

REVISED 7/8/2024 STAFF REPORT: 7/10/2024 MEETING PREPARED BY: J. ROSS

ADDRESS: 1108 VAN DYKE

APPLICATION NO: #HDC2024-00355

HISTORIC DISTRICT: WEST VILLAGE

APPLICANT/ARCHITECT: JOSH MADDOX/4545 ARCHITECTURE

OWNER: BANYAN LLC

DATE OF STAFF SITE VISIT: 6/25/2024

DATE OF PROVISIONALLY COMPLETE APPLICATION: 6/17/2024

SCOPE: DEMOLISH GARAGE; ERECT GARAGE; REHABILITATE DWELLING

EXISTING CONDITIONS



1108 Van Dyke, facing southeast showing current conditions. Staff photo taken on 6/25/2024



1108 Van Dyke, facing northeast, showing current conditions. Photo provided by applicant



1108 Van Dyke, facing south showing current appearance. Photo provided by applicant



1108 Van Dyke, facing east showing brick walkway and steps with stone treads. Staff photo taken on 6/25/2024



1108 Van Dyke, facing west showing current appearance. Photo provided by applicant



1108 Van Dyke garage, facing northwest showing current appearance of garage. Staff photo taken on 6/25/2024



1108 Van Dyke garage, facing southeast showing current appearance. Photo provided by applicant



1108 Van Dyke with garage to rear. HDC staff photo taken in 2018

The subject property includes a ca. 1916, 1 ½-story, single-family home and 1-story detached garage to the rear. The home is unusually sited as the primary elevation faces north. It sits atop a raised terrace which gently slopes towards the open front lawn. The resource remains as a rare, excellent example of a French Colonial Revival style, single-family detached home within the district. Existing landscape features, such as the red brick walkway with brick and stone steps and the raised terrace contributes greatly to the property's picturesque rural aesthetic. The Van Dyke facing/west elevation features brick cladding and a distinctive centrally-located brick endwall chimney while stucco is present at the west, north, and south elevations. A parapet which is capped with stone coping extends past the roof/wall junction at the west elevation. Boxed wood eave returns are present at the east elevation. The roof is side gabled and is covered with non-historic asphalt shingles. Three shed-roof dormers, each including a set of paired wood casement windows, are located at the east roof surface. The roof's west surface displays a wide shed-roof dormer which includes four double-hung wood windows. Stucco clads this dormer's front wall while asphalt

shingles are located at the sidewalls. Non-historic gutters sit directly above a wood cornice at north and south elevation the roof/wall junction. Additional extant distinctive original wood features at the home include the fluted columns and pediment at the primary entrance (north elevation), the projecting bay at the north elevation, , the wood planter box platforms/shelves at the west elevation, second story and the functional paneled shutters at north and south elevation. The decorative iron shutter dogs/tiebacks remain at the side elevations. Windows at the north, south and east elevation are the original double-hung, wood-sash units. Two sets of historic-age paired wood French doors are at the west elevation while an historic-age wood entry door at the north elevation serves as the building's primary entrance. Two brick steps with stone treads lead from the sidewalk to a brick walkway which extends to the front door at the north elevation. Extant metal lightpoles in the side and front yards were installed sometime after the district was designated.

The property's garage sits in poor condition to the rear. The building retains its historic lapped wood siding on the east and west elevations and original double hung wood windows. Siding on the north and south elevations is non-historic plywood and the shed roof has caved in. Three non-historic metal overhead doors (installed ca. 2000 per a former owner) are located at the building's east elevation.

