BREAKERS, TENANT BREAKERS AND INCOMING SERVICE CUBICLES.
A. UNITS TO BE MODULAR IN DESIGN WITH STACKING METER SOCKETS. HEIGHT OF METERS TO BE UTILITY COMPANY APPROVED. PROVIDE UTILITY SEAL FACILITIES IF REQUIRED.
B. UNITS TO BE FULLY BUSSED.
C. UNITS TO BE EQUAL TO CHALLENGER, GE, CO., SQUARE D COMPANY OR APPROVED EQUAL.
21. THE CONTRACTOR SHALL PROVIDE, INSTALL AND CONNECT A COMPLETE SYSTEM OF GROUNDING FOR ALL EQUIPMENT AND STRUCTURES. A GOOD MECHANICAL AND ELECTRICAL CONNECTION SHALL BE MADE WITH CODE APPROVED GROUNDING CONNECTORS.
22. ALL EXPOSED CONDUIT, FITTINGS, CABINETS, PULL BOXES, ETC., SHALL BE COMPLETELY CLEANED AND PAINTED WITH TWO (2) COATS OF LEAD AND OIL PAINT, OF COLOR TO MATCH THE ADJOINING WALLS OR STRUCTURE AND AS DIRECTED BY THE ARCHITECT. ALL PAINTING IS TO BE LEFT IN A NEAT AND CLEAN CONDITION AT FINAL COMPLETION OF THE BUILDING. PANELS SHALL BE PAINTED WITH "DUCCO" OR OTHER APPROVED EQUAL.
23. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MISCELLANEOUS IRON THAT HE MAY REQUIRE FOR HIS WORK.
24. ON COMPLETION OF HIS WORK, THE INSTALLATION SHALL BE ENTIRELY FREE FROM GROUNDS OR SHORT CIRCUITS. ALL CIRCUITS SHALL BE RUN OUT AND PROPERLY TICKETED.
25. THE CONTRACTOR SHALL GUARANTEE AGAINST MECHANICAL AND ELECTRICAL DEFECTS OF ANY AND ALL EQUIPMENT MATERIALS, AND WORKMANSHIP COVERED BY THESE SPECIFICATIONS AND SHALL MAKE GOOD. REPAIR OR REPLACE AT HIS OWN EXPENSE ANY DEFECTIVE EQUIPMENT, MATERIALS OR WORK OR PART WHICH MAY SHOW ITSELF WITHIN A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF THE WORK.

LEGEND

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for DOWNLIGHT FIXTURE, WALL MOUNTED LIGHTING FIXTURE, LIGHT SWITCHES, WALL BOX DIMMER SWITCH, DUPLEX RECEPTACLE, GROUND FAULT CIRCUIT INTERRUPTER, SPECIAL PURPOSE RECEPTACLE, COMMUNICATION OUTLET, JUNCTION BOX, SINGLE PHASE MOTOR, SINGLE PHASE MOTOR STARTER, DISCONNECT SWITCH, TELEVISION ANTENNA OUTLET, SMOKE DETECTOR, ABOVE COUNTER, WEATHER PROOF DEVICE, THREE BACKUP EMERGENCY BATTERY UNIT.

LIGHTING FIXTURE SCHEDULE

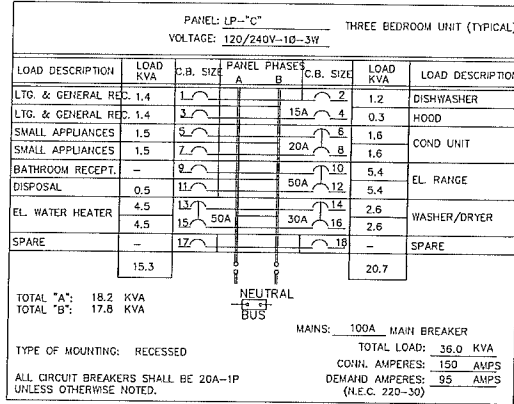
Table with 4 columns: LAMPS, MANUFACTURER OR APPROVED EQUAL, REMARKS. Includes entries for ATLITE #PHL-RU and ATLITE #CB6-54-3.



ELECTRICAL RISER DIAGRAM NO SCALE

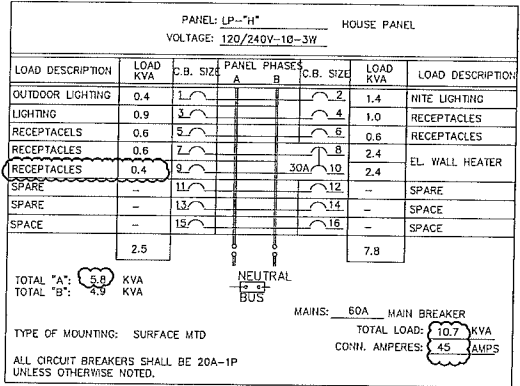
NOTES:

- 1. ROUTE ALL PANEL FEEDERS VIA BASEMENT WHERE POSSIBLE. EXACT ROUTING TO BE FIELD VERIFIED AND TO BE PER N.E.C. AND CITY OF DETROIT REQUIREMENTS. USE CONDUIT WHERE NECESSARY. MAX VOLTAGE DROP TO BE 3%.
2. PROVIDE COMPLETE GROUNDING PER N.E.C. 250.
3. 3/C #2 UP TO 100', 3/C #1 UP TO 190'



LOAD SUMMARY LP-C' (THREE BEDROOM - TYPICAL). Table with 2 columns: LOAD DESCRIPTION and LOAD KVA. Includes categories like FLOOR AREA, EL. RANGE, WASH/DRYER, DISPOSAL, HOOD, EL. WATER HEATER, COND UNIT, and SPARE. Total demand is 95 AMP.

PANEL LP-A, LP-B AND LP-C (OPPOSITE HAND) SIMILAR



MINIMUM WIRE SIZING SCHEDULE FOR BRANCH CIRCUITS (COPPER CONDUCTORS). Table with 2 columns: CIRCUIT and AMPERES. Includes entries for 15A, 20A, 30A, 40A, and 50A circuits.

Table with 2 columns: DATE and ISSUED FOR. A grid for tracking revisions.

PROJECT TITLE: MARLBOROUGH APARTMENTS - DETROIT, MICHIGAN

SHEET TITLE: ELECTRICAL SPECIFICATIONS, RISER DIAGRAM, SCHEDULES & LEGEND

DRAWN BY: APPROVED BY: SCALE: DATE:

PROJECT # SHEET # E-3

INSTALLATION SHOP DRAWING FOR MARLBOROUGH APARTMENTS BUILDING RENOVATIONS 910 MARLBOROUGH ST.; DETROIT, MI

REV	DATE	BY	CHKD
1	2-14-18	AK	AK
2	2-21-18	AK	AK
3		AK	AK
4		AK	AK
5		AK	AK

General Notes

- WARRANTY**
 - All warranties for the performance of Pella® Products are void if the product is installed contrary to these installation shop drawings and other applicable standard product installation instructions. See www.pella.com for the Pella product limited warranty and care instructions.
- RESPONSIBILITY FOR PROPER INSTALLATION AND CODE COMPLIANCE**
 - These drawings and details are prepared exclusively for use with Pella products, are based on the information provided to Pella Corporation, and are prepared for use by architects, contractors, or other construction professionals. Final approval by others is required to assure proper integration with other building materials and trades, and compliance with code and design intent. Pella Corporation is not responsible for any form of hazardous material encountered in connection with the installation and use of the Pella products. Pella Corporation is not responsible for deviation from the design installation or for any errors occurring through the use of these drawings for purposes other than installation of Pella products.
 - It is the responsibility of the architect and contractor to verify all dimensions, quantities, glaze patterns, installation details, product performance requirements, safety glazing requirements, and egress requirements for compliance with local codes, government regulations and project requirements prior to fabrication of Pella products. Pella Corporation will not be responsible for non-compliance nor accept responsibility beyond manufacturing products in accordance with dimensions shown on these drawings. **CAUTION** Unless indicated otherwise, these units are glazed with annealed glass and cannot be installed in hazardous locations as defined by local codes and/or government laws and regulations.
 - Install all Pella products and accessories in accordance with these drawings and standard product installation instructions. Unless specified otherwise in these drawings, Pella product installation, all exterior and interior wood trim, blocking, sealant, backer rod, shims, wall flashing, and insulation are provided by others.
 - Special Sealants Note** Interior and exterior sealants must be commercial grade complying with the project architectural specifications and shall meet ASTM-C920, unless otherwise specified on these drawings. Sealants used in the installation of the Pella windows and doors must be installed per sealant manufacturers' recommendations, local code requirements, and state and federal laws, including proper application, surface preparation, use of primers, compatibility with other sealants and adjacent materials. Backer rods shall be non-gassing, comply with ASTM C1330 and applicable for its intended use. Its diameter should be 25 percent greater than the joint width for joints less than 1".
 - Windows and doors are sized to accommodate the following opening tolerances except where local codes are more stringent.
 - Vertical dimensions between high and low points -- plus 1/4" or minus 0"
 - Width dimensions -- plus 1/4" or minus 0"
- NOTE ON BARRIER WALL SYSTEMS, EXTERIOR INSULATION AND FINISH SYSTEMS AND OTHER NON-WATER MANAGED SYSTEMS**
 - Because all construction must anticipate some water infiltration, it is important that the wall system be designed and constructed to properly manage moisture. Pella Corporation is not responsible for claims or damages caused by anticipated and unanticipated water infiltration, deficiencies in building design, construction and maintenance, failure to install Pella products in accordance with Pella's installation instructions, or the use of Pella products in barrier wall systems which do not allow for proper management of moisture within the wall system (see the following). The determination of the suitability of all building components, including the use of Pella products, as well as the design and installation of flashing and sealing systems is the responsibility of the Buyer or User, the architect, contractor, installer, or other construction professional and is not the responsibility of Pella. All risks related to building design and construction, or the maintenance, installation and use of Pella products shall be assumed by Buyer and/or User.
 - IMPORTANT NOTICE:** Pella products should not be used in barrier wall systems which do not allow for proper management of moisture within the wall systems, such as barrier Exterior Insulation and Finish Systems (EIFS) (also known as synthetic stucco) or similar systems. Except in the states of California, New Mexico, Arizona, Nevada, Utah, and Colorado, Pella makes no warranty of any kind on, and assumes no responsibility for, Pella windows and doors installed in barrier wall systems. In the states listed above, the installation of Pella Products in EIFS or similar barrier systems must be in accordance with Pella's instructions for that type of construction.
- These drawings are the property of Pella Corporation and must not be reproduced in whole or in part without written permission from an authorized representative of Pella Corporation.
- Product cross sections shown on these drawings are subject to change without notice.

