

STAFF REPORT: 4/14/2021 MEETING

PREPARED BY: J. ROSS

APPLICATION NUMBER: #21-7173

ADDRESS: 532 PARKVIEW

HISTORIC DISTRICT: BERRY SUBDIVISION

APPLICANT: NATALIA PRUCHNIAK

PROPERTY OWNER: NATALIA PRUCHNIAK

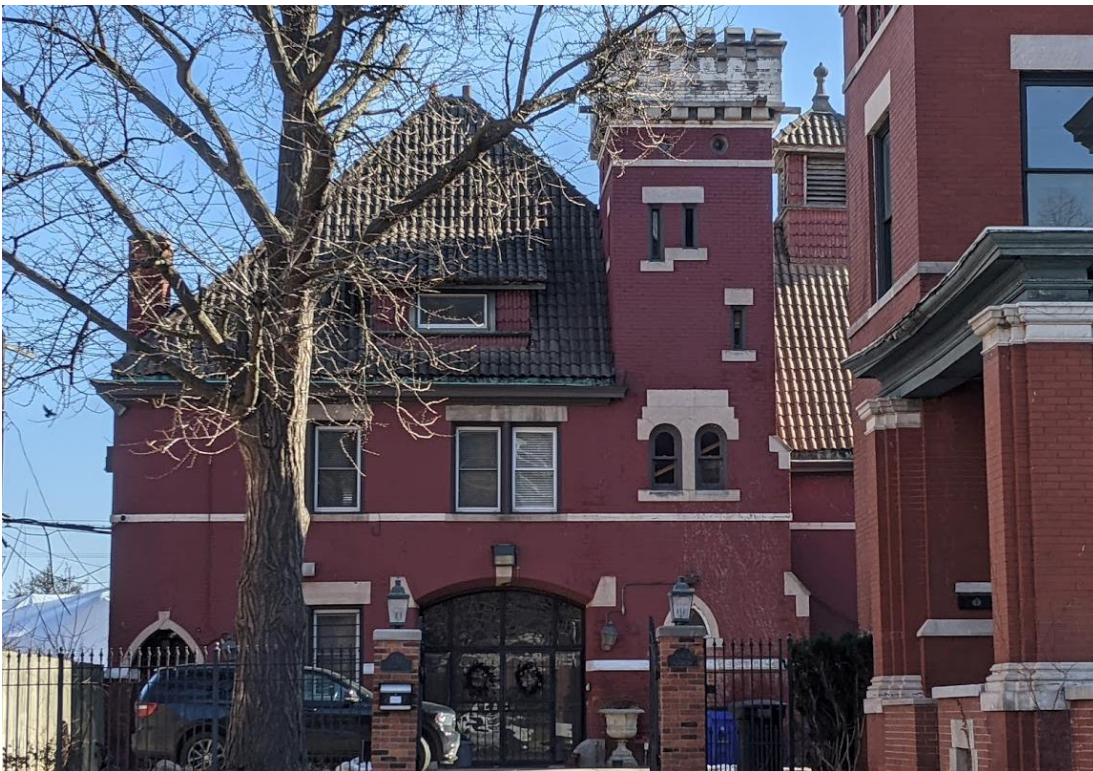
DATE OF PROVISIONALLY COMPLETE APPLICATION: 03/22/2021

DATE OF STAFF FIELD VISIT: 4/2/2021 & 4/9/2021

SCOPE: REPLACE EXISTING CLAY AND CONCRETE TILE ROOF WITH STEEL ROOF

EXISTING CONDITIONS

The dwelling located at 532 Parkview is a carriage house that was erected in 1911 to the rear of the Marvin Stanton House, also known as “The Castle.” The building is 2 ½- stories in height and has red brick exterior walls with limestone detailing. The home is topped with a steeply-pitched, complex hipped roof which features a crenelated turret, shed and hipped-roof dormers, a hipped-roof vented cupola, and integrated copper gutters and copper flashing. The west/front portion of the roof is covered with barrel-shaped clay tiles that are finished with concrete. Ridges are detailed with clover-shaped concrete tiles with concrete “bump”-shaped tiles found at most apex points. A decorative concrete finial tops the roof vented cupola. Asphalt shingles were added to the rear/east face of the roof surface at some point in the past. A review of the designation file for the property revealed that this work was not reviewed by the HDC. The front and sidewalls at the rooftop dormers are covered with red rectangular clay tiles shingles, vertically installed.



532 Parkview, current appearance

PROPOSAL

With the current submission, the applicant is seeking the Commission's approval to replace the existing original tile and asphalt-shingle roofing with new metal roofing. Specifically, the proposed new product is steel that is coated with stone and is formed to match shake, flat tile, or barrel-shaped tile. See the included brochure that outlines the product for which the applicant is seeking approval. The project's proposed scope of work includes the following:

- Tear off current roof down to the planks
- Install a new steel roof (Barrel Vault style) with ventilation at ridges, color Timberwood
- Retain existing copper gutters and copper valleys
- Retain existing clay tile at dormer front and sidewalls
- Retain existing finial which tops the vented cupola

STAFF OBSERVATIONS AND RESEARCH

- The applicant presented a roof replacement proposal to the Commission at the 3/10/2021 meeting. The Commission denied the proposal because it did not provide a full scope of work. Also, it did not present a full picture of the condition of the existing historic roof. With the current application the property owner has provided a detailed scope of work and additional photos which indicate the specific areas of roof failure.
- Please see the attached staff report from the 3/10/2021 meeting, which includes photos, various repair and replacement quotes, and a narrative re: why the applicant would like to replace the roof.
- It is staff's opinion that the remaining clay tile roof system (to include the concrete barrel tiles, ridge tiles, tile "bumps", and finials; integrated copper gutters; and clay tiles at the dormer and vent hood walls) is a distinctive, character-defining feature at the property
- As this building was erected in 1911, the remaining tile roofing is 110 years old. HDC staff conducted a site visit on 4/9/2021 and inspected samples of the original roofing so that they might understand its specific materiality and the condition/performance of the now 110 year old tiles. After our inspection of the tiles and review of the submitted photos, staff determined that the tiles are indeed in deteriorated condition and that the roof has met the end of its serviceable life. It is staff's opinion that the roof merits replacement due to its poor condition
- The current application includes the replacement of the existing historic roof tiles and non-historic asphalt roofing. All extant copper gutters, the historic finial, and the vertically-applied clay tiles at the dormer front and sidewalls will be retained.
- Staff acknowledges that an in-kind replacement of the historic roof tiles would be infeasible, due to their unique nature and the cost associated with such an install. It is staff's opinion that the proposed new roofing adequately replicates the existing historic tiles. The applicant's proposal to retain the existing historic copper gutters, historic finial, and the vertically-applied clay tiles at the dormer front and sidewalls will contribute to the new roof's historic appearance
- As previously noted, the home which sits to the front/west of 532 Parkview is known as The Castle (530 Parkview). The Castle/ 530 Parkview had a similar roof until 2014, when the HDC approved its removal and replacement with new Monaco GAF designer dimensional asphalt shingles [monaco gaf dimensional designer shingles - Bing images](#). These shingles are meant to

“replicate” the look of barrel masonry tiles. While the barrel clay tiles at 530 Parkview were replaced, the integrated copper gutter system and the clay tiles at the dormer front and sidewalls have been retained

ISSUES

- None

RECOMMENDATION - SECTION 21-2-78, CERTIFICATE OF APPROPRIATENESS

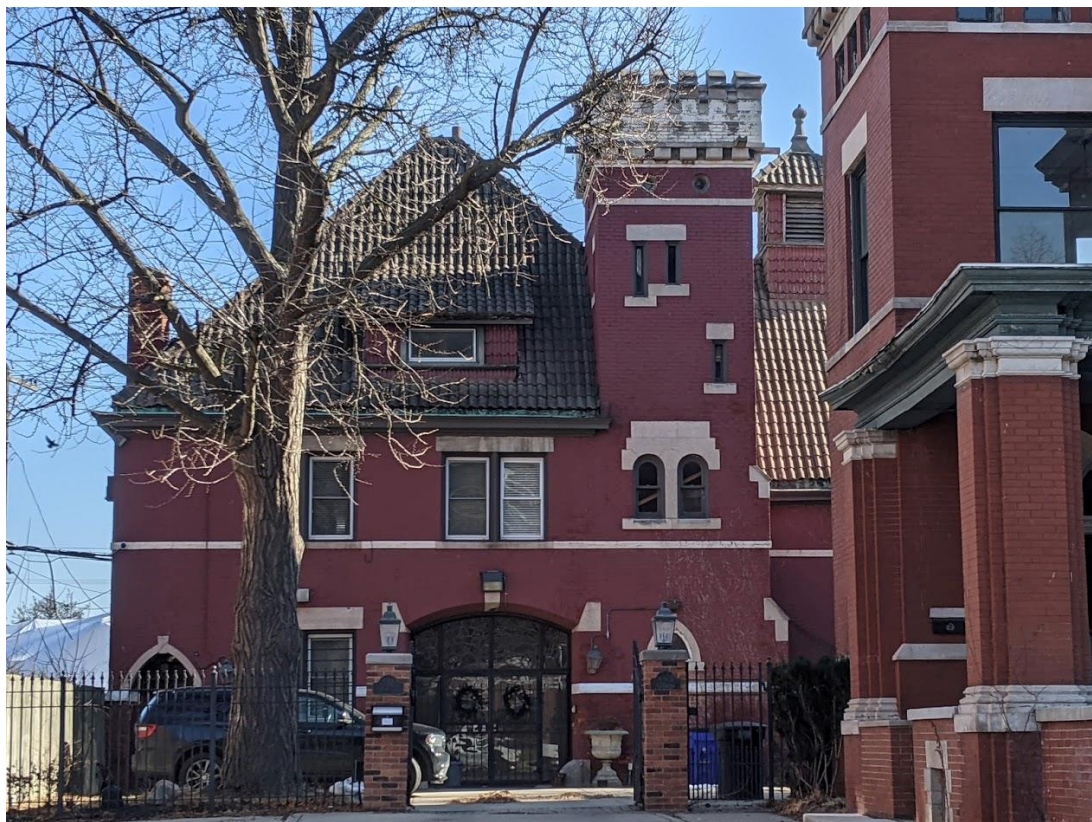
Staff recommends that the Commission issue a Certificate of Appropriateness (COA) for the submitted proposal because it conforms to the Elements of Design for the Berry Subdivision Historic district and the Secretary of the Interior Standards for Rehabilitation.



532 Parkview (left) and 530 Parkview (right)



530 Parkview. Note, newer asphalt shingle roof











532 Parkview Roof Details

Hi-resolution photos can be found here:

<https://www.dropbox.com/sh/d42bylpwz3lnuai/AABxKoll76Xm7g5zjd3BXWrRa?dl=0>



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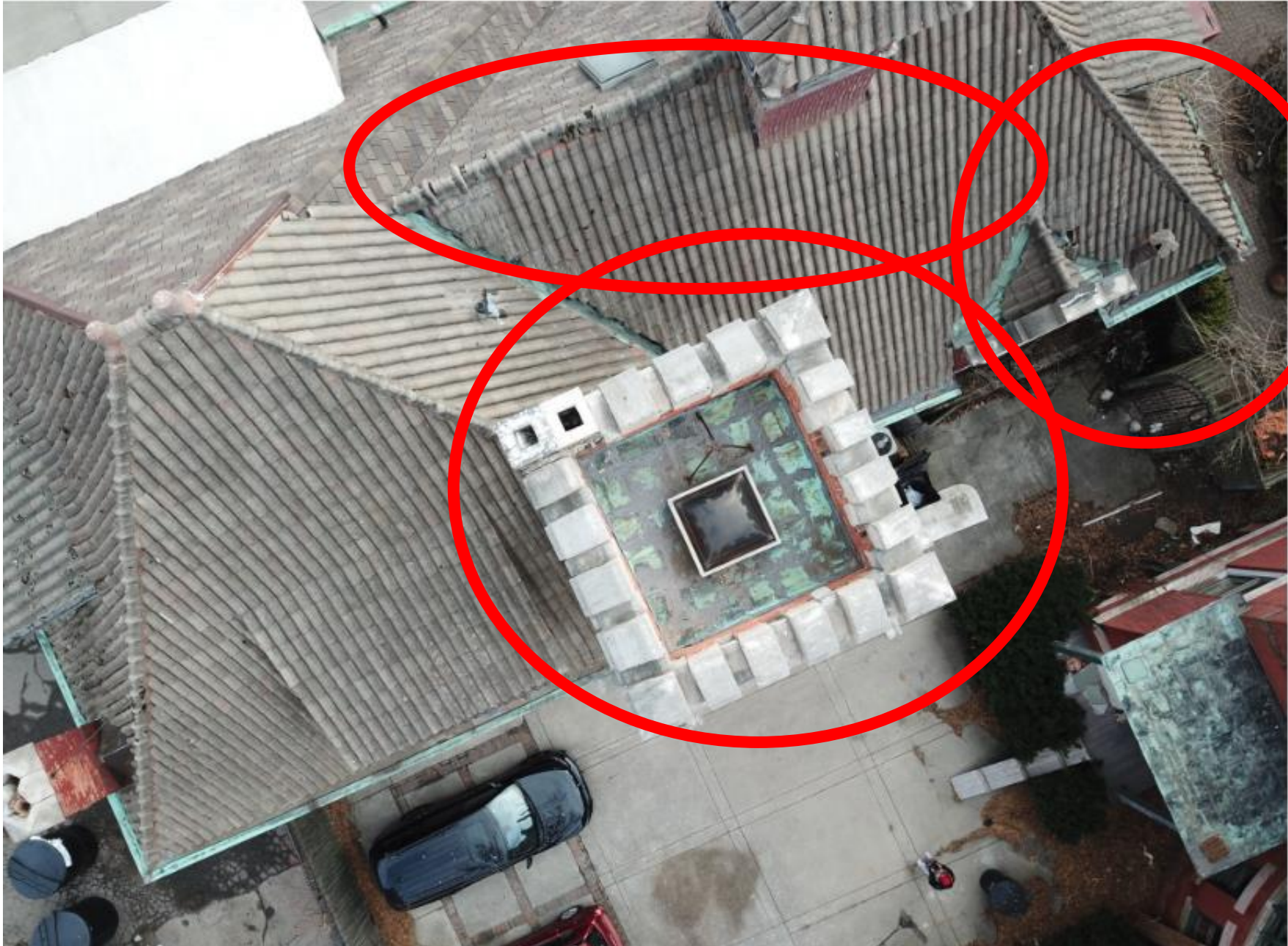
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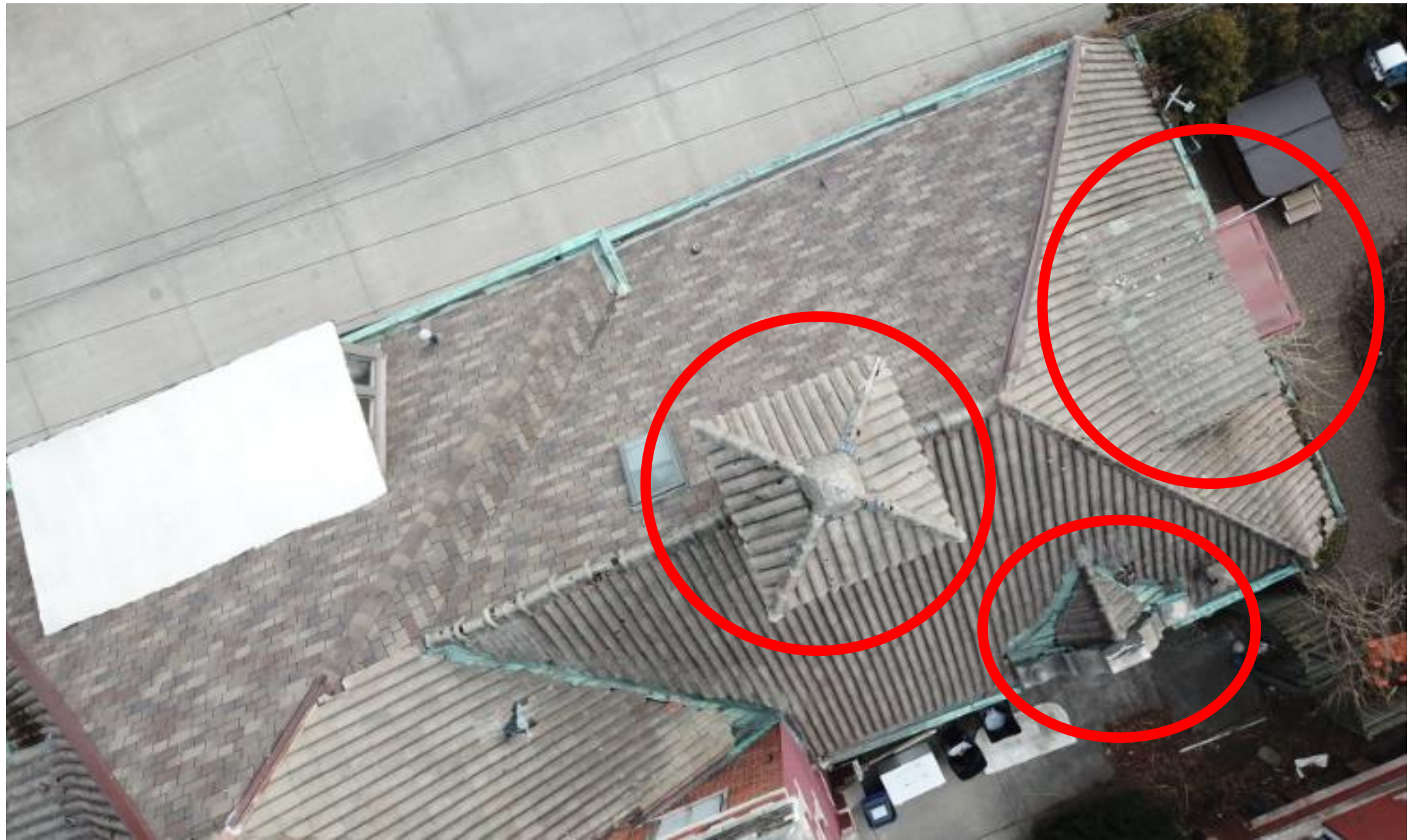
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Additional Damage Areas





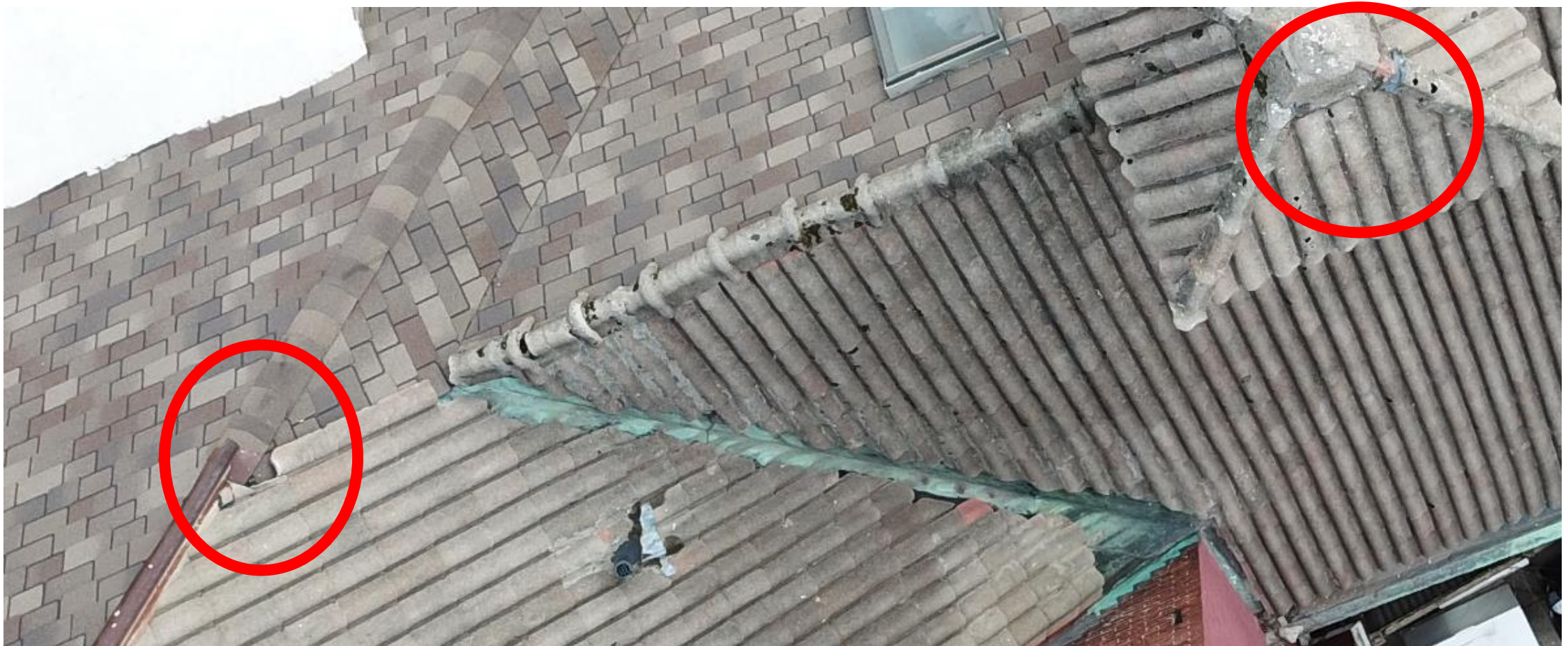


General Damage Details



Hi-resolution photos can be found here:

<https://www.dropbox.com/sh/d42bylpwz3lnuai/AABxKoll76Xm7g5zjd3BXWrRa?dl=0>













Weather Boy Construction LLC.

Contractors Invoice

WORK PERFORMED AT:

TO: Natalia Pruchniak
532 Parkview
Detroit, MI. 48214

532 Parkview
Detroit, MI 48214

DATE

YOUR WORK ORDER NO.

OUR BID NO.

DESCRIPTION OF WORK PERFORMED

Roof Replacement

Tear off concrete barrel tile roof, down to roof planks. Repair rotten planks as needed. Install new sheeting on northwest and south side of home. Install a synthetic underlayment, ice guard around eaves and around chimneys. Install flashing as needed. Install a steel roofing system (Boral barrel style), that comes with a 50 year warranty. New ventilation at ridge. Copper gutters will remain as well as copper valleys. Dormers will not be disturbed. All old tiles and trash will be hauled away. 6 year warranty.

All Material is guaranteed to be as specified, and the above work was performed in accordance with the drawings and specifications provided for the above work and was completed in a substantial workmanlike manner for the agreed sum of Forty seven thousand Dollars (\$ 47,000).

This is a Partial Full invoice due and payable by: _____ Month _____ Day _____ Year

in accordance with our Agreement Proposal No. _____ Dated _____ Month _____ Day _____ Year

Boral STEEL™

STONE COATED ROOFING

Boral Roofing
Build something great™





BEAUTIFUL STRONG LONG-LASTING

Boral Steel™ Stone Coated Roofing offers five distinct profiles that will enhance the curb appeal and value of any home while **providing durability, performance and protection that will last.**

 50-Year Limited Warranty*

 Fire Resistant* Materials

 Hail Stone Penetration Warranty*

 Lightweight 1.5-lbs/sq-ft.

 120 mph Wind Warranty*

 Energy-Efficient Above-Sheathing Ventilation*

THE ROOF
ELEVATES YOUR
HOME AESTHETIC

PINE-CREST Shake
Ironwood



stately

THE ROOF
IS YOUR HOME'S
FIRST IMPRESSION

COTTAGE Shingle
Timberwood-HD



welcoming

THE ROOF BECOMES
AN IMPORTANT PART
OF YOUR HOME'S
COLOR SCHEME

GRANITE-RIDGE Shingle
Timberwood



natural

THE ROOF
DEFINES YOUR
HOME'S CHARACTER

BARREL-VAULT TILE
Barcelona



authentic

THE ROOF PROTECTS YOUR HOME FROM THE ELEMENTS

PACIFIC Tile
Barclay



durable

Feel well-protected
from the elements.



safe



Hail Impact Tested Roofing

All Boral Steel panels provide Class 4 Hail Impact Resistant rated performance¹, the best rating available for roofing products. Our material is warranted for hail up to 2-1/2" inches in diameter and winds up to 120 mph², helping protect your home while adding peace of mind. According to an April 2015 analysis by State Farm, hail and wind damage cost the insurer and its policy holders more than \$2.4 billion in 2014³.





¹Refer to the Hail testing under Resources on www.BoralRoof.com

²Refer to the Warranty section at www.BoralRoof.com for details

³State Farm Ranks Top States for Hail Losses - 2014 - <https://www.claimsjournal.com/news/national/2015/04/13/262782.htm>

Reroofing Features & Benefits




-  **50 YEAR LIMITED WARRANTY**
-  **120 MPH WIND WARRANTY**
-  **HAIL STONE PENETRATION WARRANTY CLASS-4 IMPACT RATED**
-  **LIGHTWEIGHT 1.5-LBS/SQ-FT.**
-  **FIRE RESISTANT MATERIALS**
-  **ENERGY-EFFICIENT ABOVE-SHEATHING VENTILATION**




Beautifully Efficient

Whatever the style, color or finish of your current roof, a Boral Steel™ Stone Coated roof can further enhance the appearance of your home. Whether you want the look of shingle, clay tile, cedar shake or slate, you can select a Boral Steel roof that will highlight the beauty and increase the efficiency of your home. It will look beautiful for decades to come and requires little to no maintenance to provide a lasting improvement to your home's curb appeal.

A photograph of an asphalt shingle roof installed on a wooden deck. A red heat lamp is positioned above the roof, casting a warm glow. The shingles are arranged in a standard staggered pattern.

Asphalt Shingle

147°
attic temperature*

A photograph of a direct-to-deck stone-coated roofing system installed on a wooden deck. A red heat lamp is positioned above the roof, casting a warm glow. The roofing material consists of large, overlapping panels with a textured, stone-like surface.

Direct-to-Deck
Stone-Coated
Roofing System

89°
Attic Temperature¹

Why Steel?

Energy-Efficient

Attic temperatures measured using identical heat sources simulating the sun's radiation comparing Boral Steel Stone Coated Roof System with Above Sheathing Ventilation (ASV) to a common asphalt shingle installation. The result is less heat in the attic and lower energy bills.



