

EDISON PORCH RENOVATION



#	DRAWING NAME	PHASE 1 PRICING SET AUGUST 07, 2020
T-000	TITLE, DEMO, & SITE PLANS	•
G-001	GENERAL NOTES	•
A-100	FLOOR PLANS	•
A-101	FOUNDATION, FRAMING PLANS & ELEVATIONS	•
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A-400	SECTION	•

PROJECT INFORMATION

OWNER: MARK HUDSON & AMANDA LEWAN
 ADDRESS: 2044 EDISON STREET, DETROIT, MI, 48209
 PARCEL ID NUMBER: 08002876.
 REGULATING BODY: CITY OF DETROIT
 CODE: 2015 MICHIGAN RESIDENTIAL CODE
 ZONING: R1 - LOW DENSITY RESIDENTIAL
 USE: SINGLE-FAMILY RESIDENTIAL
 HISTORIC DISTRICT: BOSTON EDISON
 SUBDIVISION: JOY FARM

PRIMARY STRUCTURE REGULATIONS

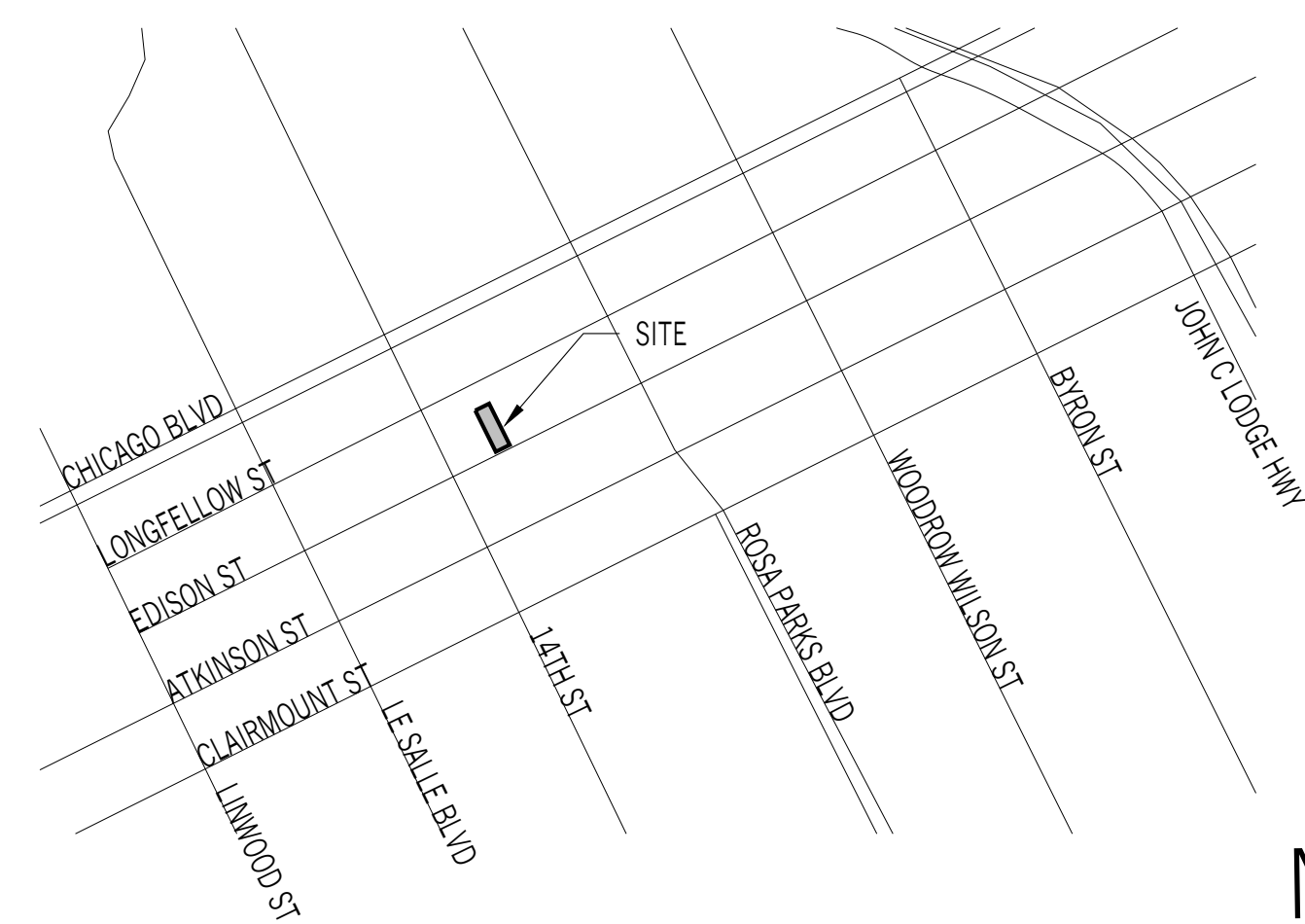
MAX. BUILDING HEIGHT 35'
 MAX. LOT COVERAGE 35%
 MIN. LOT WIDTH: 50'-0"
 MIN. LOT AREA: 5000 SF
 FRONT YARD SETBACK 20'
 BACK YARD SETBACK 30'
 SIDE YARD SETBACK 3' MINIMUM / 11'-6" COMBINED*
 SECTION 61.13.14 (1)

