



**PLANNING AND
DEVELOPMENT DEPARTMENT**

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SR-2 – ADVISORY STAFF REPORT (03-06-2026)

This advisory report, prepared by staff, represents the opinion and advice of professional staff, and does not represent nor direct the separate review and decision of the Historic District Commission. This report serves as an addendum to SR-1, an objective staff summary of the proposal and property.

ADDRESS: 15042 STAHELIN RD
HISTORIC DISTRICT: ROSEDALE PARK
MEETING DATE: 03-06-2026
APPLICATION NUMBER: HDC2025-00662

SCOPE: DEMOLISH GARAGE, ERECT GARAGE

ADVISORY STAFF REPORT PREPARED BY: B. SALIE

STAFF OBJECTIONS TO APPROVAL:

This first section describes itemized conclusions/concerns, which, in staff's professional opinion, would prevent the issue of an unconditional Certificate of Appropriateness (COA). "None" means staff has no objections and believes a COA is warranted, with no conditions. The Historic District Commission is not required to accept staff opinions or recommendations.

1. The application does not indicate if the cement fiber siding proposed for the garage's first floor will display a smooth finish (which would be compatible with the property's historic character) or a embossed faux wood finish (which would be incompatible with the property's historic character)

STAFF ANALYSIS AND DISCUSSION:

This second section expands on the reasoning and analysis leading to staff's conclusions given in the first section above. The Historic District Commission is not required to accept staff opinions or recommendations.

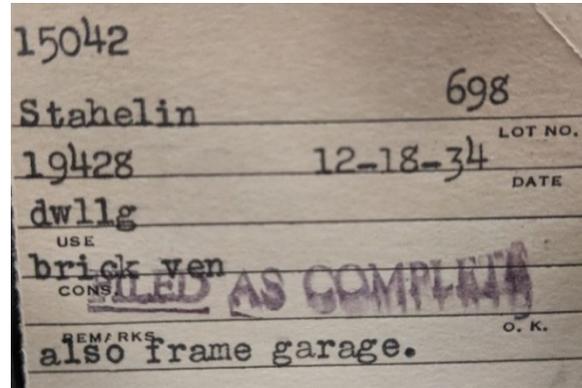


*Photo Taken by Staff on 02/25/26,
showing front of house*



Designation Photo 2007

- Sanborn Map and Building Permit Cards show that the wood frame garage is of historic age. It was erected in 1934 at the same time as the construction of the existing historic house.
- The garage was constructed during the district's period of significance, which is identified as 1916 to 1955 in the district's National Register of Historic Places Therefore, it is a contributing structure within the district.



ABOVE: Building Permit Card, dated December 18, 1934



Library of Congress: Sanborn Maps 1921-1950 Volume 26, Page 2613

- The existing garage follows the style and aesthetic of other existing garages throughout the neighborhood. It matches the design of historic-age Rosedale Park garages in terms of scale, form, and footprint.
- The garage has undergone minor changes since the time it was erected in 1934. The roof has since been changed to asphalt shingles and the garage doors have been altered. The vertical wood siding above the garage doors has since been removed.



Photo taken by staff 02/25/26, view of garage from driveway



Photos provided by applicant

- The Rosedale Park Historic District’s National Register Nomination Report specifically underscores garages as a contributing feature to the district, as the district is significant for its association with Detroit’s streetcar and automobile suburban development. Specifically, the NRHP nomination states the following:

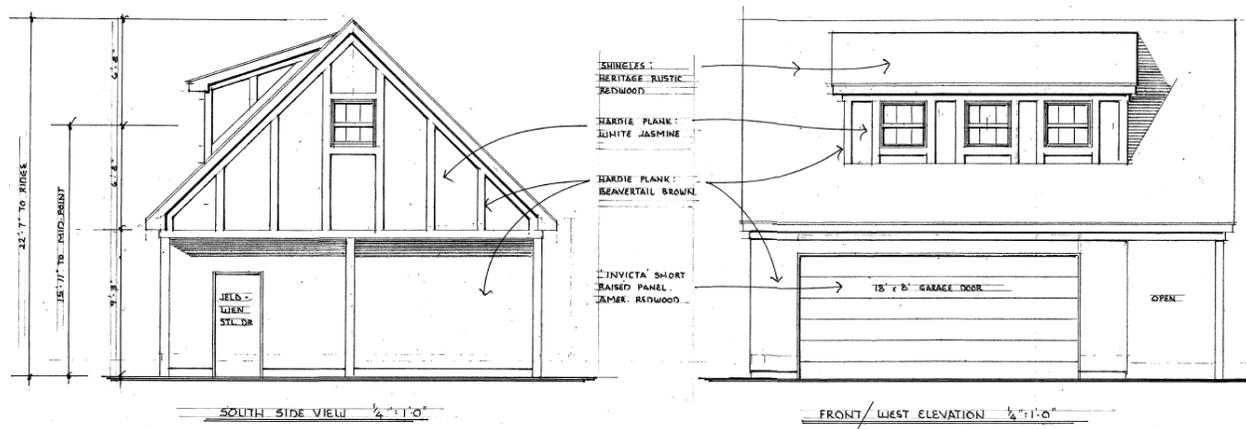
*“Garages are nearly ubiquitous accessories for houses in Rosedale Park, with the majority of lots each containing one single bay or double bay detached garage. A small percentage of houses in Rosedale Park have an attached garage, but this feature is most usually a later addition to a pre-existing dwelling. A few exceptions to this rule are seen in the western portion of the neighborhood, in houses built in the late period of development in Rosedale Park. For example, 15043 Minock and 15080 Minock, were both constructed in the spring of 1938 in the Moderne style (City of Detroit Building Permits). These houses feature single bay garages integrated into the main portion of the structure. Construction types of these ancillary buildings vary from detailed efforts to match a house in roofline and materials to a stylistic structures built simply to provide shelter for the family car. **The earliest houses in Rosedale Park may have included garages for leisure vehicles, but as residents became more reliant on automobiles for everyday transportation in the 1920s, a garage was usually constructed along with a new house. Approximately half of original garages remain in Rosedale Park, with the remaining portion replaced with more recently constructed versions.**”*

