

**STAFF REPORT:** 02/11/2026 MEETING  
**APPLICATION NUMBERS:** HDC2025-00741  
**VIOLATION NUMBER:** 1077  
**ADDRESS:** 2008 LONGFELLOW  
**HISTORIC DISTRICT:** BOSTON-EDISON  
**APPLICANT/PROPERTY OWNER:** NEVAR JAHWARY, STONEBRIDGE DEVELOPMENT  
**DATE OF PROVISIONALLY COMPLETE APPLICATION:** 01/20/2026  
**DATE OF STAFF SITE VISIT:** 01/28/2026

**PREPARED BY:** A. DYE

**SCOPE:** DEMOLISH AND REBUILD FRONT AND REAR PORCHES; DEMOLISH AND REBUILD UPPER WALLS AND WINDOW OPENINGS AT SIDE PORCH; REMOVE WOOD WINDOWS AND INSTALL NEW WOOD WINDOWS; INSTALL FOUR (4) ENTRY DOORS AT REAR; INSTALL ASPHALT SHINGLE ROOF AND REBUILD EAVES (WORK STARTED WITHOUT APPROVAL)

**EXISTING CONDITIONS**

The dwelling at 2008 Longfellow is located on the north side of the street, between Rosa Parks Boulevard and 14<sup>th</sup> Street. The 2-1/2 story house has a symmetrical, three bay wide façade and is clad in dark red brick. Mullied window openings are on either side of the central bay; three windows wide at the first floor and two windows wide at the second floor. The central bay consists of a single arched entry door, two small single windows at the second floor and a Palladian three-part dormer at the attic/third floor which sits within a side gable roof.



*Above: Front wall of the house facing Longfellow.*

*Right: View of garage from sidewalk/end of driveway at Longfellow. Staff photos, January 28, 2026.*

Most of the original windows are missing and the roof and walls at the side and rear porches are in the process of being rebuilt. Outlines of removed cornice trim remains evident, and the eaves appear to be rebuilt. The front entrance’s covered porch has been removed, but the arched multi-light/paneled door remains in situ.

A driveway on the west side of the property leads from Longfellow to a two-car garage at the northwest corner of the rear yard. The garage appears to be historic age and is clad with lap siding, has a side gable roof and a single overhead door.



## STAFF SUMMARY OF WORK

Based on staff review of the submitted documents, the following work is proposed:

- Demolish front porch and erect new front porch, including raised porch platform, stairs and wing walls; install four (4) columns and erect roof.
- Demolish walls, window openings and roof at side porch, erect new walls, window openings and roof to sit on remaining masonry half-wall
- Remove wood windows on four sides of house, install aluminum-clad wood windows
- Demolish rear porch, erect raised porch platform, stairs, supporting posts and enclosed porch at second floor
- Install four (4) entry doors at rear
- Install new asphalt shingle roof at house and garage, including soffit/fascia repair

## MISSING INFORMATION, CLARIFICATION, OR OTHER ISSUES RELATING TO A COMPLETE SCOPE OF WORK:

### Missing:

- Additional photos of other sides of garage and related scope of work and drawings (if necessary) to illustrate the proposed completed design and finishes for the garage – currently not part of this application beyond the installation of a new asphalt shingle roof
- Photos of house before work began (to document former existing conditions)
- Windows:
  - ~~Cut sheets, section drawings for new windows confirming manufacturer/window line, material, operation/design, dimensions, glass, screens, placement within opening (dimension of setback from masonry walls), etc.~~ 1/29: Applicant states new wood windows will be made in-house; however, no additional information was submitted (i.e., section drawings confirming dimensions of new sash frames and muntins (and confirmation on simulated divided lights or between-the-glass-grids), glass and screen transparency and placement/setback in windows, and confirmation of retaining or replacing wood brickmold
  - Dimensions of existing wood windows (some appear to remain in a few window openings)
  - Exterior photos numbering window openings to coordinate with submitted “window id” document
- Doors: cut sheets confirming manufacturer, design, material, dimensions, finish, etc.
- Specification for dormer siding
- Cut sheets for front porch columns
- Exterior paint colors for the wood windows, wood trim/columns, and dormer and porch walls

### Clarification:

- The dentil trim was removed and is not shown on the submitted drawings. Is this intentional or an oversight?