EXISTING

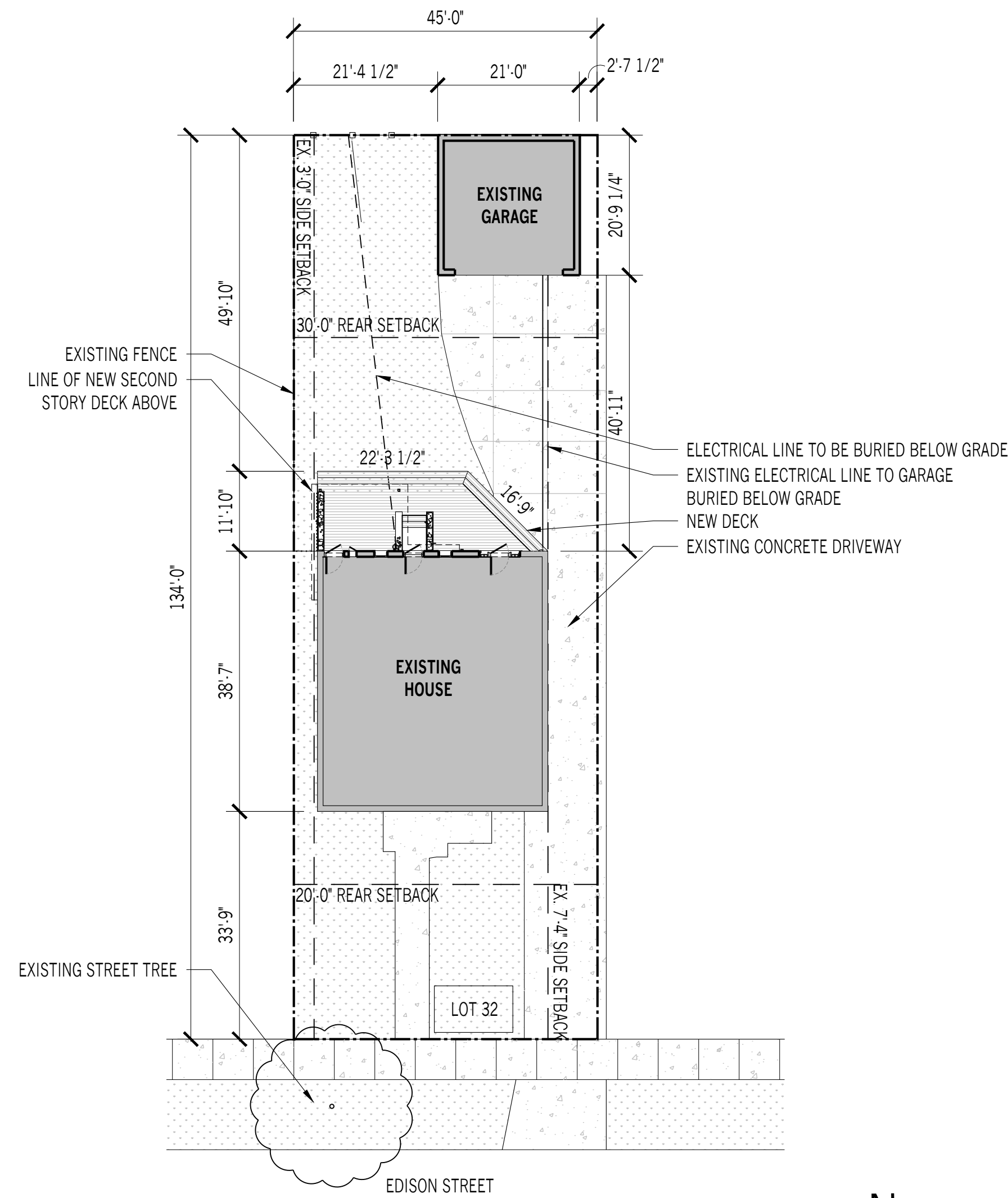
LOT SIZE: 6,075 SF
 LOT WIDTH: 45'-0"
 LOT DEPTH: 135'-0"
 EX. HOUSE FOOTPRINT: 1,593 SF
 EX. HOUSE AREA 1,770 SF

