

November 6, 2013

CERTIFICATE OF APPROPRIATENESS

The Villages Community Development Corporation
8109 East Jefferson Avenue, Suite 1B
Detroit, Michigan 48214

RE: Application Number 13-238: 1450 Seyburn: West Village Historic District

Dear Villages Community Development Corporation:

Pursuant to MCL 399.205(10); Section 25-2-57(b) of the 1984 Detroit City Code; Detroit Historic District Commission Resolution 97-01 (adopted August 13, 1997); Detroit Historic District Commission Resolution 97-02 (adopted October 8, 1997); and Detroit Historic District Commission Resolution 98-01 (adopted February 11, 1998), the staff of the Detroit Historic District Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness (COA), which is effective as of November 6, 2013.

The staff finds the below-listed work items appropriate for the following reason:

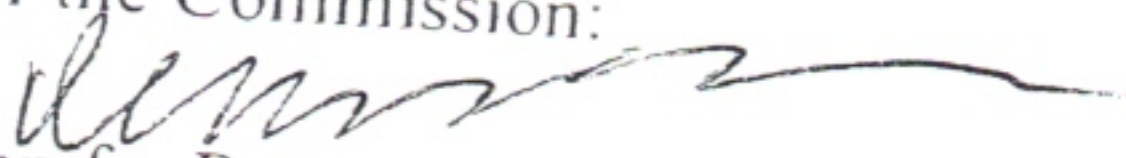
The rehabilitation of the house and garage at the property to include the following items meets the Secretary of the Interior's Standards for Rehabilitation standard number 6) *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

- Remove front porch and replace with new front porch to match the existing in material, dimension, and decorative detailing (decorative wood porch supports and cornice) as per attached specs and plans
- Remove rear two-story, shed-roof wing and build a new rear two-story, shed-roof wing to match existing in dimension, exterior materials (wood siding and trim at second story and brick veneer and wood trim to existing at the first story walls) and fenestration (wood, double-hung units) to match existing according to specs and attached drawings
- Remove rear porch and rebuild new rear wood porch with second story wood deck according to specs and attached drawings
- Remove existing fencing at rear and side yards and erect a new 4'-0" chain link fence and gates to enclose rear and side yards
- Replace deteriorated/damaged exterior doors with new wood doors
- Repair existing hipped-roof, 1 car garage to include repair/replace rotted/deteriorated wood siding with new wood siding to match existing; replace asphalt shingles roof with a new asphalt shingle roof to match main house; repair damaged wood trim (eaves, soffits, etc) with new wood to match existing where necessary; repair damaged hinged paired entry doors at east façade or replace with new hinged paired doors to match existing; install new wood service door at south façade; install new wood 1/1 wood window at west façade
- Clean and tuckpoint masonry where necessary
- Remove existing chimney and rebuild faux chimney above the roof (wood frame with brick veneer to match original/existing)
- Retain and repair existing wood windows where necessary
- Install new aluminum-frame storm windows as per specs (finish color to be chosen from the building's associated color Historic District Commission color chart)

- Install new "fullview" aluminum storm doors at exterior
- Remove any non-original elements and restore to original appearance/repair rotted wood at bay windows at rear façade as per specs
- Remove any non-original elements and restore to original appearance/repair rotted wood at bay windows at front façade as per specs
- Remove existing asphalt shingle roof and replace with a new fiberglass 'architectural' asphalt shingle roof, color to match existing (brown)
- Install new aluminum gutters and downspouts (finish color to be chosen from the building's associated color Historic District Commission color chart)
- Repair/replace deteriorated areas at fascia and soffit where necessary with new wood to match existing
- Repaint trim (finish color to be chosen from the building's associated color Historic District Commission color chart)
- Add glass block and framed screens at basement windows at side and rear facades as per Historic District Commission guidelines (see attached)

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings and Safety Engineering Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please telephone the Detroit Historic District Commission at 224-6536.

For the Commission:


Jennifer Ross
Staff
Detroit Historic District Commission

copy: Daljit Benipal, B&SE

Address: 1450 Seyburn Street

Unit: 00 GENERAL REQUIREMENTS

Location: 1 - General Requirements

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 9 Environmental Rehab

\$25,000 per unit.
 a The contractor shall abate all identified or presumed lead-based paint hazards in accordance with Sec. 35.1325
 b The contractor shall implement safe work practices during rehabilitation work in accordance with Sec. 35.1350 and repair any paint that is disturbed
 c The entire unit shall pass a clearance examination in accordance with Sec. 35.1340.

Location Total: _____

Unit Total for 1450 Seyburn Street, Unit 00 GENERAL REQUIREMENTS: _____

Address: 1450 Seyburn Street

Unit: Unit 01

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 1 General Requirements

473 LANDSCAPE LIGHTING

1.00 EA _____

Install a fully automatic, low-voltage, dusk-to-dawn, landscape lighting system. The landscape lighting system is to light all public facades of the building directly adjacent to a street as well as the rear facade of the building. All paths, steps and landscape features are to be illuminated. Use only flood, spot, area or accent lighting fixtures to include, but not limited to wall mounted, tree mounted, well, deck (recessed) mounted and step (recessed) mounted. Do not use post or column mounted fixtures. All light fixtures are to be metal with dull black or aged bronze finish. All luminaires are to be LED or low voltage, white in color (not yellow or blue). Electrician / Landscape lighting subcontractor is to take precautions to avoid any undue light spread from crossing any property line while designing and installation of the system.