PINE-CREST

Engineered to replicate hand-split wood shake with the durability of steel.

Shake

Charcoal

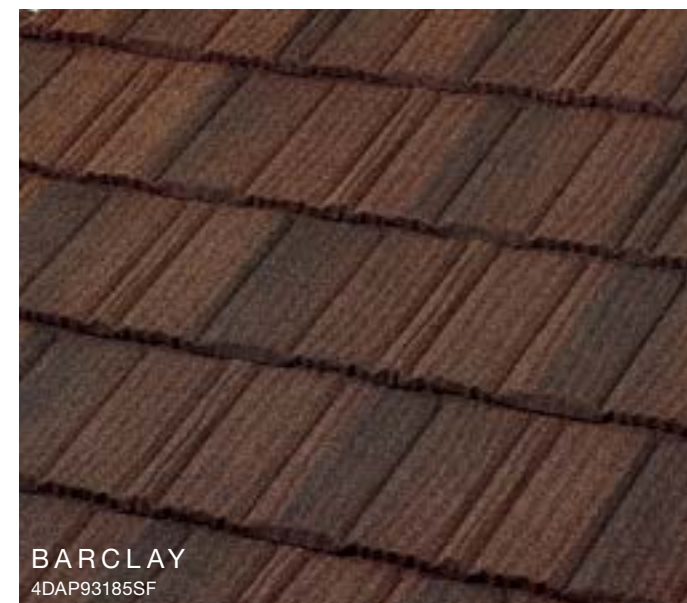
AVAILABLE COLORS



COUNTRY BLEND
4DAP93145SF



IRONWOOD
4DAP95325SF



BARCLAY
4DAP93185SF



CHARCOAL
4DAP9104000



TIMBERWOOD
4DAP93225SF



GOLD RIVER
4DAP93245SF

The printed colors shown in this brochure may vary from actual available tile colors. Always use actual product samples for color selection.



COTTAGE | shingle

Enhanced High-Definition two color blend that creates a clean, classic mid-profile shingle look.

Barclay-HD



TIMBERWOOD-HD
4DCP93225HD



BARCLAY-HD
4DCP93185HD



IRONWOOD-HD
4DCP95325HD



CHARCOAL-HD
4DCP91040HD

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GRANITE-RIDGE

Shingle

A low-profile high wind resistant shingle that adds long-life and beauty.



ENGLISH SUEDE
4DBP90400SF



IRONWOOD
4DBP95325SF



BARCLAY
4DBP93185SF



CHARCOAL
4DBP9104000



TIMBERWOOD
4DBP93225SF

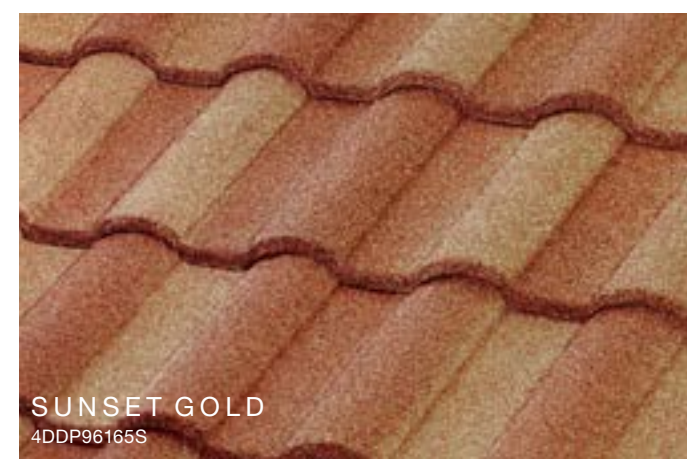
AVAILABLE COLORS



BARREL-VAULT | Tile

The traditional look of High-Barrel Spanish tile that enhances your home's curb appeal.

Sunset Gold



SUNSET GOLD
4DDP96165S



BARCELONA
4DDP97335SF



SANTA FE
4DDP96185SF



TIMBERWOOD
4DDP93225SF



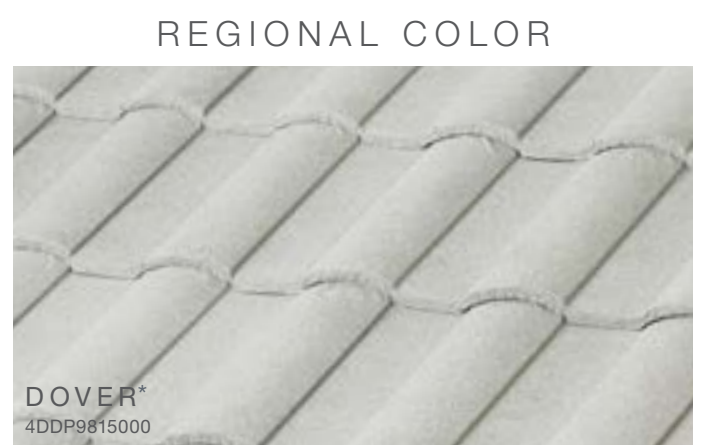
SPANISH RED
4DDP9732500



BARCLAY
4DDP93185SF



CHARCOAL
4DDP9104000



DOVER*
4DDP9815000

REGIONAL COLOR

AVAILABLE COLORS

*Contact Customer Service to verify availability and confirm the FOB point.

The printed colors shown in this brochure may vary from actual available tile colors. Always use actual product samples for color selection.



PACIFIC | Tile

Mediterranean Villa, medium profile tile that emulates the traditional style of southern Europe.

Timberwood



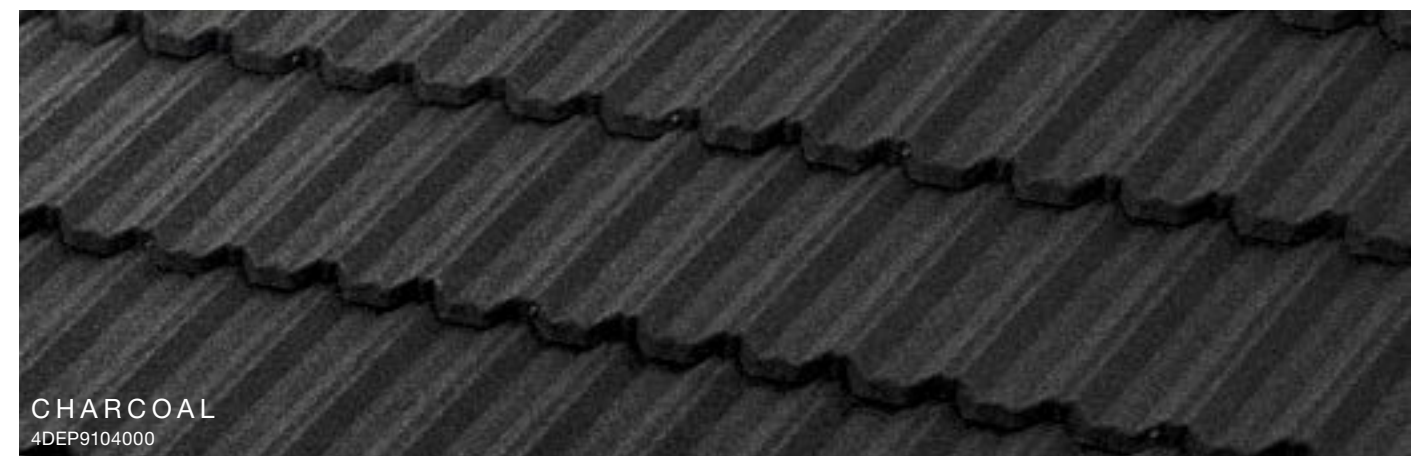
SPANISH RED
4DEP9732500



BARCLAY
4DEP93185SF



TIMBERWOOD
4DEP93225SF

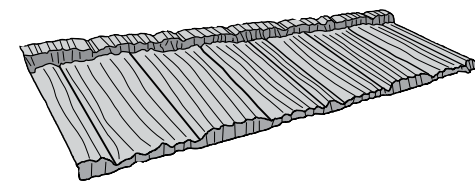


CHARCOAL
4DEP9104000

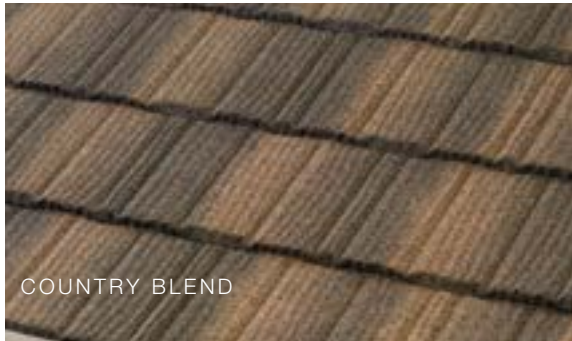
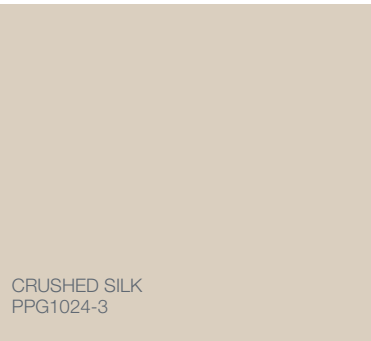



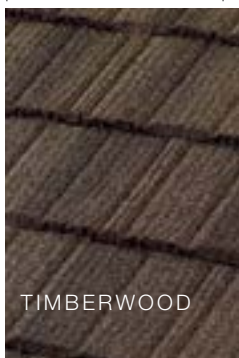


BoralSTEEL
STONE COATED ROOFING

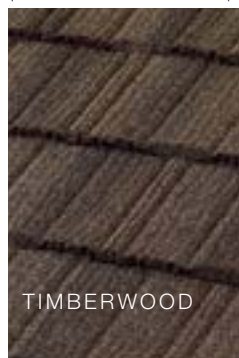


SELECT COLOR COMBINATIONS

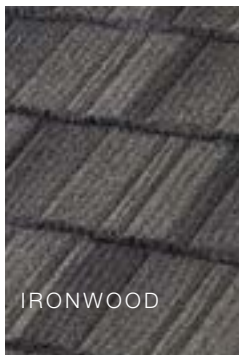

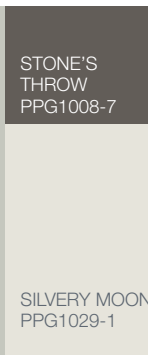


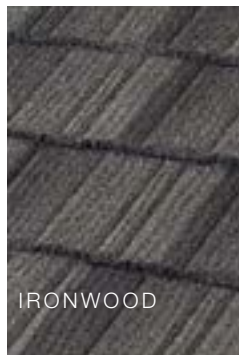

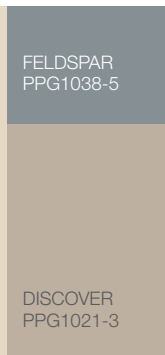
PINE-CREST Shake SELECT COLOR COMBINATIONS

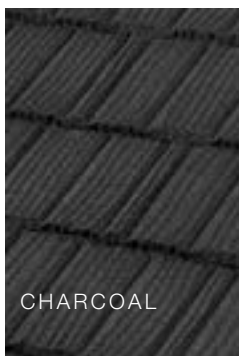

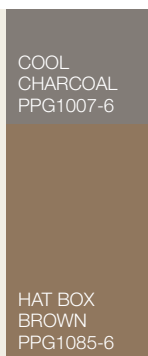
ROOF	BODY	ACCENTS
 COUNTRY BLEND	 CRUSHED SILK PPG1024-3	 PATCHES PPG1024-6 FRESH BASIL PPG1127-7

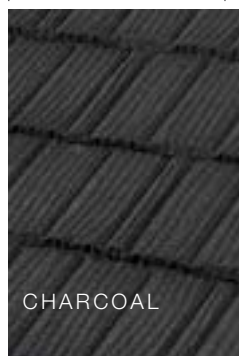
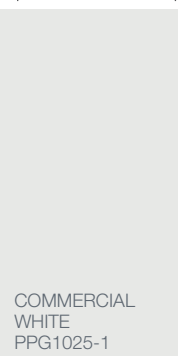

ROOF	BODY	ACCENTS
 TIMBERWOOD	 BALSAM PPG1128-4	 FRIAR'S BROWN PPG1024-7 THYME GREEN PPG1128-6

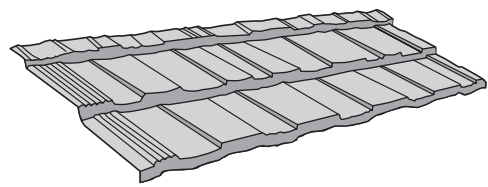
ROOF	BODY	ACCENTS
 TIMBERWOOD	 SILVER DOLLAR PPG1022-3	 ATRIUM WHITE PPG1020-1 CURLW PPG1021-6

ROOF	BODY	ACCENTS
 IRONWOOD	 SILENT STORM PPG1033-3	 STONE'S THROW PPG1008-7 SILVERLY MOON PPG1029-1

ROOF	BODY	ACCENTS
 IRONWOOD	 BONE WHITE PPG1085-2	 FELDSPAR PPG1038-5 DISCOVER PPG1021-3

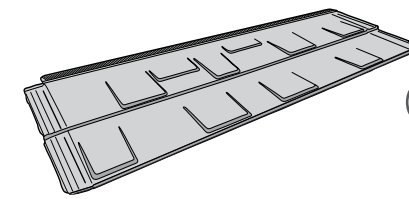
ROOF	BODY	ACCENTS
 CHARCOAL	 ATRIUM WHITE PPG1020-1	 COOL CHARCOAL PPG1007-6 HAT BOX BROWN PPG1085-6

