



DEPARTMENT OF
**Planning &
Development**

Coleman A. Young Municipal Center
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

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PDD DESIGN REVIEW APPROVAL IS REQUIRED PRIOR TO SUBMITTING FOR SITE PLAN REVIEW (SPR)
If you have any questions regarding the next steps, please do not hesitate to contact PDD's Design Review Staff



APPROVED



APPROVED WITH CHANGES NOTED



REVISE AND RESUBMIT



REJECTED

THIS SUBMITTAL WAS REVIEWED FOR DESIGN CONFORMITY AND GENERAL CONFORMANCE TO CITY OF DETROIT DESIGN GUIDELINES. THE APPLICANT IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT JOBSITE FOR TOLERANCE, CLEARANCE, QUANTITIES, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, AS WELL AS COORDINATION OF THE WORK WITH OTHER TRADES AND FULL COMPLIANCE WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS.

STAFF BRIEF

This document is the staff's comparison of the City of Detroit Design Review Guiding Principles, Design Guidelines for City of Detroit Zoning Ordinance and other applicable adopted area guidelines as applied to the proposed application. It is intended to provide guidance during the City Planning and Development Design Review of the proposed application.



THIS PROJECT IS PURSUING CITY INCENTIVES



THIS PROJECT IS PURCHASING PARCELS FROM THE CITY, DBA, OR DLBA



THIS PROJECT IS NOT PURSUING INCENTIVES OR PURCHASING CITY, DBA, OR DLBA LAND



Date: 11/06/2025

Project: Spirit Plaza

Design Review Meeting: 11/05/2025

Address: 1 E Jefferson Avenue

Staff: Russell Baltimore (baltimore@detroitmi.gov), Natasha Vemulkonda (natasha.vemulkonda@detroitmi.gov)

Year structure built: N/A

Applicant: Juliana Fulton (fultonj@detroitmi.gov)

Project Scope Under Review: LAND USE

Project Summary: The Spirit Plaza renovation includes repaving and resurfacing, installation of artificial turf and poured-in-place (PIP) surfacing, addition of playscapes and an entertainment stage, and designated areas for seating and food truck vendors. Shipping containers are intended to be placed on the site for storage purposes; portable restrooms will also be provided.

Design Review Guiding Principles:

- ✓ IN COMPLIANCE
- ✗ NOT IN COMPLIANCE
- ⊘ NOT APPLICABLE
- 🔄 MORE INFORMATION NEEDED

- ⊘ **1. Historic Preservation:** The intent of development is to preserve existing structures and complement the urban fabric through a thoughtful and intentional approach to design.

- 🔄 **2. Activate the Public Realm & Provide Necessary Utilities:** All projects shall build upon the walkable environment, providing a transparent and interactive building frontage and ground level meant to intrigue pedestrians through design and active uses.

- Clarify: What is the proposed screening? How are smells kept from traveling towards swings/food truck area?
 - Placement of porta-johns is tough. Is behind swings and adjacent to food trucks the best location for these?
- Clarify: Is there enough queuing space for food truck lines?
- Furniture used in temporary seating areas and plazas should be moveable or integrated into temporary barriers.
- Provide compliant trash containers and specify their location.
- Platforms or grade changes should be ADA accessible.
- Utility Access – Manhole covers, electrical transformers, street drains, and other utilities cannot be blocked by furniture.
- Follow **Universal Design Principles** of Equitable Use, Flexibility in Use, Simple and Intuitive Use, Perceptible Information, Tolerance for Error, Low Physical Effort, and Appropriate Size and Space for Approach and Use, when designing outdoor spaces.
- Outdoor cafes or seating areas are limited in width to the frontage of the business with which they are associated.
- Street murals design should avoid pedestrian paths of travel and should not impact existing street parking or traffic control indicators, such as crosswalks, lane lines, regulatory signs, etc.
- Street mural designs should not include any shapes or colors that could be perceived as traffic control indicators or be mistaken for directions to the roadway user or pedestrian.
- Street mural colors must be non-retro-reflective and must not resemble existing traffic control devices.
- Street mural designs should not invite pedestrians to linger or be distracted in the street.
- Street mural paint must be skid resistant.
- Traffic flow – Seating areas and plazas must not interfere with existing vehicular and pedestrian traffic flow. Clarify: Are these bollards removable for food truck access? A 6' clear, accessible pedestrian path must be maintained on the sidewalk, unobstructed by planters or furnishings. A 48" clear path to the front door of the establishment must also be provided.

- ✓ **3. Appropriate Density:** Any new development shall be appropriate in scale with surroundings.
 - The proposed design does not need to replicate the existing neighboring structures but should be generally compatible in scale, massing, material, color, texture, and tone.
 - New developments should promote livability, walkability, and transportation efficiency.

- 🔄 **4. Building Form and Material:** The site shall incorporate sound urban design and established development principles. The built environment shall provide interesting building typologies of varied architectural styles and complements, not mimic, the nature of the existing urban fabric.
 - Submit drawings illustrating the treatment of these containers. How can their placement serve as a precedent for appropriate use? Consult BSEED regarding requirements for the use of shipping containers. Utilize a combination of cladding & artwork.
 - Consider adding vegetative screening with arborvitae in planter boxes in addition to the treatments to further conceal the containers from view outside the plaza.
 - Are shipping containers the most effective/appropriate elements for storage in this project? Consider an alternative for storage.
 - Carefully consider the contextual appropriateness, physical properties, and the long-term durability of the selected materials for your development.
 - Selected materials should be compatible with the specific environmental, cultural, and aesthetic conditions of the surrounding area.
 - Maintain consistent contextual street wall setbacks.
- 🔄 **5. Maintain/Integrate the Street Grid & Meet Zoning Requirements:** Many city blocks have been combined into superblocks or developments built facing inwards. The goal is for new development to be directly integrated into the existing street grid - not to create an isolated development site.
 - Contact DPW for right-of-way improvements.
 - Contact BSEED and DTE for public utility coordination.
- 🔄 **6. Street Frontage:** All new construction shall be designed along the front lot line of the property adjacent to the public right-of-way. Parking shall not be provided between the building's street frontage and the street edge.
 - When using shipping containers, consider how they are viewed from the right-of-way. Treat containers and consider vegetative screening.
- 🔄 **7. Pedestrian Experience:** Where appropriate, alleyways will serve as the main point of automotive ingress and egress. Curb cuts onto public right-of-way will be minimized or obsolete to provide a safe, walkable, pedestrian oriented street design.
 - Explore opportunities to stain the concrete with a lighter shade/brighter color or incorporate ground murals.
 - Incorporate pavers and curb-less paths, narrow the road width when possible, and remove street parking to accommodate pedestrian travel.
 - Apply **Universal Design Principles** to ensure access for all when designing outdoor spaces.
- 🔄 **8. Parking, Access & Security:** All on-site parking should be appropriately landscaped or be screened from view, preferably developing the edges of the parking lot site with new construction and landscaping to shield the parking area from view.
 - Are the proposed bollards removable for food truck access?
- 🔄 **9. Buffering of Negative Uses:** Expand the use of green belts and natural buffer zones to protect residential areas from commercial and industrial areas which are environmentally detrimental to nearby residential neighborhoods.
 - In addition to the provided planters, can more natural, native landscape be incorporated?
 - Explore opportunities to stain the concrete with a lighter shade/brighter color or incorporate ground murals.
 - Landscaping enhances the visual image of the City, improves property values, and alleviates the impact of noise, traffic, pollution, and visual distraction associated with certain uses.

- Creativity in landscape design is encouraged. Required trees and shrubs may be planted at uniform intervals, at random, or in groupings.
- **Minimize and screen outdoor storage, work, and loading areas.**



10. Sustainable Design: All developments should strive to embrace sustainable practices that create healthier living environments while aiming to minimize the negative impacts of the built environment and achieving long-term energy and resource efficiency as well as universal design.

- Utilize modern technology & sustainable methods when constructing new.
- Conserving and protecting water by reducing and controlling stormwater runoff.
- Use of environmentally preferable products – products made with recycled and renewable content.
- Optimizing operations and maintenance practices by using products that require less maintenance, less toxic chemicals and cleaners, and less water and energy usage.
- Provide a flexible design that anticipates and allows for future adaptation to extend the site's useful life.
- Design for the end-of-life of the structures so that building components and materials can be disassembled, reused, and/or recycled at the end of their useful life.
- Designs should promote resilience, health, and aging-in-place.
- Apply **Universal Design Principles** to site and building entrances to enhance visit-ability, ensure accessibility, and promote long-term viability for aging-in-place.

Design Review Notes:

PDD is in favor of the proposed development, however, the applicant needs to address the required comments within this review package as they progress forward with the development.

General Notes:

- The development team can contact Russell Baltimore (baltimorer@detroitmi.gov) or Natasha Vemulkonda (natasha.vemulkonda@detroitmi.gov) with questions.
- This project can proceed to Site Plan Review (SPR).

****SEE ATTACHED DESIGN SUBMITTAL PACKAGE MARK-UP FOR ADDITIONAL COMMENTS.**

SPIRIT PLAZA IMPROVEMENTS

CITY OF DETROIT -

MIKE DUGGAN, MAYOR

GENERAL SERVICES DEPARTMENT

CRYSTAL PERKINS, DIRECTOR

TIM KARL, CHIEF OF LANDSCAPE ARCHITECTURE, LLA, ALSA, CPSI

JEFF KLEIN, DEPUTY CHIEF OF LANDSCAPE ARCHITECTURE, PLA. ASLA.

LANDSCAPE ARCHITECT & PROJECT MANAGER

JOHN DERUITER PLA

VICINITY MAP



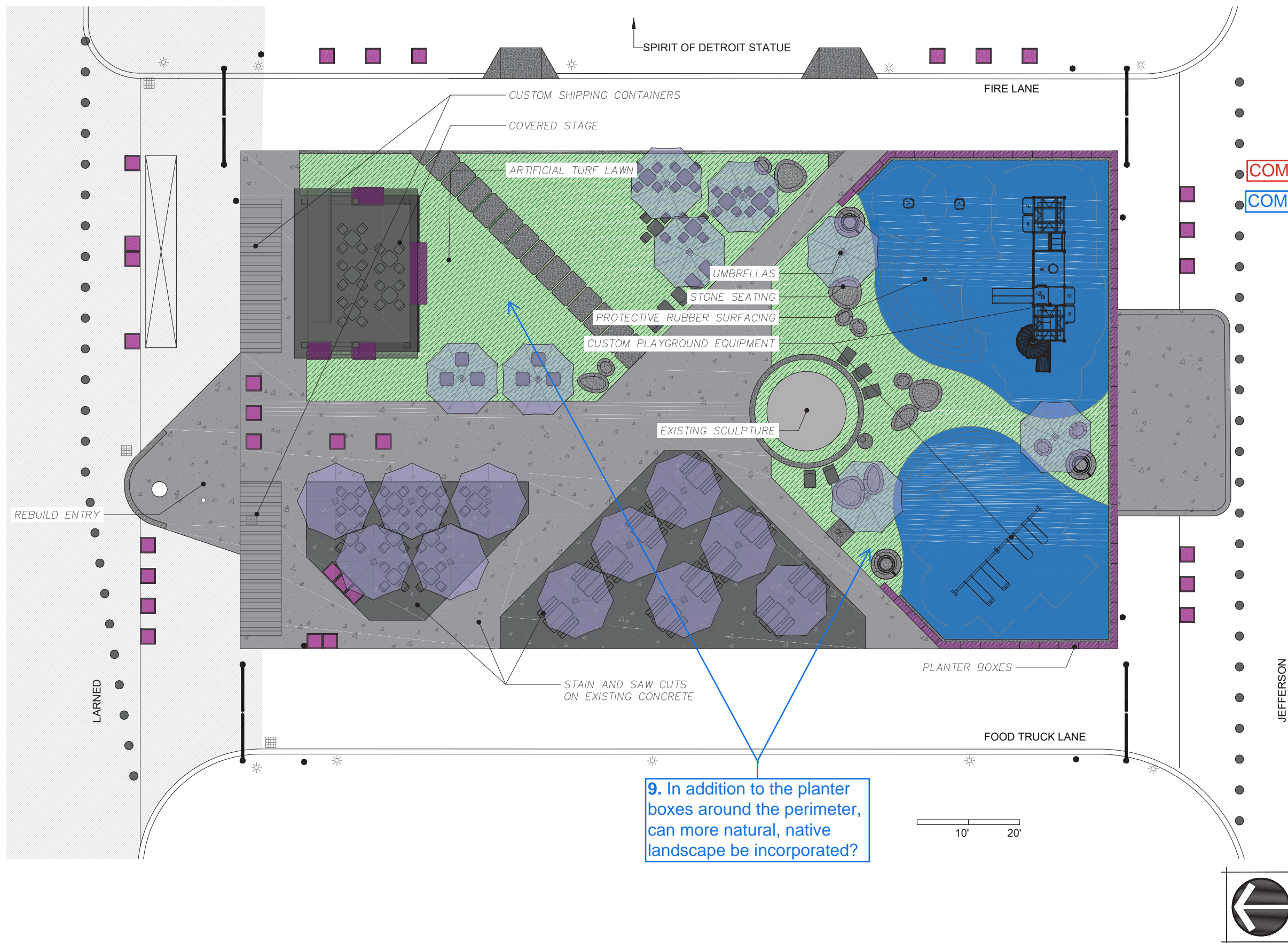
1 Woodward
Detroit, Michigan



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LANDSCAPE DESIGN UNIT
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COMMENTS IN RED ARE REQUIRED

COMMENTS IN BLUE ARE SUGGESTIONS

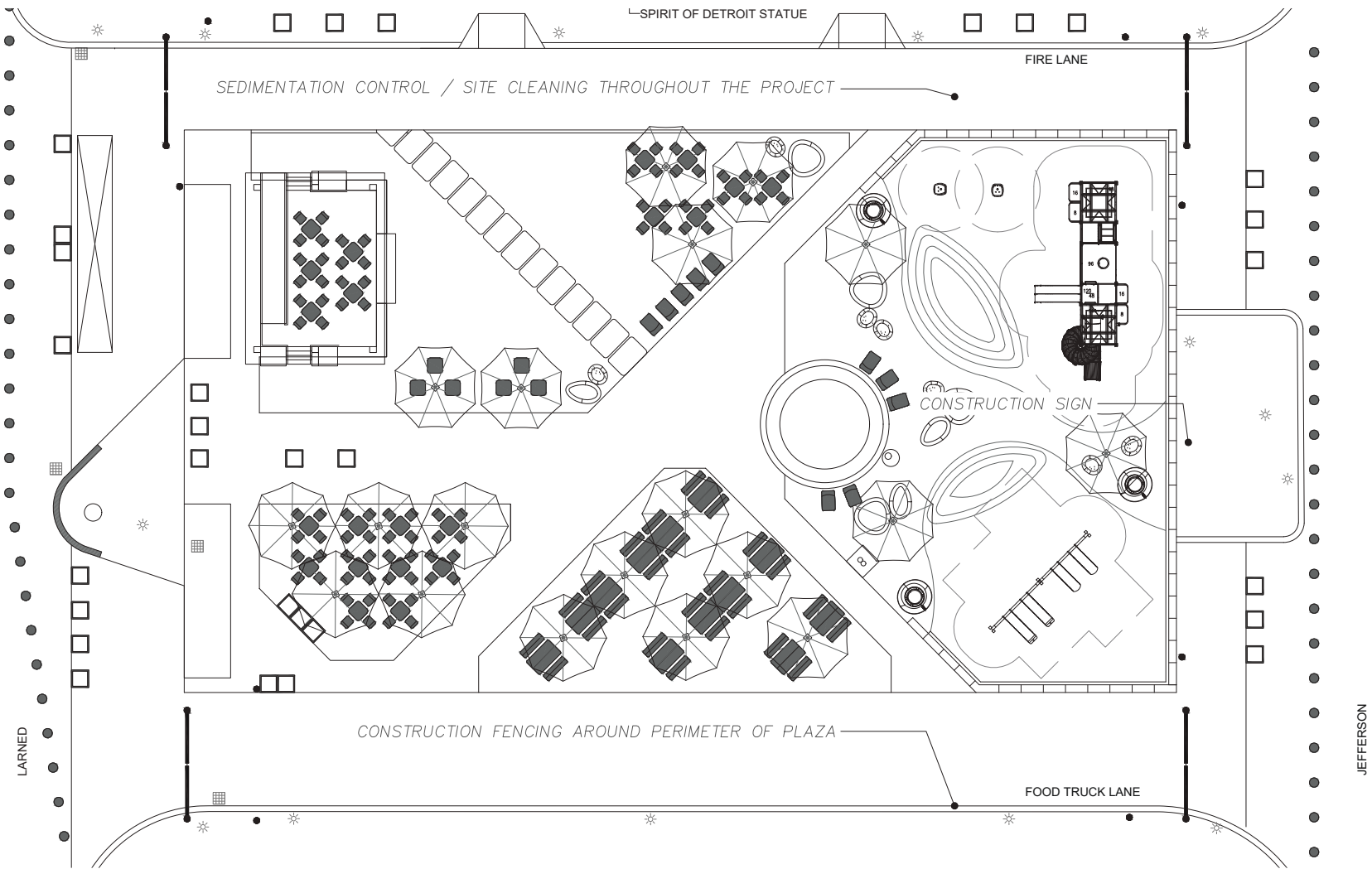


PROJECT NAME:
**SPIRIT PLAZA
IMPROVEMENTS**

DRAWN:	APPROVED:
CHECKED:	
ISSUED FOR BID	DATE 4/8/2024

SHEET TITLE:
SITE PLAN

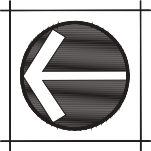
SHEET
2



QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	SITE CLEANING AND RESTORATION		LS	CONTRACTOR RESPONSIBLE FOR ALL CONSTRUCTION CONTROL MEASURES FOR DURATION OF PROJECT. AS NEEDED TO KEEP SITE AND SURROUNDING AREAS CLEAN. SITE AND SURROUNDING SIDEWALKS SHALL BE CLEANED DAILY, AS NEEDED, TO INCLUDE POWER WASHING. CONTRACTOR RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS AS A RESULT OF THIS PROJECT.
	CONSTRUCTION SIGN		LS	TEMPORARY PROJECT SIGN (4' x 8' x $\frac{3}{4}$ ") IN COLOR ON CORRUGATED CHLOROPLAST PRIOR TO CONSTRUCTION; INSTALLED ON TWO 4" x 4" POSTS SET ON GROUND ON FRAME WITH BASE. BOTTOM OF SIGN SHALL BE 42" ABOVE GRADE. GSD WILL PROVIDE FILE FOR PRINT.
	CONSTRUCTION FENCING		LS	CONTRACTOR TO PROVIDE AND MAINTAIN THROUGHOUT THE DURATION OF THE PROJECT, 6' TEMPORARY CONSTRUCTION FENCING PANELS.

