

**STAFF REPORT 10-14-2020 REGULAR MEETING**

**PREPARED BY: A. PHILLIPS**

**APPLICATION NUMBER: 20-6886**

**ADDRESS: 515 PARKVIEW DRIVE**

**HISTORIC DISTRICT: BERRY SUBDIVISION**

**APPLICANT: GREG TITTLE, TITTLE BROTHERS CONSTRUCTION**

**PROPERTY OWNER: CYNTHIA BRADFORD**

**DATE PROVISIONALLY COMPLETE: 09-28-2020**

**STAFF SITE VISIT: 10-6-2020**

**SCOPE: REPLACE THE EXISTING FRONT PORCH WITH A NEW FRONT PORCH**

**EXISTING CONDITIONS**

The building located at 515 Parkview Drive is a 2 ½ - story single family residence constructed ca. 1922. The building is clad in brick which is painted in an off-white color and features painted and stained wood details. The symmetrical front façade includes a centralized front door flanked by two-story bays on either side. The front door features an ornate carved wood surround and is accessed via a small, uncovered front porch. The side gabled roof is covered in light brown asphalt shingles and includes an eyebrow dormer at the center of the front roof surface and a painted brick chimney at the left (south) end of the roof. A large, covered side porch exists directly off the south elevation of the house. The building retains the majority of its historic wood windows. The property includes a small garage situated at the northwest corner of the lot and is access via the driveway along the north elevation of the house.



*Photo taken by HDC staff – October 6, 2020*

**PROPOSAL**

With the current proposal, the applicant is seeking the Commission's approval **to replace the existing 8'W x 3'D front porch with a new 9'-6"W x 5'-0"D front porch per the attached drawings and application.** Included in the proposal are the following scope items:

- New porch base is to be constructed of brick to match existing brick size of the house with 4" concrete slab deck.  
(3) new steps to have brick risers with limestone treads.

## **STAFF OBSERVATIONS & RESEARCH**

- Berry Subdivision was designated in 1978.

## **ISSUES**

- The proposal for general repairs as well as the demolition of the existing porch and the construction of a new, slightly larger porch was submitted and heard by the Commission at the regularly scheduled meeting held on September 9, 2020 (#20-6835). However, at that meeting, the Commission determined there was not enough information to make a decision regarding the proposed larger porch. Ultimately, the Commission issued a **Certificate of Appropriateness (COA)** for the work items listed below, including the replacement of the front porch to match the size of the existing porch and no larger. Additionally, the Commission informed the applicant that should the applicant prefer to replace the porch with a larger porch, a scaled elevation of the front façade was required to consider the application complete and put back before the Commission at a later meeting. The following items were previously approved and do not require additional review by the Commission:
  - **Demolish existing 8'W x 3'D front porch and (3) steps in their entirety and replace with a new porch.**
  - **Perform the following general repairs:**
    - Remove existing wood gutter located at the right (north) roofline of the front façade
    - Remove and replace damaged wood at southern most windows and sills at second floor of right (north) bay.
    - Remove and replace a few pieces of cedar siding at left (south) bay.
    - Replace broken glass in window located on left (south) elevation.
- **With the following conditions:**
  - New aluminum railings are to be black in color
  - Any general repairs that include replacement of existing/historic material should be replaced in-kind to match existing material, design, dimension, color, and finish.
  - The deck of the reconstructed porch must be 8'W x 3'D in size to match the size of the deck of the existing porch.
  - The applicant shall revise the submission to reflect the updated railing and submit to HDC staff for review and approval prior to pulling the building permit for the project.
- There is a discrepancy in the documented dimensions of the existing front porch between the previous submission and the current submission. The previous submission documents the existing porch as 8'W x 3'D while the current drawings document the existing porch as 7'0"W x 3'-6"D. The applicant has confirmed that the correct dimensions of the existing porch are 8'W x 3'D.
- While the existence of a front porch is a character-defining feature of the property, neither the materials nor the construction of the existing porch, steps, and railings are historically significant to the property.

## **RECOMMENDATION**

It is staff's opinion that the work included in this application retains and preserves the historic character of the building, its site, and setting. Staff therefore recommends that the Commission issue a Certificate of Appropriateness as the proposed work meets the Secretary of the Interior's Standards for Rehabilitation.



88

JEFFERSON AV. E.

10" N. PIPE 90  
42" N. PIPE  
42" N. PIPE

FISKE DRIVE (AV.)