ROOF	BODY	ACCENTS
 CHARCOAL	 COMMERCIAL WHITE PPG1025-1	 SERIOUSLY SAND PPG1085-3 CHALKY BLUE PPG1153-5



COTTAGE Shingle

SELECT COLOR COMBINATIONS



GRANITE-RIDGE Shingle

SELECT COLOR COMBINATIONS

ROOF	BODY	ACCENTS
BARCLAY-HD	BONE WHITE PPG1085-2	GRAY MARBLE PPG1002-4 HORSERADISH PPG1086-1

ROOF	BODY	ACCENTS
ENGLISH SUEDE	SKY SPLASH PPG1037-2	CARAVEL BROWN PPG1079-6 COLONIAL WHITE PPG1097-1

ROOF	BODY	ACCENTS
IRONWOOD -HD	BLANK CANVAS PPG1085-1	MOSS ROCK PPG1032-7 SAUTEED MUSHROOM PPG1085-5

ROOF	BODY	ACCENTS
IRONWOOD -HD	SOLSTICE PPG1010-3	FOG PPG1010-2 BURNING BUSH PPG1057-7

ROOF	BODY	ACCENTS
BARCLAY	PRAIRIE WINDS PPG1111-1	SARSAPARILLA PPG1018-7 MY ALIBI PPG1018-2

ROOF	BODY	ACCENTS
BARCLAY	BEST BEIGE PPG1085-4	SHEBANG PPG1127-5 BLANK CANVAS PPG1085-1

ROOF	BODY	ACCENTS
TIMBERWOOD-HD	OFF WHITE PPG1024-1	ARTILLERY PPG1008-6 CARAMEL KISS PPG1083-6

ROOF	BODY	ACCENTS
TIMBERWOOD-HD	EIFFEL TOWER PPG1022-5	STONE'S THROW PPG1008-7 HOURGLASS PPG1022-1

ROOF	BODY	ACCENTS
TIMBERWOOD	ALMOND CREAM PPG1086-3	ENDURING ICE PPG1102-1 BURNING BUSH PPG 1057-7

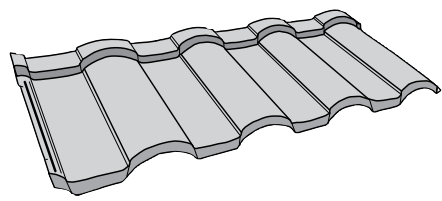
ROOF	BODY	ACCENTS
TIMBERWOOD	LITTLE LAMB PPG1112-1	PHANTOM PPG1036-6 NAUTICAL STAR PPG1036-3

ROOF	BODY	ACCENTS
CHARCOAL -HD	SILVERY MOON PPG1029-1	MOMENTUM PPG1028-6 SMOKY SLATE PPG1028-4

ROOF	BODY	ACCENTS
CHARCOAL -HD	ANTIQUE WHITE PPG1024-2	COMMERCIAL WHITE PPG1025-1 CRACKED SLATE PPG1003-6

ROOF	BODY	ACCENTS
CHARCOAL	PEGASUS PPG1010-1	LIGHT SAGE PPG1124-4 GRAPE LEAVES PPG1124-7

ROOF	BODY	ACCENTS
CHARCOAL	CHEROKEE RED PPG13-02	ARIA PPG1001-2 FLAGSTONE PPG1001-4



BARREL-VAULT Tile

SELECT COLOR COMBINATIONS

ROOF	BODY	ACCENTS
TIMBERWOOD	DIVERSION PPG1021-4	MIRROR MIRROR PPG1039-3 CABIN FEVER PPG1021-7

ROOF	BODY	ACCENTS
BARCLAY	ATRIUM WHITE PPG1020-1	GROUND COFFEE PPG1076-7 GOTTA HAVE IT PPG1076-3

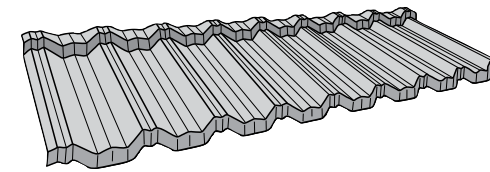
ROOF	BODY	ACCENTS
BARCELONA	CASUAL ELEGANCE PPG1075-3	POPPY PODS PPG1075-6 GYPSUM PPG1006-1

ROOF	BODY	ACCENTS
SUNSET GOLD	WATER CHESTNUT PPG1078-2	CHOCOLATE RIPPLE PPG1078-7 CARAMEL KISS PPG1083-6

ROOF	BODY	ACCENTS
DOVER*	PACIFIC PEARL PPG1011-1	FLAGSTONE PPG1001-4 BLACK MAGIC PPG1001-7

ROOF	BODY	ACCENTS
SPANISH RED	MOTHER OF PEARL PPG1100-1	WELCOME HOME PPG1092-5 MESA BEIGE PPG1092-2

ROOF	BODY	ACCENTS
CHARCOAL	DELICATE WHITE PPG1001-1	BLACKHEARTH PPG1003-7 SWEET SPICEBERRY PPG1059-7



PACIFIC Tile

SELECT COLOR COMBINATIONS

ROOF	BODY	ACCENTS
SPANISH RED	HUSH PPG1004-3	DELICATE WHITE PPG1001-1 GO TO GRAY PPG1004-1

ROOF	BODY	ACCENTS
BARCLAY	LOOFAH PPG1094-2	POPPY PODS PPG1075-6 GYPSUM PPG1006-1

ROOF	BODY	ACCENTS
BARCLAY	EQUILIBRIUM PPG1003-4	FUDGE TRUFFLE PPG1075-7 SILVER FEATHER PPG1002-1

ROOF	BODY	ACCENTS
TIMBERWOOD	DUSKY DAWN PPG1005-1	GRAY SHADOWS PPG1005-3 ELEPHANT GRAY PPG1005-5

ROOF	BODY	ACCENTS
TIMBERWOOD	DESERT DUNE PPG1023-4	CLAM SHELL PPG1023-6 OATMEAL PPG1023-1

ROOF	BODY	ACCENTS
CHARCOAL	WHISKERS PPG1025-3	SHARKSKIN PPG1025-4 ANTIQUE MAHOGANY PPG16-08

ROOF	BODY	ACCENTS
CHARCOAL	SMOKE SCREEN PPG1038-4	BOTANY BEIGE PPG15-27 BEIGE TELLIN PPG15-31

Boral Steel™ Accessories

Boral Steel offers a wide range of innovative accessories for all of its panel profiles. It is these simple yet well-designed parts and pieces that provide a perfect finish to any roof.



Have you considered what is underneath your roof? **Boral Steel™ Cool Roof System**



These components provide energy efficiency and give great return on your investment.

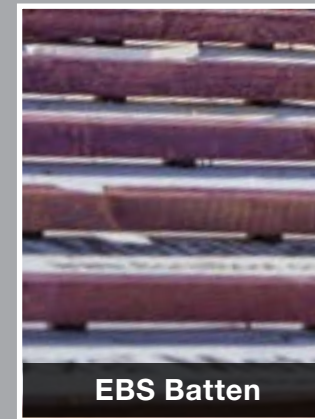


Boral Steel™ Stone Coated Panel

Shown in PINE-CREST Shake Charcoal



Boral® MetalSeal Underlayment



EBS Batten



Direct-to-Deck



Continuous Ridge Vent

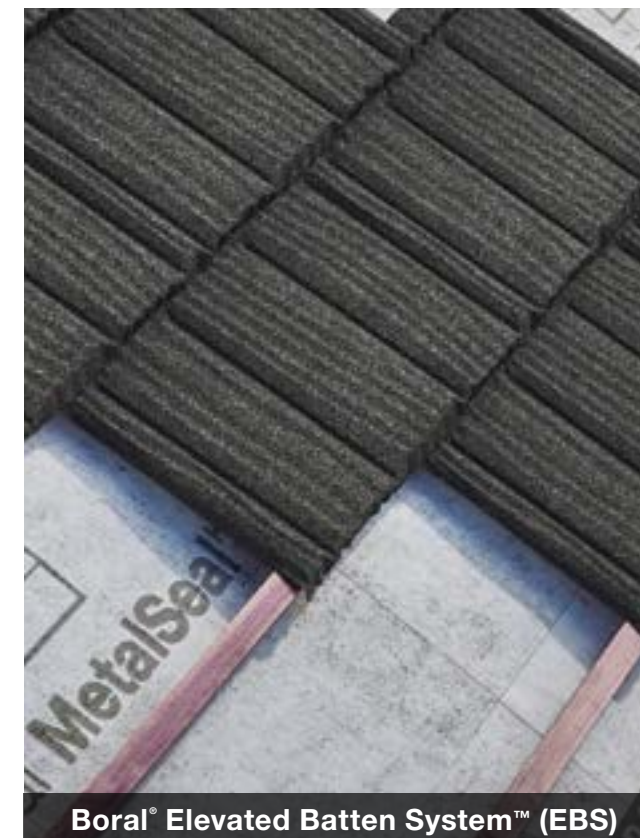
Above-Sheathing Ventilation (ASV)

Hot air always rises and creates a natural convection effect. This allows the heated air to be exhausted through ventilation, which causes a continuous airflow across the roof deck. The result is a cooler attic and living space in the home.

No matter the install method, direct-to-deck or EBS battens, a Boral Steel™ Stone Coated roof with ASV can help provide energy savings compared to asphalt shingles.

The Oak Ridge National Laboratory (ORNL) conducted a 12-month study on the effects of high IR pigments vs. metal roofs installed with an airspace*. The study showed that EBS or ASV can reduce heat flow into a building by nearly 30%. This can lead to an increase in year-round energy efficiency by reducing heat gains during the summer and heat losses during the winter. These dramatic results prove Boral's ASV is just as important to achieving energy efficiency as reflective roofs.

Hot air rises and is vented off the roof.



Boral® Elevated Batten System™ (EBS)



Direct-to-Deck

Boral STEEL™

STONE COATED ROOFING

ABOUT BORAL ROOFING

Boral Roofing LLC is a subsidiary of Boral USA and is the country's largest premium provider of complete roofing and re-roofing solutions for architects as well as commercial and residential builders. Boral Roofing operates manufacturing plants throughout the U.S.

ABOUT BORAL NORTH AMERICA

Headquartered in Roswell, Georgia, Boral North America is a leader in key construction materials and building products markets with operations across the USA, Canada and Mexico. In 2017 Boral acquired Headwaters Incorporated, expanding Boral's product offering and manufacturing and distribution footprint across North America. In construction materials, Boral has a national footprint and industry-leading position in the processing and distribution of fly ash – a by-product of coal combustion.

In building products, Boral manufactures and supplies cladding, roof tiles, windows and other light building products for residential and commercial markets nationally. Boral's manufactured stone veneer includes leading brands Cultured Stone® by Boral®, Boral Versetta Stone®, Eldorado Stone™, Dutch Quality Stone and StoneCraft. Boral's light building products portfolio includes Boral TruExterior® Siding & Trim – a pioneer of the innovative poly-ash category of exterior building products – as well as shutters, gable vents, mounting blocks and tool systems. In roofing, Boral is a leading manufacturer of clay and concrete roof tiles, and also produces composite polymer and stone-coated metal roof tiles.

Boral also has a 50% share of the Meridian Brick joint venture, a leading clay and concrete brick manufacturer which was formed with Forterra Brick in 2016.

BORAL CUSTOMER SERVICE

BoralRoof.com | 800.669.8453

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THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 03/23/2021

PROPERTY INFORMATION

ADDRESS: 532 Parkview Dr AKA: _____

HISTORIC DISTRICT: Joseph Berry

SCOPE OF WORK: (Check ALL that apply)
 Windows/Doors Roof/Gutters/Chimney Porch/Deck Landscape/Fence/Tree/Park General Rehab
 New Construction Demolition Addition Other: _____

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: Natalia Pruchniak COMPANY NAME: _____

ADDRESS: 532 Parkview Dr CITY: Detroit STATE: MI ZIP: 48214

PHONE: 248-225-9401 MOBILE: 248-225-9401 EMAIL: talia242@gmail.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:
 Based on the scope of work, additional documentation may be required.
 See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: 03/23/2021

PROPERTY INFORMATION

Address: 532 Parkview Dr Floor: 3 Suite#: Stories: 3
AKA: Lot(s): Subdivision: Joseph Berry
Parcel ID#(s): 19006133.002L Total Acres: .28 Lot Width: Lot Depth:
Current Legal Use of Property: single family home Proposed Use: single family home
Are there any existing buildings or structures on this parcel? [X] Yes [] No

PROJECT INFORMATION

Permit Type: [] New [X] Alteration [] Addition [] Demolition [] Correct Violations
[] Foundation Only [] Change of Use [] Temporary Use [] Other:
[] Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)
tear off concrete barrel tile roof down to roof planks. Repair rotten plans as needed. Install new sheathing on NW and S side of home.

