

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Date: 9/8/2020

## PROPERTY INFORMATION

ADDRESS: 1991 Chicago Blvd AKA: \_\_\_\_\_

HISTORIC DISTRICT: Boston-Edison District

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input checked="" type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner       Contractor       Tenant or  
Business Occupant       Architect/Engineer/  
Consultant

NAME: David Darkowski COMPANY NAME: Normandy Properties, LLC

ADDRESS: 1991 Chicago Blvd CITY: Ann Arbor STATE: MI ZIP: 48103

PHONE: 734-545-8546 MOBILE: 734-368-8663 EMAIL: ddarkowski@norfolk-home

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.

See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

## P2 - BUILDING PERMIT APPLICATION

Date: 9/8/2020

### PROPERTY INFORMATION

Address: 1991 Chicago Blvd Floor: \_\_\_\_\_ Suite#: \_\_\_\_\_ Stories: \_\_\_\_\_  
AKA: \_\_\_\_\_ Lot(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Parcel ID#(s): \_\_\_\_\_ Total Acres: \_\_\_\_\_ Lot Width: \_\_\_\_\_ Lot Depth: \_\_\_\_\_  
Current Legal Use of Property: \_\_\_\_\_ Proposed Use: \_\_\_\_\_  
Are there any existing buildings or structures on this parcel?  Yes  No

### PROJECT INFORMATION

Permit Type:  New  Alteration  Addition  Demolition  Correct Violations  
 Foundation Only  Change of Use  Temporary Use  Other: \_\_\_\_\_  
 Revision to Original Permit #: \_\_\_\_\_ (Original permit has been issued and is active)

### Description of Work (Describe in detail proposed work and use of property, attach work list)

Remove deteriorating masonry wings and railings of front porch, replace damaged concrete on front porch, reduce columns from 4 to 2. Two interior columns are rotted and beyond repair.

MBC use change  No MBC use change

### Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical  Electrical  Plumbing  Fire Sprinkler System  Fire Alarm

### Structure Type

New Building  Existing Structure  Tenant Space  Garage/Accessory Building  
 Other: \_\_\_\_\_ Size of Structure to be Demolished (LxWxH) \_\_\_\_\_ cubic ft.

Construction involves changes to the floor plan?  Yes  No

(e.g. interior demolition or construction to new walls)

Use Group: \_\_\_\_\_ Type of Construction (per current MI Bldg Code Table 601) \_\_\_\_\_

Estimated Cost of Construction \$ \_\_\_\_\_ \$ \_\_\_\_\_  
By Contractor By Department

### Structure Use

Residential-Number of Units: \_\_\_\_\_  Office-Gross Floor Area \_\_\_\_\_  Industrial-Gross Floor Area \_\_\_\_\_  
 Commercial-Gross Floor Area: \_\_\_\_\_  Institutional-Gross Floor Area \_\_\_\_\_  Other-Gross Floor Area \_\_\_\_\_

Proposed No. of Employees: \_\_\_\_\_ List materials to be stored in the building: \_\_\_\_\_

**PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)**

### For Building Department Use Only

Intake By: \_\_\_\_\_ Date: \_\_\_\_\_ Fees Due: \_\_\_\_\_ DngBld?  No

Permit Description: \_\_\_\_\_

Permit #:

Current Legal Land Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Permit#: \_\_\_\_\_ Date Permit Issued: \_\_\_\_\_ Permit Cost: \$ \_\_\_\_\_

Zoning District: \_\_\_\_\_ Zoning Grant(s): \_\_\_\_\_

Lots Combined?  Yes  No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ \_\_\_\_\_ New \$ \_\_\_\_\_

Structural: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Zoning: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Other: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_





**IDENTIFICATION** (All Fields Required)

**Property Owner/Homeowner**

Property Owner/Homeowner is Permit Applicant

Name: David Darkowski Company Name: Normandy Properties, LLC  
Address: 8178 Jackson Rd, Ste D City: Ann Arbor State: MI Zip: 48103  
Phone: 734-545-8546 Mobile: 734-368-8663  
Driver's License #: D 622 135 676 047 Email: ddarkowski@norfolk-homes.com

