



DEPARTMENT OF
**Planning &
Development**

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APPROVED
 APPROVED WITH CHANGES NOTED

REVISE AND RESUBMIT
 REJECTED

SUBMITTAL WAS REVIEWED FOR DESIGN CONFORMITY AND GENERAL CONFORMANCE TO CITY OF DETROIT DESIGN GUIDELINES. THE APPLICANT IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT JOBSITE FOR TOLERANCE, CLEARANCE, QUANTITIES, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, AS WELL AS COORDINATION OF THE WORK WITH OTHER TRADES AND FULL COMPLIANCE WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS.

STAFF BRIEF

This document is the staff's comparison of the City of Detroit Design Review Guiding Principles, Design Guidelines for City of Detroit Zoning Ordinance and other applicable adopted area guidelines as applied to the proposed application. It is intended to provide guidance during the City Planning and Development Design Review of the proposed application.

Date: 11/17/2020

Project: 290 Edmund

Design Review Meeting: Zoom design update meeting 11/05/2020

Address: 290 Edmund, City Modern

Staff: Russell Baltimore (baltimorer@detroitmi.gov), Julio Cedano (CedanoJ@detroitmi.gov)

Year structure built: NA

Applicant: Bedrock

Project Scope Under Review: NEW CONSTRUCTION

Project Summary:

Bedrock is proposing to add another 4-story, multi-unit building to the City Modern Development.

Design Review Guiding Principles:

- IC** IN COMPLIANCE
- NIC** NOT IN COMPLIANCE
- NA** NOT APPLICABLE
- MIN** MORE INFORMATION NEEDED

NA Historic Preservation: The intent of development is to preserve existing structures and compliment the urban fabric through a thoughtful and intentional approach to design.

IC Activate the Public Realm: All projects shall build upon the walkable environment, providing a transparent and interactive building frontage and ground level meant to intrigue pedestrians through design and active uses.

IC Appropriate Density: Any new building shall be appropriate in scale with surroundings.

- IC Activate the Public Realm:** All projects shall build upon the walkable environment, providing a transparent and interactive building frontage and ground level meant to intrigue pedestrians through design and active uses.
- IC Building Form and Material:** The site shall incorporate sound urban design and established development principles. The built environment shall provide interesting building typologies of varied architectural styles and compliment, not mimic, the nature of the existing urban fabric.
- IC Maintain/Integrate the Street Grid:** Many city blocks have been combined into superblocks or developments built facing inwards. The goal is for new development to be directly integrated into the existing street grid - not to create an isolated development site.
- IC Street Frontage:** All new construction shall be designed along the front lot line of the property adjacent to the public right-of-way. Parking shall not be provided between the building frontage and the street edge.
- IC Pedestrian Experience:** Where appropriate, alleyways will serve as the main point of automotive ingress and egress. Curb cuts onto public right-of-way will be minimized or obsolete in order to provide a safe, walkable, pedestrian oriented street design.
- IC Parking and Access:** All on-site parking shall be appropriately landscaped or be screened from view, preferably developing parking lot edges of the site with new construction in order to shield the parking from view.

Design Review notes:

Overall, this project is in line with PDD's aesthetic and environmental goals for new residential development. It will add much needed density and activity to the area. This project does not attempt to mimic the historic nature of the surrounding district but it does employ appropriate architectural moves that help maintain the massing, scale, color tones and material textures of the district. The PDD Design Review team thinks this project will be a welcome addition to the Brush Park neighborhood district.

General Notes:

- Adhere to zoning requirements (setbacks, use, parking, etc.).
- Follow the design standards for parking lots outlined in the zoning ordinance (including paving surfaces, landscaping and screening).
- Investigate opportunities to provide more setback from the front sidewalk.
- Investigate providing a walkway between the parking and the rear of the building.
- Investigate covering the concrete foundation wall and front stoops with brick.

SEE ATTACHED DESIGN SUBMITTAL PACKAGE MARK-UP FOR ADDITIONAL COMMENTS.