The electrician / landscape lighting subcontractor is to coordinate locations and installation of all pipe sleeves with the General Contractor prior to paving operations (installation of flat work)

The Contractor shall apply for and pay for all necessary permits and fees as required by Local Authority and prevailing ordinances and/or codes.

ATLANTIC DISTRICT COMMUNITY DEVELOPMENT
 HBC # 13-238
 SIGNATURE: [Handwritten Signature]

11/15/2011

3188 DOOR--PREHUNG FIBERGLASS ENTRANCE--ENERGY STAR

4.00 EA _____

Modify existing opening as needed with wood and steel to provide fastening for a new exterior prehung fiberglass door located in the existing opening at the stair landing between basement and first floor at side yard and within the master bathroom on second floor. Install a Jeld-Wen ENERGY STAR certified 36" insulated prehung Architectural Fiberglass door.

wood
 wood

Address: 1450 Seyburn Street

Unit: Unit 01

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 1 General Requirements

model 817, smooth panel w/ raised moulding and detailed panel profile with 3 lites, clear low e insulated glass. Frame is to be paint grade and primed. Field measure the existing door opening for actual size. Seal all rough openings with backer rod and caulk or low expansion one-part foam.

Install new Scalage door hardware per the following

1. Schlage, Addison Collection Andover Keyed Entry Knob, Aged Bronze, Model #F51
2. Schlage Deadbolt, Keyed 1-Side, Aged Bronze, Model #B60N
3. Three (3) Schlage 3"x4" square butt hinges, Aged Bronze, Model #1020-716
4. Pemko Interlocking Threshold, Dark Bronze Anodize Aluminum
5. Pemko Spring Bronze Weatherstripping
6. Schlage Wide Angle Door Viewer, Model #698-716, Aged Bronze (at side door only)

Locks are to be keyed alike. Provide 2 sets of keys to the owner.

Trade: 4 Site Work

315	FENCE--CHAIN LINK 4' HIGH	100.00	LF	_____	_____
	Dispose of any existing fence. Install a 4' high, galvanized, chain link fence using 11 gauge wire, black vinyl coated. Install 1-5/8" line posts and 2" corner posts on 10' centers, with a 1-3/8" top rails. Gate posts shall be 2-1/2". All posts, rails and hardware is to be powder coated, black. Set posts at least 36" deep in a 9" diameter concrete sleeve. Installation of sections shall be in a straight line unless otherwise stated. Refer to drawings for location(s).				
317	GATE--CHAIN LINK 4' HIGH	2.00	EA	_____	_____
	Dispose of any existing gate. Install a 4' high, 42" wide, galvanized, chain link gate using 11 gauge wire, black vinyl coated with 1-3/4" frame, 2" posts, two off-set type hinges and latch. All posts, rails, frames and hardware is to be powder coated, black. Set posts at least 36" deep in a 9" diameter concrete sleeve. Installation of gate sections shall be in a straight line unless otherwise stated. Refer to drawings for location(s).				
395	IRRIGATION SYSTEM	1.00	EA	_____	_____
	Install a fully automatic, multi-zone, underground piped irrigation system complete. The irrigation system is to be constructed to provide efficient and even irrigation (WITH MINIMUM OVERSPRAY ONTO SIGNS, PAVED OR NON-PLANTED AREAS AND NO OVERSPRAY ONTO BUILDINGS) of all planting areas. Use only rotary style sprinkler heads for large coverage, lawn areas, no impact style sprinklers. The irrigation subcontractor is to provide all materials (sprinklers, valves, piping, fittings, controller, wiring, etc.) and designate all required sizes and types. All calculations, drawings, riser diagrams and other required drawings and specifications are to be submitted to the appropriate governing agencies for approval prior to				

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec # Spec

Quantity Units Unit Price Total Price

Trade: 4 Site Work

procurement and installation of the system. The system shall be constructed to grades and conform to areas and locations of the entire parcel.

Irrigation subcontractor is to coordinate locations and installation of all pipe sleeves with the General Contractor prior to paving operations (installation of flat work).

Install a fully automatic, multi-day, multi-zone controller with rain/freeze sensor.

The Contractor shall apply for and pay for all necessary permits and fees as required by Local Authority and prevailing ordinances and/or codes.

