

STAFF REPORT: 7/13/2022 REGULAR MEETING

PREPARED BY: D. RIEDEN

APPLICATION NUMBER: #22-7908

VIOLATION NUMBERS: 609, 610

ADDRESS: 1620 ATKINSON

HISTORIC DISTRICT: ATKINSON AVENUE

APPLICANTS: JOHN MCGRATH (MCGRATH RESTORATION CORPORATION INC.)/MATTHEW JACKSON

PROPERTY OWNER: MATTHEW JACKSON

DATE OF PROVISIONALLY COMPLETE APPLICATION:6/20/2022

DATES OF STAFF SITE VISIT: 6/23/22

SCOPE: DEMOLISH GARAGE, FENCE, REAR BALCONY AND DECK, (WORK COMPLETED WITHOUT APPROVAL), ERECT NEW GARAGE

EXISTING CONDITIONS

Built in 1920, the property at 1620 Atkinson is a 2 1/2-story, single-family building facing southeast. The hipped pyramid roof is asphalt-shingled with a central dormer that features broad eaves with decorative brackets that complement the roof brackets surrounding the main house. The building is clad in dark red and brown brick with cast stone sills under each set of double-hung windows. The main entrance is asymmetrically placed under an expansive porch roof with clean design details, supported by steel supports over a raised concrete porch with brick cladding and brick wingwalls that hug either side of the main entrance steps. The front yard is lightly landscaped with a foundation flower bed and a front lawn with a cement walkway that takes you to the rear yard, where the location of this proposal's garage pad and driveway occupy the majority of the rear yard. The rear property also has an upper wood constructed balcony and wood deck that were built without approval and are a part of this application as well as the construction of a rear 6' tall wood privacy fence.

This property has not had any previous Historic District Commission (HDC) approvals on Detroit Property Information System (DPI). However, it does have the following violations:

- June 2022 Violation: rear deck and balcony constructed without approval.
- June 2022 Violation: demolition of garage, erect new fence without approval.



Site Photo 1, by Staff June 23, 2022: (South) Front elevation, showing original casement windows.



Site Photo 2 by Applicant: (North) rear yard, showing condition of garage before it was demolished and rear privacy fence, constructed without approval.



Sanborn V9, P034, shows parcel address was once 1618.



Aerial 1 of Parcel # 08002829. by Detroit Parcel Viewer.

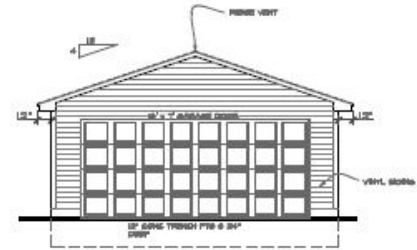


Site Photo 3, by Staff June 23, 2022: (North) Rear elevation, showing current conditions of the rear yard visible from the alley. This shows the site of the proposed new garage, reconstructed privacy fence, rear balcony and rear deck, constructed without approval.

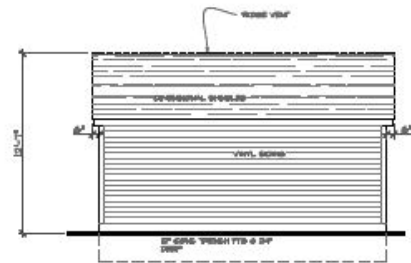
PROPOSAL

The proposed work consists of 4 scopes of work: (1) demolition of the old garage (work complete) (2) construction of a new garage (3) construction of a rear 6' wood privacy fence (4) construction of a rear wood balcony and deck. All work is located at the rear, north side of the building. All work, except for the construction of the garage, has been done or started without approval. (See attached drawings and details.)

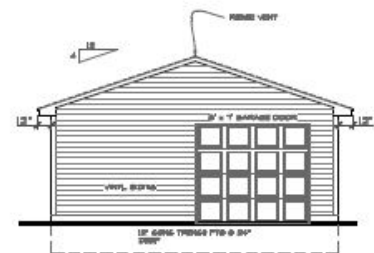
1. Demolition of garage (work complete)
 - Complete dismantle and removal of existing wood frame garage (20 ft x 20 ft).(work complete)
 - Remove existing concrete slab (Not complete)
2. Erect new garage (work not started)
 - Install new concrete footing 12" concrete trench ftg @ 24" deep, 20'x20'
 - Install 4" min concrete slab on 4" min. compacted sand to slope towards garage doors.
 - Build new 20' x 20' garage with 2"x4" stud wall at 16" O.C. with 2"x4" sill plate with anchor straps @ 36" O.C. on 12" concrete trench footing.
 - Roof to include pre-engineered roof trusses @ 24" O.C., ridge vent, BP Everest 42 dimensional singles
 - Install hardie board siding; color to be selected by owner.
 - Install new garage, overhead doors (2) raised panel design; color to be selected by owner.
3. Erect new fence (rear yard, work incomplete)
 - Construct 6' wood-panel, privacy fence in rear yard from rear balcony to alley.
4. Erect rear balcony and deck (rear elevation, north facing walls, work complete)
 - Construct 14' x 20' elevated rear deck (280 SF) with wood railing and wood lattice skirting.
 - Construct 6'x12' rear balcony (72 SF) with wood railing
 - Wood deck material is SCS certified wood, 6"x10" decking weathershield treated wood
 - Treated with clear stain



NORTH ELEVATION
SCALE 1/4"=1'-0"



WEST & EAST ELEVATION
SCALE 1/4"=1'-0"



SOUTH ELEVATION
SCALE 1/4"=1'-0"

Proposed Garage Elevations 1-3, by Applicant

STAFF OBSERVATIONS AND RESEARCH

- The Atkinson Avenue Historic District was established in 1984.

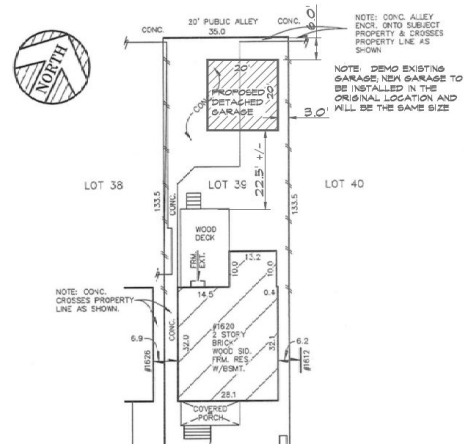
- From the applicant's photos and written description, site visit and discussion with the owner, staff observed the following conditions of the former garage:

- The garage was already in disrepair before the current owner acquired the property and before the garage was struck by a car that did damage to the garage, the fence and neighboring garage.
- The floor slab is cracked in several places.
- Following the accident, the garage was shored up and evaluated for damages (see photos and attached estimate) by McGrath Restoration Corporation Inc, who is the current applicant.
- Photos show significant damage to the roof, framing, and wall systems to the front, side and rear of the garage, and appeared to suffer significant lean and subsidence (foundation failure) to the southeast (see photo 2 and attached). Significant bracing was temporarily installed before demolition.
- The roof shingles and exterior siding are in need of repair. Gutters are missing.



Site Photo 5, by Applicant prior to demolition of garage showing damage and bracing.

- The proposed site for the garage moves from the historic footprint, from the northwest corner to the northeast corner of the lot. It is staff's opinion that this shift is not significant nor impactful to the historic setting of this property.
- The proposed garage, with the low-pitched, front-gabled roof and panel doors are an appropriate design that does not conflict with the design of the house and is appropriate for the district.
- It is staff's opinion that the proposed vinyl siding is not an appropriate material consistent with the design and material of the house, as shown in the drawings. After discussion with the applicant, staff received updated material from the applicant to revise the proposed drawings so that Hardie siding replaces vinyl for this proposal. It is staff's opinion that the smooth surface version of this Hardie board, would be a more appropriate material, rather than the wood grain version that is now in this proposal.
- Staff received various dimensions for siding material for the garage. Because the rear of the house has 4" lapboard smooth siding, it is staff's opinion that this dimension and design would be an appropriate match for the garage siding.
- Staff has not received confirmation on the paint color for the siding at the time of this report.
- Staff requested product information on the material and design for the two garage doors. Staff has not received this information at the time of this report.
- Staff received confirmation that the garage shall not have any windows or service doors.
- Staff received confirmation that there shall be exterior lights on the rear and front of the garage, but the applicant has not yet submitted product sheets for the design of these fixtures at the time of this report.
- Staff observed that the garage has no gutters or downspouts provided in the drawings.

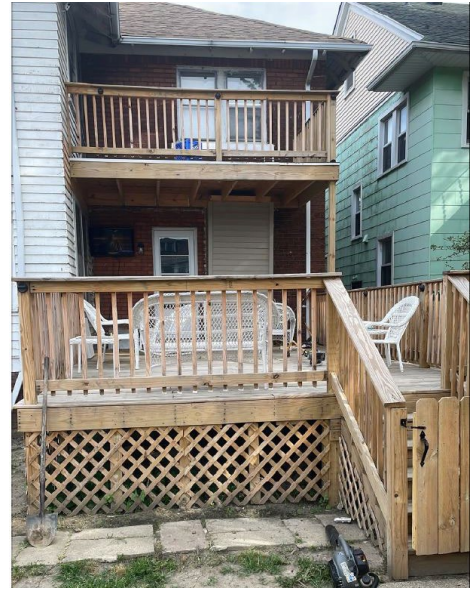


Site Plan 1 by Applicant, showing location of proposed garage.

- Staff observed that the privacy fence has not been treated and has no proposal for treatment of stain or paint.

ISSUES

- The demolition of the garage, the erection of the fence, rear balcony and rear deck were completed without HDC approval.
- It is staff's opinion based on our review, that the original garage's structural issues were serious, and would soon endanger the building's historic integrity. Given the marginal contributing status of the garage, staff finds it is reasonable to approve its demolition. However, the new garage should seek to complement the house in a manner similar to the old one.
- Staff recommends that the proposed garage is an appropriate design that does not conflict with the design of the house and is appropriate for the district. However, staff does recommend that further details on the Hardie board dimensions be closely matched to that of the rear siding of the house, with a smooth surface, and that a color paint be selected per the HDC color guidelines for the garage. Staff also recommends that gutters and downspouts be added to the design, and that details of the garage doors and light fixtures be supplied before final approval.
- Staff recommends that the fence be treated with an appropriate stain or paint.
- Staff offers the opinion that the crisscross pattern of the deck skirting introduces a new pattern to the architecture of this historic home and would not be appropriate design. Staff offers the opinion that a vertical or horizontal board would be more appropriate for this application.