Abbreviations

ALUM. = ALUMINUM	LBS. = POUNDS	R.O. = ROUGH OPENING
B.O. = BY OTHERS	MAX. = MAXIMUM	SDS. = SELF-DRILLING SCREW
CONT. = CONTINUOUS	MIN. = MINIMUM	SIM. = SIMILAR
CLR. = CLEARANCE	N.O. = MASONRY OPENING	TBD = TO BE DETERMINED
DTL. = DETAIL	NA. = NOT APPLICABLE	TOT. FR. = TOTAL FRAME
DIM. = DIMENSION	OC. = ON CENTER	V.G. = VISIBLE GLASS
EQ. = EQUAL	OPG. = OPENING	VIF. = VERIFY IN FIELD
FWHS. = FLAT HEAD WOOD SCREW	OPP. = OPPOSITE	WO. = WINDOW OPENING
FR. = FRAME	REQD. = REQUIRED	

Hatch Patterns

	PLYWOOD		BRICK		STEEL		FOAM SEALANT
	GYPSUM		CONCRETE		RIGID INSULATION		SOLID
	WOOD		CONCRETE BLOCK		GROUT		BATT INSULATION

Symbols

	= TEMPERED GLAZING		= LAMINATED		= PANEL
	= IMPACT GLAZING		= OBSCURE GLAZING		= SPANREL
	= FIELD MULLION INDICATOR		= PARTIAL BLOCKING		= SEALANT
	= DETAIL CUT		= CONTINUOUS BLOCKING		= BACKER ROD
	= MULLION REINFORCEMENT		= SPRAY FOAM SEALANT		

Components & Cladding Design Pressures

CODE: ASCE 7-10 (IBC 2012, IBC 2015)

Mean Roof Height (ft):	40	Building Length (ft):	NA
Design Wind Speed (MPH):	115	Building Width (ft):	NA
Exposure Category:	B	Edge Strip "a" (ft):	Verify
Building Classification/Occupant Category:	II		
Topographical Factor:	1		

Ss ft of opening	Zone 4		Zone 5	
	Pos	Neg	Pos	Neg
10	15.4	-16.9	15.4	-20.8
20	14.7	-16.1	14.7	-19.4
50	13.8	-15.2	13.8	-17.5
100	13.1	-14.5	13.1	-16.1
500	11.4	-12.8	11.4	-12.9

Note: The pressures and loads shown have been converted to comply with WDM/AAMA standards and NAFS Performance rating system. This system is based on Allowable Stress design pressures.

FAILURE TO CONFIRM THESE DESIGN PRESSURES BY A LOCAL STRUCTURAL ENGINEER OR BUILDING OFFICIAL MAY RESULT IN INADEQUATE MULLION DESIGN OR SELECTION OF PRODUCTS.

Special Notes

- CONFIRM THE FOLLOWING ITEMS ARE ACCEPTABLE WITH THE GENERAL CONTRACTOR AND PROJECT ARCHITECT:
- INSTALLATION ACCESSORIES SUCH AS BLOCKING, SHIMS, FASTENERS, FLASHING TAPES, FLASHINGS, SEALANTS, INTERIOR TRIM OR FINISHES, AND WEATHER BARRIER ARE BY OTHERS UNLESS NOTED OTHERWISE.
 - FIELD VERIFY ALL DETAILS & DIMENSIONS
 - ARCHITECT TO VERIFY SAFETY GLAZING & EGRESS REQUIREMENT
 - CAUTION WHEN HANDLING PRODUCT: ALL PELLA PRODUCTS SHOULD BE KEPT VERTICAL DURING HANDLING AND STORAGE. ANY MISHANDLING COULD RESULT IN PRODUCT AND/OR MULLION FAILURE.
 - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE ALL WINDOWS AND DOORS ARE CLOSED AND LOCKED DURING INCLEMENT WEATHER OR WHEN A ROOM IN WHICH A WINDOW OR DOOR IS INSTALLED IS VACANT.
 - PELLA CORPORATION DID NOT RECEIVE PROJECT SPECIFICATIONS. THEREFORE, CONFORMANCE TO PROJECT SPECIFICATIONS IS THE SOLE RESPONSIBILITY OF THE PELLA SALES BRANCH AND THE GENERAL CONTRACTOR.
 - DUE TO THE NATURE OF ANY REPLACEMENT PROJECT, IT IS IMPERATIVE THAT THE ARCHITECT, ENGINEER OR CONTRACTOR DETERMINES IF THE EXISTING STRUCTURE IS STRUCTURALLY SOUND FOR THE ANCHORAGE OF THE WINDOWS SPECIFIED FOR THIS PROJECT. IN ADDITION, THE ARCHITECT, ENGINEER AND CONTRACTOR MUST DETERMINE IF THE DETAILS SHOWN ON THESE DRAWINGS ARE ACCEPTABLE WITH THE EXISTING FLASHING FOR AN EFFECTIVE WATER MANAGED SYSTEM. ALSO, THE EXISTING WALL CONSTRUCTION MUST BE CHECKED TO DETERMINE IF WATER PROBLEMS EXIST. ANY WATER PENETRATION MUST BE REPAIRED PRIOR TO INSTALLING THE NEW WINDOWS.

Construction Documents Received

THESE DRAWINGS WERE PREPARED FROM THE FOLLOWING INFORMATION		DATED
ARCHITECTURAL PLANS	SHEETS A-3, A-10	1-22-18
SPECIFICATIONS	NONE	-
ADDENDUM	NONE	-
OTHER	NONE	-

Mullion Reinforcement

THIS REINFORCING DESIGN CONSIDERS WIND LOADING ON THE COMBINATION AND DEAD LOAD FOR PELLA PRODUCTS ONLY.

MARK #	REINFORCEMENT TYPE	MAX. END LOAD

END CONNECTIONS MUST NOT INTERFERE WITH FRAMES OR SEALANT PLACEMENT. WALL CONSTRUCTION AND END CONNECTIONS MUST BE DESIGNED TO ACCEPT THE LOADS INDICATED. STEEL REINFORCEMENT MUST BE PROVED & TOP COATED WITH QUALITY PAINT. USE FULL PENETRATION WELDS AT CORNERS.

Field Water Testing

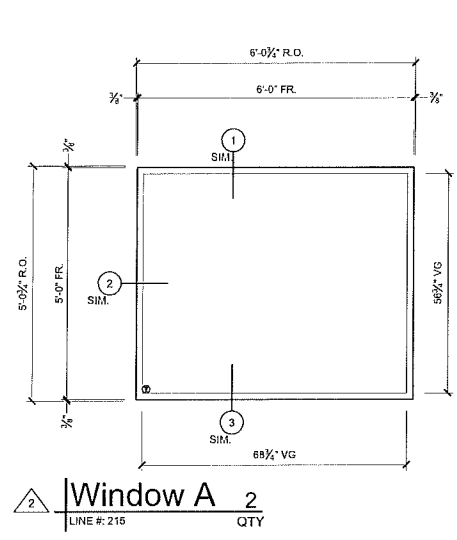
FIELD WATER TESTING (IF SPECIFIED) SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E1105 TEST PROCEDURE B. THE TEST PRESSURE SHALL BE BASED ON THE MAXIMUM POSITIVE COMPONENTS AND CLADDING DESIGN PRESSURE. UTILIZING THE AAMA 502 FIELD TEST REDUCTION, THE WATER TEST PRESSURE IS 10% OF THE MAXIMUM POSITIVE DESIGN PRESSURE.