Spec #	Spec	Quantity	Units	Unit Price	Total Price
412	<p>LANDSCAPING--GENERAL REQS.</p> <p>Completely scrape the entire existing rear yard and regrade away from structure toward alley as necessary. Plant native landscaping material in soil amended to 50% organic, perimeter fertilize, mulch to 4" deep and apply "Wiltproof." Provide written care instructions to owner. Replace all dead or seriously distressed items 14 months after planting.</p>	1.00	EA	_____	_____
417	<p>RESEED--FINE FESCUE (REAR YARD)</p> <p>Reseed the specified area using Fine Fescue seed or a grass seed recommended by the Michigan State Extension Service (http://msue.anr.msu.edu/) to be 'Native' and 'Non-Invasive' and 'Drought Tolerant'. Aerate the specified section using a plug style aerator administering 4 passes. Water the area thoroughly to a depth of 6 inches. Just prior to seeding, apply one half pound of nitrogen per 1000 square feet in a complete fertilizer. Gently rake the fertilizer into the soil and apply the Fine Fescue seed evenly at a rate of 4.5 pounds per square foot.</p>	1.00	SF	_____	_____
420	<p>SOD (FRONT YARD)</p> <p>Prepare the location for the sod by roto-tilling and raking out debris. Finish grade and lay 1" deep sod of a variety listed by the Michigan State Extension Service (http://msue.anr.msu.edu/) as 'Native and Non-Invasive' and 'Drought Tolerant' on prepared ground. Fertilize with 10-10-10 roll and water to saturation and keep watered until construction completion.</p>	1.00	SY	_____	_____
427	<p>TREE--PLANT</p> <p>Contact local underground utility locator prior to planting the tree to identify the location of underground utilities. Do not plant the tree close to underground or overhead utilities. Locate the tree at least 20 feet away from any building. Prior to digging the hole for the tree, expose the crown at the base of the trunk by removing soil from the top of the root ball. Mark out a planting area four times wider than the root ball diameter. Loosen this area to an 8-inch depth. In the center of the planting area, dig a hole at least twice as wide as the root ball and no deeper than the depth of the soil in the root ball. The bottom of the ball should rest on solid, undisturbed soil. When finished the soil at the base of the tree must be at the same level on the tree as the surrounding soil. Plant a 1-1/2 inch caliper tree listed by the</p>	1.00	EA	_____	_____

Address: 1450 Seyburn Street

Unit: Unit 01

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec # Spec

Quantity Units Unit Price Total Price

Trade: 4 Site Work

Michigan State Extension Service (<http://msue.anr.msu.edu/>) as 'Native and Non-Invasive' and 'Drought Tolerant'. Install staking and a 3" layer of dark premium mulch, leave 6" clear area around the diameter of the trunk, exposing the soil.

440 GROUND COVER--PACHYSANDRA 1.00 EA

Plant pachysandra ground cover in prepared bed, 12" on center in all directions. Refer to drawings for location(s).

460 TRIM ALL OVERGROWTH--ALLOWANCE 1.00 AL

Trim all dead, decaying, damaged, overgrown or plants, shrubs and trees, to provide safety and an attractive appearance. Remove 50% of tree limb length that overhangs any structure. Remove all tree / tree limbs that interfere with overhead utilities. Remove all debris and rake clean.

465 REMOVE TREE AND GRIND STUMP 1.00 EA

Cut and remove tree to legal dump. Grind stump to 6" below grade. Install top soil and reseed all disturbed areas.

502 EARTHWORK--GENERAL REQUIREMENTS 1.00 EA

All earthwork shall maintain pedestrian access to home and conform to local soil/water conservation regulations. Fill shall be compacted to 90% using a modified proctor test and dressed with 2" of 50% organic top soil. Lawn areas shall be fertilized, seeded, mulched and cared for until a full stand of grass shall be mowed two times.

550 REGRADE FOUNDATION 1.00 SF

Provide and grade a loam topsoil to create at least a 1 in 4 positive drainage away from house a minimum of 4' from the foundation prior to the installation of sod or reseeded.

Trade: 5 [Redacted]posal

750 [Redacted] DEMO [Redacted] 1.00 EA

Discover and remove all plumbing services. Demolish outbuilding to 12" below grade and dispose of debris in code legal manner. Make yard clean including [Redacted] and glass. The contractor shall [Redacted] all other structures, [Redacted] driveway, and lawn areas.

795 [Redacted] TO LANDFILL 1.00 LD

Remove temporary storage on site and legally dispose of all debris resulting from construction activities. Make yard [Redacted] and free of glass, nails and lead substances.

Garage (Repair)

Repair/replaced rotted deteriorated wood siding w/ new wood siding; replace asphalt shingle roof (chipred)

w/ new asphalt shingle roof to match main house; repair damaged wood at eaves; seals w/ new wood to match existing. Repair damaged hinged paired entry doors

Trade: 6 [Redacted]

850 [Redacted] REPAIR [Redacted] 1.00 EA or

All concrete shall be 3% air-entrained, ready mix, 4000 psi, maximum slump, unless otherwise specified. All concrete on original [Redacted] shall be compacted to 90% straight, solid, free of voids. [Redacted] concrete shall be: free of voids, [Redacted] with a liquid curing compound and protected from the weather while curing.

(east eave) replace w/ new wood doors to match existing; install new wood service door at south eave; install new 1/2 double hung wood window at west eave