GENERAL NOTES

- A. CONTRACTOR SHOULD NOT IMPACT AREAS OF THE PARK THAT ARE NOT UNDER CONSTRUCTION. ENTRANCES SHOULD BE DIRECTLY TO WORK AREAS.
- B. SOCCER FIELD IS IRRIGATED. CONTRACTOR SHALL NOT BRING HEAVY EQUIPMENT IN THOSE AREAS. CONTRACTOR RESPONSIBLE FOR ALL REPAIRS.
- C. CONTRACTOR AND GSD SHALL AGREE ON BASE CONDITIONS OF THE PARK, PRIOR TO ANY CONSTRUCTION. TO ENSURE RESTORATION RESPONSIBILITIES ARE CLEAR.



SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- A. THE GENERAL SERVICES DEPARTMENT (GSD) IS AN AUTHORIZED PUBLIC AGENCY (APA) ENTITY AND HAS BEEN GRANTED BY THE STATE OF MICHIGAN THE PRIVILEGE TO UNDERTAKE EARTH CHANGE ACTIVITIES WITHOUT HAVING TO OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL (SESC) PERMIT. THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE STATE OF MICHIGAN'S SESC LAW AND REQUIREMENTS; COMPLYING WITH ALL CONTRACT DOCUMENTS, APPROVED S.E.S.C. PLANS, PERMIT CONDITIONS THAT ENFORCES P.A. 451, PARTS 41 AND 91 SOIL EROSION AND SEDIMENTATION CONTROL OF THE NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT AND WAYNE COUNTY SOIL SEDIMENTATION CONTROL ORDINANCE NO. 2001-759.
- B. PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR MUST RETAIN A E.G.L.E. CERTIFIED STORM WATER OPERATOR (C.S.W.O.) TO PROVIDE THE REQUIRED S.E.S.C. REPORTS (WHICH INCLUDE THE WEEKLY AND STORM EVENT REPORTS AS WELL AS ALL FOLLOW UP REPORTS FOR BOTH VIOLATIONS AND STORM EVENT CORRECTIONS) ON THE STANDARD E.G.L.E. FORM. THE CONTRACTOR SHALL PROVIDE THE REPORTS TO THE OWNER ON A WEEKLY BASIS, AND RETAIN THOSE REPORTS FOR THREE YEARS.
- C. PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR MUST INSTALL AND MAINTAIN ALL S.E.S.C. MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS DIRECTED BY THE OWNER, C.S.W.O., M.E.A./C.E.A. OR E.G.L.E. AT ANYTIME DURING THE LIFE OF THE CONTRACT OR UNTIL THE CITY OF DETROIT OFFICIALLY TAKES OVER RESPONSIBILITY FOR THE SITE. IMMEDIATELY PRIOR TO THE CITY OF DETROIT TAKING RESPONSIBILITY FOR THE SITE, THE CONTRACTOR WILL BE REQUIRED TO CLEAN ALL CATCH BASINS AFFECTED BY THE CONSTRUCTION, BOTH WITHIN THE CONTRACT LIMITS AND ALL SURROUNDING ROADS AND LAWN AREAS WHERE SOIL MAY HAVE SPREAD AS THE RESULT OF CONSTRUCTION ACTIVITIES.
- D. THE CONTRACTOR SHALL CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER, IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK IS NECESSARY TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
- E. CONTRACTOR RESPONSIBLE FOR WATER FROM TRENCHES AND OTHER EXCAVATION SHALL BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER
- F. IF SEDIMENT EXTENDS BEYOND THE PROJECT LIMITS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND RESTORATION OF ALL SURFACES AND UTILITY SYSTEMS TO THE CONDITION THAT EXISTED PRIOR TO THE CONTRACT AWARD.
- G. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL S.E.S.C. MEASURES ON A DAILY BASIS.
- H. ACCESS ROADS AND ADJACENT CONCRETE PATHWAYS SHALL BE MAINTAINED BROOM CLEAN AT ALL TIMES, AT THE END OF EACH CONSTRUCTION DAY BY CONTRACTOR.
- I. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COVER EXISTING INLETS WITH PROPER PROTECTIVE FABRIC, WITHIN THE WORK ZONE.
- J. SHOULD VIOLATIONS BE IDENTIFIED BY THE CITY, C.S.W.O., M.E.A./C.E.A. OR E.G.L.E., THEY SHALL BE CORRECTED WITHIN 24 HOURS OF NOTIFICATION. THE CORRECTION(S) MUST BE APPROVED BY THE CITY, C.S.W.O., M.E.A./C.E.A. OR E.G.L.E. ALL SUBSEQUENT INSPECTIONS PERFORMED BY THE OWNER, C.S.W.O., M.E.A./C.E.A. OR E.G.L.E. AS A RESULT OF THE VIOLATION (AND ANY OTHER ASSOCIATED COSTS) WILL BE PAID BY THE CONTRACTOR. IF IDENTIFIED VIOLATIONS ARE NOT CORRECTED WITHIN 24 HOURS OF WRITTEN NOTICE, THE CITY WILL MAKE THE REQUIRED REPAIRS WITHOUT FURTHER NOTIFICATION, AT THE CONTRACTOR'S EXPENSE.
- K. FINES ASSESSED AS A RESULT OF THE VIOLATION FOR NONCOMPLIANCE OF THE S.E.S.C. PROVISIONS WILL BE PAID BY THE CONTRACTOR. SHOULD A "STOP WORK" ORDER FOR NONCOMPLIANCE BE ISSUED, A TIME EXTENSION REQUEST FOR THAT TIME PERIOD WILL NOT BE GRANTED (FINES COULD BE ASSESSED UP TO AND INCLUDING \$25,000 PER DAY FOR EACH VIOLATION).
- L. STRIP ALL TOPSOIL WITHIN THE LIMITS OF WORK AS INDICATED ON DEMOLITION PLAN. STOCKPILE ALL STRIPPED TOPSOIL TO LOCATION BE DETERMINED BY CITY REPRESENTATIVE PRIOR TO STRIPPING.
- M. DIRT OR MUD TRACKED ONTO PAVED AREAS SHALL BE PROMPTLY REMOVED AND CLEANED DAILY.
- N. THERE ARE NO WETLANDS ON THE PROJECT SITE OR IMMEDIATELY ADJACENT TO THE PROJECT SITE.
- O. STORM WATER FROM SUBJECT SITE WILL NOT ADVERSELY IMPACT ADJACENT PROPERTIES.
- P. ALL DISTURBED AREAS SHALL RECEIVE PERMANENT EROSION CONTROL WITHIN 5 DAYS OF FINAL GRADING.
- Q. SOIL TYPE WITHIN SITE BOUNDARIES IS "URBANIZED SOILS."



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LANDSCAPE DESIGN UNIT
115 ERSKINE ST, DETROIT MI 48201
PH: (313) 628-0900 FAX:(313) 628-0927

PROJECT NAME:

SPIRIT PLAZA
IMPROVEMENTS

DRAWN:	APPROVED:
CHECKED:	
ISSUED FOR	DATE
BID	4/8/2024

SHEET TITLE:

SITE PREP AND
CLEANING

SHEET

3



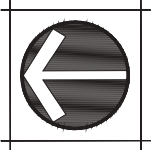
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QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	CONCRETE REMOVAL	2500	SF	REMOVE AND PROPERLY DISPOSE OF CONCRETE AND ANY ASSOCIATED BASE MATERIAL. APPROX. 6" CONCRETE. STONE BASE.TO REMAIN. CLEAN SAW CUTS REQUIRED TO PRESERVE EXISTING CONCRETE.
	PLAYGROUND TURF REMOVAL	1500	SF	INCLUDES REMOVAL OF ARTIFICIAL TURF WITH COMPACTED STONE MOUNDS BENEATH.
	PLAYGROUND RUBBER SURFACING REMOVAL	3500	SF	REMOVAL OF APPROXIMATELY 3000 SF RUBBER PLAYGROUND TILES. GLUED TO CONCRETE.
	PLAYGROUND EQUIPMENT REMOVAL		LS	REMOVAL AND DISPOSAL OF ALL SURFACE MOUNTED PLAY PIECES. (CLIMBING BLOCK, SWINGS, SPINNER.) MUSICAL INSTRUMENTS TO BE SALVAGED.

	ROADWAY REMOVAL (UNDER PLAYGROUND, AND NEAR LARNED)	6000	SF	REMOVAL AND DISPOSAL OF REMAINING ROADWAY SURFACING. ASPHALT OVER CONCRETE BASE. APPROXIMATELY 12"
	PLANTER BOX DISPOSAL		LS	REMOVAL AND DISPOSAL OF ALL EXISTING PLANTER BOXES ON SITE. INCLUDES APPROXIMATE (25) 3' X 3' X 3' BOXES AND (40) 4' X 4' X 16" BOXES.
	SHIPPING CONTAINER RELOCATION		LS	CONTRACTOR TO HAVE EXISTING SHIPPING CONTAINER RELOCATED TO 5650 CONNER (CHANDLER PARK SERVICE YARD)

GENERAL NOTES

- A. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING, TO DETERMINE THE EXTENT OF THE WORK DEMOLITION AND CONSTRUCTION (WHETHER SHOWN ON THE DRAWINGS OR NOT).
- B. EXISTING MATERIALS/ITEMS TO BE SALVAGE BY CONTRACTOR SHALL BE STOCKPILED OR STORED IN APPROVED LOCATIONS BY CITY REPRESENTATIVE AND RELOCATED. CONTRACTOR TO PROTECT ALL MATERIALS DESIGNATED TO REMAIN AND SOLELY RESPONSIBLE FOR REPLACEMENT OF ANY MATERIALS THAT BECOME DAMAGED DURING CONSTRUCTION. THE EXTENT OF REPLACEMENT/REPAIR OF DAMAGED MATERIALS/ITEMS SHALL BE DETERMINED BY CITY REPRESENTATIVE.
- C. THE CONTRACTOR SHALL REMOVE AND CLEAR DEBRIS FROM OFFSITE IN A LEGAL MANNER.
- D. CONTRACTOR SHALL COORDINATE THE PICK UP OF EXISTING STAGE, TABLES, AND OTHER ITEMS IN THE PLAZA WITH GSD PARK DEVELOPMENT. I.E. ONCE NEW ITEMS ARRIVE, NOTIFY CITY TO PICK UP.
- E. CONTACT MISS DIG 72 HOURS PRIOR TO ANY DEMOLITION.



PROJECT NAME:

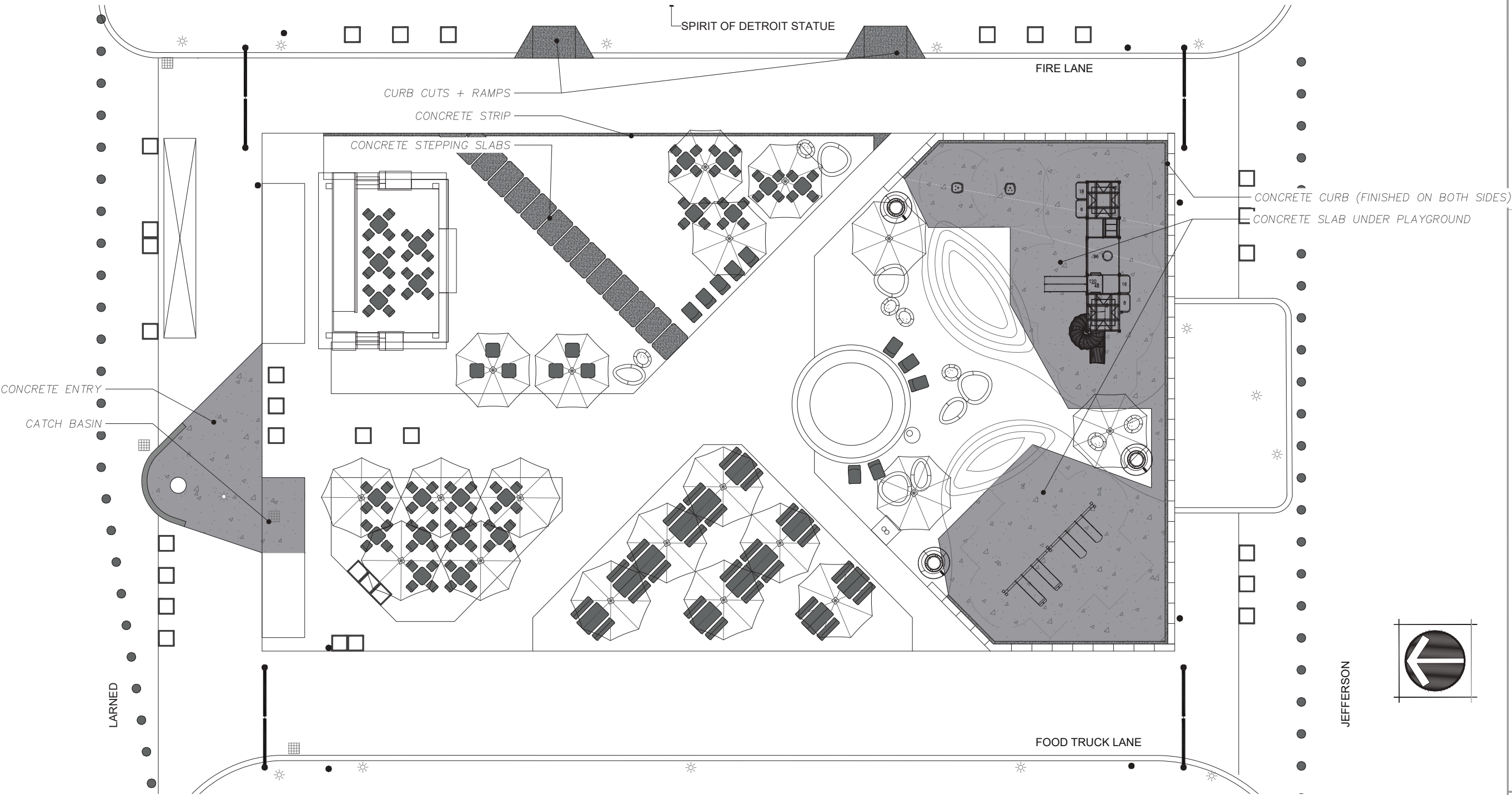
SPIRIT PLAZA IMPROVEMENTS

DRAWN:	APPROVED:
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SHEET TITLE:

REMOVALS

SHEET



QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	CONCRETE STRIP	75	LF	INSTALL CONCRETE STRIP PER PLAN AND DETAIL.
	CONCRETE STEPPING SLABS	300	SF	INSTALL CONCRETE SLABS PER PLAN AND DETAIL
	CONCRETE CURB	200	LF	INSTALL CONCRETE CURB 6" - FINISHED BOTH SIDES.

	CONCRETE SLAB UNDER PLAYGROUND	3000	SF	INSTALL SLAB UNDER PLAYGROUND PER PLAN AND DETAIL. 6" WITH REINFORCEMENT.
	CURB CUTS + RAMPS	150	SF	INSTALL CURB CUTS AND RAMPS TO EXISTING CITY SIDEWALK AS SHOWN ON PLAN.
	CATCH BASIN		LS	PROVIDE \$20,000 ALLOWANCE FOR REBUILDING OF CATCH BASIN. DESIGNED TO WORK BENEATH SHIPPING CONTAINER. ENGINEERING PER GSD.
	CONCRETE ENTRY	500	SF	INSTALL CONCRETE ENTRY, WITH CURB. PER DPW STANDARDS.