101

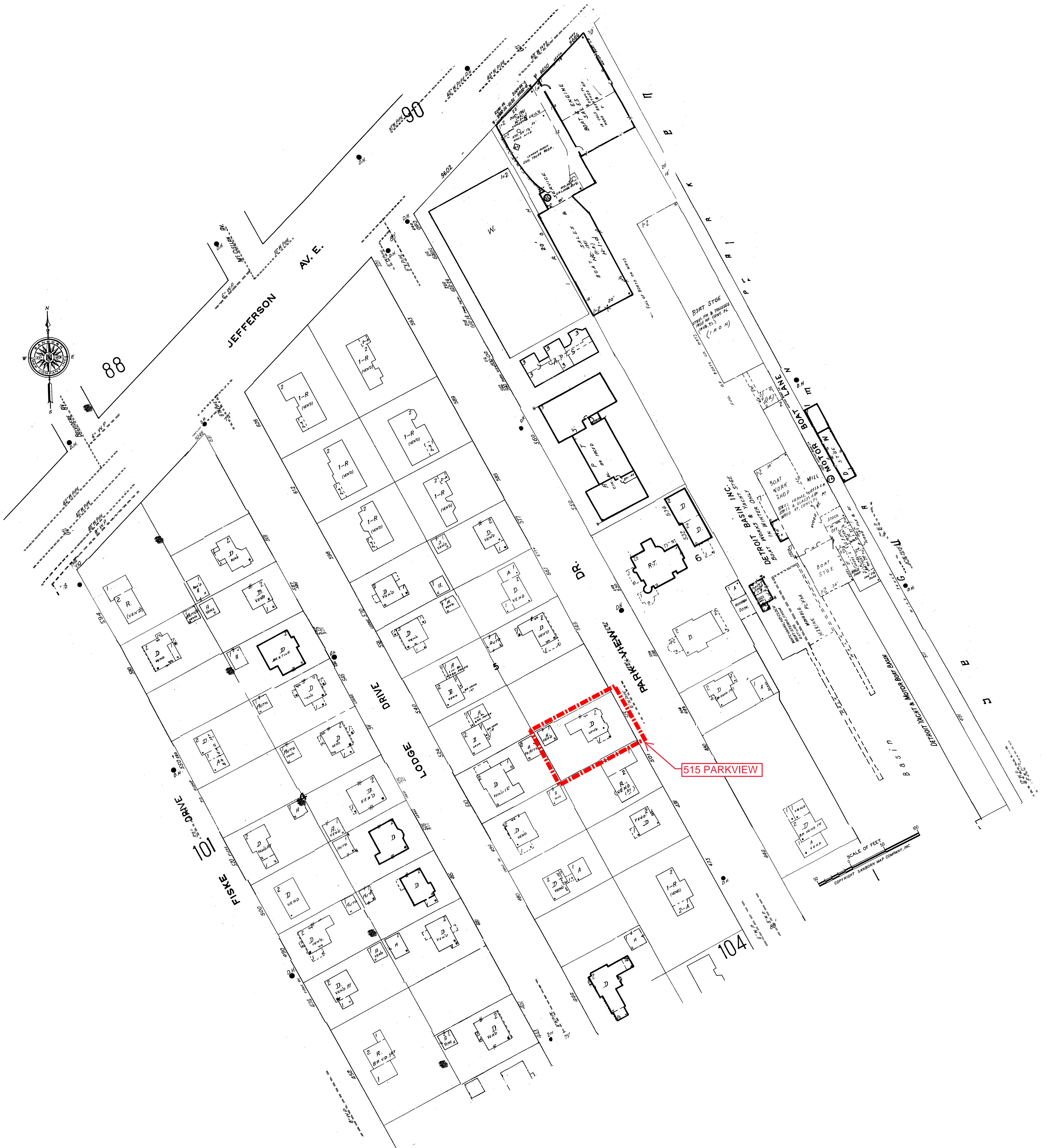
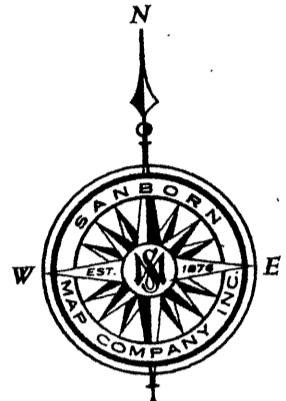
LODGE DRIVE (AV.)

PARKVIEW (AV.) DR.