INSTALLATION SHOP DRAWING FOR

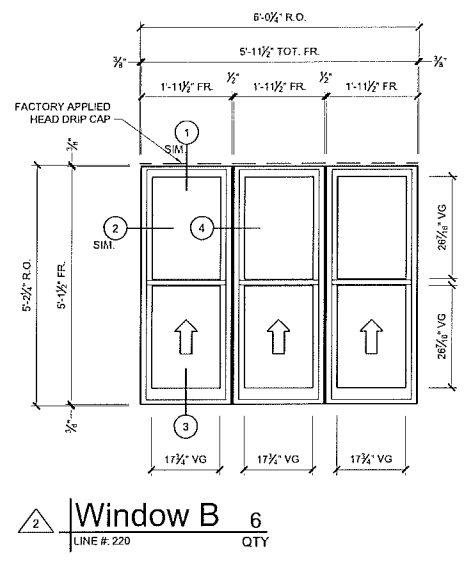
MARLBOROUGH APARTMENTS BUILDING RENOVATIONS

LOCATION: 910 MARLBOROUGH ST.; DETROIT, MI

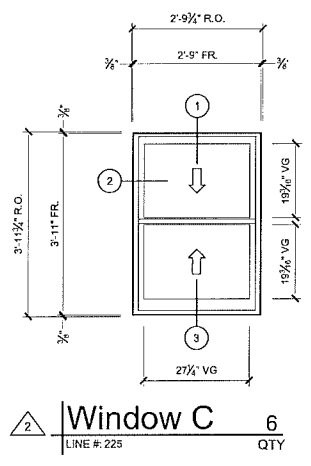
ARCHITECT: EDWARDS GROUP INTERNATIONAL, INC.



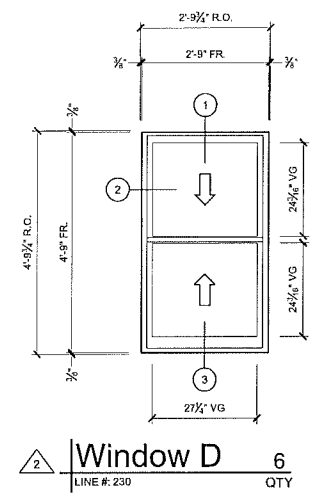
2 **Window A** 2
LINE # 215 QTY



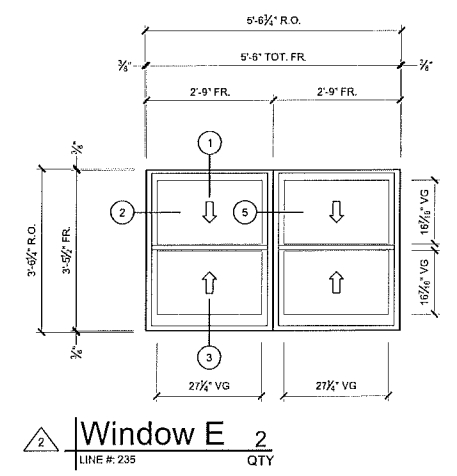
2 **Window B** 6
LINE # 220 QTY



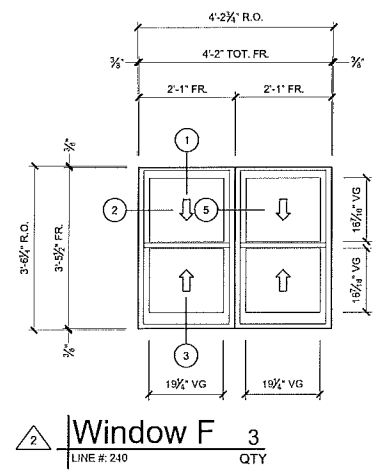
2 **Window C** 6
LINE # 225 QTY



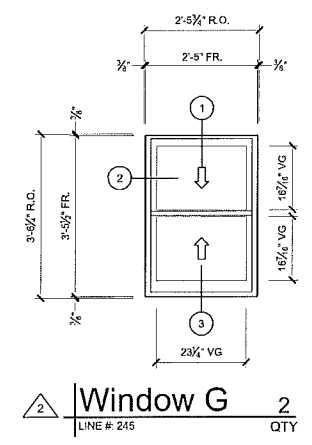
2 **Window D** 6
LINE # 230 QTY



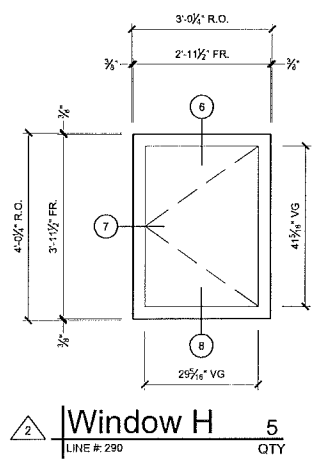
2 **Window E** 2
LINE # 235 QTY



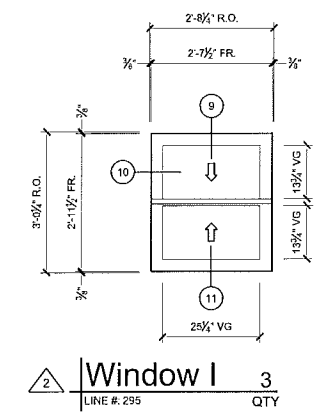
2 **Window F** 3
LINE # 240 QTY



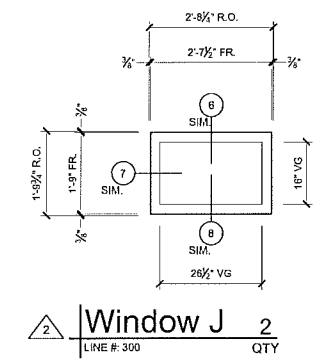
2 **Window G** 2
LINE # 245 QTY



2 **Window H** 5
LINE # 290 QTY



2 **Window I** 3
LINE # 295 QTY




2 **Window J** 2
LINE # 300 QTY

REV.	DATE	BY	DATE	BY
1	2-14-19	GG	2-14-19	GG
2	2-21-19	GG	2-21-19	GG
3				
4				
5				
6				

SPECIFICATIONS 

NOTE: CUSTOM ATTRIBUTES (IF ANY) WILL BE NOTED UNDER THE ELEVATION LABEL

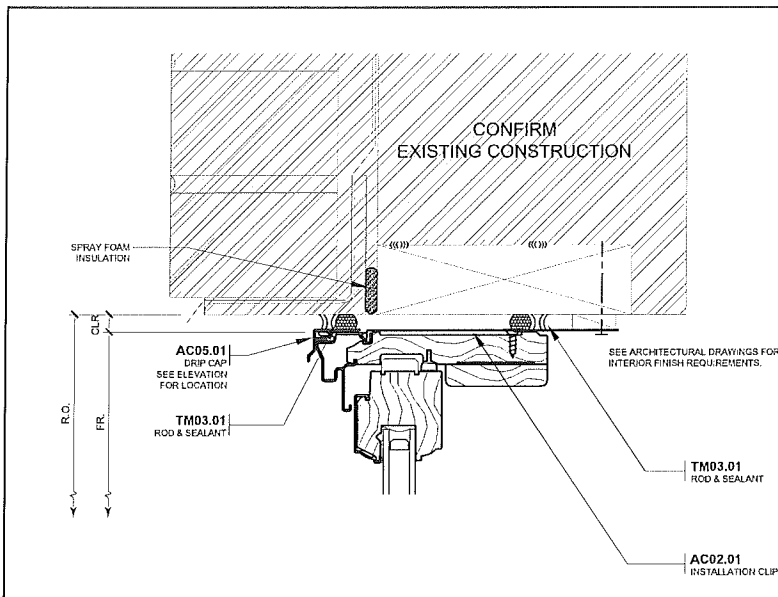
Line #	Quote No.	Unit ID	Windowset Name	Operation / Venting	Exterior Material Type	Wood Type	Exterior Paint Grade	Exterior Color	Interior Finish	Glazing Type	Insulated Type	Glass Strength	Insulated Glass Options	Low-E Glass Style	Gas Filled	U-Factor	SHGC	VLT	Performance Class	PG	Jamb Extended Wall Depth	Exterior Sash / Panel Profile	Interior Sash / Panel Profile	Hardware Finish	Screen Option	Screen Exterior Paint Grade	Screen Color	Interior Color	Hardware Type
215	10928705	Window A	Support Products Traditional Rectangle	Fixed Frame	Clad	Pine	Standard Enduraclad	Brown	Prefinished White Paint	Insulated	Dual	Tempered	Low-E	Advanced Low-E Insulating Glass	Argon	0.28	0.32	0.60	CW	60	3 11/16"								
220	10928705	Window B	Architect Series(R) Reserve Traditional Single-Hung	Single Hung	Clad	Pine	Standard Enduraclad	Brown	Black Stain	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.29	0.28	0.53	CW	50	3 11/16"	Ogee	Ogee	Matte Black	Half Screen	Standard EnduraClad	Brown		
220	10928705	Window B	Architect Series(R) Reserve Traditional Single-Hung	Single Hung	Clad	Pine	Standard Enduraclad	Brown	Black Stain	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.29	0.28	0.53	CW	50	3 11/16"	Ogee	Ogee	Matte Black	Half Screen	Standard EnduraClad	Brown		
220	10928705	Window B	Architect Series(R) Reserve Traditional Single-Hung	Single Hung	Clad	Pine	Standard Enduraclad	Brown	Black Stain	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.29	0.28	0.53	CW	50	3 11/16"	Ogee	Ogee	Matte Black	Half Screen	Standard EnduraClad	Brown		
225	10928705	Window C	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Clad	Pine	Standard Enduraclad	Brown	Prefinished White Paint	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.29	0.28	0.53	CW	50	3 11/16"	Ogee	Ogee	White	Full Screen	Standard EnduraClad	Brown		
230	10928705	Window D	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Clad	Pine	Standard Enduraclad	Brown	Prefinished White Paint	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.29	0.28	0.53	CW	50	3 11/16"	Ogee	Ogee	White	Full Screen	Standard EnduraClad	Brown		
235	10928705	Window E	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Clad	Pine	Standard Enduraclad	Brown	Prefinished White Paint	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.29	0.28	0.53	CW	50	3 11/16"	Ogee	Ogee	White	Full Screen	Standard EnduraClad	Brown		
235	10928705	Window E	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Clad	Pine	Standard Enduraclad	Brown	Prefinished White Paint	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.29	0.28	0.53	CW	50	3 11/16"	Ogee	Ogee	White	Full Screen	Standard EnduraClad	Brown		
240	10928705	Window F	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Clad	Pine	Standard Enduraclad	Brown	Prefinished White Paint	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.29	0.28	0.53	CW	50	3 11/16"	Ogee	Ogee	White	Full Screen	Standard EnduraClad	Brown		
240	10928705	Window F	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Clad	Pine	Standard Enduraclad	Brown	Prefinished White Paint	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.29	0.28	0.53	CW	50	3 11/16"	Ogee	Ogee	White	Full Screen	Standard EnduraClad	Brown		
245	10928705	Window G	Architect Series(R) Reserve Traditional Double-Hung	Double Hung	Clad	Pine	Standard Enduraclad	Brown	Prefinished White Paint	Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.29	0.28	0.53	CW	50	3 11/16"	Ogee	Ogee	White	Full Screen	Standard EnduraClad	Brown		
290	10928705	Window H	Pella(R) 250 Series Casement	Left	Vinyl			Tan		Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.26	0.25	0.46	LC	35				White	Full Screen			White	Wash Hinge Hardware
295	10928705	Window I	Pella(R) 250 Series Double-Hung	Double Hung	Vinyl			Tan		Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.27	0.28	0.53	R	35				White	Full Screen			White	
300	10928705	Window J	Pella(R) 250 Series Fixed Casement	Fixed	Vinyl			Tan		Insulated	Dual	Annealed	Low-E	Advanced Low-E Insulating Glass	Argon	0.27	0.30	0.57	LC	35								White	