PROPOSAL

Per the submitted documents, the applicant is seeking the Commission's approval of the following work items:

House

- Repair roof as required using in-kind materials. Install new copper colored, aluminum gutters and downspouts. Retain and repair stone coping
- Repair, tuckpoint, and re-paint existing brick as required to match existing to include the west elevation, all existing chimneys, etc.
- Repair all windows as required. Use like materials and match existing profiles when replacing damaged components.
- Repair areas of deteriorated stucco at the exterior to include the addition of a soldier course of brick to the base of the wall, at grade, at the north, south, and east sides.
- Repair and replace wood fascia and trim as required. Use like materials and match existing profiles when replacing damaged components. Paint to match existing .
- Retain and repair existing wood shutters. Where shutters are missing at the north and south elevations, replicate new wood shutters to match existing
- Repair wood porch canopy and columns (North side). Use like materials and match existing profiles when replacing damaged components at the canopy. Install new asphalt shingle roof to match existing. If columns cannot be repaired, they will be replaced with wood columns to match the existing. The existing rough-cut stone bases at the columns will be retained and reinstalled. The semi-circular stone steps will be retained and repaired with in-kind materials where necessary
- Reconstruct the projecting sun porch bay at the north elevation. Currently, the bay is supported on a wood timber and brick foundation and was originally clad in stucco, although the majority of the stucco has deteriorated. The work at this location will include the following:
 - Salvage the existing windows and have them repaired and reconstructed as required.
 - The wood structure of the bay itself will be temporarily supported as required to remove the existing wood timber and brick foundation below.
 - A new concrete and CMU foundation will be constructed to support a new wood rim joist at the edge of the floor line.

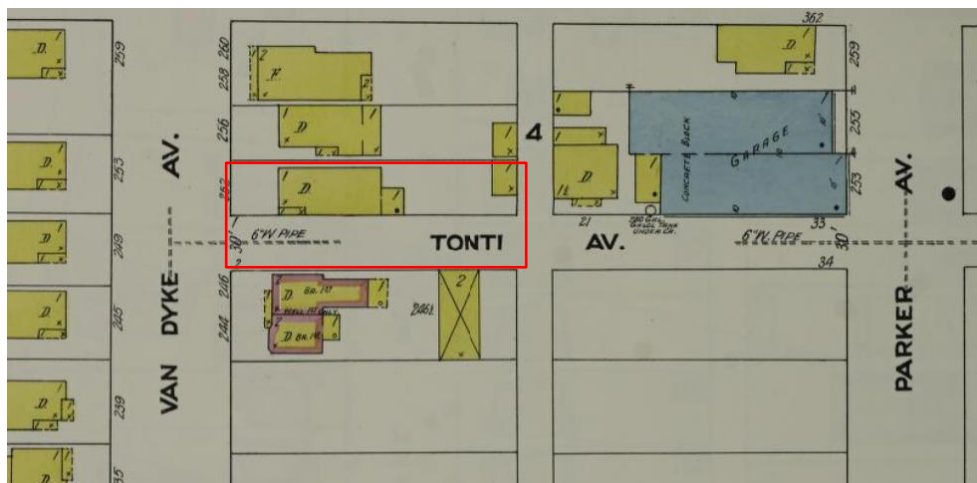
- All damaged wood cladding, trim, and structure will be removed if beyond repair, and replaced in kind with materials, thicknesses, and profiles to match existing.
- Existing repaired windows will be reinstalled
- All wood will be painted white to match existing
- Sitework includes the following
 - Retain and repair the existing brick walkway and brick/stone steps
 - Install a new brick paver patio to the west. A new brick clad retaining wall with hedges (species not provided) beyond will line the patio
 - Remove three trees