515 PARKVIEW

104





515 PARKVIEW



**STAFF SITE VISIT 10/06/2020**



**Little**  
CORPORATION  
• ROOFING • MASONRY  
• SIDING • WINDOWS  
734-225-2525

**STAFF SITE VISIT 10/06/2020**



**STAFF SITE VISIT 10/06/2020**



**STAFF SITE VISIT 10/06/2020**





**STAFF SITE VISIT 10/06/2020**

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

CITY OF DETROIT  
PLANNING & DEVELOPMENT DEPARTMENT  
2 WOODWARD AVENUE, ROOM 808, DETROIT, MI 48226

DATE: \_\_\_\_\_

## PROPERTY INFORMATION

ADDRESS: 515 Parkview AKA: \_\_\_\_\_

HISTORIC DISTRICT: \_\_\_\_\_

SCOPE OF WORK: (Check ALL that apply)

|   |  |   |   |   |
|---|--|---|---|---|
| <input type="checkbox"/> Windows/ Doors   | <input type="checkbox"/> Roof/Gutters/ Chimney | <input checked="" type="checkbox"/> Porch/ Deck | <input type="checkbox"/> Landscape/Fence/ Tree/Park | <input checked="" type="checkbox"/> General Rehab |
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Demolition            | <input type="checkbox"/> Addition               | <input type="checkbox"/> Other: _____               |   |

## APPLICANT IDENTIFICATION

Property Owner/ Homeowner  Contractor  Tenant or Business Occupant  Architect/Engineer/ Consultant

NAME: Greg Tittle COMPANY NAME: Tittle Brothers Construction

ADDRESS: 15720 Fort St CITY: Southgate STATE: Mi ZIP: 48195

PHONE: 734-225-2525 MOBILE: \_\_\_\_\_ EMAIL: wradke@tittlebrothers.com

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

- Completed Building Permit Application (highlighted portions only)
- ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)
- Photographs of ALL sides of existing building or site
- Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions (including materials and design)
- Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work (formatted as bulleted list)
- Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

**NOTE:**  
Based on the scope of work, additional documentation may be required.  
See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO **HDC@DETROITMI.GOV**



Master Exterior Remodelers Serving

**Southeast Michigan**

Office 866-ROO-F112

Office (734) 225-2525

www.tittlebrothers.com

15720 Fort Street  
Southgate, MI 48195

Phone: (734) 225-2525

Fax: (313) 382-3458

**ROOFING • SIDING • WINDOWS • CHIMNEYS • MASONRY • PORCHES • GUTTERS • ADDITIONS**

|                        |                   |  |                       |
|------------------------|-------------------|--|-----------------------|
| TO<br>Cynthia Bradford | REFERRED BY<br>Pc | CELL PHONE<br>313-204-8368                               | DATE & TIME<br>5-1-20 |
| 515 Parkview Dr        |                   | JOB NAME / LOCATION<br>Front porch concrete wood repairs |                       |
| Detroit Michigan       |                   | EMAIL ADDRESS<br>cynlynbrad@yahoo.com                    |                       |

We hereby submit specifications and estimates for:

Demo existing porch and old concrete in front of porch and railings  
 Install new footings to prep for new porch size 10x5 and new step footings to prep 5" steps to code  
 Build new porch base with bricks to match size on home as close as possible. Color tbd  
 Steps: Brick Steps 5' with limestone treads to code Orange wire cut  
 21AA Base and Re-rod 12" on center  
 4" cap cement  
 New sidewalk from porch to new concrete  
 All concrete broom Finish  
 State and city code apply  
 Clean up all work related debris and haul away  
 Taxes, permits, inspections, and discounts included  
 Payment Plan: 1/3 down ,1/3 when ready for inspection, 1/3 when completed

Install new r 1000 aluminum railings and down railings white  
 Front right upper side of home old wood gutter remove and replace to match existing as close as possible. Seal complete area  
 Remove and replace damage wood around upper right side of home left window and sill just below also remove and replace a few damaged pieces of wood siding cedar and on left bay.  
 No paint included  
 Old service replace broken window glass on left side of home  
 Home is in a historical district

We Propose hereby to furnish material and labor – complete in accordance with the above specifications, for the sum of:

dollars (\$ 23000.00 ).

Payment to be made as follows:

Service financial loan number 2486358 \$10000.00

9.9% annual rate \$150.67 per month

Studz hardware

No warranty on concrete 5 year warranty porch base railings and carpenter work for wood gutter

### GENERAL TERMS AND CONDITIONS

The above stated Customer ("Customer") agrees to the terms set forth above and to the Terms and Conditions set forth below and on the reverse side hereof as the agreement between Customer and Tittle Brothers Construction, L.L.C. ("Tittle Brothers") referred to as the "Agreement."

**Payment:** Customer shall pay the entire balance due and any other portion of the project that remains unpaid upon completion of the work described herein. Customer agrees that all materials, equipment or any other property for the project, wherever located, including, installed at the location directed by Customer, shall remain the sole and exclusive property of Tittle Brothers and title to such property shall only transfer upon full payment received by Tittle Brothers. In the event Customer fails to make full and timely payment, Tittle Brothers, in addition to all other remedies provided by law, shall have the right to file a lien against Customer's real property or the real property where such work on the project was performed, to the extent of all amounts owed under this Agreement. Tittle Brothers shall be entitled to reimbursement by Customer of reasonable costs and expenses incurred for enforcement of this Agreement, including, without limitation, reasonable attorney fees. All Deposits are non-refundable. No modification, changes, additions or alteration of this Agreement shall be deemed effective unless in writing signed by the Customer and Tittle Brothers.