ARCHITECTURAL SUPPORT SERVICES
 D E P A R T M E N T

 Pella Corporation
 Window and Door Installation Solutions
 Pella, Inc.

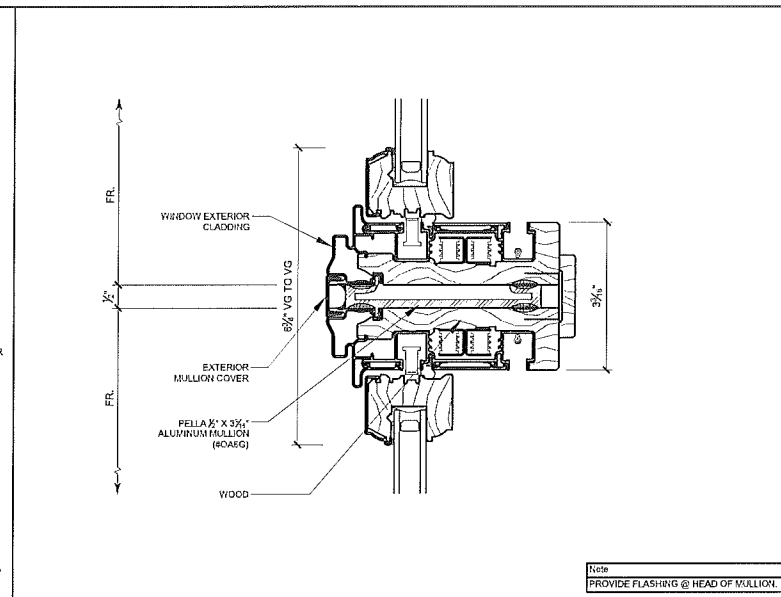
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2-14-19	A	2-21-19	A		A

INSTALLATION SHOP DRAWING FOR
MARLBOROUGH APARTMENTS BUILDING RENOVATIONS
 LOCATION: 910 MARLBOROUGH ST., DETROIT, MI
 ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.

ORIGINAL: 2-7-19
DRAWN BY: NRK
CHECKED BY: GG
Project No: 206374.16
SHEET: 03 OF 07

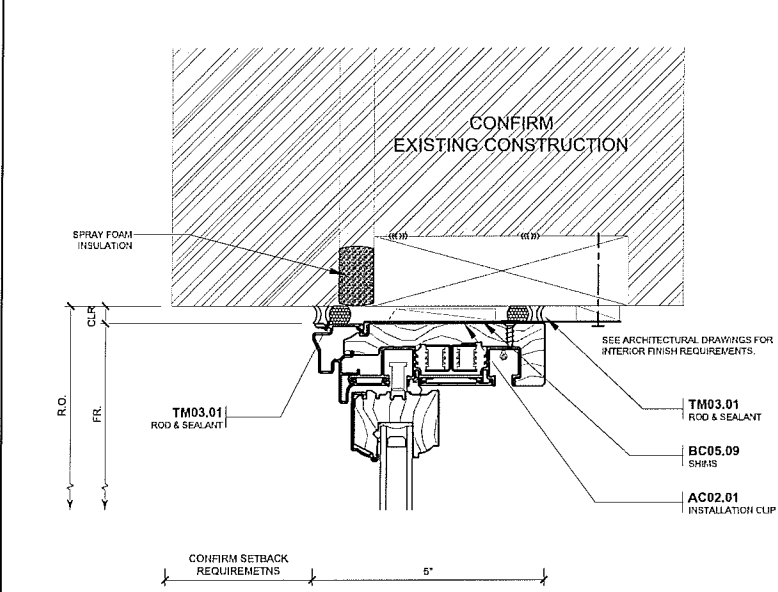


1 HEAD
REF. ARCH. DWG: A-10

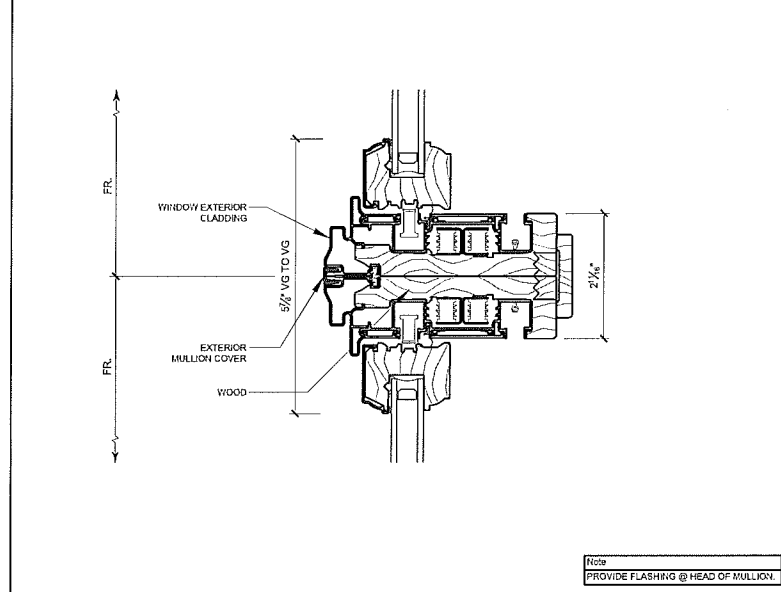


4 FACTORY MULLION
REF. ARCH. DWG: -

Note
PROVIDE FLASHING @ HEAD OF MULLION.

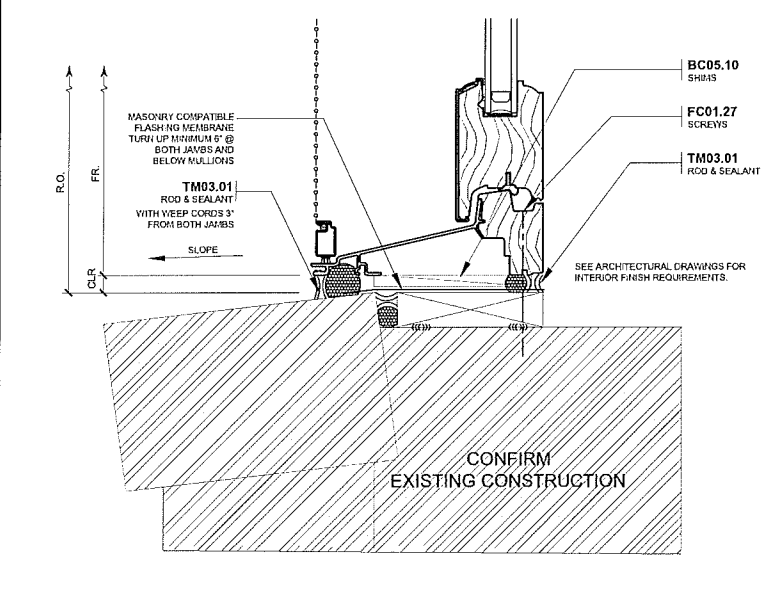


2 JAMB
REF. ARCH. DWG: A-10

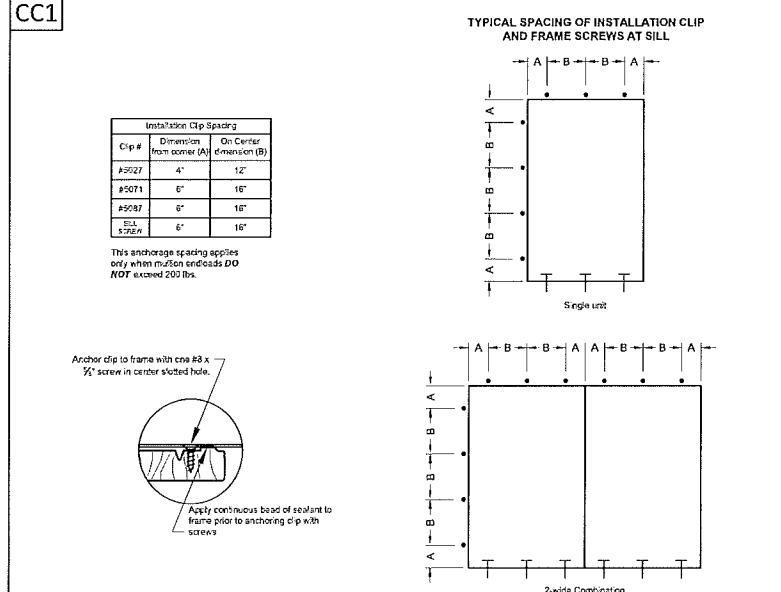


5 FACTORY MULLION
REF. ARCH. DWG: -

Note
PROVIDE FLASHING @ HEAD OF MULLION.