Garage

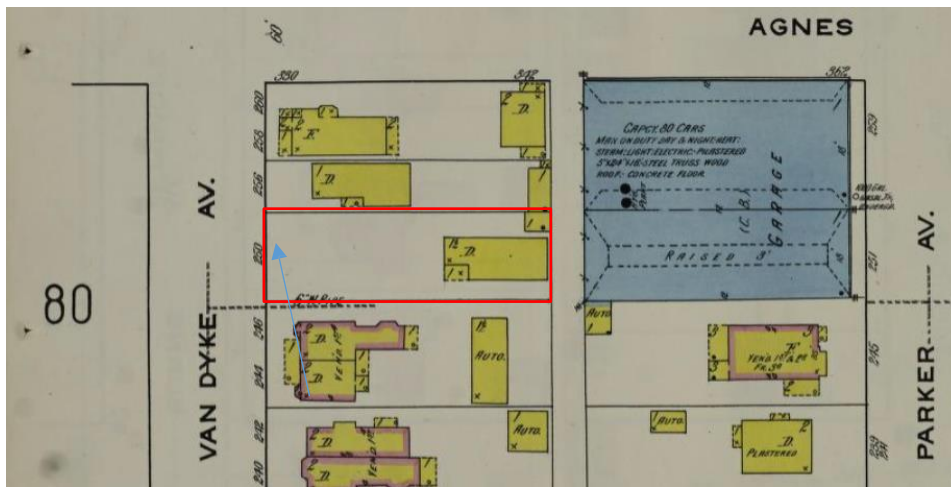
- Demolish existing garage
- Erect a new garage that has the same footprint as the existing per submitted drawings. The building, which includes a ground floor and a mezzanine level, will measure 20'-9" in height (at the roof ridgeline). The roof is side gabled, exterior walls will be clad with lapped cement fiber siding, and windows are aluminum-clad wood units.

STAFF OBSERVATIONS AND RESEARCH

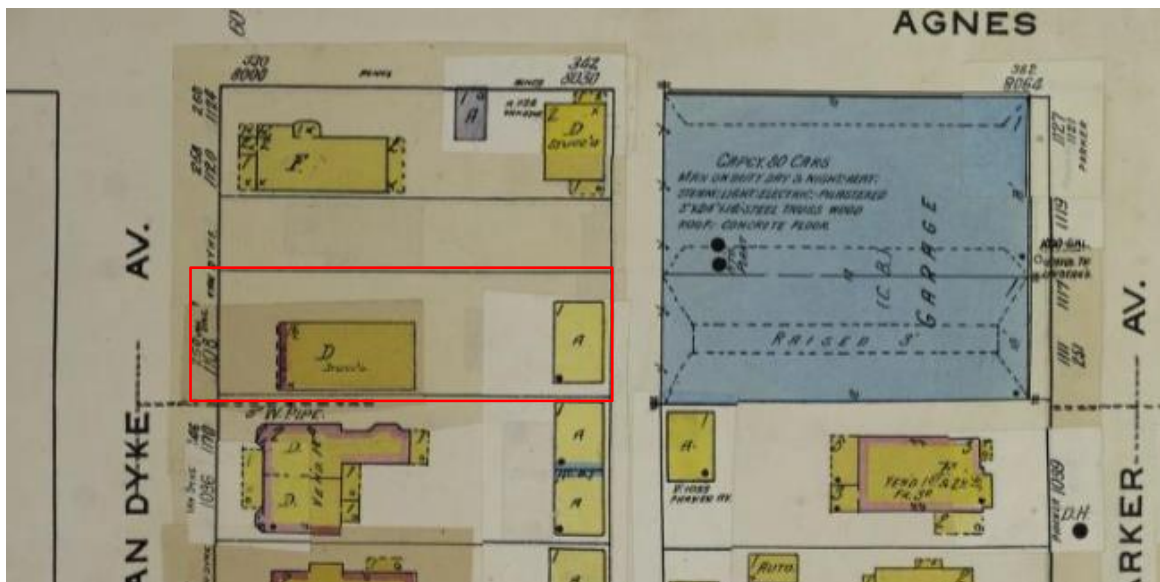
- The West Village historic district was designated in 1983
- All work proposed in the current application will be undertaken within the parcel addressed as 1108 Van Dyke. The adjacent parcel, addressed as 1116 Van Dyke, is a vacant lot which serves as the house's front lawn
- A letter from a previous owner states that the "rear section of the house dates to 1860." However, see the below Sanborn Maps which indicate that two wood-frame one-story homes and accessory buildings and Tonti Avenue (originally the neighborhood's southern boundary per the district's designation report) are located within the parcels which are currently addressed as 1108-1116 Van Dyke in 1910. By 1915, the street had been vacated and the former roadbed had been absorbed as residential parcels addressed as 1108 and 1096 Van Dyke. A 1 ½ -story home had been erected towards the rear of 1108 Van Dyke at that point while the former one-story dwelling had been demolished. However, the one-story dwelling at 1116 Van Dyke remained. By 1921, both the 1-story and 1 ½ - story home, in addition to the earlier accessory buildings, had been demolished and the current home and garage at 1108-1116 Van Dyke appear. It is possible that the rear portion of the house dates from 1860, was moved to the site, and the home was expanded to its current appearance ca, 1916, but specific evidence of this condition is not available.