Site photo 6, by Staff, (rear, north-facing elevation), showing built balcony and deck.

RECOMMENDATION

Section 21-2-78, Determination of Historic District Commission

Recommendation: Demolish Garage, Erect New Garage, Fence, Rear Balcony and Deck

It is staff's opinion that demolition of the garage, erection of the new garage, new rear fence, new rear balcony and rear deck does not detract from the historic character of the building, its site, and setting. Staff therefore recommends that the Commission issue a Certificate of Appropriateness as the proposed work meets the Secretary of the Interior's Standards for Rehabilitation.

Staff recommends the COA be issued with following conditions:

- The Hardie board siding of the garage be of similar dimension, color and smooth surface to match the rear siding of the house.
- Downspouts and gutters added to the garage.
- Garage door and exterior light fixture details provided for review and approval.
- Privacy fence stain or paint provided for review and approval.
- Deck skirting of a design more appropriate to the architecture of the house.
- Staff receive a final plan showing product and detail description of the above work.
- The applicant provides HDC staff a review of the above items before installation.



1620

NO PARKING
ANYTIME







ELY 2485

94016656



LY 2485



ELY 2485

DODGE



THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: 05/10/2022

PROPERTY INFORMATION

ADDRESS(ES): 1620 ATKINSON, DETROIT, MI 48206 AKA:

PARCEL ID: HISTORIC DISTRICT: LONGFELLOW SUBDIVISION

SCOPE OF WORK: (Check ALL that apply)
 Windows/Doors Walls/Siding Painting Roof/Gutters/Chimney Porch/Deck/Balcony Addition
 Demolition Signage New Building Major Alteration (3+ scope items) Site Improvements (landscape, trees, fences, patios, etc.)

BRIEF PROJECT DESCRIPTION: Garage rebuild on site of demolished garage
Garage rebuild on site of demolished garage

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: JOHN MCGRATH COMPANY NAME: MCGRATH RESTORATION CORP., INC.

ADDRESS: 21421 HILLTOP, UNIT #19 CITY: SOUTHFIELD STATE: MI ZIP: 48033

PHONE: 248-942-3444 MOBILE: 248-763-0998 EMAIL: mrc2646@yahoo.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Current Photographs:** Including the front of the building & detailed photographs of the area(s) affected by the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.
See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: 05/10/2022

PROPERTY INFORMATION

Address: 1620 ATKINSON, DETROIT, MI 48206 Floor: Suite#: Stories:
AKA: Lot(s): Subdivision:
Parcel ID#(s): Total Acres: Lot Width: Lot Depth:
Current Legal Use of Property: Proposed Use:
Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations
Foundation Only Change of Use Temporary Use Other:
Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

New garage build on site of demolished damaged garage

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building
Other: Size of Structure to be Demolished (LxWxH) cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: Type of Construction (per current MI Bldg Code Table 601)

Estimated Cost of Construction \$ By Contractor \$ By Department

Structure Use

Residential-Number of Units: Office-Gross Floor Area Industrial-Gross Floor Area
Commercial-Gross Floor Area: Institutional-Gross Floor Area Other-Gross Floor Area

Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? No

Permit Description:

Permit #: Current Legal Land Use: Proposed Use:
Permit#: Date Permit Issued: Permit Cost: \$
Zoning District: Zoning Grant(s):
Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant

Name: MATTHEW JACKSON Company Name: _____
Address: 1620 ATKINSON City: DETROIT State: MI Zip: 48206
Phone: 313-510-8655 Mobile: _____
Driver's License #: _____ Email: matthew_jackson76@hotmail.com

Contractor Contractor is Permit Applicant

Representative Name: JOHN MCGRATH Company Name: MCGRATH RESTORATION CORP., INC.
Address: 21421 HILLTOP, UNIT #19 City: SOUTHFIELD State: MI Zip: 48033
Phone: 248-942-3444 Mobile: 248-763-0998 Email: mrc2646@yahoo.com
City of Detroit License #: 2006-00377

TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant

Name: ZACK M. OSTROFF & ASSOCIATES State Registration#: _____ Expiration Date: _____
Address: 2640 WATER OAKS DR City: WEST BLOOMFIELD State: MI Zip: 48324
Phone: 248-425-4190 Mobile: _____ Email: zack@zoarchitecture.com

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan
Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: JOHN MCGRATH Signature: *John McGrath* Date: 05/10/2022
(Permit Applicant)

Driver's License #: M263429139967 Expiration: 12/21/2022
Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



HISTORIC DISTRICT COMMISSION REVIEW

1620 ATKINSON – GARAGE DEMOLITION & REBUILD

NARRATIVE

1. **Description of existing conditions** – The property at 1620 Atkinson is a brick colonial in the Longfellow Historic District. The home had a wooden 2- car garage, approximately 20' x 20'. Although the garage was being used, the wood was in poor condition, the roof needed to be replaced, and some areas were weakened structurally. In November 2021, a vehicle came through the alley and hit 1620 Atkinson's garage as well as the garage of the neighboring property. It hit so hard that it tore out a corner of the structure. The garage was in disrepair but the impact of the car damaged the structure so badly that it began to lean. The homeowner, Mr. Jackson, filed a claim for repair, but due to the weather and delays, the structure of the garage weakened so badly that it became dangerous. He contacted McGrath Restoration to assess the structure. It was beyond repair and nothing could be saved from the original structure. The homeowner has always had a garage on this historic area property and expects to replace it. His request for to the commission is to allow a new garage to be constructed as per the scope of work approved by his insurance company.

2. **Description of project** – The garage at 1620 Atkinson was hit by a car. The structure was already in disrepair but the accident did major damage to the structure. The materials could not withstand the impact and it started leaning heavily. It was shored up (*see pics*) by McGrath Restoration Corporation in order to prevent any accidents but it was too dangerous to leave it like that for long. It was determined that the structure would need to be replaced as it was destabilized and beyond repair. The garage was leaning, the materials were too damaged, and the structure presented a safety hazard and potential liability. In addition, it would have been impractical and risky to even try and use any of the materials. The garage at 1620 Atkinson required demolition for safety and feasibility reasons.

In order to retain the character of the garage for the original property, a new garage will need to be erected. All efforts will be made to maintain the original character and match for the residential property at 1620 Atkinson.

3. **Detailed scope of proposed work for approval** –
 - Remove and replace fence
 - Demolish vehicle-impacted garage
 - Construct and frame new garage
 - Install new roof
 - Install new service door and windows
 - Install new overhead garage door
 - Install siding to match character of the home and historical area
 - Seal and paint surfaces
 - Clean and haul away debris

4. **Materials to be used –**

- Lumber
- Roofing shingles
- Windows
- Door
- Garage Overhead Door
- Siding
- Paint

5. **Additional Documents –** Plans, permit application, etc. (*previously sent*)

From: [John McGrath](#)
To: [Dan Rieden](#)
Cc: ["Matthew Jackson"](#)
Subject: [EXTERNAL] RE: 1620 Atkinson - Historic District Commission - July 2022 Meeting
Date: Wednesday, July 6, 2022 4:48:25 PM

This Message Is From an External Sender

ATTENTION: This email was sent from an external source. Please be extra cautious when opening attachments or clicking links.

Re: #4. There will not be any windows in the garage structure.

On Wed, Jul 6, 2022 at 8:39 AM, John McGrath <mrc2646@yahoo.com> wrote:

Good morning Daniel,

Hopeful that you had an enjoyable holiday weekend.

Thank you for your responses. We are looking forward to the July 13 meeting of the Historic District Commission so that we may get a positive decision Mr. Jackson's garage and fence.

1. Garage Shingles - I've attached the brochure for the BP Everest 42 Shingles.
2. Line item #4 states "Demolish/remove home – masonry ext. (400)". This reference is for the demolition of the concrete pad for the garage ONLY.
3. The sidings and soffit will be a cementitious siding. You are saying that a smooth finish is preferable to the wood grain finish, is that correct? See attached.
4. I will send the information on the exterior light fixtures and/or windows later.

Please let me know if any additional information is needed.

Thank you.

Best regards,
Susan

John McGrath, President
McGrath Restoration Corporation, Inc.
21421 Hilltop, Unit #19
Southfield, MI 48033

Bus: (248) 942-3444
Fax: (248) 942-3424

Descriptive Photos



Figure 1 - 1620 Atkinson - Front of Residence (see original garage at the end of the driveway)



Figure 2 - Original Two-Car Garage, Left Side



Figure 3 - Back of Garage (alley side) - see corner



Figure 4 - Back of garage, corner hit by car



Figure 5 - Front of Damaged Garage (after having been shored up)



Figure 6 - See through, shored up dangerous/hazardous garage structure (note condition of roof)



Figure 7 - Full through view (front, side, & through back) of damaged garage



Figure 8 - Left side, near fence, of damaged garage





Figure 9 - Concrete slab damaged, needs to be leveled





Figure 10 - Post Demolition, uneven concrete slab



Figure 11 - Nearing demolition completion



Figure 12 - Most of garage has been demolished and materials hauled away



Figure 13 - Replacement garage to be erected as structure was a safety hazard and needed to be demolished



Figure 14 - Demolition completed. New garage to be erected in same area



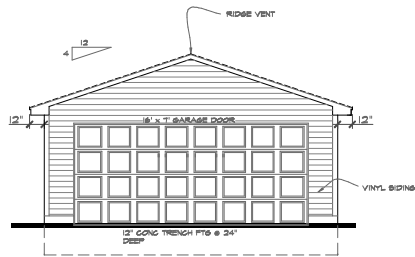
Figure 15 - Completed Demolition - Temporary Fence to limit access for property