**Contractor**

Contractor is Permit Applicant

Representative Name: Brent Virkus Company Name: In the D Construction  
Address: 2465 LaSalle Gardens South City: Detroit State: MI Zip: 48206  
Phone: 586-854-9203 Mobile: 586-854-9203 Email: brent@restorethed.com  
City of Detroit License #: LIC2020-00674

**TENANT OR BUSINESS OCCUPANT**

Tenant is Permit Applicant

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**

Architect/Engineer/Consultant is Permit Applicant

Name: \_\_\_\_\_ State Registration#: \_\_\_\_\_ Expiration Date: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Homeowner)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: David Darkowski Signature: \_\_\_\_\_ Date: 9/8/2020  
(Permit Applicant)

Driver's License #: D 622 135 676 047 Expiration: 1/17/2024

Subscribed and sworn to before me this 8 day of Sept 2020 A.D. Oakland County, Michigan

Signature: Natalia Pappas My Commission Expires: 7/11/20  
(Notary Public)

*acting in Washtenaw County*

**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.**

This application can also be completed online. Visit [detroitmi.gov/bseed/elaps](http://detroitmi.gov/bseed/elaps) for more information.





1991 CHICAGO APPROX 1974





1991 CHICAGO FAILING PORCH 2017





1991 CHICAGO BLVD 2017





1991 CHICAGO BLVD Now









1991 CHICAGO BLVD NOW





1991 W CHICAGO BLVD PORCH NOW





1991 West Chicago Blvd  
Detroit, MI

The following details didn't change:

1. Porch roof. Nothing changed to the porch roof. Hence, no work was done to the porch roof.
2. Upper railing. Just restored as noted below.
3. Limestone "rim" of the porch slab was salvaged and used in place.
4. Outer pair of columns supporting porch roof. The outer columns at the front corners of the porch were saved and restored/repared. The columns on the rear corners of the porch are also original.
5. Shutters. Shutters are original to the home and were restored back to the original color that existed under the current white color.
6. Windows. All windows were restored throughout the home. Each window was taken apart, resized, new historic chain and hardware installed and glass replaced where needed.
7. Roof Color. The front facing surface of the roof had been replaced sometime prior to our purchase of the home.
8. Light on underside of porch roof. The original underside light was repaired and re-installed.

The following items were changes made to front elevation:

1) Wings of porch removed. The wings were collapsing due to failing footings (See attached photo). The wings could not have been repaired. They would have had to be completely re-built. In order for us to do so we would have had to dig out the old footings and pour new ones and re-build from that point. Rebuilding the wings would have added \$20,000 to the cost of the porch rebuild. This would not have made financial sense considering the value of the home. The main porch's footings were in good shape so we were able to just rebuild the brick work etc. for the center porch. In respect to the old footings, we dug them out and removed to accommodate installation of the new landscaping and grading from the exterior walls of the house. We also used as much of the original porch materials as possible in the re-build which is evident in the photos.

2) Railings on wings of porch removed. The railing was corroded and damaged, but intact, on the left wing but none attached to the right. The vintage of the railing was undetermined.

3) Columns reduced from 4 to 2. The two interior columns were rotted out and could not be salvaged. The exterior columns were able to be salvaged and re-built/repared.

4) The shutter color was changed from white to green. The shutters were returned to their original color (or at least the last color they were prior to being painted white) We color matched the green to what color was under the white so we're not sure what the exact color is.

5) The railing above the roof over the porch changed from white to black. The same thought process was applied as was to the shutters. The original color of the railing was black. We returned it to its original color. We also restored them to the extent possible as there was a lot of rust, etc.

A list of specific materials used:

Front porch brick manufacturer and color. We used re-claimed brick from I believe Belding Masonry. We took one of the original bricks and matched it to the best extent possible.



Mortar manufacturer and color. We color matched the current mortar of the house.

Porch paint manufacturer and color. I believe it was Behr Premium. It was color matched to the existing white.

Shutter paint manufacturer and color. I believe it was Behr Premium. It was color matched to the original green color.

The area exposed on front of house where porch wings used to be was painted with an effort to color match to the existing brick.