**Condition:** This Agreement is expressly conditioned upon Customer's signature and acceptance by Tittle Brothers by written acknowledgment below.

|   |                |
|---|----------------|
| Customer's Signature<br><i>Cynthia Lynette Bradford</i> | Date<br>5-1-20 |
|---|----------------|

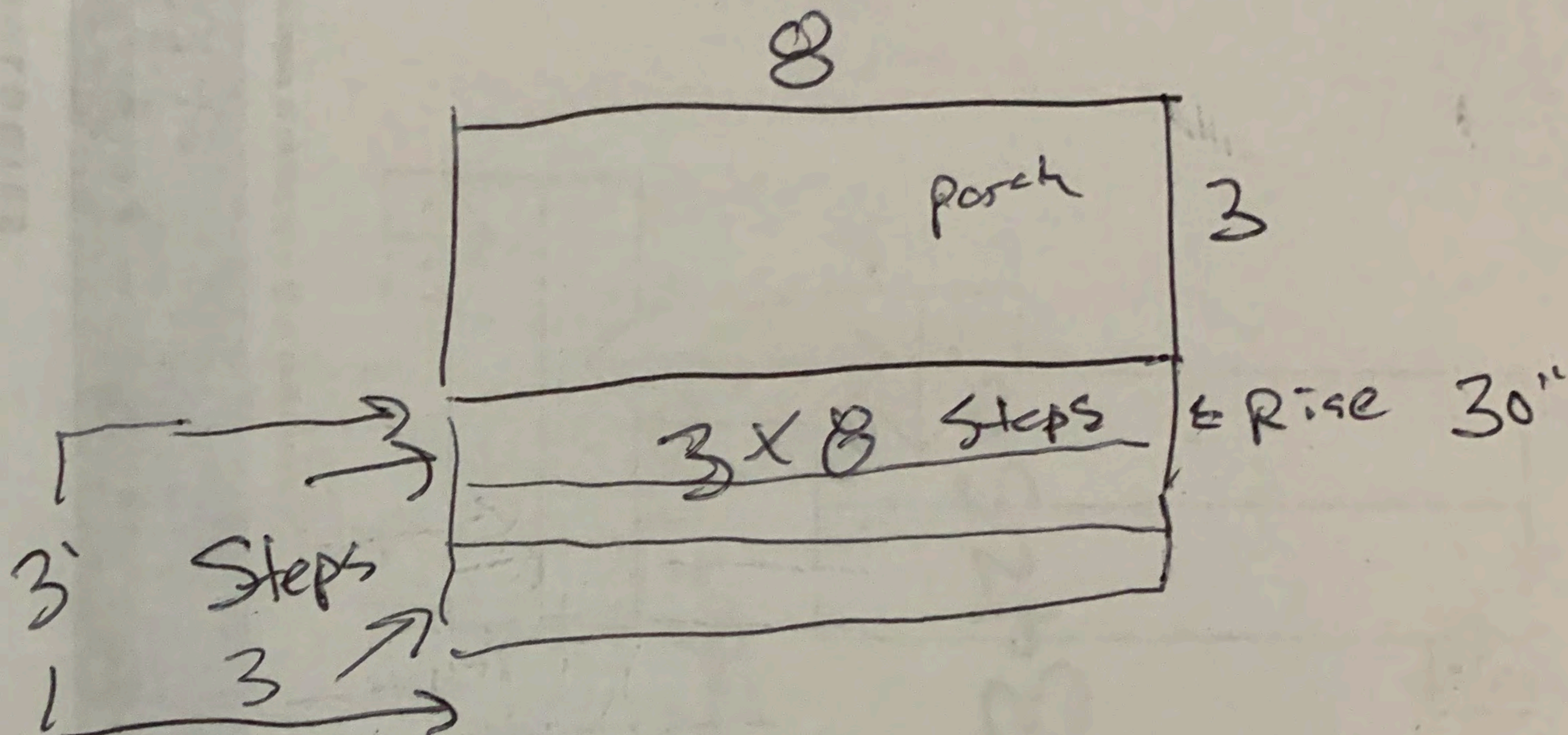
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|---|----------------|
| Tittle Brothers' Representative Signature<br><i>Pat Sheffer</i> | Date<br>5-1-20 |
|---|----------------|

You, the buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. See the attached notice of cancellation form for an explanation of this right. Additionally, the seller is prohibited from having an independent courier service or other third party pick up your payment at your residence before the end of the 3-business-day period in which you can cancel the transaction.

ADDITIONAL GENERAL TERMS AND CONDITIONS CONTINUED ON BACK

Cynthia Bradford.

