

CONSULTANT:

Project :
**RESIDENTIAL DUPLEX
 EXTERIOR REPAIR
 7949 E. LAFAYETTE ST.
 DETROIT, MI 48214**

Issued for :
 HDC 10/05/2020

Drawn by :
 JRM

Sheet Title :
**EXTERIOR REPAIR
 WORK**

Project No. :
 2020024

Sheet No. :
A3.1

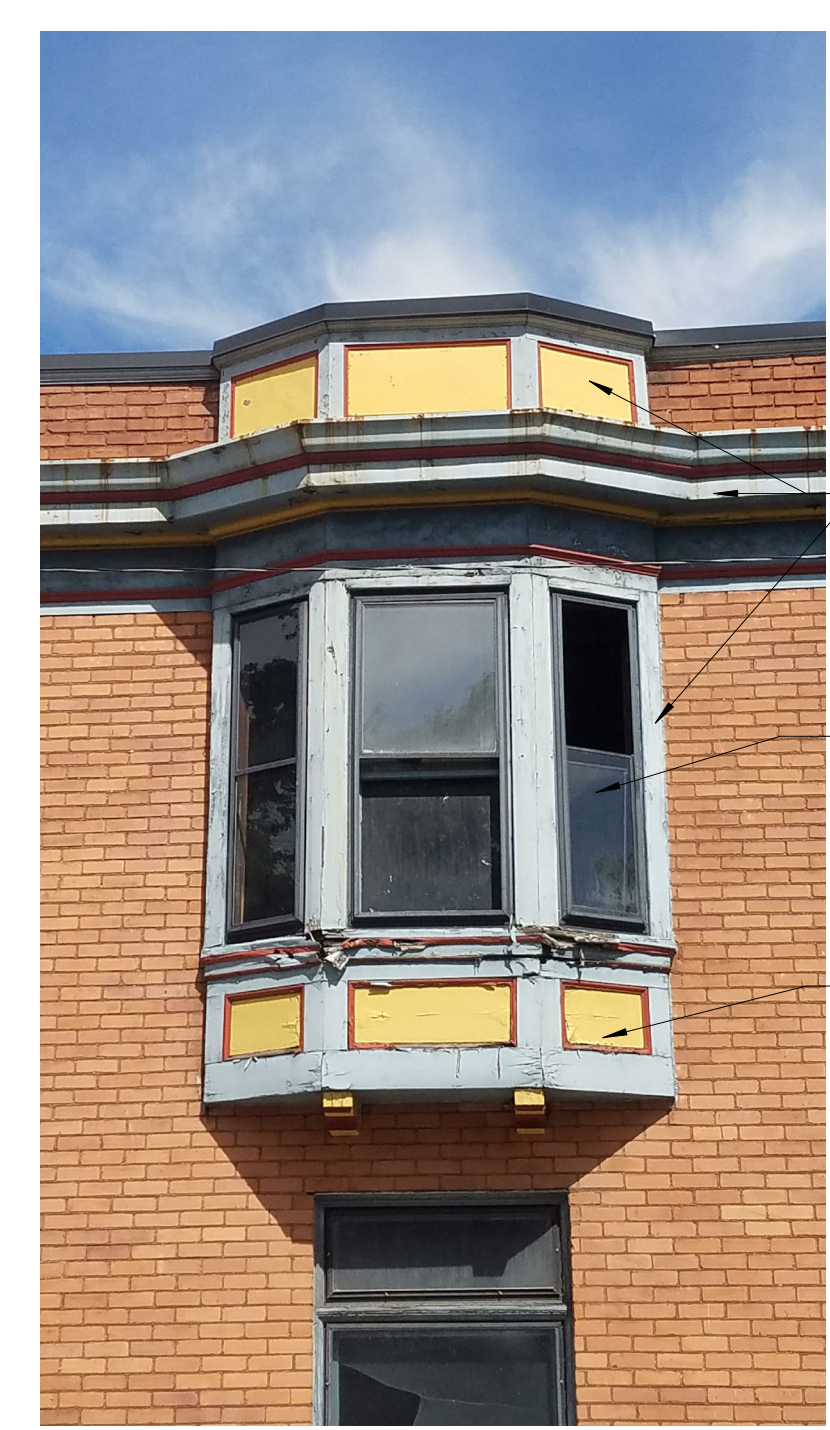
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**GENERAL EXTERIOR DEMOLITION /
 REPAIR NOTES:**