# 1991 West Chicago Boulevard

02/20/2020

Detroit, Michigan

OWNER  
NORMANDY PROPERTIES LTD

## Index

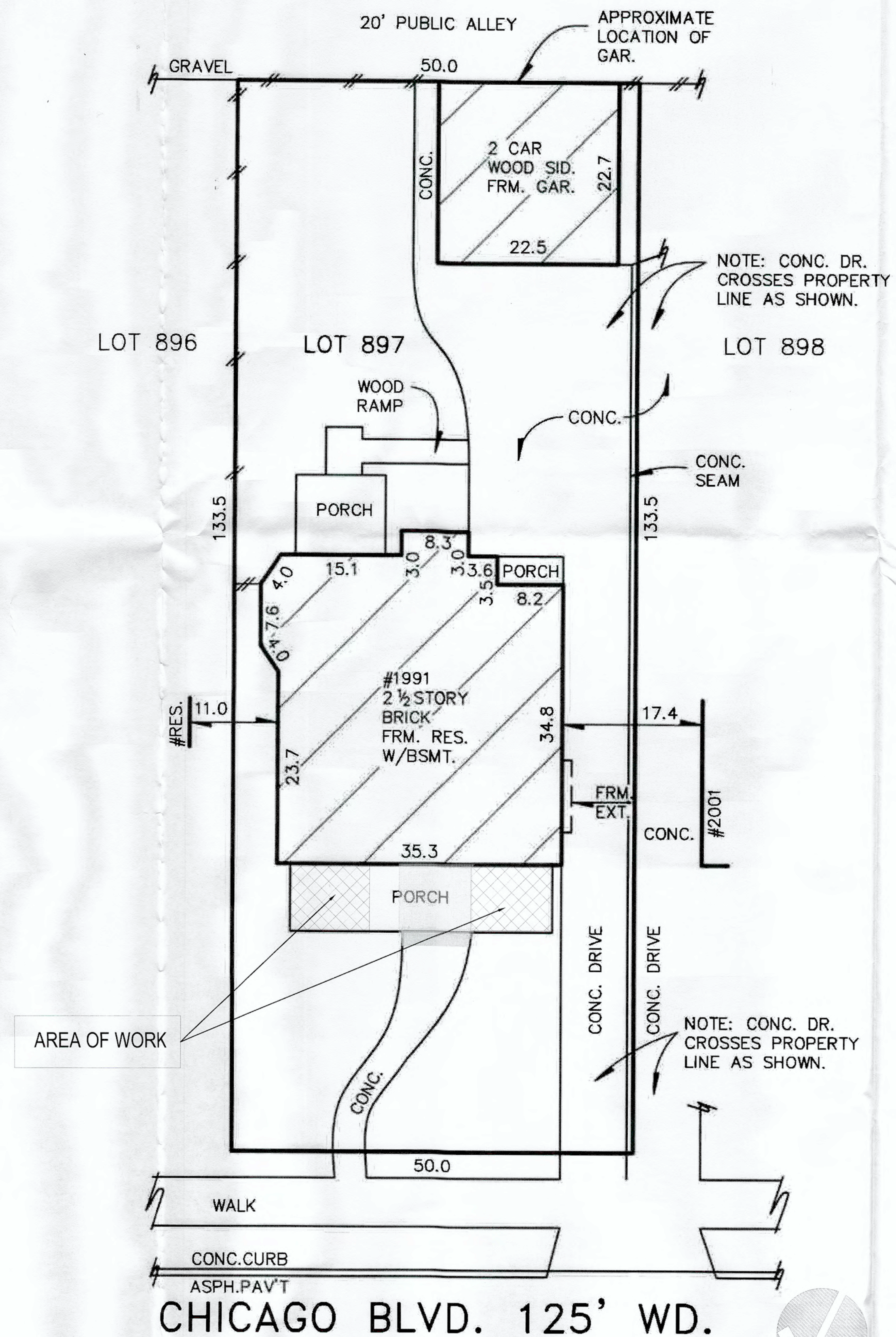
