

STAFF REPORT: 10/11/2023 REGULAR MEETING
APPLICATION NUMBER: HDC 2023-00048
ADDRESS: 14551 WARWICK
HISTORIC DISTRICT: ROSEDALE PARK
APPLICANT/ PROPERTY OWNER: STEVEN MITCHELL
DATE OF PROVISIONALLY COMPLETE APPLICATION: 9/18/23
DATE OF STAFF SITE VISIT: 6/22/23, 9/21/23

PREPARED BY: D. RIEDEN

SCOPE: ERECT GARAGE ADDITION

EXISTING CONDITIONS

Built in 1950, the property at 14551 Warwick is a 2 story, single-family residence facing east and sits central to the block. The house has a side-gabled, asphalt shingled roof with stone and clapboard siding in the front and red brick siding at the side and rear elevations. The main entrance is slightly recessed under the second floor and flanked on either side with bay windows. The 6/6 divided light, double-hung windows on the second floor are each bordered with a pair of red shutters. The stand-alone garage has a low pitched, side gabled roof with matching brick siding and a front garage door and service door. The front yard is modestly landscaped with a foundation evergreen and perennial bed, a concrete serpentine entrance walk, and a front green lawn. A concrete drive leads to the garage in the northwest corner of the lot of the back yard. This property has no standing violations.



Site Photo 1, by Staff September 21, 2023: (East) front side



Designation photo 2007: (east) front elevation, showing existing garage in the rear..



Site Photo 3, by applicant: garage site, rear yard, looking east.



Aerial#1 of Parcel # 22086433, showing existing garage and patio (with vehicles parked on it) behind the house.

PROPOSAL

Staff initially received an application in June 2023 to construct a second garage, which was recommended for denial by HDC staff, but the application was withdrawn at the July 12, 2023 Regular HDC Meeting. The applicant has now provided the following proposal, based on the feedback from the Commission to propose a garage addition, rather than a separate, new garage structure.

The applicant proposes to construct an additional 24 ft. x 20 ft., two-car garage with new concrete footing/floor slab. The addition will be located attached to the south side of the existing garage. The driveway will remain as it is. The patio will be removed to restore more backyard lawn. Other than the concrete pad for the garage addition, no additional paving will be added. (The applicant clarified that the use of the addition is for older cars, which will not be used frequently.) (See also application materials.)

Construction of New, Two-Car 24'x20' Garage Addition (480 SF):

- Remove 24'x20' area of grass adjacent to southside of existing garage.
- Install 42" perimeter footing (24'+24'+20'= 68 linear feet)
- Pour 6" mesh concrete garage floor (24' x 20'= 480 square feet)
- Build new 24' x 20' garage addition on new cement floor, with a side gable roof (14' 6" finished height, 11' leg height). Roof is asphalt shingles to match the existing garage and siding materials are concrete block painted white with Drylock Extreme waterproof paint.
- Install 16'x7' steel sectional garage door on east elevation, color white.
- The exterior wall and window of the existing garage shall remain.
- No exterior lighting. No other changes to the existing garage.

Other Site work:

- Remove 23'x15' (345 SF) area of patio pavers and re-seed to establish lawn.

STAFF OBSERVATIONS AND RESEARCH

- Rosedale Park Historic District was established in 2007. Its Elements of Design (Sec. 21-2-199) provide the following guidance for new construction and the landscape:

- *"Height... Additions to existing buildings shall be related to the existing structure. Garages are generally one-story tall..."*
- *"Relationship of materials. Masonry is the most significant material in the majority of houses in the Rosedale Park Historic District in the form of pressed or wire cut brick, often combined with wood, stone, and/or stucco..."*

Roofs on the majority of the houses in the Rosedale Park Historic District are asphalt shingled, while several original slate roofs still exist. Garages, where they are contemporary with the residential dwelling, often correspond in materials."

- *"Relationship of colors. Natural brick colors, such as red, yellow, brown or buff, dominate in wall surfaces. Natural stone colors also predominate: where stucco or concrete exists, it usually remains in its natural state, or is painted in a shade of cream. Roofs are in natural slate colors and asphalt shingles are predominantly within this same dark color range. Paint colors often relate to style. The buildings derived from Classical precedents, such as the Neo-Dutch Colonials and Garrison Colonials, generally have woodwork painted in the white or cream range."*



Site Photo 4, by Applicant (East elevation): showing existing garage.

