

**STAFF REPORT:** 10/12/2022 REGULAR MEETING

**PREPARED BY:** D. RIEDEN

**APPLICATION NUMBER:** #22-8057

**VIOLATION NUMBER:** #651

**ADDRESS:** 691 CANFIELD

**HISTORIC DISTRICT:** WEST CANFIELD

**APPLICANT/ PROPERTY OWNER:** DOUG PATTISON

**DATE OF PROVISIONALLY COMPLETE APPLICATION:** 9/19/2022

**DATES OF STAFF SITE VISITS:** 9/23/22, 9/1/2022

**SCOPE:** REHABILITATE DWELLING, INSTALL PAVERS AT PATIO AND DRIVEWAY (WORK STARTED WITHOUT APPROVAL)

### EXISTING CONDITIONS

Built in 1920, the property at 691 West Canfield was once a wood-frame, Queen Anne style residence built in the late 1880's but then rebuilt in early 1920's as a brick version of this Victorian style. Once home to James P. Hart, this 2 ½ story residence faces North. The steeply pitched, cross-gabled, asphalt-shingled roof features a front gable with fish-scale shingles in the pediments and dormers facing the front of the house. The eaves feature dentils and ornate brackets and corbels. The house is clad in red brick with brownstone banding, lintels, and a rustic stone foundation. A large stone radial surrounds the first-floor window with an arching transom. The second-floor window features a pair of double-hung windows with upper divided-light sash in L-shaped segments. The remaining first and second floor windows are single casements with square or rectangular transoms. The front double front wood door is tucked under the roof of an elevated wood-decked porch which features decorative wood columns and wood railing with spindles that complement the form of the columns. The front yard lawn is partially under construction, but remnants of the front brick walkway and driveway are still present. At the rear of the house, the basement story is currently exposed due to the unapproved removal of a porch which consisted of an historic-age stone base (deck and walls). Non-historic wood fencing and lattice sat atop the stone base and enclosed the porch. A set of paired French doors led to the back porch. However, the doors have recently been removed and the opening infilled with the current wood shingle siding and stained-glass window. It is believed that boiler and coal storage rooms occupied the area beneath the former rear masonry porch. Also, a set of stone steps led to a single door at the rear elevation, first story. These steps have been removed and the door opening has been enclosed with plywood. This rear porch removal and the demolition of the rear stone steps appears to have happened under the current ownership as the real estate listing showed this area intact [shown here](#). The current exposed basement story walls/basement level is 4' below grade.



*Site Photo 1, by Staff Sept.23, 2022: (North) front elevation.*



*Site Photo 2, by Staff Sept.1, 2022: (South) rear elevation current appearance. Note that the former masonry porch has been removed, door openings have been enclosed with plywood (to the left) and wood shake (to the right), and a new single door with sidelights has been added at the basement.*



Site Photo3, Google Streetview September 2013: (North) front elevation showing front yard landscape.



Aerial of Parcel #04000901.001.

## PROPOSAL

The applicant proposes to reconfigure the rear elevations by removing a recently intact rear porch, reconfiguring several openings, introducing a below-grade entrance to the basement at the former porch location, and installing a variety of new elements and textures in place of historic materials. The proposed work is general rehab of the house and installation of site features and consist of the following: replace asphalt shingles with asphalt shingles on porch roof, tuck point and replace existing or damaged brick with original matching brick as needed, repair chimney, paint trim reusing existing colors, replace windows and doors, replace windows and doors with brick infill, glass block or other material, add window wells, install two rear basement doors, regrade patio and driveway, reinstall brick driveway and walkways, install new paver walkways and patio, install metal and wood fences. Most work is in progress or complete without approval. (See attached drawings and details below.)

### ROOF/WALLS/CHIMNEY/PAINT DETAILS

- The applicant proposes to replace existing asphalt shingle roof with asphalt shingle roof on the front porch to match the existing asphalt shingles of the house. The product information has not been identified at the time of this report.
- Investigate the structural integrity of the leaning chimney at the east elevation and determine if it has cracked. Remove brick down to stone collar or introduce chimney brace depending on outcome of investigation. Reuse existing brick to restack chimney.
- Repair and repaint existing wood trim throughout the house as required. Paint color shall match existing colors using Sherwin Williams, satin finish.
- Tuckpoint the house where needed. Applicant claims that there is sufficient amount of existing brick to complete any infill or repairs as proposed in this application.

### WINDOWS/DOORS/WINDOW WELLS DETAILS

- The applicant has replaced two (2) front basement vinyl sliders with two (2) vinyl single-hung windows by increasing the window opening by 10" deeper on the basement wall. Replace existing wood trim of basement windows with matching trim. Remove decorative stone mullion and replace with wood corbel in the new dimension of the window that the applicant proposes replicates the original.
- Install 8'x3' window well with 6"x6" pressure treated wood retaining supports at front elevation basement.

- On west elevation (side), remove two (2) existing basement windows and plywood and install two (2) new vinyl sliders. One of these windows (window “A”) will provide egress.
- On south elevation (rear) first floor, remove plywood at door and window. Infill both openings with brick that is salvaged from the site and matches existing brick of the house. Reinstall stone threshold of the door opening.
- At rear and facing east on the first floor, remove the existing double doors and fill in with fish scale shingle paneling with a stained-glass transom (found from another building). Paint shingle siding and trim to match front of house gable detail. The fish scale shingles are British Columbia cut cedar. Work completed.
- On basement level, rear elevation, remove wood lintel, replace with 4”x6” steel lintel. Remove existing steel frame, door, and plywood, and install new rear access steel door below this lintel. Remove second single utility door and increase opening to 60” to install new door frame with two side lights. Repair surrounding masonry.
- At east elevation 2<sup>nd</sup> floor, remove existing plywood from two windows. Brick in the smaller window on the right side. On the left side, increase window opening by lowering brick wall and sill by 14”, reinstall stone sill, and install vinyl, single-hung window. Repair surrounding masonry. Work incomplete.
- At east elevation basement level, remove security grill, plywood, and glass block from 2 existing windows. Create a new basement window opening that match in dimensions of the other two. Install new vinyl, single hung windows on all three windows.
- In front of these three east elevation basement windows, install 6’x6’ window well with retaining supports to create egress.
- No window and door product information has not been identified at the time of this report. The applicant states that this information for windows is not available they were online Facebook purchases. All windows are vinyl. All basement windows are awning operational, whereas all first and second floor windows are single hung. All doors are steel with glass in wood frames.
- All windowsills and surrounding brick will be reused where required.
- All window wells are set back 36” from the building, retaining to 3” above grade and 12-16” deep. The front elevation well is 8’ wide, the east elevation well is 12’ wide to accommodate two windows, and the rear elevation well is 40” wide. All wells are created with 6”x6” pressure-treated wood beams.
- All doors and windows to be painted to match the color of the front elevation 3<sup>rd</sup> floor window gray trim.

#### GRADING/PATIO/DRIVEWAY/WALKWAY/PATIO DETAILS

- At southwest corner of the property (rear/side), remove and reinstall all existing brick pavers on new granular base.
- At south elevation (rear), stabilize existing exterior foundation walls and install new wooden stairs to create access to exterior basement doors. Paint stairs to match outdoor deck colors.
- At this basement exterior level, install 8”x8” granite pavers over the existing concrete foundation.
- The original existing concrete stairs under the existing arch to this basement level shall remain.
- Outside of this lower area and along the east edge of the property line, install 8”x8” granite pavers to create a 4’ wide walkway from the rear to the front of the property.
- At the front area of the property, continue to install these granite pavers to meet the existing brick pavers of the front walkway and the driveway.
- Along the western edge of the brick driveway, install additional brick pavers to meet the western property line.
- All 8”x8” granite pavers are sourced from a contractor whose product originates from the pavers at Hart Plaza.
- Remove, level, and reinstall all existing brick pavers for the driveway and front yard pathways.



**FENCE DETAILS**

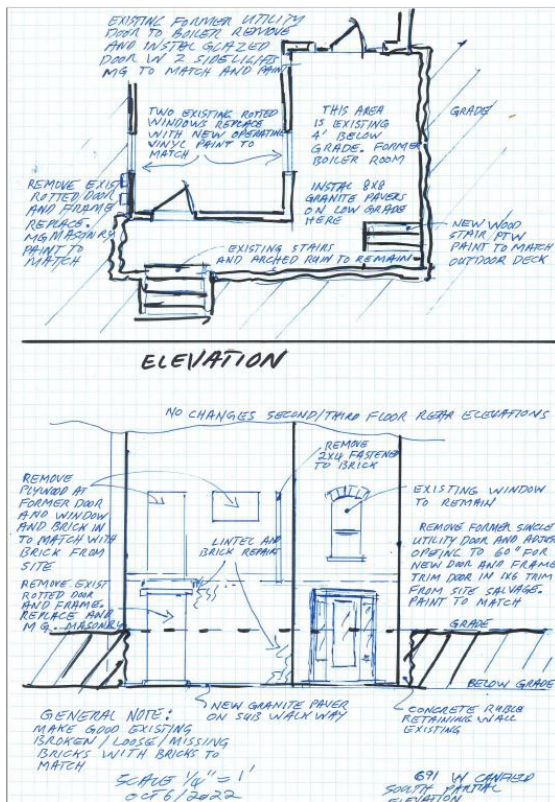
- Install 6' metal picket fence to close off east side and west side property lines in the front yard, starting at the front face of the house. Add 3' wide metal gate 2' setback off the corner front face of the house on the east and west sides of the house to gain access to the rear yard. Color black.
- Install 6' wood privacy fence comprised of 1x6 wood panels with chamfered top along the rear property line to match the existing wood fence already located on the east property line. Install gate for back alley/lane access.
- Along the west property line, alternate the wood and metal fences, starting from the back property line with 8' length of metal fence, followed by 8' of wood fence, alternating materials until the front yard boundary is reached.
- The metal fence is made of an unknown metal, likely aluminum, and will be painted black. The wood fence will be stained a semi-transparent warm gray (Color #RAL 7016) to match the existing wood deck fence. Fence product and material information has not been identified at the time of this report.



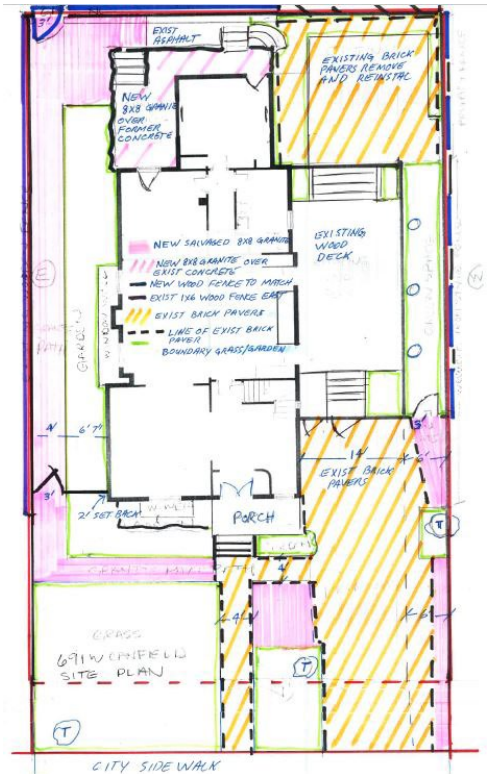
Site Photo 4, by Applicant: (North) front elevation showing before condition of front basement windows stone mullion.



Site Photo 5, by staff September 1, 2022: (North) front elevation showing current basement windows and window-well. The proposed new corbel appears to be missing.



Figures 2 & 3, by Applicant, showing the rear basement site plan and elevation of proposed/completed work.



4 Figures 4, by Applicant, showing site plan locations of paving and fence work.



## STAFF OBSERVATIONS AND RESEARCH

- The West Canfield Historic District was established in 1969.
- This property has the following HDC Certificates of Approval (COA) as indicated in files maintained by the HDC:
  - May 1982 COA: Paint on trim, shingles, doors, fascia.
- The current owner acquired this property in May 2022.
- This property also has the following outstanding violations for work done without approval:
  - Windows and brickmold replaced with vinyl windows and other materials, rear doors replaced, rear brick wall removed, and rear porch removed, rear support walls altered under the former patio, rear yard grading and grade beam installed with gravel, and installation of rear fence.
- Staff initially received this application in response to violation notices that were issued for work done without approval since first received a neighborhood complaint on September 1, 2022. Staff referred this to the Buildings, Safety Engineering, and Environmental Department (BSEED) on the same day. Staff observed that BSEED received permit applications on September 15, 2022.
- Almost all proposed work has either started or is completed without approval.
- Staff requested the following information that has not yet been received at the time of this report:
  - A clear fence plan that identifies specific locations of the metal and wood fence plan.
  - Product information that shows dimensions, materiality, brand, design, color and finish for windows, doors, fences, window wells, and asphalt shingles.
- During staff's site visit, the applicant was present and gave staff a site tour describing the work already in progress at the front, side and rear elevations of the property.
- Staff found that the real estate listing for this property as of May 2022, which reveals that several original features of the property before work was done by the current owner. Exterior photos can be viewed [here](#).

## ROOF/WALLS/CHIMNEY/PAINT

- At the time of this report, staff has not received the asphalt shingle product information.
- It is staff's opinion that the proposed roof, chimney, tuckpoint and paint work is appropriate as they all seek to maintain existing historic features of the property.