Install a synthetic underlayment, ice guard around eaves and around chimneys. Install flashing as needed. Install a steel roofing system (barrel style), that comes with a 50 year warranty. New ventilation at ridge. Built in copper gutters will remain as well as copper valleys. Downspouts will not be disturb

[] MBC use change [] No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

[] HVAC/Mechanical [] Electrical [] Plumbing [] Fire Sprinkler System [] Fire Alarm

Structure Type

[] New Building [X] Existing Structure [] Tenant Space [] Garage/Accessory Building
[] Other: Size of Structure to be Demolished (LxWxH) cubic ft.

Construction involves changes to the floor plan? [] Yes [X] No

(e.g. interior demolition or construction to new walls)

Use Group: Type of Construction (per current MI Bldg Code Table 601)

Estimated Cost of Construction \$ 47,000 By Contractor \$ By Department

Structure Use

[X] Residential-Number of Units: 1 [] Office-Gross Floor Area [] Industrial-Gross Floor Area
[] Commercial-Gross Floor Area [] Institutional-Gross Floor Area [] Other-Gross Floor Area

Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? [] No

Permit Description:

Permit #:

Current Legal Land Use: Proposed Use:

Permit#: Date Permit Issued: Permit Cost: \$

Zoning District: Zoning Grant(s):

Lots Combined? [] Yes [] No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner

Property Owner/Homeowner is Permit Applicant

Name: Natalia Pruchniak Company Name: _____

Address: 532 Parkview Dr. City: Detroit State: MI Zip: 48214

Phone: 248-225-9401 Mobile: _____

Driver's License #: P625622020734 Email: talia242@gmail.com

Contractor

Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: Natalia Pruchniak Signature: *NPruchniak* Date: 03/23/2021
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 _____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: Natalia Pruchniak Signature: *NPruchniak* Date: 03/23/2021
(Permit Applicant)

Driver's License #: P625022020734 Expiration: 09/22/2023

Subscribed and sworn to before me this _____ day of _____ 20 _____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



STAFF REPORT: 3/10/2021 MEETING

PREPARED BY: J. ROSS

APPLICATION NUMBER: #21-7137

ADDRESS: 532 PARKVIEW

HISTORIC DISTRICT: BERRY SUBDIVISION

APPLICANT: NATALIA PRUCHNIAK

PROPERTY OWNER: NATALIA PRUCHNIAK

DATE OF PROVISIONALLY COMPLETE APPLICATION: 02/22/2021

DATE OF STAFF FIELD VISIT: 3/5/2021

SCOPE: REPLACE EXISTING CONCRETE TILE ROOF WITH NEW ASPHALT SHINGLE ROOF

EXISTING CONDITIONS

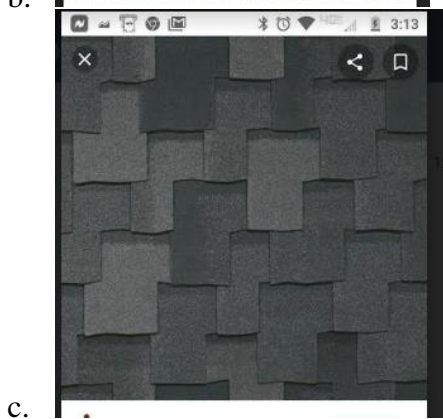
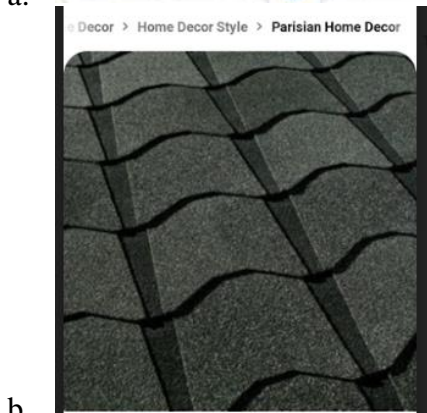
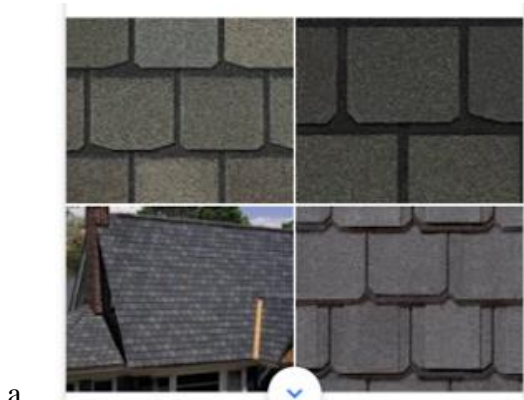
The dwelling located at 532 Parkview is a carriage house that was erected in 1911 to the rear of the Marvin Stanton House, also known as “The Castle.” The building is 2 ½- stories in height and has red brick exterior walls with limestone detailing. The home is topped with a steeply-pitched, complex hipped roof which features a crenelated turret, shed and hipped-roof dormers, a hipped-roof vented cupola, and integrated copper gutters and copper flashing. The west/front portion of the roof is covered with thin-profile, barrel-shaped tiles that are finished with concrete. According to the project’s contractor, the tiles are concrete. Ridges are detailed with clover-shaped concrete tiles with concrete “bump”-shaped tiles found at most apex points. A decorative concrete finial tops the roof vented cupola. Asphalt shingles were added to the rear/east face of the roof surface at some point in the past. A review of the designation file for the property revealed that this work was not reviewed by the HDC. The front and sidewalls at the rooftop dormers are covered with red clay tiles shingles.



532 Parkview, current appearance

PROPOSAL

With the current submission, the applicant is seeking the Commission’s approval to replace the existing concrete tile and asphalt-shingle roofing with new dimensional asphalt shingles. See the included brochure that outlines the product for which the applicant is seeking approval and the image of the below three images of the product options which she has submitted:



The color of the asphalt roofing which she would like to install is “Weathered Wood”

STAFF OBSERVATIONS AND RESEARCH

- It is staff's opinion that the remaining clay tile roof system (to include the concrete barrel tiles, ridge tiles, tile "bumps", and finials; integrated copper gutters; and clay tiles at the dormer and vent hood walls) is a distinctive, character-defining feature at the property
- The application does not address the building's remaining integrated copper gutter system
- The application does not address the clay tile found at the dormer and vent hood front and side walls
- The application does not address the finial at the top of the vent hood
- The owner has stated that she wishes to replace the current roof due to its poor condition. Specifically, the owner has noted the following:

Several years ago I did make some repairs in an effort to maintain the roof "as is" and that repair estimate is included but ultimately, as I was warned by the contractor, the repairs failed. Several contractors at that time would not warranty work past 1 year since they were not convinced that repairs were viable. They recommended, at that time, I replace the roof completely.

Currently the roofing material (as shown in the photos) has a number of cracks, chips, and holes. You will also be able to see a number of areas where the tiles have fallen off of the roof onto the ground. The tiles that have fallen off have been found in common foot traffic areas. Additionally you will see that I have a number of interior issues such as mold and drywall failure caused by water damage and the animals that have been nesting under the roof including but not limited to raccoons and birds. I'm not sure what additional structural damage has occurred under the rest of the existing drywall.

- Re: the new roof which the applicant proposes to install, the property owner has stated the following:
 - *The current estimate of \$34k is about as far as my budget can stretch for the roof replacement unless there are subsidies and grants available to replace the concrete tile roof in an effort to maintain the integrity of the neighborhood. I also anticipate significant costs for mold remediation that will need to be addressed separately once the project is complete.*
- The owner has submitted a number of photos in order to graphically demonstrate the locations of roof failure and the extent of interior damage which has resulted from the deteriorated roof. Staff did request that the applicant submit a narrative which identified the specific areas of deterioration/roof failure as well as a **current** estimate for in kind repair from a qualified contractor to support the photographic documentation/so that the Commission can understand the full extent of the roof's failure. This info was not included with the current application materials
- The application does include six quotes (generated in 2019 and earlier) which provide cost estimates for roof repairs, which appear to include full replacement with asphalt shingles, full replacement with metal, and spot repairs of the existing concrete tiles. Specifically, the applicant has provided the following narrative around the six submitted estimates:

- \$78,353.28 - *The Erie Metal roof was for metal tiles that match the shape and style of the existing concrete tile roof. This would replace 3 sides. This was going to be financed through Erie Construction after significant advertising discounts. They were unwilling to work with a historic commission and ultimately cancelled the contract after speaking to a representative at the hdc who asked for 8 additional estimates for the work, is what I was told by the company's representative.*
- \$34,000- *The estimate from Weatherboy Construction is current and would be for a tear off of the concrete tile and decking as well as replacement with asphalt tile on 3 sides. The color of the shingle matches the existing color of the concrete tile.*
- \$54,000 - *The estimate from Renaissance Restoration was for tear off and replacement of 3 sides of the roof with asphalt shingles that matched 530 Parkview (which is in front of my house). They were asked to submit 8 additional estimates and ultimately cancelled the contract after speaking with someone at the historic commission, is what I was told by the company's representative.*
- \$785 - *The estimate from Glenn GiBeart was for patching the existing concrete tile to stop leaks. This work was completed and the repairs lasted for about a year before different parts of the concrete roof started leaking.*
- \$4,000 - *The Geometric Roofing estimate was for repair of the west side of the concrete roof but they stated they could only guarantee the work for 1 year because of the deteriorated state of the concrete tiles. They were concerned any patching they would do would not last past the one year point and would start leaking again. They proposed removing large sections of concrete roofing, replacing the decking, and then re-attaching any healthy tiles.*

The applicant has stated noted the following re: her effort to gather estimates to repair/replace the existing roof:

- *Mr. Roof also came out for an estimate but the pitch of the roof was too steep and they were not able to do the job.*
 - *Hanson's Roofing would not come out to even do an estimate. They were unable to address a roof of this pitch or with any historic standing. They were also not comfortable tearing off the concrete tiles.*
 - *Kearns Brothers Construction who has done several roofs in the neighborhood would not come out to estimate tearing off a concrete tile roof because it was out of their wheelhouse of experience.*
- As previously noted, the home which sits to the front/west of 532 Parkview is known as The Castle (530 Parkview). The Castle/ 530 Parkview had a similar until 2014, when the HDC approved its removal and replacement with new Monaco GAF designer dimensional asphalt shingles [monaco gaf dimensional designer shingles - Bing images](#). These shingles are meant to “replicate” the look of barrel masonry tiles. While the barrel clay tiles at 530 Parkview were replaced, the integrated copper gutter system and the clay tiles at the dormer front and sidewalls have been retained

ISSUES

- The applicant has submitted several exterior photos and interior photos to demonstrate areas of roof failure. However, it is unclear to staff if the roof is suffering from localized areas of deterioration or if the entire roof has failed (due to the lack of narrative support to provide context to the submitted photos)
- The application does not indicate the full scope of the proposed project, ie. it is unclear to staff if the entire system (to include the cement barrel clay tiles, ridge tiles, tile “bumps”, and finials; integrated copper gutters; and clay tiles at the dormer and vent hood walls) will be removed or if merely the concrete barrel tiles will be replaced with asphalt shingles.
- As previously noted, the roof is a distinctive character-defining feature of the home. As per the Standards, if the current roof is deteriorated to the extent that it cannot be repaired, the replacement must replicate the existing historic-age roof. It is staff’s opinion that the proposed asphalt roof products do not adequately replicate the historic-age roof and therefore does not meet the Standards

RECOMMENDATION

As previously noted, it is staff’s opinion that the roof is a distinctive, character-defining feature at the home. Also, the full extent of deterioration/roof failure at 532 Parkview and the full replacement scope is not currently clear to staff. Finally, it is staff’s opinion that the proposed new asphalt shingle roofing is not an adequate replication of the current barrel clay tile roof system at 532 Parkview if the Commission does determine that the roof is deteriorated beyond repair. Staff therefore recommends that the Commission issue a Denial for the project as proposed because it does not meet the Secretary of the Interior Standards for Rehabilitation. In particular, Standards #:

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*
5. *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence*



532 Parkview (left) and 530 Parkview (right)



530 Parkview. Note, newer asphalt shingle roof





























































Images	1
Length Diagram	4
Pitch Diagram	5
Area Diagram	6
Notes Diagram	7
Report Summary	8

