

STAFF REPORT: 07/10/2024 MEETING

PREPARED BY: J. ROSS

APPLICATION NUMBER: HDC20204-00338

ADDRESS: 1376-1378 MICHIGAN AVENUE

HISTORIC DISTRICT: CORKTOWN

APPLICANT: BRIAN HURTTIENNE/CHRISTIAN HURTTIENNE ARCHITECTS

OWNER: NEMOS REALTY CO LLC

DATE OF PROVISIONALLY COMPLETE APPLICATION: 6/17/2024

DATE OF STAFF VISIT: 6/25/2024

SCOPE OF WORK: ERECT REAR ADDITION

EXISTING CONDITION

The property located at 1376-1378 Michigan Avenue includes a masonry commercial building that was erected in 1893 and a paved parking lot. The building includes a two-story, flat roof main mass with a rear, one-story flat-roof wing. The building's brick walls are topped with a distinctive, decorative cornice. Windows are double-hung, aluminum-clad wood units. All window openings at the rear, one-story wing have been enclosed with masonry. Historic-age wood shutters are visible at the building's façade, second story. A canvas awning shelters the non-historic aluminum storefront at the building's primary elevation.



1367-1378 Michigan Avenue, facing northeast. Photo taken by staff on 6/25/2024

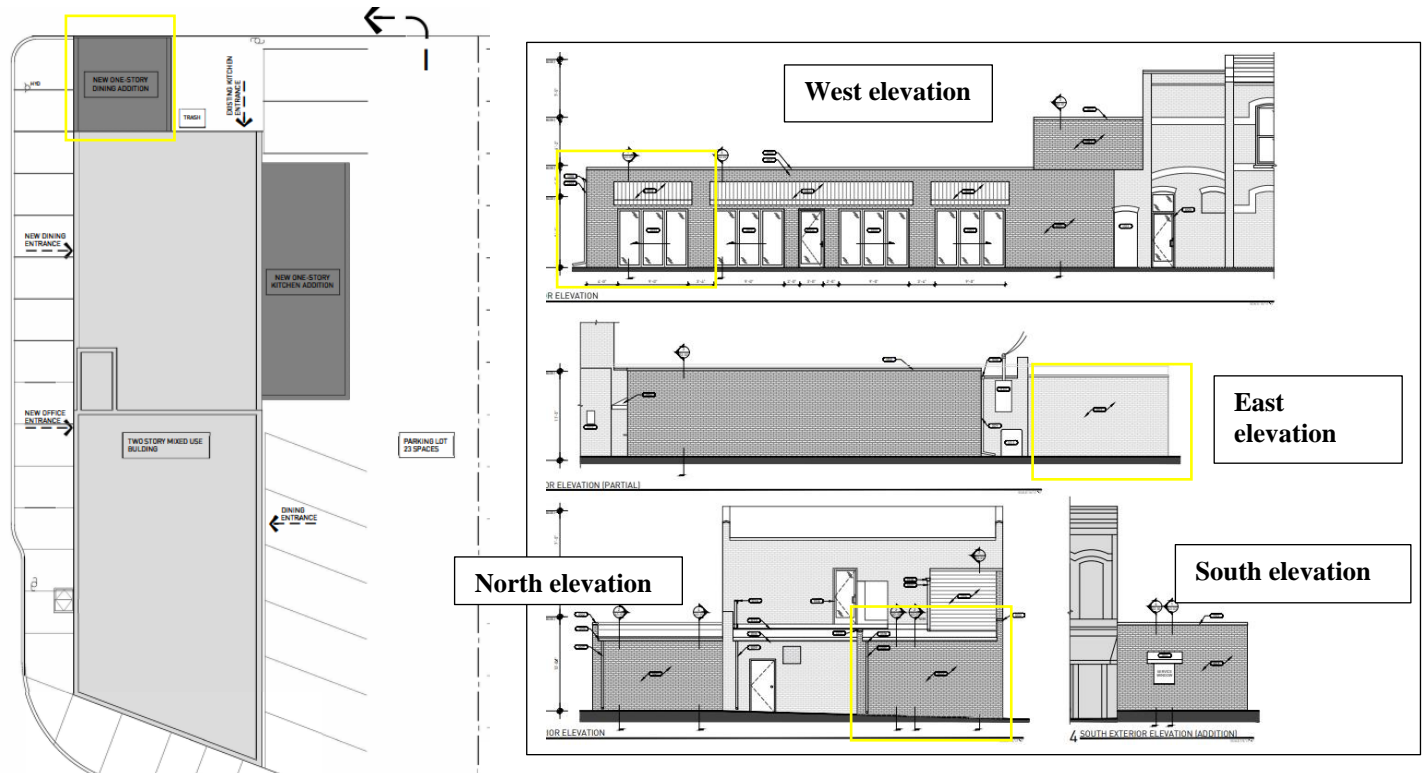
PROPOSAL