Sanborn Map, 1910. The red box indicates the location of the current day 1108 Van Dyke parcel. The home has not yet been erected and Tonti Avenue extends through the site.



Sanborn Map, 1915. 1108 Van Dyke is not yet erected. By 1915, Tonti Avenue had been vacated and a new 1½ -story house had been erected within the parcel.



Sanborn Map, 1921. The current house and garage at 1108 Van Dyke is now extant, having been erected ca. 1916

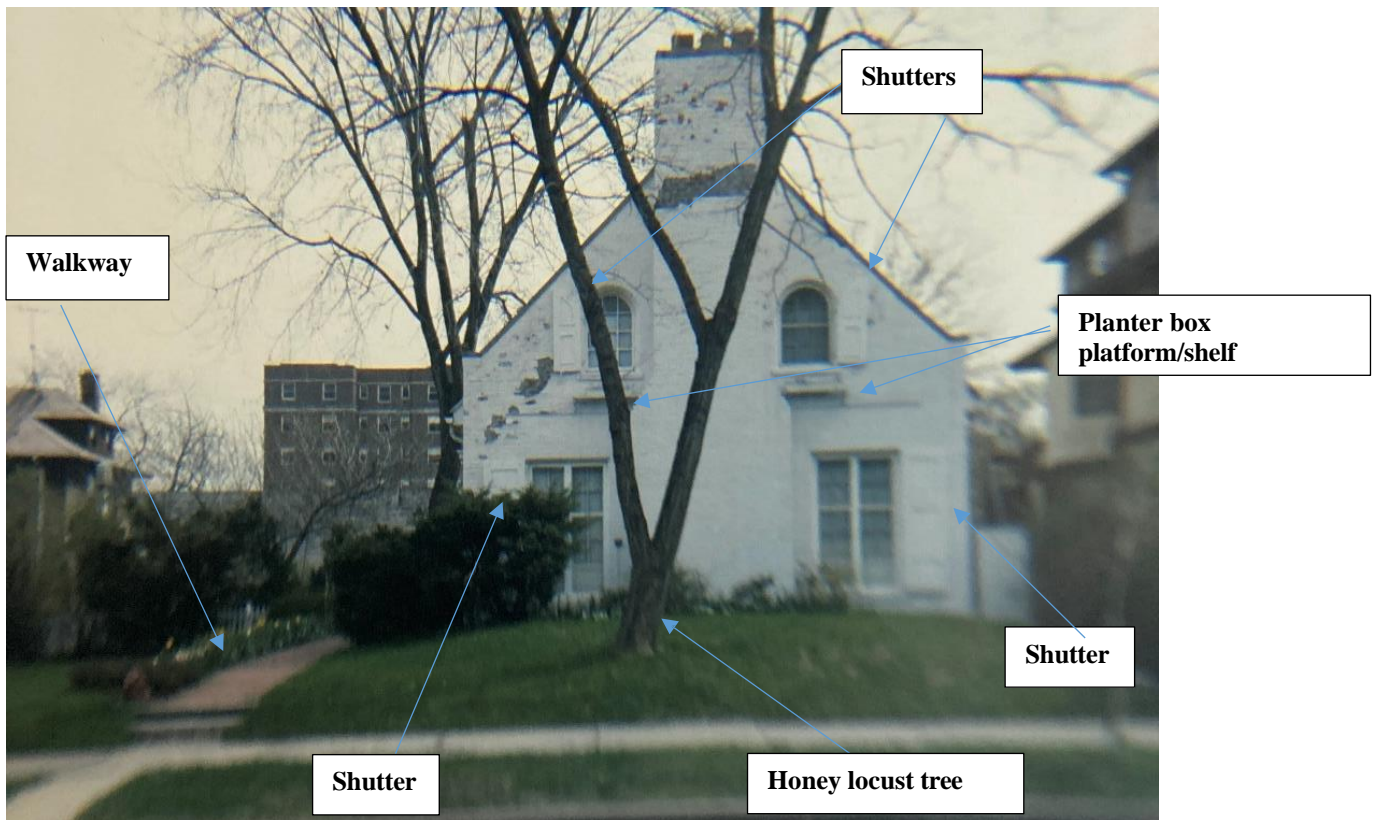
- As noted above, the home sits within the parcel that is addressed at 1108 Van Dyke and faces to the north rather than to the west/Van Dyke. The home sits atop a raised terrace which gently slopes towards the open front lawn/1116 Van Dyke to the north and Van Dyke Street to the west (see below photos). The resource remains as a rare, excellent example of a French Colonial Revival style, single-family detached home within the district. Existing landscape features, such as the red brick walkway with brick and stone steps and the raised terrace contributes greatly to the property’s picturesque rural aesthetic and remain as distinctive character-defining features of the parcel.



