

STAFF REPORT: 07/09/2025 REGULAR MEETING

PREPARED BY: L. SAINT JAMES

APPLICATION NUMBER: HDC2025-00230

ADDRESS: 1039 SEYBURN

HISTORIC DISTRICT: WEST VILLAGE

APPLICANT: NATHAN BROWN / POLYMATH DEVELOPMENT

PROPERTY OWNER: JAMES WILLIAM

DATE OF PROVISIONALLY COMPLETE APPLICATION: 05/23/2025

DATE OF STAFF SITE VISIT: 06/27/2025

SCOPE: MULTIPLE EXTERIOR ALTERATIONS

EXISTING CONDITIONS

The dwelling located at 1039 Seyburn is a brick, Queen Anne style house built in the West Village neighborhood in the early 20th Century. The house is two-and-a-half stories and features a side-gabled roof with a front-facing gable and a dormer. The gable-ends and dormers are adorned with what remains of wood shingle siding. With the partial-width porch, these architectural elements combine to create an asymmetrical façade.



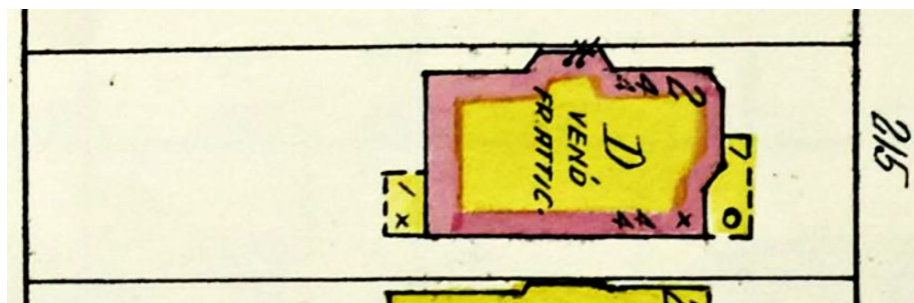
Staff photo, 06/27/2025

PROPOSAL

- Replace asphalt roof with asphalt roof (*work done without approval*)
- Cedar shingle siding (*partially completed without approval*)
 - Repair existing cedar shingle siding
 - Install cedar shingle siding where missing/damaged
- Wood trim: fascia, soffit, and frieze board (*partially completed without approval*)
 - Repair existing
 - Replace with “similar size wood product” what’s damaged or missing
- Brick
 - Crumbling brick to be replaced with reclaimed common brick
 - Tuckpointing
- Install aluminum-clad wood windows
 - Two existing window openings to get enlarged
 - One existing window opening to be brick infilled
- Erect front porch canopy/roof
- Erect back porch
- Replace front and back doors
- Install double doors in back where a window currently exists
- Paint exterior

STAFF OBSERVATIONS AND RESEARCH

- The West Village Historic District was enacted in 1983.
- The Sanborn Map identifies the entire dwelling as frame construction (yellow) with a brick veneer running the perimeter of the house on the first and second story (pink/red).



Sanborn Map, Vol. 8, 1910

- 1039 Seyburn caught fire August 6, 2018, which caused extensive interior and exterior damage.



Staff photo, 08/06/2018

- Applicant states that “the house is currently structurally stable but has extensive exterior deterioration.”

Roof Analysis

- Installed without Historic District Commission approval
- GAF Timberline HD Dimensional Asphalt Shingles in Charcoal
- Photos from application show previous asphalt roof had extensive damage from the fire
- Staff finds this work item to be appropriate and recommends the approval



Proposed (installed without approval)



Photo from application

Cedar Shingle Siding Analysis

- Since the submission of the application on 04/29/2025 and the staff site visit on 06/27/2025, the cedar shingle on the South facing gable-end was removed without approval.



Photo from application



Staff photo, 06/27/2025

- It is of staff's opinion that some of the remaining cedar shingle siding is in repairable condition, as outlined below.



Staff photo 06/27/2025

- For the remaining missing or damaged cedar shingle siding, the applicant proposes to install cedar shingles to match the existing.

- It is staff's opinion that this scope item is appropriate, with the condition that the existing cedar shingle within the areas outlined above are retained and repaired.

Wood Trim: Fascia, Soffits, and Frieze Board Analysis

- Since the submission of the application on 04/29/2025 and the staff site visit on 06/27/2025, some of the wood trim was replaced without Historic District Commission approval.