## STAFF ANALYSIS, OBSERVATIONS AND RESEARCH

- The building permit for the erection of the house and garage was issued on November 13, 1919.
- The Boston-Edison historic district was enacted on April 2, 1974.

2008	Longfellow	878
19171	11-13-19	LOT NO. DATE
USE	dwelling	
LONG.	brick veneer	
REMARKS	Frame garage	O. K.
	Permit N. o. 19172	
	12th-14th	

2008	Longfellow	878
63212	4-28-38	LOT NO. DATE
USE	dwllg	O. K.
CONS.	brick	
REMARKS	reroof house and garage	O. K.
	with asphalt roof.	

2008	Longfellow	878
47008	5-22-70	LOT NO. DATE
Use	Frame Pvt. Garage	
Cons.	600.	
Remarks	Repair fire damage only	O. K.



Permit cards, BSEED.

Designation photo, 1974, HDAB.

- The designation photo shows the footprint and design of the original half-circle covered, raised entrance porch, the design of the wall trim and window operation at the side porch (casement units with a 2-wide by 5-high pattern), the window pattern of the wood double-hung windows at the first and second floors (4-over-1, 6-over-1 and 8-over-1 depending on window width) and the operation and pattern of the windows within the Palladian dormer (fixed or casement sash with 9-light pattern flanking an arched double-hung window with divided-light upper sash and undivided lower sash).
- It is interesting to note that the original roof for the house and garage were replaced within 20 years of the structures being built.
- The 1970 fire damage at the garage may have led to the installation of one large 2-car door opening as this larger opening was in place at time of district designation.



*1974 designation photos of the houses adjacent to 2008 Longfellow offer angled views of the side walls of 2008 Longfellow, including details to the side and rear enclosed porches. HDAB.*

*Left: Outer side wall of the one-story porch on the east side of the house. A metal shed/awning roof is visible and covered an open porch at the rear of the house. This awning has since been removed.*

*Right: Outer side wall of the rear porch and supporting wood column and railing at the first floor.*



*The above Google street view image of the front and west-side walls shows that most of the architectural details were still intact, however some replacement windows appear at the first floor, identified by the brightness of the window frames/trim and lack of division of glass. July 2022.*



*This Google street view confirms replacement windows were in place at both grouped window openings at the first floor and that the original side porch walls and windows remained intact. June 2019.*



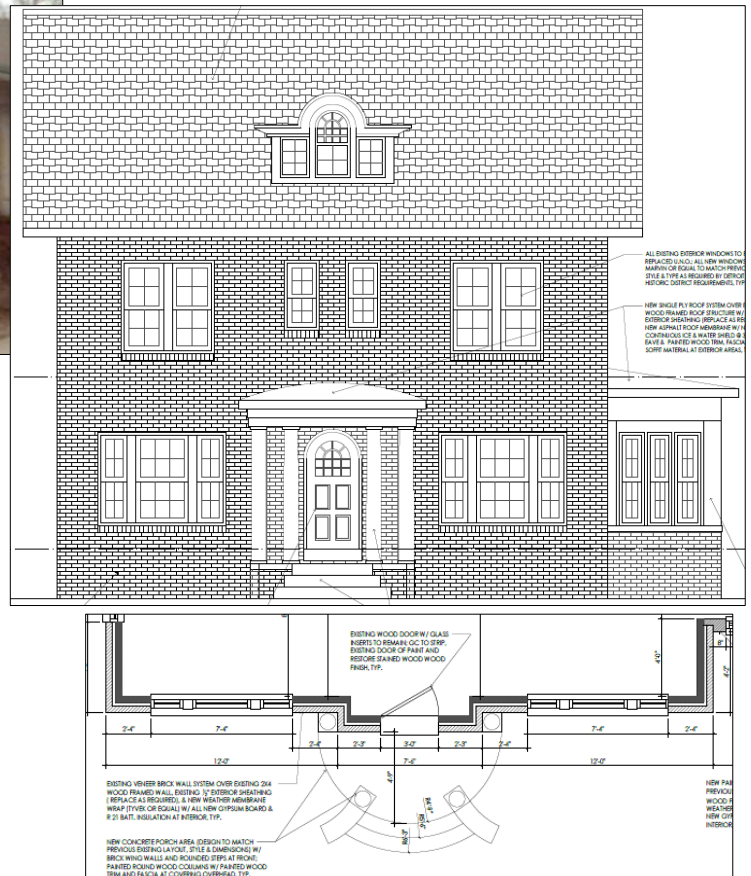
*This aerial view confirms the porches and windows at the enclosed second floor rear porch remained intact. ConnectExplorer, April 2024*