1116-1108 Van Dyke, facing southeast showing current appearance. Photo taken by staff on 6/25/2024



1108 Van Dyke, designation slide, facing southeast



Designation slide, west elevation. Note that the house sits on a raised terrace. Also, note the presence of the honey locust tree to the west of the building, as well as the brick walkway, shutters, and planter box platforms/shelves below the second story windows. The honey locust tree, brick walkway and planter box platforms/shelves below at the west elevation still remain, while the shutters at this elevation are no longer extant



Shutter dogs/tie backs

Planter box platform/shelves

1108 Van Dyke, facing southeast, showing current appearance. Staff photo taken on 6/25/2024. Note remaining historic planter box platform/shelves and iron shutter dogs at west elevation.



1108 Van Dyke, facing southeast, showing iron shutter dog (outlined in yellow) at west elevation Staff photo taken on 6/25/2024.

- At the time of designation, the home retained its distinctive wood panel shutters at the north, south, and west sides. A review of Google Streetview images indicate that the shutters at the west were gone by 2009, while the westernmost shutters at the north were removed between 2019 and 2021. The application proposes to replicate the missing shutters at the north and south. However, per the submitted drawings, the missing shutters at the west will not be replicated.
- Staff identified a number of additional distinctive, character-defining elements such as the planter box platforms/shelves below the second story windows at the west windows and shutter dogs/tiebacks (see above). The submitted drawings indicate that these features will be removed. Staff recommends that the planter box platforms/shelves and all remaining shutter dogs be retained as their removal would not meet the Standards
- Note that the application includes the addition of a soldier course of brick at the base of the walls. The applicant noted that the brick base is necessary in order to ensure that the new stucco is not sitting directly at grade. Although the brick base does not currently exist/did not exist historically, staff does support this scope item as it will support the longevity of the new stucco application and the materiality is compatible with stucco.
- The applicant has noted that the brick at the west elevation will be repainted. However, it did not outline how the existing weathered paint will be removed. As the masonry at this façade is a common brick, power washing or chemical washing or could remove the kiln finish from the brick.
- The application is proposing to replace the current deteriorated stucco clad brick base at the north elevation projecting sunporch bay with new concrete foundation. Staff supports this proposal with the condition that any portion of the foundation that is above grade is clad with stucco/it has an appearance that is consistent with the rest of the home.
- Regarding the existing historic-age garage, note that the applicant has stated that the owner is seeking to demolish the structure due to its poor condition. The applicant has provided numerous photos and a letter from a licensed structural engineer to support his statement that the garage is structurally deteriorated to an extent which merits its demolition. It is staff's opinion that the garage was a contributing structure to the property and the historic district at some point. However, staff does accept the application's condition assessment and is of the opinion that garage has lost the integrity necessary to convey its historic significance because of its current ruinous condition. Given the garage's current level of deterioration, it is staff's opinion that it is reasonable to approve demolition rather than require a complex and expensive repair. Demolition of a contributing structure that has lost its historic integrity due to catastrophic damage meets the Standards.
- Regarding the proposed new garage:
 - It is staff's opinion that it is generally compatible in design and material to the parcel's historic house
 - Although the new garage is two stories in height, it will maintain the same footprint as the existing garage and sits well to rear of the parcel/the historic house, directly adjacent to the alley
 - The historic house sits on a 2'-4" high terrace, while the new garage will sit at a lower grade on at the edge of the lot
 - The height of the house is 25'-6" at the main roof ridge, while the height of the new garage at the main ridge is 20'-9"
 - A review of historic Sanborn maps and current conditions indicates that two-story garages were not/are not common within 1108 Van Dyke's near vicinity. However, the area of the neighborhood within which 1108 Van Dyke sits is dominated by 2-11 story buildings.