Per the submission, the applicant is seeking the Commission's approval to erect a one-story, shed-roof addition at the building's rear elevation. The addition will be clad with brick to match the existing wall cladding and the height of the east and west elevation parapets will meet those at the existing building. The west and north elevations will not have window or door openings. However, door openings will be located at the east elevation.

STAFF OBSERVATIONS AND RESEARCH

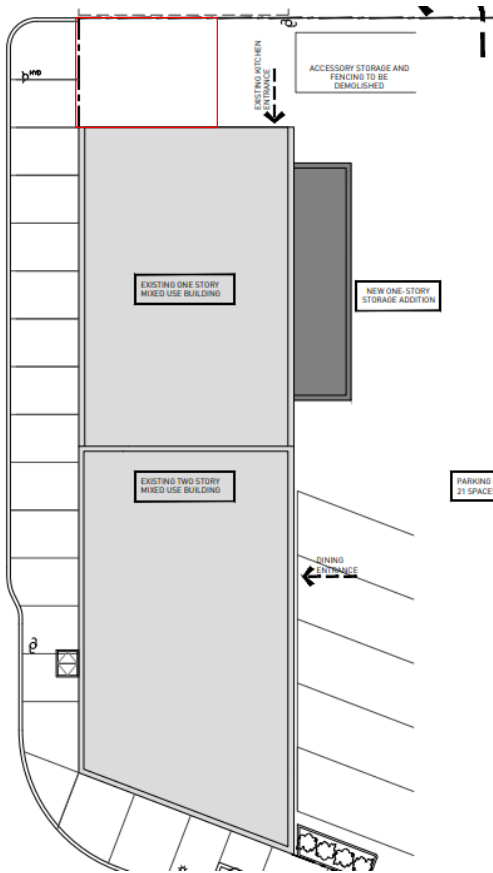
- In 2019, the applicant received a Certificate of Appropriateness (COA) from the Commission to undertake a number of exterior work items to include the replacement of windows, the installation of a new awning at the front elevation, the erection of a new rooftop stair enclosure and the installation of Nana sliding doors at the west elevation. The COA also allowed for the erection of a one-story dining room addition to the building's rear/north elevation and a second,

one-story addition to the building's east elevation which would house new kitchen space. See below for the drawings which were approved in 2019