290 Edmund Place

Historic District Commission Update

November 2020







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Aspects of the design previously presented to the HDC that we understood as reason for denial:

- ❑ **Massing:** The building should read more as multiple buildings with pass-throughs, reflecting the broken streetscape of the historical homes and serving as tradeoffs to the bookend buildings.
- ❑ **Materiality:** Material strategies should create more “softness” and “rhythm”.
- ❑ **Street Front:** The concrete base should contrast less with building body.
- ❑ **Openings:** The building openings should respond more to the openings on the adjacent Townhomes.



WD-01	MAS-01	MAS-02	MAS-03	MTL-01
				
<p>CEDAR CLADDING 4" WIDE, CLEAR COAT, VERTICAL</p>	<p>BRICK VENEER 2 1/4" MODULAR, MONTEREY RED MIX</p>	<p>TEXTURED BRICK 2 1/4" MODULAR, MONTEREY RED MIX</p>		<p>RAILINGS, DOORS, AND WINDOWS POWDER COATED DARK BRONZE</p>

The proposed redesign responds to HDC feedback in the following ways:

- ❑ **Massing:** A staggered setback and varied brick tones break down the massing into more vertically oriented proportions. Addresses *Brush Park Elements of Design* #2, #16, and #19.
- ❑ **Materiality:** A revised material palette, composition, and texture adds variety, softness, and scale. Addresses *Brush Park Elements of Design* #7, #8, and #9.
- ❑ **Street Front:** Ground floor stoops and landscaping engages the pedestrian scale along the street. Addresses *Brush Park Elements of Design* #6, #17, and #20.
- ❑ **Openings:** Windows, varied in size, bridge the two scales of the Townhomes and the LOHA bookend buildings. Addresses *Brush Park Elements of Design* #3 and #4.



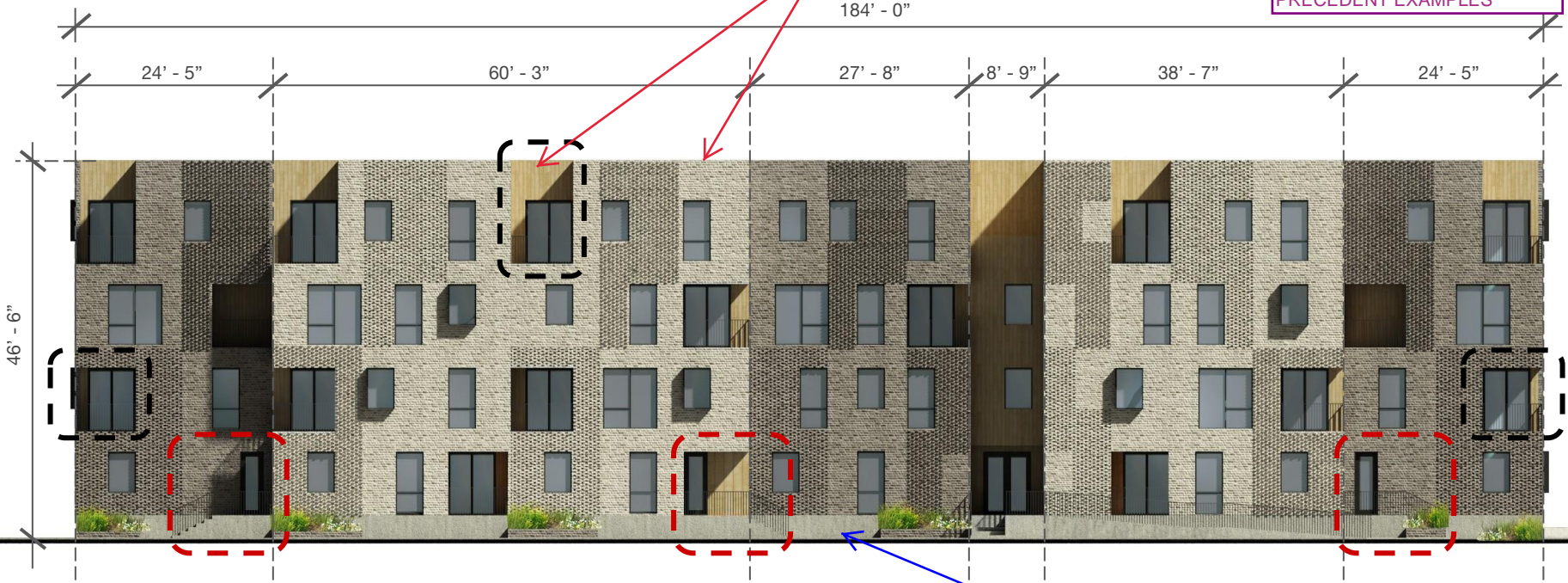
WD-01	MAS-01	MAS-02	MAS-03	MAS-04	MTL-01
					