3 SILL
REF. ARCH. DWG: A-10



CC1 CLAD CLIP INSTALLATION TYPICAL DETAILS
TYPICAL DETAILS APPLY UNLESS OTHERWISE SPECIFIED

- DETAIL KEYNOTES**
- AC : ATTACHMENT COMPONENTS**
- AC02.01 INSTALLATION CLIP. FIELD CUT AND BEED AS REQUIRED. ANCHOR TO UNIT WITH (2) #8 x 5/8" SCREWS. ANCHOR (2 PER CLIP) TO WALL CONSTRUCTION. (BASED ON MATERIAL CLIPS WILL BE ATTACHED TO: WOOD #8 x 1-1/4" CORROSION RESISTANT PAN HEAD SCREW. STEEL STUD #1 x 1/8" ZINC-SULFUR-RESISTING PAN HEAD SCREW. STEEL PLATE #12-24 x 1-1/4" CORROSION RESISTANT SELF-DRILLING #8 x 5/8 PT. HEX WASHER HEAD SCREW. CONCRETE BLOCK/BRICK #14 x 1-3/4" CORROSION RESISTANT HEX WASHER HEAD MASONRY SCREW.)
- AC05.01 DRIP CAP AND FLASHING TAPE OVER LENGTH OF FRAME HEAD EXTRUSION, COVERING MULLION TOP AND EXTENDING INTO INSTALLATION FR.
- BC : BUILDING COMPONENTS (BY OTHERS)**
- BC05.09 SHM AND PLUMB UNITS AS PER INSTALLATION INSTRUCTIONS. (DO NOT OVER SHM)
- BC05.10 SHM AS REQUIRED AT ANCHORAGE LOCATIONS. (DO NOT OVER SHM)
- FC : FASTENING COMPONENTS**
- FC01.27 PRE-DRILL PILOT HOLES AND ANCHOR UNIT TO OPENING WITH #8 x 3/8" FINISH HEAD WOOD SCREWS SPACED WITHIN 6" OF OUTSIDE EDGE AND 16" ON CENTER MAXIMUM. CAUTION: SHM AT ANCHORAGE LOCATIONS. DO NOT BOW WOOD FRAME.
- TM : THERMAL AND MOISTURE PROTECTION**
- TM03.01 WATER RESISTANT BACKER ROD AND SEALANT.

VERIFY EXISTING CONSTRUCTION

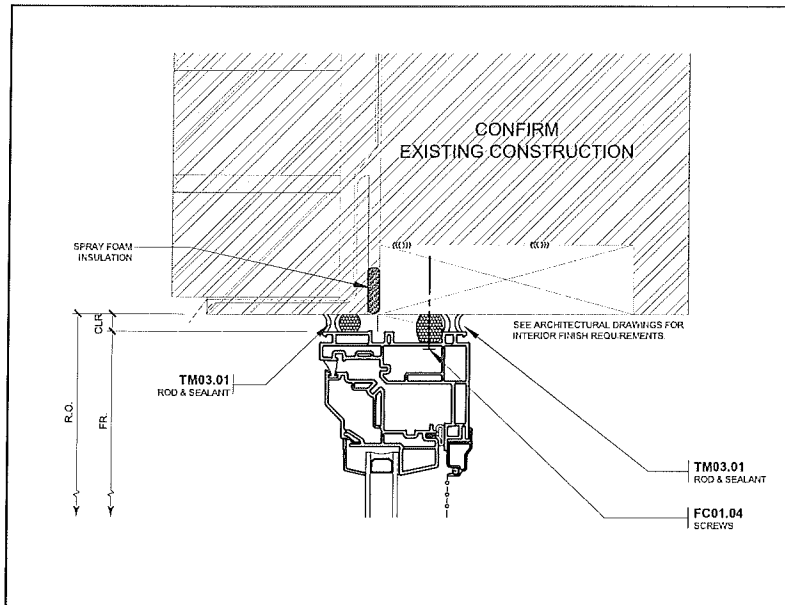
REVIEW ALL EXISTING CONSTRUCTION FOR OPENING SIZE & ENSURE STABILITY OF EXISTING MATERIALS. CONFIRM THAT THE PROPOSED DETAILS WILL COMPLY WITH EXISTING FLASHING TO PROVIDE EFFECTIVE WATER MANAGED SYSTEM.

ARCHITECTURAL SUPPORT SERVICES
DEPARTMENT
Pella Corporation
Pella, Iowa

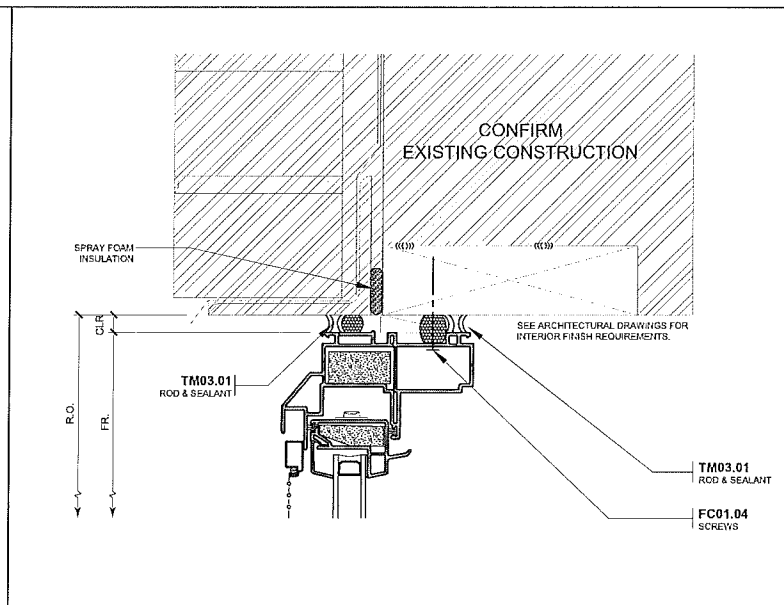
REV.	DATE	BY	CHKD.
1	2-14-19	GG	GG
2	2-21-19	GG	GG
3		GG	GG
4		GG	GG
5		GG	GG

INSTALLATION SHOP DRAWING FOR
MARLBOROUGH APARTMENTS BUILDING RENOVATIONS
LOCATION: 910 MARLBOROUGH ST., DETROIT, MI
ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.

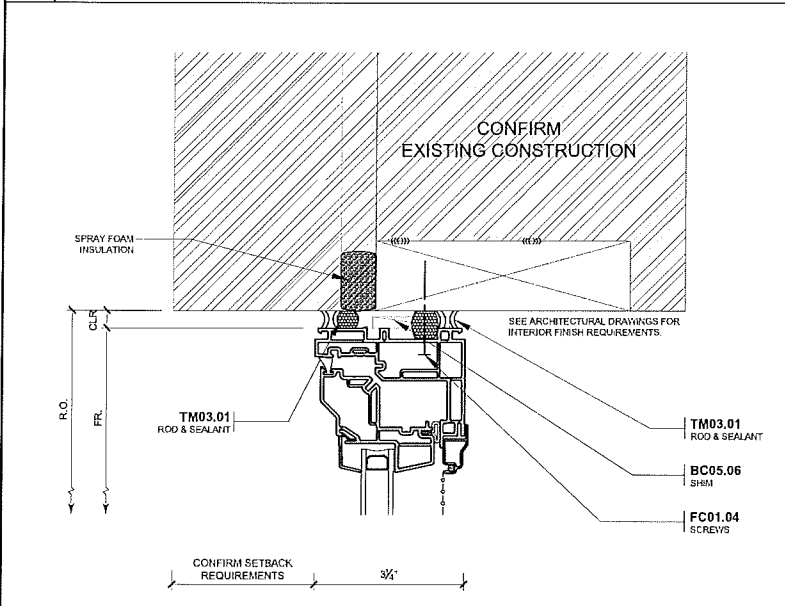
ORIGINAL: 2-7-19
DRAWN BY: JMK
CHECKED BY: GGG
Project No:
206374.16
SHEET
04 OF 07