- Staff’s research of the property concluded that the window replacement at the first floor (front, west-side and rear) was completed without HDC approval prior to 2007.
- According to the city’s Base Unit Tools database, the current owner purchased the property in August 2025.
- On September 27, 2025 a SeeClickFix notice was submitted alerting HDC staff that the roof was being replaced.
- On September 30, 2025 HDC staff conducted a site visit and noticed active work at the roof and windows, however photos were not taken to document the status of work completed/underway.
- On October 16, 2025, HDC staff requested a BSEED inspection and issuance of a Stop Work Order.
- On October 17, 2025 BSEED conducted an inspection – at which time the inspector failed the property.
- On October 20, 2025 BSEED issued a Stop Work Order.
- On December 9, 2025 HDC staff received an application for review of the replacement of the roof. However, the application wasn’t complete and over interceding reviews, the full extent of work became clear to HDC staff and is being put forward to this body’s review.

## Front wall/façade



Left: Conditions as of March, 7, 2025. Mapillary.  
 Above left: Staff photo of remaining dentil pattern. January 28, 2026.  
 Above right: 1980 photo of house, HDAB.  
 Below: Applicant drawings and photo of existing conditions.  
 Bottom: staff photo of ghost lines of dentil trim.



### Staff comments:

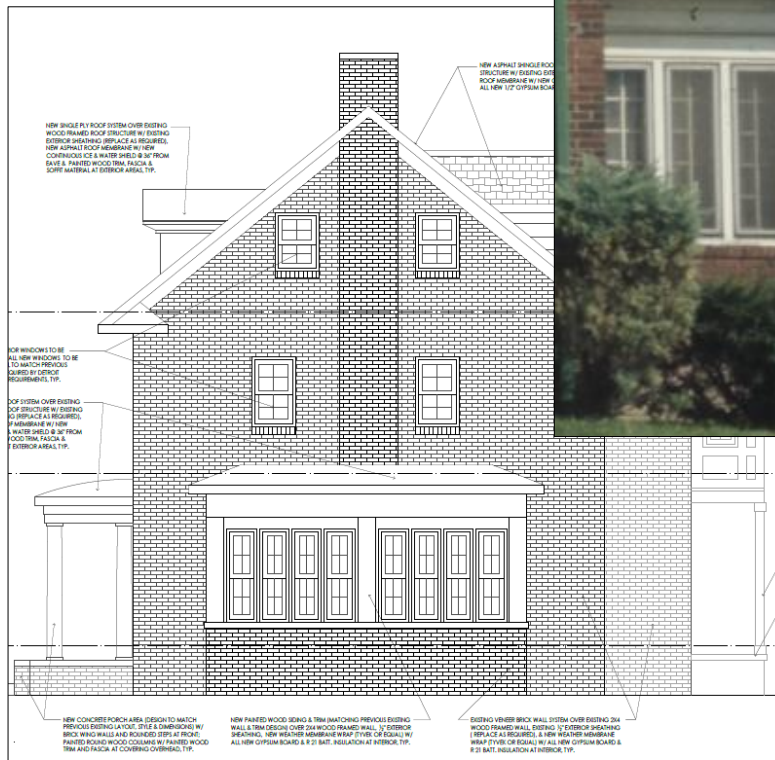
- Previous windows at Palladian dormer were casements with a nine-light pattern (now proposed as six-lights) and the central arched window had an undivided light bottom sash (staff believes that to be the original condition based on documented original casement windows on the side walls, which are discussed on following pages) and not a divided lower sash as proposed.
- Dentil trim at the soffit/eave was removed and its placement is noticeable on existing condition photos. It has not been included on the elevation; nor did the applicant reply to staff's inquiry; therefore, it is staff's assumption it will not be replicated.
- The triple window openings at the first floor were 4-over-1 with a central 8-over-1 pattern.
- Double window openings at second floor (mullered and single openings) were 6-over-1 double-hung windows.
- The drawings appear to show a close replication of the half-round raised and covered porch, except for the columns. The original columns were tapered, with a smooth finish and Tuscan capitals and bases. Staff doesn't know if the columns remain on site, nor their dimensions. The drawings do not replicate the original columns. Also, there is a square shaped concrete block foundation outline at grade, which doesn't match the previous curved porch, stairs and splayed side walls.
- Chimney is not depicted on elevation drawing.