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SPIRIT PLAZA
IMPROVEMENTS

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BID	4/8/2024

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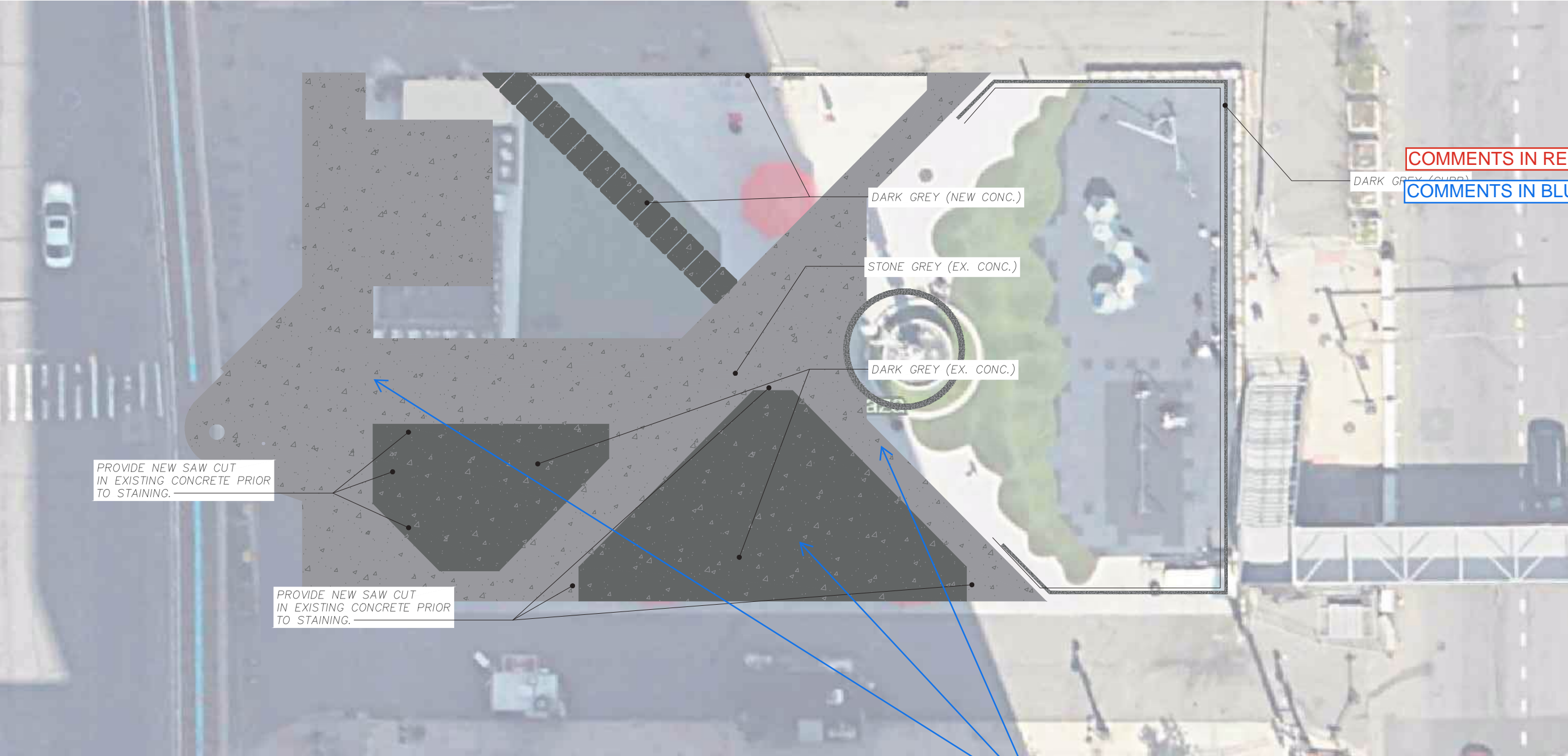
CONCRETE



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COMMENTS IN BLUE ARE SUGGESTIONS



QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	CONCRETE STAIN (LIGHT)	2500	SF	PROVIDE AND APPLY SCOFFIELD REVIVE EXTERIOR STAIN AND SEALER - STONE GREY 5183
	CONCRETE STAIN (DARK)	5500	SF	PROVIDE AND APPLY SCOFFIELD REVIVE EXTERIOR STAIN AND SEALER - DARK GREY C34

7./9. Explore opportunities to stain the concrete with a lighter shade/brighter color or incorporate ground murals



Happy Decay - Bendigo Rosalind Park: Victoria, Australia

PROJECT NAME:

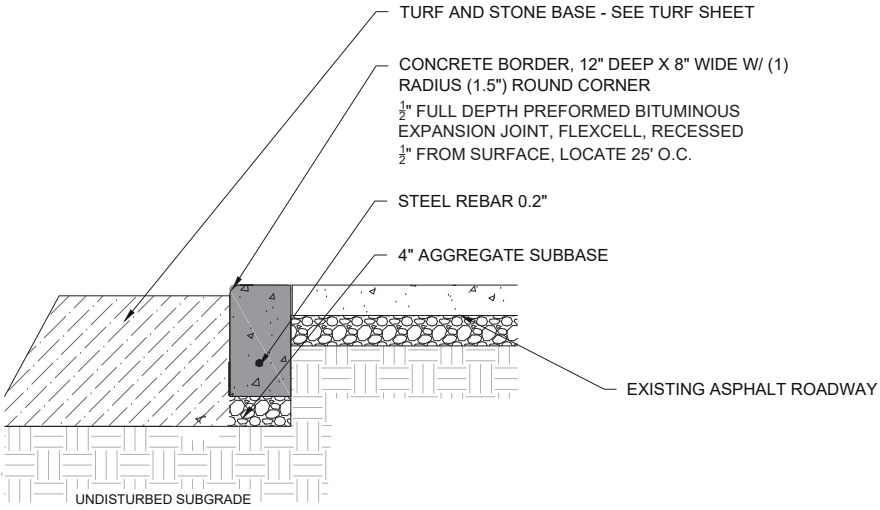
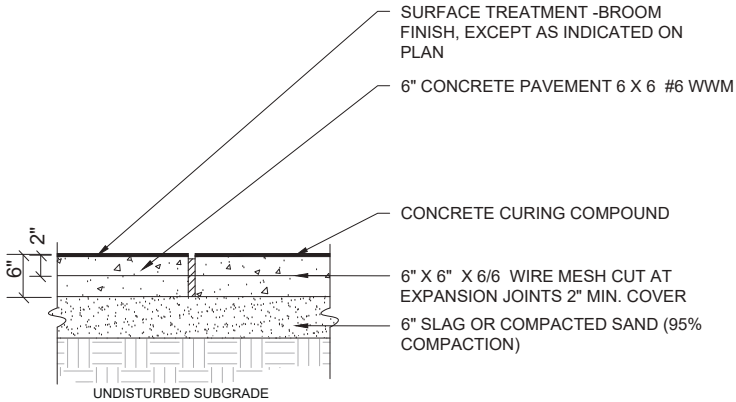
SPiRiT PLAZA
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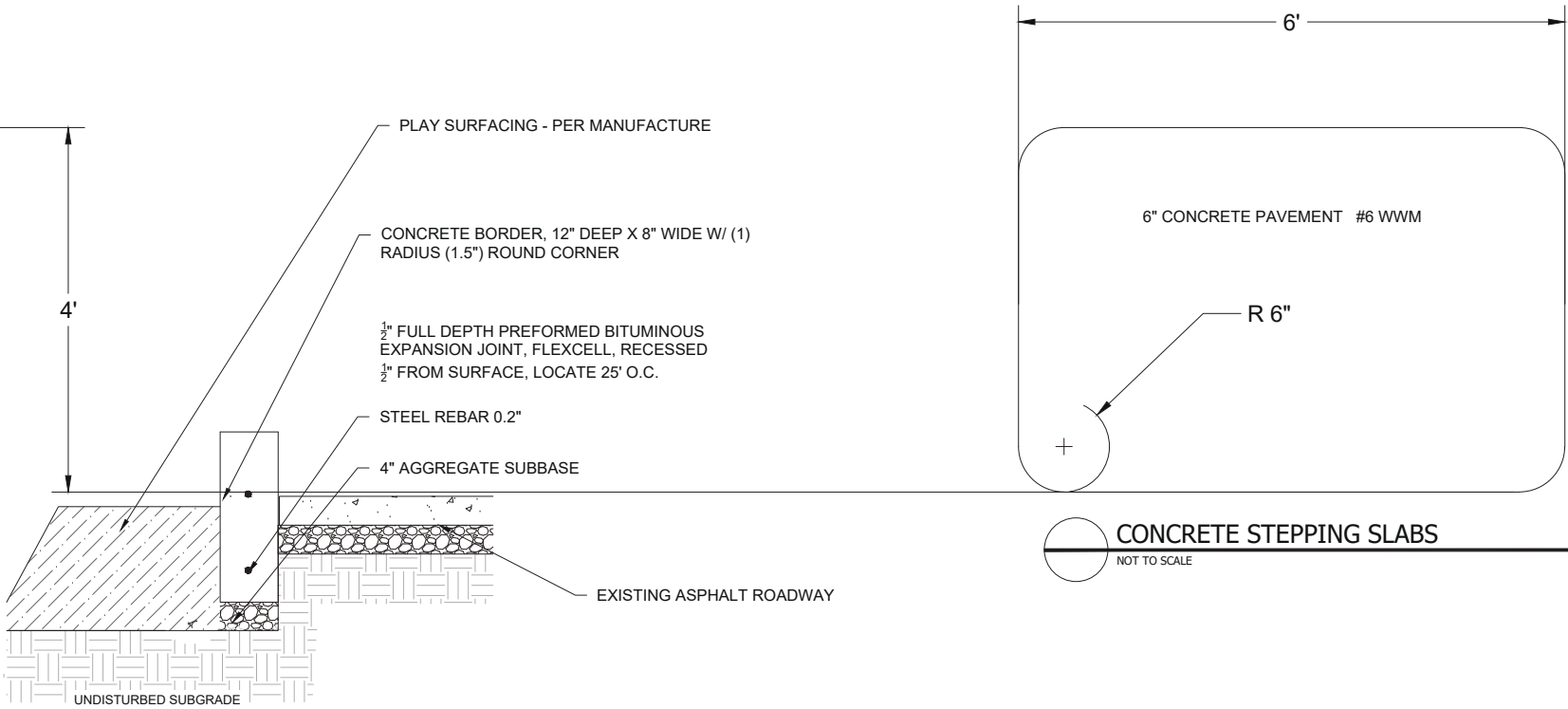
CONCRETE STAINING

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7 6" REINFORCED CONCRETE PAVEMENT
L5,04 NOT TO SCALE

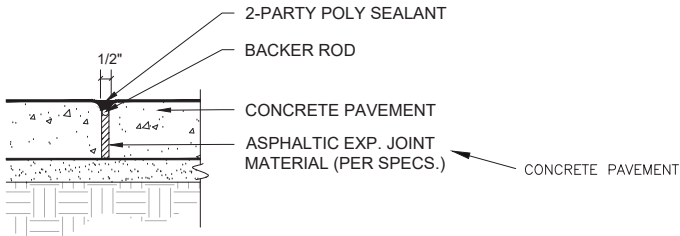
CONCRETE STRIP
NOT TO SCALE



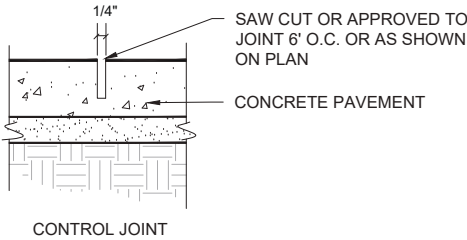
CONCRETE CURB
NOT TO SCALE

GENERAL NOTES

- CONCRETE TO BE INSTALLED TO STANDARD GSD SPECIFICATIONS AND DETAILS
- AREAS WHERE AMENITIES ARE TO BE SURFACE MOUNTED SHALL BE THICKENED TO 6"
- CONTRACTOR RESPONSIBLE FOR ALL NECESSARY GRADING AND EXCAVATION.
- SPOILS MAY BE GRADED INTO THE SITE WITH THE DIRECTION OF THE LANDSCAPE ARCHITECT, OR HAULED OFF SITE. AS THE CONTRACTOR DECIDES.
- ANY SPOILS GRADED INTO THE SITE SHALL BE FINE GRADED, SEEDED AND FERTILIZED
- CONTRACTOR RESPONSIBLE FOR DETERMINING FINAL GRADE AND ELEVATION OF THE PATH AND PLAZAS.
- FINAL LAYOUT SHOULD BE DETERMINED IN THE FIELD WITH THE LANDSCAPE ARCHITECT.
- CONTRACTOR RESPONSIBLE FOR ALL CUT AND FILLS REQUIRED TO CREATE A SMOOTH AND PROPERLY DRAINED SURFACE. NO GRADE CHANGE OVER 4% IS ALLOWABLE.
- CONTRACTOR WILL AVOID LOW SPOTS, OR FILL AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING, TO ENSURE THEY HAVE A COMPLETE UNDERSTANDING OF ALL EARTHWORK NECESSARY TO COMPLETE THE PROJECT.



EXPANSION JOINT



CONTROL JOINT

CONTROL/EXPANSION JOINTS
NOT TO SCALE



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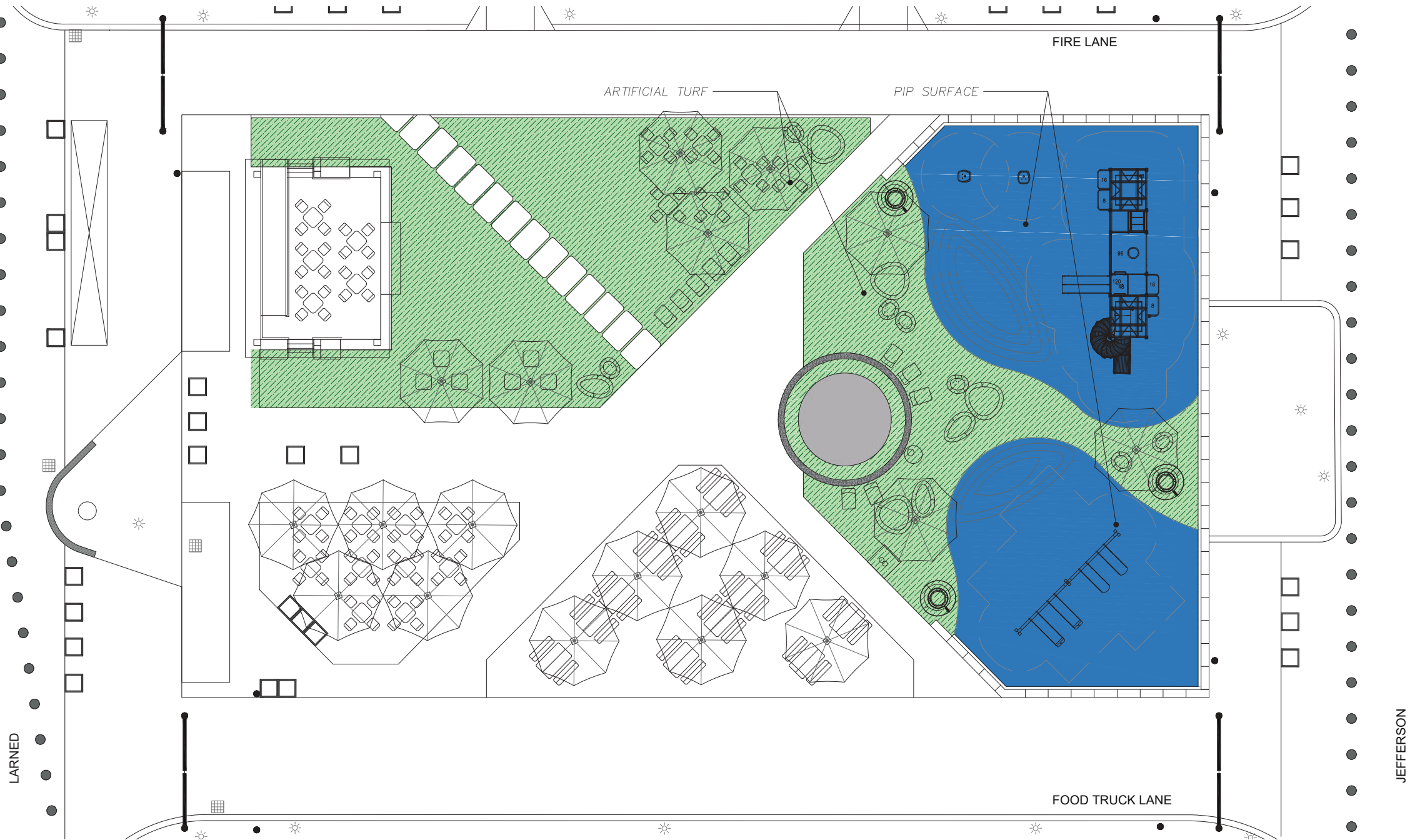
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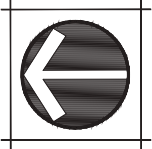
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CONCRETE DETAILS

SHEET

7



QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	ARTIFICIAL TURF	5000	SF	INSTALL FOREVER LAWN OHIO MODEL DETROIT SPIRIT PLAZA. TO INCLUDE COMPACTED AGGREGATE BASE. PER MANUFACTURES SPECIFICATIONS.
	POURED IN PLACE (PIP) PROTECTIVE RUBBER SURFACING	3500	SF	INSTALL POURED IN PLACE PROTECTIVE SURFACING PER MANUFACTURES AND GSD SPECIFICATIONS. (INCLUDES COMPACTED STONE MOUNDS COVERED WITH PIP).



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LANDSCAPE DESIGN UNIT
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PH: (313) 628-0900 FAX:(313) 628-0927

PROJECT NAME:

SPIRIT PLAZA
IMPROVEMENTS

DRAWN:	APPROVED:
CHECKED:	
ISSUED FOR	DATE
BID	4/8/2024

SHEET TITLE:

SURFACING



GENERAL SERVICES DEPARTMENT
LANDSCAPE DESIGN UNIT
115 ERSKINE ST, DETROIT MI 48201
PH: (313) 628-0900 FAX: (313) 628-0927

COMMENTS IN RED ARE REQUIRED

COMMENTS IN BLUE ARE SUGGESTIONS

COMMENTS IN PURPLE ARE PRECEDENTS

4. Are shipping containers the most effective/appropriate elements for storage in this project? Consider an alternative for storage.

6. When using shipping containers, consider how they are viewed from the right-of-way. Treat containers and consider vegetative screening.

9. Consider adding vegetative screening with arborvitae in planter boxes in addition to the treatments to further conceal the containers from view outside the plaza.

4. Submit drawings illustrating the treatment of these containers. How can their placement serve as a precedent for appropriate use? Consult BSEED regarding requirements for the use of shipping containers. Utilize a combination of cladding & artwork.

QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	SHIPPING CONTAINER #1		LS	SUPPLY AND INSTALL CUSTOM 30' SHIPPING CONTAINER. TO INCLUDE SWINGING DOORS ON EACH END.
	SHIPPING CONTAINER #2		LS	SUPPLY AND INSTALL CUSTOM 30' SHIPPING CONTAINER. TO INCLUDE INTERIOR PARTITION, FOR 2 COMPARTMENTS.