JEA

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 7 Masonry					
1225	MASONRY--CLEAN Remove stains, graffiti and dirt from masonry wall using methods and chemicals that are not harmful to the masonry or mortar in a manner acceptable to historical rehabilitation standards.	2,500.00	SF	_____	_____
1230	MASONRY--REPOINT Cut out mortar at least 1/2". Remove all loose material with clear water. Saturate joints with water and repoint in 1/2" lifts using portland cement mortar matching the color of the existing adjacent mortar as closely as possible. Reinstall flashing, tool concave joints and clean brick face. The replacement / repair area should not be readily discernible or apparent to an independent observer standing at grade level.	500.00	SF	_____	_____
1325	CHIMNEY CLEANING Provide a specialized subcontractor to inspect condition of chimney and remove build up of soot and creosote from chimney.	2.00	EA	_____	_____
1330	CHIMNEY--REPOINT Repair chimney above roof area by cutting out mortar at least 1/2". Remove all loose material with clear water. Saturate joints with water and repoint in 1/2" lifts using portland cement mortar matching the color of the existing adjacent mortar as closely as possible. Replace all missing and defective materials with matching materials. Clean mortar and other debris from adjoining surfaces and gutter. The replacement / repair area should not be readily discernible or apparent to an independent observer standing at grade level.	2.00	EA	_____	_____
1340	CHIMNEY CAP Replace chimney cap with a precast, concrete cap cemented in place. Match new cap in shape, size and profile as closely as possible to the existing cap.	2.00	EA	_____	_____
1345	CHIMNEY REMOVAL Remove the chimney completely from foundation through roof. Rebuild portion of chimney from attic floor structure to existing elevation above roof. Clad new wood framed chimney with 'Thin-Brick' to match existing masonry chimney in size, shape, profile, coursing and color (masonry and mortar). Structural engineer is to provide appropriate details to carry new load of the new faux chimney at the third floor frame. Pour new concrete slab in existing chimney location in basement, refer to concrete slab specification (basement). Install new flashing around new chimney. Install new weatherproof metal cap on top of new chimney to accommodate the new mechanical systems' exhaust and intake.	1.00	EA	_____	_____
Trade: 8 Metal Work					
1460	METAL HANDRAIL--WROUGHT Design, fabricate, prime, topcoat and install a one-piece wrought-iron handrail with 2" flat top and bottom rails.	8.00	LF	_____	_____

Address: 1450 Seyburn Street

Unit: Unit 01

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 10 Carpentry

Custom	BAY WINDOW RESTORATION - SECOND LEVEL Carefully remove all nonoriginal elements from the existing bay window on the second level in front of dwelling and the bay window at the landing on the stair from the first to second floors. Completely remove all paint down to bare wood using heat and/or chemical strippers. Replace all rotten, deteriorated or missing wood elements of the original assembly with wood to match existing in species. Patch all defects in original assembly and all transitions to new replaced components with bondo. Prepare all surfaces by sanding, priming and painting.	2.00	EA		
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Custom	BAY WINDOWS - FIRST FLOOR (DINING & LIVING ROOMS) Carefully remove all nonoriginal elements from the existing bay window on the first level in the front of dwelling at the dining and living rooms. Repair all structural framing as required due to deterioration / decay. Install a new 8" concrete (3500psi) foundation wall to bottom of the existing adjacent foundation wall. Strengthen and / or rebuild first floor frame at each location on top of new foundation wall. Completely remove all paint down to bare wood using heat and/or chemical strippers. Replace all rotten, deteriorated or missing wood elements of the original decorative exterior assembly with wood to match existing in species. Patch all defects in original assembly and all transitions to new replaced components with bondo. Prepare all surfaces by sanding, priming and painting.	2.00	EA		
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Trade: 15 Roofing

4585	REROOF--1/2" DECK/FIBERGLASS SHINGLE Remove and dispose of all roofing & defective sheathing and patch as necessary. Install 1/2" CDX plywood over entire roof. Cut a 1" wide vent space, at ridge on either side of pitch, through new CDX plywood and existing sheathing beneath. Install 36 inch wide strips of Grace Ice and Water Shield, or equal, at the eaves and in the valleys. Install 15 lb. bituminous building felt with staples as underlayment on the remainder of the roof decking. Install preformed black 0.19" aluminum drip edge at all edges and provide vent pipe boots. Install continuous ridge vent. Install CertainTeed self-sealing, 250lb fiberglass asphalt, 3-tab 'architectural' shingle, 'Independent Series' or equal with a 25 year warranty. Replace all flashing, including valleys, with 0.19" aluminum. Install aluminum step flashing at all wall junctures. Install flashing and roof shingles, not relying on sealants for waterproofing. Follow all manufactures preparation and installation requirements. Install shingles over continuous ridge vent. Submit samples for owner's selection.	1,500.00	SQ		
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4620	FLASH CHIMNEY Step flash top and down sides of chimney 1/2" into mortar joints using .027 aluminum or copper. Counter flash completed assembly with aluminum or copper. Guarantee assembly from leaks for 10 years.	2.00	EA		
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4622	SHEET METAL CHIMNEY CAP Measure top of chimney. Fashion a cover out of pan formed 21 gauge galv. sheet metal with min. 15 degree slope on top, galv.	2.00	EA		
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Address: 1450 Seyburn Street