Staff photo 06/27/2025



Staff photo 06/27/2025

- The soffit and fascia installed, without approval, surrounding the roof edge does not include the dentil detailing as shown with the existing historic soffits.
- Within the South facing gable-end, the applicant installed a simple frieze board, without approval, which does not match the existing historic wood trim at the front-facing gable-end.
- The applicant states that the “existing 1x6 fascia and solid wood soffit to remain; new pine or fir wood to be installed where existing is missing or damaged” and that “other trim (rake, frieze, etc) to be replaced as necessary with similar sized wood product.”
- It is staff's opinion that this scope item is appropriate, with the condition that any decorative detailing within the eaves areas/soffit/fascia that was not destroyed by the fire be replicated.

Brick Analysis

- The applicant proposes to replace any crumbling brick with “reclaimed common brick” and to tuckpoint where there are areas of missing mortar, though applicant does not specify the type of mortar that will be used.



Photos from application

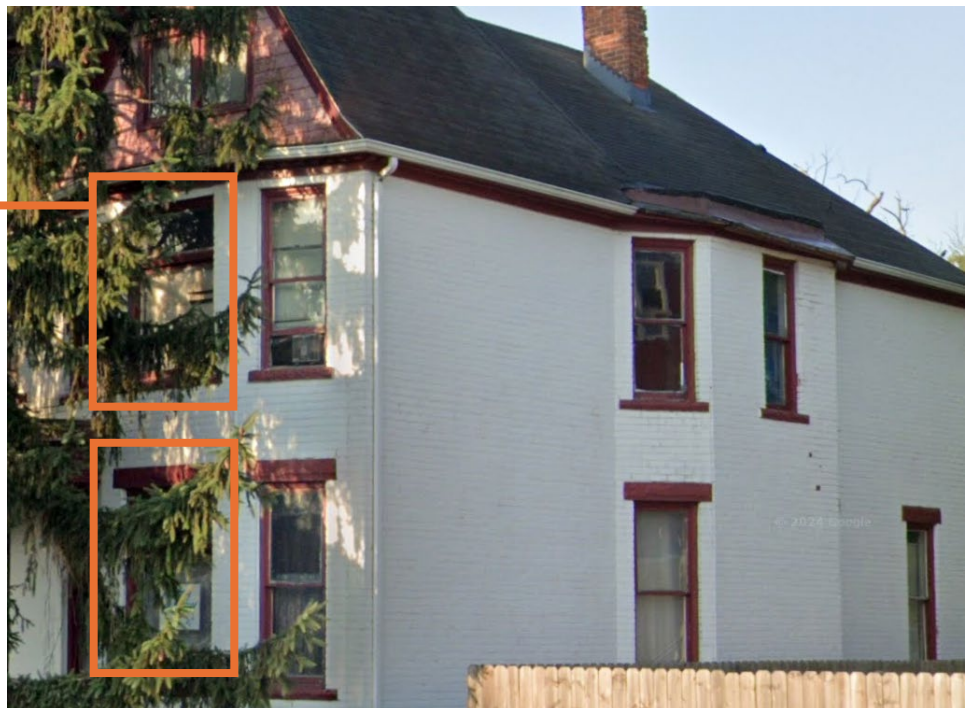
- It is staff’s opinion that this work item is generally appropriate with the condition that the applicant consult the NPS’ guidance on tuckpointing historic masonry (see [Preservation Brief 2: Repointing Mortar Joins in Historic Masonry Buildings](#)) and identify a product that is of an appropriate composition/that matches the strength of existing historic mortar. An off-the-shelf mortar product would not be appropriate for a house of this age.

Window + Door Analysis

- There are currently no existing windows, leaving only window openings.
- As of 08/2018, right before the fire, the existing historic wood windows were double-hung one-over-one lite, with the centered bay windows being a fixed window with a transom.



- Proposed centered bay windows to not include transom, like what was originally the historic configuration.
- Typically houses of this era and style would have the centered bay window a larger, single pane fixed window with a leaded glass transom.