XAVI



Shane Walker Artwork

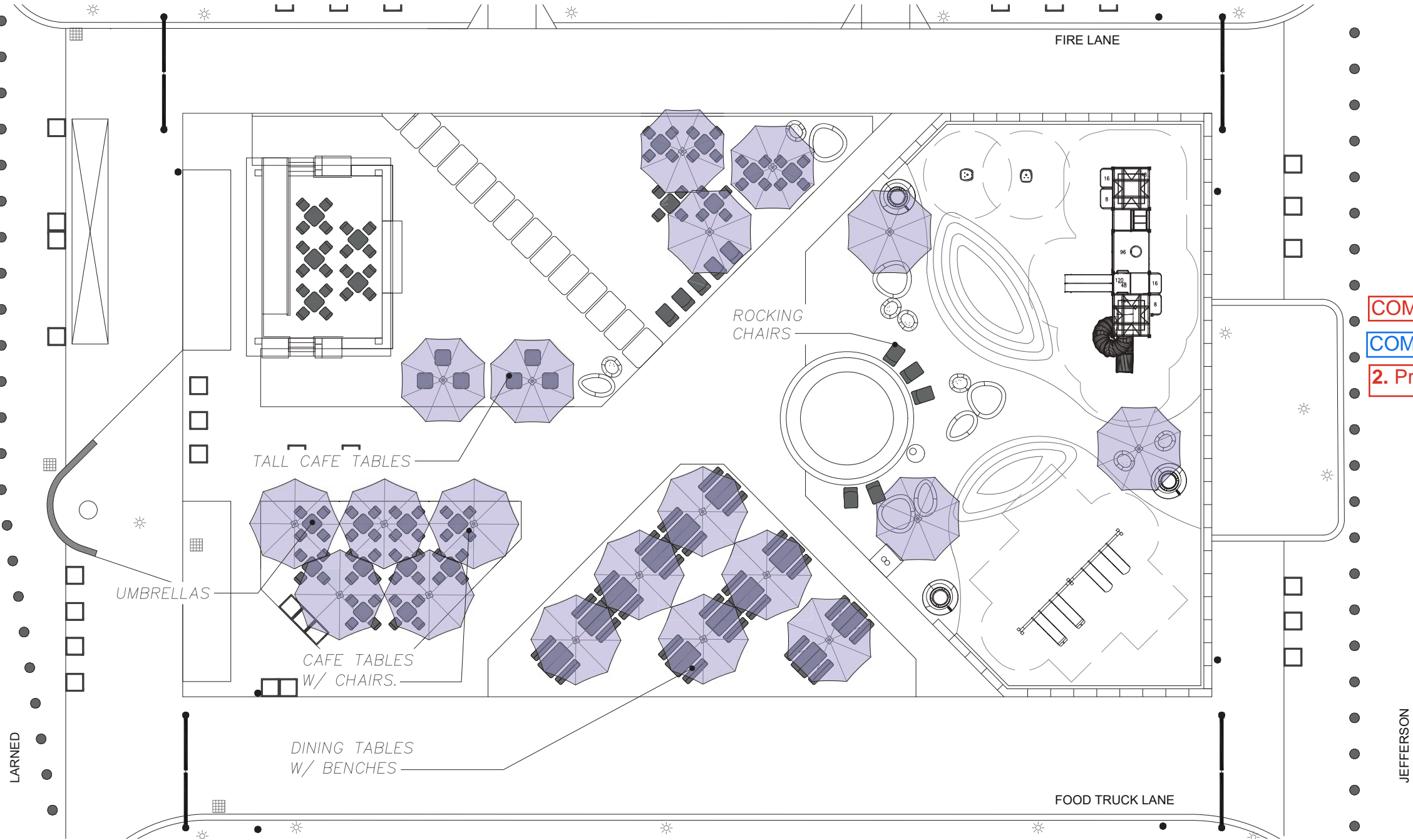
Shipping container mural & cladding precedents

PROJECT NAME:
SPIRIT PLAZA IMPROVEMENTS

DRAWN:	APPROVED:
CHECKED:	
ISSUED FOR BID	DATE 4/8/2024

SHEET TITLE:
CONTAINERS

SHEET
9



GENERAL SERVICES DEPARTMENT
LANDSCAPE DESIGN UNIT
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PH: (313) 628-0900 FAX:(313) 628-0927

COMMENTS IN RED ARE REQUIRED

COMMENTS IN BLUE ARE SUGGESTIONS

2. Provide compliant trash containers

QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	UMBRELLAS	10		SUPPLY AND INSTALL BAHAMA UMBRELLA MODEL #C3045M 14' 10" ROUND JUMBRELLA
	UMBRELLA MOUNTS	10		SUPPLY AND INSTALL UMBRELLA MOUNTS. PER MANUFACTURERS SPECIFICATIONS. NOT SHOWN ON PLAN. TO BE INSTALLED AS CORES INTO EXISTING CONCRETE. EXACT LOCATIONS TO BE DETERMINED.

	UMBRELLA MEMBRANE	20		SUPPLY AND INSTALL BAHAMA UMBRELLA ROUND MEMBRANE 14' X 10'
	DINING TABLES	12		SUPPLY AND INSTALL FERMOB USA - LUXEMBOURG TABLE 65" X 39"
	CAFE TABLES	21		SUPPLY AND INSTALL FERMOB USA - LUXEMBOURG PEDESTAL TABLE 31" X 31"
	TALL CAFE TABLES	9		SUPPLY AND INSTALL FERMOB USA - LUXEMBOURG HIGH PEDESTAL TABLE 31.5" X 31.5"

	CHAIRS	80		SUPPLY AND INSTALL FERMOB USA - LUXEMBOURG SIDE CHAIR
	BENCHES	42		SUPPLY AND INSTALL FERMOB USA - LUXEMBOURG BENCH 57"
	ROCKING CHAIRS	10		SUPPLY AND INSTALL FERMOB USA - LUXEMBOURG ROCKING CHAIR

NOTE: THERE ARE TEN EXISTING UMBRELLAS THAT ARE TO REMAIN IN PLACE. CONTRACTOR REQUIRED TO PURCHASE AND REPLACE MEMBRANE ON ALL UMBRELLAS, NEW AND EXISTING.

PROJECT NAME:

SPIRIT PLAZA
IMPROVEMENTS

DRAWN:

APPROVED:

CHECKED:

ISSUED FOR

DATE

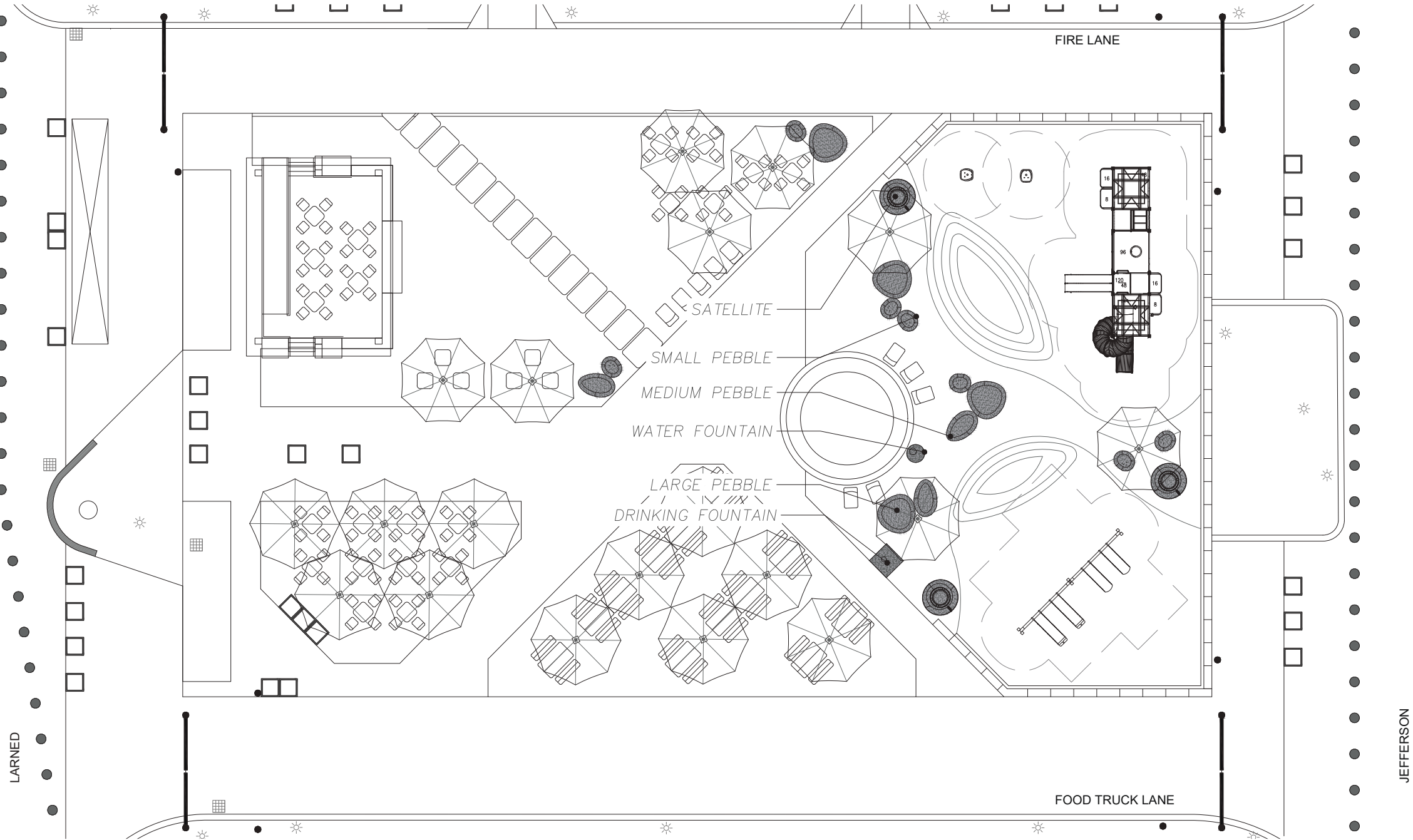
BID

4/8/2024

SHEET TITLE:

AMENITIES

SHEET



QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	SMALL PEBBLES	7	SF	SUPPLY AND INSTALL LANDSCAPE FORMS - ESCOFET. "SMALL PEBBLE"
	MEDIUM PEBBLES	3		SUPPLY AND INSTALL LANDSCAPE FORMS - ESCOFET. "MEDIUM PEBBLE"
	LARGE PEBBLES	4		SUPPLY AND INSTALL LANDSCAPE FORMS - ECOFET. "LARGE PEBBLE"
	SATELLITES	3		SUPPLY AND INSTALL LANDSCAPE FORMS - ESCOFET. "SATELLITE"

	WATER FOUNTAIN	1		SUPPLY AND INSTALL LANDSCAPE FORMS - ESCOFET.WATER FOUNTAIN "RURAL". PEA STONE DRAIN.
	DRINKING FOUNTAIN	1		SUPPLY AND INSTALL MOST DEPENDABLE FOUNTAINS: SM 10155 WITH BOTTLE FILLER, HAND WASH STATION, SOAP DISPENSER. DOG BOWL, AND WHEELCHAIR HEIGHT DRINKING FOUNTAIN. PEA STONE DRAIN. PROVIDE 3 CASES OF EXTRA HAND SOAP TO BE DELIVERED TO GSD.



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PROJECT NAME:
SPIRIT PLAZA IMPROVEMENTS

DRAWN:	APPROVED:
CHECKED:	
ISSUED FOR	DATE
BID	4/8/2024

SHEET TITLE:
AMENITIES CONT.

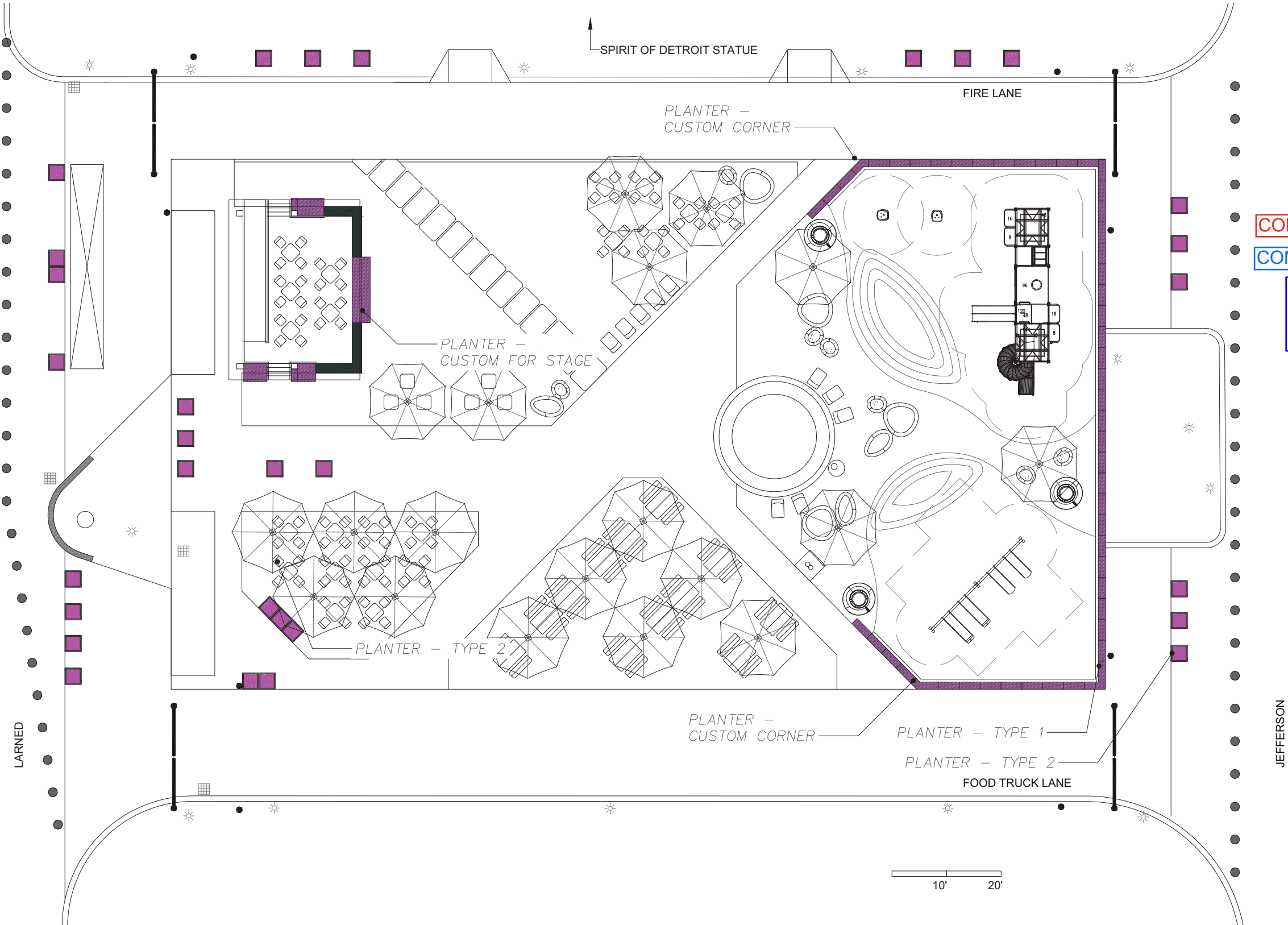


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COMMENTS IN RED ARE REQUIRED

COMMENTS IN BLUE ARE SUGGESTIONS

9. In addition to the provided planters, can more natural, native landscape be incorporated?



QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	PLANTER BOX - TYPE 1	50	SF	SUPPLY AND INSTALL PENCHURA - ANNOVA RECTANGULAR PLANTER 40" H X 16" W X 48" L, , WITH BAG FILLER AND WATER SIPPER SYSTEM. INTERLOCKING. FILL WITH PLANTING SOIL.
	PLANTER BOX - TYPE 2	30	EACH	SUPPLY AND INSTALL PENCHURA - ANNOVA SQUARE PLANTER 36" X 36" SKID MOUNTED, WITH FILLER AND WATER SIPPER SYSTEM. FILL WITH PLANTING SOIL.

	PLANTER BOX - CUSTOM CORNERS	2	EACH	SUPPLY AND INSTALL PENCHURA - ANNOVA CUSTOM PLANTER BOX AND BENCH SYSTEM FOR STAGE. FILL WITH PLANTING SOIL.
	PLANTER BOX - CUSTOM FOR STAGE		LS	SUPPLY AND INSTALL PENCHURA - ANNOVA CUSTOM PLANTER BOX AND BENCH SYSTEM FOR SPIRIT PLAZA STAGE. FILL WITH PLANTING SOIL.
	PLANTS		LS	PROVIDE \$20,000 ALLOWANCE FOR PLANT MATERIAL AND INSTALLATION.