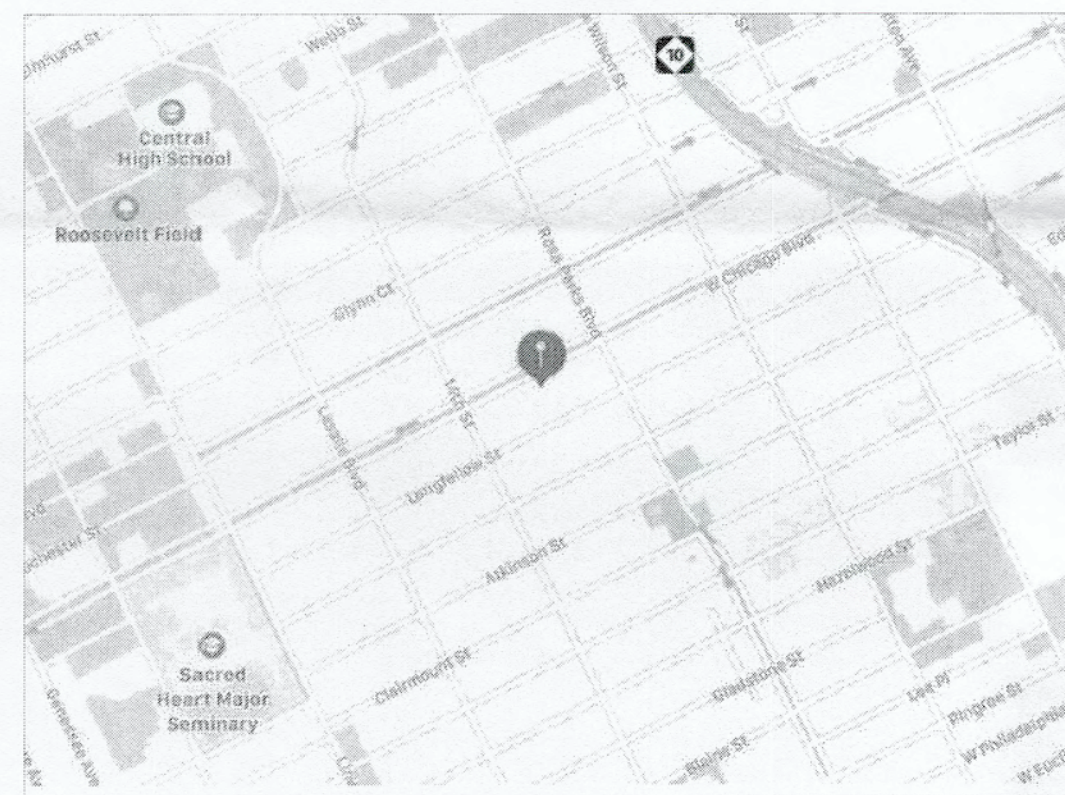
A1.0 INDEX, SITE PLAN  
A1.1 PARTIAL PLANS, SECTION, ELEVATIONS