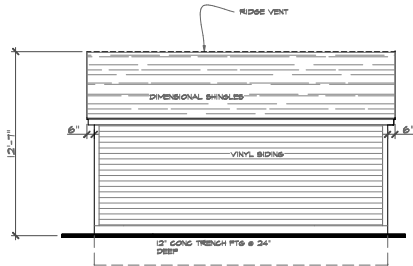




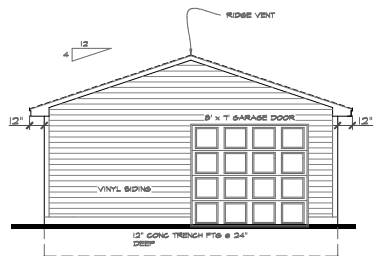




NORTH ELEVATION
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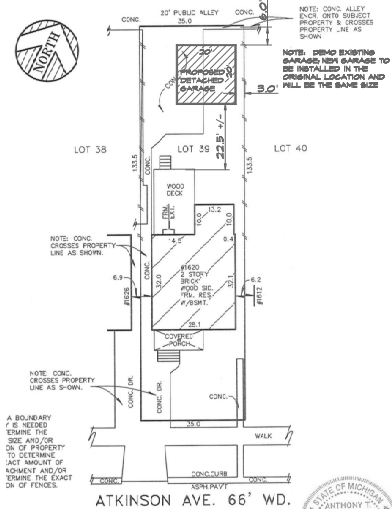
WEST & EAST ELEVATION
SCALE: 1/4"=1'-0"



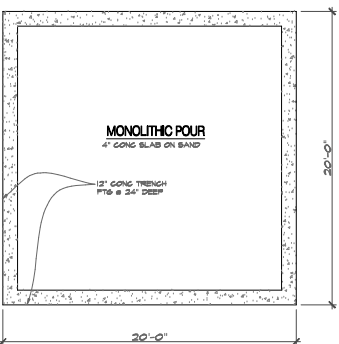
SOUTH ELEVATION
SCALE: 1/4"=1'-0"

Certified to: MCGRATH RESTORATION

Property Description:
Lot 39, BOSTON BOULEVARD SUBD #4, of Lots 1-2-3-6-7-8-9-10-11-14-15-17-18-19-22-23-24-26-27-30-31, 1/4 Section 35, 10,000 Area Tract, Township of Greenfield (near City of Detroit), Wayne County, Michigan, as recorded in Liber 29 of Plats, Page 23 of Wayne County Records.



PROPOSED SITE PLAN
SCALE: 1/4"=1'-0"

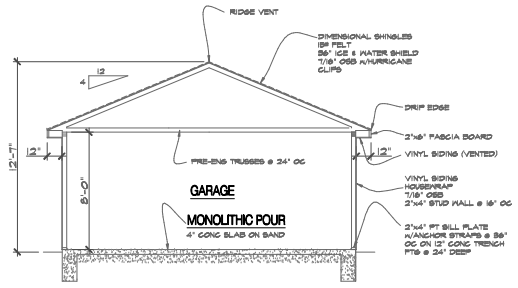


FOUNDATION PLAN
SCALE: 1/4"=1'-0"

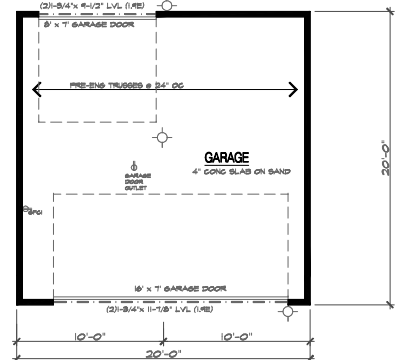
**REVIEWED UNDER:
2015 MICHIGAN RESIDENTIAL CODE**

WALL LEGEND

EXISTING WALL	—————
DEMOLITION WALL	- - - - -
NEW WALL	—————
BRICK	—————
MASONRY BLOCK	—————



CROSS SECTION
SCALE: 1/4"=1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

REVISIONS

NO.	DATE	ADDENDUM/BULLETIN

JACKSON RESIDENCE
1600 ATKINSON AVENUE
DETROIT, MICHIGAN 48206

ZACK M OSTROFF & ASSOCIATES MEMBER AIA
RESIDENTIAL COMMERCIAL DESIGNER/PLANNER
www.zackostroff.com
email: zack@zackostroff.com
PH: 248.456.6180

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER AND SHALL NOT BE USED IN ANY WAY WITHOUT THE PERMISSION OF THE DESIGNER.
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK.

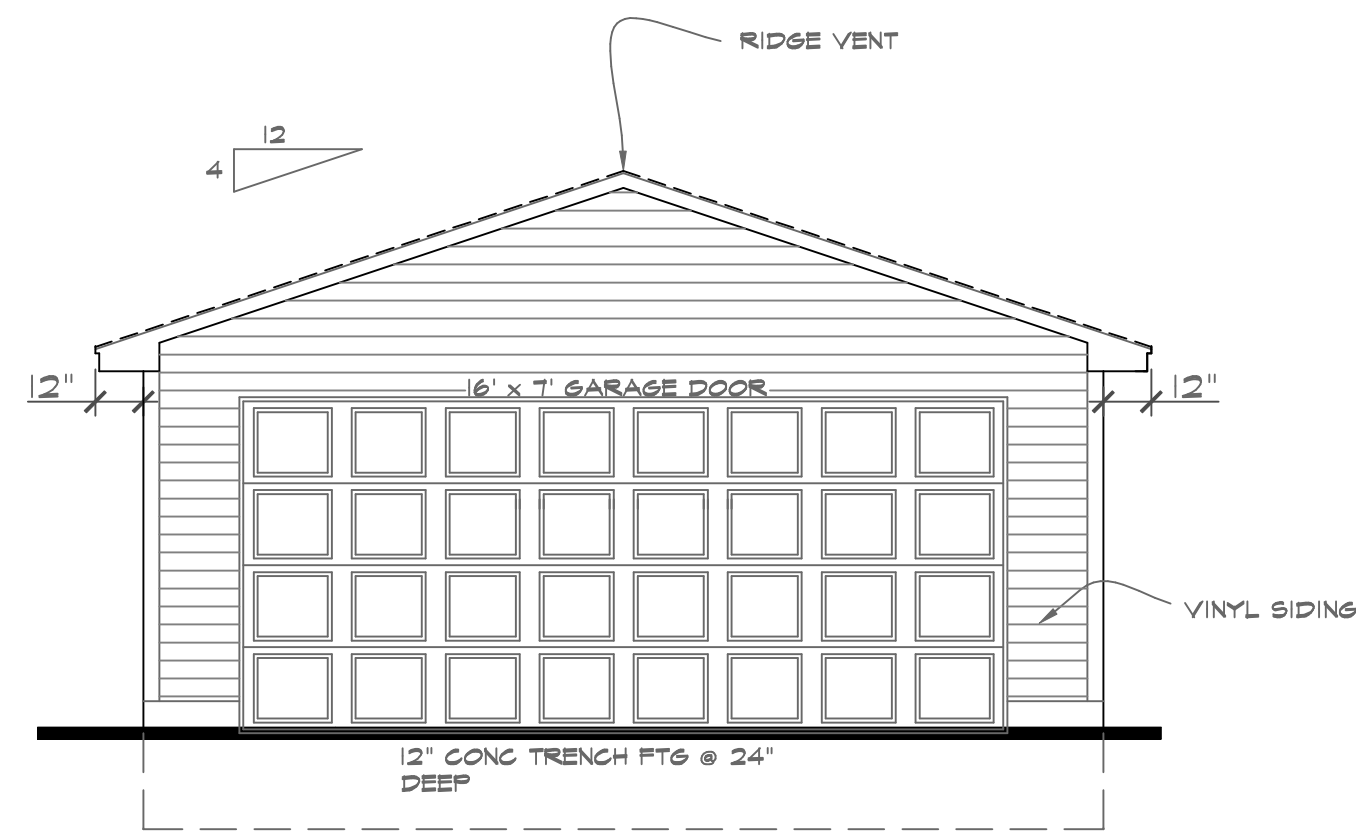
SHEET TITLE
**FLOOR PLANS
ELEVATIONS
SECTION/SITE PLAN
FOUNDATION PLAN**

SHEET SCALE
AS NOTED
PROJECT NO.
22-073
DATE
05.02.22
SHEET NUMBER
A-1

Certified to: MCGRATH RESTORATION

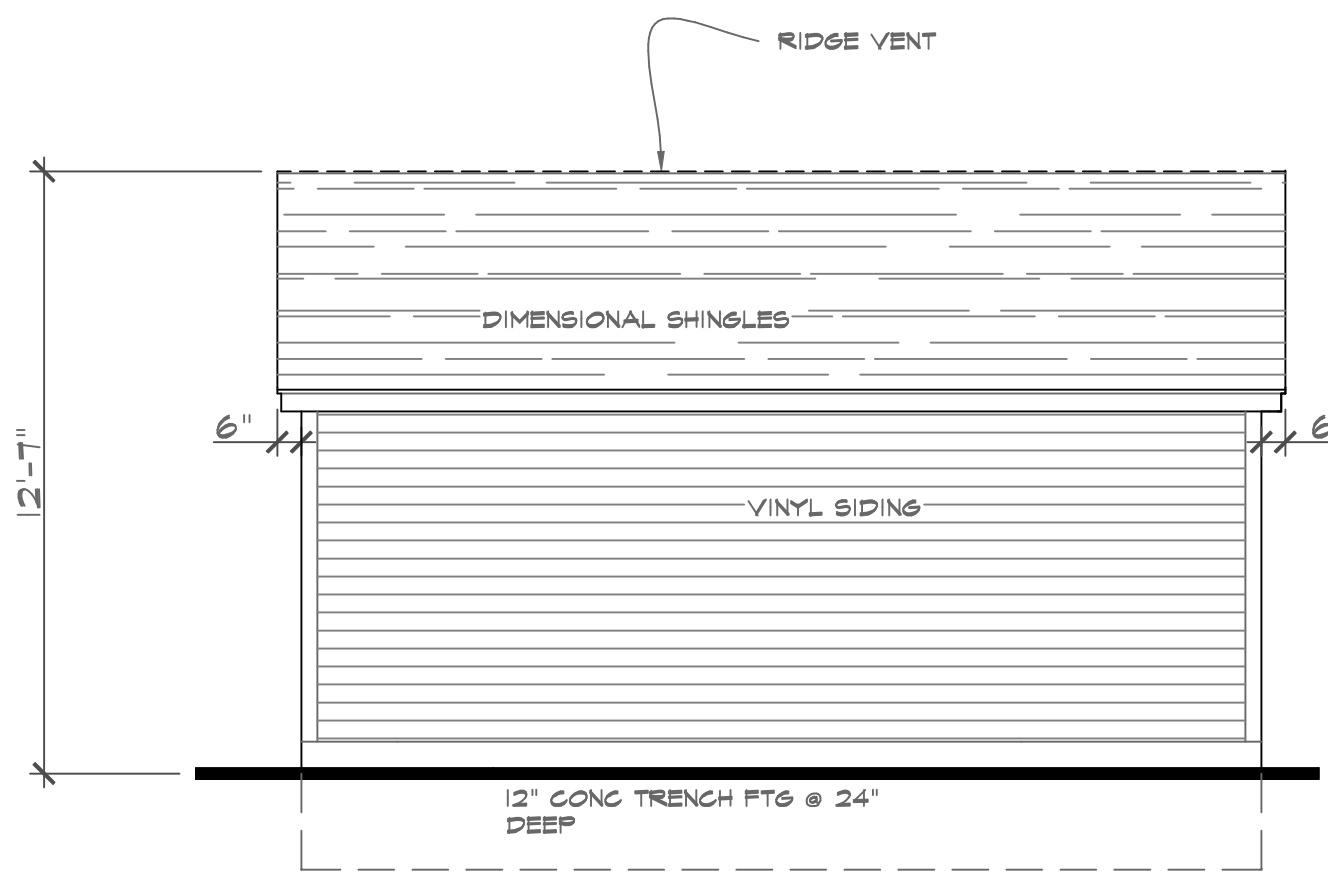
Property Description:
 Lot 39: BOSTON BOULEVARD SUBD'N., of Lots 1-2-3-6-7-8-9-10-11-14-15-17-18-19-22-23-24-26-27-30-31, 1/4 Section 35, 10,000 Acre Tract, Township of Greenfield (now City of Detroit), Wayne County, Michigan, as recorded in Liber 29 of Plats, Page 23 of Wayne County Records.