515 Parkview Dr  
Existing Porch  
Detroit, MI



|    |                                   |                |
|----|-----------------------------------|----------------|
| 17 | Cynthia Bradford                  | 5/1/2020 5:47  |
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Cynthia Bradford  
 515 Parkview Dr  
 Detroit, MI

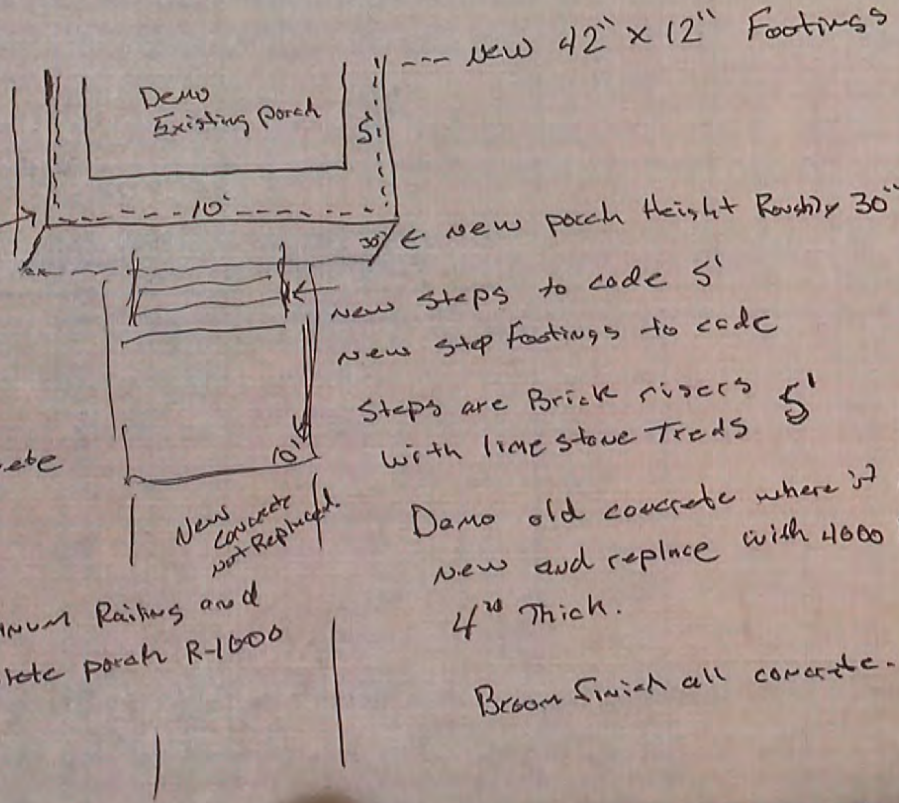
NEW Porch 10x5

Outside porch Base  
 Build a new porch base  
 with Bricks to match  
 as close as possible  
 Orange wire cut

Inside porch Base  
 1/2 Block

Install new porch  
 cap 4000 psi concrete  
 4" Thick

Install new Aluminum Railings and  
 Down rails for complete porch R-1000  
 white.



new porch Height Roughly 30"

new steps to code 5'  
 new step footings to code

Steps are Brick risers 5'  
 with limestone Treads

Demo old concrete where it meets  
 new and replace with 4000 psi  
 4" Thick.

Broom Finish all concrete.

|   |                                    |                |
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Opportunities > Cynthia Bradford - Detroit Porch