01/10/2020  
02/20/2020

## Building Data

USE GROUP: SINGLE FAMILY HOME  
CONSTRUCTION TYPE: V

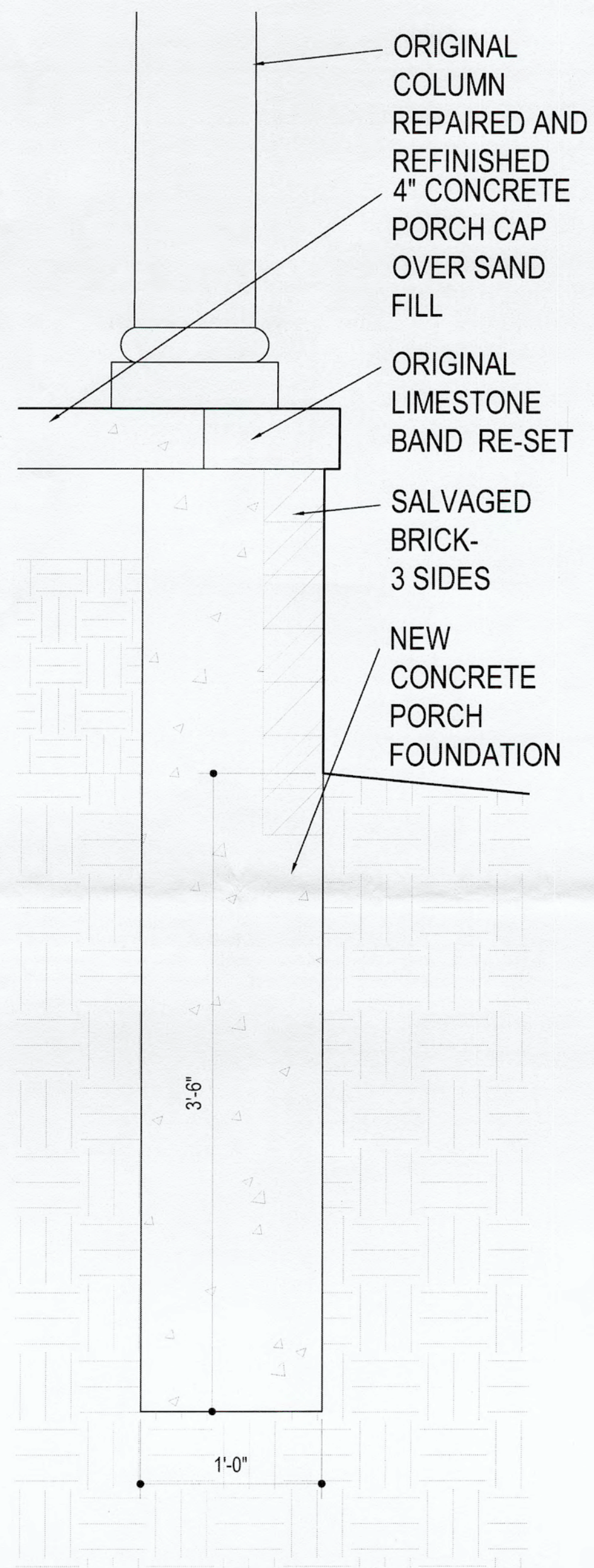
## Location



1991 West Chicago Boulevard 02-20-2020

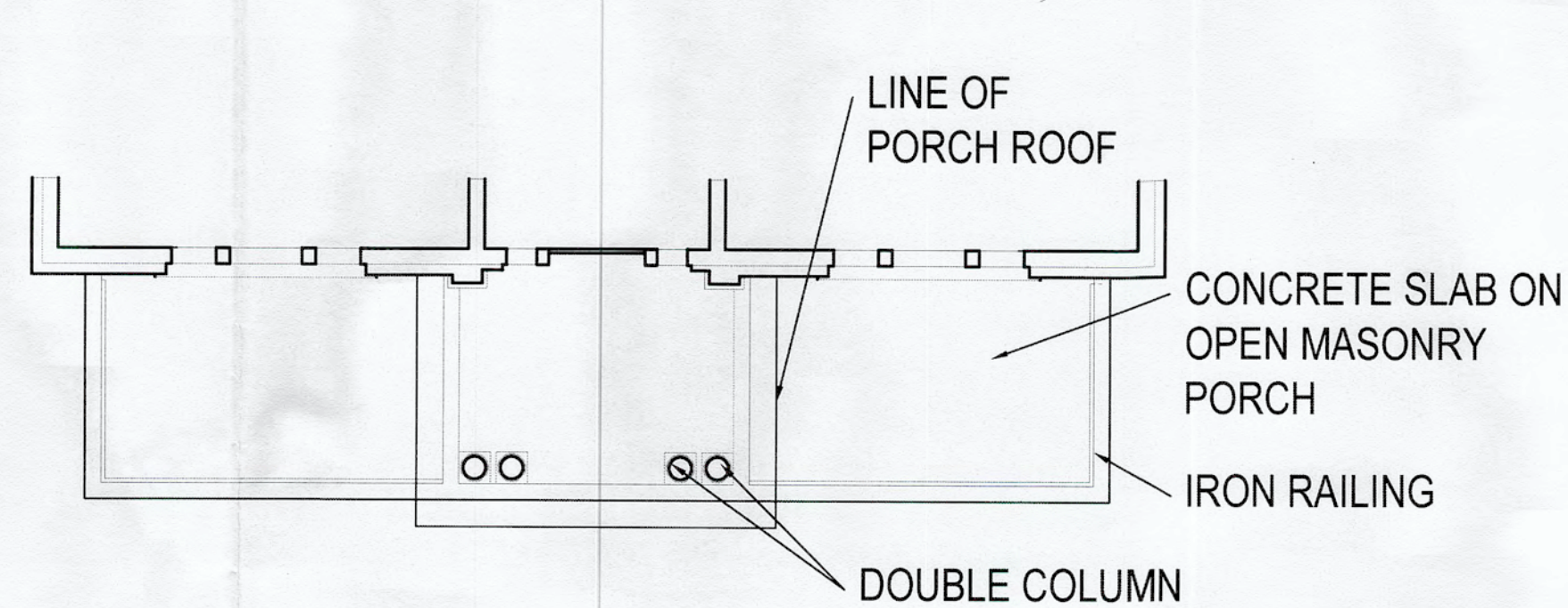