Unit: Unit 01

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
Trade: 15	Roofing				
	flue insert w/ rain cap, and min. 1 1/2" sides. Solder all connections and attach with anchors suitable for substrate.				
4635	GUTTER--5" SEAMLESS ALUMINUM Dispose of gutter. Install 5", K- type, seamless, .027 gauge aluminum gutter to service roof. Submit color samples (gutter sections not printed colors) for owners selection.	200.00	LF		
4640	DOWNSPOUT--5" SEAMLESS ALUMINUM Dispose of existing downspout. Install 5", square, seamless, .027 gauge aluminum downspout. Strap at least 3' on center. Install elbow at bottom of downspout and positively slope leader away from house not less than 2'-0". Submit color samples (gutter sections not printed colors) for owners selection.	130.00	LF		
4665	SPLASH BLOCK Place concrete splashblock at end of downspout directing the storm water away from the building.	6.00	EA		
4710	VENT--ALUMINUM RIDGE Install continuous ridge vent and install shingles over ridge vent as per manufacturer's specifications and requirements.	1.00	LF		
4727	ROOF VENTILATION--COMBINED SOFFIT AND RIDGE Install 1 SF of combined continuous soffit and ridge ventilation. Soffit ventilation for every 300 SF of attic floor area. To vent the soffit use "Air Vent" continuous aluminum soffit vent (models SV201 or SV202) or "Air Vent" rectangular Under Eve Vents. On the ridge use "Shingle Over" style Ridge ventilation. 40% of the total required ventilation must be provided by the free air space rating of Ridge vents. 60% of the total required ventilation must be provided by the free air space rating of Soffit vents. All vents must be screened or be of a corrugated construction to prevent the intrusion of insects and if exposed must have a factory applied finish.	124.00	LF		
4755	FASCIA 1"X 6" <i>wood</i> Install a 3/4"x 5-1/2" Hard <i>wood</i> trim, smooth, boards with bevel cut joints using galvanized finish nails. Prepare, install, fasten, prime, caulk and paint per manufactures recommendations / instruction.	230.00	LF		
4760	SOFFIT Preserve existing soffit by preparing for paint as covered in other adjacent specification sections. If sections of the soffit are either missing or in need of replacement, replace with material <i>(wood)</i> to match the existing soffit. In existing and new applications provide for venting as specified.	230.00	LF		

Trade: 19 Paint & Wallpaper

5656	PREP & PAINT EXTERIOR WOOD SIDING Cover ground with drop cloth. Scrape all loose, cracked, peeling and blistered paint from siding. Feather edges and dull gloss with sandpaper. Dispose of chips properly. Rinse all surfaces with a hose. Caulk and fill holes. Spot prime and top coat siding with owner's choice of premixed acrylic latex.	1.00	SF		
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Address: 1450 Seyburn Street

Unit: Unit 01

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 19 Paint & Wallpaper

5677 PREP & PAINT EXTERIOR TRIM-LOW VOC 1.00 DU

Using lead work safe practices remove & properly dispose all loose materials prior to installation of new materials. Using lead work safe practices prepare existing wood surfaces specified for stabilization prior to paint application by securing, replacing or repairing all loose, broken, rotted, or deteriorated materials to provide a sound surface for paint application. Using lead work safe practices and following paint manufacturer's recommendations prepare trim surfaces by removing all loose paint. Use a 25-year or better paintable Low VOC caulk matched for color to fill all cracks, voids, holes, etc. prior to painting. Apply a compatible exterior Low VOC primer to all bare wood areas. Apply two coats of quality exterior LOW VOC paint to specified wood. All paints and primers must not exceed the following maximum VOC requirements: Flats 50 g/L; Non-flats 50 g/L; Floor 100 g/L; Anti-corrosive 250 g/L. All adhesives must comply with Rule 1168 of the South Coast Air Quality Management District. www.aqmd.gov/rules/reg/reg11/r1168.pdf All caulks and sealants must comply with Regulation 8, Rule 51, of the Bay Area Air Quality Management District (BAAQMD). Color is the choice of the owner from stock colors. All work to be done in a neat & professional manner. Use care to protect all surfaces not intended for paint coverage.

5679 PREP & PAINT EXTERIOR WOOD--LOW VOC 1.00 DU

Using lead work safe practices remove & properly dispose all loose materials prior to installation of new materials. Using lead work safe practices prepare existing wood surfaces specified for stabilization prior to paint application by securing, replacing or repairing all loose, broken, rotted, or deteriorated materials to provide a sound surface for paint application. Using lead work safe practices and following paint manufacturer's recommendations prepare all wood surfaces by removing all loose paint. Use a 25-year or better paintable Low VOC caulk matched for color to fill all cracks, voids, holes, etc. prior to painting. Apply a compatible exterior Low VOC primer to all bare wood areas. Apply two coats of quality exterior LOW VOC paint to specified wood. All paints and primers must not exceed the following maximum VOC requirements: Flats 50 g/L; Non-flats 50 g/L; Floor 100 g/L; Anti-corrosive 250 g/L. All adhesives must comply with Rule 1168 of the South Coast Air Quality Management District. www.aqmd.gov/rules/reg/reg11/r1168.pdf All caulks and sealants must comply with Regulation 8, Rule 51, of the Bay Area Air Quality Management District (BAAQMD). Color is the choice of the owner from stock colors. All work to be done in a neat & professional manner. Use care to protect all surfaces not intended for paint coverage.

Trade: 22 Plumbing

7135 HOSE BIBB 1.00 EA

Install a chrome plated, frost-free hose bibb on outside of structure in side of house adjacent to front yard area and on rear of the house adjacent to the rear porch with inside shut-off valve(s) and backflow preventer(s). Seal exterior penetration

Address: 1450 Seyburn Street

Unit: Unit 01

Location: 1 - Exterior

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec # Spec

Quantity Units Unit Price Total Price

Trade: 22 Plumbing

with silicone caulk. Refer to drawings for locations.

Trade: 23 Electric

7640 WEATHERPROOF RECEPTACLE

2.00 EA

Install a 15 amp, ground fault protected, recess mounted, weatherproof, PVC or non-ferrous box and receptacle using #14 copper Romex in EMT. Install one front facade wall and rear facade wall adjacent to the front and rear exterior doors. All exterior receptacles are to be independently switched via switches located adjacent to nearest exterior door. Refer to drawings for specific locations of receptacle and switching. Receptacle cover shall be permanently connected to box.