PROJECT NAME:

SPIRIT PLAZA
IMPROVEMENTS

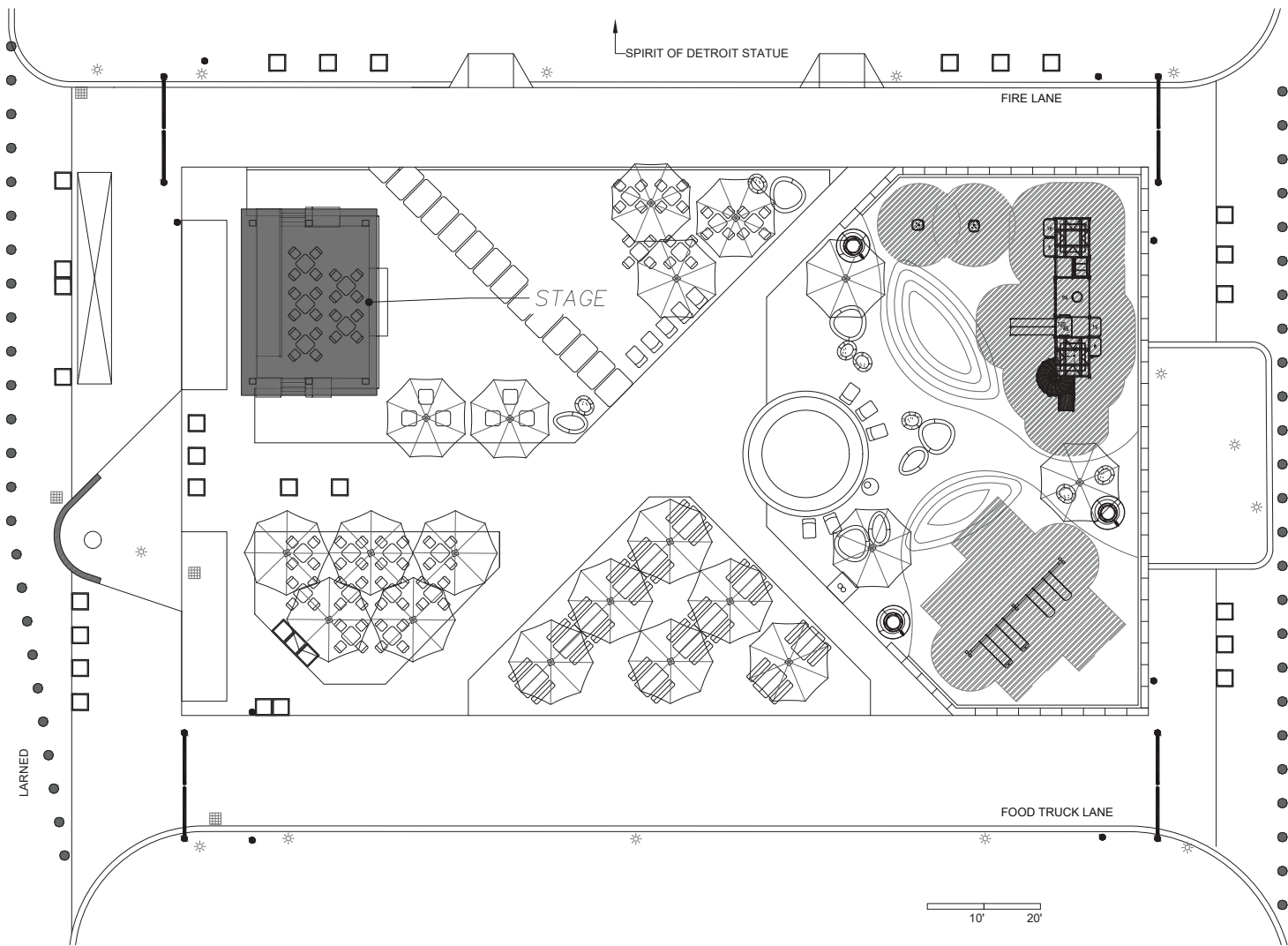
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ISSUED FOR	DATE
BID	4/8/2024

SHEET TITLE:

PLANTER BOXES

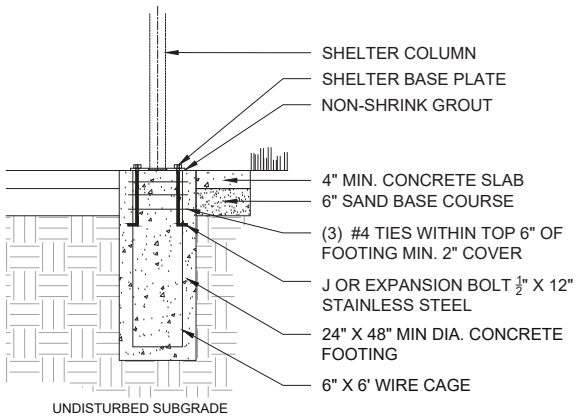
SHEET

12

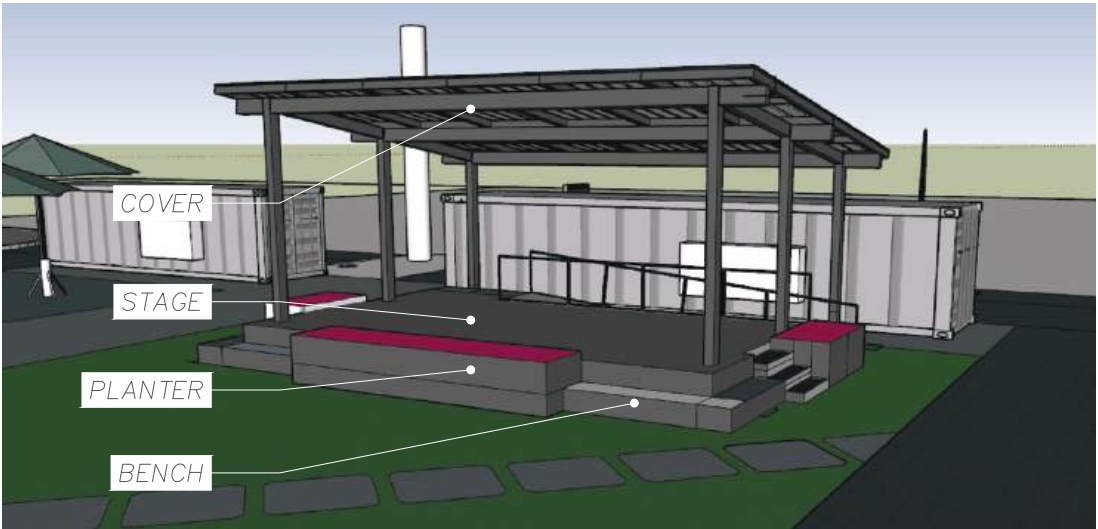
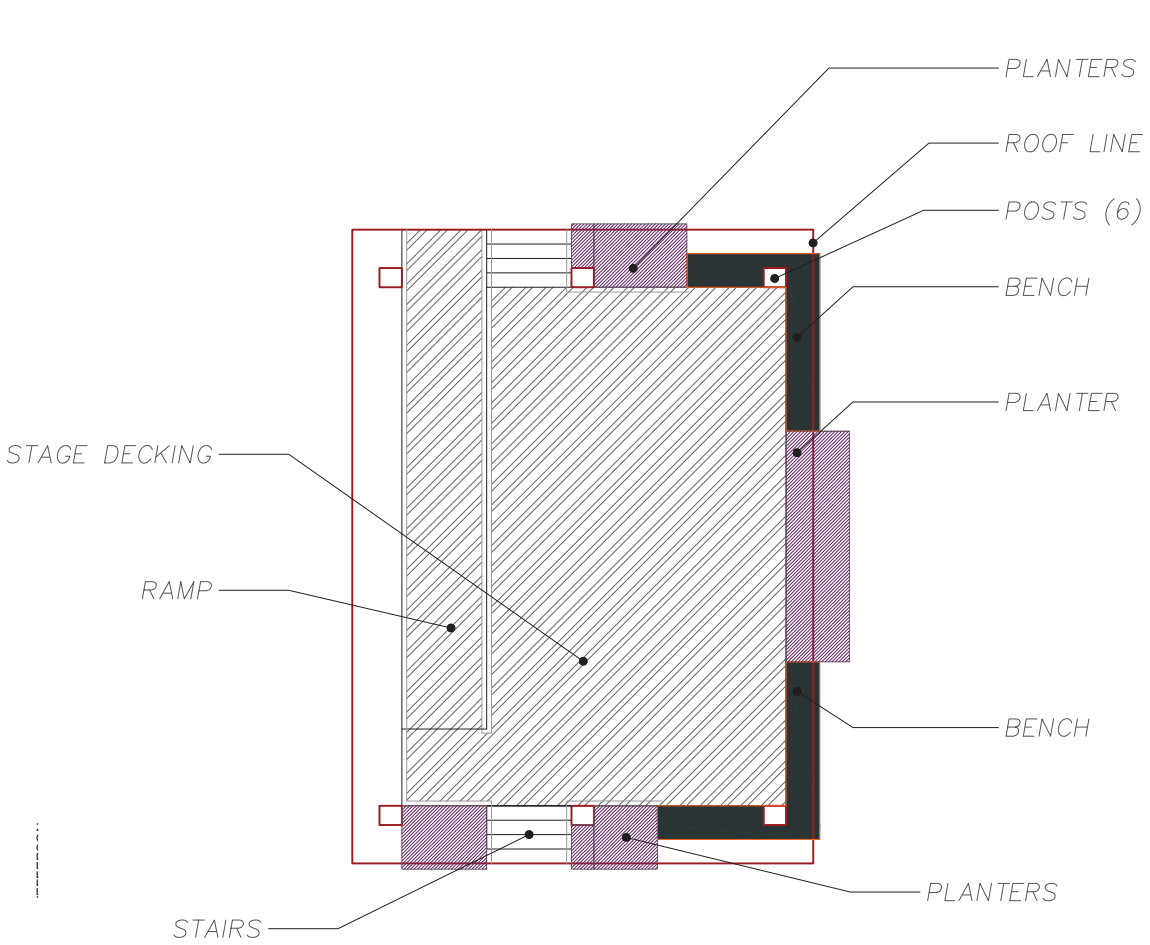


QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	STAGE		LS	SUPPLY AND INSTALL VERSADECK STAGE, MODEL DETROIT SPIRIT PLAZA - 27' X 20' W/ RAMP, STAIRS, DECKING, RAIL, ETC.
	COVER		LS	SUPPLY AND INSTALL COVERWORX SHELTER MODEL 24' X 33' MONOSLOPE, WITH REMOVABLE ROOF. TONGUE AND GROOVE.
	STAGE FOUNDATION		LS	PROVIDE \$30,000 ALLOWANCE FOR CONSTRUCTION OF FOUNDATIONS FOR THE COVERED STAGE. ENGINEERING PER GSD.

NOTE: BIDDERS SHOULD USE THE SHELTER FOOTING SHOWN TO PROVIDE PRICING. THIS SHELTER REQUIRES 6 POSTS/FOOTINGS. ALLOWANCE WILL BE USED IF FINAL ENGINEERING REQUIRES ADDITIONAL FOUNDATIONS.



SHELTER FOOTING
USE FOR BIDDING (6 POSTS) FINAL
ENGINEERING PER GSD.



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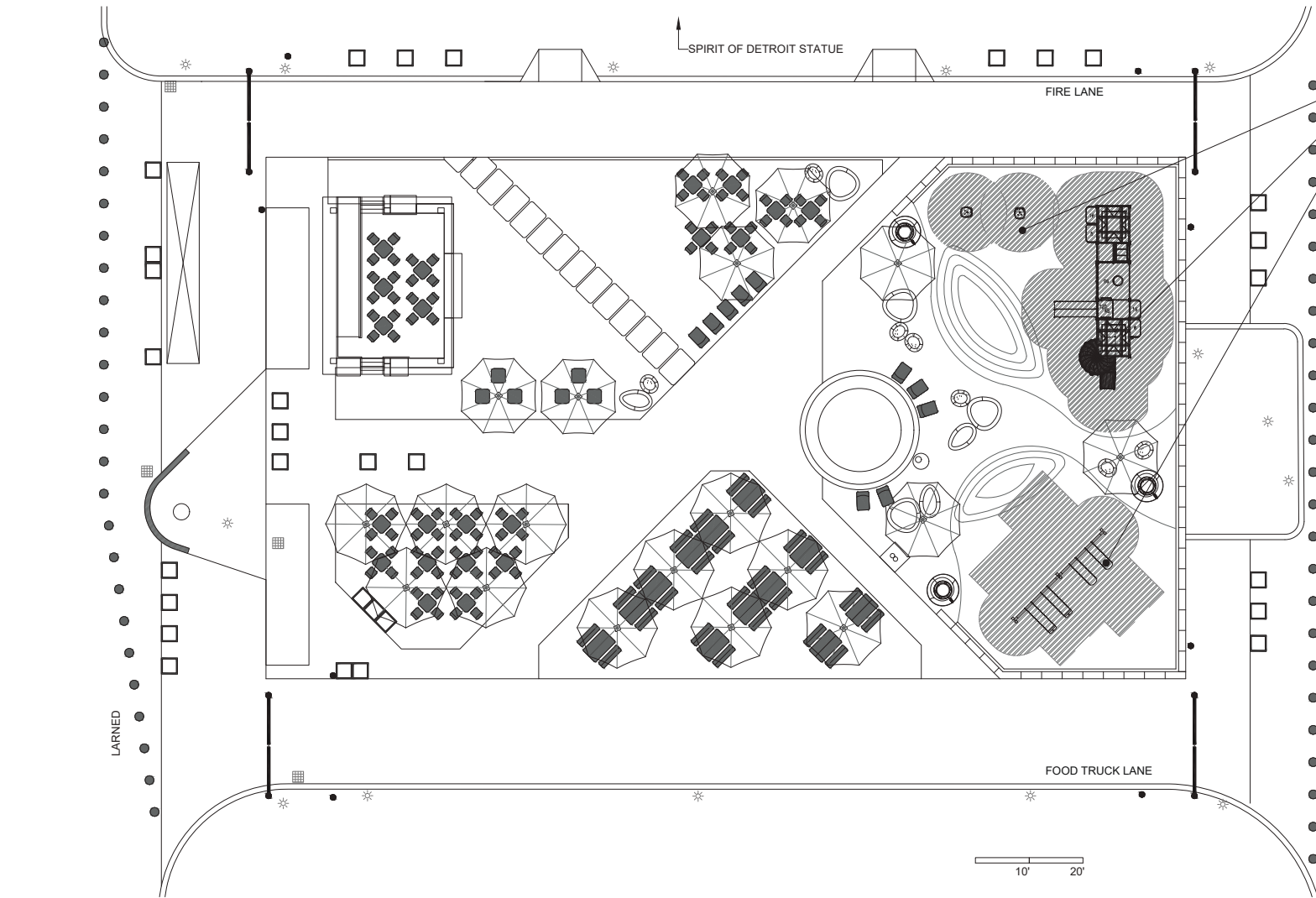
SPIRIT PLAZA IMPROVEMENTS

DRAWN:	APPROVED:
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ISSUED FOR	DATE
BID	4/8/2024

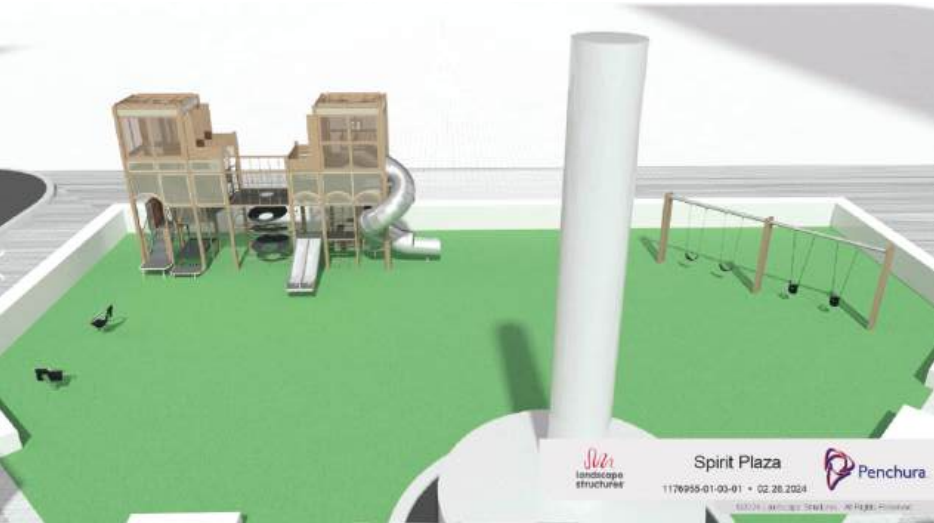
SHEET TITLE:

COVERED STAGE

SHEET



PLAY PIECES



QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	PLAYGROUND		LS	SUPPLY AND INSTALL PENCHURA - LANDSCAPE STRUCTURES INC. CUSTOM PLAY STRUCTURE - DETROIT SPIRIT PLAZA. INCLUDES, SWINGS, SPINNING SEATS, AND PLAY TOWER.

- INSTALLATION OF THIS PLAY EQUIPMENT REQUIRES CPSI TRAINED INSTALLERS.
- LAYOUT OF POSTS AND OTHER MAJOR COMPONENTS SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND AS DETAILED ON PLANS AS REQUIRED TO MEET THE REQUIRED FALL ZONE CLEARANCE SPACE AROUND EACH PLAY ELEMENT, CITY REPRESENTATIVE TO APPROVE LAYOUT. METAL SLIDES ARE TO FACE NORTH. POSTS SHALL BE SET IN CONCRETE FOOTINGS AS CALLED FOR IN MANUFACTURER'S INSTRUCTIONS, 48" MINIMUM. CONCRETE SHALL BE ALLOWED TO CURE SUFFICIENTLY BEFORE COMMENCING ASSEMBLY OF OTHER COMPONENTS.
- EXCAVATE PLAY AREA FOR INSTALLATION OF 4" PEA STONE AND 12" EWF SURFACING. PERFORATED PIPE DRAIN IN PEA STONE.
- INSTALLATION OF CONCRETE, PLAY EQUIPMENT, AND SAFETY SURFACING TO BE PERFORMED ACCORDING TO MANUFACTURER'S AND STANDARD GSD SPECIFICATIONS AND DETAILS.
- ASSEMBLE AND INSTALL PLAY EQUIPMENT COMPONENTS AND ITEMS AS SPECIFIED AND IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, AND AS LOCATED AND DETAILED ON PLANS.
- INSTALL COMPONENTS IN THE SEQUENCE AS RECOMMENDED BY MANUFACTURER.
- INSTALL PLAY STRUCTURES AND OTHER ELEMENTS, INCLUDING WEAR MATS, AS INDICATED ON THE DRAWINGS PROVIDED.
- VARIATIONS FROM THE INSTALLATION INDICATED MUST BE APPROVED.
- VARIATIONS FROM THE INSTALLATION INDICATED AND ALL COSTS FOR REMOVAL AND REPLACEMENT WILL BE AT THE COMPLETE AND TOTAL RESPONSIBILITY OF THE CONTRACTOR.
- ALL INSTALLATIONS MUST ALSO INCLUDE A LETTER FROM SUCCESSFUL BIDDER STATING THAT ALL PLAY EQUIPMENT MEETS ALL APPLICABLE STANDARDS SET FORTH BY THE U.S. CONSUMER PRODUCT SAFETY COMMISSION, THE AMERICAN SOCIETY FOR TESTING AND MATERIALS, AFTER INSTALLATION.

NOTE: PLAYGROUND IS TO BE SURFACE MOUNTED TO CONCRETE SLAB. SEE CONCRETE SHEET. FINAL ENGINEERING PER GSD AND LANDSCAPE STRUCTURES.