## WINDOWS/DOORS/WINDOW WELLS

- Staff observed that the front basement windows are publicly visible and had bars over the windows from at least as far back as 2015 and before. The color and materiality of this preceding condition caused the basement windows to recede in the landscape. (*See photos 3,4,5.*) It is staff's opinion that the modesty of this original condition of the basement windows is a distinctive character-defining feature. In 2016, these bars were removed, and vinyl slider windows were installed, which have since been replaced with larger vinyl windows and a window well which creates a larger, louder presence on the building and in the landscape. It is staff's opinion that vinyl material, the scale of the windows and the presence of the window wells at this location introduces a material, scale, color and expansion of a modest element into a more dominant element that alters and therefore substantially detracts from and destroys the historic appearance of the building.
- At the time of this report, staff has not received window and door product information. Staff requested interior images of the original windows and doors with a description/evaluation of their original condition. Staff received exterior photos of the windows
- Staff observed that the installed vinyl windows have several features that are not appropriate:
  - the surrounding coil covering the brickmold is large and gives the windows a chunky appearance,
  - the meeting rails in the double hung windows do not meet,
  - the dimensions of the header and base of the window do not match the original wood windows,
  - the single hung windows do not match the operation of the original windows, especially at the front basement elevation.
- The first-floor and second floor window's original configuration, condition and design is not clear, but from preceding images, staff believes that the east elevation windows were either wood double-hung or wood

casement windows. The rear elevation windows were likely double-hung wood windows on the first and second floors.

#### GRADING/PATIO/DRIVEWAY/WALKWAY

- It is staff’s opinion that the proposed grading, reinstallation of the brick driveway, walkways and patio work is appropriate as they maintain existing historic features of the property.

#### FENCE

- It is staff’s opinion that the erection of a fence of a scale, design, material, and location which conforms to the Commission’s Fence and Hedges Guidelines is appropriate. However, the proposed installation of metal and wood fencing every eight feet along the west boundary from the rear property line to the front property line introduces a pattern of materials that does not complement the house according to the Commission’s Fence Guidelines nor do they conform with the Elements of Design for the West Canfield Historic District. It is staff’s opinion the bringing the fence beyond the front face of the building into the front yard disrupts the “walls of continuity” as described in the Elements of Design, which identifies the front face each house, the front lawn with trees in the public median, and the series of gas lamps in the front yards as a series of “walls of continuity” that creates a cohesive pattern in the landscape. This proposed location of the fence and its rather sudden arbitrary mix of materials displayed in the front yard, is not appropriate in staff’s opinion.
- The proposed paint and treatment of the wood and metal fence is historically appropriate in staff’s opinion and meets the Commission’s Fence Guidelines because they complement the house.



*Site Photo 6, by staff, September 1, 2022 : (South) rear, east facing elevation showing location of removed doors and infill with fish-scale siding and stained glass transom from another building installed in the opening.*



*Site Photo 7, by Real Estate.com, listing date, October 2021: (South) rear, east facing elevation showing original rear porch covering, patio, planter bed and fence over the boiler room below.*

#### **ISSUES**

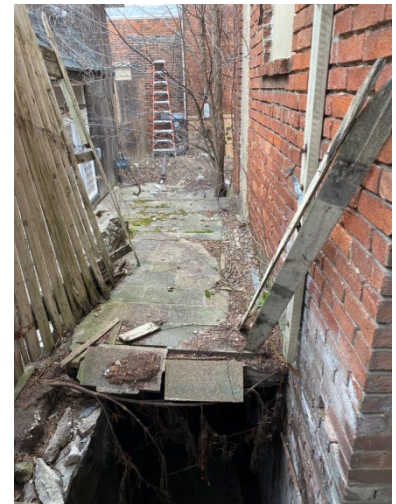
- Almost all work in this application was completed or started without HDC approval.
- Staff believes that the rear historic stone porch, as shown from the real estate listing and current images, was removed to expose the basement walls below. Site photo 7 shows that the masonry porch floor and double doors that opened to the porch were in place and appear to be in good condition at the time of the house’s sale, which was listed as such until May of 2022.



- It is staff’s opinion that the rear porch’s non-historic wood lattice overhang, wood fence enclosure and integrated flower bed were not historically contributing elements to the property and therefore merited removal. However, historically/as originally constructed, the home’s rear elevation possessed a masonry porch which obscured the basement walls and provided direct access to the first-floor doorways from grade. As previously noted, a review of the photos included with the home’s real estate listing indicated that this historic condition at the rear of the home was largely intact in late 2021/early 2022. The unapproved removal of the historic masonry porch (which led to the former paired doors, now enclosed with cedar shingles),



*Site Photo 8, by applicant, date unknown: (South) rear, facing east elevation showing before conditions of rear covered patio. Note the presence of stone steps leading to the now boarded-up door at the rear elevation.*



*Site Photo 9, by applicant, date unknown: (South) rear, facing west elevation showing after conditions of location of partially removed patio.*

- the removal of stone set of steps that led to the single rear door (now covered with plywood) and resulting exposure of the basement walls has drastically altered the historic character of the home and its relationship to the site/rear yard. It is therefore staff’s opinion that all work proposed at the rear of the building walls within the footprint of the former porch is inappropriate. Rather, the applicant should erect a new porch of an appropriate style, design, scale and material at the location of the former porch so that the current basement walls are not exposed.
- Vinyl is not an appropriate material for windows in the West Canfield Historic District.
- No documentation establishing that the original windows were beyond repair was submitted at the time of this report.
- It is staff’s opinion that the removal of the original front basement windows with their original stone mullion, modest scale and introduction of the window well at this front elevation has destroyed the original *scale, design, and materiality* and introduces new materials that are incompatible and inappropriate for this historic property, and therefore does not meet the Secretary of the Interior’s Standards for Rehabilitation.
- While staff has no issue with the proposed fences at the side and rear locations of the property, it is staff’s opinion that the front yard location and the proposed alternating wood and metal panel fencing at the west property line does not meet the Elements of Design as described earlier in this report.

## **RECOMMENDATION**

### Section 21-2-78, Determination of Historic District Commission

#### Recommendation 1: Removal of Rear Patio, Windows, Doors and Front yard Window Well and Fence (Work Complete Without Approval)

Staff finds that the removal of the rear patio roof over the boiler basement, the removal of the rear patio doors and infill with fish scale siding and a transom from another building, replacement of original windows with vinyl, the installation of the rear basement door with sidelights, the installation of the rear basement’s south facing wall, the infill of windows and door on the rear and side elevations, and the proposed front yard fence installation destroys the historic character of this property and removes distinctive, character-defining features.

Staff therefore recommends that the Commission issue a Denial for the above work items, as it does not meet the

Secretary of the Interior's Standards for Rehabilitation, specifically Standards:

*2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

*5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

*6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

*9. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

**Recommendation 2: Rehabilitate Dwelling, Install Side and Rear Fence (Work Complete Without Approval)**

It is staff's opinion the front porch roof work, chimney repair, tuckpointing of brick where needed, the repair/painting of trim where needed, the proposed landscape grading, driveway, walkway and patio installations, and the installation of the rear and side elevation fences are appropriate. Staff therefore recommends the Commission issue a Certificate of Appropriateness for the work as proposed because it meets the Secretary of the Interior Standards for Rehabilitation.

*Staff recommends the Certificate of Appropriateness be issued with the following conditions:*

- Applicant supply HDC staff with the asphalt shingles, rear door and metal fence product information for approval.
- The proposed fencing shall conform to the Commission's Fences and Hedges Guidelines and the fencing proposed for the side/east & west property line shall be of one consistent material.



























































691 W Canfield



### 691 W Canfield SCOPE OF WORK

#### **I. Attic**

- no work

#### **II. 2nd floor**

- remove existing plywood from 2 openings, brick in one, add window to other to match window below.

#### **III. 1st floor**

- remove moss covered shingles on porch roof and replace to match roof above
- remove existing plywood from 3 openings at east side and rear and brick in
- remove rotted doors at side and fill in panel with fish scale style shingles painted grey to match shingles at front gable
- Sand and paint exterior wood trim in same historic colours to match existing where needed

#### **IV. Basement**

- remove windows and glass block at front and side and update with code egress windows. Add window wells where required by building code
- uncover window on west side of basement, remove grate and replace window.
- Front wooden corbel to be replicated in wood and painted.
- install 2 basement doors at rear of house, (not visible from street)
- repair missing and damaged brick as needed with original matching brick

#### **V. Landscaping**

- add wrought iron style metal fence with gates along west boundary and across east easement at front
- add wooden fence at rear lane way to match existing fence on east boundary
- lift driveway pavers, level and reinstall - add antique granite pavers on pathways and patios as per site drawing
- add window wells with retaining supports where necessary

**From:** [Doug Pattison](#)  
**To:** [Dan Rieden](#)  
**Cc:** [Rosanne Pattison](#); [Jaime Pattison](#); [Neil Cairns](#)  
**Subject:** [EXTERNAL] FW: Attached Image  
**Date:** Tuesday, October 4, 2022 3:43:38 PM  
**Attachments:** [3571\\_001.pdf](#)

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**This Message Is From an External Sender**

ATTENTION: This email was sent from an external source. Please be extra cautious when opening attachments or clicking links.

Good afternoon Dan,

I have put together all of the elevations and the chimney photos and notes in one pdf here.

I have noted the scope of work on each elevation with tags.

There is nothing that I can provide you with by way of specification manufacturer sheets as most of this is reuse existing or has been purchased on marketplace etc. However the following general notes apply

- 1, any repainting will be using existing colors on the building.
- 2, west side yard fencing and south rear yard fencing will be PTW to match the existing east boundary fence. Vertical 1 x6 board chamfered top
- 3, front facing fence will be black metal picket as shown in the photo.
- 4, all new and replacement windows are white vinyl, single hung where appropriate.
- 5, window wells are set back 36" from the building and 6x6 ptw retaining to 3" above existing grade
- 6, shingle replacement is with asphalt shingle to match the asphalt shingle currently on the building.
- 7, all masonry in fill is done with custom mortar mix color matched and native salvaged brick from the house.
- 8, existing brick pavers are being reused. Where additional paving or patio surfaces are required we are using 8 x 8 tumbled granite
- 9, the two replacement rear doors below grade will be steel doors with glass in wood frames.

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**From:** Scanner <scanner@silvercreekcommercial.com>  
**Sent:** Tuesday, October 4, 2022 3:12 PM  
**To:** Doug Pattison <doug@silvercreekcommercial.com>  
**Subject:** Attached Image



**From:** [Doug Pattison](#)  
**To:** [Dan Rieden](#)  
**Subject:** [EXTERNAL] FW:691 w canfield  
**Date:** Thursday, October 6, 2022 9:19:22 AM  
**Attachments:** [3582\\_001.pdf](#)

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Good morning Dan

Please find attached marked up site plan.

I color coded so hopefully easier to follow. In addition I extended the site plan down to the sidewalk past our actual property border which is dotted red here.

Let me jknow if you require anything more on this dwg. I will forward rear elevaton later this am.

Kind regards

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**From:** Scanner <scanner@silvercreekcommercial.com>  
**Sent:** Thursday, October 6, 2022 9:05 AM  
**To:** Doug Pattison <doug@silvercreekcommercial.com>  
**Subject:** Attached Image

**From:** [Doug Pattison](#)  
**To:** [Dan Rieden](#)  
**Subject:** [EXTERNAL] FW: 691 rear elevation  
**Date:** Thursday, October 6, 2022 9:25:46 AM  
**Attachments:** [3583\\_001.pdf](#)

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Good morning Dan,

Please find attached rear elevation south facing noting scope of work.

Hopefully this clears up the confusion. I suspect it was difficult from the photos to understand the sunken boiler room ruin back there or whatever it was.

Will follow up next on window schedule and confirmation to paint the windows to match the existing ones in the warm grey trim color,

Kind regards

---

**From:** Scanner <scanner@silvercreekcommercial.com>  
**Sent:** Thursday, October 6, 2022 9:12 AM  
**To:** Doug Pattison <doug@silvercreekcommercial.com>  
**Subject:** Attached Image



**From:** [Doug Pattison](#)  
**To:** [Dan Rieden](#)  
**Subject:** [EXTERNAL] FW: 691 W CANFIELD  
**Date:** Thursday, October 6, 2022 12:05:54 PM  
**Attachments:** [3584\\_001.pdf](#)

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Good afternoon Dan,

Please find here with single page window and door schedule. The two boxed in identification letters being A and D3 refer to window on the second floor and double doors on the first.

I did not want to add more pages to this unless required.

Please review and confirm that I have captured the detail you require.

Thank you

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**From:** Scanner <scanner@silvercreekcommercial.com>  
**Sent:** Thursday, October 6, 2022 11:52 AM  
**To:** Doug Pattison <doug@silvercreekcommercial.com>  
**Subject:** Attached Image

**From:** [Doug Pattison](#)  
**To:** [Dan Rieden](#)  
**Subject:** [EXTERNAL] RE: 691 w canfield  
**Date:** Thursday, October 6, 2022 2:20:44 PM

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Thank you Dan

Please see below

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**From:** Dan Rieden <riedenda@detroitmi.gov>  
**Sent:** Thursday, October 6, 2022 1:32 PM  
**To:** Doug Pattison <doug@silvercreekcommercial.com>  
**Subject:** Re: 691 w canfield

Good afternoon Mr. Patterson,

Thank you for your materials. I will review more in depth as soon as I can. Right now, I have a couple questions regarding this site plan:

1. Thank you! This helps to clarify the plan greatly.
2. The key for your fence line (2 black colors) and the fence in the plan (black and blue lines) seem to indicate an overlap of fence types- and I don't see where the metal fence line is located. Can you help clarify the proposed fence installations and types?

YES TOO MANY LINES AND COLORS. ON THE WEST SIDE WE WERE LOOKING TO INTERSPERSE METAL AND WOOD FENCE. The point of that is that there are a number of windows near grade in the next door house that look directly onto the back patio so we were thinking to mix the fencing from the wood to the metal. I will try to draw something up that illustrates that specifically.

3. The pink areas are all for the new stone pavers (from Hart Plaza), correct? So the front yard will fill in areas at on either side of the driveway, correct?

YOU ARE CORRECT DAN HOWEVER WHEN I RETHINK IT, IT WOULD MAKE MORE SENSE TO USE THE HART PLAZA STONE ON THE BACK RIGHT SIDE PATIO AND USE THOSE BRICK PAVERS UP FRONT ON THE DRIVEWAY EXTENSION. All of the pavers need to come up and be re laid and I think the quantities would work. Then we could keep consistent with the brick pavers on the driveway, original walkway and slip over to the hart ones on the side path and the back patios.