REVIEWED UNDER:
2015 MICHIGAN RESIDENTIAL CODE



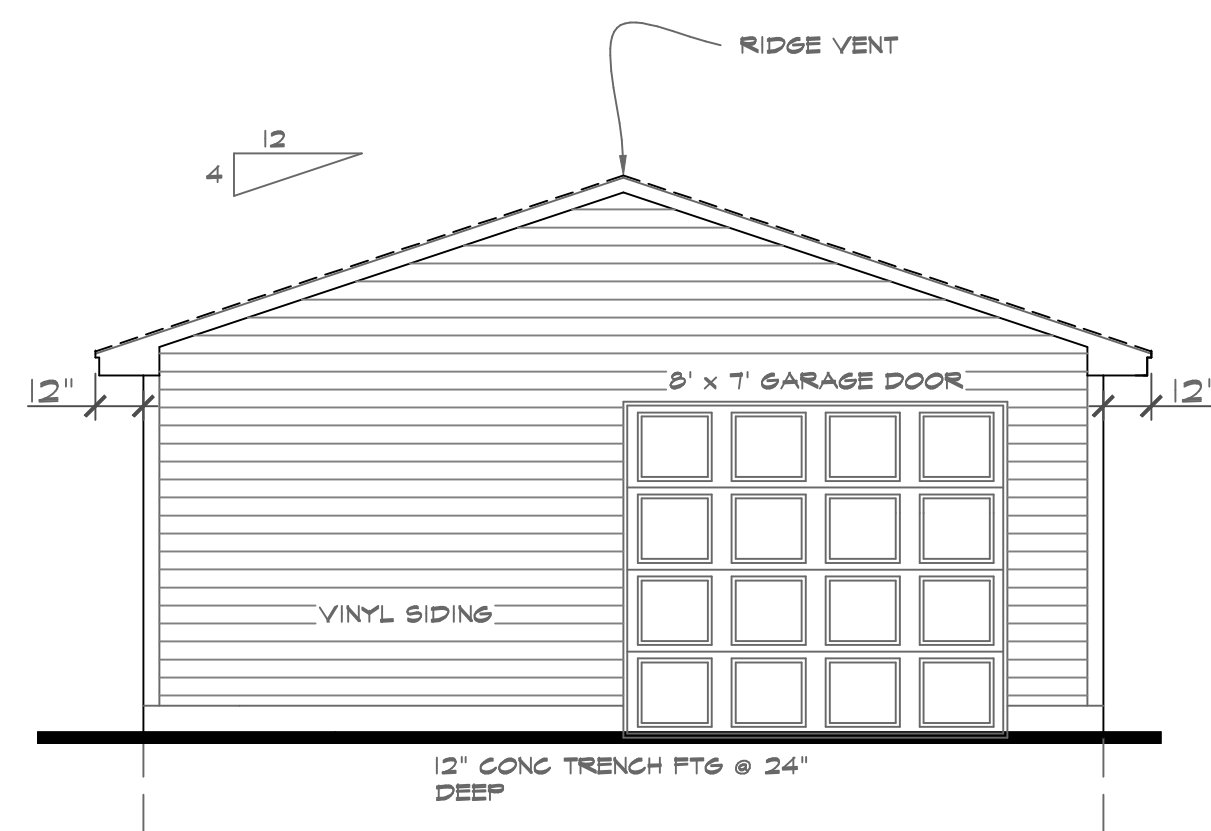
NORTH ELEVATION

SCALE: 1/4"=1'-0"



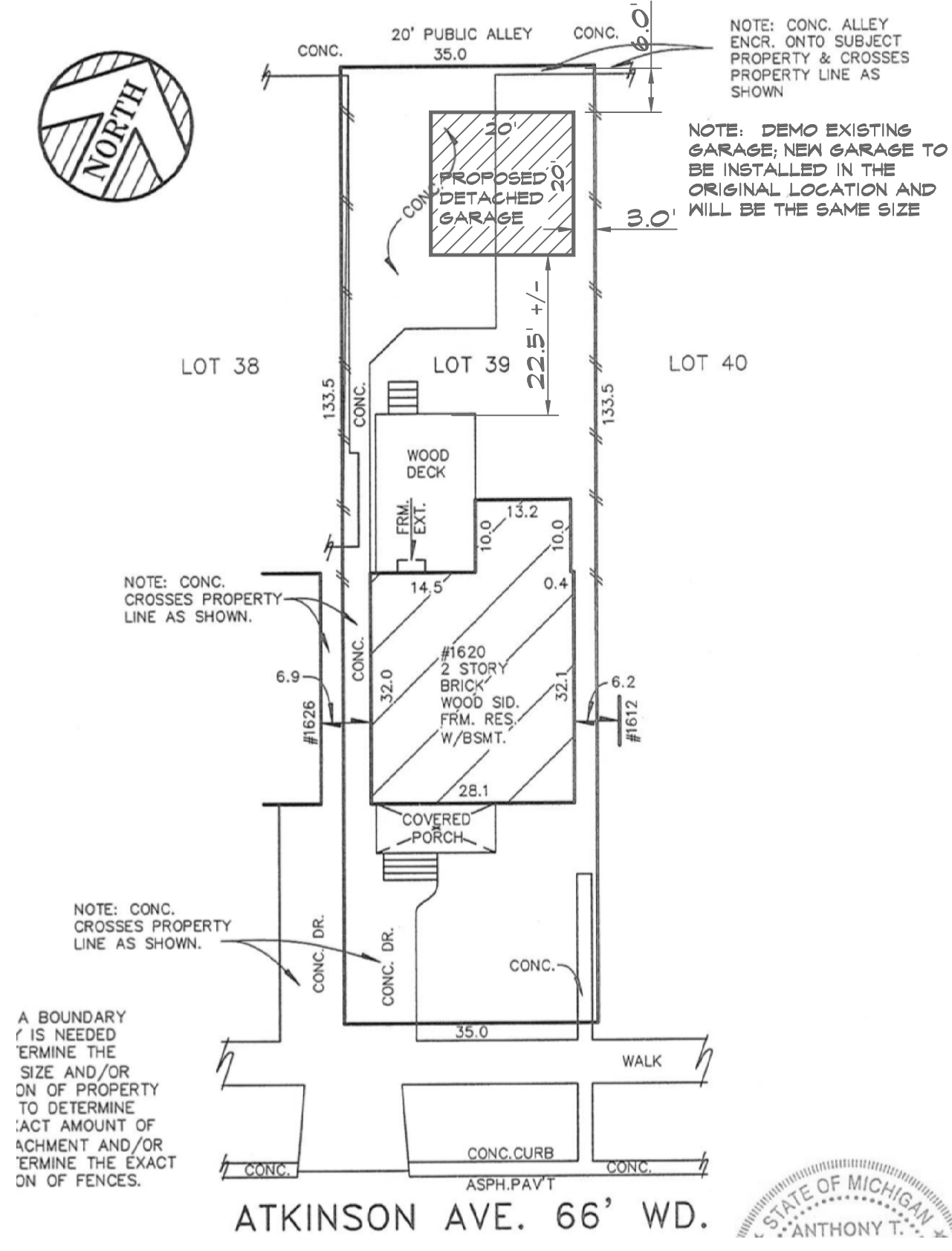
WEST & EAST ELEVATION

SCALE: 1/4"=1'-0"