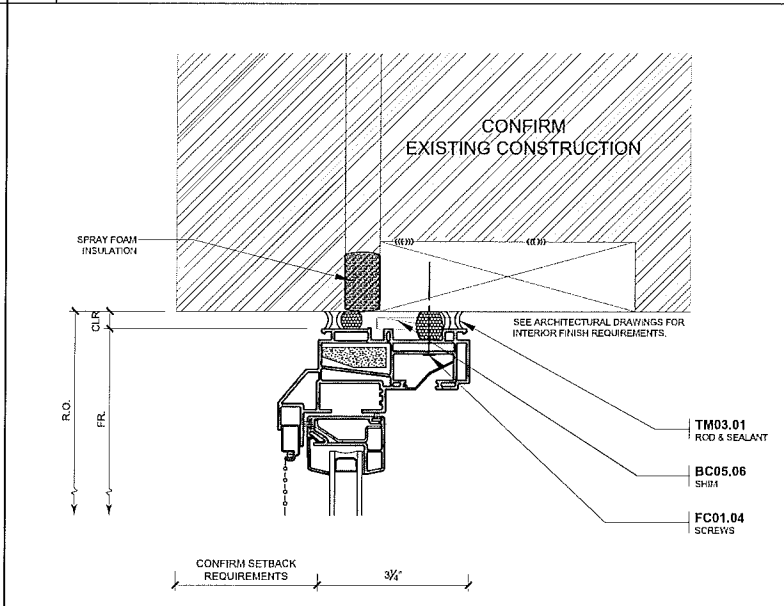
6 HEAD
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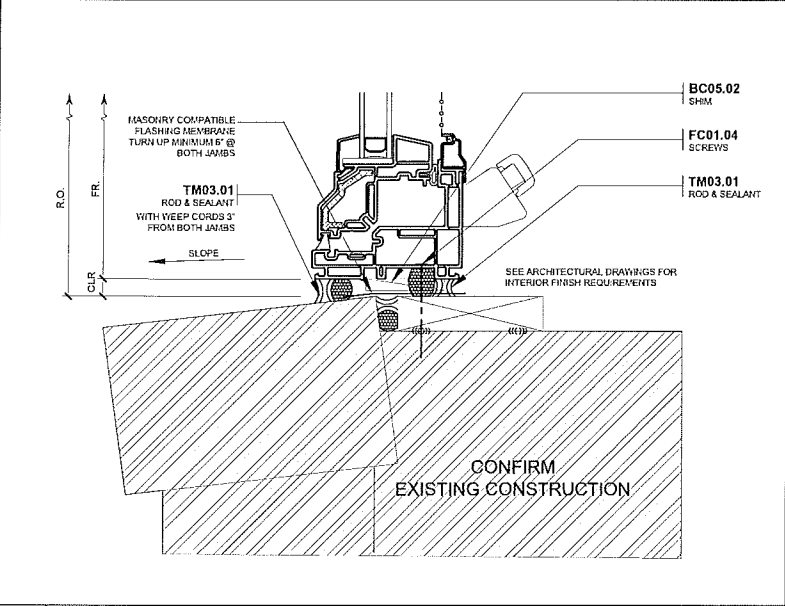
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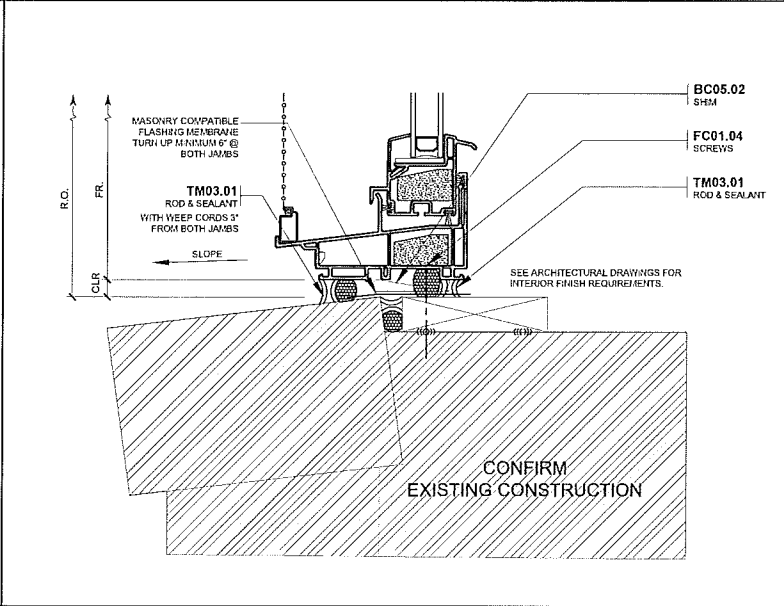
7 JAMB
REF. ARCH. DWG.: A-10



10 JAMB
REF. ARCH. DWG.: A-10



8 SILL
REF. ARCH. DWG.: A-10



11 SILL
REF. ARCH. DWG.: A-10

DETAIL KEYNOTES

BC : BUILDING COMPONENTS (BY OTHERS)

BC05.02 LEVEL OPENING SILL PRIOR TO UNIT INSTALLATION. PROVIDE IMPERVIOUS SHIMS 1/2" FROM EACH SIDE FOR JAMB AND AT IF ROOFY JAMB AS REQUIRED FOR V-VAL WINDOWS. FOR TM'S TO MAX 3/16" SPACING IS 15"

BC05.06 SHIMS AND JAMB UNITS AS REQUIRED TO KEEP JAMBS STRAIGHT. PROVIDE IMPERVIOUS SHIMS AT ANCHOR/RAIL LOCATIONS. (DO NOT OVER SHIM)

FC : FASTENING COMPONENTS

FC01.04 ANCHOR UNIT TO OPENING WITH SCREWS PROVIDED AT HOLES PROVIDED

TM : THERMAL AND MOISTURE PROTECTION

TM03.01 WATER RESISTANT BACKER ROD AND SEALANT.

VERIFY EXISTING CONSTRUCTION

REVIEW ALL EXISTING CONSTRUCTION FOR OPENING SIZE & ENSURE STABILITY OF EXISTING MATERIALS. CONFIRM THAT THE PROPOSED DETAILS WILL COMPLY W/ EXISTING FLASHING TO PROVIDE EFFECTIVE WATER MANAGED SYSTEM.

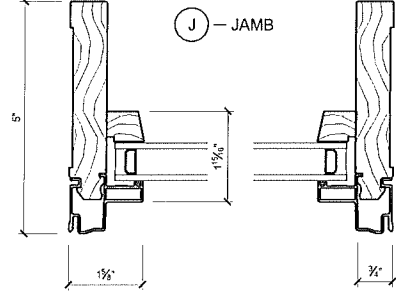
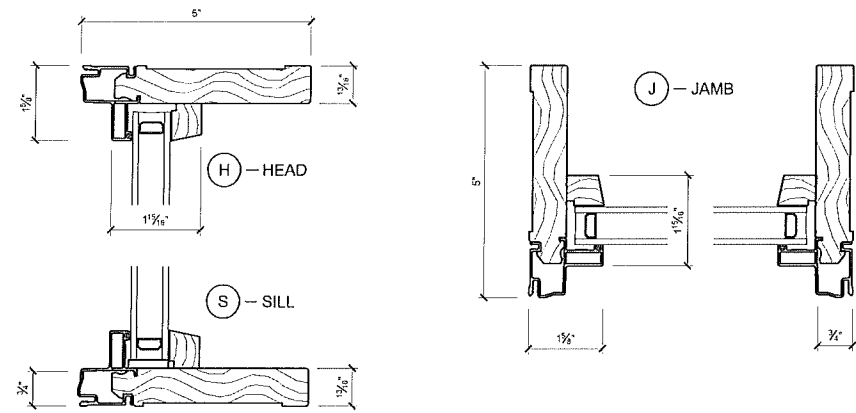
ARCHITECTURAL SUPPORT SERVICES
DEPARTMENT
Pella Corporation
Window and Door Installation Solutions
Pella, Iowa

REV:	DATE:	BY:	CHK:
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2	2-21-19	AA	AA
3		AA	AA
4		AA	AA
5		AA	AA