8045 DOORBELL SYSTEM (ALL EXTERIOR DOORS)

3.00 EA

Install a doorbell system containing a low voltage transformer, power connection, buzzer and lit door button(s). Each exterior door is to receive a door button that activates a different chime.

8162 ENTRANCE LIGHT - EXT. C.M.

1.00 EA

Install a Capital Lighting 9917MBZ 3 Light Preston exterior, surface mounted (ceiling), fixture with both a dusk to dawn sensor with a manual switch override. Locate switch on interior of dwelling, adjacent to door it is servicing. Include wire box, interior switch and lamp. Fish wire and repair all tear out.

8175 FLOOD LIGHT--DOUBLE BULB

2.00 EA

Install one (1) a building mounted, double lamp, CFL flood light on the main building capable of illuminating entire rear yard. Install fixture with photoelectric switch and interior 'manual' override switch. No exposed exterior wiring or conduit is to be run. Refer to light fixture schedule for Make and Model of light fixture. Refer to drawings for location(s).

Location Total:

Location: 2 - Front Porch

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec # Spec

Quantity Units Unit Price Total Price

Trade: 1 General Requirements

2226 BEAM - TRIPLE 2"x10" PRESSURE TREATED

10.00 AL

Install a triple 2"x10" beam, pressure treated, level, crown up to support new porch roof. New built-up-beam is to be supported on both ends with Simpson Strong Tie THGWW5.5/9.

1. Both ends are to be supported by continuous 6x6 pressure treated wood columns, concealed within decorative trim.

--or--

2. Where only one new column is present at one end, install three (3) pressure treated 2x4's or 2x6's jack studs within wall framing with direct bearing over foundation, to accept other beam end.

Address: 1450 Seyburn Street

Unit: Unit 01

Location: 2 - Front Porch

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec # Spec

Quantity Units Unit Price Total Price

Trade: 1 General Requirements

--or--

3 Both ends are to be supported by three (3) pressure treated 2x4's or 2x6's jack studs within wall framing, with direct bearing over foundation, to accept beam ends.

Trade: 5 Demolition & Disposal

755 DEMO PORCH 1.00 EA

Carefully remove all decorative and ornamental woodwork for reuse in rebuilding new porch structure. Demolish entire structure including roof, beam, columns/posts, concrete deck, railing/walls, substructure and steps and dispose according to local laws, codes and ordinances. Patch and repair the existing main building foundation wall, waterproof exposed walls down to footing as a result of porch demolition. Rebuild porch to match existing

OK

765 DEMO CONCRETE 200.00 SF

Break up concrete and remove off site to code legal dump.

decorative detailing

Trade: 6 Concrete & Paving

861 **FOUNDATIONS** 50.00 LF

Excavate a straight sided continuous trench 4" below the frost line to solid bearing. Pour new 14", 3500 psi, continuous trench footing per drawings and structural notes. Install 2'-8" lead wall where trench footing abuts basement wall. Place #5 reinforcing rod / bars as required by the drawings. Provide for brick ledge below grade to accept newly installed masonry coursing to match original construction in size, shape style and coursing height. Provide ledge to support new galvanized steel corrugated deck to support new concrete slab.

913 CONCRETE PORCH SLAB 1.00 SF

Install new Concrete slab in all areas is to be 4" thick (3,500 psi) with 6x6 epoxy coated welded wire fabric over 6 mill vapor and radon barrier on clean, termite treated, sand fill with 95% compaction over undisturbed subsoil. Provide saw-cut expansion joints and isolation joints around the inside perimeter of the brick veneer wall and dwelling face using standard isolation joint material. Screed, float, and finish with a steel trowel to a smooth surface (no texture or broom finish) that drains water to away from dwelling and toward decorative scupper(s) in masonry brick retaining wall

1045 STEPS AND LANDINGS--CONCRETE 5.00 RI

Excavate, level & compact to 85% a well drained subgrade. Reinforce with 6x6, epoxy coated, welded wire fabric. Form and pour (site cast) 4000 psi, 3% air entrained, concrete steps on 10" continuous footing placed below frost depth. Steps shall be uniform and even. On any given flight of stairs, all steps shall have uniform riser heights and uniform tread widths. Stair treads shall be no less than 11" wide, measured from riser to riser. Riser heights are to be calculated to an average

Address: 1450 Seyburn Street

Unit: Unit 01

Location: 2 - Front Porch

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 6 Concrete & Paving

consistent height, variations in height are not to exceed 3/8", the maximum riser height shall not exceed 7-3/4". Broom finish across direction of traffic and remove forms.

Trade: 7 Masonry

1222 BRICK--GENERAL REQUIREMENTS

1.00 GR

Mortar mixes shall be in accordance with local building code requirements. Lay units when temperature is 40 F. or more. Protect from exposure to precipitation, heat, freezing, soiling, backfill and other harmful elements. Clean surface with scraper, wirebrush, and wash with cleaning compound. Flush with water and broom clean.

Trade: 10 Carpentry

3505 PORCH CEILING--T&G

120.00 SF

Remove all existing ceiling material. Install tongue and groove stripping, blind nailed to joists - stain grade, clear coated.