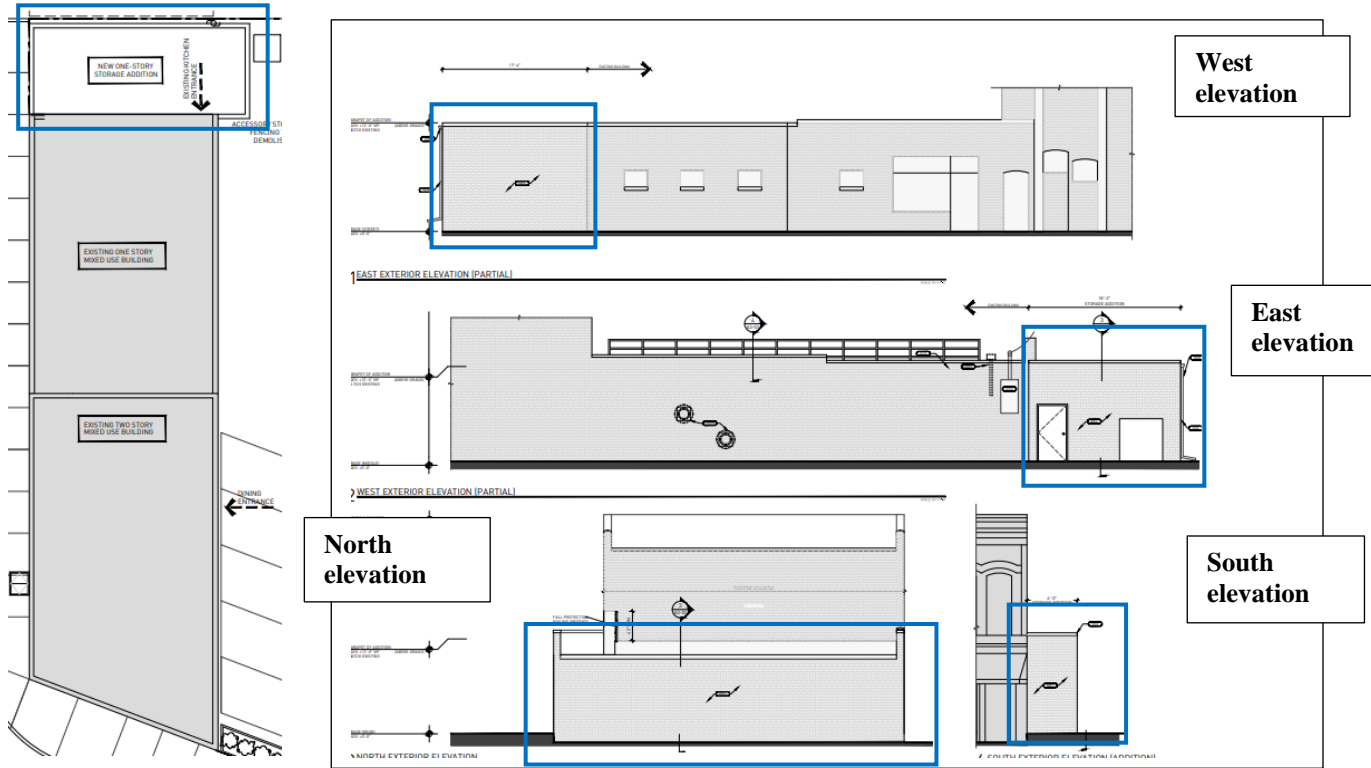
Drawings approved in 2019. Area outlined in yellow indicates proposed location of new rear addition

- In 2023, staff issued a COA for a proposal to modify the previously approved project design under our “minor changes” approval authority per HDC resolution 19-05, which included the removal of the proposed rear addition, the reduction of east elevation’s addition footprint, and the and the demolition of the existing unconditioned, non-historic storage building and fencing to the east of the building. See the below drawings.



Revised plan. Project received a COA from staff in 2023 under our “minor changes” approval authority. Area outlined in red indicates the location of the formerly proposed rear addition which was approved by the HDC in 2019

- The current application proposes to erect a new addition at the building’s rear elevation, at roughly the same location as the addition that was approved in 2019. Staff has forwarded this application to the Commission rather than reviewing it under our “minor changes” approval authority because the current proposal presents a significant modification of the earlier approved rear addition design as it is wider than the addition proposed in 2019 and it lacks the fenestration/Nana sliding doors on its highly visible west elevation which were proposed in 2019. See the below current proposed design.



Current proposal. Areas outlined in blue indicate location of proposed new addition

- It is staff's opinion that the newly proposed addition, subject of the current application, is compatible with the existing building and will not result in the destruction of distinctive character-defining features (see the below photo).



1376-1378 Michigan Avenue, facing southeast. Current conditions. Staff photo taken on 6/25/2024

ISSUES

- None

RECOMMENDATION

Recommendation #1 - Section 21-2-73, CERTIFICATE OF APPROPRIATENESS- Erect a rear addition

It is staff's opinion that the project is appropriate to the building's historic character and therefore recommends that the Commission issue a Certificate of Appropriateness for the work because it meets the Secretary of the Interior's Standards for Rehabilitation and conforms to the district's Elements of Design