- It is therefore staff's opinion that the proposed new building is not out of scale with 1108 Van Dyke and its surrounds.
- It is staff's opinion that the proposed new garage meets the Standards for the above-listed reasons
- The application narrative proposes to demolish and reconstruct the distinctive, character-defining semi-circular porch and wingwalls at the building's primary entrance. The documents present numerous photographs to establish that its current condition merits replacement. Staff was unable to gain entry to the property to directly examine the porch and discern its materials, but from a review of the submitted photos, the porch appears to consist of the following:



Front porch, detail. Photo provided by applicant



Front porch, detail. Photo provided by applicant

- The drawings and the narrative documentation do not provide a full accounting of the current porch materials as they only refer to the porch's stone elements. Staff recommends that the porch rebuild/repair match the existing in material, dimension, and design to include the current brick elements.
- The application proposes to remove locust sapling trees (DBH of 8" and 9") that are directly adjacent to the north wall's bay window because they are contributing to foundation/structural issues at that location (see the below photo). Staff supports the removal of these trees in order to forestall further damage to the house.



1108 Van Dyke, north bay. These two trees are proposed for removal due to their close proximity to the building's foundation and their potential to damage the foundation

- A third tree (see below photo), located to the west at Van Dyke of the building, is proposed for removal. Staff notes the following re: this tree:
 - The applicant has submitted a statement from an arborist which notes that the tree has a DBH of 40" and its "...very close to foundation and large portion of tree over roof. The tree has a history of failure. The main stem is covered with a vine. The

tree is nearing the end of its life cycle and should be removed to protect the historical structure/ house”. Staff estimates that the tree is 15’ west of the house

- A review of the property’s designation slides indicate that the tree was present in 1983. The HDC staff landscape architect reviewed photos of the tree and has estimated that the tree is 70 years old. He also noted that the arborist statement does not clearly state that the tree is in poor health/dead/diseased and stated the following:

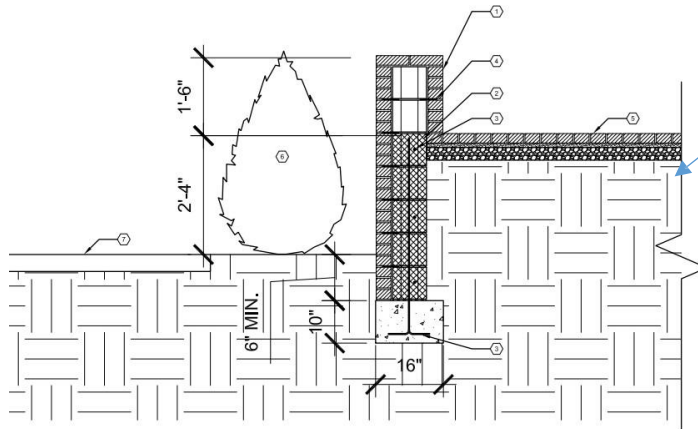
The tree’s canopy appears healthy with no major dead branches (maybe some smaller minor ones). The lean over the house is a potential future problem if the canopy or trunk shows sign of damage and disease, but I see no sign of that. The tree could be limbed up in areas over the house. The roots are well established and will not pose a future danger to the house unless there are signs of damage occurring now, which no evidence has been shown. It’s true that a tree of this species usually does not live past 100 but until there are signs of damage or health conditions to this particular tree, regular maintenance can be done to prevent damage. Besides trimming branches, the ivy could be removed to preserve the longevity of the tree.