Trade: 15 Roofing

4440 FRAME ROOF--PITCHED

100.00 SF

Frame new roof structure to match existing pitch 2x8 pressure treated wood rafters. Provide framing to accept hidden integral gutter system, not visible from sidewalk.

4490 ROOF SHEATHING 1/2"

120.00 SF

Remove existing roofing membrane down to clean deck. Install 1/2" CDX plywood sheathing nailed 8" on center using plywood clips

4494 BUILT-IN GUTTER CLOSURE

40.00 LF

Remove built-in gutter components. Coordinate with new framing members, install new integral aluminum gutter system around entire perimeter of new front porch. Frame new aluminum integral gutter system in same location. Flash and counter flash new gutter system, coordinate. Drain integral gutter via downspouts hidden in columns and to discharge at base of masonry retaining wall 6" above grade.

4546 EPDM--FULLY ADHERED

150.00 SF

Clean all loose materials off of roof. Install a 60 mill EPDM, single ply membrane, Carlisle or equal, with adhesive over approved underlayment, per manufacturer's specifications. All membrane flashing, metal flashings and counter flash cones, as well as installation procedure to follow manufacturer's specifications. Furnish Owner w/20 year labor and materials warranty.

Trade: 23 Electric

8162 ENTRANCE LIGHT

1.00 EA

Install a Capital Lighting 9917MBZ 3 Light Preston exterior, ceiling mounted, fixture with both a dusk to dawn sensor with a

Address: 1450 Seyburn Street

Unit: Unit 01

Location: 2 - Front Porch

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 23 Electric

manual switch override. Locate switch on interior of dwelling, adjacent to door it is servicing. Include wire box, interior switch and lamp. Fish wire and repair all tear out.

Location Total: _____

Location: 3 - Rear Addition

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 5 Demolition & Disposal

750	DEMO BUILDING PORTION	1.00	EA	_____	_____
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Disconnect and cap off all electrical and plumbing services. Demolish existing rear extension including existing wood framed rear porch roof adjacent to kitchen, pantry and two story structure housing family room on first level and sitting room on second level. Structure is to be removed to the bottom of the existing foundation and dispose of debris according to local laws, codes and ordinances. Rake yard clean including nails and glass and prepare area for new construction. The contractor shall protect and secure from damage all other structures, sidewalks, paved areas, shrubbery, and lawn areas.

765	DEMO CONCRETE	200.00	SF	_____	_____
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Break up concrete and remove off site to code legal dump.

Trade: 10 Carpentry

Custom	NEW ADDITION	350.00	SQ	_____	_____
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Construct new wood framed two story addition in same shape and character as existing extension that is to be removed. New addition is to include new rear covered porch with stairs from grade up to first floor level and new family room (first floor) with new sitting room above (second floor). New addition is to be constructed on new poured in place continuous concrete foundation wall over new poured in place spread footing. Roof construction is to be ^{shipped} ~~hipped~~ to match existing main building with new fiberglass shingles. New wood windows that are to be of the same size, shape, character and location as the original are to be installed. Exterior masonry veneer is to cladd first floor level while new wood lap siding and trim is to cladd second level. Refer to specification #018300 for the Facility Shell Performance Requirements. New addition is to match the existing addition, to be removed, in shape, profile, height and character.

U26

Location Total: _____

Location: 4 - Rear Porch

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Address: 1450 Seyburn Street

Unit: Unit 01

Location: 4 - Rear Porch

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec #	Spec	Quantity	Units	Unit Price	Total Price
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Trade: 1 General Requirements

2226	BEAM - TRIPLE 2"x10" PRESSURE TREATED	1.00	AL		
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Install a triple 2"x10" beam, pressure treated, level, crown up to support new porch roof. New built-up-beam is to be supported on both ends with Simpson Strong Tie THGWV5.5/9.

1. Both ends are to be supported by continuous 6x6 pressure treated wood columns, concealed within decorative trim.

--or--

2. Where only one new column is present at one end, install three (3) pressure treated 2x4's or 2x6's jack studs within wall framing with direct bearing over foundation, to accept other beam end.

--or--

3. Both ends are to be supported by three (3) pressure treated 2x4's or 2x6's jack studs within wall framing, with direct bearing over foundation, to accept beam ends.

Trade: 5 Demolition & Disposal

755	DEMO PORCH	200.00	EA		
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Demolish entire porch including roof, columns/posts, deck, railing/walls, substructure, lattice and steps and dispose of in code legal dump. Rake yard clean. Patch trim and siding matching as closely as possible in like kind.

Trade: 10 Carpentry

2225	BEAM--TRIPLE 2"x10"	10.00	LF		
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Install a triple 2"x10" beam, pressure treated, level, crown up. Secure with both ends with Simpson Strong Tie.

3525	GUARD RAIL--WOOD	6.00	LF		
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Dispose of any existing railing. Construct a preservative treated pine railing using 2"x 4" top and bottom rails, and 2"x 2" balusters face nailed 6" on center. Create a 3'6" high railing between 4"x 4" end posts.