MEASUREMENTS

Total Roof Area = 4,270 sq ft

Total Roof Facets = 19

Predominant Pitch = 14/12

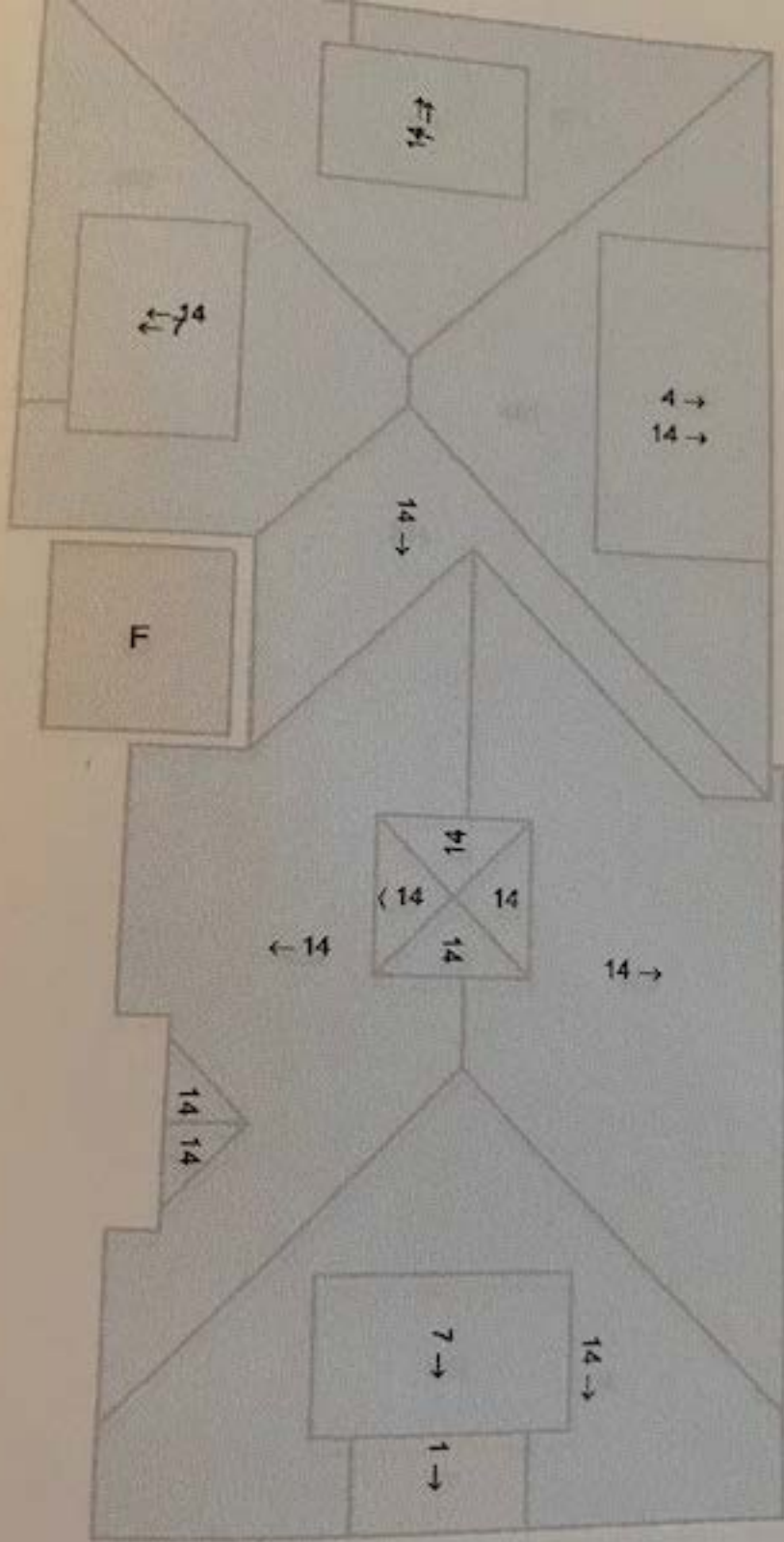
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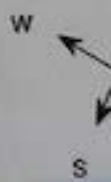
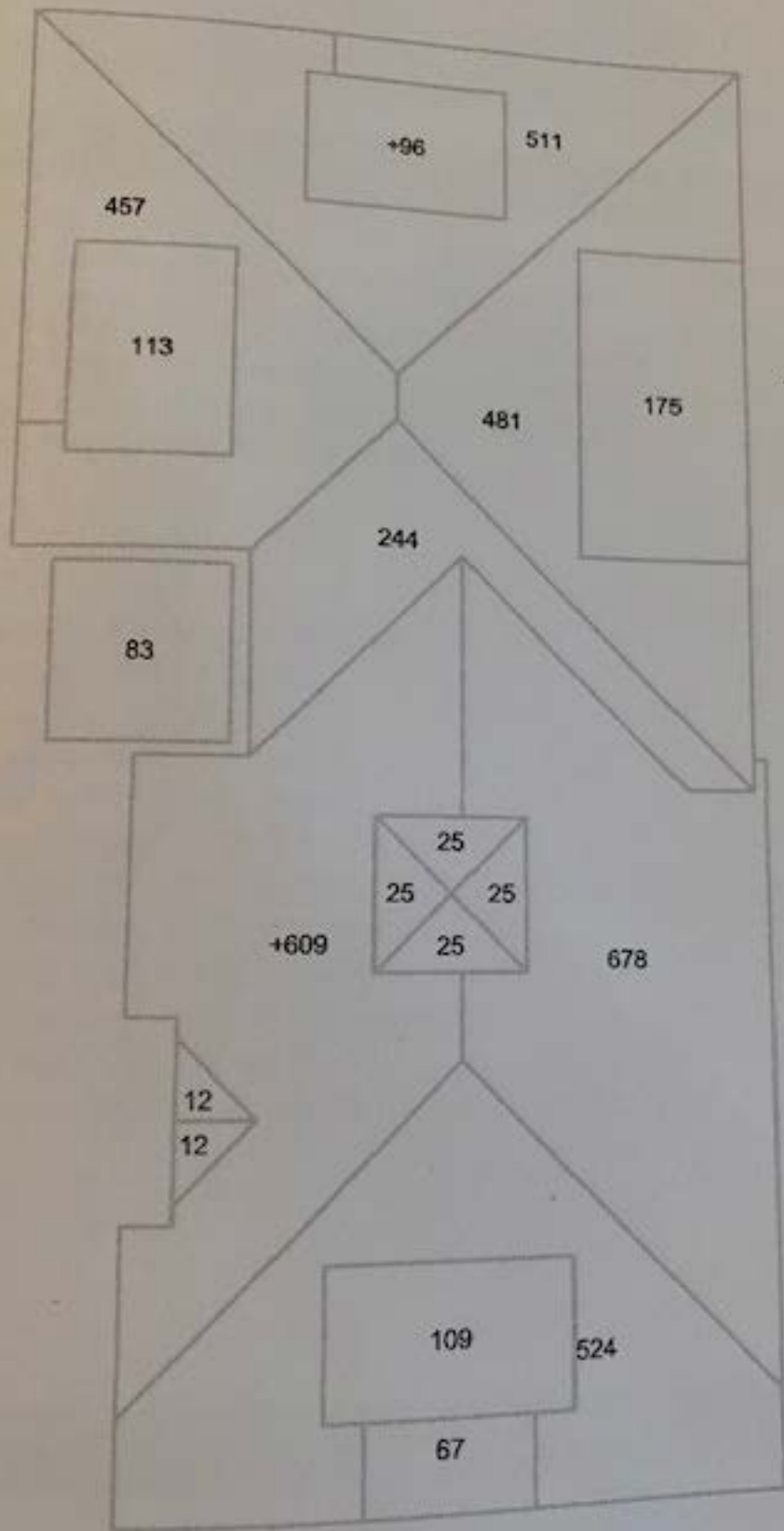
Total Ridges/Hips = 239 ft

Total Valleys = 58 ft

Total Rakes = 111 ft

Total Eaves = 287 ft





REPORT SUMMARY

Areas per Pitch

Roof Pitches	0/12	1/12	4/12	7/12	14/12
Area (sq ft)	83.4	67.0	175.2	317.2	3627.3
% of Roof	2%	1.6%	4.1%	7.4%	84.9%

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

Waste Calculation Table

Waste %	0%	10%	12%	15%	17%	20%	22%
Area (sq ft)	4,270	4,697	4,782	4,911	4,996	5,124	5,209
Squares	42.7	47.0	47.8	49.1	50.0	51.2	52.1

This table shows the total roof area and squares (rounded up to the nearest decimal) based upon different waste percentages. The waste factor is subject to the complexity of the roof, individual roofing techniques and your experience. Please consider this when calculating appropriate waste percentages. Note that only roof area is included in these waste calculations. Additional materials needed for ridge, hip, valley, and starter lengths are not included.



Lengths, Areas and Pitches

Ridges = 27 ft (4 Ridges)
 Hips = 212 ft (10 Hips).
 Valleys = 58 ft (4 Valleys)
 Rakes* = 111 ft (14 Rakes)
 Eaves/Starter** = 287 ft (21 Eaves)
 Drip Edge (Eaves + Rakes) = 398 ft (35 Lengths)
 Parapet Walls = 37 (4 Lengths).
 Flashing = 63 ft (11 Lengths)
 Step flashing = 182 ft (30 Lengths)
 Total Area = 4,270 sq ft
 Predominant Pitch = 14/12

Property Location

Longitude = -82.9824785
 Latitude = 42.3580033

Notes

This was ordered as a residential property. There were no changes to the structure in the past four years.

Total Roof Facets = 19

Parapet Wall Area Table

Wall Height (ft)	1	2	3	4	5	6	7
Vertical Wall Area	37	74	111	148	185	222	259

This table provides common parapet wall heights to aid you in calculating the total vertical area of these walls. Note that these values assume a 90 degree angle at the base of the wall. Allow for extra materials to cover cant strips and tapered edges.

Rakes are defined as roof edges that are sloped (not level).
 Eaves are defined as roof edges that are not sloped and level.


 Renaissance Restorations, Inc.
 www.renovation.com
 211 E. Merrill St., #413
 Birmingham, MI 48009
 Tel. 313.585.7852

Contract Proposal / Agreement

This contract is the whole document for work described below.
 Description of work to be performed is to be detailed as follows:

*Roof Replacement: Historic Clearance / Permit /
 Dumpster / Strip Roof / Replace Rotted Wood /
 Ice & Water Shield / Synthetic Felt / Drip Edge /
 Shingles to match. Castle includes labor
 and material, all flashing.*

*TOTAL COST \$54,600 -
 Deposit*

- No other work permitted without a written addendum (change order)
- All construction means and methods are the responsibility of Renaissance Restorations, Inc.
- All disputes to be handled by Better Business Bureau Binding Arbitration
- Renaissance Restorations, Inc., may terminate contract for non-payment of progress payments

Accepted:
 Renaissance Restorations, Inc.

By: *Jamie Craig*
 Date: *3/10/19*

Proposal Accepted:

Customer(s)
 Name: *NATALIA PRUCHNIAK / OWEN MASON*
 Address: *532 PARKVIEW*
 City: *DETROIT, MI 48214*
 Tel. *248-225-9401 / 313-433-2962*
 Acceptance Signature: *[Signature]*
 Date: *3/10/19*

Notice of Right to Cancel

Date: _____

You may CANCEL this transaction, without any penalty or obligation, within THREE BUSINESS DAYS from the above date. If you cancel, any property traded-in, any payments made by you under the contract or sale, and any negotiable instrument executed by you will be returned within TEN BUSINESS DAYS following receipt by the seller of your cancellation notice, and any security interest arising out of the transaction will be canceled. If you cancel, you must make available to the seller, at your residence, in substantially as good condition as when received by you, any goods delivered to you under this contract or sale; or you may, if you wish, comply with the instructions of the seller regarding the return shipment of the goods at the seller's expense and risk. Any deposits made shall not be refunded after 72 hours. To cancel this transaction, mail or deliver a signed and dated copy of this cancellation notice, or any other written notice or telegram, to: Renaissance Restorations, Inc. at 211 E. Merrill St. #413, Birmingham, MI 48009, NO LATER THAN MIDNIGHT OF _____ (Date). I

HEREBY CANCEL THIS TRANSACTION. Buyer's Signature: _____

Date: _____


 Renaissance Restorations, Inc.
 www.renovation.com
 211 E. Merrill St., #413
 Birmingham, MI 48009
 Tel. 313.585.7852

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Accepted:
 Renaissance Restorations, Inc.

By: *Jamie Craig*
 Date: *3/10/19*

Proposal Accepted:

Customer(s)
 Name: *NATALIA PRUCHNIAK / OWEN MASON*
 Address: *532 PARKVIEW*
 City: *DETROIT, MI 48214*
 Tel. *248-225-9401 / 313-433-2962*
 Acceptance Signature: *[Signature]*
 Date: *3/10/19*

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 HEREBY CANCEL THIS TRANSACTION. Buyer's Signature: _____ Date: _____

Greene Grubert
250 Elmcrest
Sterling Heights
Cell No. 5868558842

Contractors Invoice

TO:	WORK PERFORMED AT:	
	Owen Wilson 532 PARK VIEW	
DATE:	YOUR WORK ORDER NO.	OUR BID NO.
OCT 11-2014		

DESCRIPTION OF WORK PERFORMED

- 1) Repair old tile approx 3 to 6 Replace with
OK that customer has in basement.
at BACK OF tower, center of west side
- 2) North side Repair tile at chimney and around
Dinner at Gutter and west of Dinner with old
GOOD TILE. REPLACE GAPS AND REPAIR ~~to~~ Holes with
Cement.
- 3) ~~NO~~ NO WARRANTY as to old Roof tile maybe
have several cracks Real Fine.
- 4) Put 3 to 2 ROOF BRACKETS AND LEAVE PERMIT ON ROOF
CUSTOMER REQUEST.

- \$785.00

Owen Wilson

All Material is guaranteed to be as specified, and the above work was performed in accordance with the drawings and specifications provided for the above work and was completed in a substantial workmanlike manner for the agreed sum of _____

Dollars (\$ _____).

This is a Partial Full invoice due and payable by:

in accordance with our Agreement Proposal

No. _____

Dated _____

FROM:

GEOMETRIC ROOFING

148 Comet Street • Mt. Clemens, MI 48043

Office: (586) 468-8799 Cell: (586) 292-7258

**CONTRACTOR'S
INVOICE**

#10504

TO:

Owen Watson
ELI

248 808 9071

WORK PERFORMED AT:

532 Parkview
Detroit, MI

DATE

9-30-14

YOUR WORK ORDER NO.