A1.0 INDEX, SITE PLAN





4 PORCH SECTION  
A1.1 1 1/2"=1'-0" 0 1'-0"

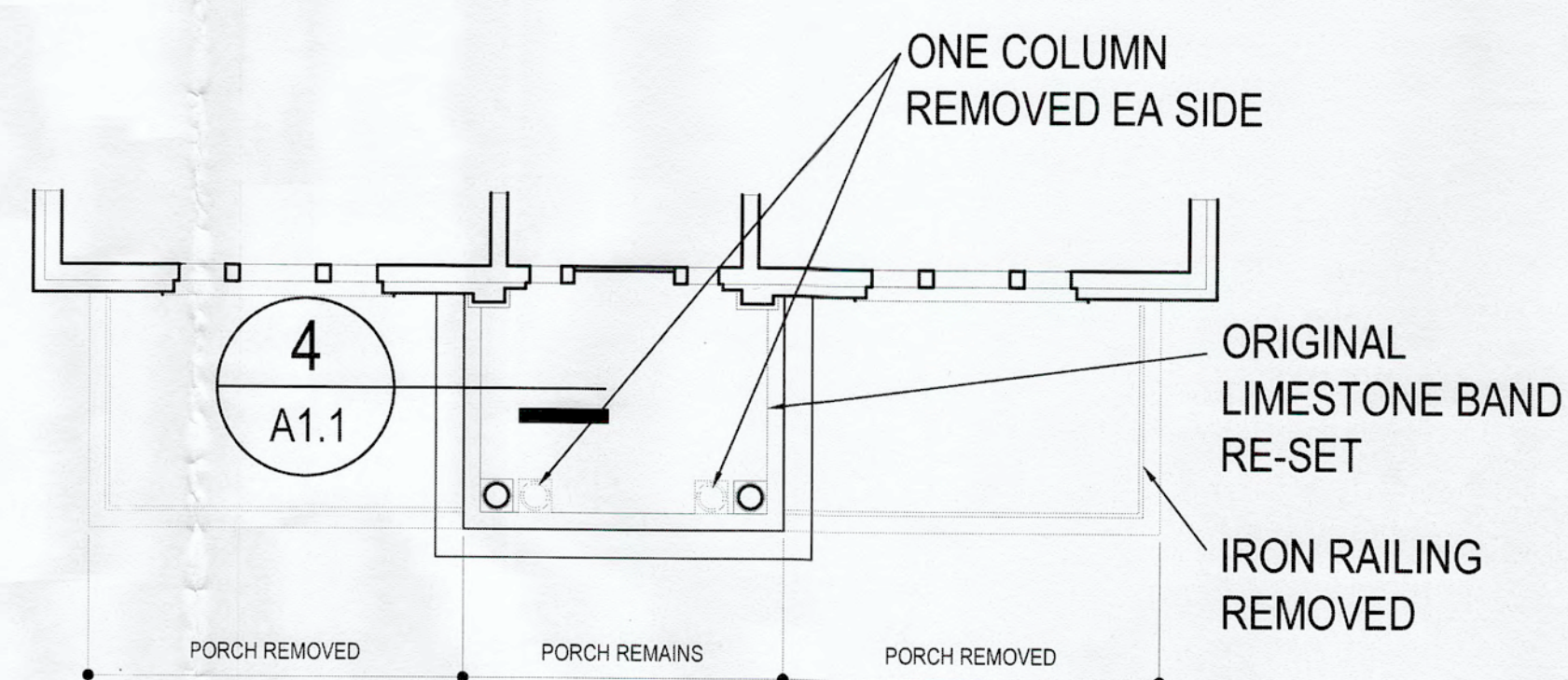
NOTE: FRONT FOUNDATION SIMILAR TO SIDE FOUNDATION WITH RE-USE OF EXISTING CONCRETE FOOTING BELOW GRADE