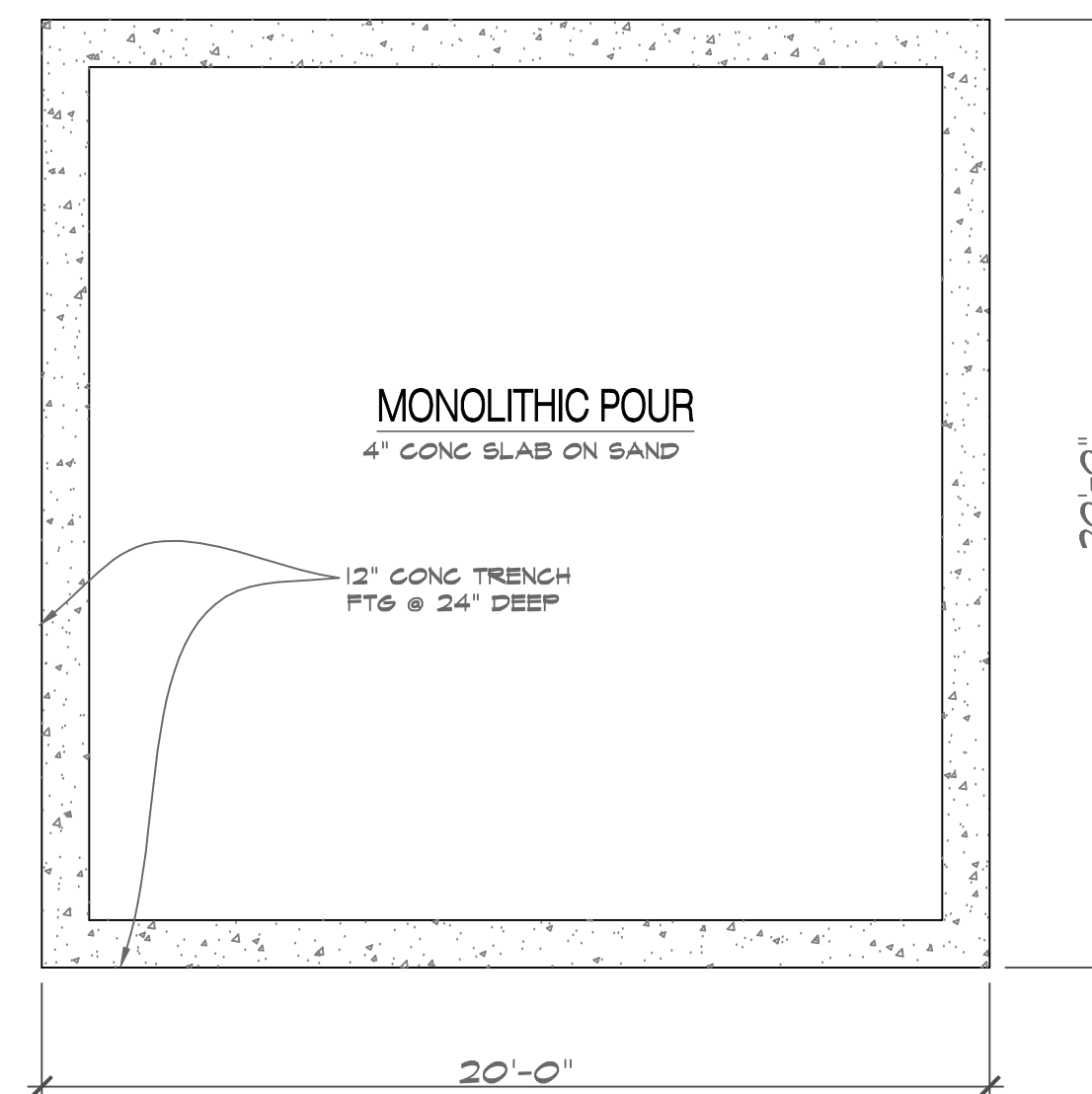
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



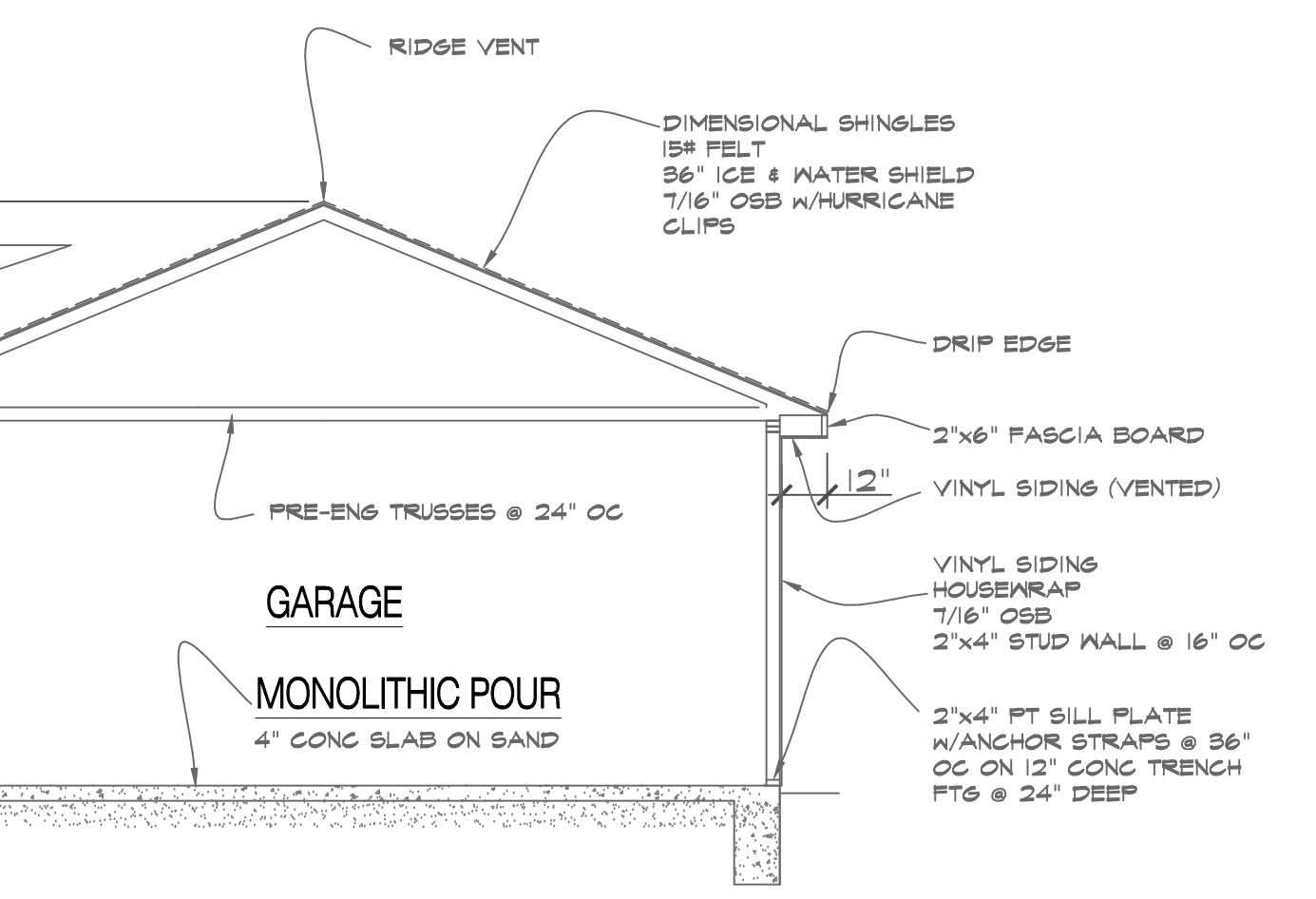
PROPOSED SITE PLAN

SCALE: 1"=20'-0"



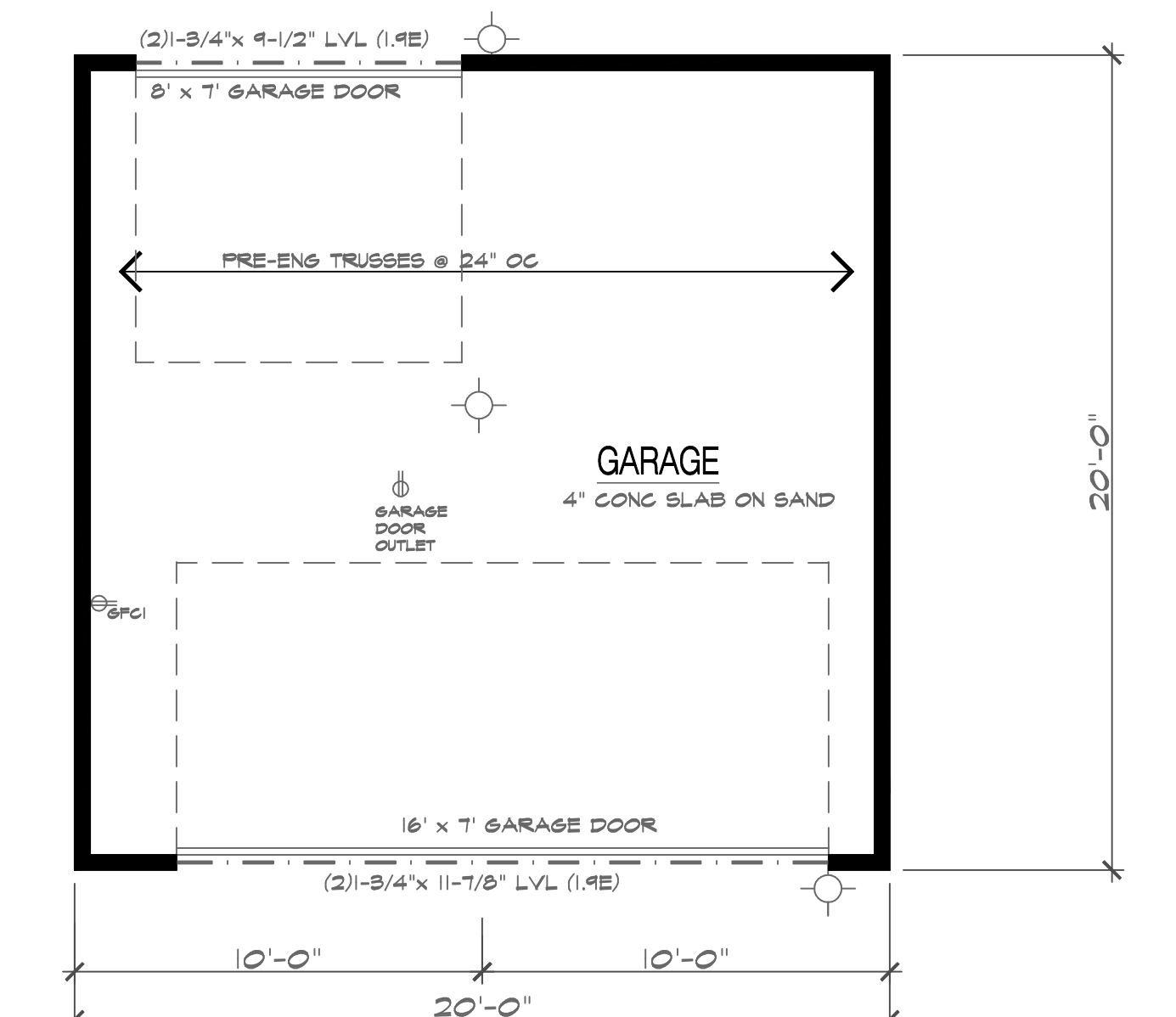
FOUNDATION PLAN

SCALE: 1/4"=1'-0"



CROSS SECTION

SCALE: 1/4"=1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

WALL LEGEND

EXISTING WALL	=====
DEMOLITION WALL	-----
NEW WALL	=====
BRICK	=====
MASONRY BLOCK	XXXXXXXXXX

REVISIONS

NO.	DATE	ADDENDUM/BULLETIN

JACKSON RESIDENCE
 1620 ATKINSON AVENUE
 DETROIT, MICHIGAN 48206

ZACK M OSTROFF & ASSOCIATES
 RESIDENTIAL/COMMERCIAL DESIGNER/PLANNER
 MEMBER AIA, IBID
 web: www.zoarchitect.com
 email: zack@zoarchitect.com
 PH: 248.425.4190

THIS DRAWING AS AN INSTRUMENT OF SERVICE IS AND SHALL REMAIN THE PROPERTY OF THE DESIGNER AND SHALL NOT BE USED IN ANY WAY WITHOUT THE PERMISSION OF THE DESIGNER.
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK.