1. CONTRACTOR TO PERFORM ALL EXTERIOR MAINTENANCE REQUIRED USING SAME/SIMILAR MATERIAL TO PRESERVE EXISTING HISTORICAL DETAILS, FORMS, SHAPES, TRIM, AND COLORS
2. SURVEY TO BE PERFORMED OF EXTERIOR BRICK FACING AS TO ITS CONDITION AND MAKE ANY RECOMMENDATIONS FOR REPAIRS TO CONDITIONS IN NEED OF REPAIR.
3. COLOR AND/OR MATERIAL CHANGES MAY BE SUBJECT TO APPROVAL BY CITY HISTORIC COMMISSION.
4. CONTRACTOR TO REMOVE ALL EXISTING WOOD SIDING.
5. SURVEY TO BE PERFORMED OF ALL EXISTING WOOD TRIM, SOFFITS, AND FASCIAS TO DETERMINE EXTENT THAT CAN BE SALVAGED AND REPAIRED VS. REPLACED. ANY NEW WOOD TRIM TO BE OF SAME MATERIAL AND PROFILE TO PRESERVE EXISTING HISTORICAL DETAILS.
6. PREPARE ALL WINDOW OPENINGS FOR NEW WINDOWS.

EXTERIOR REPAIR KEY NOTES:
 (TYPICAL THIS SHEET ONLY)

1. REPAIR AND REPLACE WOOD TRIM AND SIDING AS REQUIRED. PAINT, COLOR TBD.
2. REMOVE EXISTING WINDOW AND PREPARE OPENING FOR NEW ALUMINUM-CLAD WOOD WINDOW. NEW WINDOW CONFIGURATION (INCLUDING ANY GRILLAGE) IS TO MATCH EXISTING.
3. PARTIALLY INFILL EXISTING WINDOW OPENING WITH BRICK TO MATCH EXISTING. NEW SILL HEIGHT TO MATCH ADJACENT SILL HEIGHT. SALVAGE EXISTING STONE SILL AND REINSTALL AT NEW HEIGHT.
4. REPAIR WOOD STAIR AS REQUIRED.
5. REPAIR EXISTING WOOD CANOPY AS REQUIRED. REMOVE AND REPLACE ROOFING WITH NEW BLACK ASPHALT SHINGLE ROOF. ALL NEW TRIM, FASCIA, AND SOFFIT ELEMENTS TO MATCH EXISTING. PAINT COLOR TBD.
6. INSTALL NEW WOOD PANELING TO MATCH ADJACENT PANELING AT ENTRY ALCOVES.
7. IN-TACT EXISTING WOOD PANELING IN ENTRY ALCOVE TO BE USED AS DETAILING PRECEDENT FOR NEW INSTALLATION WHERE REQUIRED.
8. INSTALL NEW GLASS BLOCK WINDOWS AT BASEMENT WINDOW OPENINGS.
9. INSTALL NEW METAL 5" K-STYLE GUTTERS AND DOWNSPOUTS AT EXISTING LOCATIONS. GUTTERS AND DOWNSPOUTS TO BE PAINTED TO MATCH ADJACENT WOOD TRIM.
10. REPAIR AND TUCKPOINT BRICK MASONRY AS REQUIRED.
11. REPAIR/REPLACE PLASTER AT ENTRY ALCOVES. PAINT COLOR TBD.
12. INSTALL NEW WOOD AND GLASS ENTRY DOOR. SELECTION TBD.



SOUTH BAY WINDOW DETAIL
 NOT TO SCALE



SOUTH ENTRY ALCOVE DETAIL
 NOT TO SCALE



SOUTH ENTRY ALCOVE DETAIL
 NOT TO SCALE



NORTH ELEVATION
 NOT TO SCALE

NEW SILL HEIGHT TO MATCH ADJACENT WINDOWS. SALVAGE EXISTING STONE SILL AND REINSTALL AT NEW HEIGHT.



WEST ELEVATION (EAST ELEVATION IS SIMILAR CONFIGURATION)
 NOT TO SCALE



SOUTH ELEVATION
 NOT TO SCALE

SENDER STRIP LOCATION

CONSULTANT:

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WEST ENTRY PORCH DETAIL
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WEST ENTRY PORCH DETAIL
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WEST ENTRY PORCH DETAIL
 NOT TO SCALE



WEST ENTRY PORCH DETAIL
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EAST ENTRY PORCH DETAIL
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EAST ENTRY PORCH DETAIL
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BINDER STRIP LOCATION

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EXISTING PORCH AND BASEMENT STAIR ENCLOSURE (IDENTICAL ON BOTH SIDES OF THE BUILDING)



REAR ENTRY TO BASEMENT STAIR



BASEMENT STAIR ENCLOSURE CLADDING TO BE REMOVED



BASEMENT STAIR BRICK ENCLOSURE/FOUNDATION

ENTRY PORCH WORK NARRATIVE:

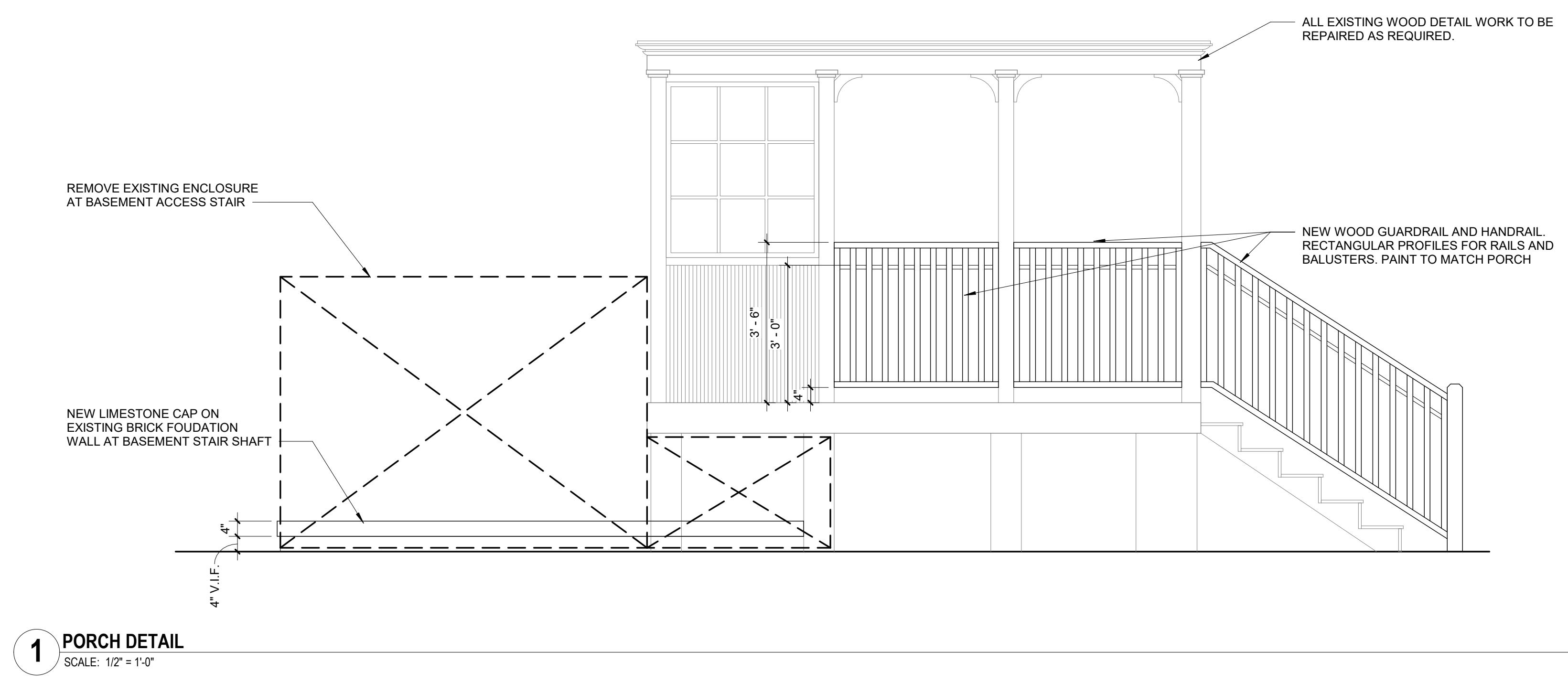
THERE ARE IDENTICAL ENTRY PORCHES ON BOTH THE EAST AND WEST FACADES. EACH PORCH CONSISTS OF A STAIR AND CANOPY, AN ENCLOSED ENTRY VESTIBULE, AND AN ENCLOSURE COVERING A REAR STAIR LEADING TO THE BASEMENT.

BASED ON OBSERVATIONS OF MORE MODERN FRAMING MEMBERS WITHIN THE BASEMENT STAIR ENCLOSURES, WE BELIEVE THESE WERE ADDED AFTER THE COMPLETION OF THE BUILDING.

THE PROPOSAL IS TO REMOVE THE REAR ENCLOSURES OF THE BASEMENT STAIRS AND INSTALL A LIMESTONE CAP ON TOP OF THE BRICK STAIR ENCLOSURE FOUNDATION.

THE EXISTING VESTIBULE AND COVERED PORCH WILL BE REPAIRED AS REQUIRED.

A NEW CODE-REQUIRED GUARDRAIL AND HANDRAIL WILL BE INSTALLED AT THE PORCH AND STAIR. THE DETAILING WILL REMAIN SIMPLE, WITH RECTANGULAR AND SQUARE PROFILES USED FOR THE RAILS AND BALUSTERS, RESPECTIVELY. ALL WILL BE PAINTED TO MATCH THE PORCH AND VESTIBULES.



1 PORCH DETAIL
 SCALE: 1/2" = 1'-0"