What are your thoughts ?

Thank you for this work!

Dan

Daniel Rieden PLA/ASLA  
Lead Landscape Architect  
City of Detroit



**From:** [Doug Pattison](#)  
**To:** [Dan Rieden](#); [Rosanne Pattison](#); [Jaime Pattison](#)  
**Subject:** [EXTERNAL] Fwd: 691 w canfield  
**Date:** Monday, October 10, 2022 2:47:04 PM

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Hi Dan

Please see partial response below

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**From:** Dan Rieden <riedenda@detroitmi.gov>  
**Sent:** Monday, October 10, 2022 11:00 AM  
**To:** Doug Pattison <doug@silvercreekcommercial.com>; Rosanne Pattison <rosanne@silvercreekcommercial.com>; Jaime Pattison <jpattison@collegeforcreativestudies.edu>  
**Subject:** RE: 691 w canfield

Mr. Patterson,

Thanks for your timely response and apologies to disturb your vacation. There are a few questions regarding your response.

1. Windows- the application has single hung windows throughout, but your response has double-hung windows. Can you confirm, which ones they are? Therefore the product sheets for the windows are important to provide so we can see the dimensions, etc. they are single hung not double hung. I do not have specification sheets nor can I get them. They were Facebook purchases
2. We need complete answers regarding the questions below, the window well's and fence's materiality, etc. Dan I have nothing more then the dimensions of the window wells and that they are made of 6 x6 ptw There is nothing more to add, metal fence black aluminum picket 4" vertical spacing
3. Nothing more to add to wooden fence descriptions
4. Do you have any documentation regarding the condition of the original windows and doors before they were removed? Please provide interior and exterior photos and description if you do.
5. Do you have any photos or description of what was present over the collapsed roof the boiler room area? The double doors that have been replaced by the fish scale siding must have opened onto what staff suspects may have been a covered rear porch. Do you have any information regarding this original condition?

Thank you,

**From:** [Doug Pattison](#)  
**To:** [Dan Rieden](#)  
**Subject:** [EXTERNAL] Rear yard deck over boiler room  
**Date:** Monday, October 10, 2022 11:08:28 PM

---

**This Message Is From an External Sender**

ATTENTION: This email was sent from an external source. Please be extra cautious when opening attachments or clicking links.

Hi Dan this is the only picture I have of the former structure overtop of the faulted slab. Lean to roof with ptw lattice and 6' ptw fence. Both rotting. The fence boards came off in my hands one day when I was trying to step around the gaping hole in the slab.

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**From:** [Doug Pattison](#)  
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**From:** [Doug Pattison](#)  
**To:** [Dan Rieden](#)  
**Subject:** [EXTERNAL] 691 rear deck  
**Date:** Monday, October 10, 2022 11:10:54 PM  
**Attachments:** [IMG\\_5643.PNG](#)

---

**This Message Is From an External Sender**

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Dan this is the only shot I could find of the collapsed deck. This is looking west across the back of the house. The plywood on the masonry to the right is the former rear window and door that we plan to brick in.

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NORTH ELEVATION  
"FRONT"

691 W CANFIELD



REMOVE EXISTING MOSS COVERED ASPHALT ROOF SHINGLES ON PORCH. REPLACE WITH NEW ASPHALT SHINGLES TO MATCH UPPER ROOF

REMOVE EXISTING SLIDING VINYL BASEMENT WINDOW LOWER SILL 10" AND PROVIDE NEW SINGLE HUNG VINYL EGRESS WINDOW

PROVIDE 6X6 PTW WINDOW WELL TO SUIT. REPLACE EXISTING WOOD TRIM TO MATCH.

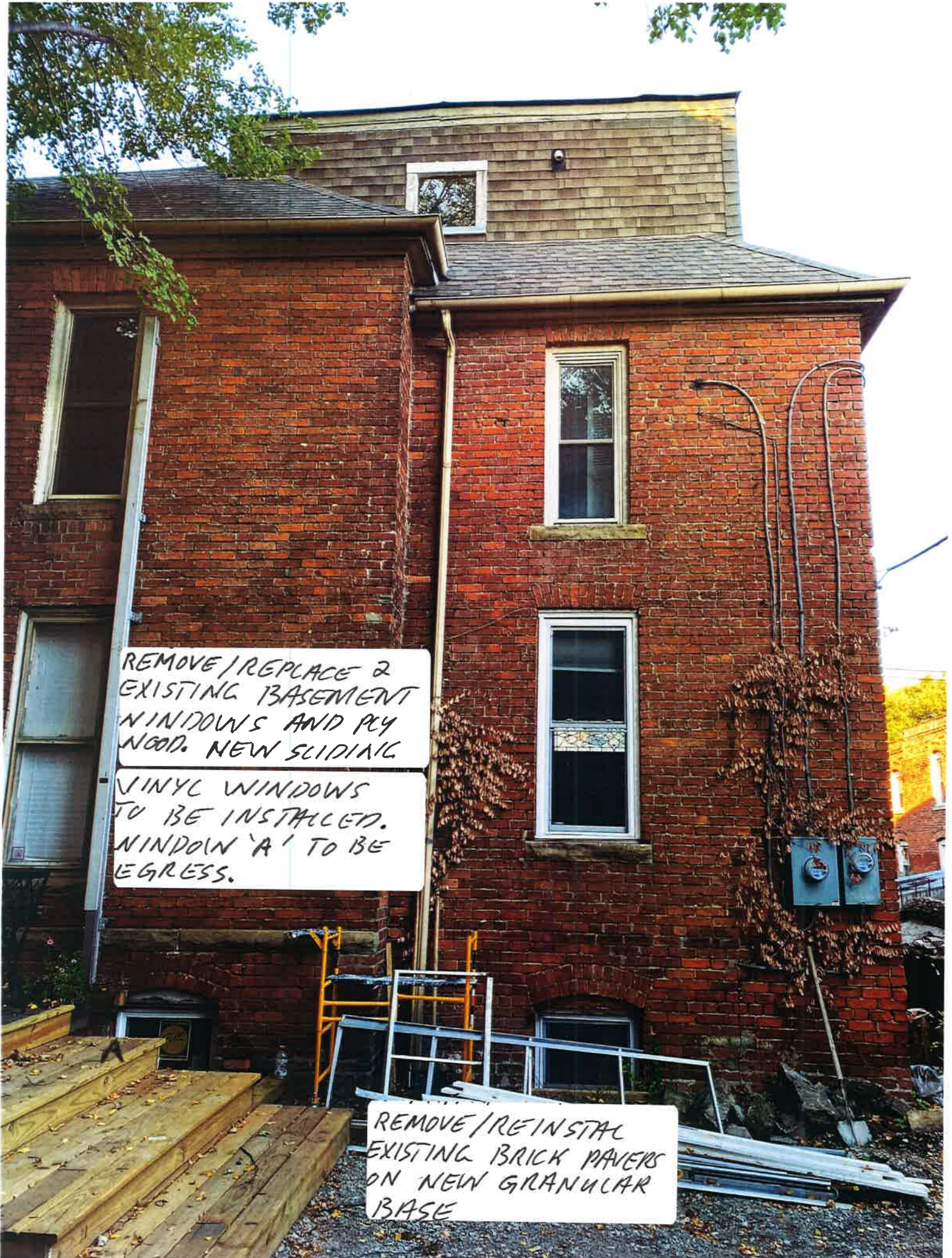
6' METAL PICKET FENCE TO CLOSE OFF EAST SIDE YARD. GATED FOR ACCESS

GENERAL NOTE  
REPAIR/REPAINT EXISTING WOOD TRIM AS REQUIRED  
PAINT EXISTING COLOR



WEST ELEVATION

691 W CANFIELD



REMOVE/REPLACE 2  
EXISTING BASEMENT  
WINDOWS AND PLY  
WOOD. NEW SLIDING

VINYL WINDOWS  
TO BE INSTALLED.  
WINDOW 'A' TO BE  
EGRESS.