**East – Side Wall**



Google street view.



Applicant elevation



Top: 1974 designation photo showing column-like detailing at porch

**Staff comments:**

- The rear single story masonry walled porch now retains its likely original open porch construction, however it is not included in the elevation drawing.
- Chimney height has increased (existing 6-7 brick courses vs. 11-12 courses on drawing).
- The window openings at the third floor are almost square in shape. 2019 photos show double-casements with a central mullion; each casement had a division of glass offering a 4-over-1 glass pattern. Single 4-over-4 double-hung windows are proposed for these openings. Staff also notes the dimensions of the openings on the elevation are rectangular, offering concern that the openings will be reduced in size/proportion.
- Window openings at second floor had double-hung sash with 6-over-1 pattern. Single, 4-over-4 double-hung windows are proposed here.
- Mullied casement windows were in place on all three walls of the enclosed porch and trim was detailed to offer the effect of columns and an entablature. Applicant proposes mullied, narrow 4-over-4 windows and no detailing is shown at the fascia and corners, although the drawings state “matching previous existing trim and wall design”.



Applicant photo.

## Rear Wall



*Designation photo, 1974. HDAB*



*EagleView image, April 2022.*

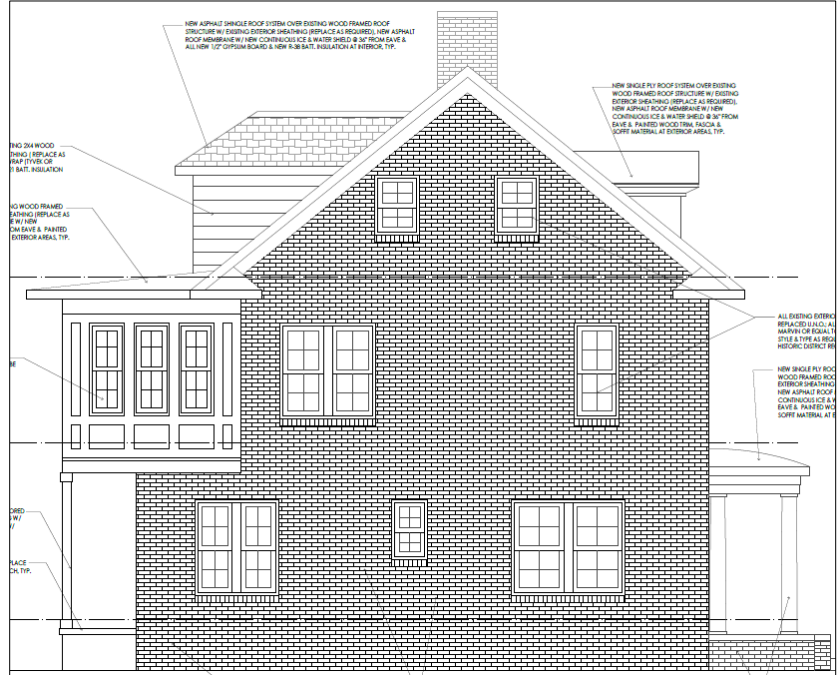


*Applicant photo and elevation drawing.*

### Staff comments:

- The massing and roof pitch for the central dormer is drawn differently than existing conditions.
- Detailing for the second floor enclosed porch walls appears to be similar to photo documentation of the area prior to its demolition. However, staff doesn't believe the proposed 4-over-4 double-hung is compatible for this property and location based on evidence of windows having a 4, 6, or 8-over-1 pattern.
- The proposed design of the lower porch and supporting posts do not match the footprint and massing of the original design, and the loss of symmetry and balance, integral to the overall classical revival design, is not a compatible design.