PROPOSED

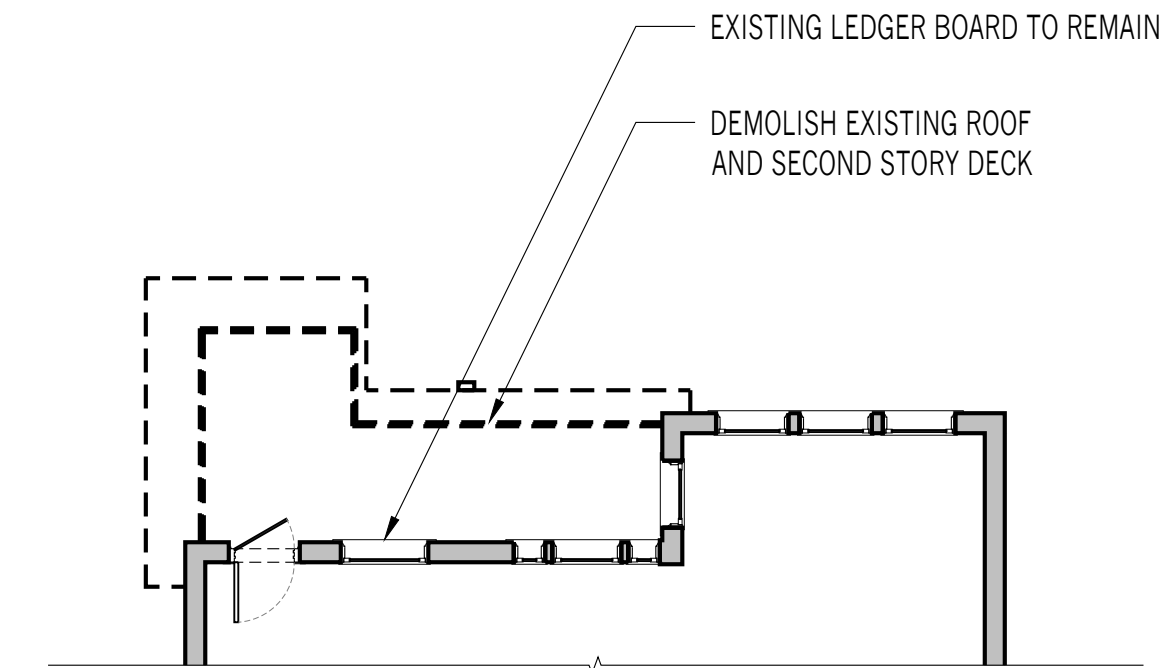
USE: SINGLE FAMILY RESIDENTIAL
 HOUSE FOOTPRINT: 1,665 SF
 HOUSE AREA 1,334 SF



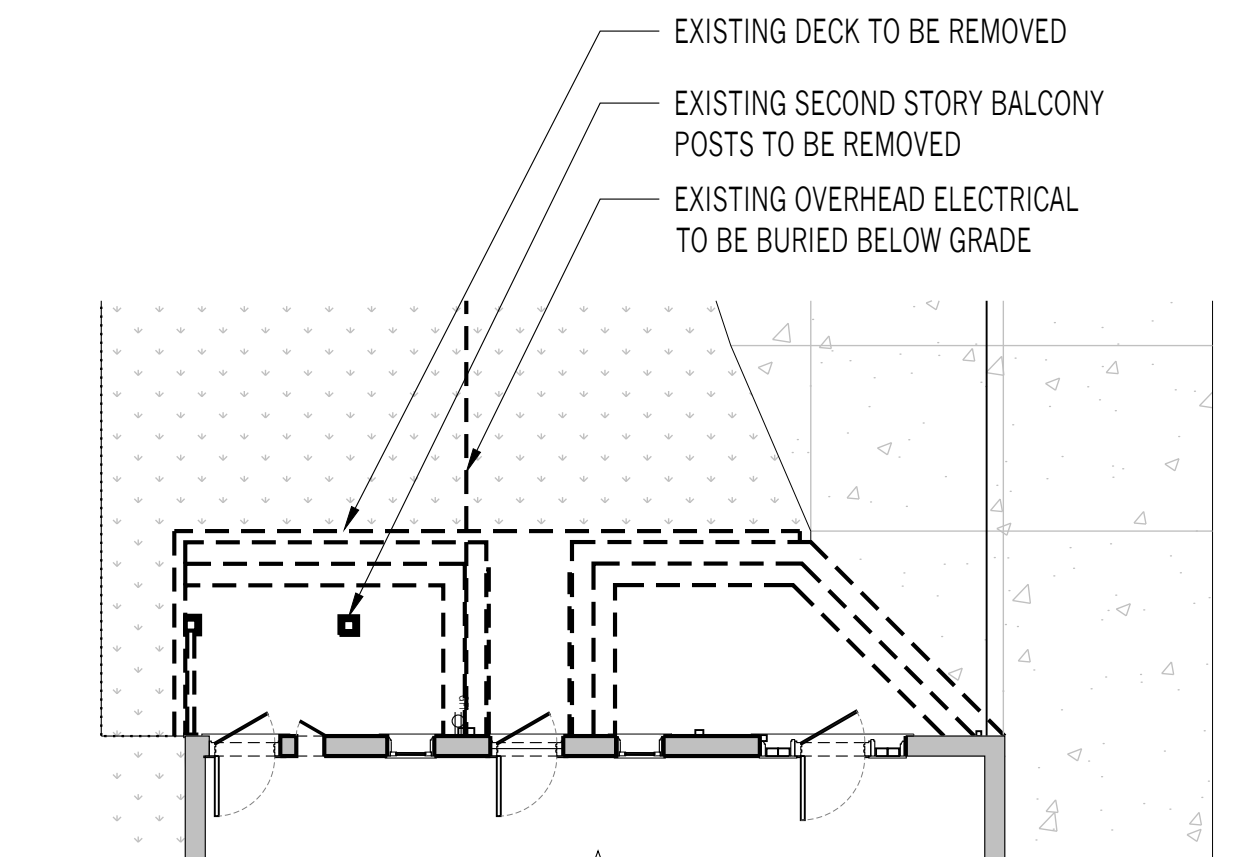
01 LOCATION PLAN
NTS



02 SITE PLAN
SCALE: 1/16" = 1'-0"



04 SECOND FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0"



03 FIRST FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0"

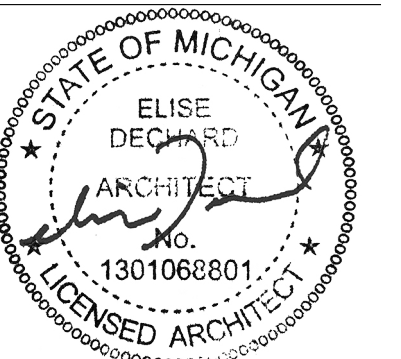


END STUDIO, LLC
 1533 Merrick Street
 Detroit, MI 48208
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 e-n-d-studio.com

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EDISON PORCH AND DECK RENOVATION
 2044 Edison Street
 Detroit, MI 48206

NO.	ISSUE/REV.	DATE
...	PERMIT SET	08/07/2020



TITLE &
GENERAL NOTES

T-000

GENERAL NOTES

- THIS APPLICATION IS BEING FILED FOR A PORCH ADDITION AND RENOVATION ON THE SITE OF AN EXISTING HOUSE
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 MICHIGAN RESIDENTIAL CODE AND ALL OTHER APPLICABLE LAWS, INCLUDING FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN ON PLANS AT THE JOB SITE BEFORE COMMENCING ANY WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (MECHANICAL, ELECTRICAL, PLUMBING, ETC).
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS SHALL BE USED. WHERE REQUIRED DIMENSIONS ARE MISSING, NOTIFY ARCHITECT FOR CLARIFICATION.
- ALL DIMENSIONS ARE TAKEN TO FINISHED FACE OR SURFACES, UNLESS OTHERWISE NOTED.

PLAN NOTES

- ALL NEW WALLS TO BE 2X4 CONSTRUCTION @ 16" O.C. W/ ONE (1) LAYER 1/2" GYP BOARD EACH SIDE, UNLESS OTHERWISE NOTED

DEMO PLAN NOTES

- ALL EXISTING WALLS, GLAZING, AND OTHER WORK TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
- SAVE AND STORE ALL REMOVED DOORS AND WINDOWS FOR REUSE.

POWER, LIGHTING, & RCP NOTES

- UNLESS OTHERWISE NOTED, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE CENTERED ON WALL OR BETWEEN OR BENEATH THE WINDOWS, DOORS, OTHER WORK, OR OTHER FIXTURES THEY ARE LOCATED IN RELATION TO.
- RECEPTACLES SHOULD BE MOUNTED TO MATCH THE HEIGHT AND ORIENTATION OF EXISTING RECEPTACLES IN ROOM. SWITCHES TO BE MOUNTED TO MATCH THE HEIGHT OF EXISTING SWITCHES IN ROOM. IF NO REFERENCE EXISTS, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE MOUNTED AT THE HEIGHTS SPECIFIED IN THE TYPICAL MOUNTING HEIGHTS DIAGRAM, UNLESS OTHERWISE NOTED.
- SWITCHES, FIXTURES, AND RECEPTACLES SHOWN ADJACENT ON PLAN WITH DIMENSION ONLY TO ONE OF THEM SHOULD BE COMBINED IN BANKS OR STACKED VERTICALLY.
- ALL APPLIANCE-SPECIFIC OUTLETS TO BE COORDINATED WITH APPLIANCE SELECTION.

DRAWING SYMBOL KEY

	EXISTING WALL TO REMAIN		DRYWALL / PLASTER														
	NEW WALL CONSTRUCTION		EARTH / SOIL														
	CAST IN PLACE CONCRETE		PLYWOOD														
	CONCRETE MASONRY UNIT (CMU)		WOOD														
	BRICK MASONRY		WOOD - DIMENSIONAL LUMBER														
	CRUSHED STONE		WOOD - ROUGH BLOCKING														
	STEEL		BATT INSULATION														
	ALUMINUM		SPRAY FOAM INSULATION														
	RIGID INSULATION		DEMO WALL														
	ROOM TAG		SECTION DWG NUMBER SHEET NUMBER														
	DOOR TAG		DETAIL CALL OUT														
	WINDOW TAG	<table border="1"> <tr><td>F</td><td>FLOOR</td></tr> <tr><td>W</td><td>WALL</td></tr> <tr><td>C</td><td>CEILING</td></tr> <tr><td>BA</td><td>BASE</td></tr> <tr><td>TR</td><td>TRIM</td></tr> <tr><td>CR</td><td>CROWN</td></tr> <tr><td>MW</td><td>MILLWORK</td></tr> </table>	F	FLOOR	W	WALL	C	CEILING	BA	BASE	TR	TRIM	CR	CROWN	MW	MILLWORK	FINISH TAG
F	FLOOR																
W	WALL																
C	CEILING																
BA	BASE																
TR	TRIM																
CR	CROWN																
MW	MILLWORK																
	WALL TYPE		LOT LINE														
	ELEVATION MARKER		SETBACK														
	EXTERIOR ELEVATION DWG NUMBER SHEET NUMBER		STRUCTURAL GRID LINE														
	INTERIOR ELEVATION(S)		FLOOR DRAIN														
	REVISION TAG																
	ROOF DRAIN																