OUR BID NO.

DESCRIPTION:

Front Problem saddle area restoration $\approx 400\text{ft}^2$

- A) Remove Spanish style cement tile from 3 rows to the right of "Rook" to the peak, then left to valley, left again to hip viewed from front, i.e. ... entire saddle related tiles.
- B) Remove old furring strip & tarpaper (15LB).
- C) Remove All scrap - not tiles if excessive.
- D) Install deck wood up to 20ft. 1x6 @ 3/ft over.
- E) Install Grace ice & water to copper valley & rest.
- F) Install GAF ice & water shield to rest.
- G) Install new furring strips.
- H) Reinstall tiles to respective positions and inc. yours too.
- I) GUARANTY labor for 1 year.

All material is guaranteed to be specified, and the above work was performed in accordance with the drawings and specifications provided. The above work was completed in a substantial workmanlike manner for the agreed sum of _____ Dollars (\$4000.00)

This is a Partial Full invoice due and payable by: _____ / _____ / _____ in accordance with our

Agreement Proposal No. _____ Dated _____ / _____ / _____

rie Construction Mid-West, Inc. - OH - 31927

Address:

Bank (Lender)
1100 East 6900 South, Suite 510
Salt Lake City, Utah 84121
(801) 284-7065

512 PARKVIEW DR
Detroit, MI 48214

This agreement is a simple interest note and security agreement ("Note"). The Note will finance all or a portion of the purchase price of the property (the "Work") from the Seller identified above. In this Agreement, the words "you" and "your" refer to the Borrower and Co-Borrower, "us," "our," and "Lender" refer to Medallion Bank, a Utah industrial bank, and its assignees, Medallion Bank, and not the Seller.

You promise to pay to us the principal sum identified below as the "Amount Financed" plus interest at the simple annual interest rate of _____ Annual Percentage Rate ("Interest Rate"). You promise to make payments in accordance with the "Payment Schedule" below on the _____ of each month as the first payment due date. Payments and other credits will be applied as described on page two of this Note in accordance with applicable law. You promise to pay all other amounts that may become due under this Note. Each person who signs this Note as a Borrower is individually liable for the sums owed under this Note.

The Note will be funded in a single disbursement as soon as reasonably possible following the "Completion Date," which shall be the date on which we receive the Work and our receipt of a properly executed Completion Certificate. Interest will begin to accrue upon disbursement of the Note. Lender will not be obligated to disburse the Amount Financed if the Completion Date does not occur within 120 days after the date of this Agreement. The event exists that constitutes a default under this Note.

As security for this Note, you are giving Lender a purchase money security interest in the following Property, and all additions thereto: _____ (the "Property")

TRUTH-IN-LENDING DISCLOSURES

PERCENTAGE	FINANCE CHARGE	Amount Financed	Total of Payments
_____ %	The dollar amount the credit will cost you. \$ 28,697.28	The amount of credit provided to you or on your behalf. \$ 49,656.00	The amount you will have paid after you have made all payments as scheduled. \$ 78,353.28

YOU WILL BE:

Amount of Each Payment	When Payments Are Due
544.12	Monthly, beginning approximately 3 months after interest begins to accrue. We will inform you at the time the Amount Financed is disbursed of the day of each month on which payments are due.

Payment is not paid in full within 10 days after it is due, we will charge you the greater of \$30 or 5% of the unpaid amount.

Security Interest. You are giving a security interest in the Property being purchased.

You will repay all or any portion of your debt under this Note if you do not pay the full amount of the Note by the scheduled date.

Additional Information. Read this Agreement for additional information about security interests, non-payment, default, prepayment refunds, and any required repayment in full before the scheduled date.

Not Available

Deferred Payment Feature

3 months

As provided above, this Note contains a deferred payment feature. The deferred payment feature allows you to defer the first payment from the disbursement date and be added to the Note. Your first payment will be due at the end of the first month. For example, if you select a three month deferred payment feature, with payments due each month thereafter until the end of the third month, the first payment on a three month deferred payment feature would be due three months after the Amount Financed is disbursed. Payments for principal and interest payments are larger than payments for interest only payments were selected. You will owe interest on the Amount Financed prior to the first payment due date.

ITEMIZATION OF THE AMOUNT FINANCED

1. Amount Given to You Directly	\$ 0.00
<i>Amount Paid to Others on Your Behalf</i>	
<i>Erie Construction Mid-West, Inc.</i>	
a. Seller - OH - 31927	\$ 49,656.00
b. Public Officials: Filing Fees (for perfecting security; see page two)	\$ _____
c. To: _____	\$ _____
Total Amount Paid to Others on Your Behalf (a+b+c)	\$ 49,656.00
2. Amount Financed (1+2)	\$ 49,656.00

ERIE CONSTRUCTION MID-WEST, INC.

4271 Monroe Street, Toledo, Ohio 43606
 Telephone: 800/556-4200
 Customer Service: 800/684-4628
<http://www.erieconstruction.com>

BUYER(S) NAME(S)	DATE OF CONTRACT	REFERENCE NUMBER
Duane Matsou Natalia Pruchnick	10/8/18	
STREET ADDRESS, CITY, STATE, AND ZIP CODE		
332 Parkview Detroit M. 48214		
HOME TELEPHONE NUMBER	BUSINESS/MOBILE TELEPHONE NUMBER(S)	
248 225 9401		

Buyer(s) listed above hereby jointly and severally agrees to purchase the goods and/or services listed below, in accordance with the prices and descriptions on the front and reverse of this Specification Sheet and the front and the reverse of the accompanying CUSTOM REMODELING AGREEMENT, of which this Specification Sheet is a part. Additional terms and conditions are on the reverse of this Specification Sheet.

JOB TO BE a remove and reshingle
 Eric To Dispose of old Roofing
 Eric To Prep Roof
 Eric To Vent Roofing
 Eric To Flush Roof + Trim
 Eric To install 5/8" - under - lay w/ 1" gap
 Eric To install specific g-^{1" gap} - ditto - under tile Barnd
 Metal roofing system. Eric @
 Price will include all material labor warranty
 permit job disposal and site cleanup

Buyer(s) has read and understood by and between the parties that this Specification Sheet, along with the CUSTOM REMODELING AGREEMENT, constitutes the entire understanding between the parties, and there are no verbal understandings changing or modifying any of the terms of this Specification Sheet may not be changed or its terms modified or varied in any way unless such changes are in writing and signed by both Buyer(s) and Contractor. Buyer(s) hereby acknowledges that Buyer(s) has read the front and reverse of this Specification Sheet.

080172004JC

ERIE CONSTRUCTION MID-WEST, INC.

NAME	LIC. #	SIGNATURE	DATE
Jeff Winkler			10/8/18
Duane Matsou			10/8/18
Natalia Pruchnick			10/8/18

Weather Boy Co. LLC
248-200-8771

Contractors Invoice

TO: NITALLA 532 Parkview Dr Detroit MI 48214		WORK PERFORMED AT: 532 Parkview Detroit MI 48214
DATE:	YOUR WORK ORDER NO.:	OUR BID NO.:

DESCRIPTION OF WORK PERFORMED

Tear off existing slate roof down to plank roof deck
Repair roof deck as needed install a 7/8" OSB Board
on roof over roof planks install 100x4000 shield
on all eaves around chimney and valleys
Install a weather wood Den Shingle on roof
new flashing will be installed in all areas needed
a drip edge metal will be installed on all rake & eaves
new vents will be installed as needed
Gutters will be repaired as needed
Install new flat roof on tower
6 year warranty on roof
all trash & old roofing will be hauled away

TOTAL COST OF JOB
\$34,000.00

AFTER FIRST WEEK
AN ADDITIONAL \$1,000 FROM BSA

All Material is guaranteed to be as specified, and the above work was performed in accordance with the drawings and specifications provided for the

above work and was completed in a substantial workmanlike manner for the agreed sum of \$34,000.00

\$17,000 Deposit 17,000 Bal Dollars (\$34,000.00)

This is a Partial Full invoice due and payable by: _____ Month _____ Day _____ Year _____

in accordance with our Agreement Proposal No. _____ Dated _____ Month _____ Day _____ Year _____

BEAUTY • QUALITY
PERFORMANCE



Cambridge™

IKO.COM



IKO CAMBRIDGE ARCHITECTURAL SHINGLES



QUALITY YOU CAN FEEL

Touch it. Feel its weight. Check that the cut is precise. IKO Cambridge shingles are built heavy-duty. It's a difference you can see and feel.

At IKO, we never take quality for granted. And neither should you.

Quality features are built into every Cambridge shingle.



BUILT-IN ALGAE-RESISTANCE

We embed colorfast Algae Resistant granules into our shingles to help inhibit the growth of blue-green algae that can cause unsightly black stains, streaks and discoloration.

THE ONLY TIME IT'S GOOD TO BE TACKY

You want your new shingles to stay put. If the wind lifts them up, water can sneak in underneath and may cause a leaky roof. Our shingles have IKO's Fastlock™ sealant along their bottom edges. When activated by the sun's heat, it gets extra tacky and creates an even stronger bond to help ensure maximum protection against wind uplift, blow-off and water penetration.

BLOW-OFF PROTECTION

Printed nail line guides installers to position and fasten the shingles correctly to help keep them on the roof and prevent them from blowing off in high wind.

THE SHINGLE'S CORE STRENGTH

IS ITS FIBERGLASS MAT. Our fiberglass mat is coated top and bottom with weathering resins, then we faced with colored granules. It's heavy-duty for exceptional durability and structural integrity.



Wind Resistant.

Torrential rain. High winds. Brutal cold, ice and snow. When extreme weather hits, you'll be safe and comfortable because you chose IKD Cambridge IR shingles with ArmourZone to protect your home and family.

Superior Protection.

IKD Cambridge IR shingles are engineered to provide superior protection against wind uplift and water penetration. Their resilient fiberglass mat is reinforced with IKD modified asphalt for exceptional flexibility and tear-resistance. These shingles offer a Class 4 Impact Resistance Rating, which IKD is pleased to present for the sole purpose of enabling

homeowners to obtain a discount on their home insurance premiums, if available in their area.

([®]This rating is not to be construed as any type of express or implied warranty or guarantee of the impact performance of this shingle by the manufacturer, supplier or installer.)

Exceptional Performance.

The performance and advanced design of IKD Cambridge IR shingles have been further elevated with the addition of ArmourZone. This special 1-1/4" reinforced nailing area provides incredible fastening power — strong enough to help the shingles resist nail pull-through even in high winds.



DRIFTWOOD

CHARCOAL GREY

EARTHTONE CEDAR

WEATHERWOOD

COLORS	Eastern Canada & U.S.A.		Western U.S.A.		Western Canada	
	Cambridge	IR [®]	Cambridge	IR [®]	Cambridge	IR [®]
Dark Black	○	○	○	○	○	○
Charcoal Grey	○	○	○	○	○	○
Harvest Gold	○	○	○	○	○	○
Dark Grey	○	○	○	○	○	○
Dark Brown	○	○	○	○	○	○
Greenwood	○	○	○	○	○	○
Orchard	○	○	○	○	○	○
Agave/Melange	○	○	○	○	○	○
Earthstone/Cerise	○	○	○	○	○	○
Shades Blue	○	○	○	○	○	○
Vintage Green	○	○	○	○	○	○
THESE CAMBRIIDGE COLOR BLENDS ARE ONLY AVAILABLE IN SELECT SHIPPING AREAS:						
Nature Blue [®]	○					
Super White [®]	○		○			
Greenwood	○					
Panoramic [®]	○					

NOTE: Product and color availability may vary by region. Products with Home Depot, Home Depot Pro and Texas Department of Insurance logos are available. Please contact IKD for details.

*The impact rating is solely for the purpose of enabling residential property owners to obtain a reduction in their residential insurance premiums, if available. It is not to be construed as any type of express or implied warranty or guarantee of the impact performance of the shingle by the manufacturer, supplier or installer. For further detail concerning the FH-4472 standards, see <http://www.icca.com/industry/education/education-test-standards-impact-resistance/icc-4472-standards> as of 6/22/15.

[†]Limited availability in USA and Canada.

[‡]Super White is ODPF[®] listed and ENERGY STAR[®] qualified in USA.

PRO4

ROOFING COMPONENTS

BEAUTY. QUALITY. PERFORMANCE.

From the outside in.

Shingles are your home's first line of defense, but they protect, perform and look their best when you choose IKD PRO4 Roofing Accessories to go with them.



UltraHP[®]
ridge cap
ridge cap



Stunning beauty.

IKD ridge cap shingles protect the roof's vulnerable areas and create a breathtaking roofline, too. Choose our high profile IKD UltraHP[®] or Impact Resistant IKD UltraHP[®] IR[®] hip and ridge products. Or choose from among these pre-cut IKD hip and ridge products for the perfect finishing detail: IKD Hip and Ridge[™] IKD Hip & Ridge 12[™] or IKD Hip & Ridge Plus[™].

Underlying quality.

Protect your roof deck with high-quality IKD synthetic underlayments and help the eaves fend off water penetration caused by ice dams or wind-driven rain with effective IKD Ice & Water protectors.



Leading edge performance.

Pre-cut IKD Leading Edge Plus[™] starter strips give installers time, provide a straight guideline and give shingle edges a neater, more attractive appearance.



