

STAFF REPORT: OCTOBER 11, 2023 REGULAR MEETING

PREPARED BY: T. BOSCARINO

APPLICATION NUMBER: HDC2023-00035

ADDRESS: 1471 HUBBARD

HISTORIC DISTRICT: HUBBARD FARMS

APPLICANT: PETER KUTIL

PROPERTY OWNER: PETER KUTIL

DATE OF PROVISIONALLY COMPLETE APPLICATION: SEPTEMBER 6, 2023

DATE OF STAFF SITE VISIT: SEPTEMBER 23, 2023

SCOPE: ERECT GARAGE

EXISTING CONDITIONS

1471 Hubbard is a two-story, gable-front house built in 1880 and demonstrating late-nineteenth-century folk or vernacular architecture. Under a 2018 Certificate of Appropriateness, the house was thoroughly rehabilitated; this included the removal of asphalt siding, the repair of wood clapboard siding, installation of cementitious siding in some areas, and restoration or replication of lost decorative details and a flat-roof porch that wraps around the southeast corner of the building.

An alley-facing garage was built in 1920. According to the applicant, it collapsed in 2016. The Historic District Commission issued a Notice to Proceed for its demolition in 2018. A broken, concrete slab remains.



House facing east onto Hubbard. September 2023 photo by staff.



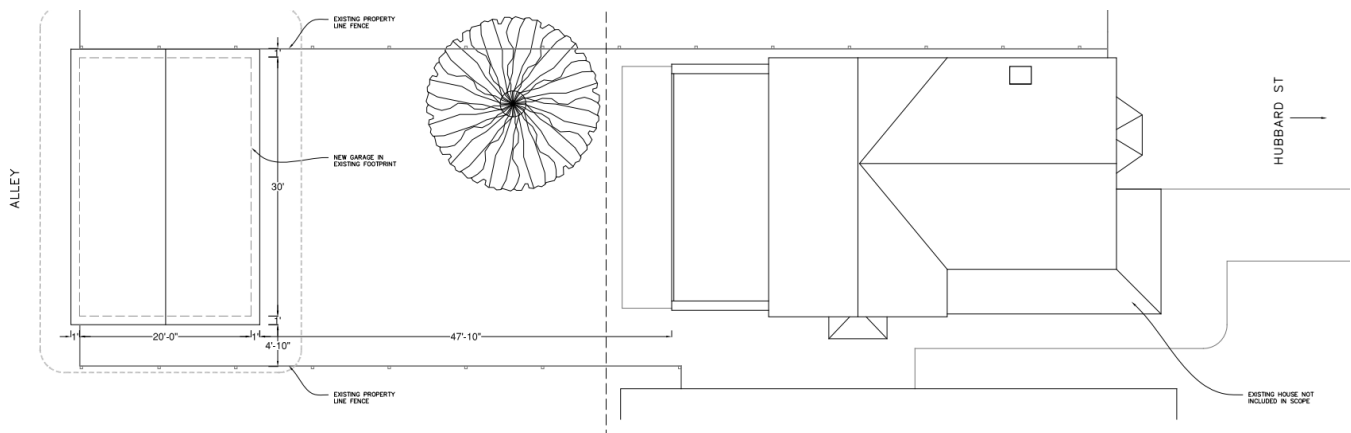
Footprint of demolished garage, facing west onto the alley. September 2023 photo by staff.

PROPOSAL

The applicant proposes to erect a garage. The proposed work is described in the Application for Work Approval as:

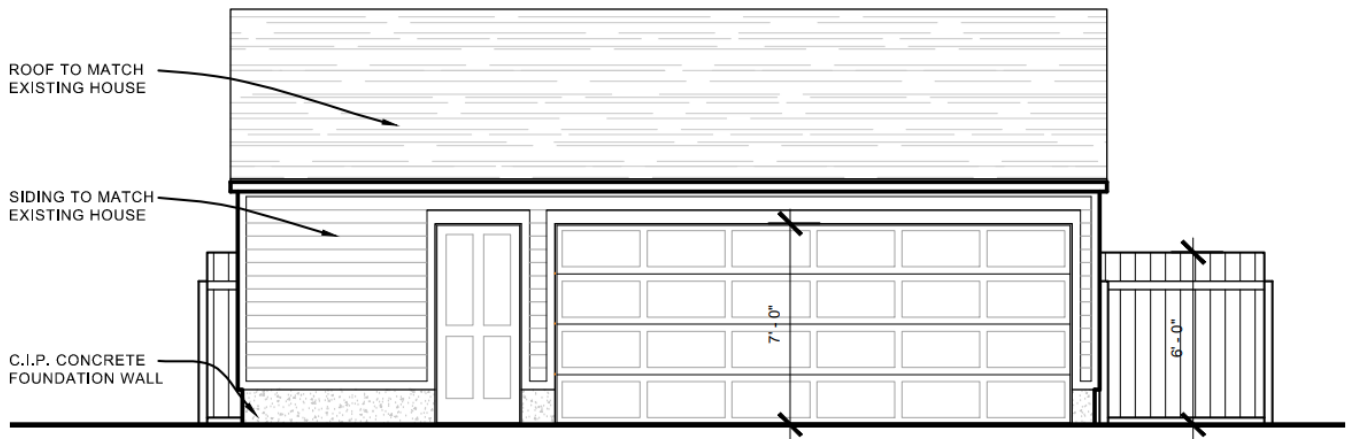
Remove and replace existing concrete slab on current footprint. Build new 2-car garage per plans attached. Install new cement board siding to match existing house. Install new roof with asphalt shingles to match existing house in a color similar to CertainTeed XT 25 Slate Gray. Paint siding in a color similar to C1: Colonial Revival Grey to match existing house. Paint trim in a color similar to C4: Classical White to match existing house. Install new garage doors and man doors per plan.

The application documents note that cementitious siding is proposed. Sectional steel garage doors and a pedestrian door with recessed panel designs and a white finish are shown in the application documents.



Site plan showing relationship of garage to house. Image from application documents.

Plan view of proposed garage. Image from application documents.



Top: West (alley-facing) elevation. Above: East (house-facing) elevation. Images from application drawings.



C:1 Light Bluish Gray
MS: 10B 7/1



C:4 Yellowish White
MS: 5Y 9/1

Proposed siding (left) and trim (right) colors.



CertainTeed X25 asphalt shingles in slate grey. Image from product website.

STAFF OBSERVATIONS AND RESEARCH

- The Hubbard Farms Historic District was established by Ordinance 01-93 in 1993. The Final Report provides a Period of Significance of 1870 through 1930. The Elements of Design (Sec. 21-2-157 [d]) provide the following pertinent observations:
 - Wood trim is most commonly used for window, porch, and functional elements as well as decorative trim (*Relationship of Materials*).
 - Buildings of Victorian substyles also tend to have details of wood located around the entrance, porch, windows, bays, towers, and dormers. Lathe-turned and jigsaw cut wooden elements and details are common. (*Relationship of Architectural Details*).
- Staff has no information regarding the appearance of the demolished garage other than two photos taken shortly before its demolition in 2018. From this information, it is not certain if the garage would have been a contributing building.
- One bay of the demolished garage, as shown in the 2018 photos, had an east-facing pedestrian door and small window. The garage also had narrow, clapboard siding. No other defining features of the demolished garage are visible in the 2018 photos, as most of the building had collapsed by that time.



2018 photo provided by applicant.



2018 photo of the collapsed garage, provided by the applicant.

- The proposed garage is appropriately located on the footprint of the demolished garage.
- The proposed fiber-cement siding is an appropriate substitute material for a secondary building such as a garage, as it closely resembles the appearance of historic wood siding.
- The proposed shingles, siding, and paint colors were previously approved for the house at 1471 Hubbard with a Certificate of Appropriateness issued in connection with application 18-5544. It is appropriate for the garage to match the house in color, texture, and materials.

ISSUES

- Specifications for the proposed window are not provided.

RECOMMENDATION

Section 21-2-78: Determinations of Historic District Commission

Staff recommends that the Commission issue a *Certificate of Appropriateness* for the proposed work as it meets the Secretary of the Interior's Standards for Rehabilitation, with the following condition:

- *The window shall match the materials and color of the windows previously approved for the property (currently installed and visible on the rear [west elevation] of the house), subject to review by staff.*