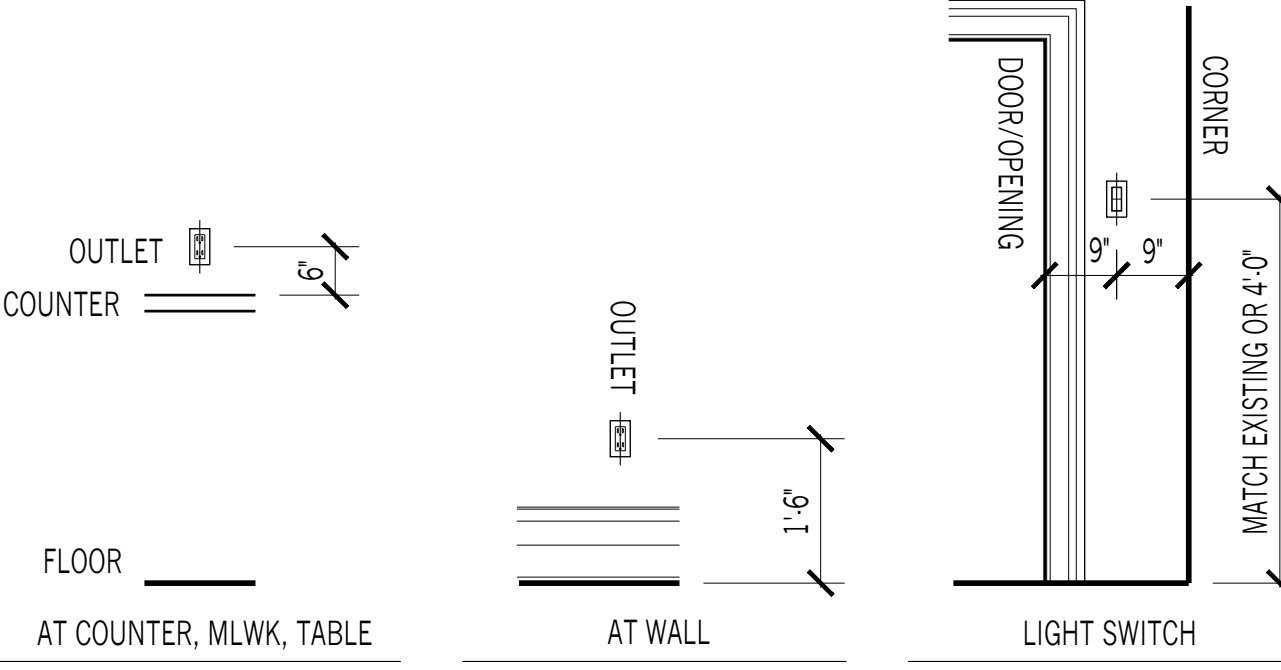
ABBREVIATIONS

ABV ABOVE	CTR CENTER	FBO FURNISH BY OWNER	HR HOUR	MDF MEDIUM DENSITY FIBER BOARD	PLY PLYWOOD	STL STEEL
ACOUS ACOUSTICAL	CW COLD WATER	FLDR FLOOR DRAIN	HT HEIGHT	PNT PAINT	STL STEEL	STR STAIR
ADA AMERICANS WITH DISABILITIES ACT	DBL DOUBLE	FIN FINISH(ED)	HVAC HEATING, VENTILATION & AIR CONDITIONING	MECH MECHANICAL	POL POLISHED	STRUC STRUCTURE
ADD ADDITIONAL	DEMO DEMOLITION	FLG FLOORING	HW HOT WATER	MEMB MEMBRANE	PRTN PARTITION	SUP SUPPLY
ADJ ADJACENT	DIA DIAMETER	FLR FLOOR	HWH HOT WATER HEATER	MFTD MANUFACTURED	PSF POUNDS PER SQUARE FOOT	SUSP SUSPENDED
AFF ABOVE FINISHED FLOOR	DEG DEGREE	FLUOR FLUORESCENT	ID INSIDE DIAMETER	MFR MANUFACTURER	PTD PRESSURE TREATED	SYM SYMMETRICAL
ALT ALTERNATE	DIM DIMENSION	FND FOUNDATION	IN INCH	MH MANHOLE	PTD PAINTED	SYST SYSTEM
ALW ALLOW	DW DRYWALL	FP FIRE PROOFING	INCAD INCANDESCENT	MIN MINIMUM		UL UNDERWRITERS LABORATORY
ALUM ALUMINUM	DISP DISPENSER	FO FACE OF	INSUL INSULATION	MIR MIRROR		UON UNLESS OTHERWISE NOTED
ANOD ANODIZED	DN DOWN	FT FOOT/FEET	INT INTERIOR	MISC MISCELLANEOUS	QUAL QUALITY	
ARCH ARCHITECT	DR DOOR	FTG FOOTING		MMR MOISTURE & MOLD RESISTANT	QTY QUANTITY	
ASMB ASSEMBLY	DSPT DOWNSPOUT	GA GAUGE	JBOX JUNCTION BOX	MO MASONRY OPENING	R RISER	
	DTL DETAIL	GALV GALVANIZED	JC JANITORS CLOSET	MTL METAL	RD ROOF DRAIN	VNL VINYL
	DWG DRAWING	GAR GARAGE	JST JOIST	MUL MULLION	RECT RECTANGULAR	VERT VERTICAL
		GC GENERAL CONTRACTOR	JNT JOINT	NFC NOT FOR CONSTRUCTION	REF REFERENCE	VEST VESTIBULE
		GFRG GLASS FIBER REINFORCED CONCRETE	KIT KITCHEN	NIC NOT IN CONTRACT	REINF REINFORCED	VIF VERIFY IN FIELD
		GLZ GLAZING		NO NUMBER	REQD REQUIRED	
		GR GRADE	L LENGTH	NOM NOMINAL	REV REVISION	W WIDTH
		GUT GUTTER	LAM LAMINATE	NTS NOT TO SCALE	RF ROOF	W/O WITHOUT
		GWB GYPSUM WALL BOARD	LAV LAVATORY		RM ROOM	WAT WATER
			LBS POUNDS		RO ROUGH OPENING	
			LF LINEAR FEET	OC ON CENTER	SAN SANITARY	WC WATER CLOSET
		H/C HANDICAPPED	LN LINEAR	OD OUTSIDE DIAMETER	SCHED SCHEDULE	WD WOOD
		HALG HALOGEN	LT LIGHT	OPNG OPENING	SECT SECTION	WP WATERPROOFING
		HB HOSE BIB		OPP OPPOSITE	SF SQUARE FOOT	WPT WORKING POINT
		HC HOLLOW CORE		OPT OPTION(AL)	SHT SHEET	WT WEIGHT
		HD HEAD	MACH MACHINE	OZ OUNCE	SIM SIMILAR	
		HDF HIGH DENSITY FIBER BOARD	MAS MASONRY		SPEC SPECIFICATION	& + AND
		HDWR HARDWARE	MAX MAXIMUM	PH PENTHOUSE	SQ SQUARE	@ AT
		HM HOLLOW METAL	MC MECHANICAL CONTRACTOR	PL PROPERTY LINE	SS STAINLESS STEEL	
		HORZ HORIZONTAL		PLAS PLASTIC	STD STANDARD	
				PLUM PLUMBING		