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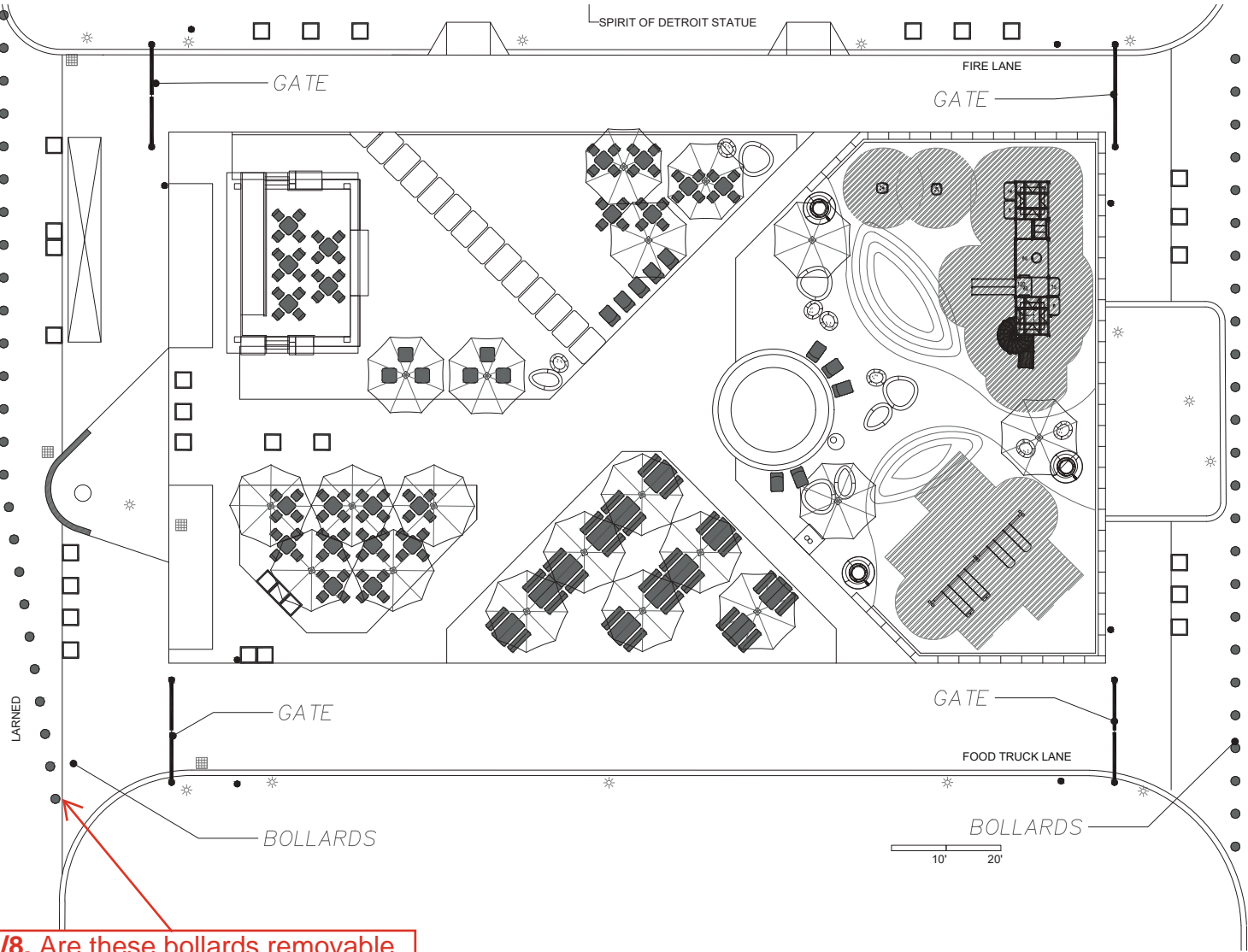
SPIRIT PLAZA IMPROVEMENTS

DRAWN:	APPROVED:
CHECKED:	
ISSUED FOR	DATE
BID	4/8/2024

SHEET TITLE:

PLAYGROUND

SHEET



2./8. Are these bollards removable for food truck access?

QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	SWINGING GATES	4	EACH	PER GSD SWINGING GATE DETAIL - 20" WELDED STEEL DOUBLE SWINGING GATE. EACH INCLUDES 4 BOLLARDS SET IN AND FILLED WITH CONCRETE. APPROXIMATELY
	FLEXIBLE ROADWAY BOLLARDS	50	EACH	FLEXIBLE DELINEATOR ROUND POST WITH BASE. 36". REFLECTIVE.

COMMENTS IN RED ARE REQUIRED

COMMENTS IN BLUE ARE SUGGESTIONS

SWING GATE PANELS
2 - 2" X 4" STEEL TUBE FRAME, HEIGHT: 2'-6"
LENGTH: APPROX. 11'-8" NOTE: ACTUAL DIMENSION DETERMINED BY SIZE/THICKNESS OF HINGE PLATE USED

GATE HINGES + HARDWARE
2 - PAIR, HEAVY-DUTY STAINLESS-STEEL PANIO-TYPE HINGES
HINGE TO BE CAPABLE OF HANDLING TWICE THE WEIGHT OF THE CANTILEVERED GATE PANEL
1-SLEEVE CAP WITH LOCKING ARM/SLOT

STEEL FINISH
ALL STEEL MATERIALS SHALL BE "HOT-DIPPED GALVANIZED"
PROVIDE FIELD APPLIED "COLD-GALVANIZED" AS-NEEDED

STEEL GATE POSTS
2 - 6" SQUARE STEEL POST, APPROX. LENGTH: 7.5'

CENTER REMOVABLE STEEL POST
1 - 4" SQUARE STEEL REMOVABLE POST
1 - 4.5" SQUARE STEEL SLEEVE WITH CONCRETE FOOTING
2 - HEAVY-DUTY STAINLESS-STEEL CHAINS, LENGTH: 2' +
WELD CENTER LINK OF CHAIN TO POST: 1-FRONT, 1-BACK 1' BELOW POST TOP

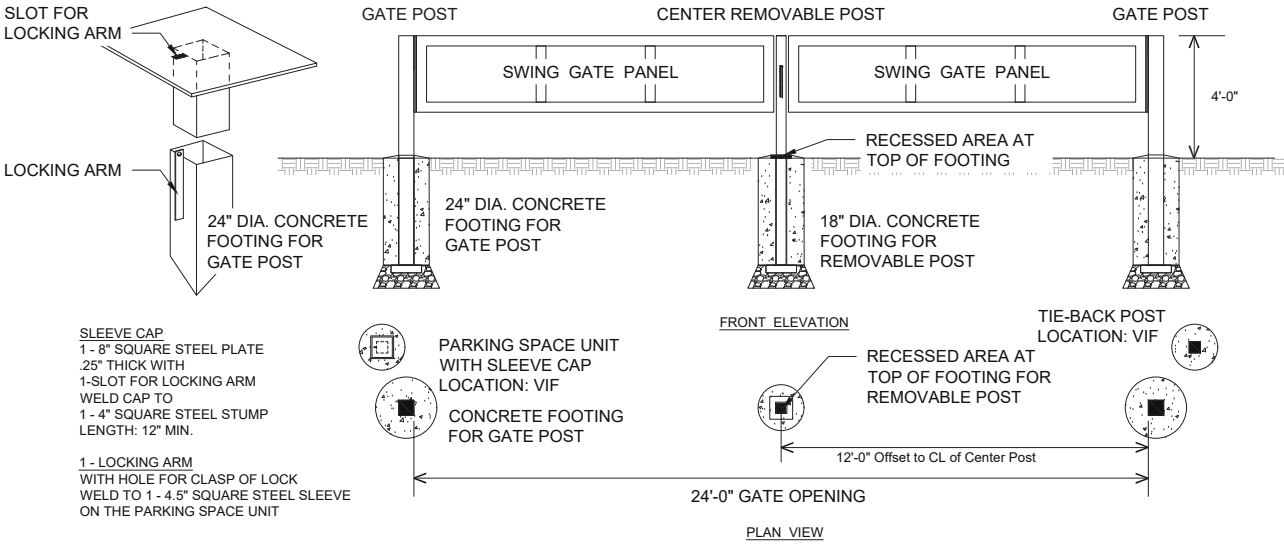
PARKING SPACE UNIT - STEEL SLEEVE
1 - 4.5" SQUARE STEEL SLEEVE WITH CONCRETE FOOTING WITH
1 - LOCKING ARM WELDED TO OUTSIDE OF SLEEVE

STEEL TIE-BACK POST
1 - 4.0" SQUARE STEEL POST WITH CONCRETE FOOTING
GENERAL CONSTRUCTION NOTES:
1. ALL SQUARE STEEL POSTS COMPLETE WITH STEEL CAP WELDED IN-PLACE AT TOP OF POST

GATE POST FOOTINGS
2 - CONCRETE COLLARS WITH MIN. 24" DIA. X 42" DEPTH

REMOVABLE POST FOOTINGS
2 - CONCRETE COLLARS WITH MIN. 18" DIA. X 42" DEPTH
PROVIDE RECESSED AREA FOR 8" X 8" X .25" SLEEVE CAP AT TOP OF FOOTING

TIE-BACK POST FOOTING
1 - CONCRETE COLLAR WITH MIN. 18" DIA. X 42" DEPTH
GENERAL CONSTRUCTION NOTES:
1. SET BOTTOM OF STEEL POST ON BLOCK AT PROPER SUB-GRADE
2. SET BLOCK ON 6" MAT OF COMPACTED GRAVEL



SLEEVE CAP
1 - 8" SQUARE STEEL PLATE
25" THICK WITH
1-SLOT FOR LOCKING ARM
WELD CAP TO
1 - 4" SQUARE STEEL STUMP
LENGTH: 12" MIN.

1 - LOCKING ARM
WITH HOLE FOR CLASP OF LOCK
WELD TO 1 - 4.5" SQUARE STEEL SLEEVE
ON THE PARKING SPACE UNIT

PARKING SPACE UNIT
WITH SLEEVE CAP
LOCATION: VIF

CONCRETE FOOTING
FOR GATE POST

RECESSED AREA AT
TOP OF FOOTING FOR
REMOVABLE POST

2 Tubular Steel Gate Detail - Double Swing Panels

L5.24 NOT TO SCALE

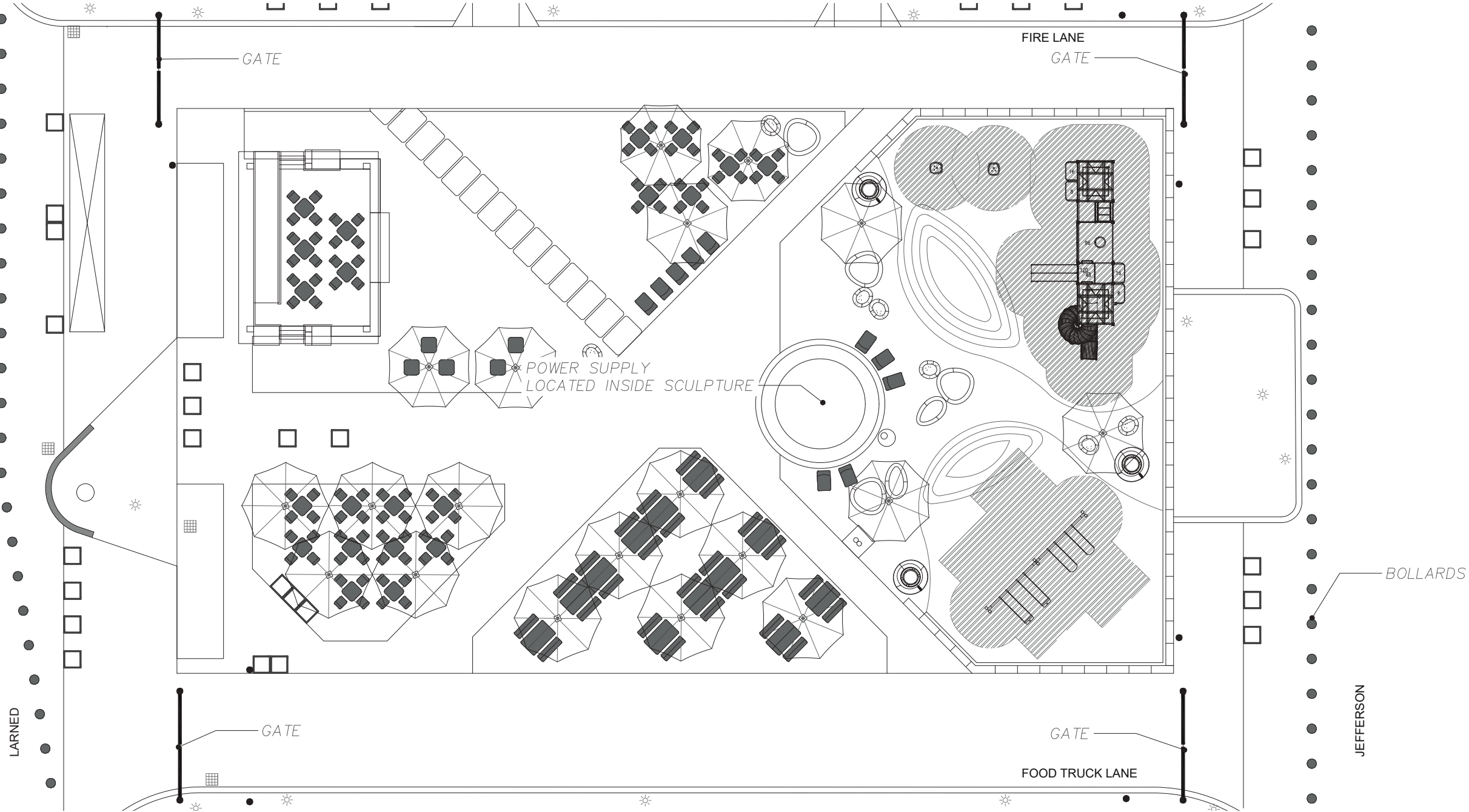


GENERAL SERVICES DEPARTMENT
LANDSCAPE DESIGN UNIT
115 ERSKINE ST, DETROIT MI 48201
PH: (313) 628-0900 FAX:(313) 628-0927

PROJECT NAME:
SPIRIT PLAZA
IMPROVEMENTS

DRAWN:	APPROVED:
CHECKED:	
ISSUED FOR	DATE
BID	4/8/2024

SHEET TITLE:
GATES AND
BOLLARDS



QUANTITIES				
SYMBOL	DESCRIPTION	TOTAL	UNIT	NOTES
	ELECTRIC SERVICE UPGRADES		LS	PROVIDE \$100,000 ALLOWANCE TO UPGRADE EXISTING ELECTRICAL SERVICE AT THE PLAZA. TO INCLUDE POWER TO THE STAGE, CHARGING STATIONS, LIGHTING, ETC. ENGINEERING PER GSD.
	WATER SERVICE UPGRADES			PROVIDE \$30,000 ALLOWANCE TO UPGRADE EXISTING WATER SERVICE AT THE PLAZA. TO INCLUDE RELOCATING WATER LINES, IRRIGATION, HOSE CONNECTIONS, ETC.



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PH: (313) 628-0900 FAX:(313) 628-0927

PROJECT NAME:

SPIRIT PLAZA
IMPROVEMENTS

DRAWN:	APPROVED:
CHECKED:	1:30
ISSUED FOR	DATE
BID	4/8/2024

SHEET TITLE:

ELECTRIC AND
WATER

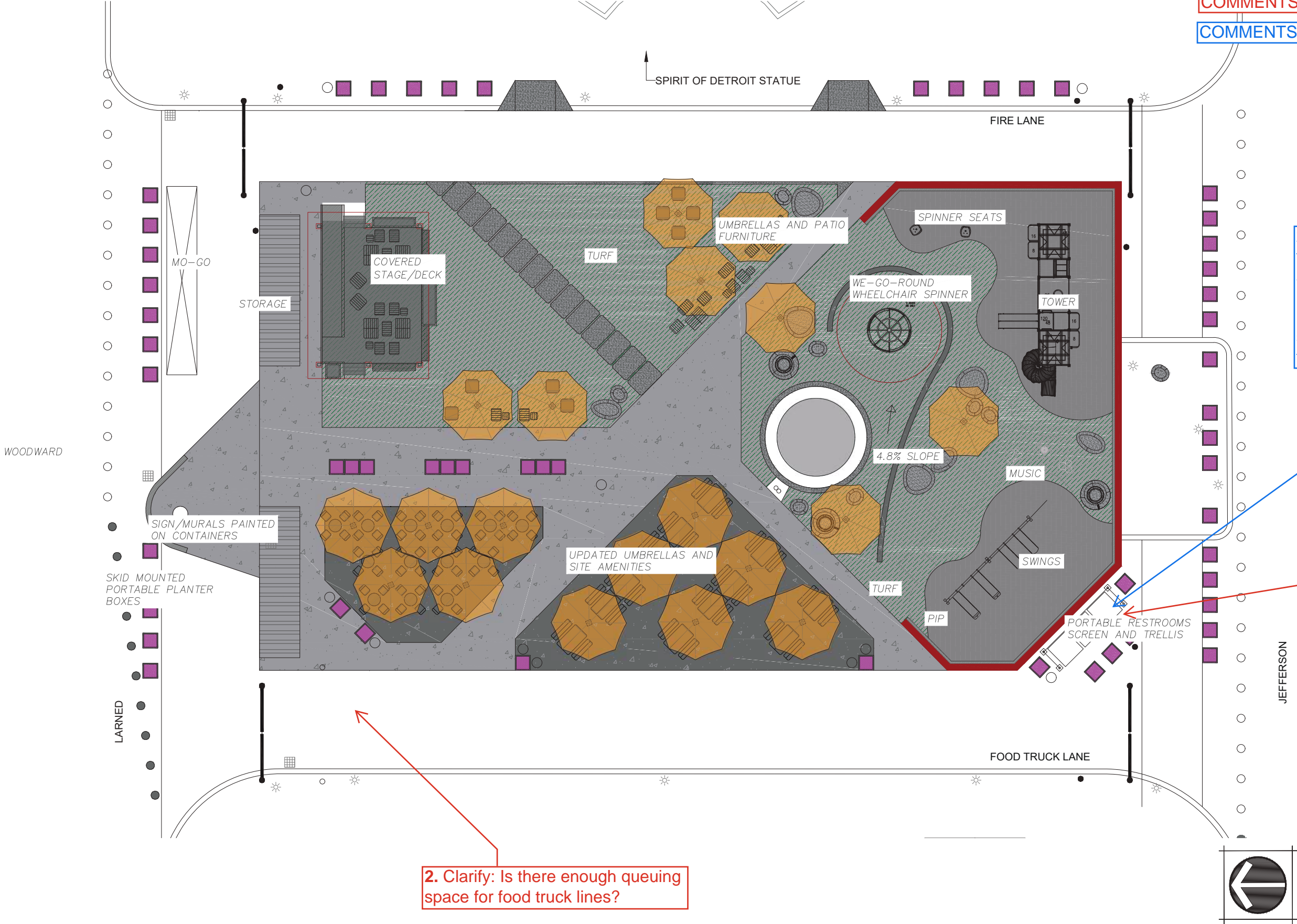
SHEET

COMMENTS IN RED ARE REQUIRED

COMMENTS IN BLUE ARE SUGGESTIONS



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2. Placement of porta-johns is tough..Is behind swings and adjacent to food trucks the best location for these? What is the proposed screening? How are smells kept from traveling towards swings/food truck area?