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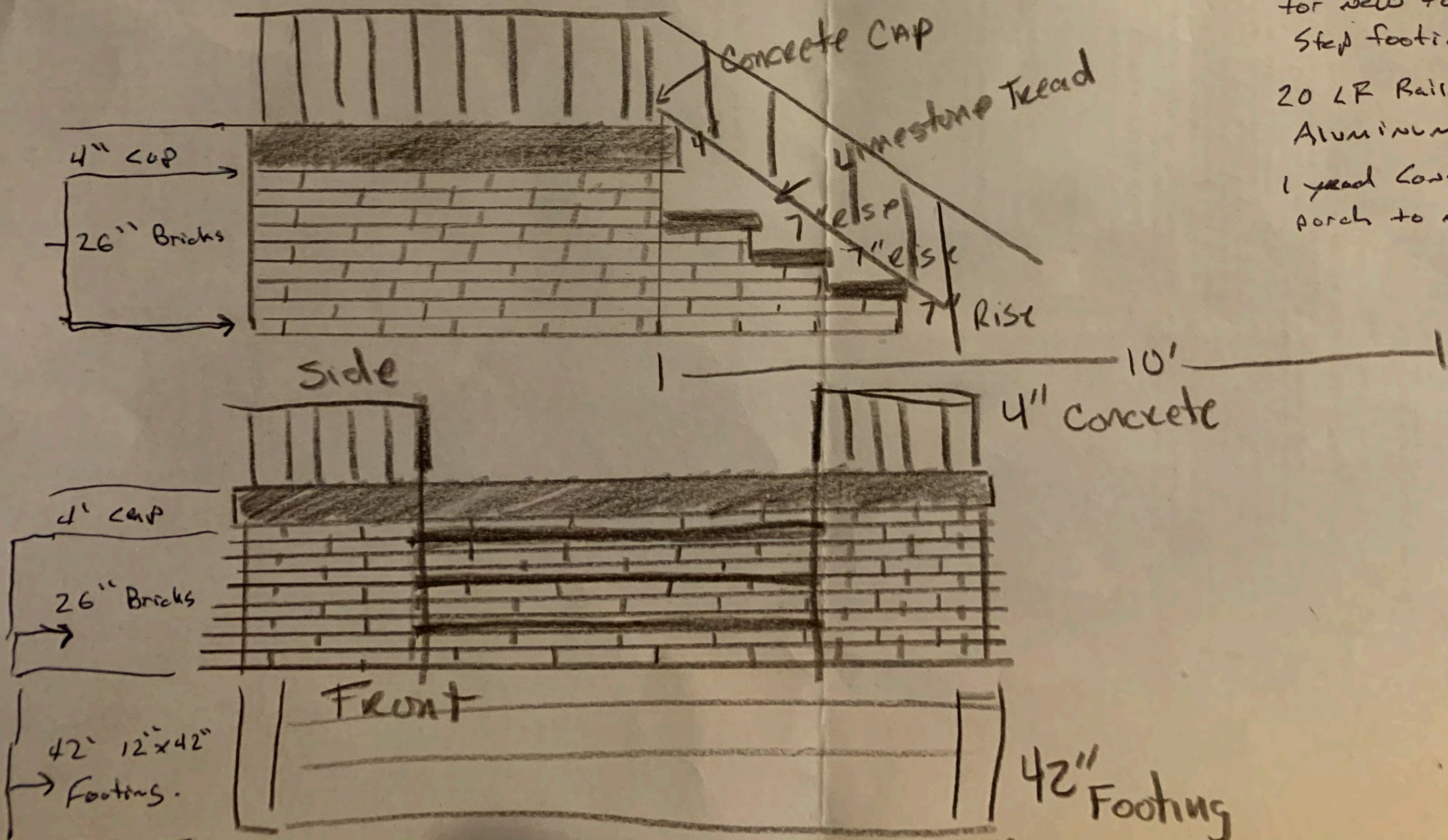