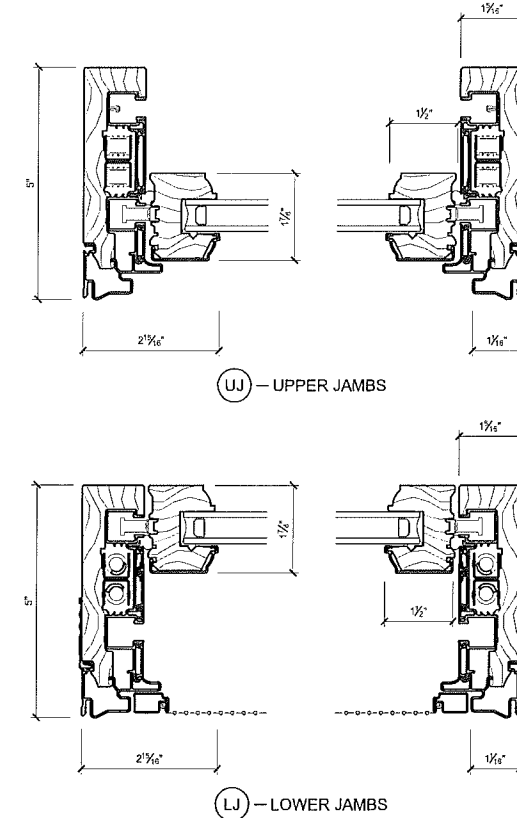
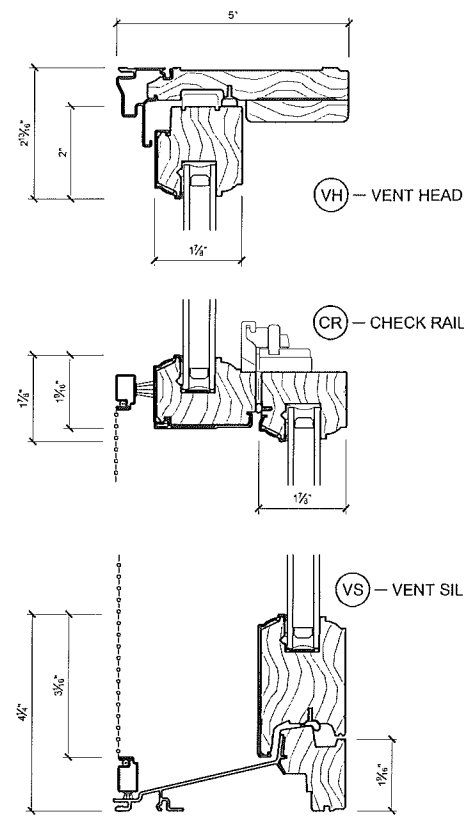
INSTALLATION SHOP DRAWING FOR
MARLBOROUGH APARTMENTS BUILDING RENOVATIONS
LOCATION: 910 MARLBOROUGH ST., DETROIT, MI
ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.

ORIGINAL: 2-7-19
DRAWN BY: NRM
CHECKED BY: GGG
Project No.: 206374.16
SHEET: 05 OF 07

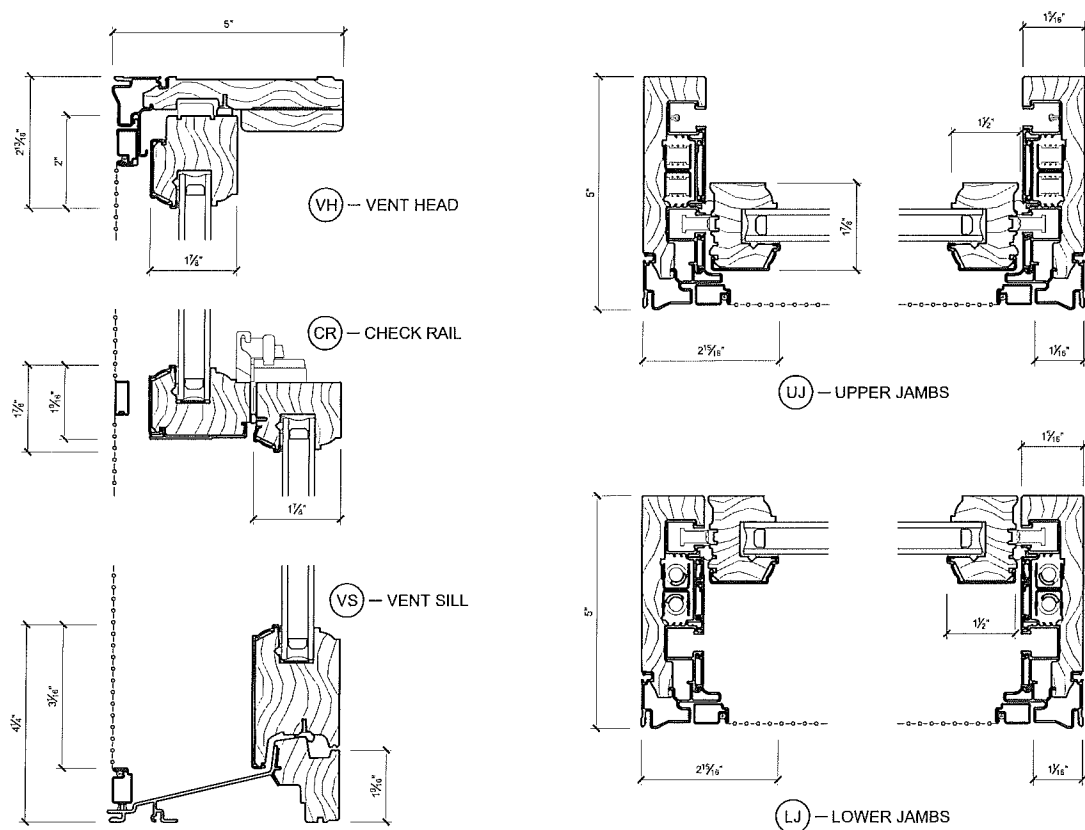
SUPPORT PRODUCT FIXED FRAME CLAD / WOOD



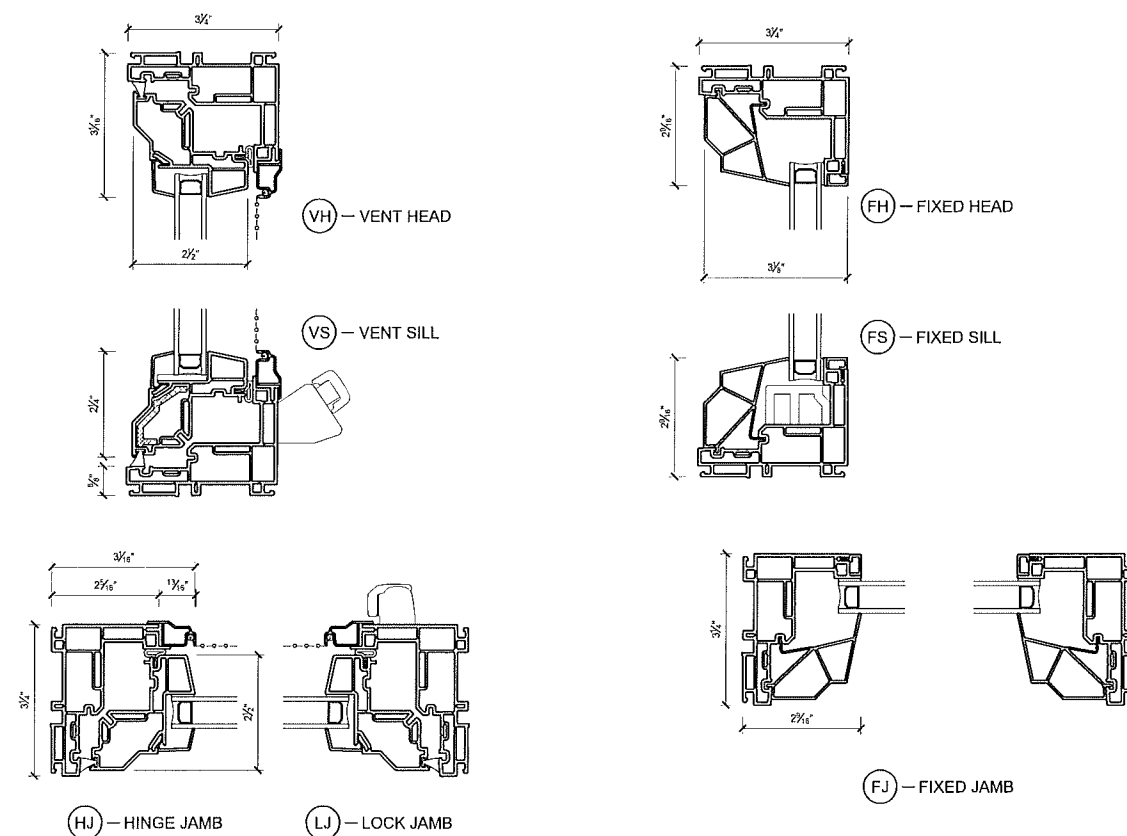
ARCHITECT SERIES SINGLE HUNG CLAD / WOOD



ARCHITECT SERIES DOUBLE HUNG CLAD / WOOD

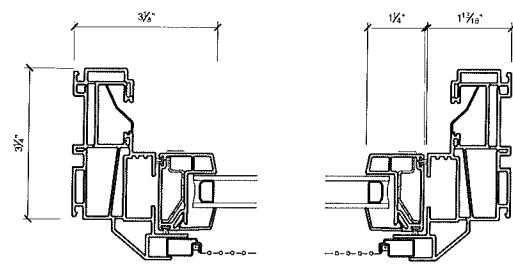


PELLA 250 SERIES CASEMENT VINYL

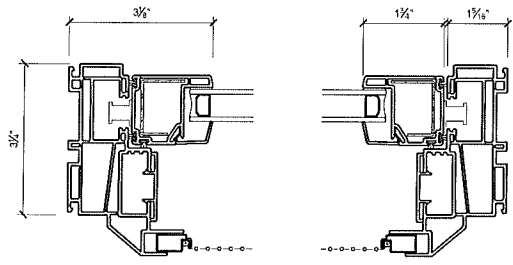


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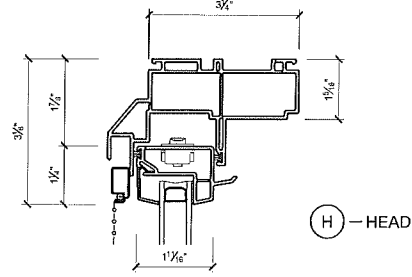
PELLA 250 SERIES DOUBLE HUNG VINYL