<p>CEDAR CLADDING 4" WIDE, CLEAR COAT, VERTICAL</p>	<p>BRICK VENEER 2 1/4" MODULAR, LIGHT GREY</p>	<p>BRICK VENEER 2 1/4" MODULAR, MEDIUM GREY</p>	<p>TEXTURED BRICK 2 1/4" MODULAR</p>	<p>TEXTURED BRICK 2 1/4" MODULAR</p>	<p>RAILINGS, DOORS, AND WINDOWS POWDER COATED DARK BRONZE</p>

COMMENTS IN RED ARE
REQUIRED CHANGES

COMMENTS IN BLUE ARE
SUGGESTED CHANGES

COMMENTS IN PURPLE ARE
PRECEDENT EXAMPLES

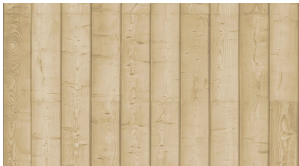
BUILDING ELEVATION (Facing Edmund Place)



- Newly added balconies
- Newly added stoops and stair access

WOULD IT BE POSSIBLE TO HAVE THE BRICK VENEER COVER THE CONCRETE STOOPS? THESE NEVER ARE A WELL DONE HERE IN MICHIGAN.

WD-01 MAS-01 MAS-02 MAS-03 MAS-04 MTL-01



CEDAR CLADDING
4" WIDE, CLEAR COAT, VERTICAL



BRICK VENEER
2 1/4" MODULAR, LIGHT GREY



BRICK VENEER
2 1/4" MODULAR, MEDIUM GREY



TEXTURED BRICK
2 1/4" MODULAR



RAILINGS, DOORS, AND WINDOWS
POWDER COATED DARK BRONZE

Proportion of building’s front facade

“Buildings in the district are usually taller than wide; horizontal proportions exist only in incompatible later buildings, except for row house buildings.” (*Brush Park Elements of Design*, #2)

- Length of building is broken into portions varied in size, breaking down overall building mass and projecting the image of smaller, individual buildings

Directional expression of front facades.