REMOVE/REINSTALL  
EXISTING BRICK PAVERS  
ON NEW GRANULAR  
BASE



REMOVE PLYWOOD AT  
DOOR AND WINDOW.  
INFILL WITH EXISTING  
SALVAGED BRICK  
FROM THE SITE

EXISTING CONCRETE  
STAIRS AND RUBBLE  
STRUCTURE TO BE  
STABILIZED AND REMAIN





SOUTH ELEVATION  
1 OF 3

691 W CANFIELD



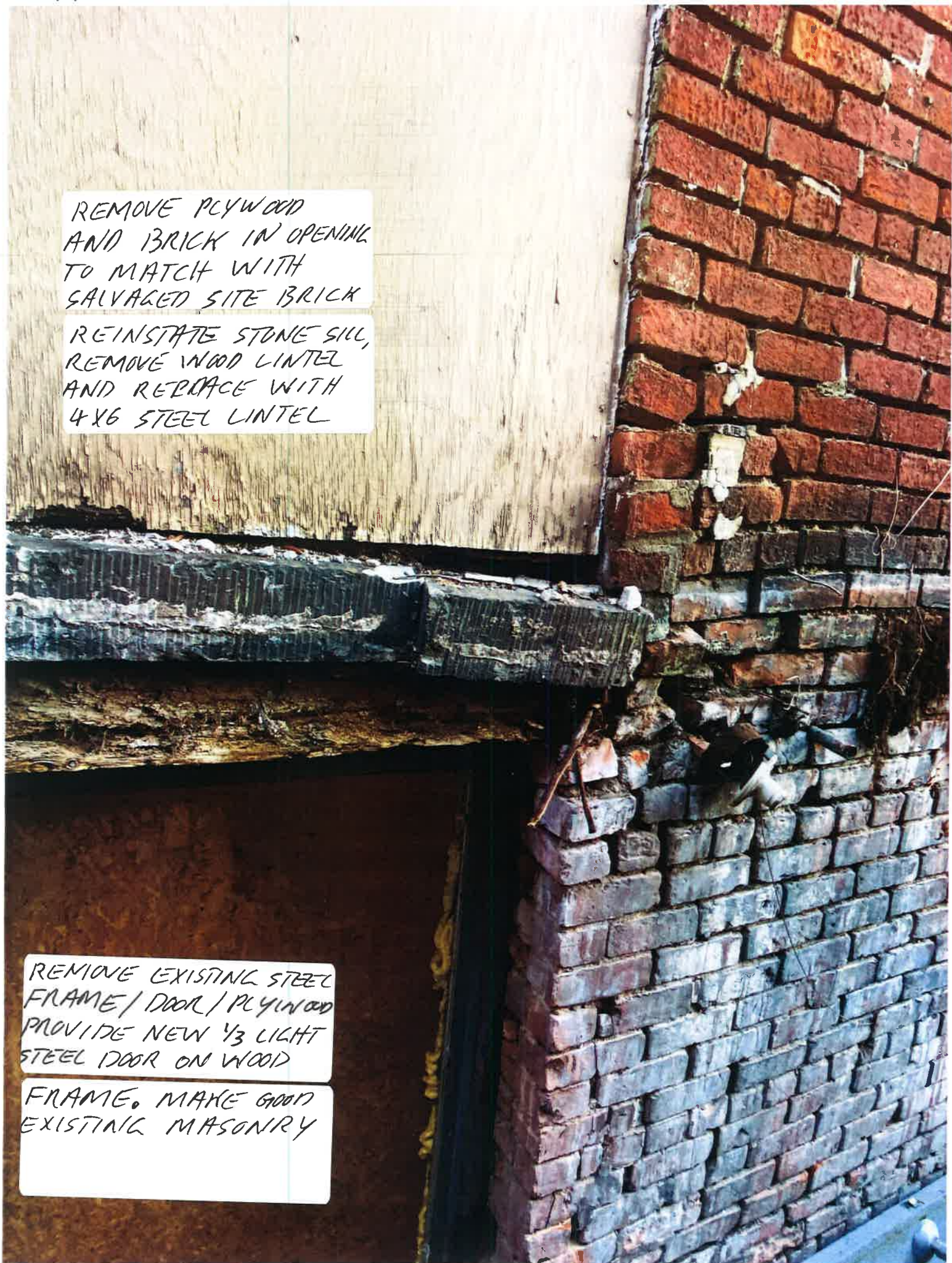


REMOVE PLYWOOD  
AND BRICK IN OPENING  
TO MATCH WITH  
SALVAGED SITE BRICK

REINSTATE STONE SILL,  
REMOVE WOOD LINTEL  
AND REPLACE WITH  
4X6 STEEL LINTEL

REMOVE EXISTING STEEL  
FRAME / DOOR / PLYWOOD  
PROVIDE NEW 1/3 LIGHT  
STEEL DOOR ON WOOD

FRAME. MAKE GOOD  
EXISTING MASONRY





EAST ELEVATION 2 OF 2

691 W CANFIELD



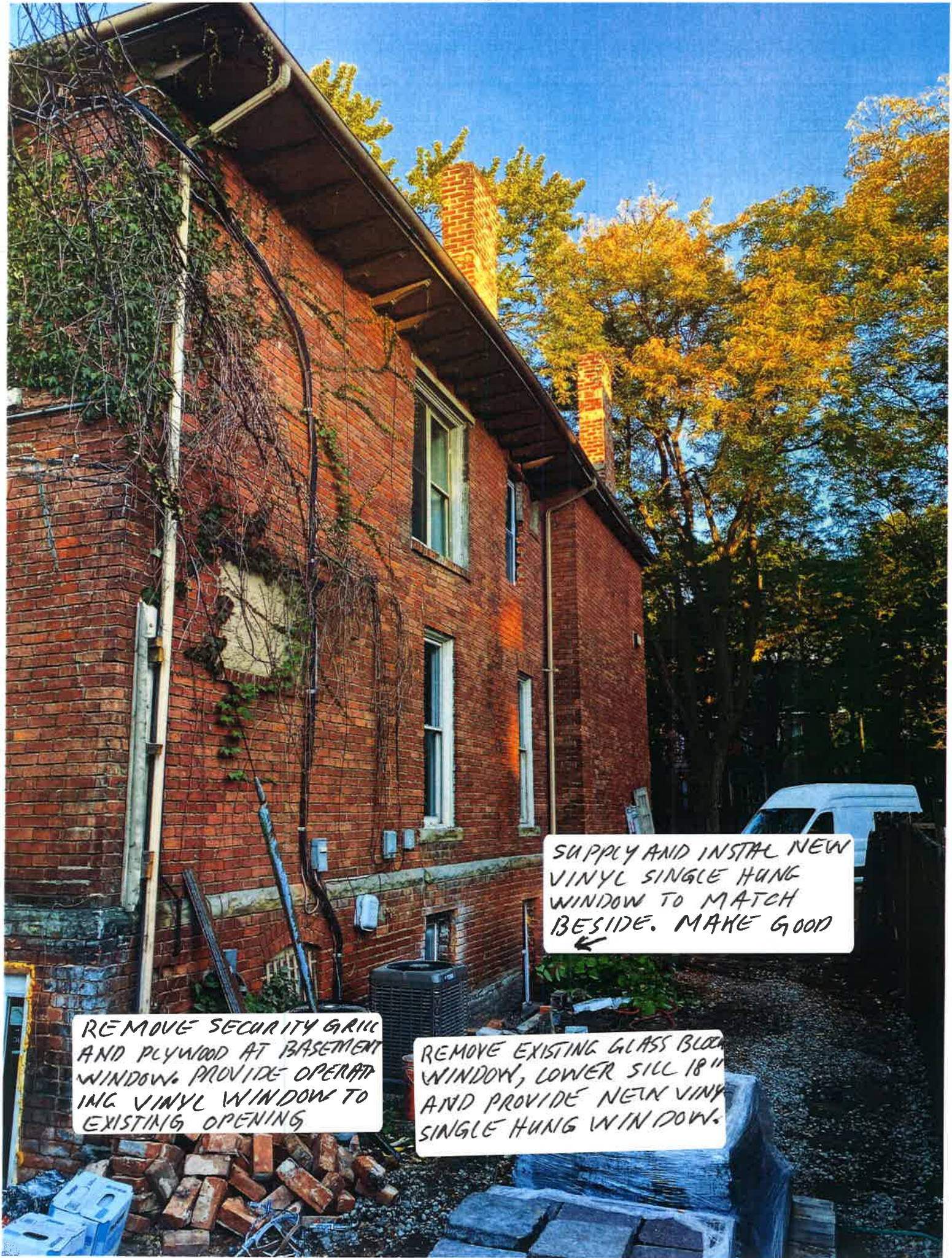
REMOVE PLYWOOD AND  
BRICK IN RIGHT SIDE  
WINDOW TO MATCH.  
EXTEND LEFT WINDOW

SILL DOWN 18" AND  
PROVIDE VINYL SINGLE  
HUNG WINDOW. MAKE  
GOOD MASONRY OPENING



EAST ELEVATION 1 OF 2

691 W CANFIELD



SUPPLY AND INSTALL NEW VINYL SINGLE HUNG WINDOW TO MATCH BESIDE. MAKE GOOD  
←

REMOVE SECURITY GRILL AND PLYWOOD AT BASEMENT WINDOW. PROVIDE OPERATING VINYL WINDOW TO EXISTING OPENING

REMOVE EXISTING GLASS BLOCK WINDOW, LOWER SILL 18" AND PROVIDE NEW VINYL SINGLE HUNG WINDOW.



691 W CANFIELD  
MASONRY CHIMNEY

EAST ELEVATION  
SECOND CHIMNEY  
BACK



INVESTIGATE STRUCTURAL  
INTEGRITY OF LEANING  
CHIMNEY. DETERMINE IF  
CHIMNEY HAS CRACKED  
AND REMOVE BRICK  
DOWN TO STONE COLLAR,  
OR INTRODUCE CHIMNEY  
BRACE.

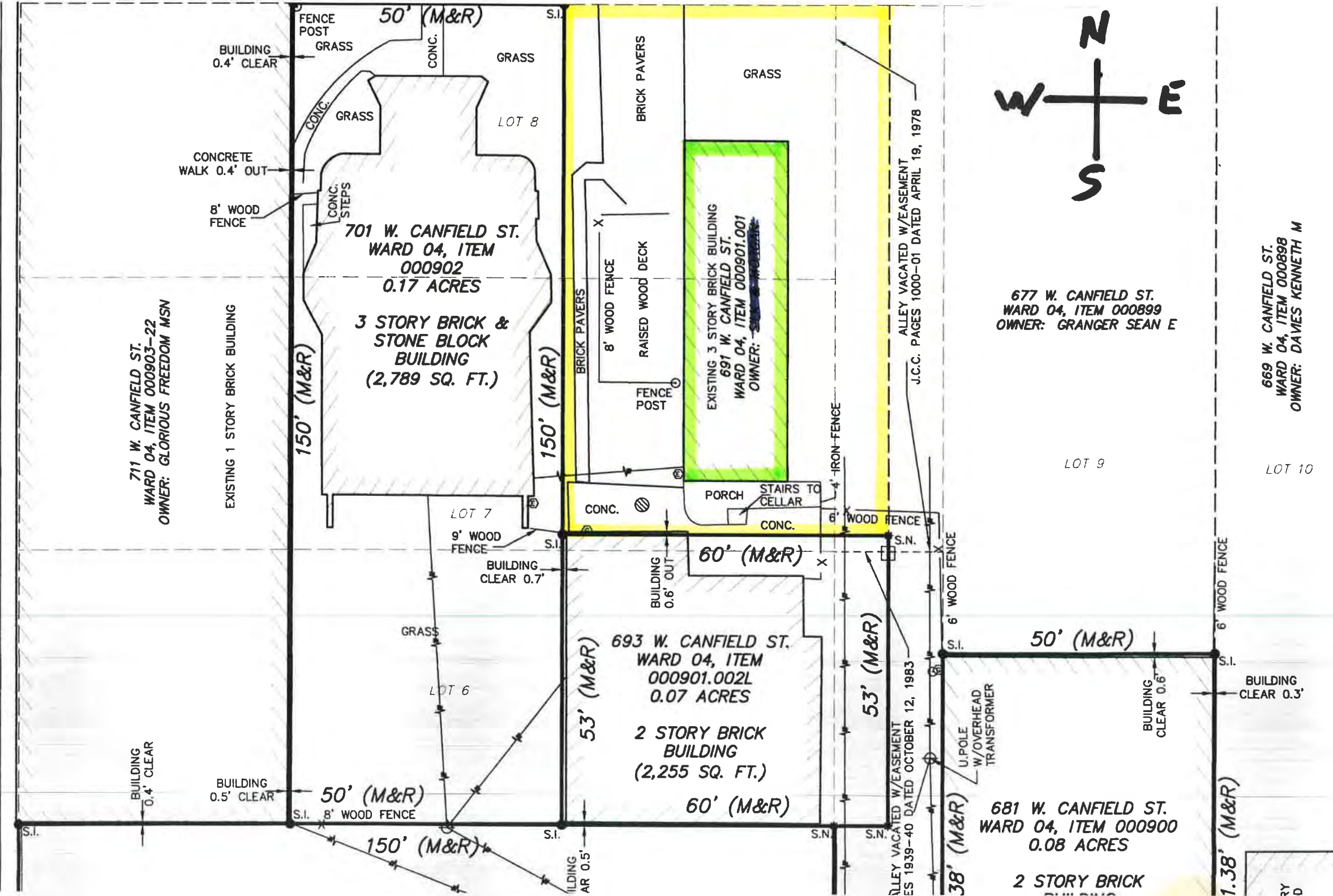
EXISTING BRICK FROM  
HOUSE TO BE REUSED  
IF REQUIRED



(70 FT. WD.)  
EASEMENT

SURVEY 691 W. Canfield  
+ neighbouring properties

CONCRETE WALKWAY



711 W. CANFIELD ST.  
WARD 04, ITEM 000903-22  
OWNER: GLORIOUS FREEDOM MSN

EXISTING 1 STORY BRICK BUILDING

701 W. CANFIELD ST.  
WARD 04, ITEM 000902  
0.17 ACRES  
3 STORY BRICK &  
STONE BLOCK  
BUILDING  
(2,789 SQ. FT.)

LOT 7  
9' WOOD FENCE  
BUILDING CLEAR 0.7'

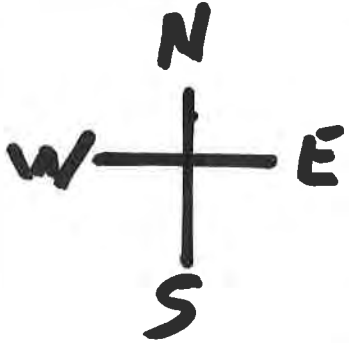
693 W. CANFIELD ST.  
WARD 04, ITEM 000901.002L  
0.07 ACRES  
2 STORY BRICK  
BUILDING  
(2,255 SQ. FT.)

EXISTING 3 STORY BRICK BUILDING  
691 W. CANFIELD ST.  
WARD 04, ITEM 000901.001  
OWNER: ~~W. W. W. W. W.~~

681 W. CANFIELD ST.  
WARD 04, ITEM 000900  
0.08 ACRES  
2 STORY BRICK  
BUILDING

677 W. CANFIELD ST.  
WARD 04, ITEM 000899  
OWNER: GRANGER SEAN E

669 W. CANFIELD ST.  
WARD 04, ITEM 000898  
OWNER: DAVIES KENNETH M



ALLEY VACATED W/EASEMENT  
J.C.C. PAGES 1000-01 DATED APRIL 19, 1978

ALLEY VACATED W/EASEMENT  
ES 1939-40 DATED OCTOBER 12, 1983

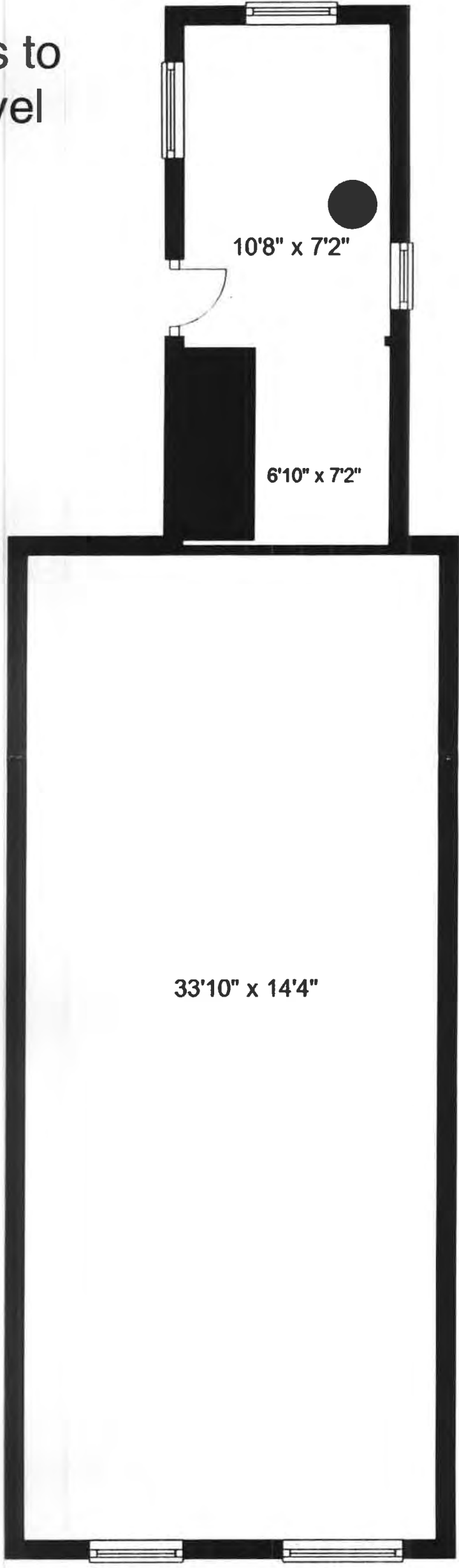
RY  
D



Attic  
Approx. 616.3 sq. feet

5

No  
changes to  
attic level



E

W

Z



II.