- Operation and dimensions of some window openings on the rear wall drawing (i.e., the central bay openings at the first and second floor) differ from existing conditions. The windows that remain in place at the first and second floor are replacement units similar to those at the front wall and west wall and were not approved by the HDC. Therefore, new double-hung windows at this location must match the original windows in design, operation and material (which likely would have matched the documented three-part window on the front wall that had two narrow 4-over-1 windows and a central 8-over-1 window).

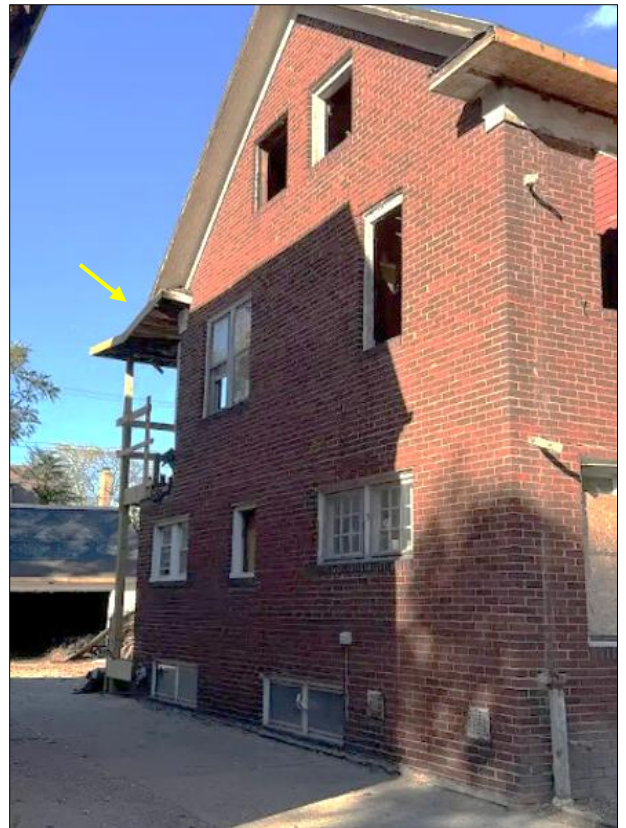
**West-Side wall**



Left: Google street view, July 2022. Above: Applicant elevation drawing. Below right: Applicant photo.

**Staff comments:**

- Similar to the east side elevation drawing, this drawing shows differently sized windows at the third floor, change in operation and design for the opening.
- At the second floor, the single window opening appears to be narrower on the drawing than existing conditions and 4-over-4 double-hung windows proposed for all three windows; counter to the historic (and still existing in a few window openings) pattern.
- At the first floor, the window openings at center and near the rear had replacement windows in them recently (and the mullied opening may still have them), which staff confirmed were not approved by the HDC. Original windows are intact at the forward positioned windows, with 9 or 12-light casement (or fixed) windows.
- From the angled view of the applicant’s photo, it looks as though a butterfly roof has been constructed at the second floor rear porch, rather than a generally flat/low pitched roof.
- The elevation drawing shows the mullied openings at the first floor will be enlarged and window operation will change from casement to double-hung.
- Basement window openings are not drawn on the elevation, so staff assumes the openings will be removed. Details are needed on how this will be done (such as retain inset openings with new brick and retention of sills?).