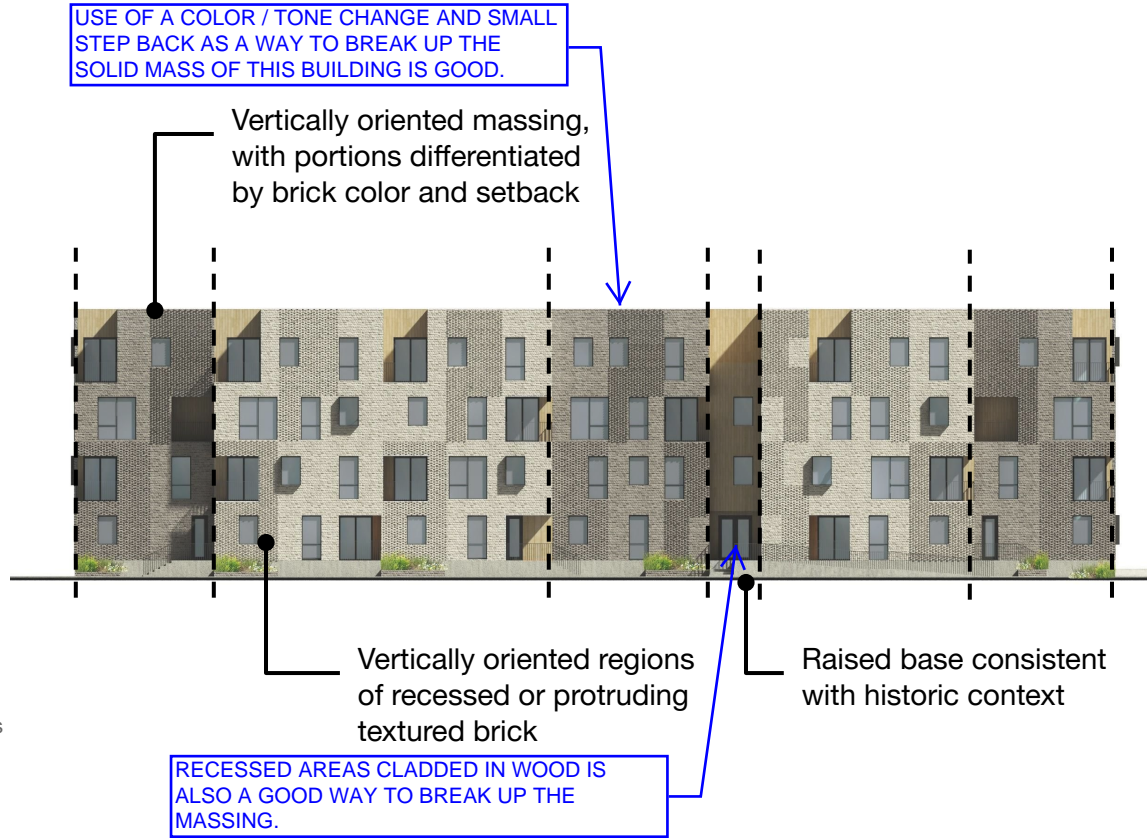
“A substantial majority of the buildings in the district have front facades vertically expressed. Exceptions are some commercial buildings on Woodward, row houses on John R. or Brush, and some duplexes or row houses east of Brush.” (*Brush Park Elements of Design*, # 16)

- Vertically oriented massing along the front facades
- Vertical proportions of textured brick regions

Degree of complexity with facades.

“The older houses in the district are generally characterized by a high degree of complexity within the facades, with bay windows, towers, porches, window and door hoods, elaborate cornices, and other devices used to decorate the buildings...” (*Brush Park Elements of Design*, # 19)

- Subtle but high degree of complexity through:
 - Stepped entries and front stoops
 - Protruding window surrounds
 - Carved voids (balconies)
 - Varied brick color and texture



COMMENTS IN RED ARE REQUIRED CHANGES

COMMENTS IN BLUE ARE SUGGESTED CHANGES

COMMENTS IN PURPLE ARE PRECEDENT EXAMPLES

Staggered front setbacks break up the massing while vertically oriented details respond to the surrounding historic context.

Relationship of materials.

“By far the most prevalent material in the district is common brick; other forms of brick, stone and wood trim are common; wood is used as a structural material only east of Brush...” (*Brush Park Elements of Design*, #7)

- Primary facade material is brick
- Brickwork is a lighter tone to reduce visual bulk
- Concrete base reinforces the 3-foot plinth datum of the historic form

Relationship of textures.

“The most common relationship of textures in the district is the low-relief pattern of mortar joints in brick contrasted to the smoother or rougher surfaces of stone or wood trim...” (*Brush Park Elements of Design*, #8)

- Vertical patterning of brick provides complexity in texture using a single material
- Brick is contrasted by smooth accent materials like wood (in the carved voids) and metal (at the window surrounds)
- Balconies contribute a dynamic, tactile element at the pedestrian level