POWER, DATA, & LIGHTING KEY

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX		SWITCH
	DUPLEX - SPECIFIC MOUNTING HT.		DIMMER SWITCH
	DUPLEX - GFI		THREE-WAY SWITCH
	QUADPLEX		THREE-WAY DIMMER SWITCH
	DUPLEX IN FLOOR		JAMB SWITCH
	SMOKE DETECTOR		TELEPHONE
	CARBON MONOXIDE DETECTOR		INTERNET
	SPEAKER LOCATION		TELEVISION
	SPEAKER INPUT		PENDANT FIXTURE
	RECESSED FIXTURE		FLUSH MOUNT FIXTURE
	WALL MOUNTED SCONCE		LED STRIP LIGHT
	DENOTES WET-RATED FIXTURE		VENTILATION FAN
	TRACK LIGHTING		EXISTING FIXTURES

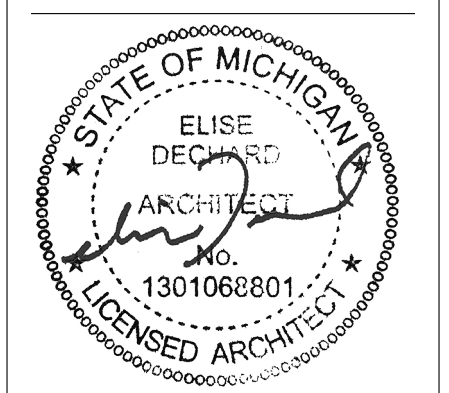
TYPICAL MOUNTING HEIGHTS



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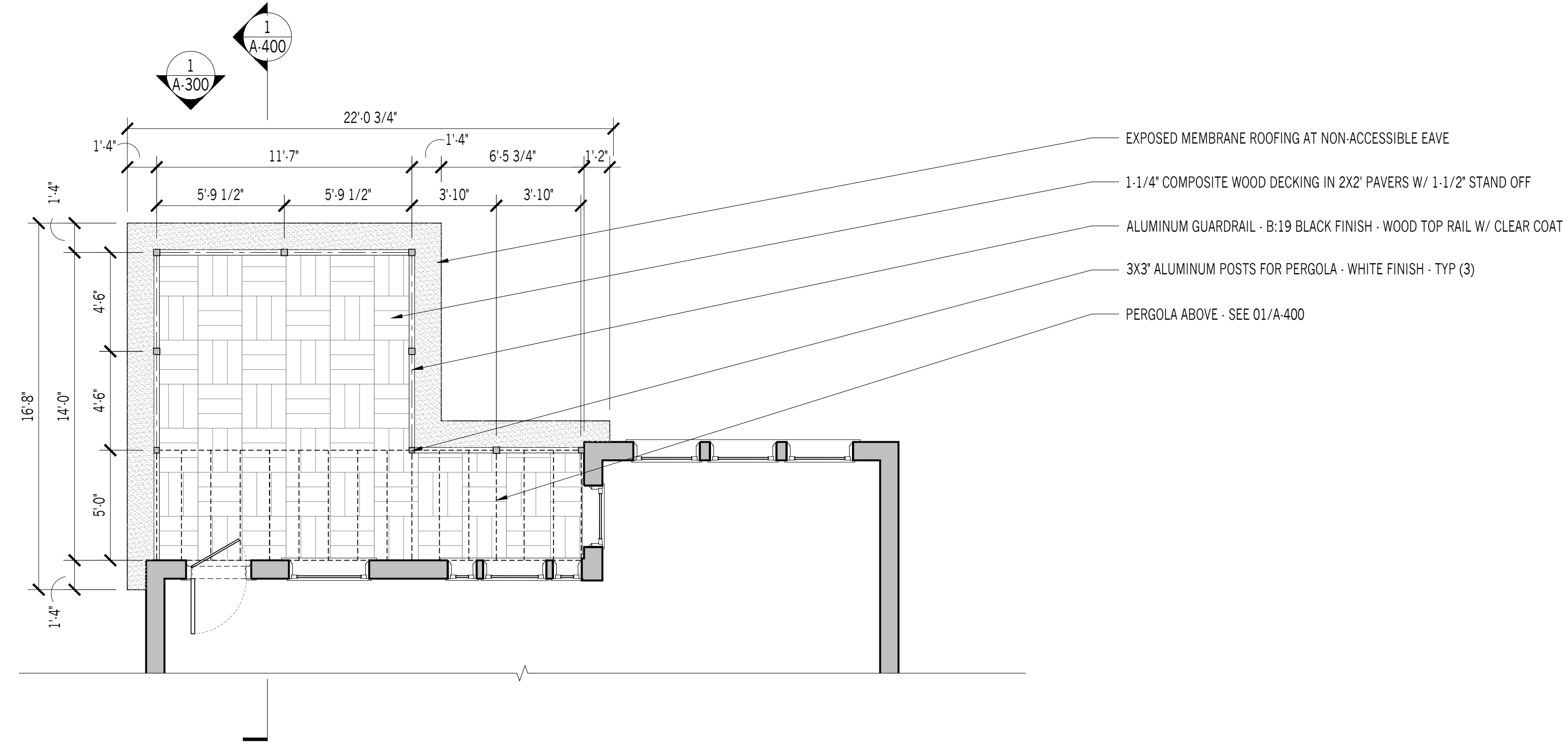
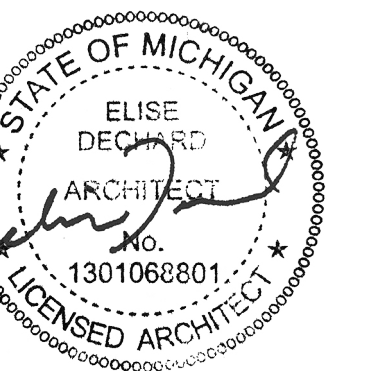
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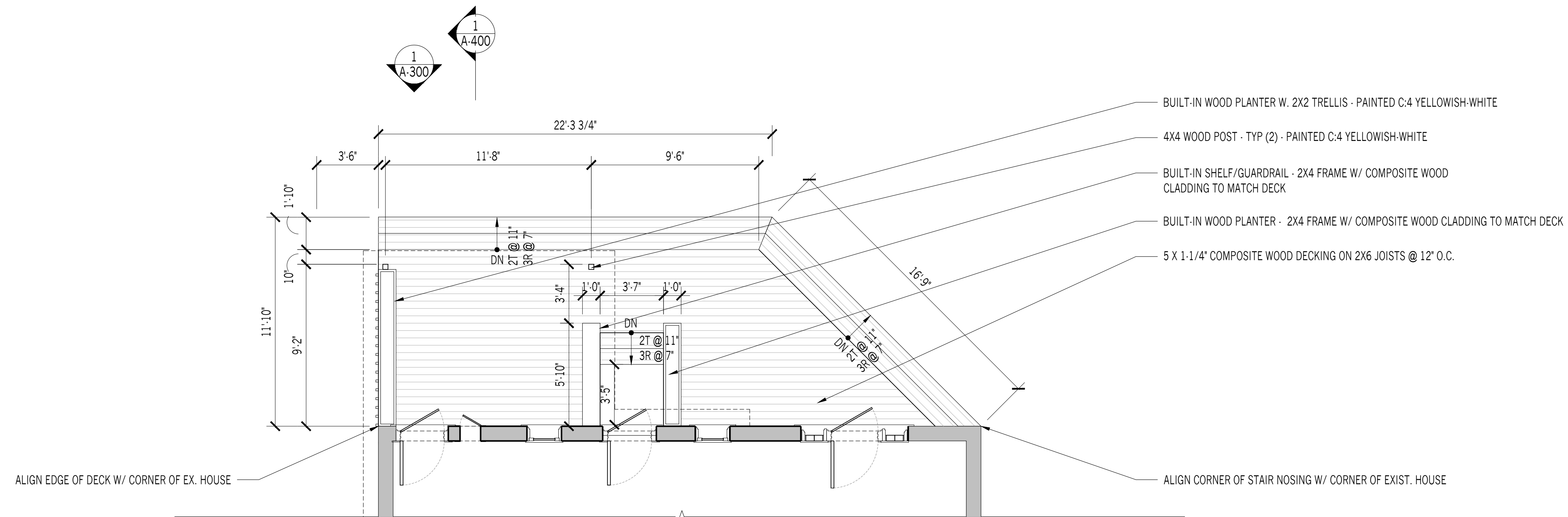