- “Roofs of houses built later in the period of development of the district, such as those of modern inspiration, tend to have significantly lower slopes.”
 - “All houses have ample rear yards as well as front yards. Wider lots in Rosedale Park permitted side drives with garages at the rear of the lots. Where dwellings are located on corner lots, garages face the side street. Garages, when original, often correspond in materials to the main body of the dwelling, but are of modest, one-story, simple box design with single- or double-doors...”
 - “Relationship of lot coverages. The lot coverage for single-family dwellings ranges generally from 25 percent to 35 percent, including the garage, whether freestanding or attached.”
- Staff visited the site on June 23, 2023 and September 21, 2023 and observed that the applicant’s existing garage is near its neighbor’s large garage to the north of the site. The neighbor’s larger garage has been in existence prior to the district’s designation.
 - The applicant stated that the use of this new addition was to park his 40- and 50-year-old vehicles that are rarely driven, and allow daily use of his current vehicles in the existing garage. This is why, the applicant, stated that there is no concrete drive immediately in front of the front garage door, only grass because the addition is mostly used to store the cars and not for frequent use.
 - Staff noticed that the elevation drawings of the application show concrete block hatching, not only for the proposed addition, but also for the original brick garage. The applicant confirmed that the original garage’s brick materials will remain unchanged. (See figure 1.)
 - Staff noticed that the existing garage’s south facing wall and window appear to be untouched by the proposal’s drawings. Staff requested confirmation that this is true but did not receive a response at the time of this report.
 - Staff requested that the applicant consider revisions to their application to more closely match the feedback received from the previous application: to have the new addition defer to the original garage in scale, materials, and slope of the roof. Staff did receive written statements from the applicant but did not receive updated drawings as requested by the date of this report. The following items have been stated as modifications to the proposal, but without the drawings, staff did not receive a complete application revision:
 - In place of a painted white concrete exterior, the exterior walls would be



Site Photo 4, by Google street view October 2007 (prior to designation): showing neighbor’s rear dual garage.

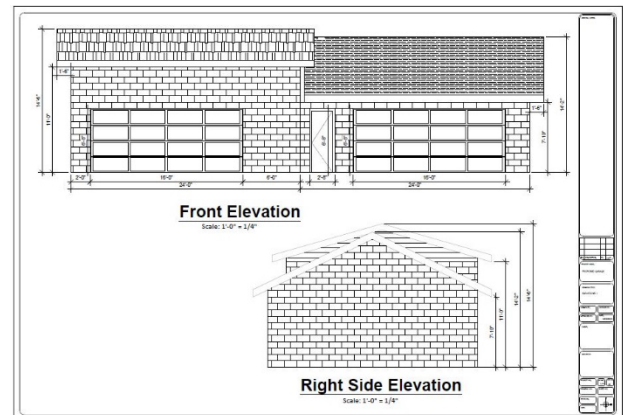


Figure 1, by Applicant: showing proposed front and side elevations of the proposed garage addition. Note that existing garage is the smaller of the two sides, and hatching is not identifying materials correctly for the roof and siding.

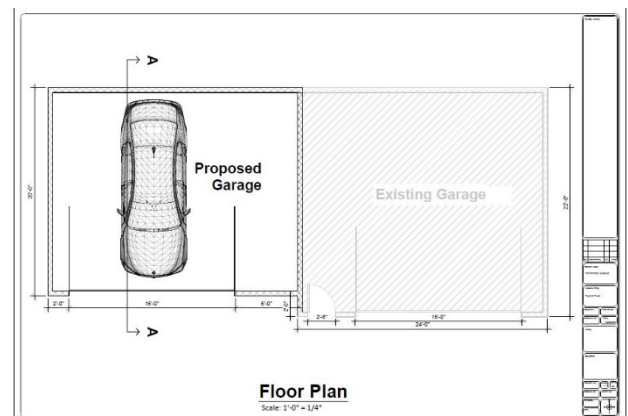
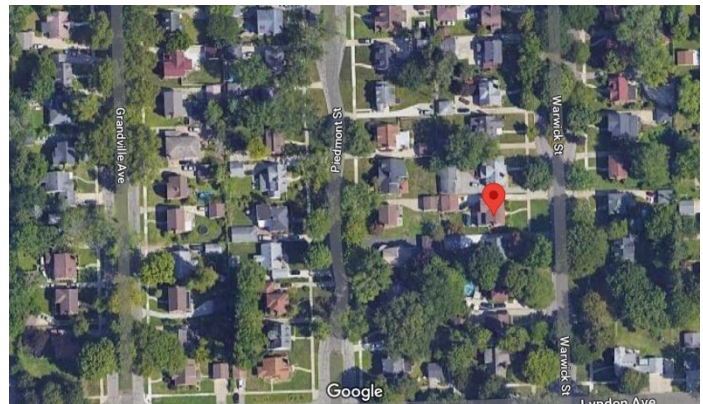


Figure 2, by Applicant: showing proposed floor plan for the garage addition. Note that existing garage wall appears to remain in place, but the existing window opening is not shown.