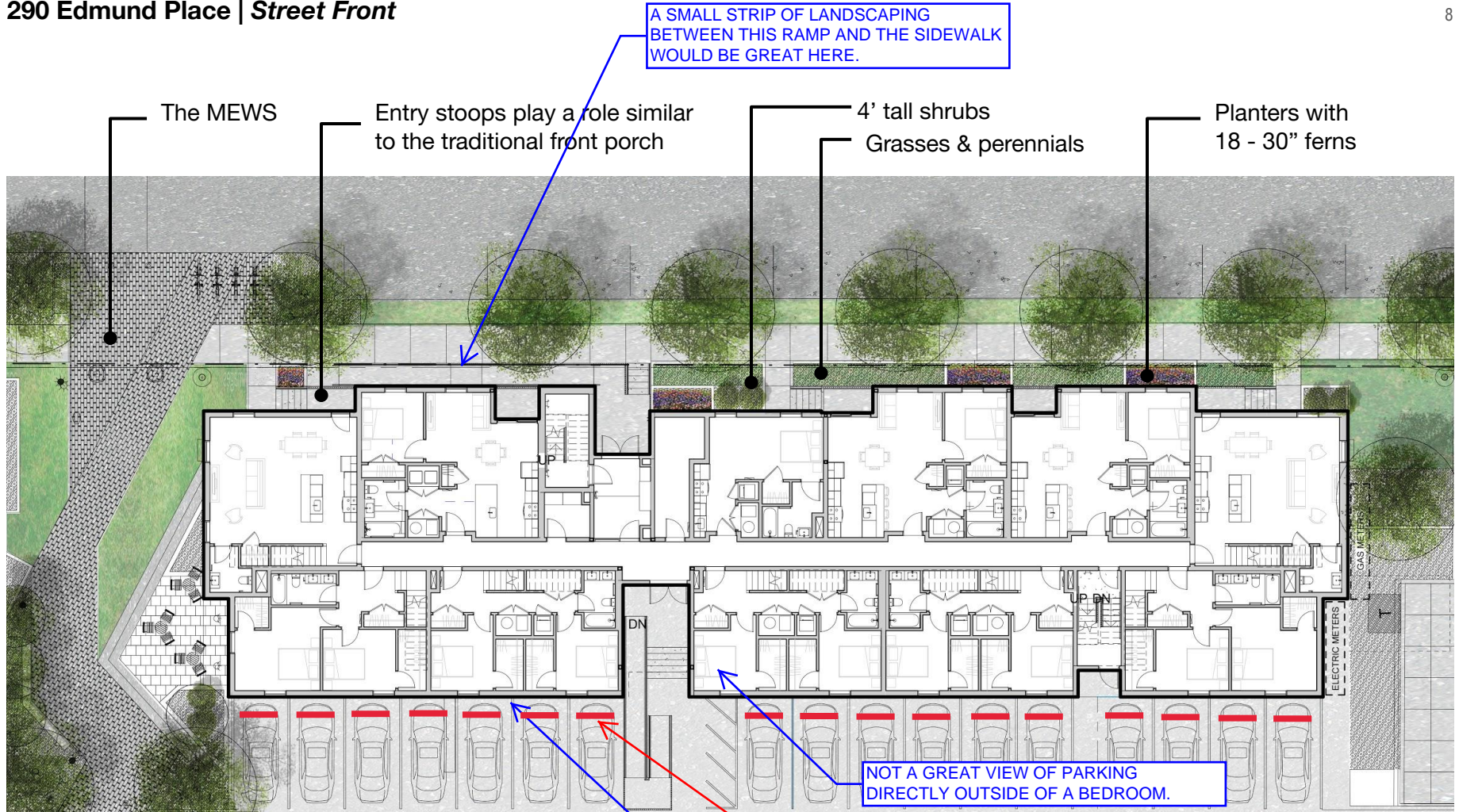
Relationship of colors.

“Brick red predominates, both in the form of natural color brick and in the form of painted brick. Other natural brick and stone colors are also present. These relate to painted woodwork in various colors, and there is an occasional example of stained woodwork. Roofs of other than asphalt are in natural colors; older slate roofs are often laid in patterns with various colors of slate.” (*Brush Park Elements of Design*, #9)

- Grey brick tones are drawn from the variety of grays in neighboring roofs



Brick serves as the primary facade material, with softness and variation achieved through color and texture. Smooth wood and dark metal accents provide additional contrast.



WILL THERE BE CONCRET PARKING BLOCKS HERE TO PROTECT THE BUILDING WALL?

IS THERE ANY CHANCE OF PUTTING A 3'-5' WALK HERE BETWEEN THE CARS AND THE BUILDING SO THAT RESIDENTS DON'T HAVE TO WALK IN THE DRIVE AISLE TO GET TO THE ENTRANCE?

COMMENTS IN RED ARE REQUIRED CHANGES

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COMMENTS IN PURPLE ARE PRECEDENT EXAMPLES

Rhythm of entrance and/or porch projections.