GENERAL NOTES

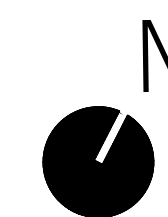
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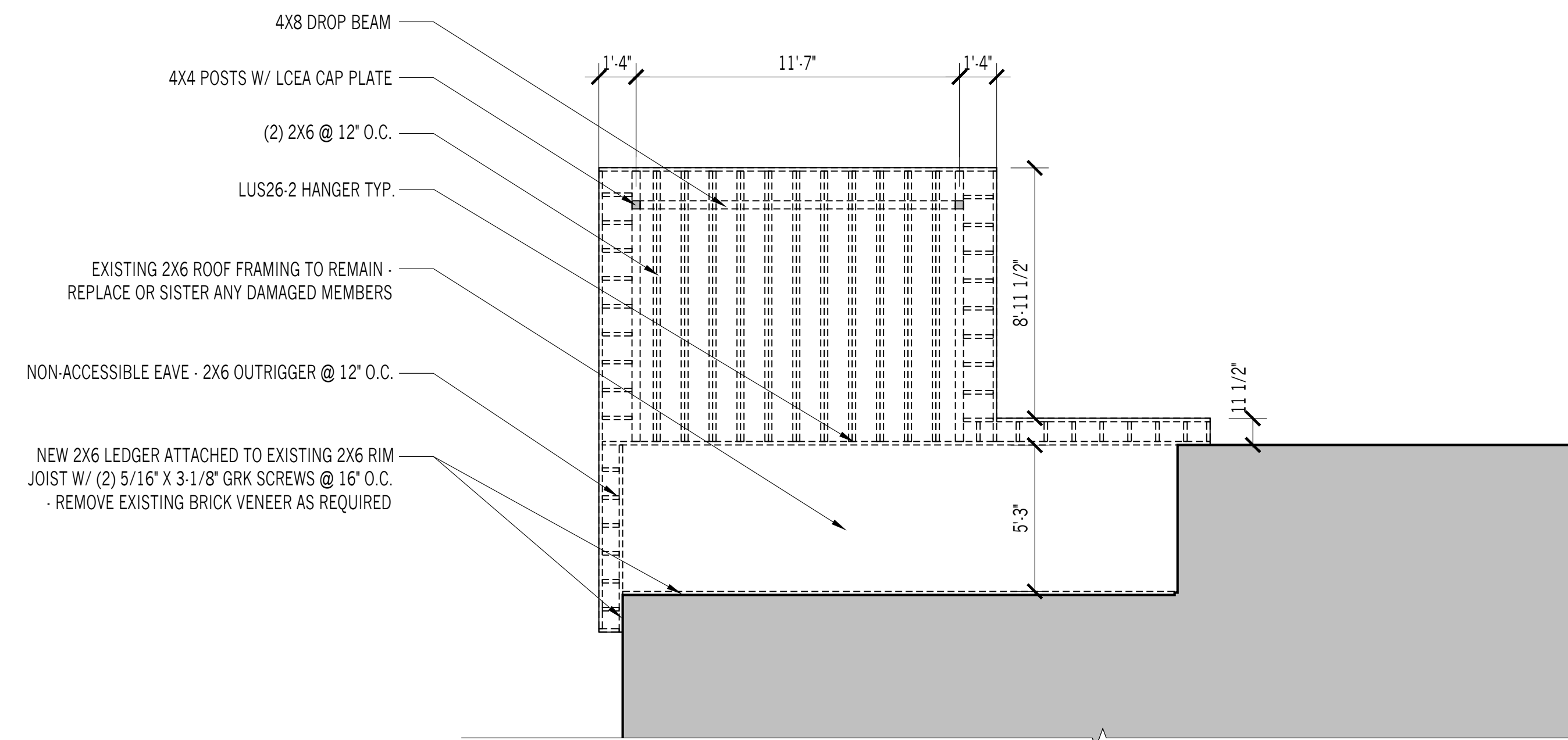
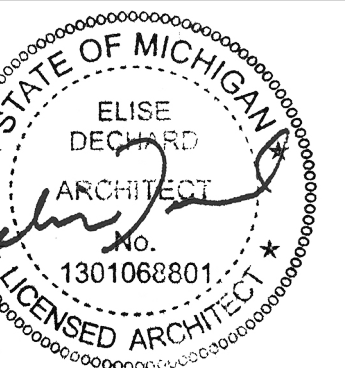
02 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



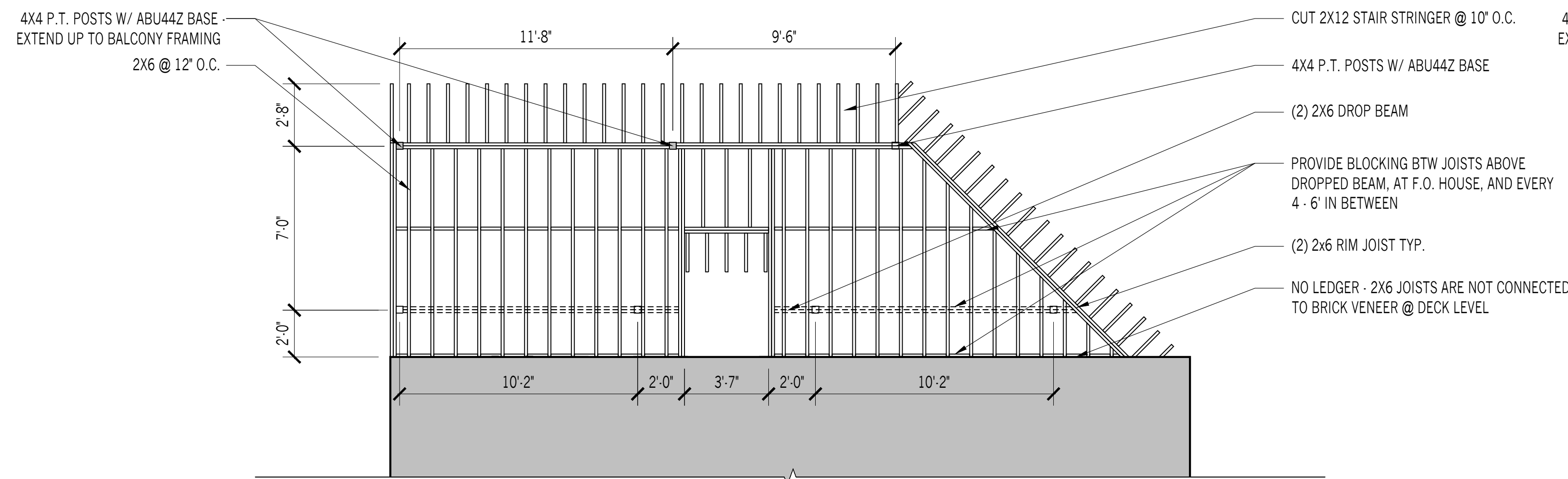
01 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