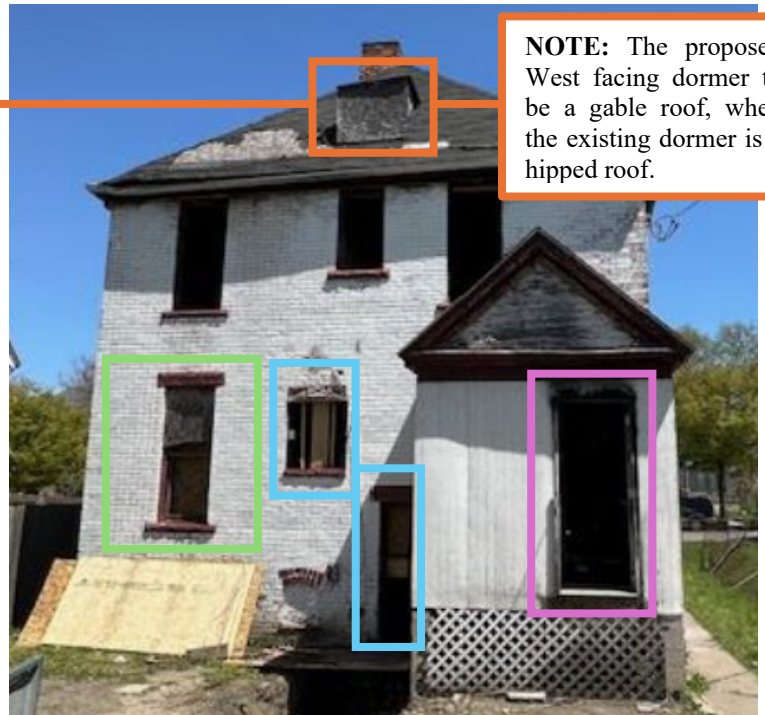
Google Street View, 08/2018



PROPOSED

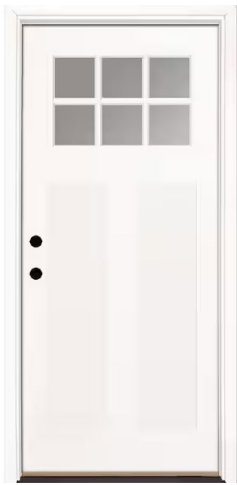
- Jeld-Wen W-3500 aluminum-clad wood windows with black exterior cladding.
- New double-hung windows to match profile and sizing to the rough opening of existing windows, including being cased with new brick molding.

- Per the drawings submitted on 05/22/2025, the proposed windows and doors are to keep their current opening dimensions, except for existing two window openings and one door opening to be altered.
 - Back (West) elevation window opening to be enlarged and replaced with a double-door.
 - The double-door product specifications was not included in the application materials. Staff requested specifications via email on 06/27/2025.
 - Back (West) elevation window and door opening to the right of the proposed double-door to be infilled with brick, though it does not correlate with the submitted drawings.



NOTE: The proposed West facing dormer to be a gable roof, when the existing dormer is a hipped roof.

Back (West) elevation drawing and photo from application



PROPOSED

- 6 Lite Clear Craftsman Unfinished Fiberglass Rehung Front Door
 - It is staff's opinion that the proposed front and back door is inappropriate, especially given its distinctive Craftsman style.

- It is staff's opinion that proposed approach for the installation of new windows and doors is generally appropriate, with the following exceptions:
 - The proposed craftsman style door is not appropriate for installation at a house of this style and date of construction. If a vision panel is desired, a simple, unadorned, and undivided $\frac{3}{4}$ to full-lite window would be more compatible selection in this case.
 - The large, fixed undivided windows proposed for the front façade, central bay is not compatible with the building's historic appearance, in staff's opinion. As noted above, a window which includes a large, central pane with a smaller transom above would be more appropriate for these openings.

Porch Analysis

FRONT

- Masonry front porch to be rebuilt, complete with reclaimed brick walls and new slab. Dimensions remain unchanged.
- The applicant proposes a "new wood framed, shingled shed roof over rebuilt front porch" with the roof to match the dimensions of the porch.
- For the railing, the applicant proposes to "install new wood railing system and wood steps on front porch. ...Railing to measure 42" H." No additional detailing, including materials, were provided.