“Garages are usually located in the side or back yard, parallel to or behind the house, and are accessed from the street by a driveway along one side of the lot. As few shared driveways exist in Rosedale Park, driveways are usually private. While garages on corner lots are also typically located on the lot in the same manner, corner lots deviate from their neighbors by orientating garages toward the side street. As a result, east-west side streets are uniformly lined with corner-lot garages accessed from the side street, and include almost no residential lot frontages.”

- The Historic Designation Advisory Board report published on February 22, 2006, states:

“The Rosedale Park Historic District is significant under the National Register Criterion a, for its association with streetcar and automobile suburban development in relation to early twentieth century transportation corridors such as Grand River Avenue, Southfield Road, and Outer Drive West.”

- However, the applicant has provided staff with photo evidence as well as a letter signed by a licensed architect, which confirms that the current garage is leaning and the structure is “on the verge of collapsing”. The letter states that the floor slab and the footing are crumbling.
 - Staff agree that the historic garage is beyond feasible repair, as repair would in effect require a complete rebuild, potentially eliminating most of the building’s historic integrity, or else require an unreasonably complex and surgical historic preservation treatment exceeding the structure’s apparent economic, architectural, and historic value.
 - Therefore, the demolition of the current structurally unsound garage and the erection of a new garage that is compatible with the house and its historic surrounds is appropriate, staff’s opinion.



- It is staff’s opinion that **the proposed garage design generally appears to be compatible within the existing context.** Its modern interpretation of Tudor Revival architectural style blends well with the context of the historic house, which is consistent with the neighborhood’s patterns of unique garage to house.
 - The added height (at 22’-7”) matches reasonably with the context of the two-and-a-half story single-family residence, as well as the property’s nearby historic surrounds.
 - Rosedale Park contains a diverse range of architectural styles, which include English Tudor Revival, Arts-and-Crafts, Bungalow, Colonial Revival, Dutch Colonial Revival, Foursquare, Prairie, French Renaissance, Ranch, Garrison Colonial, Minimal Traditional, and International, or hybrids of these styles.
 - Through an on-site study of remaining historic garages within the neighborhood, staff observed the one consistency is that each of the existing historic houses which maintain their historic garage will closely correlate in style, material choice, roof pitch, etc.



15374 Warwick, built 1934



14525 Piedmont, built 1935



14961 Warwick, built 1942



15005 Warwick, built 1941

Photos taken by staff on 03/05/2026, show historic garages that complement the design of their historic house

- Additionally, the proposed garage design is consistent with its surrounding context and is in conformance with the district’s Elements of Design:

10) Relationship of architectural details. A great variety of dormer types (shed, gabled, hipped, round-arched, and wall dormers), complimentary to the style of pre-circa 1935 buildings, are very common throughout the district.

- Shed dormers, which are common within the district, and complementary to the style of pre-circa 1935 buildings, per the district’s EOD #10, are also used on the historic house and will therefore be a compatible dormer type for the proposed garage.
- The proposed synthetic stucco and dark brown trim are appropriate and align with the Tudor Revival style of the historic house.
- The ‘Lancaster Antique Bronze Wall Lantern Scone’ is a compatible lighting type, and is often a style found on many houses in the neighborhood.
- The proposed fiber cement siding on the first-floor mimics the design of the existing historic garage and complements the historic house.



Shed dormer, photo taken by staff

- Staff concludes that the proposed design will blend well with its surrounding context. However, staff does recommend that the lapped cement fiber siding at the first story be specified with a smooth finish.

STAFF RECOMMENDATION:

This third and final section takes staff's itemized "objections" identified in the first section, and presents them in the form of "conditions" in support of a proposed approval recommendation or "reasons" in support of a proposed denial recommendation, in the form required by Section 21-2-78 of the City Code. The Historic District Commission is not required to accept staff opinions or recommendations.

Section 21-2-78, Determinations of Historic District Commission

Recommendation 1 of 1, Certificate of Appropriateness: Demolish garage, erect garage

Staff recommends that the proposed work will be appropriate according to the Secretary of the Interior's Standards for Rehabilitation and the Rosedale Park Historic District's Elements of Design, with the condition that:

1. The cement fiber siding proposed for the building's first story display a smooth finish.