“Most buildings have or had a porch or entrance projection. The variety inherent in Victorian design precludes the establishment of any absolute rhythm, but such projections were often centered.” (*Brush Park Elements of Design*, #6)

- Entry conditions socially activate the streetscape, similar to the role of the traditional front porch

Rhythm of building setbacks

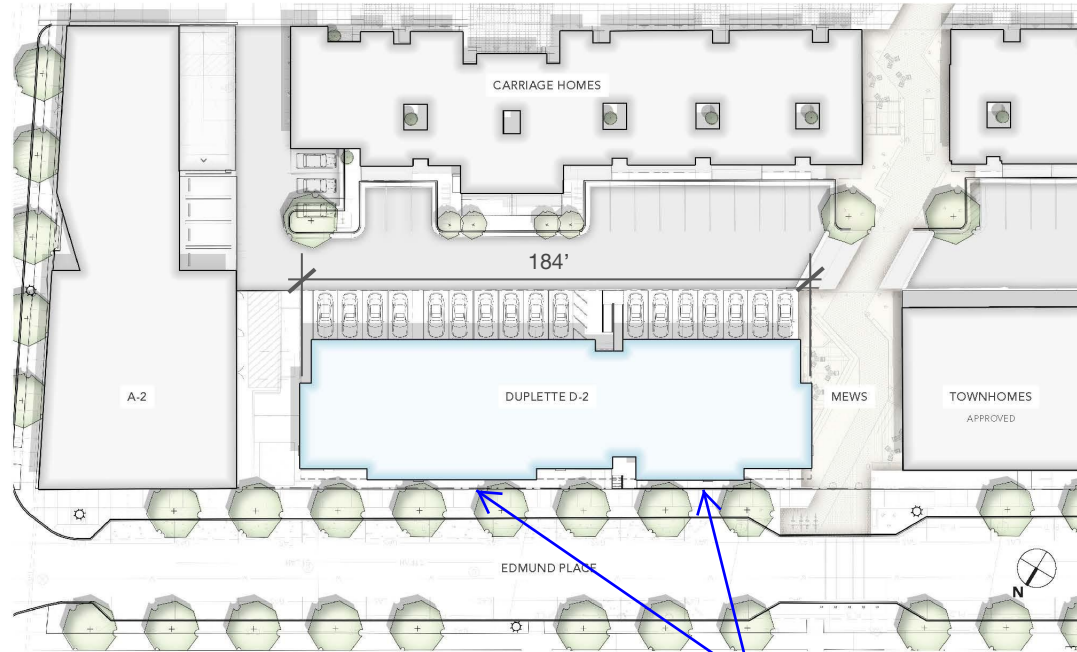
“Buildings on the north-south streets generally have little or no setback, while older houses on the east-west streets between Woodward and Brush have some setback, which varies from street to street, though generally consistent in any one block.” (*Brush Park Elements of Design*, #17)

- Staggered building face setback at the ground floor (+/- 3.5 feet and 7.5 feet) along Edmund Place
- Rhythm of massing is emphasized through landscaping and change in brick color

Orientation, vistas, overviews

“Houses are generally oriented to the east-west streets, while apartments and commercial structures are more often oriented to the north-south streets.” (*Brush Park Elements of Design*, #20)

- Oriented to Edmund Place with a residential presence
- Private balconies in all units provide views north of the neighborhood and along Edmund



THIS DEVELOPMENT SEEMS TO "CROWD" THE SIDEWALK. IS THERE ANY POSSIBILITY TO PROVIDE A LITTLE MORE OF A SETBACK IN THE FRONT? HOWEVER, THIS IS IN STEP WITH THE NEWER DEVELOPMENTS IN THE DISTRICT.

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The building has a residential presence along Edmund Place and responds to the neighborhood context.