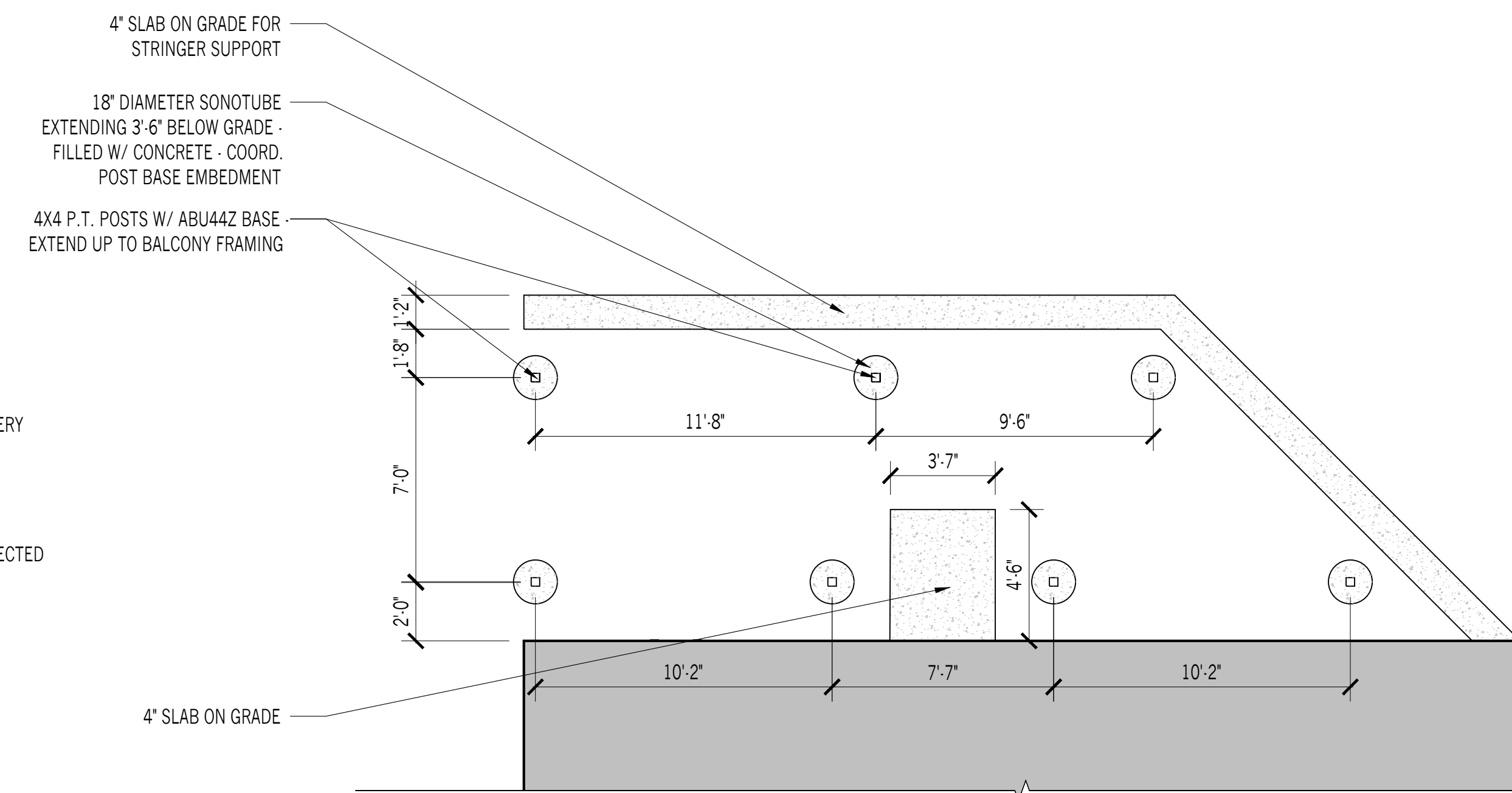
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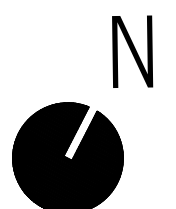
03 SECOND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"