SHEET TITLE
**FLOOR PLANS
 ELEVATIONS
 SECTION/SITE PLAN
 FOUNDATION PLAN**
 SHEET SCALE
AS NOTED
 PROJECT NO.
22-073
 DATE
05.02.22
 SHEET NUMBER
A-1



McGrath Restoration Corporation Inc.

21421 Hilltop Unit 19
Southfield, MI 48033
Office# 248.942.3444 Fax# 248.942.3424
Email: MRC2646@yahoo.com

Insured: Matthew Jackson
Property: 1620 Atkins
Detroit, MI 48206

Claim Number:

Policy Number:

Type of Loss:

Date of Loss:

Date Received:

Date Inspected:

Date Entered: 12/10/2021 11:07 AM

Price List: MIDE8X_NOV21

Restoration/Service/Remodel

Estimate: 2021-12-10-1105



McGrath Restoration Corporation Inc.

21421 Hilltop Unit 19
Southfield, MI 48033
Office# 248.942.3444 Fax# 248.942.3424
Email: MRC2646@yahoo.com

2021-12-10-1105

Main Level

Main Level

DESCRIPTION	QTY
1. General Demolition - per hour Demo labor to remove fencing and misc debris	16.00 HR
2. Wood fence slat 5' - 6' high - treated	28.00 EA
3. Wood gate 5'- 6' high - treated	3.00 LF
4. Demolish/remove home - masonry ext. (400 sf - 1000 sf)	400.00 SF
5. Concrete open	0.00 HR

Garage

Height: 9'

DESCRIPTION	QTY
6. Overhead door & hardware - 9' x 7' - Premium grade	2.00 EA
7. Jamb and trim for overhead door unit	69.00 LF
8. Wood window - double hung, 13-19 sf	2.00 EA
9. Seal & paint wood window (per side)	4.00 EA
10. Exterior door - fiberglass / wood w/detail - Premium grade	1.00 EA
11. Paint door slab only - 2 coats (per side)	2.00 EA
12. Paint door or window opening - 2 coats (per side)	2.00 EA
13. R&R Door lockset & deadbolt - exterior	1.00 EA
14. Seal & paint single garage door opening & trim	3.00 EA
15. Labor to frame 2" x 4" x 9' load bearing wall - 16" oc	80.00 LF
16. R&R Stucco - natural gray - troweled	360.00 SF
17. Seal & paint stucco	360.00 SF
18. Siding - shiplap - cedar	360.00 SF
19. Seal & paint wood siding	720.00 SF

Roof

Roof

DESCRIPTION	QTY
20. Drip edge	82.00 LF
21. Asphalt starter - universal starter course	82.00 LF
22. Remove Laminated - comp. shingle rfg. - w/ felt	4.70 SQ
23. Laminated - comp. shingle rfg. - w/ felt	5.00 SQ



McGrath Restoration Corporation Inc.

21421 Hilltop Unit 19
Southfield, MI 48033
Office# 248.942.3444 Fax# 248.942.3424
Email: MRC2646@yahoo.com

CONTINUED - Roof

DESCRIPTION	QTY
24. Roof vent - turtle type - Metal	4.00 EA
25. Ridge cap - composition shingles	61.50 LF
26. Rafters - 2x6 stick frame roof	254.00 BF
27. Sheathing - plywood - 1/2" CDX	469.85 SF
28. Rafters - 2x8 stick frame roof	64.00 BF
Hips	
29. 2" x 6" lumber (1 BF per LF)	984.00 LF
Fascia boards	
30. 1" x 6" lumber (.5 BF per LF)	164.00 LF
31. Prime & paint exterior soffit - wood	82.00 SF
32. Prime & paint exterior fascia - wood, 6"- 8" wide	82.00 LF

Generals

DESCRIPTION	QTY
33. Open	0.00 EA
34. Dumpster load - Approx. 20 yards, 4 tons of debris	1.00 EA
35. Architectural/Drafting fees open	1.00 EA

Labor Minimums Applied

DESCRIPTION	QTY
36. Finish carpentry labor minimum	1.00 EA
37. Door labor minimum	1.00 EA
38. Finish hardware labor minimum	1.00 EA
39. Fencing labor minimum	1.00 EA
40. Miscellaneous concrete labor minimum	1.00 EA

Grand Total

\$36,652.85



McGrath Restoration Corporation Inc.

21421 Hilltop Unit 19
 Southfield, MI 48033
 Office# 248.942.3444 Fax# 248.942.3424
 Email: MRC2646@yahoo.com

Grand Total Areas:

720.00 SF Walls	400.00 SF Ceiling	1,120.00 SF Walls and Ceiling
400.00 SF Floor	44.44 SY Flooring	80.00 LF Floor Perimeter
0.00 SF Long Wall	0.00 SF Short Wall	80.00 LF Ceil. Perimeter
400.00 Floor Area	427.11 Total Area	720.00 Interior Wall Area
826.67 Exterior Wall Area	82.67 Exterior Perimeter of Walls	
469.85 Surface Area	4.70 Number of Squares	82.00 Total Perimeter Length
0.00 Total Ridge Length	61.50 Total Hip Length	

Coverage	Item Total	%	ACV Total	%
Dwelling	29,347.53	98.88%	36,239.65	98.87%
Other Structures	332.29	1.12%	413.20	1.13%
Contents	0.00	0.00%	0.00	0.00%
Total	29,679.82	100.00%	36,652.85	100.00%



BUILDING PRODUCTS OF CANADA CORP.

TECHNICAL DATA SHEET ASPHALT SHINGLES

EVEREST 42 INCH (RL442)

DESCRIPTION:

Everest is a 42 inch Laminate asphalt shingle made from a fibreglass mat and surfaced with mineral granules. Everest is covered by a Lifetime Warranty. Its standard wind Warranty covers up to 180 km/hr (110 mph) and its High Wind Warranty covers up to 220 km/hr (135 mph) as per special application instructions.

USES:

Everest can be applied on roof slopes greater than 4/12. It can also be applied to roof slopes from 3/12 to 4/12 following special low slope application. Please refer to the CSA A123.51/52 standard or the application instructions for further details.

STORAGE:

Store on a flat surface in a covered area. Do not store on the ground or exposed to direct sunlight.

PHYSICAL PROPERTIES

Average coverage per bundle (approx.)	3.06 m ² (32.9 ft ²)
Exposure	152 mm (6")
Dimensions	1066.8 mm x 355.6 mm (42" x 14")
Bundles / Pallet	36

CHARACTERISTICS	UNITS		RESULTS BP		REQUIREMENTS		TEST METHOD
	METRIC	IMPERIAL	METRIC	IMPERIAL	METRIC	IMPERIAL	
Tear strength (cross direction)	g	lb	Pass	Pass	1700	4.0	ASTM D3462
Tensile strength (machine direction)	kN/m	lb/in	Pass	Pass	10.5	60	ASTM D146
Tensile strength (cross direction)	kN/m	lb/in	Pass	Pass	7.0	40	ASTM D146
Fastener pull through 0°C	N	lbf	Pass	Pass	186	42	ASTM D3462
Average net mass per unit area of finished shingles	g/m ²	lb/100ft ²	Pass	Pass	4394	90	ASTM D228
Mass of glass mat per unit area	g/m ²	lb/100ft ²	Pass	Pass	85	1.7	ASTM D228
Asphalt mass per unit area	g/m ²	lb/100ft ²	Pass	Pass	732	15	ASTM D228

APPLICABLE STANDARDS

ASTM D3018;
 ASTM D3462;
 CSA A123.5;
 UL 790 & CAN/ULC S107, Fire Resistance Class A;
 UL 2390 / ASTM D6381 Class H;
 ASTM D3161 Class A, D and F;
 Pass TAS 100 as referenced in Miami-Dade County;

BP ROOFING GUIDE

ARCHITECT & CLASSIC COLLECTIONS



EAST



PRODUCT MANUFACTURED
IN CANADA 

ROOF COLOR SHOWN IS MANOIR TWILIGHT GREY



WITH
WEATHER-TITE™
TECHNOLOGY
for Superior Protection

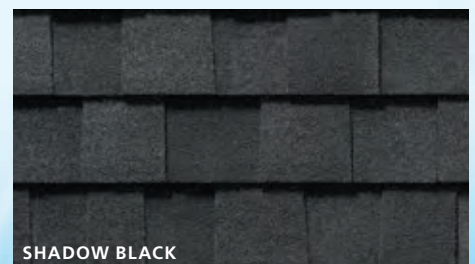
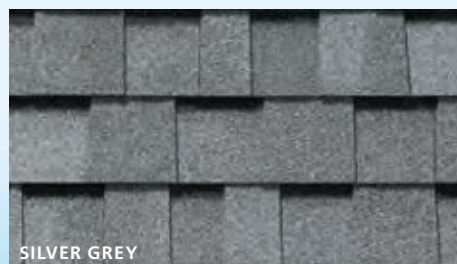
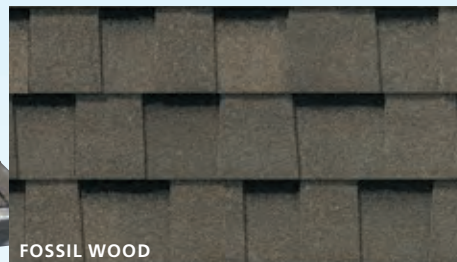
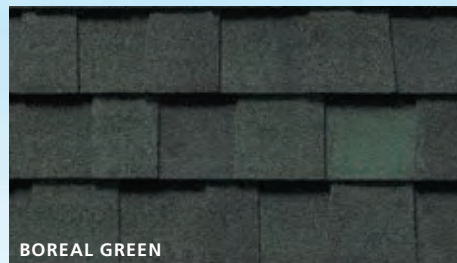
EVEREST 42 LIMITED LIFETIME WARRANTY

ROOF COLOR SHOWN IS DRIFTWOOD



The summit of protection and beauty

TAKE BEAUTY AND PROTECTION TO THE TOP. This premium quality double-layer laminate shingle features larger tabs, dramatic 3-dimensional shadow bands and drifted coloring to create a deep, bold and dynamic style. With its lavish selection of random contrast colors, Everest 42 frames your home with stunning elegance that's sure to turn heads with heightened curb appeal.