IKD Cambridge[®]

To ensure complete satisfaction, please view select full size shingles and synthetic roof underlayments in their water saturated state. Shingles available and properly selected synthetic underlayments and/or ice dam protectors may not accurately reflect shingle color and do not fully represent the entire color blend range for the impact of sunlight. The UltraHP[®] ridge cap shingles are available in Impact Resistant being tested against 120 lb which may be applied to the entire roof for the sole purpose of enabling homeowners using these shingles to obtain a 20% premium. If impact resistance is not desired to obtain a discount on their home insurance, IKD does not require insurance rated shingles to obtain a discount on their home insurance premium. If available in your area. This rating is not to be construed as any type of approval or implied warranty or guarantee of the impact performance of the shingle by the manufacturer, supplier or installer. The responsibility in this instance is related to the shingle by the manufacturer who assumes no responsibility for claims that may arise in this situation.

To find out more about Cambridge Architectural Shingles or additional IKD products, please call us at IKD Customer Support Center, a Professional Roofing Contractor in Cambridge, MA, or visit

Limited Service 1-888-IKD-ROOF (1-888-456-7663)

Canada 1-855-IKD-ROOF (1-855-456-7663)

Visit us online at IKD.COM



HARVARD SLATE

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

CITY OF DETROIT
PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVENUE, ROOM 808, DETROIT, MI 48226

DATE: 09.08.2020

PROPERTY INFORMATION

ADDRESS: 532 PARKVIEW DR. AKA: _____

HISTORIC DISTRICT: JOSEPH BERRY

SCOPE OF WORK: (Check ALL that apply)
 Windows/Doors Roof/Gutters/Chimney Porch/Deck Landscape/Fence/Tree/Park General Rehab
 New Construction Demolition Addition Other: _____

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: NATALIA PRUCHNIAK COMPANY NAME: _____

ADDRESS: 532 PARKVIEW DR. CITY: DETROIT STATE: MI ZIP: 48214

PHONE: 248.225.9401 MOBILE: 248.225.9401 EMAIL: TALIA242@GMAIL.COM

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:
Based on the scope of work, additional documentation may be required.
See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: 532 PARKVIEW DR. Floor: _____ Suite#: _____ Stories: 3
AKA: _____ Lot(s): _____ Subdivision: JOSEPH BERRY
Parcel ID#(s): 19006133.002L Total Acres: .28 Lot Width: _____ Lot Depth: _____
Current Legal Use of Property: RESIDENTIAL Proposed Use: RESIDENTIAL
Are there any existing buildings or structures on this parcel? [X] Yes [] No

PROJECT INFORMATION

Permit Type: [] New [X] Alteration [] Addition [] Demolition [] Correct Violations
[] Foundation Only [] Change of Use [] Temporary Use [] Other: _____
[] Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

REMOVAL OF ROOF + REPLACEMENT WITH NEW MATERIALS

[] MBC use change [] No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

[] HVAC/Mechanical [] Electrical [] Plumbing [] Fire Sprinkler System [] Fire Alarm

Structure Type

[] New Building [] Existing Structure [] Tenant Space [] Garage/Accessory Building
[] Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? [] Yes [] No
(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

[] Residential-Number of Units: _____ [] Office-Gross Floor Area _____ [] Industrial-Gross Floor Area _____
[] Commercial-Gross Floor Area: _____ [] Institutional-Gross Floor Area _____ [] Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? [] No

Permit Description: _____

Permit #: _____ Current Legal Land Use: _____ Proposed Use: _____

Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____

Zoning District: _____ Zoning Grant(s): _____

Lots Combined? [] Yes [] No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant

Name: NATALIA PRUCHNIAK Company Name: N/A
Address: 532 PARKVIEW DR. City: DETROIT State: MI Zip: 48214
Phone: 248-225-9401 Mobile: 248-225-9401
Driver's License #: P625622020734 Email: TALIA242@GMAIL.COM

Contractor Contractor is Permit Applicant

Representative Name: _____ Company Name: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Mobile: _____ Email: _____
City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: NATALIA PRUCHNIAK Signature: [Signature] Date: 9.8.20
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 _____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: NATALIA PRUCHNIAK Signature: [Signature] Date: 9.8.20
(Permit Applicant)

Driver's License #: P625622020734 Expiration: 09.22.2023

Subscribed and sworn to before me this _____ day of _____ 20 _____ A.D. _____ County, Michigan

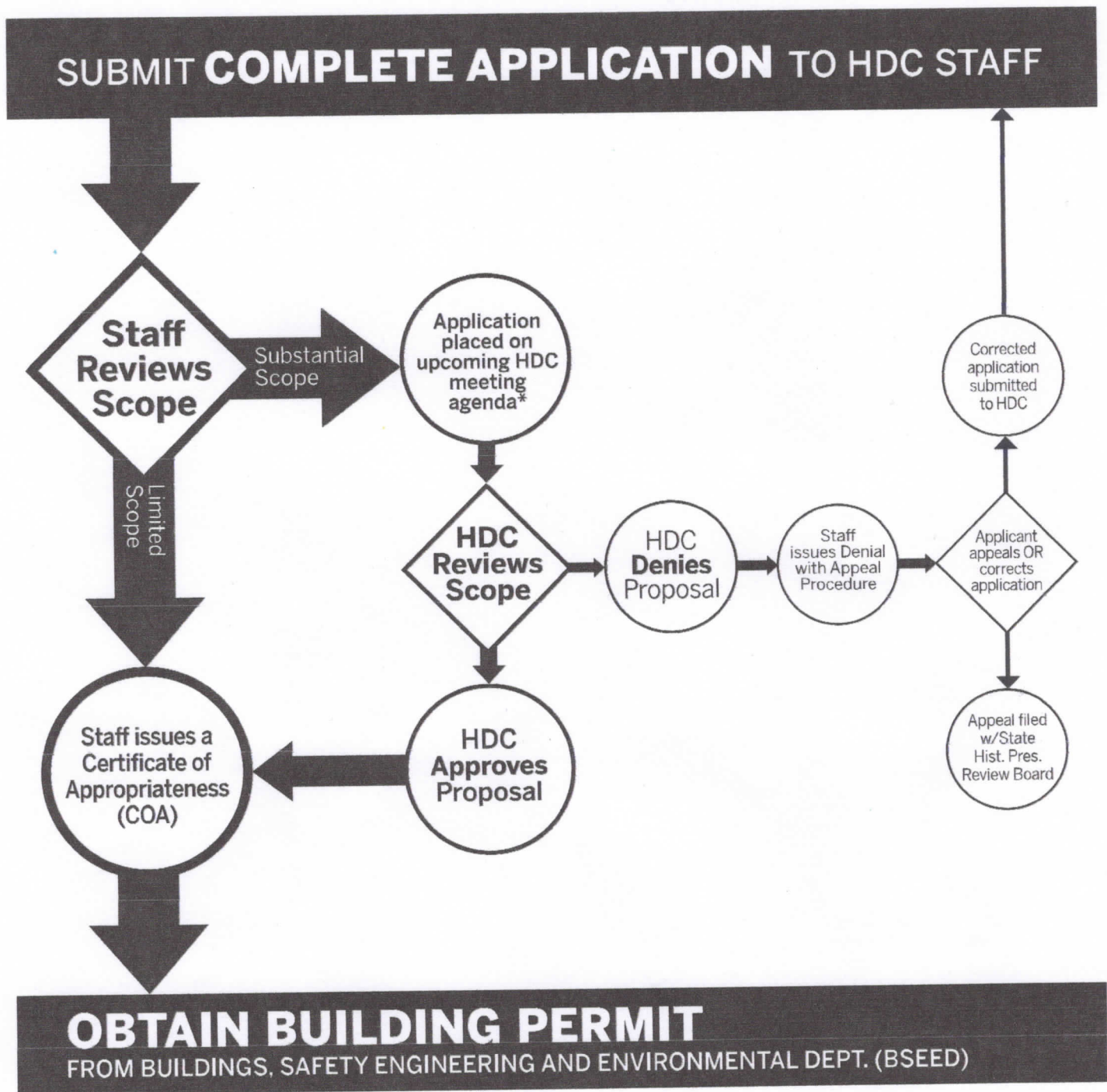
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



* THE COMMISSION MEETS REGULARY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH.
(SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT www.detroitmi.gov/hdc

532 Parkview Dr. Roof Replacement

Current state:

Currently the North, South, and West sides of the roof at 532 Parkview Dr. are covered in concrete tiles similar to a Spanish clay tile roof. The color is very close to "Weather Wood". Photos of the roof are included in the document "532ParkviewRoofPhotos". The concrete tiles are regularly breaking and falling off the roof to the ground in small pieces. There are multiple holes and some of the tiles slide down on top of each other. When any attempt is made to position them correctly or touch them in any way the tiles are breaking apart.

Proposal:

I would like to tear off the existing concrete tiles and repair/replace the water damaged wood underneath. The concrete tiles are no longer manufactured, and a clay tile roof would not only look quite different but would also be significantly outside of my budget.

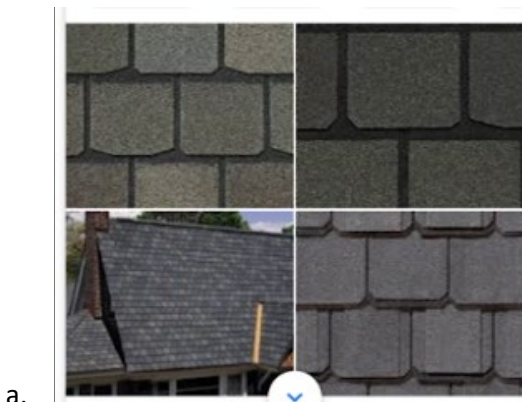
Scope:

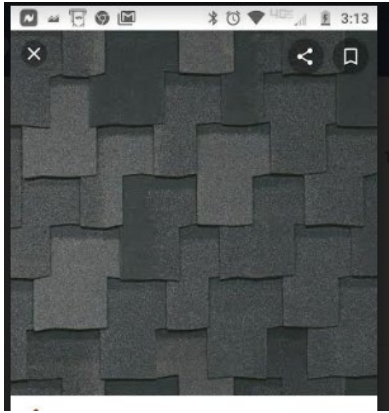
The scope of work would be as follows:

- Tear off existing roofing on the North, West, and South sides of the roof
- Add ice & water shield, drip edge, and synthetic shingles
- Add new flashing and vents as needed

Replacement Options:

The synthetic shingle options are below:

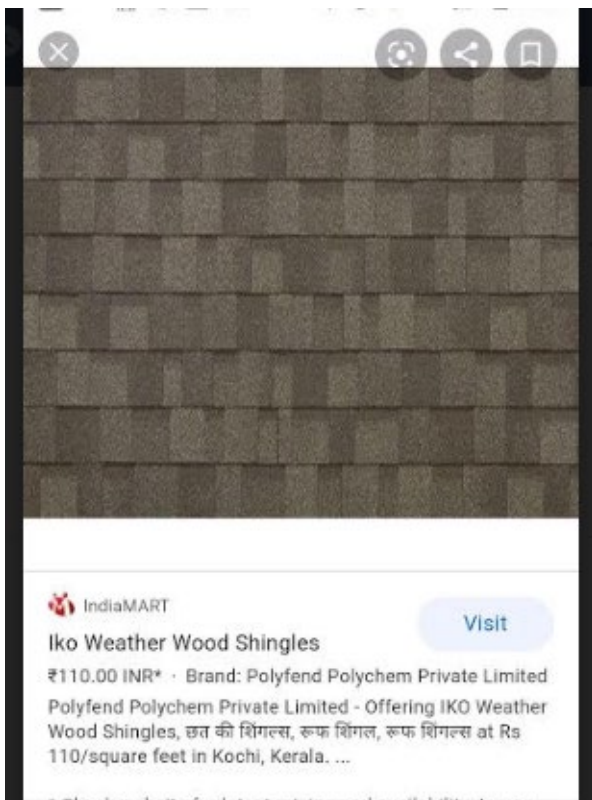




c.

Color:

These choices would all be ordered in the “Weather Wood” color pictured below to match the color of the current roofing.



Thank you,

Natalia Pruchniak

IDENTIFICATION (All Fields Required)

Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant
 Name: NATALIA BRUCHNIAK Company Name: N/A
 Address: 532 PALMVIEW DR. City: DETROIT State: MI Zip: 48214
 Phone: 248-225-9401 Mobile: 248-225-9401
 Driver's License #: P685622020734 Email: TALIA242@GMAIL.COM
 Contractor Contractor is Permit Applicant
 Representative Name: _____ Company Name: _____
 Address: _____ City: _____ State: _____ Zip: _____
 Phone: _____ Mobile: _____ Email: _____
 City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____
 Address: _____ City: _____ State: _____ Zip: _____
 Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT *(Only required for residential permits issued by the Commission)*

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: NATALIA BRUCHNIAK Signature: NB Date: 9.8.20
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be

Print Name: NATALIA BRUCHNIAK Signature: NB Date: 9.8.20
(Permit Applicant)

Driver's License #: P685622020734 Expiration: 09.22.2023

Subscribed and sworn to before me this _____ day of _____ 20____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523a, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Violators of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/build/rlaps for more information.



532 Parkview Roof Photos

Top



South Side



South Side



West Side



West Side



North Side