2. Clarify: What is the proposed screening? How are smells kept from traveling towards swings/ food truck area?

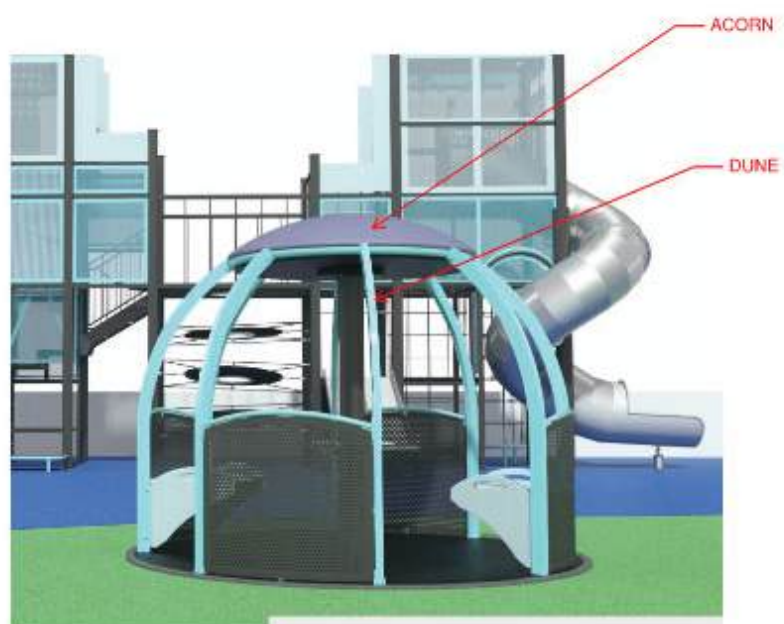
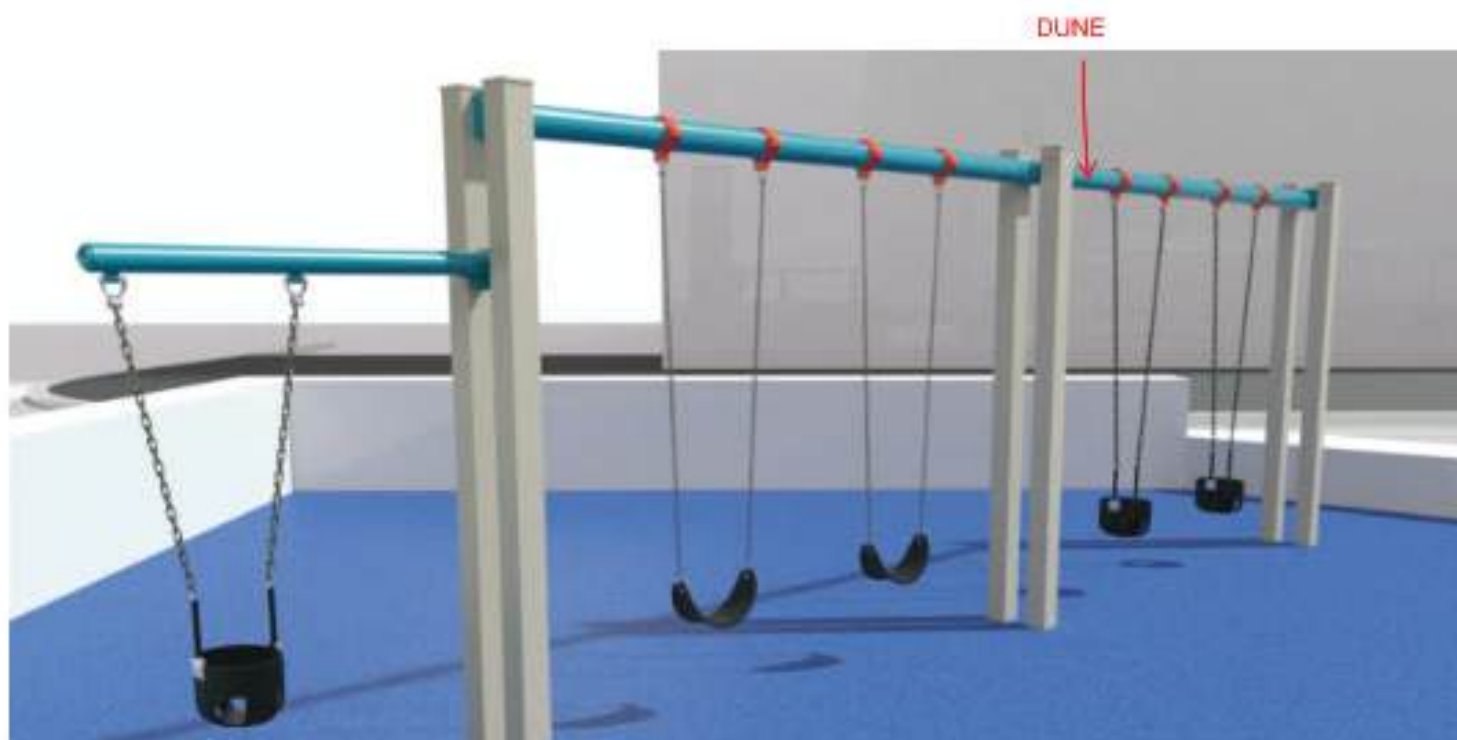
2. Clarify: Is there enough queuing space for food truck lines?

PROJECT NAME:
SPIRIT PLAZA IMPROVEMENTS

DRAWN:	APPROVED:
CHECKED:	
ISSUED FOR	DATE
BID	4/8/2024
	2/11/2025

SHEET TITLE:
SITE PLAN





ALL NEW FURNITURE

- STACKABLE AND EASIER TO MOVE THAN EXISTING PIECES
- EXISTING PIECES TO AB AND RIVERSIDE.
- NEW PLANTERS WITH RESEVOIR WATERING TANKS, AND MOUNTS FOR SKID-STEER OR FORK LIFTS.



Textured Sandstone



Connect outdoor modular planter system is a great solution when your space is a long, continuous planter system. Bolt-together design lets you connect sections, junction sections, and end caps.

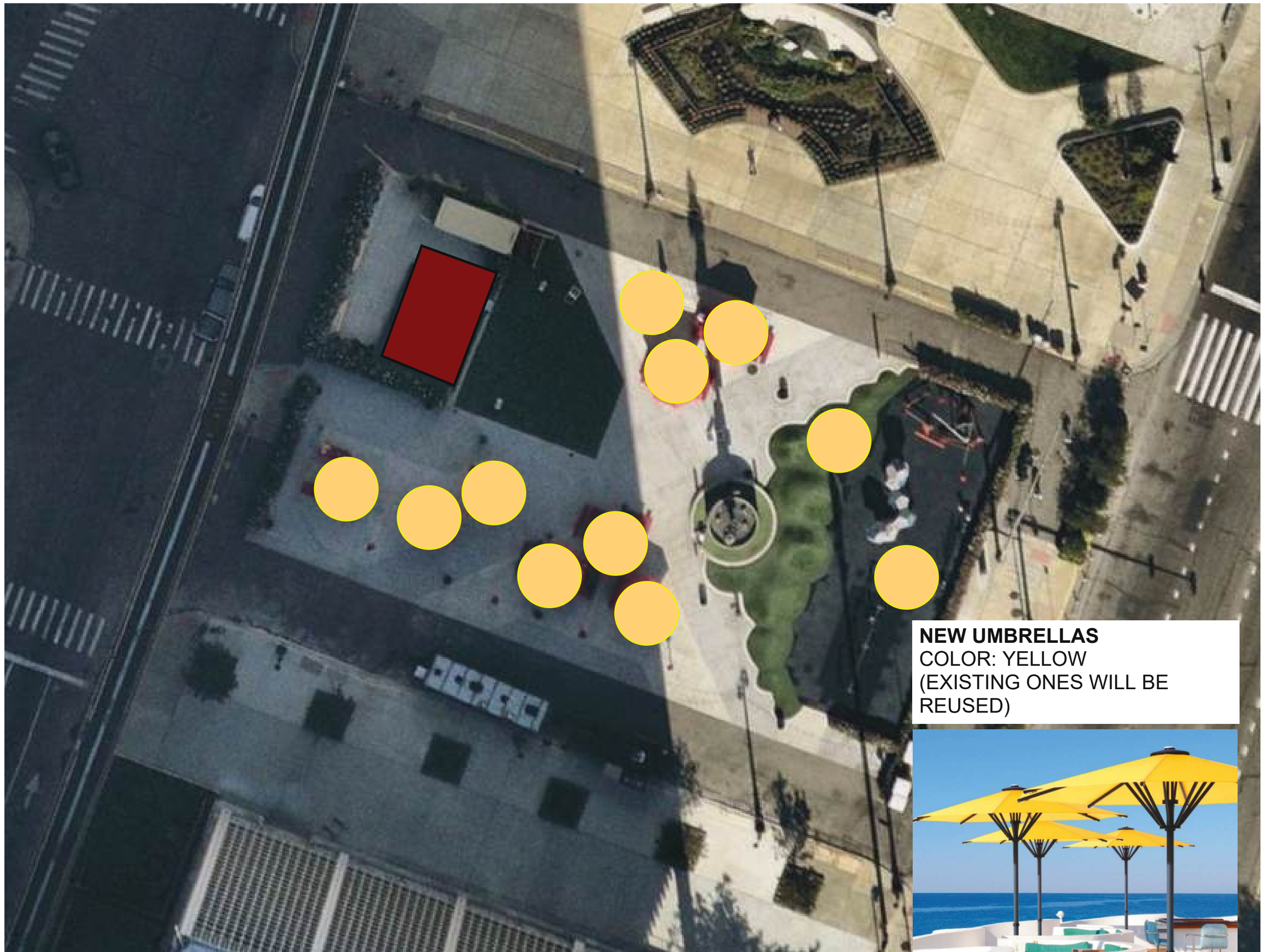


CUSTOM PLANTERS FOR WALL AROUND PLAY AREA.

IN YOUR PROJECT

For to build a quote for your planter project, provide the following information. Most estimates can be turned around in one business day:

- Project Name
- Planter Dimensions & Quantities
- Site Plan Details (including angles, curves, or other design elements)
- Shipping Details (including project timeline and ship-to address)

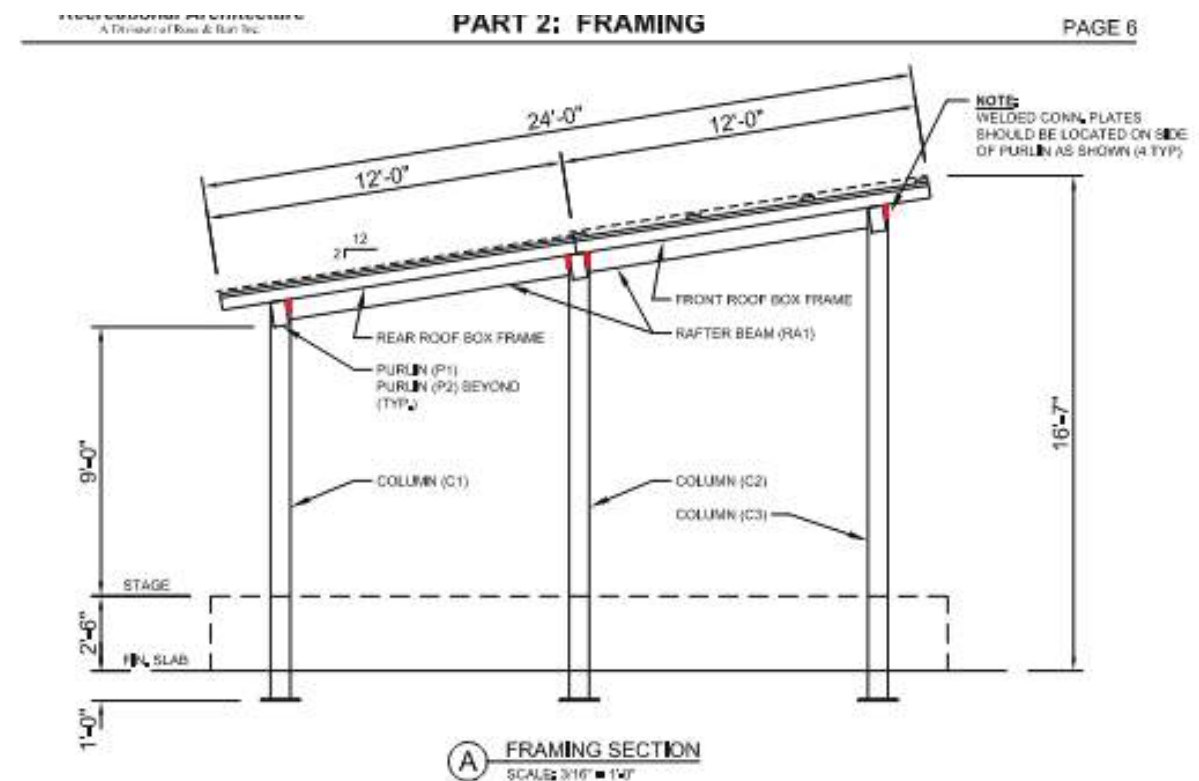
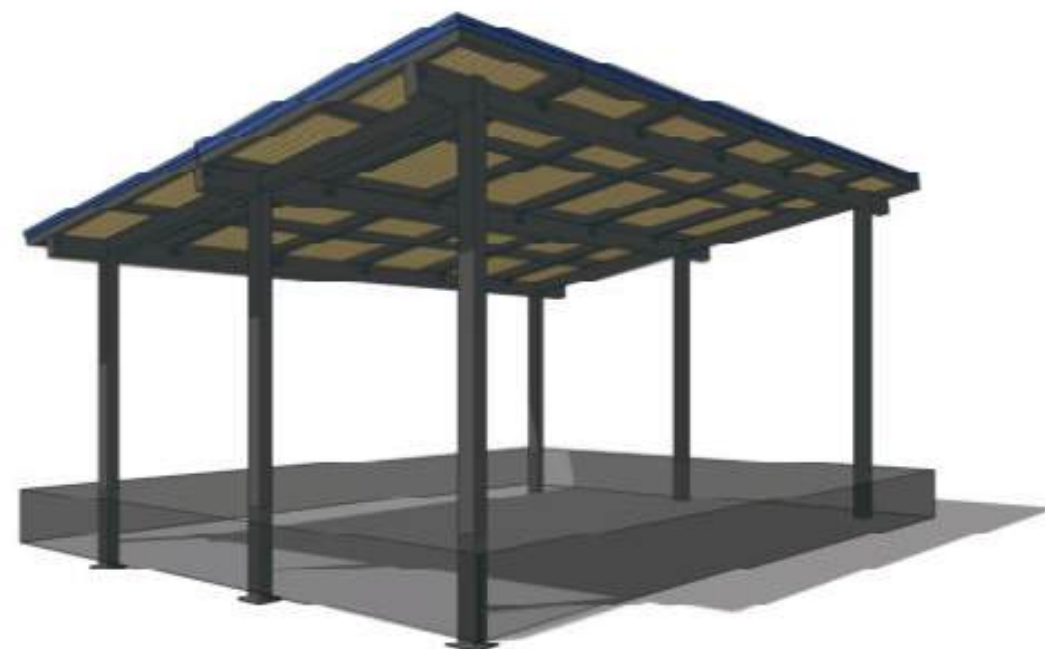


NEW UMBRELLAS
COLOR: YELLOW
(EXISTING ONES WILL BE REUSED)



NEW STAGE AND COVER

- NEW ELECTRIC CONNECTIONS
- STAGE, DECK, AND BENCHES ALONG THE FRONT ARE MEANT FOR THE SPACE TO BE USED AS A COVERED SEATING AREA WHEN EVENTS ARE NOT HAPPENING.