3558	COVERED COMPOSITE DECK	40.00	SF		
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Construct a covered deck with a preservative treated wood substructure and composite decking. Install 12" masonry piers to below the frost line formed with standard cardboard tube styel forms sufficient to support the structure. Framing attached to the concrete piers shall be isolated from the concrete using Simpson StrongTie (or similar) connectors. Install 2"x 10" joists and headers framed on 16 inch centers with 4"x 4" posts for roof. Ledger boards attached to the building shall be securely lagged to the structure with flashing that shed water from the building's cladding over the ledger. The roof shall be flashed to the building cladding in a manner that does not rely upon sealants. Install a roof structure to cover the deck with a minimum 12" overhang with minimum 2"x 8" rafters, 5/8"

Address: 1450 Seyburn Street

Unit: Unit 01

Location: 4 - Rear Porch

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec # Spec

Quantity Units Unit Price Total Price

Trade: 10 Carpentry

plywood deck, fiberglass shingles, and aluminum gutter and downspouts. Framing shall not be assembled in a manner that traps moisture and encourages deterioration. Trim the perimeter of the deck with a composite skirt board to match the decking. All structural lumber shall be preservative treated and decking shall be composite, such as TREX.

3595	STEPS--REPLACE EXTERIOR--RI Dispose of existing steps. Construct a replacement stair unit with two 2"x 12" preservative treated pine stringers, 5/4" PTP stepping stock treads, 1x PTP risers on a solid concrete footer. Frame stairs 3' wide.	5.00	RI	_____	_____
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Trade: 15 Roofing

4492	ROOF SHEATHING 3/4" Install 3/4" CDX plywood sheathing nailed 8" on center using plywood clips.	90.00	SF	_____	_____
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4546	EPDM-FULLY ADHERED WALKABLE MEMBRANE Clean all loose materials off of roof. Install a 60 mill EPDM, single ply membrane, Duradek or equal, with adhesive over approved underlayment, per manufacturer's specifications. All membrane flashing, metal flashings and counter flash cones, as well as installation procedure to follow manufacturer's specifications. Furnish Owner w/20 year labor and materials warranty.	90.00	SQ	_____	_____
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4635	GUTTER--5" SEAMLESS ALUMINUM Dispose of gutter. Install 5", K-type, seamless, .027 gauge aluminum gutter to service roof. White or brown color choice by owner.	20.00	LF	_____	_____
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4640	DOWNSPOUT--5" SEAMLESS ALUMINUM Dispose of existing downspout. Install 5", square, seamless, .027 gauge, white, aluminum downspout. Strap at least 3' on center.	12.00	LF	_____	_____
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4665	SPLASH BLOCK Place concrete or plastic splashblock at end of downspout directing the storm water away from the building.	1.00	EA	_____	_____
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Trade: 23 Electric

7640	WEATHERPROOF RECEPTACLE Install a 15 amp, ground fault protected, surface mounted, weatherproof, PVC or non-ferrous box and receptacle using #14 copper Romex in EMT. Receptacle cover shall be permanently connected to box.	1.00	EA	_____	_____
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8162	ENTRANCE LIGHT Install a Capital Lighting 9917MBZ 3 Light Preston exterior, ceiling mounted, fixture with both a dusk to dawn sensor with a manual switch override. Locate switch on interior of dwelling, adjacent to door it is servicing. Include wire box, interior switch and lamp. Fish wire and repair all tear out.	1.00	EA	_____	_____
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Address: 1450 Seyburn Street

Unit: Unit 01

Location: 4 - Rear Porch

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec # Spec

Quantity Units Unit Price Total Price

Trade: 23 Electric

Location Total:

Location: 5 - Basement

Approx. Wall SF: 0

Ceiling/Floor SF: 0

Spec # Spec

Quantity Units Unit Price Total Price

Trade: 1 General Requirements

896 FOUNDATION WATERPROOFING

1.00 LF

Install a complete waterproofing membrane system, Henry Waterproofing Systems, or equal, on all portions of the existing foundation wall that is newly constructed, repaired, modified, uncovered, or otherwise showing signs of water infiltration. If the existing foundation wall is not touched from the exterior, apply on interior, behind scheduled wall insulation system.

2497 STRUCTURAL REPAIR - SILL PLATE ANCHORAGE

1.00 GR

Install new anchor straps at 24" on center and 12" from all corners in existing masonry foundation wall, use Simpson Strong Tie - FSA Ties, see Structural Drawings and Details.

Trade: 6 Concrete & Paving

1156 FOUNDATION - COLUMN PAD

8.00 EA

Neatly saw cut the existing slab at the locations of the new steel columns in preparation for the installation of new 36"Lx36"Wx17"D concrete (4,000psi) pad foundations on undisturbed soil. Provide neoprene isolation joint around entire perimeter. Refer to structural engineering drawings / details.

Trade: 7 Masonry

1170 BLOCK WALL REPAIR

1.00 SF

Remove damaged block and patch wall by toothing replacement block of same dimensions into wall.

1185 GLASS BLOCK

6.00 EA

Block all existing basement openings, except front windows, with 6"x 6"x 4" thick glass block with tooled joints both sides.

exterior screens as per HBC glass block guidelines (see attached)

Trade: 8 Metal Work

2228 STEEL COLUMN

8.00 EA

Replace existing columns / posts with new HSS 3" Diameter x .188" steel columns. Place new steel columns not more than 2'-0" away from existing exterior foundation wall. Provide new beam pocket in foundation wall at either end of new beam. Install new columns spaced not more than 10'-0" on center. Secure to new foundation with 1/2" diameter Titen HD high strength anchor or equal on 8x8x1/4" steel plate. Refer to structural engineering drawings / details.

Front Porch (rebuild to match below appearance) ^{DRK}