PARTIAL PLAN - ORIGINAL CONDITION



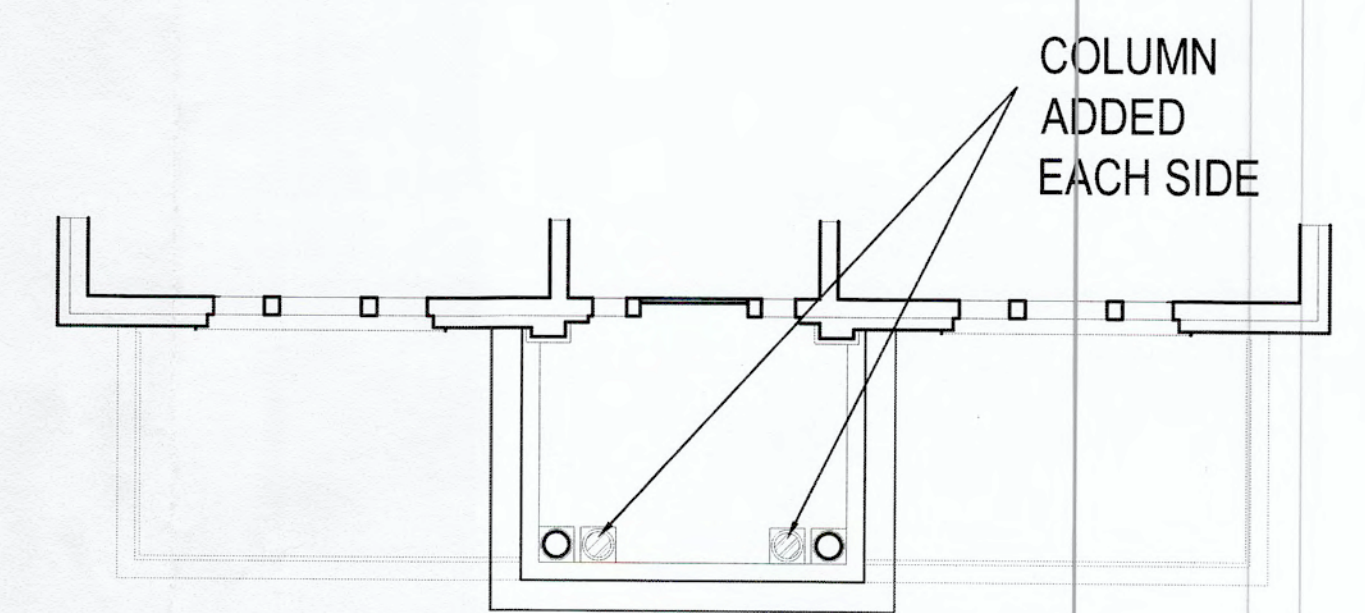
3 NORTH ELEVATION - ORIGINAL CONDITION  
A1.1 3/16"=1'-0" 0 6'-0"



PARTIAL PLAN - 2017 ALTERATIONS



2 NORTH ELEVATION - 2017 ALTERATIONS  
A1.1 3/16"=1'-0" 0 6'-0"



PARTIAL PLAN - 2020 ALTERATIONS



1 NORTH ELEVATION - PROPOSED 2020 ALTERATIONS  
A1.1 3/16"=1'-0" 0 6'-0"