STANDARD CONSTRUCTION NOTES

1. CONTRACTOR SHALL CALL MISS DIG 72 HOURS (3-WORKING DAYS) PRIOR TO ANY START OF CONSTRUCTION OR ANY START OF EXCAVATION, TO LOCATE AND MARK ALL UTILITIES. PHONE NUMBER: MISS DIG (800) 482-7171
2. CONTRACTOR SHALL CAREFULLY COORDINATE ALL SITE WORK WITH LOCAL PERMITTING AUTHORITIES, UTILITY COMPANIES AND ANY OTHER GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THE SITE.
3. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE LOCAL AUTHORITY. EXTREME CAUTION SHALL BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING AROUND OR NEAR THE UTILITY. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORK CREW.
4. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF WORK, SHALL BE REMOVED AND SHALL BE PROPERLY CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF WORK, SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.
5. DO NOT SCALE OFF OF THIS DRAWING.
6. NO VEHICLE TRAFFIC ALLOWED ON THE SITE.
7. CONTRACTOR SHALL PROVIDE THE PROPER PROTECTION OF ALL EXISTING SITE AND LANDSCAPE ELEMENTS.
8. IF ANY EXISTING PERFORATED DRAINAGE PIPE IS DISCOVERED, CONTRACTOR SHALL PROVIDE PROPER PROTECTION AND REUSE OF ALL ACCEPTABLE LINES AND REPAIR ANY DEFECTIVE LINES.
9. CONTRACTOR SHALL KEEP GENERAL AREA CLEAN & HAZARD FREE; REMOVE AND DISPOSE OF OFF-SITE ALL DIRT, DEBRIS, RUBBISH, STUMPS, STICKS AND STONES; LEAVE THE WORK AREA IN CLEAN CONDITION AND FREE OF DEBRIS OR REFUSE OF ANY NATURE.
10. REMOVALS INCLUDE BACKFILLING OF ALL DEPRESSIONS (CAUSED BY THE REMOVALS) WITH TOPSOIL OR OTHER APPROVED SOIL(S), COMPACTION AND FINISH GRADING.
11. CONTRACTOR SHALL PROVIDE PROPER SITE AND LAWN RESTORATION WORK AT ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITIES, TO THE SATISFACTION OF THE CITY REPRESENTATIVE.
12. PRIOR TO SUBMISSION OF BIDS, CONTRACTOR SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS AND CONFIRMING THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE CITY REPRESENTATIVE PRIOR TO THE BID.
13. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS AND AS CALLED FOR IN THE SPECIFICATIONS.
14. ALL SITE AMENITIES SHALL BE PROPERLY LAID OUT AND RECEIVE LOCATION APPROVAL FROM THE CITY REPRESENTATIVE PRIOR TO INSTALLATION.
15. ALL SUB-GRADES SHALL BE COMPACTED TO 95%.
16. ALL BOULDERS THAT ARE TO BE UTILIZED AS SECURITY ARE TO BE SET OR DUG INTO THE SOILS SO THAT THEY ARE SLIGHTLY BURIED BETWEEN 3" AND 6".

17. OWNER RETAINS THE RIGHT TO MAKE REVISIONS TO ANY LAYOUT IN THE FIELD.
18. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE BEST SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTOR MEANS METHODS TECHNIQUES SEQUENCES AND PROCEDURES AND FOR THE COORDINATION OF ALL PORTIONS OF THE WORK UNDER THE CONTRACT INCLUDING CONTACT AND COORDINATION WITH THE CITY REPRESENTATIVE.
19. FIELD ENGINEERING AND SURVEYING, INCLUDING LAYOUT AND GRADE, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
20. FINAL GRADES ARE TO BE FIELD VERIFIED BY CITY REPRESENTATIVE FOLLOWING BASIC SURVEYING AND RECOMMENDATION BY CONTRACTOR.
21. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, INSTRUCTIONS AND RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
22. DETAILS ARE INTENDED TO SHOW END RESULTS OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS. SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
23. CONTRACTOR SHALL CHECK ALL MANUFACTURER'S SPECIFICATIONS AND DRAWINGS FOR FURTHER DETAILED INFORMATION.
24. CONTRACTOR SHALL SUPPLY AND APPLY COLD-WELD EPOXY, TACK WELD OR OTHER APPROVED THEFT DETERRENT PRODUCT TO ALL SITE AMENITIES HARDWARE WHERE APPLICABLE.
25. ALL BOLTS SHALL BE CUT OR SAWED SO THERE IS A MAXIMUM OF 2-THREADS VISIBLE.
26. IF NOT SUPPLIED BY THE MANUFACTURER, ALL NEEDED HARDWARE SHALL BE (STAINLESS STEEL) PURCHASED AND INSTALLED BY THE CONTRACTOR.
27. CONTRACTOR SHALL PROVIDE PROPER PROTECTION OF ALL TREES AND SHRUBS TO REMAIN. CONTRACTOR SHALL PROVIDE, INSTALL, MAINTAIN AND REMOVE TREE PROTECTION FENCE, AS REQUIRED.
28. CONTRACTOR SHALL PROVIDE PROPER ROOT PRUNING (PER AN OWNER APPROVED METHOD) FOR ALL ROOTS GREATER THAN 1/2" DIAMETER THAT ARE DISTURBED BY ANY EXCAVATION.
29. PERFORATED DRAINAGE PIPE IS NOT REQUIRED AT PLAY AREA.
30. CONTRACTORS SHALL PROVIDE PROPER INSTALLATION OF DRAINAGE HOLES IN ALL TRASH RECEPTACLE LINERS.

SIZE OF HOLE: ½" DIAMETER
TOTAL COUNT PER LINER: 6
EQUALLY SPACED LOCATIONS: 3-HOLES ON BOTTOM OF LINER;
3-HOLES ON SIDE OF LINER AT 2" FROM BOTTOM.
31. CONCRETE SHALL BE THICKENED TO 6" MINIMUM AT ALL PROPOSED ANCHOR BOLT LOCATIONS.
32. TACK WELD ALL HARDWARE AND GALVANIZED FENCE FABRIC PER CITY REPRESENTATIVE APPROVAL.
33. IN ALL EXISTING AND PROPOSED ASPHALT LOCATIONS WHERE CONCRETE IS TO BE PLACED ADJACENT TO IT, THE ASPHALT MUST BE FULL DEPTH SAW CUT TO PROVIDE A CLEAN TRANSITION.



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iMPROVEMENTS

DRAWN:	APPROVED:
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SHEET TITLE:

CONSTRUCTION
NOTES

SHEET

STANDARD PLANTING NOTES

1.

ALL PLANTS TO BE INSTALLED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.) LANDSCAPE STANDARDS.
2.

FERTILIZER SHALL BE M-ROOTS 3-3-3 OR CITY REPRESENTATIVE APPROVED ORGANIC FERTILIZER(S) WITH MYCORRHIZAE(S) AND APPLIED TO THE PLANT MIX ACCORDING TO MANUFACTURER'S DIRECTIONS.
3.

CONTRACTOR SHALL PROVIDE A PLANT MIX CONSISTING OF 50% EXISTING SOIL, 30% SANDY LOAM TOPSOIL AND 20% COMPOST. THE CITY REPRESENTATIVE SHALL BE ALLOWED TWO WEEKS TO RECEIVE ANY AND ALL REQUIRED SOIL TEST RESULTS. NO PLANTS SHALL BE PLANTED PRIOR TO CITY REPRESENTATIVE APPROVAL OF SOIL CONDITIONS.
4.

BACKFILLING OF ALL VOIDS FROM REMOVAL WORK SHALL BE WITH SANDY LOAM TOPSOIL AND EXISTING APPROVED SITE SOILS. DISCOVERED SITE CONCRETE, GRAVEL OR OTHER NON-SOIL(S) WILL NOT BE ACCEPTABLE.
5.

SPACING OF PLANT MATERIALS SHALL BE AS SHOWN ON DRAWING, CITY REPRESENTATIVE RESERVES THE RIGHT TO MODIFY ALL PLANT AND BED LOCATIONS PRIOR TO PLANTING AT NO ADDITIONAL COST TO THE CITY. THE CONTRACTOR MUST COORDINATE THE LAYOUT AND PLANTING THREE BUSINESS DAYS IN ADVANCE WITH CITY REPRESENTATIVE SO THAT COORDINATION OF THE PLANTING ON THAT DAY IS NOT HAMPERED.
6.

REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
7.

ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
8.

NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ANY AND ALL WRAPPING MATERIALS MADE OF SYNTHETICS OR PLASTICS SHALL BE COMPLETELY REMOVED PRIOR TO THE TIME OF PLANTING.
9.

ALL PLANT PITS MUST BE A MINIMUM OF TWICE THE ROOT BALL OR CONTAINER DIAMETER.
10.

CONTRACTOR SHALL FILL PLANT PIT WITH PREPARED PLANT MIX TO ½ DEPTH OF ROOT BALL OR ROOT MASS, PACK MIX FIRMLY AND PUDDLE WITH WATER.
11.

FOR BALLED AND BURLAPED MATERIAL, THE BURLAP AND ALL LACING (INCLUDING WIRE BASKET IF PRESENT) SHALL BE REMOVED FROM THE UPPER-HALF OF THE ROOT BALL, THEN FINISH BACKFILLING WITH PLANT MIX. REMOVAL ALL EXCESS SOIL FROM TOP OF ROOT BALL THAT IS ABOVE THE ORIGINAL NURSERY GRADE.
12.

A SAUCER SHALL BE PLACED AROUND EVERY PLANT AND SHALL BE APPROVED PRIOR TO THE PLACEMENT OF ANY GEO-TEXTILE FABRIC OR MULCH.
13.

ALL PLANT MATERIALS SHALL CONFORM TO PLANT SCHEDULES. SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE "A.A.N. STANDARDS FOR NURSERY STOCK."
14.

CONTRACTOR SHALL APPLY CITY REPRESENTATIVE APPROVED PRE-EMERGENT HERBICIDE TO PLANTING BEDS FOLLOWING PLANT INSTALLATION AND PRIOR TO MULCH PLACEMENT. THE CONTRACTOR SHALL ENSURE THE PLANT MATERIALS ARE RESISTANT TO THE HERBICIDES PROPERTIES. HERBICIDE SHALL BE APPLIED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH SOUND HORTICULTURAL PRACTICES.
15.

ALL MULCH MATERIAL SHALL BE PLACED AT A MINIMUM DEPTH OF 3" AND SHALL BE DOUBLE-SHREDDED HARDWOOD BARK. NO MULCH SHALL BE PLACED ON PLANTS TRUNKS.
16.

REFER TO SPECIFICATIONS FOR LAWN RESTORATION AND ESTABLISHMENT TO PROVIDE ACCEPTABLE ESTABLISHED TURF.
17.

ALL PLANT MATERIALS SHALL BE INSPECTED UPON ARRIVAL. ANY PLANTS NOT ACCEPTABLE TO THE CITY REPRESENTATIVE WILL BE REJECTED. IF FOR ANY REASON ANY BALLED AND BURLAPED PLANT MATERIALS NEED TO BE STORED ON SITE LONGER THAN A 24-HOUR PERIOD, THEIR ROOT BALLS SHALL BE PROTECTED BY A CITY REPRESENTATIVE APPROVED METHOD. ALL PLANTS SHALL BE THOROUGHLY WATERED EACH DAY THEY ARE STORED ON SITE. ANY PLANTS ALLOWED TO DRY OUT WILL BE REJECTED.
18.

PLANT MATERIALS, ESPECIALLY EVERGREENS, SHALL BE PLANTED HIGHER THAN NORMAL WHEN HEAVY SOIL CONDITIONS (CLAY, ETC.) PREVAIL.
19.

ALL PLANTING BEDS SHALL BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
20.

NATURAL EDGING SHALL CONSIST OF A 6 X 6 INCH TRENCH FILLED WITH MULCH.
21.

ANY DISCREPANCIES BETWEEN THE PLANS AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE CITY REPRESENTATIVE FOR HIS REVIEW AND DECISION.
22.

CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
23.

NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE CITY REPRESENTATIVE.
24.

ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED. ALL GUYS AND STAKES MUST BE LOCATED WITHIN EACH TREES' MULCHED AREA TO ELIMINATE THE POSSIBILITY OF MOWER CONTACT AND TO REDUCE MAINTENANCE.
25.

STAKING OF THE SHRUBS IS NOT ANTICIPATED. HOWEVER, IF IT IS DETERMINED BY THE CITY REPRESENTATIVE THAT STAKING IS REQUIRED, THE CONTRACTOR SHALL STAKE ALL DESIRED PLANTS AT NO ADDITIONAL COST TO THE CITY.
26.

CONTRACTOR SHALL BE RESPONSIBLE FOR VIEWING THE SITE PRIOR TO BIDDING MAKING NOTE OF ANY SPECIAL CONDITIONS THAT WOULD BE A CONCERN TO THIS PART OF THE CONTRACT.
27.

CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND ANY PLANTS THAT ARE DETERMINED BY THE CITY REPRESENTATIVE TO BE DEFECTIVE AT HIS OR HER OWN DISCRETION MUST BE REPLACED. REPLACEMENT MUST BE DONE DURING THE FOLLOWING PLANTING SEASON. ALL PLANTS ARE TO BE WATERED THOROUGHLY A MINIMUM OF SIX TIMES THE FIRST PLANTING SEASON.



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PLANTING NOTES

SHEET

STANDARD BACKFILL AND TOPSOIL NOTES

THE DOCUMENT BELOW IS AN ABBREVIATED VERSION OF THE DETROIT BUILDING AUTHORITY’S, "GUIDANCE FOR BACKFILL MATERIAL EVALUATION AND TESTING, CITY OF DETROIT DEMOLITION PROGRAM, DECEMBER 18, 2014" (GUIDANCE). THE GUIDANCE WAS REVIEWED AND APPROVED BY THE DETROIT BUILDINGS, SAFETY ENGINEERING AND ENVIRONMENTAL DEPARTMENT (BSEED) ENVIRONMENTAL AFFAIRS, AND REVIEWED BY MDEQ AND EPA.

NOTE: ONLY CATEGORY 1 & 2 ARE SUITABLE FOR PARK USE!

THIS GUIDANCE IS INTENDED TO SUPPORT THE CITY OF DETROIT AND ANY OF ITS OPERATING ENTITIES DURING ITS MANAGED RESIDENTIAL AND COMMERCIAL DEMOLITION RELATED ACTIVITIES, SPECIFICALLY AS IT RELATES TO REVIEW AND APPROVAL OF “CLEAN FILL” FOR BACKFILL ACTIVITIES CONDUCTED BY CONTRACTORS. FURTHERMORE, THESE GUIDELINES HAVE BEEN ESTABLISHED TO ENSURE THAT BACKFILL MATERIAL USED BY CONTRACTORS IS “CLEAN FILL”, AND SAFE FOR USE IN RESIDENTIAL AND/OR COMMERCIAL DEMOLITION AREAS.

THE PURPOSE OF THIS GUIDANCE IS TO PROVIDE THE CITY OF DETROIT AND ITS DEMOLITION CONTRACTORS WITH GUIDANCE FOR APPROVING AND RELOCATING BACKFILL MATERIALS. THE FOLLOWING CATEGORIES ARE THOSE THAT ARE APPLICABLE TO CITY PARKS:

CATEGORY 1: RESIDENTIAL CONSTRUCTION AND RESIDENTIAL LANDSCAPE YARD SITES

CATEGORY 2: VIRGIN (NATIVE) COMMERCIAL BORROW AND SAND/GRAVEL PIT SITES

AT THIS TIME, NO CHEMICAL TESTING IS REQUIRED FOR EXCESS SOIL RELOCATED FROM CATEGORY 1 OR 2 TYPE SOURCES. FURTHER, EXCESS SOIL RELOCATED FROM CATEGORY 1 OR 2 SOURCES WILL BE CONSIDERED ACCEPTABLE AS BACKFILL MATERIAL AT DEMOLITION SITES PROVIDED THE FOLLOWING CONDITIONS ARE MET:

1. FOR CATEGORY 1 SITES: A WRITTEN CERTIFICATION FROM THE CONTRACTOR TO GSD.
2. FOR CATEGORY 2 SITES: A WRITTEN CERTIFICATION FROM THE OWNER/OPERATOR.

THE WRITTEN CERTIFICATION MUST INCLUDE AT A MINIMUM THE FOLLOWING AFFIRMATIVE STATEMENTS:

- THE ORIGIN OF THE BACKFILL MATERIAL AND ADDRESS LOCATION
- NO EVIDENCE OF KNOWN OR SUSPECTED SOURCES OF ENVIRONMENTAL CONTAMINATION THAT MAY HAVE IMPACTED THE PROPOSED BACKFILL MATERIALS
- THE BACKFILL MATERIALS ARE FROM A NATIVE SOIL SOURCE AND ARE HOMOGENEOUS IN NATURE AND GENERAL COMPOSITION
- THE BACKFILL MATERIALS ARE FREE FROM DEBRIS, LARGE ROCKS, CONCRETE, OR OTHER CONDITIONS WHICH WOULD MAKE THE MATERIAL UNSUITABLE FOR USE AS BACKFILL, AND MEET THE BACKFILL SPECIFICATIONS ESTABLISHED BY THE CITY OF DETROIT

CONTRACTORS MUST PROVIDE THE FOLLOWING INFORMATION (IN AN EMAIL TO GSD'S PROJECT MANAGER) BEFORE RELOCATING BACKFILL MATERIAL FROM A CATEGORY 1 OR 2 TYPE SOURCE:

1. PROVIDE AFFIRMATIVE STATEMENTS AS DESCRIBED ABOVE
2. PROPOSED END USE LOCATION (PROPERTY ADDRESS(ES), BLOCK ADDRESSES, OR LOT NUMBERS) OF THE RELOCATED SOURCE OF THE BACKFILL MATERIAL

APPROVAL AND RELOCATION OF CATEGORY 1 AND 2 TYPE BACKFILL MATERIALS ARE CONDITIONED UPON SUBMITTAL OF THE INFORMATION DESCRIBED ABOVE. NOTIFICATION MUST BE PROVIDED ELECTRONICALLY AND IN ADVANCE TO GSD CITY REPRESENTATIVE:

FOR CATEGORY 1 TYPE BACKFILL MATERIALS, THE CONTRACTOR WILL BE NOTIFIED IMMEDIATELY OF APPROVAL. CONTRACTOR SHALL SUBMIT AS APPROPRIATE WEEKLY BACKFILL TRACKING LOGS ELECTRONICALLY SHOWING END USE LOCATION, QUANTITIES, ETC.

FOR CATEGORY 2 TYPE BACKFILL MATERIALS, DBA OR ITS DESIGNATED BACKFILL PROGRAM MANAGER (GSD PROJECT MANAGER) WILL REVIEW THE INFORMATION PROVIDED WITHIN 24 HOURS OR LESS OF THE REQUEST, AND EITHER APPROVE THE BACKFILL MATERIALS FOR USE AT DBA (GSD) SITES, REQUEST ADDITIONAL INFORMATION, OR DENY THE PROPOSED BACKFILL MATERIAL SOURCE. UPON APPROVAL, DBA (GSD) OR ITS DESIGNATED BACKFILL PROGRAM MANAGER WILL ISSUE A CERTIFICATE OF APPROVAL TO THE CONTRACTOR, AND THE CONTRACTOR SHALL TO SUBMIT WEEKLY BACKFILL TRACKING LOGS ELECTRONICALLY SHOWING END USE LOCATION, QUANTITIES, ETC.



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BACKFILL AND SOIL
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