- Staff therefore recommends that the tree be retained as it is an historic, distinctive character-defining feature of the property/landscape. However, if the Commission does approve its removal, staff recommends that a new compatible shade tree be planted on the property or the adjacent parcel/1116 Van Dyke to maintain the neighborhood’s historic canopy.



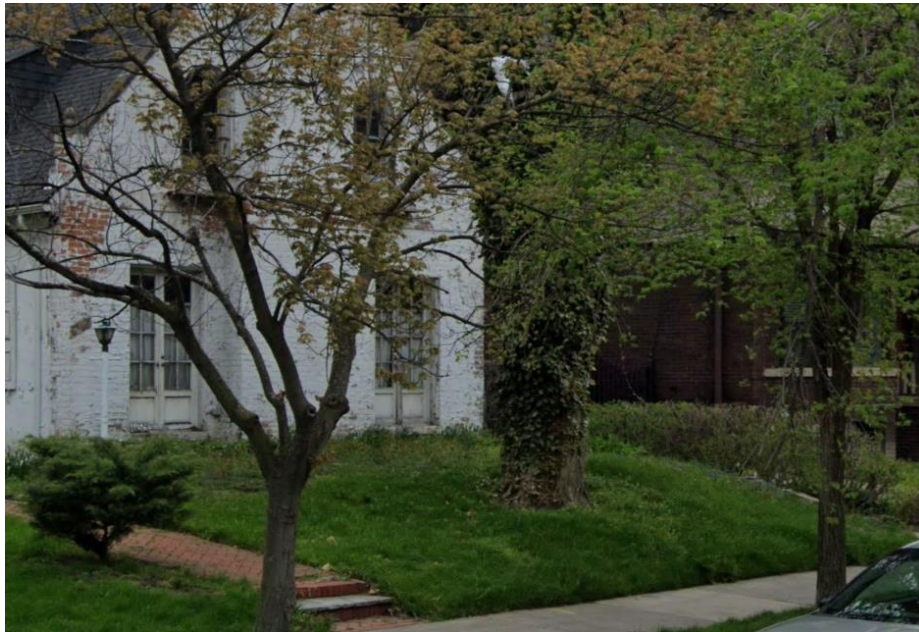
1108 Van Dyke, facing southeast, showing honey locust tree proposed for removal. Staff photo taken on 6/25/2024

- The applicant further proposes to install a new brick paver patio, masonry retaining wall and shrubs beyond to the west of the new patio. As noted previously, the yard's sloping terrace is a distinctive, character-defining feature of the property/landscape. The new patio, retaining wall and shrubs will destroy the terrace's gentle, organic slope which currently exists at the west property line (primary expression facing Van Dyke) as the area behind the retaining wall will be to even out the surface of the patio area. This graded area would change the current sloping terrace to raised flat patio, altering the landscape and giving the lawn an incompatibly more formal appearance when the property/yard is viewed from Van Dyke Street. It is staff's opinion that this work item does not meet the Standards.



Detail section of retaining wall and shrubs proposed for installation along west property line/adjacent to sidewalk

1 PATIO DETAIL SECTION
SP1.1 SCALE: 1/2" = 1'-0"



Google Streetview, 2019. Showing westward slope of yard that will be obscured when viewing the yard from Van Dyke by the proposed retaining wall and shrubs

ISSUES

- At the time of designation, the home retained its distinctive, character-defining wood panel shutters at the north, south, and west sides. Google Streetview images indicate that the shutters at the west were gone by 2009. While the application proposes to

replicate shutters which are missing on north and south elevations, the missing shutters at the west elevation will not be replicated. It is staff's opinion that the character-defining shutters at the west elevation should be replicated according to the house's appearance in the designation slides as a review of HDC records indicates that removal of the shutters was not approved.