02 FIRST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

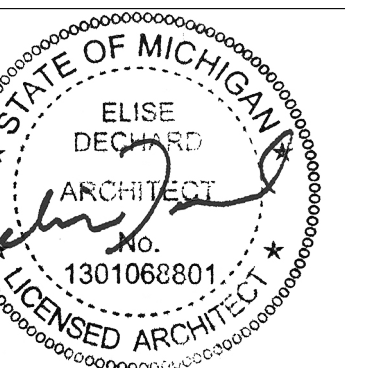


01 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



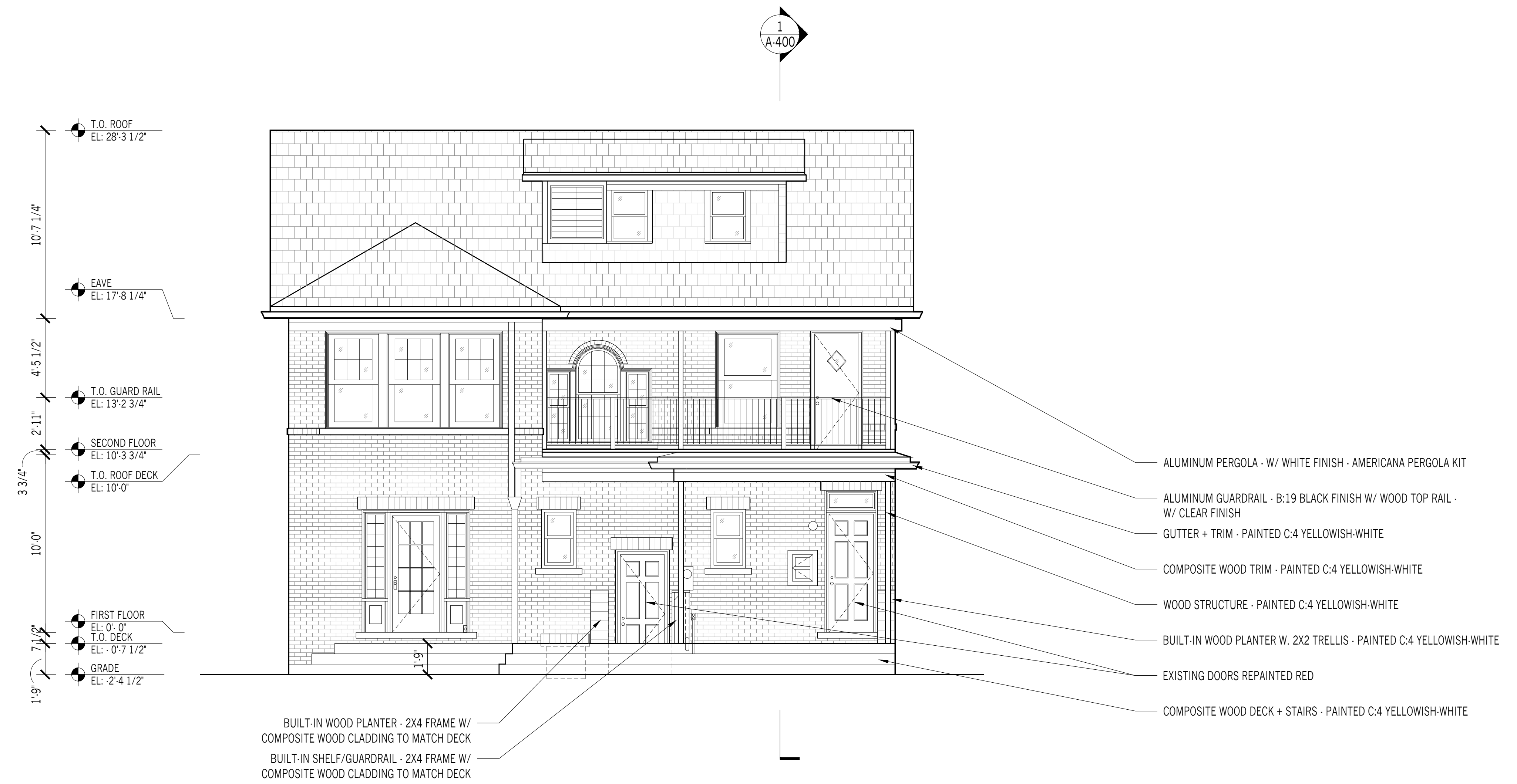
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ELEVATION

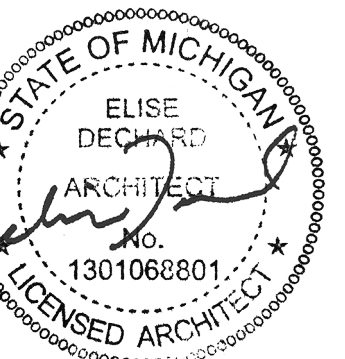
A-300



01 NORTH ELEVATION
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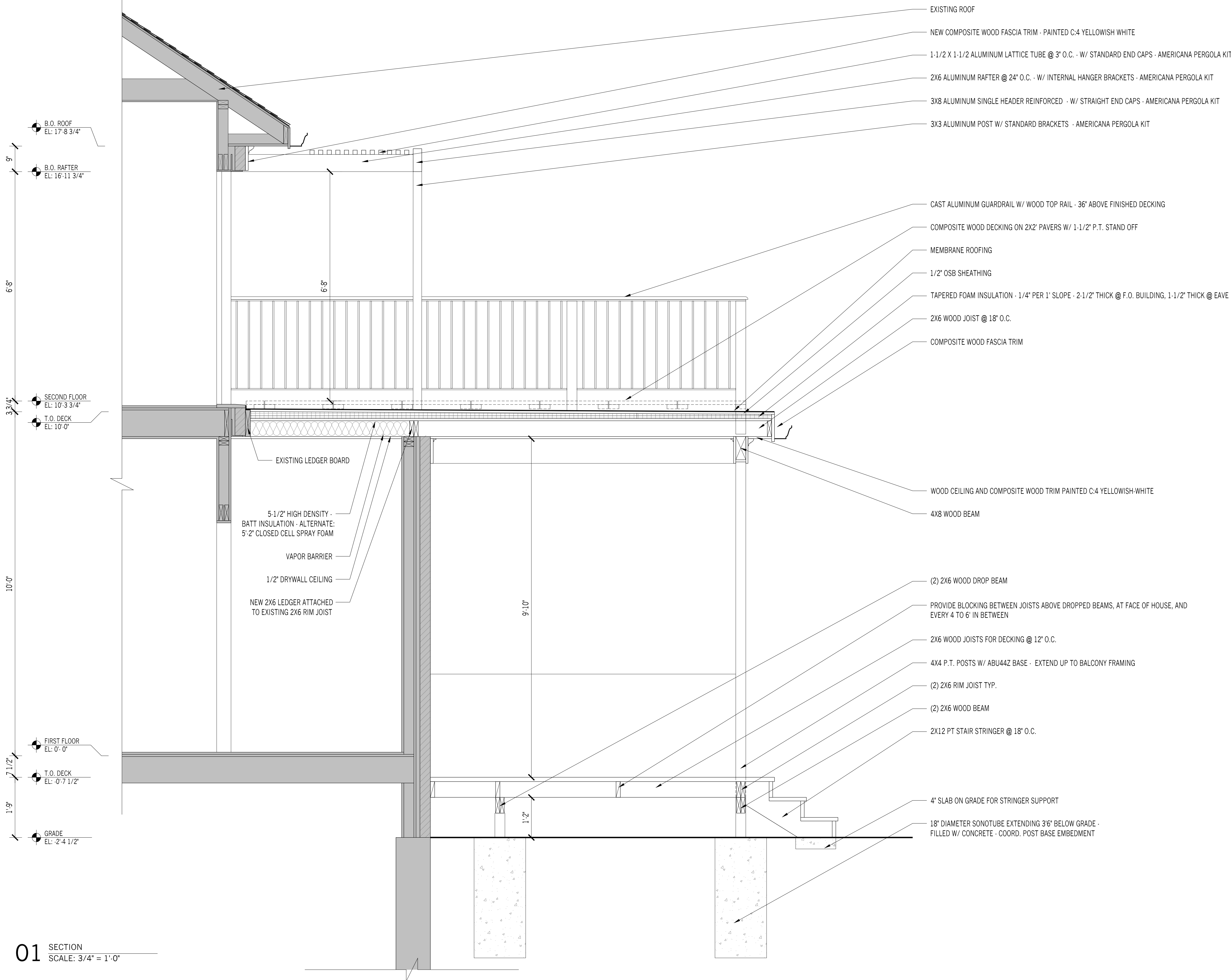
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SECTION

A-400



01 SECTION
 SCALE: 3/4" = 1'-0"