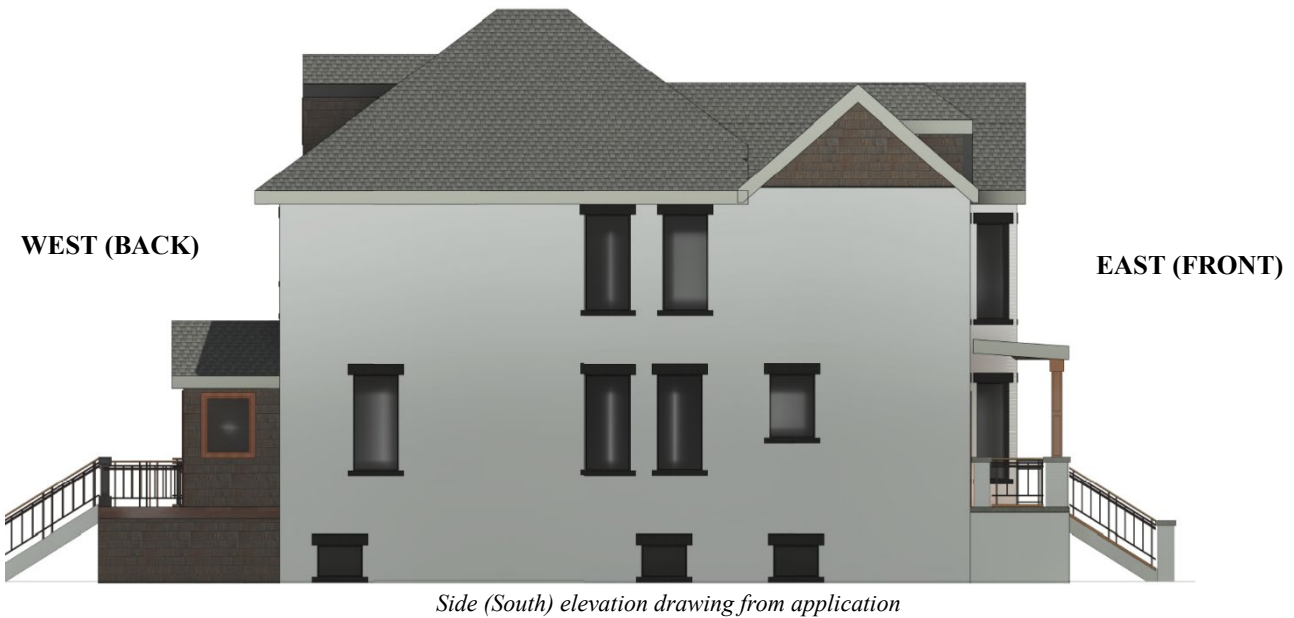
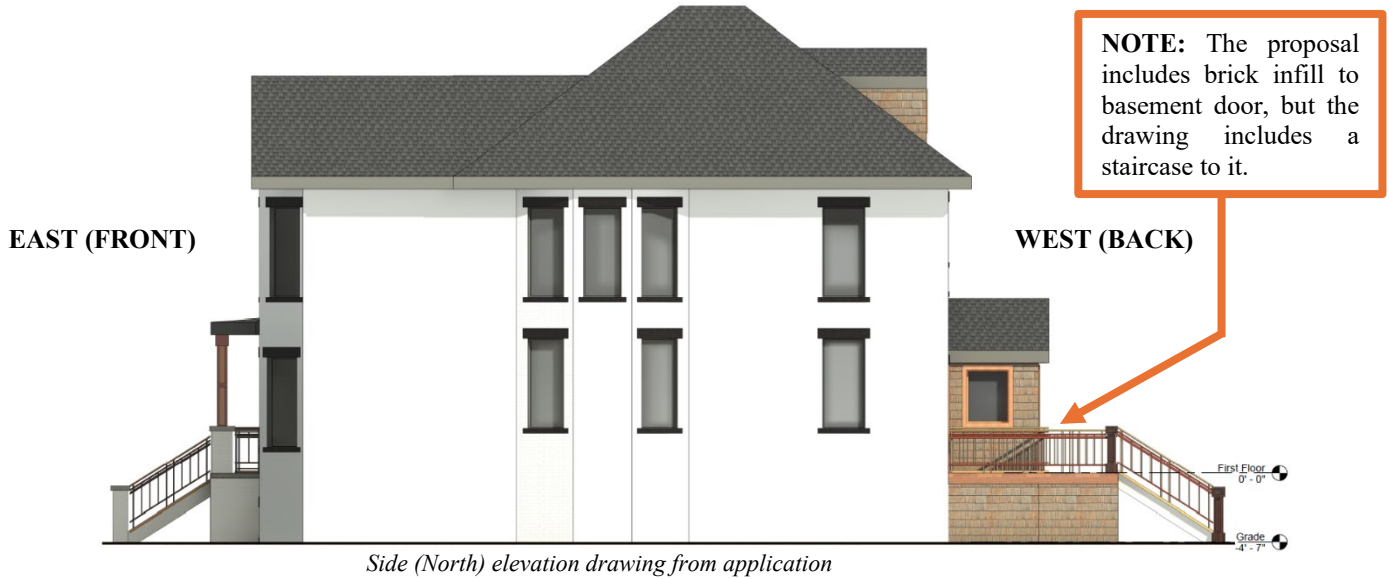