# Second Floor

Approx. 1219.0 sq. feet

(S)

(E)

Remove plywood from two openings , install new single hung window and brick in other opening (see photo)



(W)

(N)

691 W Canfield FRONT



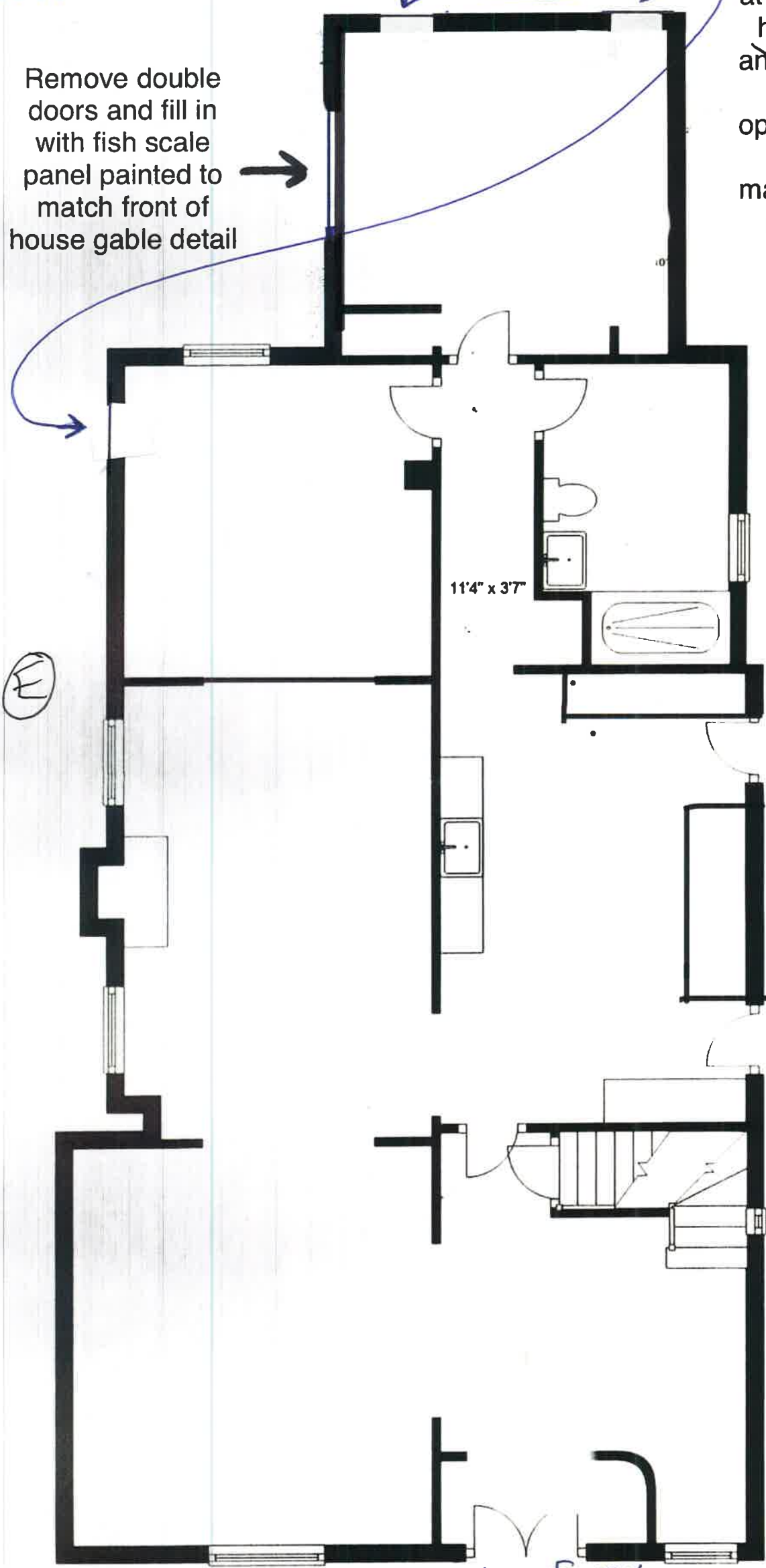
III.

**First Floor**  
Approx. 1222.5 sq. feet

(S)

Remove plywood at rear of house and brick in 3 openings with matching brick

Remove double doors and fill in with fish scale panel painted to match front of house gable detail



porch roof - new shingles

691 W Canfield FRONT

(N)



Existing concrete foundation. Add new wooden exterior stairs

Replace 2 doors at rear of basement, not visible from street

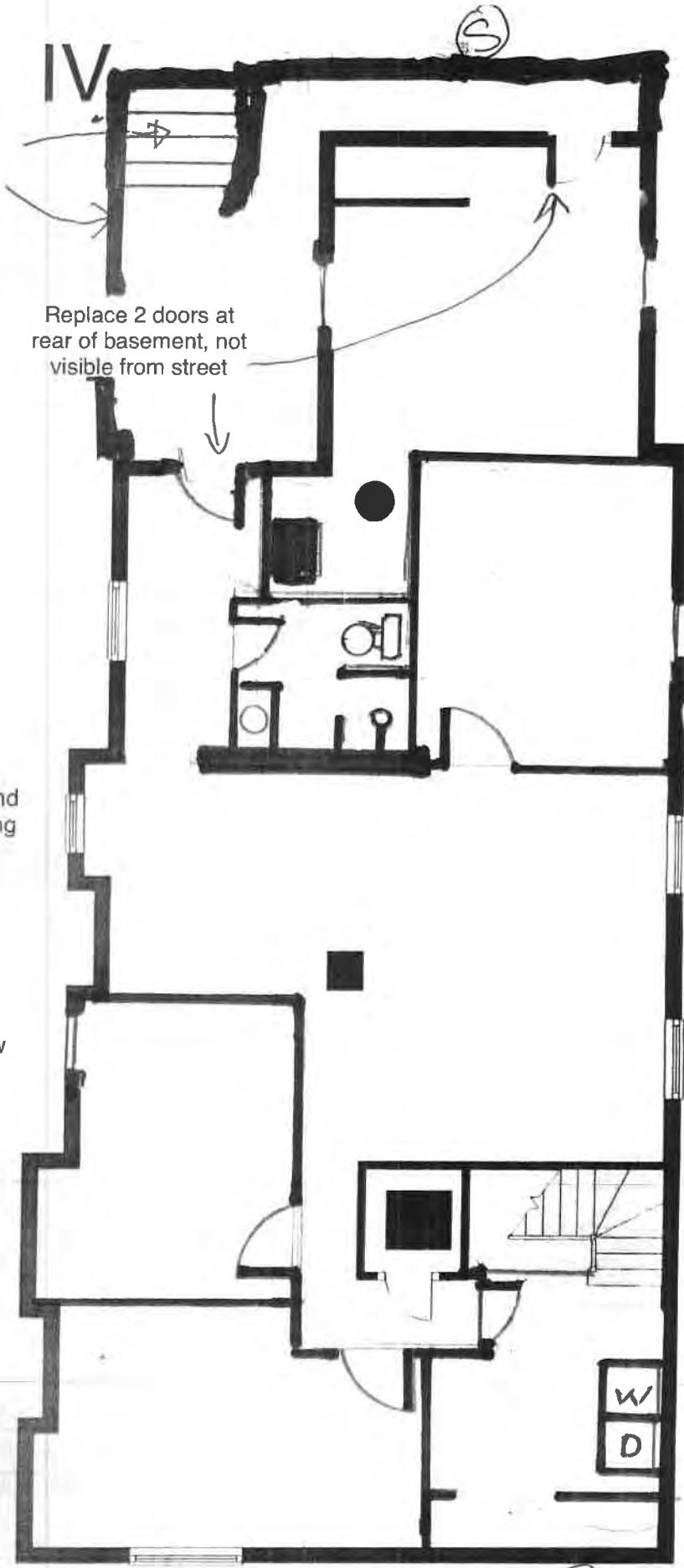
Uncover window and replace with new egress window.

Remove glass block and replace with single hung egress window

Cut in and install new single hung egress window to match

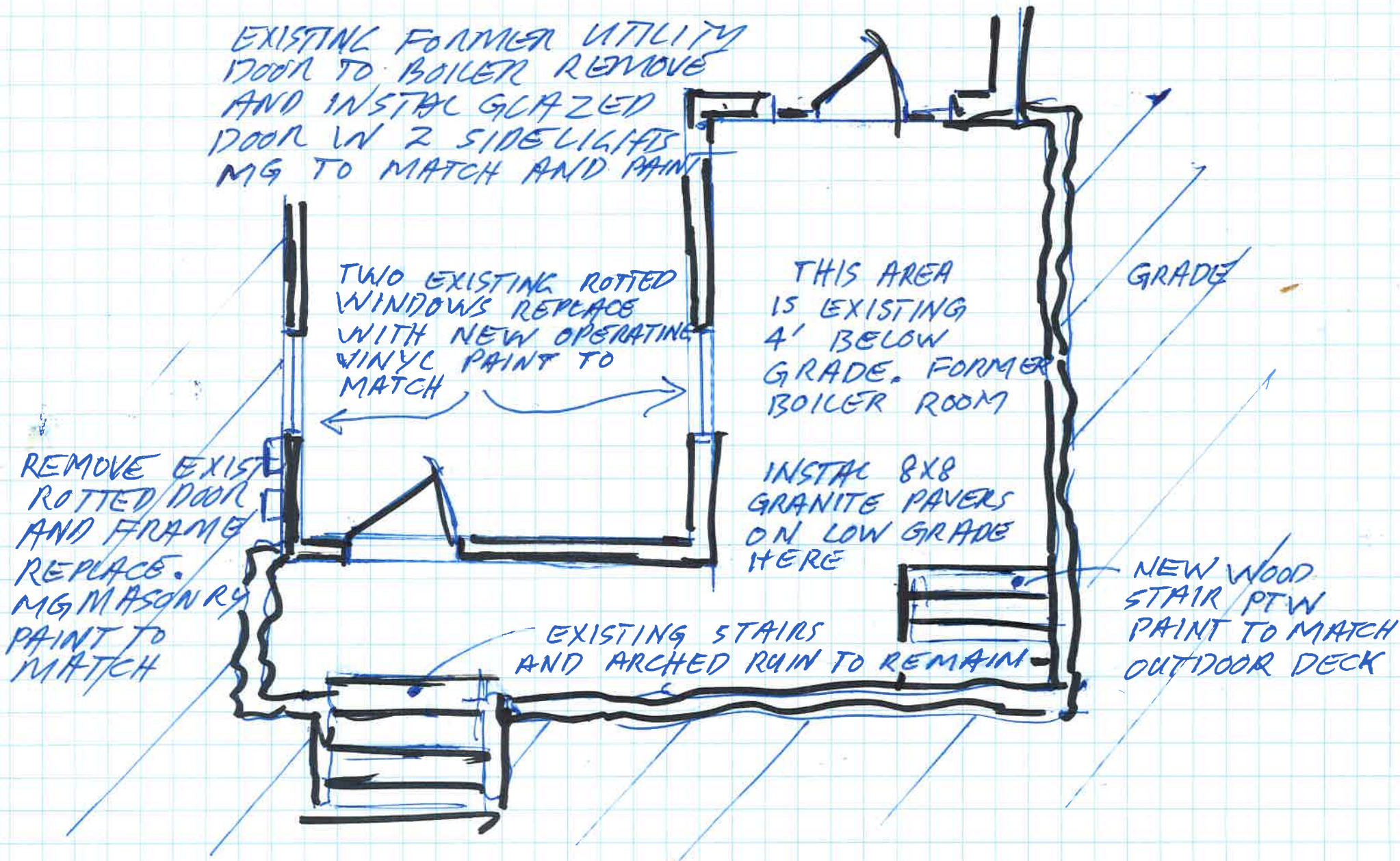
Remove small slider windows at front and replace with single hung egress window

691 W Canfield FRONT



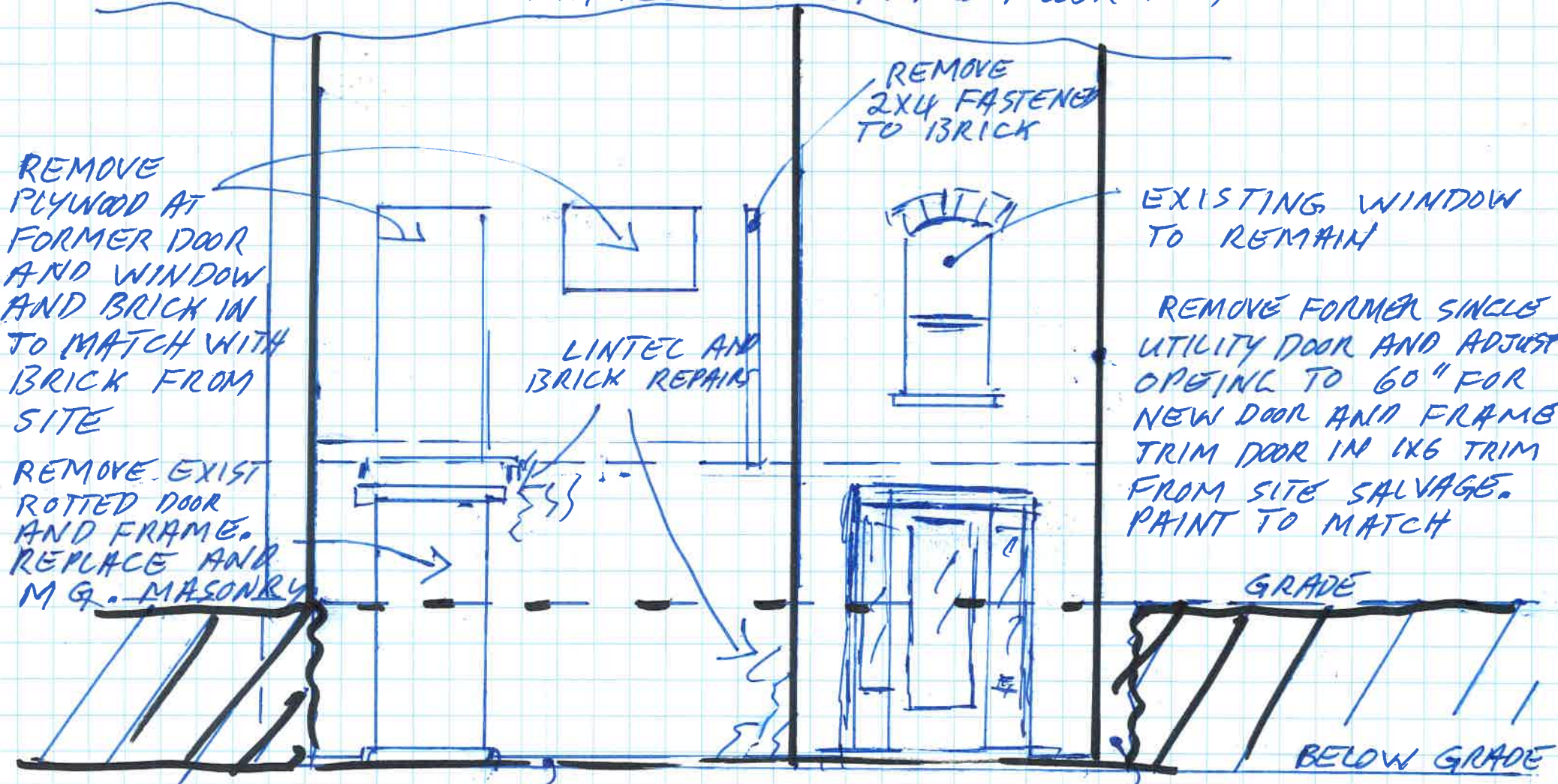


# PARTIAL BASEMENT PLAN VIEW REAR ELEVATION



## ELEVATION

NO CHANGES SECOND/THIRD FLOOR REAR ELEVATIONS



GENERAL NOTE:  
MAKE GOOD EXISTING  
BROKEN / LOOSE / MISSING  
BRICKS WITH BRICKS TO  
MATCH

SCALE 1/4" = 1'  
OCT 6 / 2022

CONCRETE RUBBLE  
RETAINING WALL  
EXISTING

691 W CANFIELD  
SOUTH PARTIAL  
ELEVATION



V. LANEWAY

(S)