290 Edmund Place | Openings

COMMENTS IN RED ARE REQUIRED CHANGES

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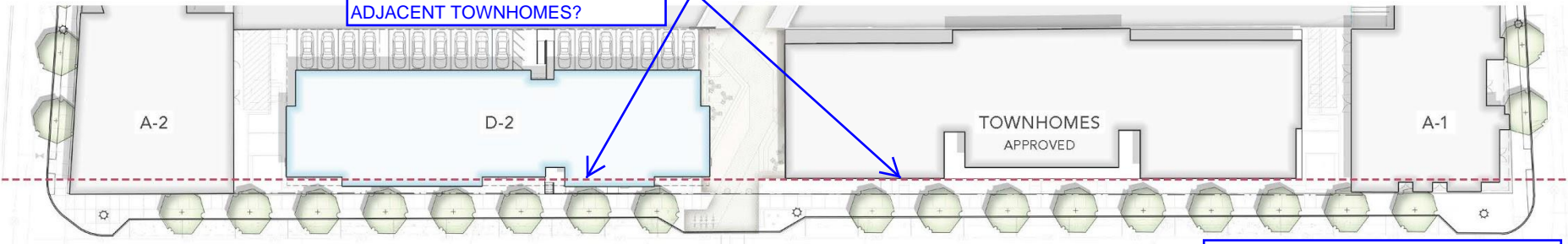
COMMENTS IN PURPLE ARE PRECEDENT EXAMPLES

BLOCK ELEVATION



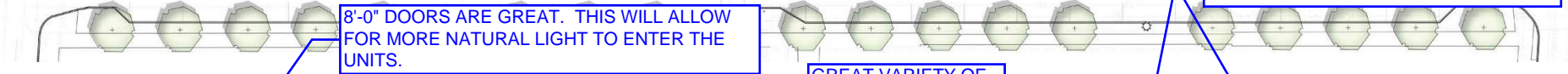
THE MOVE TO GREY TONES ADDS TO THE VARIETY OF THE IMMEDIATE AREA

PROPOSED STREETScape



IS THERE ANY POSSIBILITY TO MATCH THE SETBACK OF THE ADJACENT TOWNHOMES?

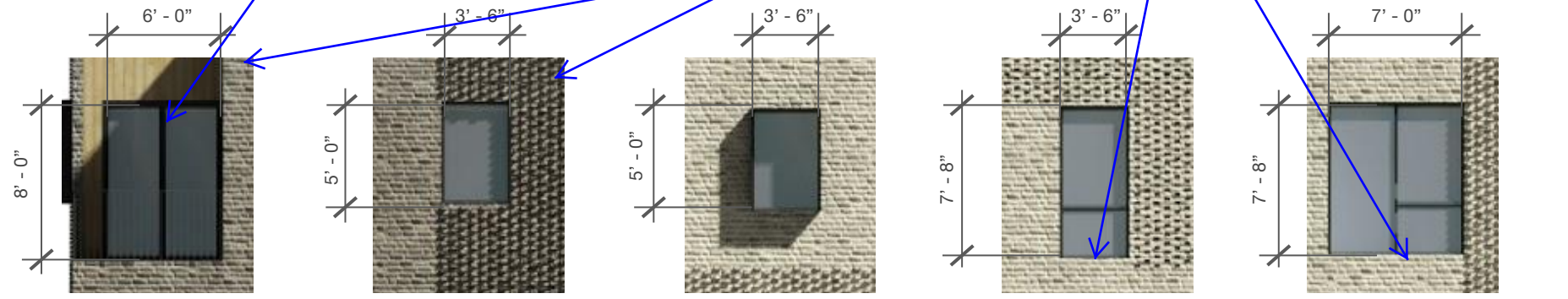
WHAT WILL BE USE AT THE WINDOW SILLS AND DOOR THRESHOLDS?



8'-0" DOORS ARE GREAT. THIS WILL ALLOW FOR MORE NATURAL LIGHT TO ENTER THE UNITS.

GREAT VARIETY OF OPENINGS.

OPENINGS



Exterior Doors D0

Window Type W1/W3

Window Type W3 With Window Box

Window Type W1+W2

Window Type W1+W2+W4

Proportion of openings within the facade.

“Areas of void generally constitute between fifteen percent and thirty-five percent of the total facade area, excluding roof. Proportions of the openings themselves are generally taller than wide; in some cases, vertically proportioned units are combined to fill an opening wider than tall.” (*Brush Park Elements of Design*, #3)

- Openings (windows, entries) constitute +/-25% of total facade area, consistent with neighborhood precedent
- Openings are vertically proportioned

Rhythm of solids to voids in front facade.