Front (East) elevation drawing from application



Google Street View 08/2018

- With Google Street View in 08/2018, right before the fire, you can see the historic porch roof detailing remained. Also, the porch supports were non-historic, C. 1970's metal columns. However, the fire destroyed the front porch roof and columns, while the porch deck and floor remained.



- Although staff request via email on 06/27/2025, no dimensioned floor plan drawing was provided of the back porch by the applicant.

- It is staff's opinion that the proposed construction of a new porch at the front façade and a new porch/deck at the rear is generally appropriate to the house's historic character. However, staff does note the following concerns:
 - The rear porch/deck should present a more simplified appearance than that proposed, IE, the deck should be constructed of wood and should not be clad with wood shingles. Also, the railing should be made of wood and display an appropriately compatible appearance to this Queen Anne style house.
 - The current application lacks a dimensioned floor plan for the rear porch/deck.
 - With respect to the front porch, it is staff's opinion that the proposed height (42") and design and materiality of the railings (likely metal balusters) is not compatible with the property's historic appearance. A simple wood railing with square balusters of an appropriately lower height is recommended. Also, while the replication of the original porch roof is not required since it was destroyed by the fire, staff does recommend that the new porch roof borrow some design cues from the original porch to ensure that it is compatible with the historic character of the house and the contemporaneous houses within the district. It is staff's opinion that the current design presents a wholly modern appearance that is not appropriate for a front porch of a Queen Anne style house. See the photos below of examples of front porches in the near vicinity and note that multiple houses on Seyburn between E. Lafayette and Agnes still showcase historic porch detailing at the cornice combined with simple, thick wood posts.



1030 Seyburn, staff photo 06/27/2025



1074/1076 Seyburn, Google Street View 08/2018

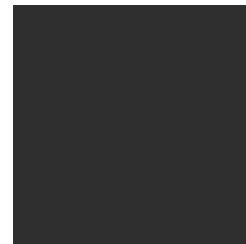
Paint Analysis

- The proposed paint colors, in addition to the proposed black aluminum-clad wood windows, include:



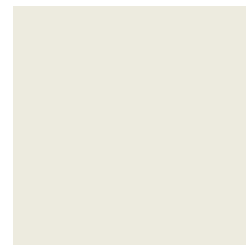
SW0014 Sheraton Sage

Cedar shingles



SW6258 Tricorn Black

Wood trim



SW7008 Alabaster

Brick

- Per the Historic District Commission Color System B, the proposed brick (body) in Alabaster does not follow the guidelines. It is in staff's opinion that the cedar shingle and trim colors are appropriate, but that the brick paint color is not appropriate due to the Queen Anne house style and age, especially considering the house historically would have been unpainted red brick.

ISSUES

- None

RECOMMENDATION(S)

Section 21-2-78, Determinations of Historic District Commission

Recommendation 1 of 1 – COA – Multiple exterior alterations

Staff recommends that the proposed work will be appropriate according to the Secretary of the Interior's Standards for Rehabilitation and the West Village Historic District's Elements of Design, with the condition(s) that:

- The wood trim and finish carpentry, including the fascia, soffits, and porch roof, shall replicate the historic details in-kind. The project drawings shall be revised to reflect the replication of the damaged detail.

- A final window order shall be submitted to staff for review, which includes:
 - Transom windows at the two centered bay windows at the front (East) façade
 - Specifications for the glass transparency level
 - Specifications of the opacity of the screens
- A historic mortar mix shall be used for the proposed tuckpointing, as the mortar must be softer than the historic brick and match the composition of the existing historic mortar.
- A sample of the replacement brick shall be provided to staff for review and approval to ensure that it is suitable for exterior use and is compatible in texture, color, and dimension with the adjacent historic brick.
- A new design for the back and front doors, research porch/deck and railing, and front porch roof and railing shall be selected and submitted to staff for review and approval.
- A final dimensioned plan for the new rear deck shall be submitted to staff for review and approval.