EXISTING NEIGHBOUR'S HOUSE

GATE

NEW WOODEN FENCE

EXISTING PATIO

GRANITE PAVERS

PRIVACY FENCE

EXISTING WOODEN FENCE

(E)

GRANITE PATH

GARDEN

WINDOW WELL

11'4" x 37'

EXISTING WOOD DECK

GREEN SPACE

WEIGHT IRON STYLE FENCE

(Z)

IRON GATE

W. WELL GARDEN

PORCH

GARDEN

GRANITE PAVEMENT PATH

DRIVEWAY

GRASS

691 W CANFIELD  
SITE PLAN

(N)



3'

EXIST ASPHALT

EXISTING BRICK PAVERS REMOVE AND REINSTALL

NEW 8X8 GRANITE OVER FORMER CONCRETE

NEW SALVAGED 8X8 GRANITE

EXISTING WOOD DECK

NEW 8X8 GRANITE OVER EXIST CONCRETE

NEW WOOD FENCE TO MATCH

EXIST 1X6 WOOD FENCE EAST

EXIST BRICK PAVERS

LINE OF EXIST BRICK PAVER

BOUNDARY GRASS/GARDEN

PRIVACY FENCE

GREEN SPACE

(2)

GARDEN

WINDOW WELL

GRANITE PATH

6'7"

3'

EXIST BRICK PAVERS

3'

2' SET. BACK

W. WELL

PORCH

GRANITE PATH

4'

GRASS

691 W CANFIELD  
SITE PLAN

(T)

(T)

(T)

CITY SIDE WALK



691 W CANFIELD ST DOOR AND WINDOW REPLACEMENT SCHEDULE

THIRD FLOOR - NO CHANGE

SECOND FLOOR - ONE WINDOW ADDED TO EXISTING OPENING. OPENING EXTENDED IN LENGTH  
"A" EAST ELEVATION, VINYL, SINGLE HUNG, REPLACEMENT, PAINT TO MATCH

FIRST FLOOR - NO CHANGE

BASEMENT - ONE NEW WINDOW ADDED, 6 REPLACEMENT WINDOWS TOTAL 7  
"B" NORTH ELEVATION, VINYL, SINGLE HUNG, REPLACEMENT OPENING LOWERED 10"  
"C" EAST ELEVATION, VINYL, SINGLE HUNG, NEW OPENING  
"D" EAST ELEVATION, VINYL, SINGLE HUNG, REPLACEMENT OPENING LOWERED 14"  
"E/F" EAST ELEVATION, VINYL, AWNING, REPLACEMENT  
"G" WEST ELEVATION, VINYL, AWNING, REPLACEMENT  
"H" WEST ELEVATION, VINYL, CASEMENT, REPLACEMENT, OPENING LOWERED 6"

DOORS BASEMENT LEVEL

"D1" EXISTING UTILITY REMOVED AND REPLACED WITH GLAZED DOOR TWO SIDELIGHTS.  
OPENING WIDENED TO SUIT. LINTEL INSERTED TO CARRY BRICK  
"D2" EXISTING UTILITY DOOR REMOVED AND REPLACED WITH NEW METAL DOOR 1/3 GLASS ON WOOD  
FRAME. REBUILD FAULTED SILL AND LINTEL  
"D3" EXISTING NON ORIGINAL ROTTED GLASS DOORS ON FIRST FLOOR EAST ELEVATION REAR REMOVE, INFILL  
WITH FISH SCALE CEDAR SHINGLES TYPICAL TO WEST ELEVATION, TRIM AND PAINT TO MATCH WEST ELEVATION  
SHINGLES. STAINGLASS TRANSOM WINDOW OVER TOP.

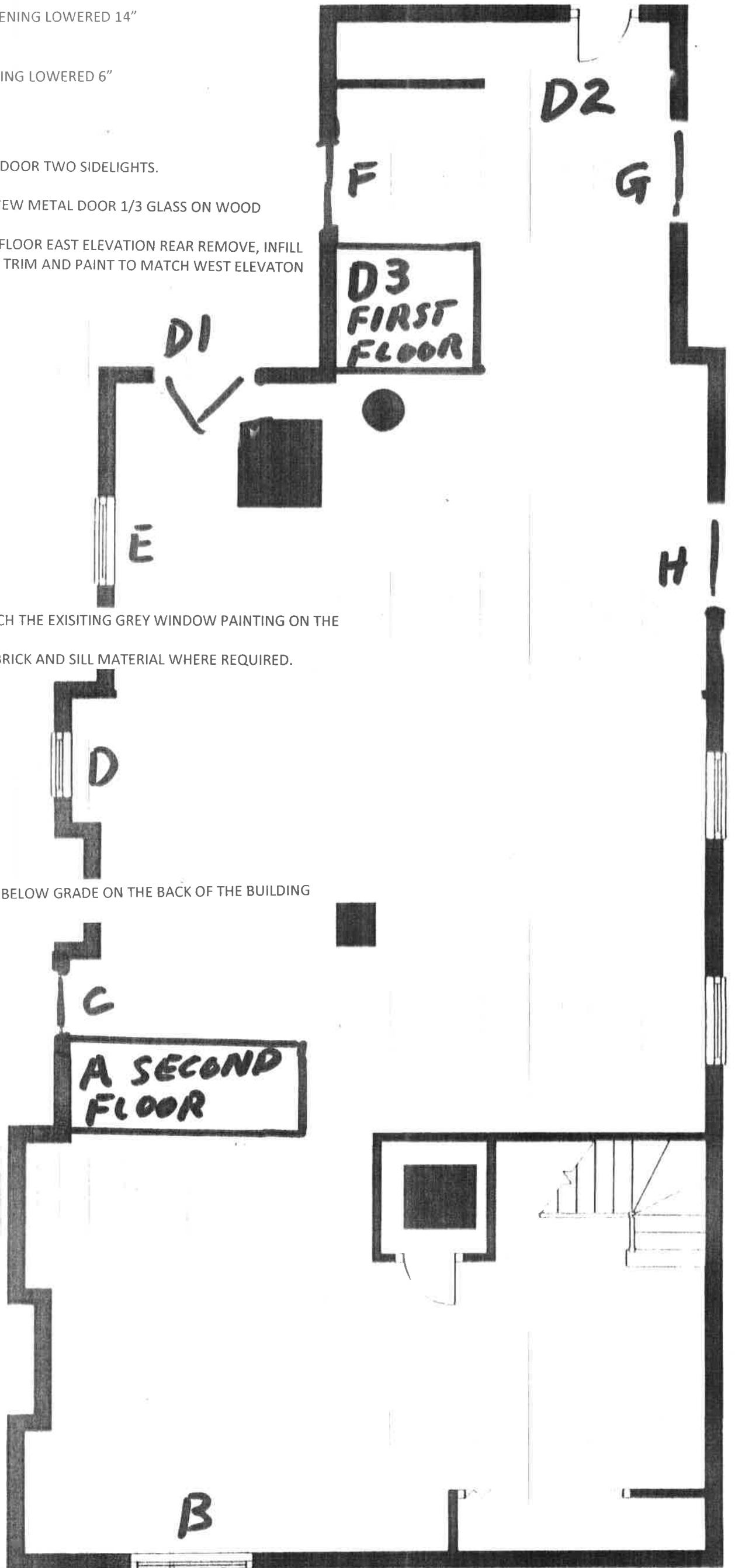
GENERAL NOTES

- 1, ALL NEW DOORS AND WINDOWS TO BE PAINTED TO MATCH THE EXISTING GREY WINDOW PAINTING ON THE FRONT OF THE HOUSE.
- 2, MAKE GOOD MASONRY OPENINGS AND REUSE EXISTING BRICK AND SILL MATERIAL WHERE REQUIRED.

SUMMARY

NEW WINDOWS IN EXISTING OPENING 1  
REPLACEMENT WINDOWS IN EXISTING OPENINGS 7  
REPLACEMENT DOORS IN EXISTING OPENINGS 2, BOTH 50% BELOW GRADE ON THE BACK OF THE BUILDING  
BASEMENT LEVEL.

**Basement**  
Approx. 1244.4 sq. feet





EAST SIDE

11.

Add window here

Brick in here

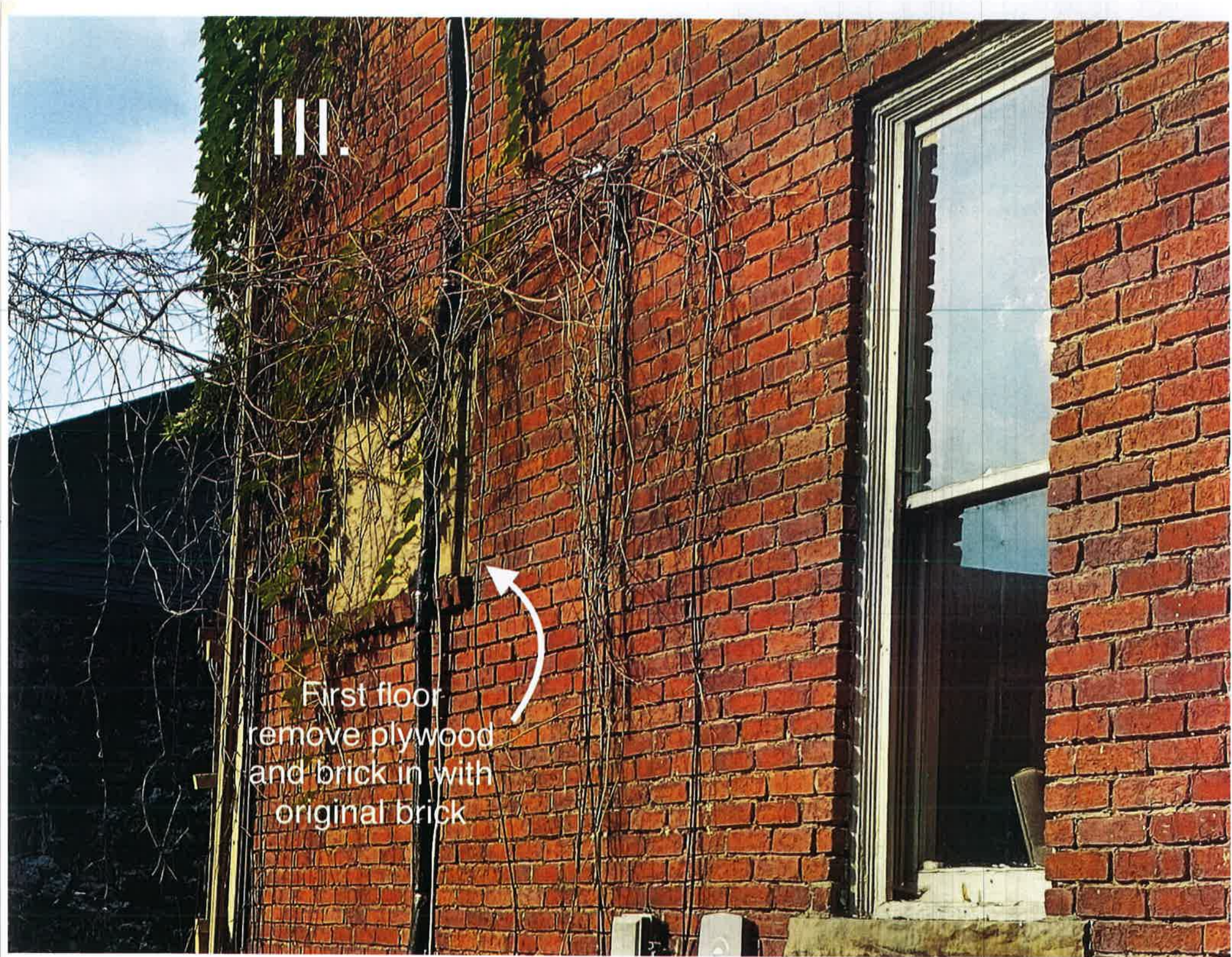
2nd floor remove old plywood add single hung window on left to match below and brick in opening on the right