- Staff identified a number of additional distinctive, character-defining elements such as the planter box platforms/shelves below the second story windows at the west elevation windows and iron shutter dogs/tiebacks throughout. The submitted drawings indicate that these features will be removed. Staff recommends that the plant holder platforms and all remaining shutter dogs be retained as their removal would not meet the Standards
- It is staff's opinion that the historic-age honey locust tree to the west of the house that is proposed for removal is a distinctive character-defining feature of the property/landscape. As it is not currently dead or diseased and can be limbed to ensure that its branches do not hang over the house, it is staff's opinion that its removal would not meet the Standards.
- As noted previously, the yard's sloping terrace is a distinctive, character-defining feature of the property/landscape. The new patio, retaining wall and shrubs will destroy the terrace's gentle, organic slope which currently exists at the west property line as the area behind the retaining wall will be to even out the surface of the patio area. This graded area would change the current sloping terrace to raised flat patio, altering the landscape and giving the lawn an incompatible more formal appearance when the property/yard is viewed from Van Dyke Street. It is staff's opinion that this work item does not meet the Standards.

RECOMMENDATION

Recommendation #1 - Section 21-2-78. Determination of the Historic District Commission – DENIAL – Remove a honey locust tree; install a patio, masonry retaining wall, and shrubs at west property line

It is staff's opinion that the proposed removal of a honey locust tree and installation of a masonry retaining wall and shrubs at west property line is not appropriate for the following reasons:

- The historic-age honey locust tree to the west of the house is a distinctive character-defining feature of the property/landscape. As it is not currently dead or diseased and can be limbed to ensure that its branches do not hang over the house its removal would not meet the Standards
- The yard's sloping terrace is a distinctive, character-defining feature of the property/landscape. The new patio, retaining wall and shrubs will destroy the terrace's gentle, organic slope which currently exists at the west property line as the area behind the retaining wall will be to even out the surface of the patio area. This graded area would change the current sloping terrace to raised flat patio, altering the landscape and giving the lawn an incompatibly more formal appearance when the property/yard is viewed from Van Dyke Street.

Staff therefore recommends that the Commission deny the work because it does not meet the Secretary of the Interior's Standards for Rehabilitation, in particular, Standard #2 which states that:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Recommendation #2 - Section 21-2-78. Determination of the Historic District Commission – CERTIFICATE OF APPROPRIATENESS – Remaining work items

Staff recommends that the Commission issue a Certificate of Appropriateness (COA) for the project's remaining work items because they conform to the Secretary of the Interior's Standards

for Rehabilitation and conform to the district's Elements of Design. However, Staff recommends that the COA be issued **with the following conditions:**

- The wood shutters which were originally located at the building's west side shall be replicated according to the house's appearance in the designation slides.
- ~~The new patio proposed for installation to the west of the house should be composed of brick pavers which are compatible in appearance with the brick found at the property's existing brick walkway. HDC staff shall be afforded the opportunity to review and approve the pavers prior to the issuance of the project's permit.~~
- Prior to cleaning/removing the paint from any of the existing brick elements at the home and the issuance of the permit, the applicant shall afford HDC staff the opportunity to review the method they shall employ to do the work. Should staff determine that the work will damage the brick, it will be forwarded to the Commission for review at a regular meeting.
- The above-grade portion of the rebuilt projecting sunporch bay's new concrete base shall be clad with stucco and painted so that it has an appearance that is consistent with the rest of the home.
- All remaining shutter dogs/tie backs at all walls and the existing planter box platforms/shelves at the shall be retained.
- The primary entry porch rebuild/repair shall be in kind/match the existing in material, dimension, and design to include the current brick elements.