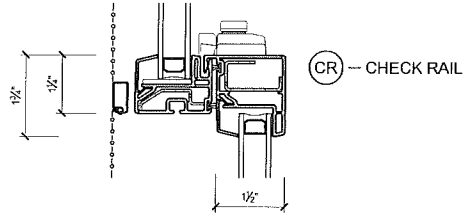
UJ — UPPER JAMBS



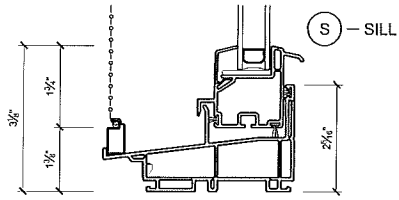
LJ — LOWER JAMBS



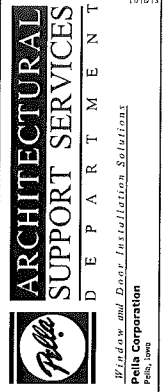
H — HEAD



CR — CHECK RAIL



S — SILL



REV.	DATE	REV.	DATE
1	2-14-19	1	
2	2-21-19	2	
3		3	
4		4	
5		5	

INSTALLATION SHOP DRAWING FOR
MARLBOROUGH APARTMENTS BUILDING RENOVATIONS
 LOCATION: 910 MARLBOROUGH ST., DETROIT, MI
 ARCHITECT: EDWARDS GROUP INTERNATIONAL INC.

ORIGINAL: 2-7-19
 DRAWN BY: NFK
 CHECKED BY: GG
 Project No.:
206374.16
 SHEET: 07 OF 07

BV100 EXTRUDED ALUMINUM BRICK VENTS

STANDARD CONSTRUCTION

FRAME

6063T5 extruded aluminum, .100" nominal wall thickness. Standard frame depth is 4" (102). 1/8" (3) mortar ribs on top and bottom of frame add 1/4" (6) to nominal height. Optional 15/16" (33) deep flange frame height and width does not include 1" (25) face flange.

BLADES

6063T5 extruded aluminum, .100" minimum wall thickness at 48° angle. Blades overlap for optimum visual screening.

SCREEN

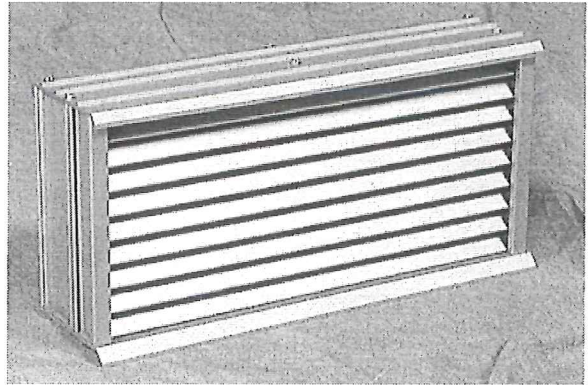
18 x 16 mesh aluminum insect screen.

FINISH

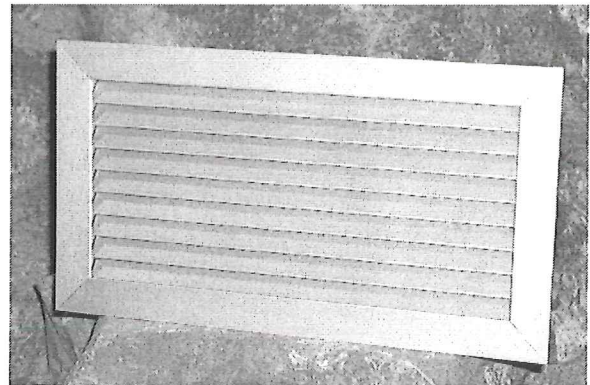
204-R1 clear anodize.

STANDARD SIZES

8 1/8" x 2 3/8" (206 x 61)	16 1/2" x 2 3/8" (419 x 61)
8 1/8" x 4 3/4" (206 x 121)	16 1/2" x 4 3/4" (419 x 121)
8 1/8" x 7 3/4" (206 x 197)	16 1/2" x 7 3/4" (419 x 197)
12" x 2 3/8" (305 x 61)	24" x 2 3/8" (610 x 61)
12" x 4 3/4" (305 x 121)	24" x 4 3/4" (610 x 121)
12" x 7 3/4" (305 x 197)	24" x 7 3/4" (610 x 197)
15 5/8" x 7 3/4" (397 x 197)	



BV100
Standard Frame 4" (102) deep



BV100
Flange Frame 15/16" (32.5) deep

FEATURES

Ruskin's BV100 brick vents offer superior venting at minimum cost. Standard features include:

- Minimum 39% free area for desired venting.
- Continuous weepage at bottom and a high, rear water stop give optimum water penetration protection.
- Aluminum construction for long life and corrosion resistance.
- Continuous blades without mullions for attractive appearance.

VARIATIONS

Variations to standard design are available. Some variations are at additional cost.

- 15/16" (32.5) deep flange frame for renovation applications.
- .063 aluminum duct to 18" (457) in length.
- Exterior operated damper.
- Other finishes:
 - Medium or dark bronze anodize
 - Baked enamel in snow white, black, statuary bronze, or brick red
 - Colors and finishes to match Ruskin louvers (Consult Ruskin).

NOTE: Dimensions shown in parenthesis () indicate millimeters.

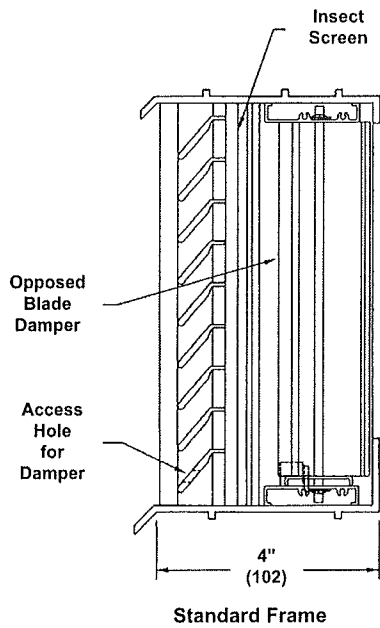
SUGGESTED SPECIFICATION

Furnish and install where indicated on drawings Ruskin brick vents Model BV100. Frame and blade construction shall be .100 nominal 6063T5 extruded aluminum. Vents are supplied with 18 x 16 mesh aluminum insect screen. Finish shall be clear 204-R1 clear anodize (or other as specified).

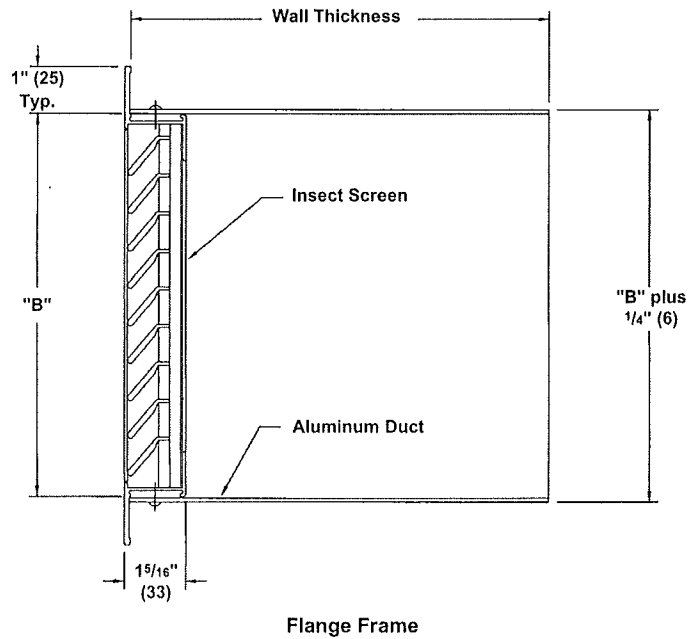
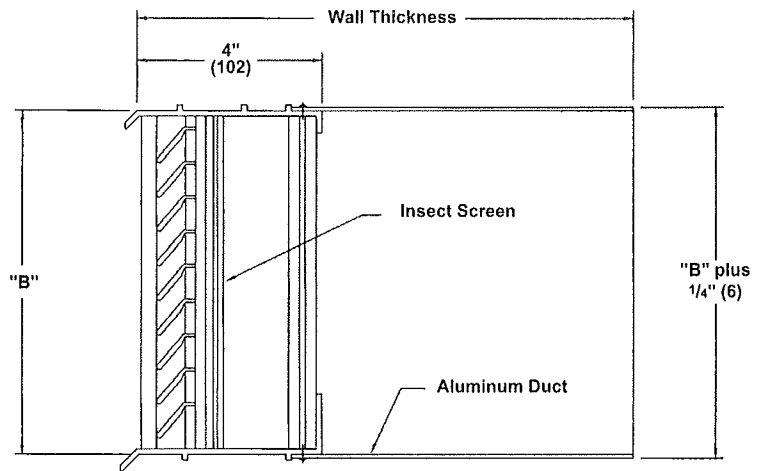
QTY.	MODEL	SIZE		FRAME		VARIATIONS
		A-WIDE	B-HIGH	STD.	FL.	
JOB			LOCATION			
CONTRACTOR						

BV100 BRICK VENT OPTIONS

Exterior Operated Damper Option



Straight Duct Option to 18" (457) in Length



RUSKIN®

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