## Assessment of conditions/features, circa spring 2025, prior to work beginning at property

- Distinctive, character-defining historic features include:
  - Unpainted dark red brick walls
  - Wood double-hung windows with a 4, 6, 8-over-1 pattern, casement windows with divided light pattern, and casement windows at the third floor with a 4-over-1 pattern within the single casement sash
  - Palladian dormer at the front and the hip roof dormer at rear; both of which have wood shake lap siding
  - Side gable roof with deep eaves, including dentil trim at front wall cornice
  - Wood corner trim at side porch and Palladian dormer that emulates columns
  - Half-round entry porch with four (4) Tuscan columns; colored porch floor (either colored concrete or porch tiles common within the Boston-Edison district), curved steps and curved/splayed masonry wing walls topped with cast stone
  - Casement windows at side porch, a common feature for early 20<sup>th</sup> century porches to offer maximum ventilation for an enclosed space prior to late 20<sup>th</sup> century air conditioning
  - Rear two-story porch with open deck at first floor (with railing at driveway) and wide, square wood supporting columns and enclosed porch at the second floor with ½-height paneled walls and mullied windows spanning the expanse of the three exterior walls
  - Freestanding wood frame/wood sided garage with side gable roof.

## Comments on work in progress and proposed work

- This property retained almost all of the original materials, physical features (including its siting and setting), and decorative details on all four elevations; all of which combine to create its historic character and appearance. Therefore, it is staff's opinion that this property meets the seven aspects of integrity (as characterized by the National Park Service): location, setting, design, materials, workmanship, feeling, and association.
- The submitted documents show that many of the distinctive character-defining features for this property have been, will be altered or removed. The removal/alteration of character-defining features will cause the loss of historic and architectural integrity of the property and alter the features and spaces that characterize the property.
- The Standards require that historic features be repaired, and only when they are deteriorated beyond repair can replacement of these features be considered. Work in progress which caused the removal of features should require reinstallation of those features that match the old in design, color, texture, material, and when required, operation.
- It is not clear if the drawings purport to alter/remove window openings and change window operation and pattern, remove details and change the massing/design of all three porches, all of which was discussed in detail on the previous pages, or if it is "simply" inaccurate drawings.
- Staff identified the following Elements of Design for the Boston-Edison Historic District important to the review of this application as it discusses the significance to the appearance of the resource and the district.

*(6) Rhythm of entrance and/or porch projections. In those examples derived from Classical precedents, entrances and porches, if any, tend to be centered on the front façade. Other examples display more freedom with entrance and porch placement. Porches and permanently enclosed sun porches are often placed at the side and, sometimes, at the rear of the building.*

*(7) Relationship of materials. The majority of houses are faced with brick, while many are partially or totally stucco. There are some stone buildings, sometimes combined with stucco; clapboard is rare and is extremely rare as the sole material. Roofing includes slate, tile, and asphalt shingles. Wood shingle roofs were once common and have generally been replaced with asphalt. Wood shake does not exist and there is no known evidence that it was ever used in the district. Stone trim is common. Wood is almost universally used for window frames and other functional trim and is used in many examples for all trim.*

*(8) Relationship of textures. The most common relationship of textures in the district is that of a low-relief pattern of mortar joints in brick contrasted with the smooth surface of wood or stone trim. There are a few houses with rough or rusticated stone surfaces. The use of stucco or concrete, with or without half-timbering, as a contrast to brick surfaces, is not unusual. Tile, slate, or wood shingle roofs have particular textural values where they exist. Asphalt shingles generally have little textural interest, even in those types which purport to imitate some other variety.*