“Victorian structures in the district often display great freedom in the placement of openings in the facades, although older examples are generally more regular in such placement than later examples.” (*Brush Park Elements of Design*, #4)

- Contemporary interpretations of the freedom displayed in the placement of openings on Victorian structures through staggered massing and irregular placement of openings in the facade



— — Newly added combined windows

Vertically proportioned window units are combined to create larger openings and variety on the facade



Historic homes across the street from proposed design
© Eliza-Rolle 2016

The building’s varied window proportions and placement break down the proportions of the front facade.

290 Edmund Place | View from the West

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CONVENIENT USE OF ENTOURAGE TO HIDE THE ONLY NEGATIVE ELEMENT TO THIS DESIGN.



CAN THE BRICK COVER THE CONCRETE FOUNDATION WALL? IT WILL NOT LOOK THIS CLEAN IN REAL LIFE.

290 Edmund Place | View from the East

WHAT TYPE OF COPING WILL BE USED? WILL IT BE THE SAME AT THE BRICK AND WOOD? WHAT WILL HAPPEN AT THE BALCONIES?

COMMENTS IN RED ARE REQUIRED CHANGES

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THE STEPBACK AND TONAL CHANGE HERE WORKS TO BREAK UP THE SOLID MASS OF THIS BUILDING.

THE USE OF WOOD AT THE BALCONIES IS ALSO A GOOD WAY TO ADD COMPLEXITY.

THE ONLY NEGATIVE HEAR IS THAT THIS BUILDING SEEMS TO "CROWD" THE SIDEWALK. IS THERE ANY WAY TO PROVIDE A LITTLE MORE OF A SETBACK FROM THE SIDEWALK?

THE MATERIAL TEXTURE CHANGE WITHIN THE BRICKWORK ADDS COMPLEXITY TO A RATHER SIMPLE FACADE.



THIS PROPOSAL SEEMS REMINISCENT OF THESE PRECEDENTS

SIMILAR USE OF VOID AND PROJECTION TO ADD COMPLEXITY AND BREAK UP THE MASSING

PRECEDENT EXAMPLES FOR INSPIRATION ONLY



Atelier Espace Architectes
H115



Wilkinson Eyre
NORTHWEST CAMBRIDGE



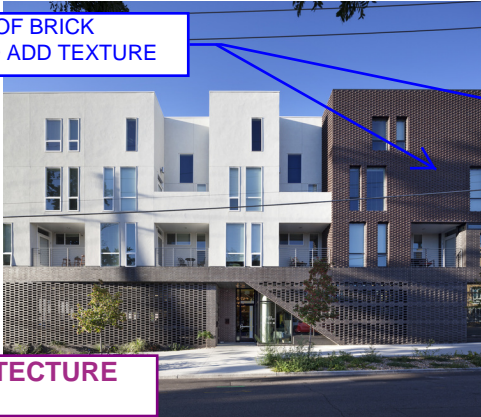
Atelier Espace Architectes
H115



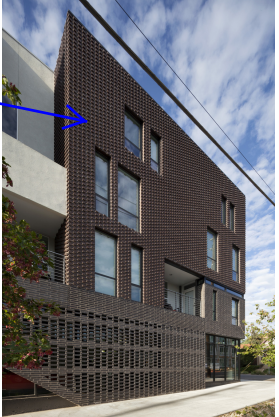
SIMILAR USE COLOR, MATERIAL CHANGE AND PLANE CHANGES TO BREAK UP THE MASSING



MERIDIAN 105 ARCHITECTURE
TEJON MIXED USE



SIMILAR USE OF BRICK DETAILING TO ADD TEXTURE





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APPENDIX
Original Design

COMMENTS IN RED ARE
REQUIRED CHANGES

COMMENTS IN BLUE ARE
SUGGESTED CHANGES

COMMENTS IN PURPLE ARE
PRECEDENT EXAMPLES



IT WOULD HAVE BEEN NICE TO MAINTAIN THE USE OF BRICK AT THE STOOPS AND BOTTOM OF THE BUILDING. THE CONCRETE NEVER LOOKS AS CLEAN AS WE WOULD WANT.