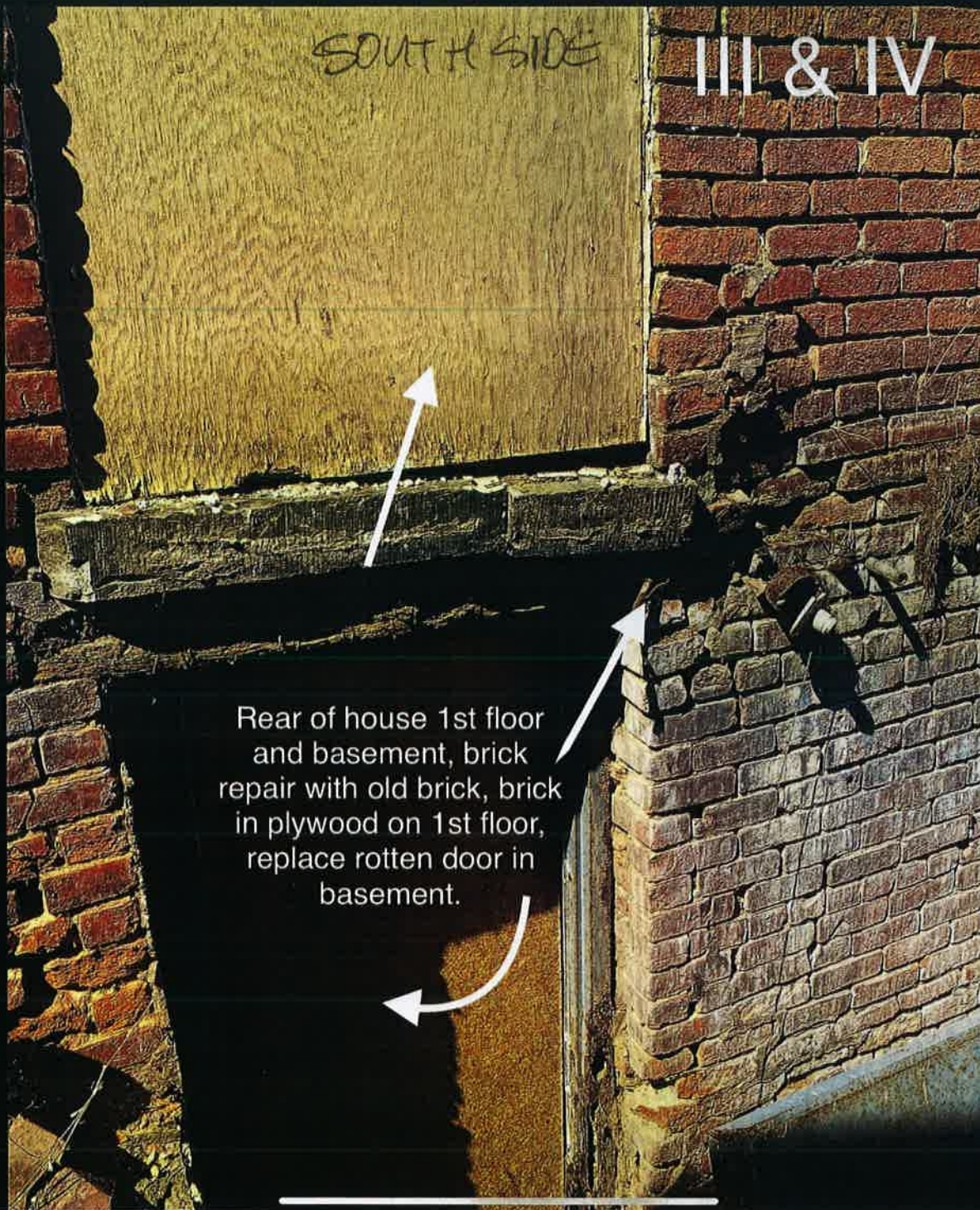
III.

First floor  
remove plywood  
and brick in with  
original brick





IMG\_4985  
JPG - 5.2 MB



SOUTH SIDE

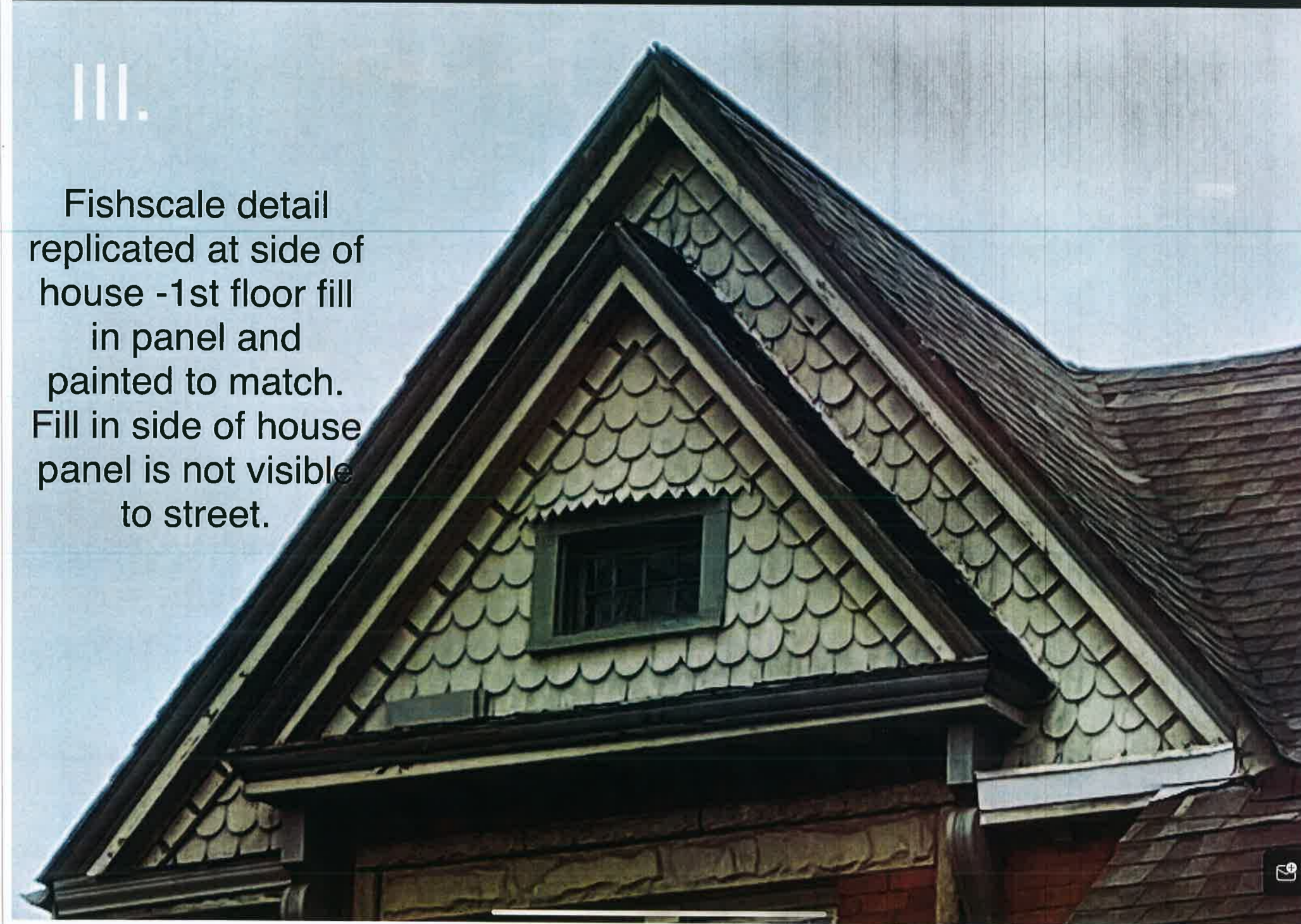
III & IV

Rear of house 1st floor and basement, brick repair with old brick, brick in plywood on 1st floor, replace rotten door in basement.



III.

Fishscale detail replicated at side of house - 1st floor fill in panel and painted to match. Fill in side of house panel is not visible to street.





III. & IV.

1st floor, remove rotten doors, fill in with fish scale panel to match front of house and paint to match

EAST SIDE

Basement level - not visible from street - Remove old metal pipe, repair brick where damaged or missing

EAST SIDE





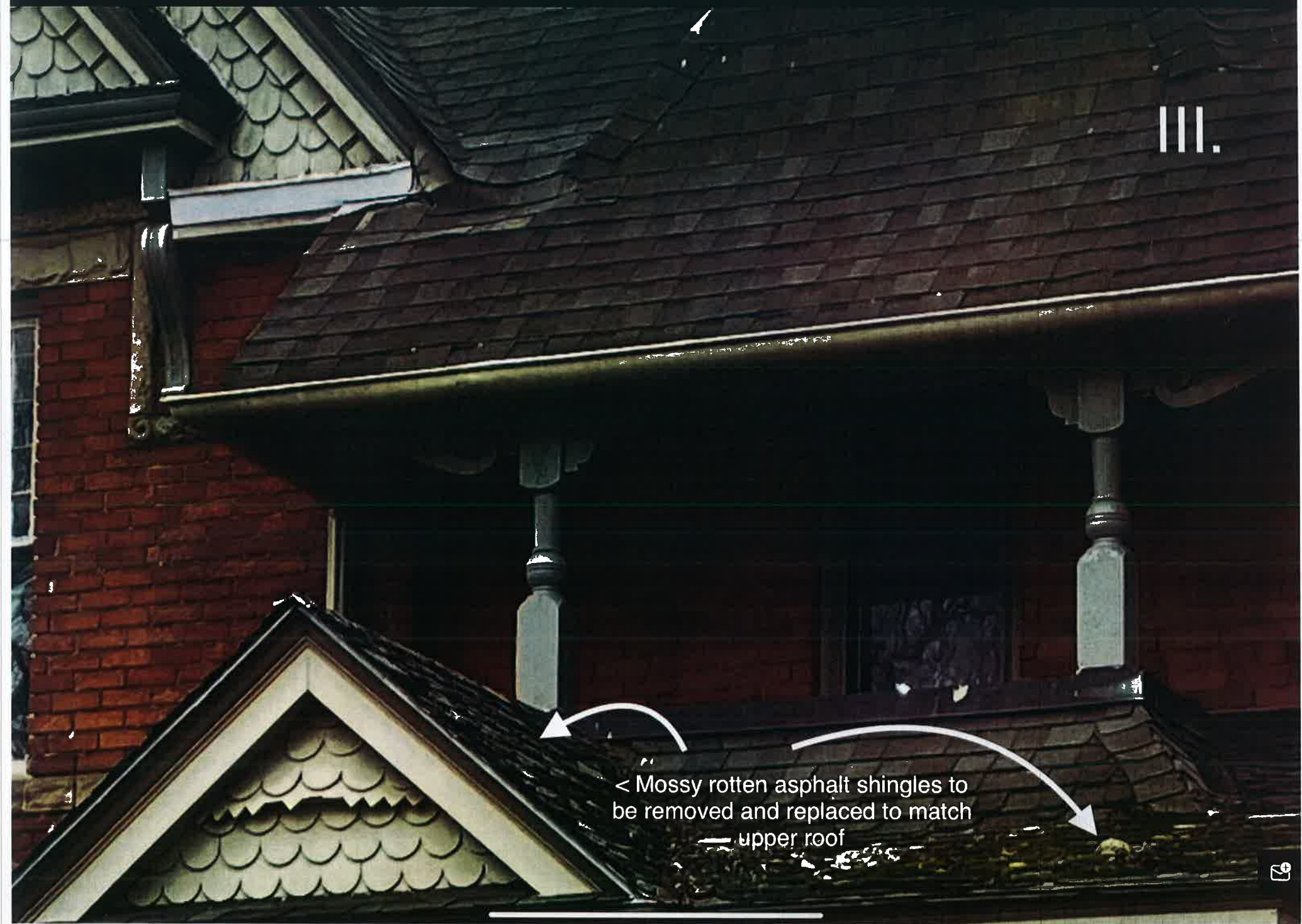
Mossy shingles to  
remove and replace  
with shingles to  
match roof above

H.H.



FACING NORTH

IMG\_3804  
JPG - 4.5 MB



< Mossy rotten asphalt shingles to be removed and replaced to match upper roof



IV. NORTH SIDE

Basement level - Front vinyl slider windows to be replaced with code required egress windows. Middle corbel to be replicated in wood and installed in middle, painted to match existing.

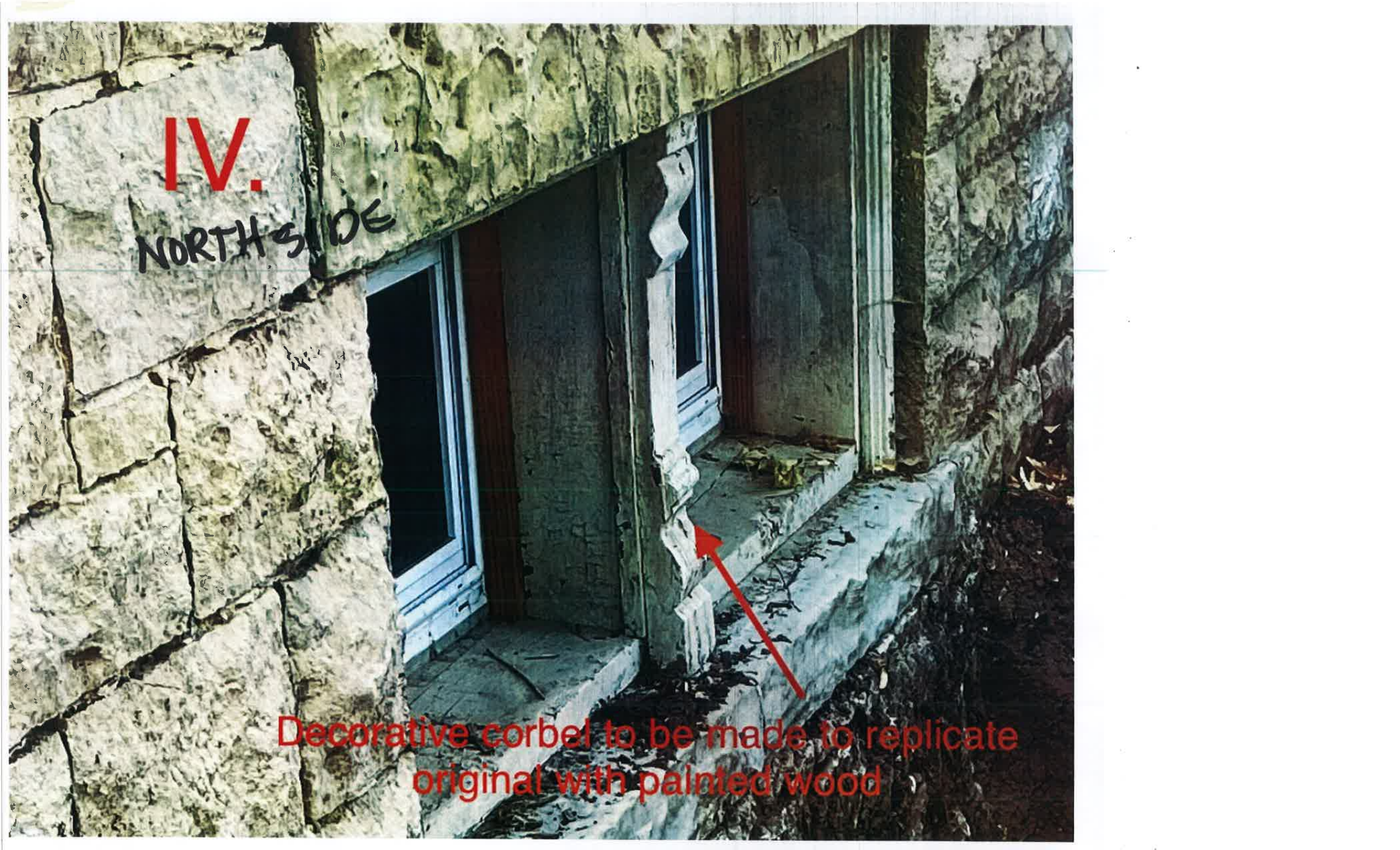




**IV.**

**NORTH SIDE**

**Decorative corbel to be made to replicate original with painted wood**













IMG\_4964  
JPG - 3.8 MB

# IV.

Rotten  
basement  
door and  
frame to be  
replaced - not  
visible from  
street





IV.