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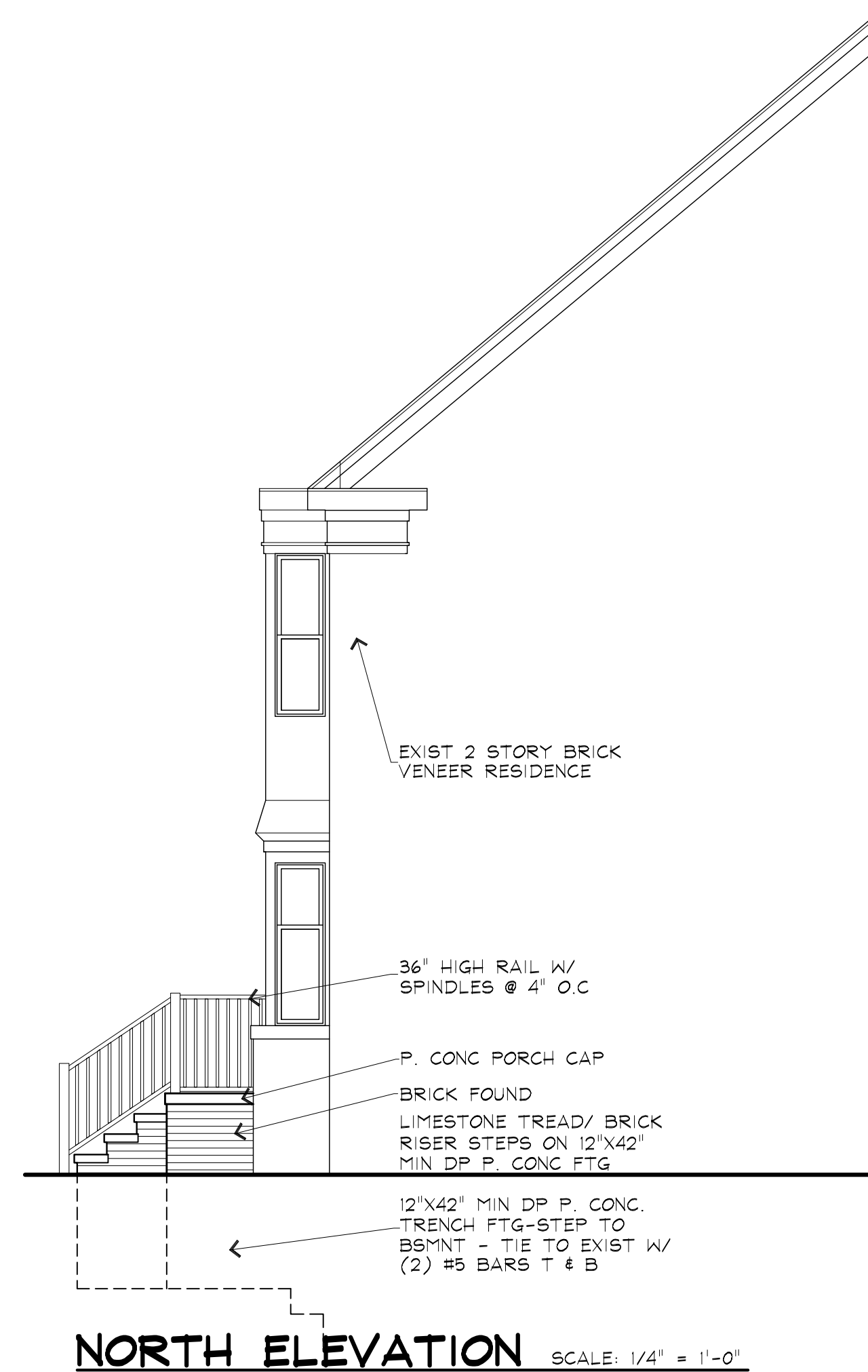