*(10) Relationship of architectural details. Architectural details generally relate to style. Neo-Georgian buildings display classic details, mostly in wood, and sometimes in stone. Porches, shutters, window frames, cornices, and dormer windows are commonly, although not always, treated...*

*(19) Degree of complexity within the façade. The degree of complexity has been determined by what is typical and appropriate for a given style. The buildings derived from Classical precedents usually have simple, rectangular façades with varying amounts of ornamentation ...*

*(21) Symmetrical or asymmetric appearance. Neo-Georgian and other buildings derived from Classical precedents are generally symmetrical; buildings in other styles, including the Neo-Tudor, are generally asymmetric, but balanced, compositions.*

## ISSUES

- The submitted documents show that many of the distinctive character-defining historic features for this property, which features are critical to the integrity of the resource, have been, or will be, altered or removed. The removal/alteration of character-defining features will cause the loss of historic and architectural integrity of the property and alter the features and spaces that characterize the property. Work in progress which caused the removal of distinctive, character-defining features should require reinstallation of those features that match the old in design, color, texture, material, and when required, operation.
- The submitted drawings appear to be inaccurate and documentation is incomplete, including:
  - Cut-sheets for the front porch columns,
  - Cut-sheets for new exterior doors (at rear),
  - Photos of all sides of the garage and related scope of work, drawings (if necessary) and cut-sheets to illustrate the proposed completed design, finishes and features for the garage – therefore work at the garage is not part of this application outside of the installation of an asphalt shingle roof.
  - If gutters and downspouts are to be installed, submission of cut-sheets confirming design, material, size, profile and finish.
  - Exterior color scheme, confirming the paint colors for the windows, trim/columns, and dormer and porch wood walls

## RECOMMENDATIONS

Section 21-2-78, Determinations of Historic District

**Recommendation 1 of 2, Denial: Full or partial demolition of original front, side and rear porches and erection of new porches, replacement of wood windows with new wood windows, installation of new doors at rear**

Staff recommends that the full or partial demolition of the original front, side and rear porches and erection of new porches; replacement of wood windows with new wood windows; and installation of new doors at the will be inappropriate according to the Secretary of the Interior's Standards for Rehabilitation and the Boston-Edison Historic District's Elements of Design, specifically:

*Standard 2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

*Standard 5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

*Standard 6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

*Standard 9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

AND

Elements of Design 6, 7, 8, 10, 19 and 21.

For the following reasons;

- The submitted documents show that many of the distinctive character-defining historic features for this property, which features are critical to the integrity of the resource, have been, or will be, altered or removed. The removal/alteration of character-defining features will cause the loss of historic and architectural integrity of the property and alter the features and spaces that characterize the property. Work in progress which caused the removal of distinctive, character-defining features should require reinstallation of those features that match the old in design, color, texture, material, and when required, operation.
- The submitted drawings appear to be inaccurate and documentation is incomplete, including:
  - Cut-sheets for the front porch columns,
  - Cut-sheets for new exterior doors (at rear),
  - Photos of all sides of the garage and related scope of work, drawings (if necessary) and cut-sheets to illustrate the proposed completed design, finishes and features for the garage – therefore work at the garage is not part of this application outside of the installation of an asphalt shingle roof.
  - If gutters and downspouts are to be installed, submission of cut-sheets confirming design, material, size, profile and finish.
  - Exterior color scheme, confirming the paint colors for the windows, trim/columns, and dormer and porch wood walls

**Recommendation 2 of 2, Certificate of Appropriateness: Installation of asphalt shingle roof at house and garage**

Staff recommends that the proposed work will be appropriate according to the Secretary of the Interior's Standards for Rehabilitation and the Boston-Edison Historic District's Elements of Design, with the condition that:

- The soffit/eave/fascia repairs will be in-kind and new dentil trim, matching the old in material, dimension, profile, placement and finish will be installed at the façade/front wall. Dimensions and specifications of the proposed dentils, including visual/written confirmation that the new trim will be installed in the same location as the original dentils, will be submitted for staff review.