SOUTH EAST  
CORNER

Brick repairs  
where  
required  
using original  
brick

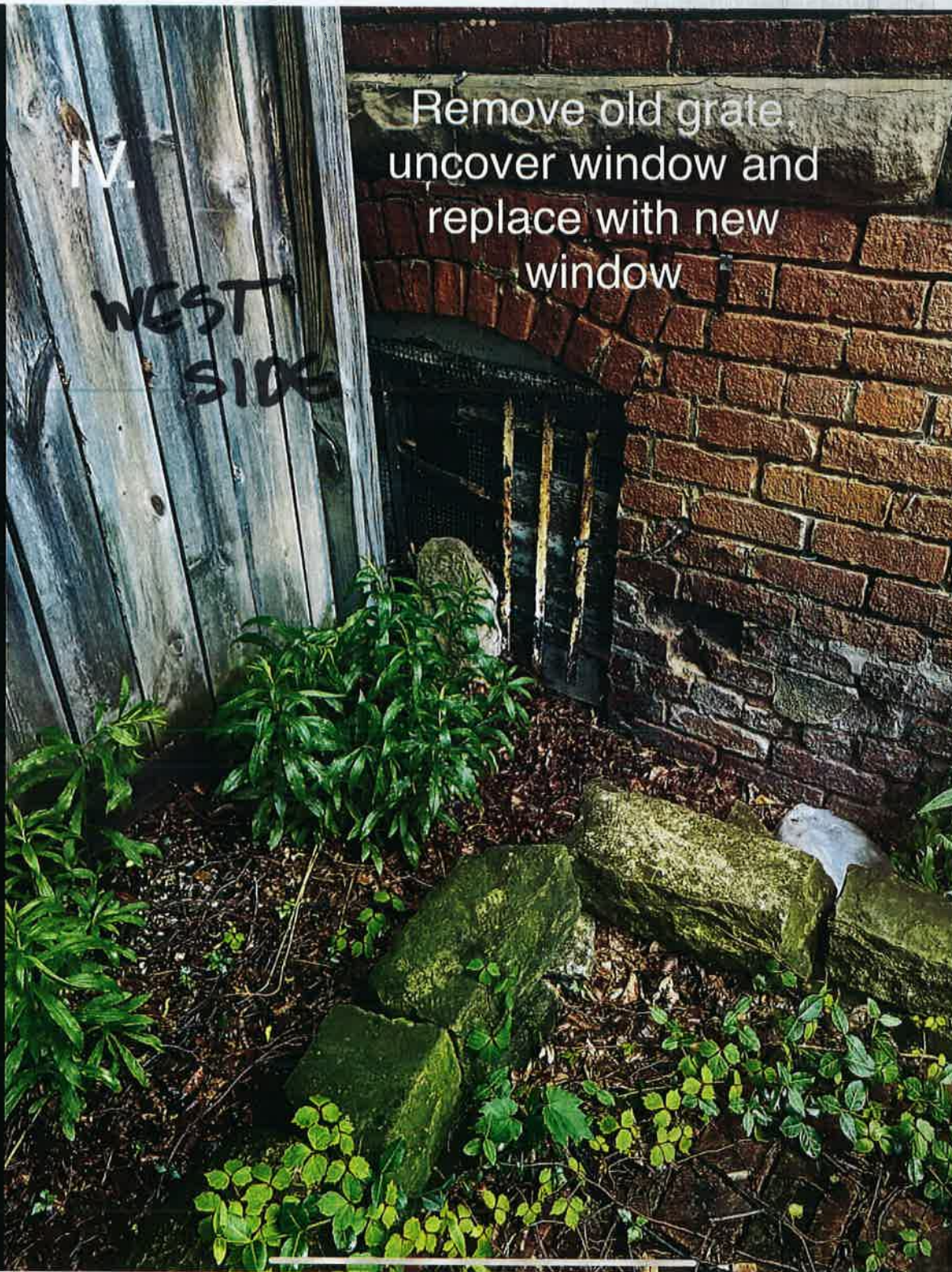




IV.

WEST  
SIDE

Remove old grate,  
uncover window and  
replace with new  
window





# IV. & V. EAST SIDE


Remove glass  
block and enlarge  
length for  
basement egress  
windows

Add second  
egress  
window to  
match here

Egress window well required here







Driveway  
pavers to be  
levelled and  
reused



IMG\_4744  
JPG - 6 MB



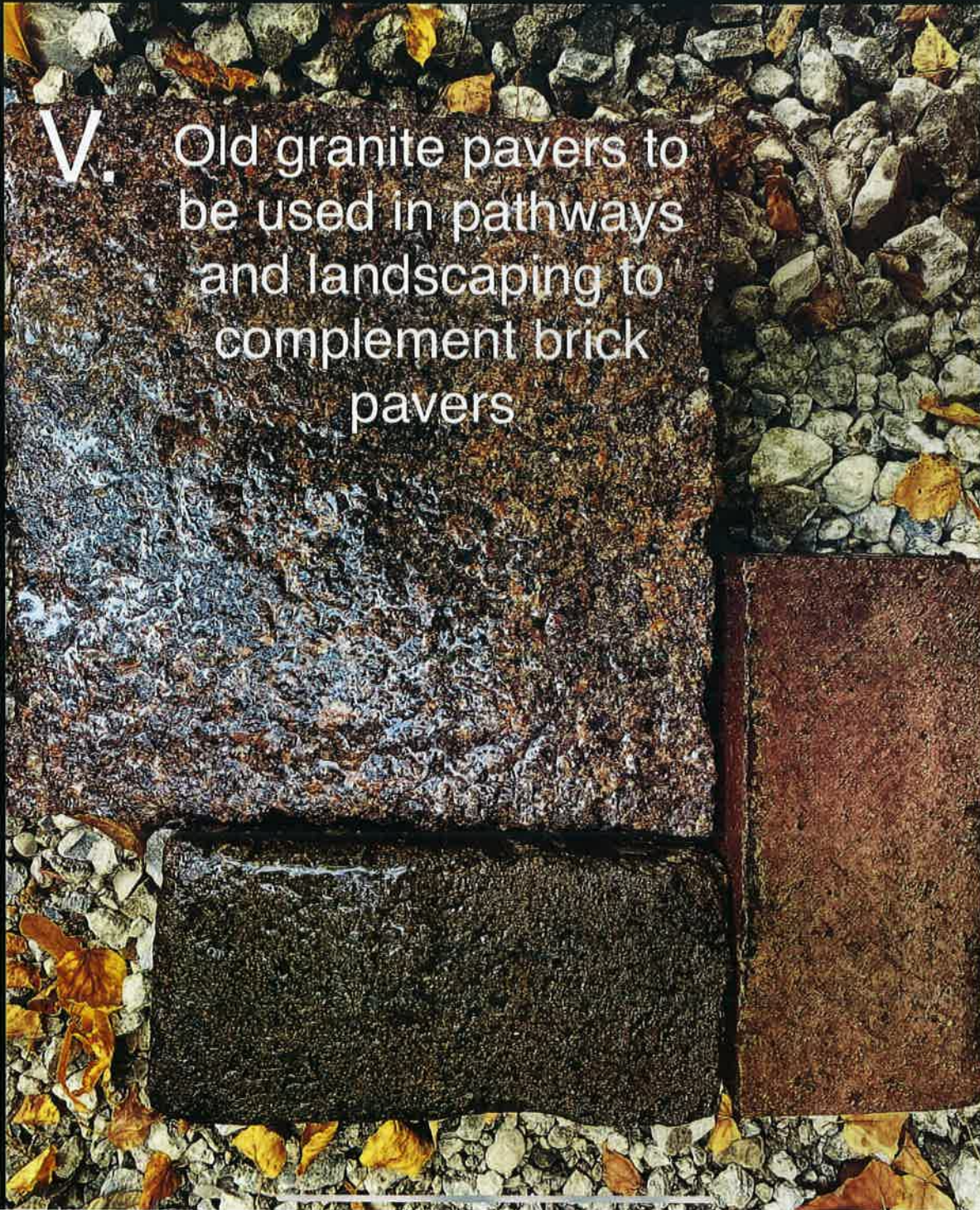
Pathway  
pavers to be  
levelled and  
reused

V.





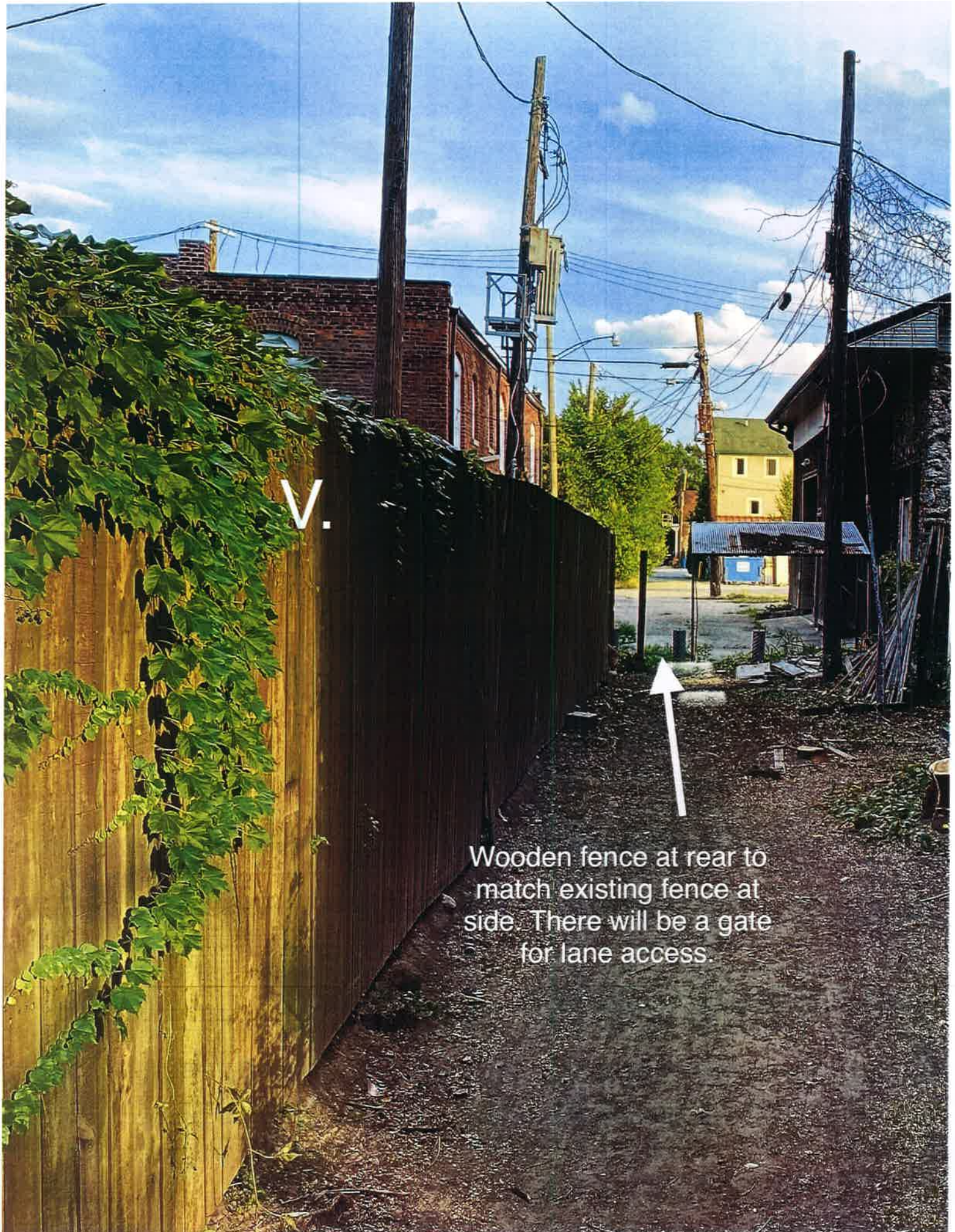
IMG\_4987  
JPG - 5.6 MB



V. Old granite pavers to be used in pathways and landscaping to complement brick pavers







V.

Wooden fence at rear to match existing fence at side. There will be a gate for lane access.



V.

< Property line for iron fencing

Driveway to be leveled and pavers reused







V.

Patio pavers to be reused/relaid and privacy fence to be installed along this portion of property line shown in red





IMG\_4981  
JPG - 4.4 MB

V.

Wrought iron style of  
fence to be used along  
west boundary