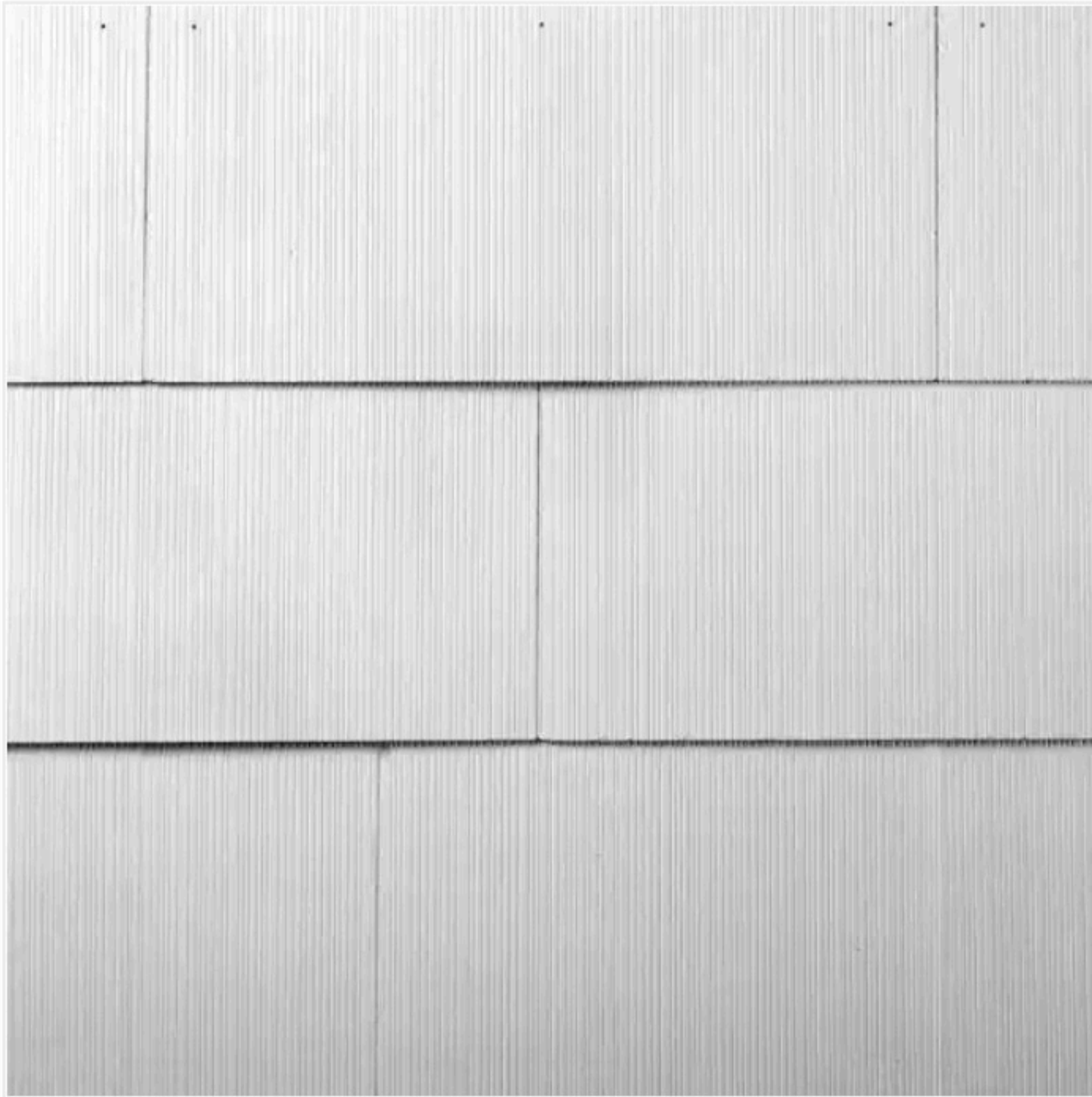
Due to limitations of the printing process, actual shingle colors and granule blends could be different from the photos. It is recommended that you view a full size shingle before making a final color selection. We reserve the right to change colors at any time.



GAF

WeatherSide Profile12 12 in. x 24 in. Fiber-Cement Siding Shingle (18-Bundle)

★★★★★ (450) ✓



The one and only solution for replacing old asbestos siding



- Virtually identical in size and shape to many old asbestos siding shingles that are no longer available
- WeatherSide™ Fiber-Cement Siding contains NO asbestos
- Great for siding small additions, changing windows, or for making small repairs without the hassles and expense of installing new siding on the whole house

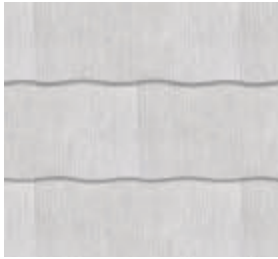


WeatherSide™ Fiber-Cement Siding

Benefits:

- **No caulking required at the joints.**
After properly removing and disposing of the old siding in accordance with local, state, and federal regulations regarding asbestos-containing products², simply nail in place and paint.
- **Pre-primed from the factory** and ready to paint the color of your choice
- **Distinctive beauty** unavailable in other siding products
- **Durable fiber-cement construction** helps resist warping, rotting, expansion/contraction, UV degradation, and even termite infestation
- **UL Classified** to ANSI/UL723 and non-combustible in accordance with ASTM E136
- **Peace of mind...** backed by a 25-year ltd. warranty¹

Shingle Selector:



Purity™ Shingle

Textured surface with Straight, Wavy, or Thatched edge.



Emphasis™ Shingle

Extra-thick wood grain look with Thatched edge.



Profile Shingle

Striated surface with Straight edge.

	Purity™ Straight/Wavy	Purity™ Thatched	Emphasis™	Profile 9	Profile 12	Profile 14
Size	12 in. x 24 in.	12 in. x 24 in.	14 5/8 in. x 25 5/32 in.	9 x 32 in.	12 x 24 in.	14 5/8 in. x 32 in.
Exposure	11 in.	10 1/2 in.	13 in.	8 in.	11 in.	13 5/8 in.
Thickness	1 1/4 in.	1 1/4 in.	5/32 in.	1 1/4 in.	1 1/4 in.	1 1/4 in.
Pcs./Bundle	18	19	11	19	18	11
Bundles/Sq.	3	3	4	3	3	3
Sq./Pallet	20	20	10	15	20	15
Lb./Sq.	168	186	268	177	165	171

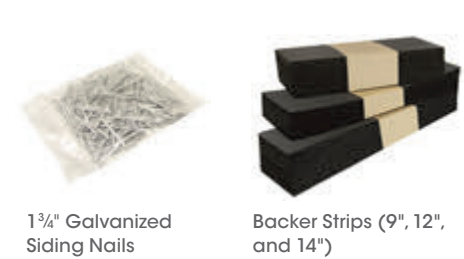
Product Details:

Siding Standards & Code Approvals:

- UL Classified to ANSI/UL723
- ASTM E136
- State of Florida approved
- Meets or exceeds the requirements of the Texas Department of Insurance (excludes Profile 14)
- Miami-Dade County Product Control Approved (excludes Emphasis™ and Profile 14)

Matching Accessories:

WeatherSide™ Fiber-Cement Siding accessories offer faster, easier, more accurate installation, and include:



1 3/4" Galvanized Siding Nails

Backer Strips (9", 12", and 14")



Individual Pre-Primed Corners (9", 12", 14", and Emphasis™)



Visit gaf.com/WeatherSide

¹ See WeatherSide™ Fiber-Cement Siding Limited Warranty for complete coverage and limitations.

² NOTE: We recommend that any removal and disposal of asbestos-containing products be done by a professionally trained asbestos-removal contractor.

We protect what matters most™



GAF Weatherside



Cedar Lap Siding

James Hardie

HardiePlank HZ5 5/16 in. x 8.25 in. x 144 in. Fiber
Cement Primed Cedarmill Lap Siding

★★★★★ (89) ✓





Sustainability meets **DESIGN & DURABILITY**

Featuring James Hardie® siding and trim, the VISION House Orlando '11 incorporates the essentials of sustainable living through design and construction. Much of the focus was aimed at energy efficiency, water conservation, sustainable materials, and hurricane disaster resistance.



MANUFACTURING



- We recycle water used in manufacturing up to four times during the process.
- Our Environmental Management System is ISO 14001 certified in our Illinois, Nevada, and Virginia manufacturing facilities.
- Our Zero to Landfill Project demonstrates our vision for making our products as efficiently as possible and is currently focused on reducing our landfilled waste by half.

TRANSPORTATION



- We have high quality standards for raw materials, and at least 75% of raw materials are locally sourced.
- Eleven manufacturing facilities support the regional economy and reduce the environmental impact caused by transportation of materials.





PRODUCT



- James Hardie® siding products are made from natural and sustainable raw materials that are also low in toxicity – Portland cement, cellulose pulp, sand, and water.
- Artisan® siding products contain 8% post-industrial or pre-consumer recycled content.
- James Hardie siding is noncombustible in accordance with ASTM E 136 and can be installed to achieve MIAMI-DADE large and small missile impact rating.
- Durable fiber cement materials not only require fewer resources for replacement, but help reduce maintenance and repair cost.
- Using factory-finished James Hardie siding and trim products with ColorPlus® Technology finishes reduce jobsite liquid waste and exposure to volatile organic compounds (VOCs). It also eliminates the need to store large amounts of paint on site. Our factory-finished products go through multiple quality control checkpoints, which minimizes the need for rework.



“The single most important factor in green architecture is durability. If you want something to be green it has to last a long time. It has to handle water, heat and UV radiation. Fiber-cement handles all three exceptionally well.”