- concrete block with an exterior of brick to match the existing garage as close as possible, supplied by Antique Brick, Inc.
- The roof pitch would be changed to match the existing garage pitch.
- The roof height would be lowered to a height that is “a few inches” above the existing garage to “provide proper flashing”.
- The applicant provided sample images of the above to demonstrate his proposed revisions.
- Although staff received product information for the proposed garage door, staff did not receive specific product information regarding the proposed asphalt shingles for the roof, just a screen shot of an image. Although the proposal states that the shingles shall match the existing shingles, the hatching of the drawing shows that they do not match. No product information is cited on the current drawings. (See figure 1.)
- Staff noticed that the proposed drawings have no architect or contractor listed.
- As shown in the Elements of Design above, “*Additions shall be related to the existing structure*”. Staff offers the opinion that the current proposed roof height and pitch (according to the drawings) does not relate to the existing garage, nor is it lower than the existing garage, diminishing and conflicting with these historic features of the existing garage. (See figure 1.)
- Staff offers the opinion that the proposed second garage does not share in *Relationship of Materials*; i.e., concrete block masonry, painted white, with the materials of the house and primary garage. The proposed newly constructed garage with non-matching materials, conflicts with the Rosedale Park Historic District’s Elements of Design by removing this relationship.
- It is staff’s opinion that the proposed materials and colors for the addition’s roof are appropriate as they meet the Elements of Design and “*relate to the main dwelling*”. However, staff has not yet received confirmation of these materials with a product sheet or details that demonstrate this.
- The 130’x60’ (7800SF) lot currently contains a 38’x39’ (1480SF) house and a 22’x24’ (530SF) garage, which is approximately 25% of the *Relationship of Lot Coverage*, which falls within the 25-35% range as described in the Elements of Design. The addition of a second garage(480SF) would increase the lot coverage by these structures to 32%, which is still within this range.
- Also, to reduce the impervious surface area of the back yard, which will be occupied by more impervious surface of the addition, the applicant has proposed to remove the pavers in the rear yard to retain more grass. Staff observed a net loss of backyard lawn area to be 135 SF (480 SF garage addition – 345 SF patio removal= 135 SF).
- The Elements of Design describe the typical treatment of individual residential properties of dwellings in Rosedale Park Historic District is that of a pattern where the “*front lawn area is generally covered with grass turf, subdivided by a straight or curving concrete or brick walk leading to the front entrance and a single-width driveway leading to a garage. There is variety in the landscape treatment of individual properties.*” Staff has the opinion that this pattern of front and rear yard as expressed by the Elements of Design, is a distinctive, historic character-defining feature of the property. Both the garage addition and the removal of the rear patio has a modest increase in the loss of the rear lawn area. In the previous application, staff noted that the added driveway in addition to the expansion of garage without any changes to the rear patio, was inappropriate. In this application, the omission of adding any additional driveway works in the favor of maintaining this rear lawn. In conclusion, it is staff’s opinion that the expansion of the garage with the removal of the patio to install lawn at this location, and no additional driveway is appropriate and preserves the character-defining features of the property.



Aerial #2 of Rosedale Park HD, showing applicant's location in the context of other resident's back yards.

ISSUES

- The applicant's drawings and statements are not in alignment. Drawings should reflect an accurate portrayal of existing and proposed conditions in both elevation and plan views. Product detail sheets should be provided in the application to accurately portray the materials that are proposed.
- The garage addition's roof slope and height conflict with and towers over the existing garage. This not only diminishes the relationship between the existing and proposed features, but also the relationship of the existing garage with the house and property. Therefore, this proposal does not conform with the district's Elements of Design nor does it retain the historic character of the property and spatial relationships that characterize the property (Standards 2 & 9).
- Garages often correspond in materials/design with their associated dwelling. The proposed materiality of the garage (painted concrete block) is not compatible with the home's historic appearance and introduces a new material that does not conform to the district's Elements of Design.
- A review of aerial images of the district revealed that most of the space within rear yards is typically dedicated to grass turf/landscaped open lawns with minimal hardscape intrusions to include walkways, patio, and narrow driveways. (See Aerials #1 & 2) When detached garages are present within the district, staff noted that parcels typically include only one such structure of a footprint/scale that is minimal in relationship to the home, leaving ample open green space in the rear yard. The current project will result in modest removal of the open lawn space within the rear yard. It is staff's opinion that these conditions are compatible with the home's and the district's historic character. The work therefore meets the SOI Standards.

RECOMMENDATION

Section 21-2-78, Determination of Historic District Commission

Recommendation One: Erect garage addition

Staff finds that the erection of a garage addition does not meet the Secretary of Interior Standards for the following reasons:

- The proposal's drawings and materials are not accurately portrayed in existing and proposed conditions.
- The proposed roof's slope and scale conflicts with and diminishes the relationship between the existing garage and the primary structure of the house.
- The proposed materiality of the garage, concrete block and paint exterior are not historically appropriate materials as they do not conform to the District's Elements of Design and to the historic character of the property.

Staff therefore recommends that the Commission issue a Denial for the above work items, as it do not meet the Secretary of the Interior's Standards for Rehabilitation, specifically Standards:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Recommendation Two: Remove patio and reseed lawn

It is staff's opinion that the removal of the rear patio and reseeding this area with grass is appropriate. Staff therefore recommends the Commission issue a Certificate of Appropriateness for the work as proposed because it meets the Secretary of the Interior Standards for Rehabilitation and the Rosedale Historic District Elements of Design.