*Joseph Lstiburek
BASC, MENG., PhD, PENG*

LEED CERTIFICATION

James Hardie products can contribute points towards a LEED project certification as well as a certification to the ICC 700 National Green Building Standard. James Hardie® siding, trim, soffit, fascia and Artisan siding and trim are listed as certified products in Home Innovation Research Labs NGBS Green Certified Product Program. The Home Innovation Labs NGBS Green certification allows accredited verifiers to award points towards the whole project certification without additional documentation for the attributes of the practices specified. Additionally, a project-specific cutsheet in support of recycled and regional content claims is available upon request. Please contact info@jameshardie.com for more information.



http://www.homeinnovation.com/services/certification/green_certified_products/green_certified_product_detail?prodid=303

National Green Guidelines

Project seeking USGBC LEED® certification

ICC 700 National Green Building Standard Voluntary Model Green Home Building Guidelines

James Hardie® Siding Products

MR5 (MR4 for Homes) Recycled Content;
MR5 (MR4 for Homes) Regional Materials

601.7. Building materials/assemblies do not require additional site applied material for finishing. (ColorPlus® products only)
602.1.6. In areas of termite infestation probability, termite-resistant materials are used.

Artisan® Siding Products

MR5 (MR4 for Homes) Recycled Content;
MR5 (MR4 for Homes) Regional Materials

601.7. Building materials/assemblies do not require additional site applied material for finishing. (ColorPlus® products only)
602.1.6. In areas of termite infestation probability, termite-resistant materials are used.



At James Hardie, we pride ourselves on providing building products that help you craft more sustainable homes and buildings. While all green programs share the goal of environmental awareness, they do not always measure success in the same way. Our commitment to sustainable manufacturing practices extends to the development of products that last longer, requires less maintenance, and contribute to energy efficiency.

To learn more, please contact James Hardie Technical Services at **1-866-4HARDIE (1-866-442-7343) or info@jameshardie.com.**



Get [Outlook for iOS](#)

From: Matthew Jackson <matthew_jackson76@hotmail.com>

Sent: Thursday, June 30, 2022 5:24:08 PM

To: Dan Rieden <riedenda@detroitmi.gov>

Subject: Re: 1620 Atkinson - Deck and Balcony



Get [Outlook for iOS](#)

Please include the balcony and deck to my application. The deck and balcony is made out of treated wood. I plan on using a natural stain (clear) on the wood

Balcony (W) 150in

(H) 114in



Get [Outlook for iOS](#)

From: Matthew Jackson <matthew_jackson76@hotmail.com>

Sent: Thursday, June 30, 2022 5:26:54 PM

To: Dan Rieden <riedenda@detroitmi.gov>

Subject: Re: 1620 Atkinson - Deck and Balcony

The measurements are included on this document.







To: Dan Rieden <riedenda@detroitmi.gov>
Subject: Re: 1620 Atkinson - Deck and Balcony





Get [Outlook for iOS](#)

From: Matthew Jackson <matthew_jackson76@hotmail.com>

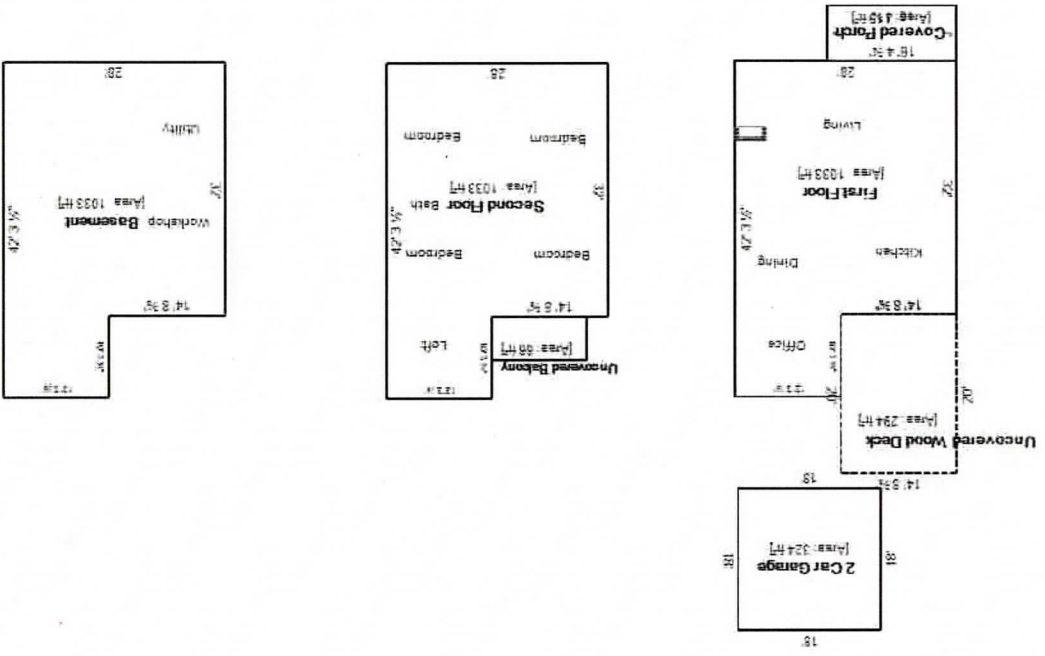
Sent: Thursday, June 30, 2022 5:29:04 PM

FLOORPLAN SKETCH

Borrower: Matthew Jackson
 Property Address: 1620 Atkinson St
 City: Detroit
 Lender: UNITED WHOLESAL MORTGAGE

File No.: 1620 Atkinson St
 Case No.: 264-3628180
 State: MI
 Zip: 48206

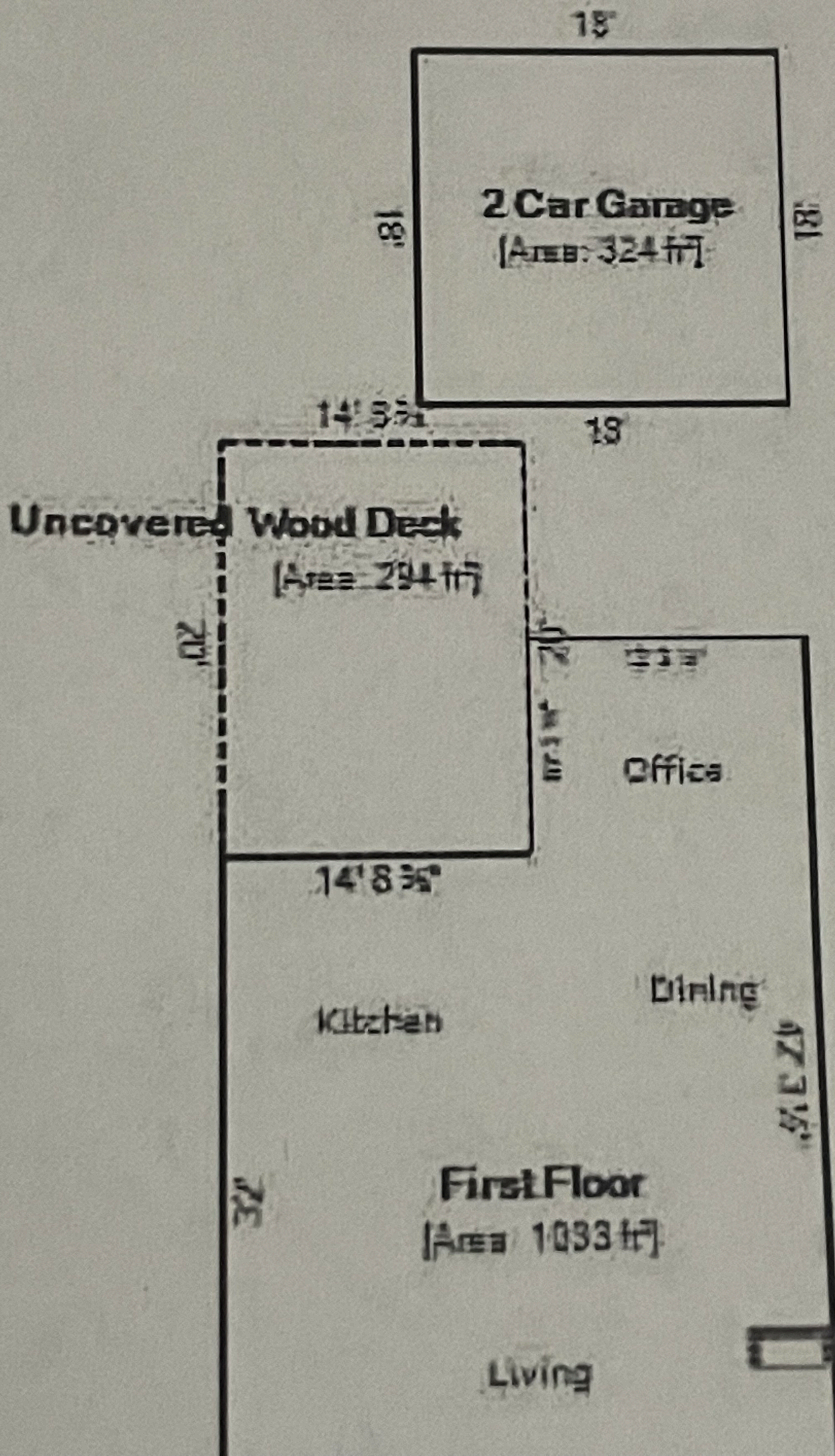
Sketch



Living Area

First Floor	1032.99 sq ft	1032.99 sq ft	1.00 =	1032.99 sq ft
Second Floor	1032.99 sq ft	1032.99 sq ft	1.00 =	1032.99 sq ft
Nonliving Area	324 sq ft	324 sq ft	1.00 =	324 sq ft
2 Car Garage	324 sq ft	324 sq ft	1.00 =	324 sq ft
Basement	1032.99 sq ft	1032.99 sq ft	1.00 =	1032.99 sq ft
Covered Porch	114.80 sq ft	114.80 sq ft	1.00 =	114.80 sq ft
Uncovered Balcony	68.00 sq ft	68.00 sq ft	1.00 =	68.00 sq ft
Uncovered Wood Deck	294 sq ft	294 sq ft	1.00 =	294 sq ft
Total Living Area (rounded):	2065 sq ft			

Area Calculation



Living Area		
First Floor	1032.99 ft ²	FI
Second Floor	1032.99 ft ²	FI
Nonliving Area		
2-Car Garage	624 ft ²	Se
Basement	1032.99 ft ²	FI
Covered Porch	114.83 ft ²	FI
Uncovered Balcony	68.50 ft ²	FI
Uncovered Wood Deck	284 ft ²	FI
Total Living Area (rounded):	2066 ft²	