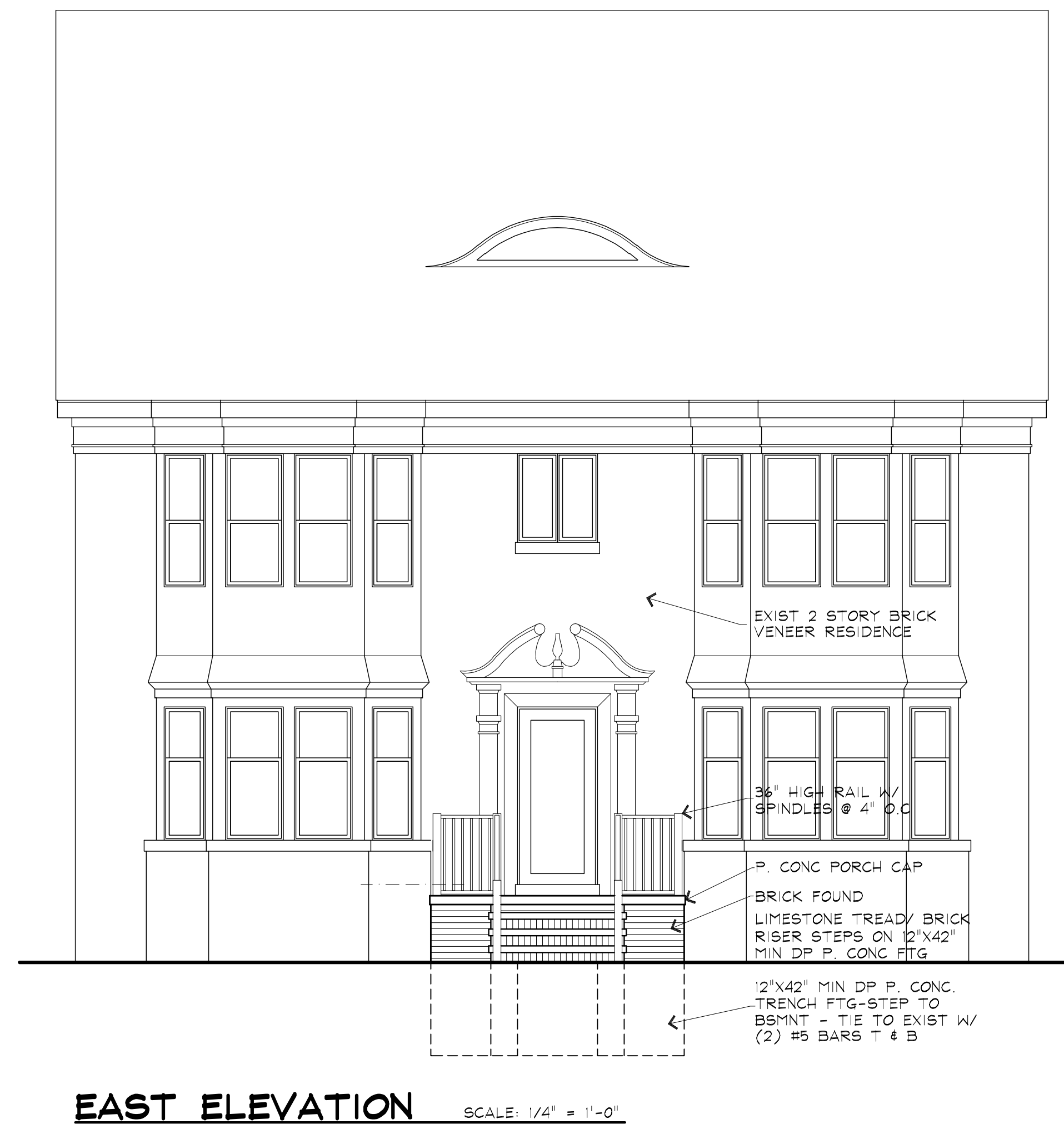
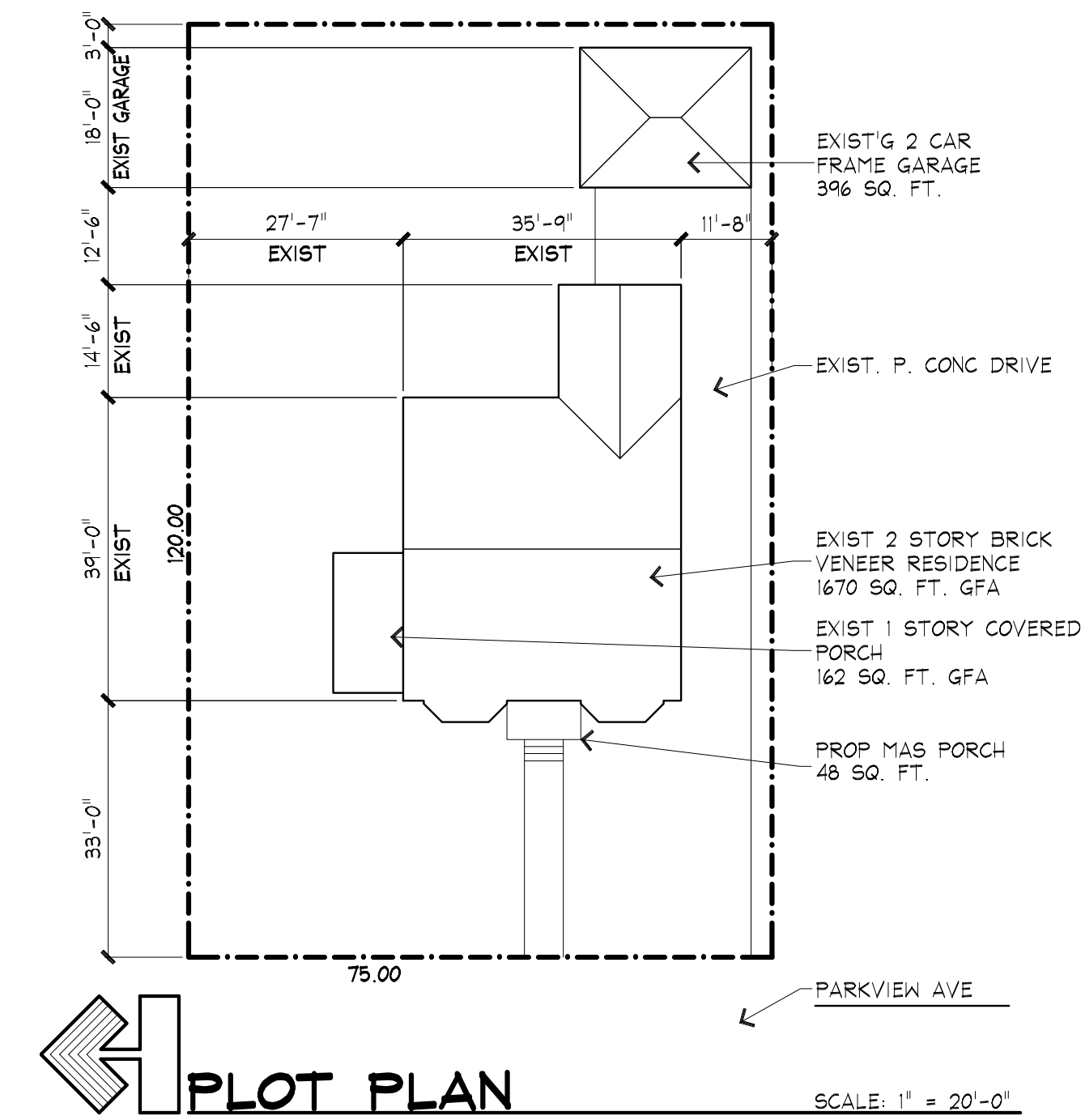
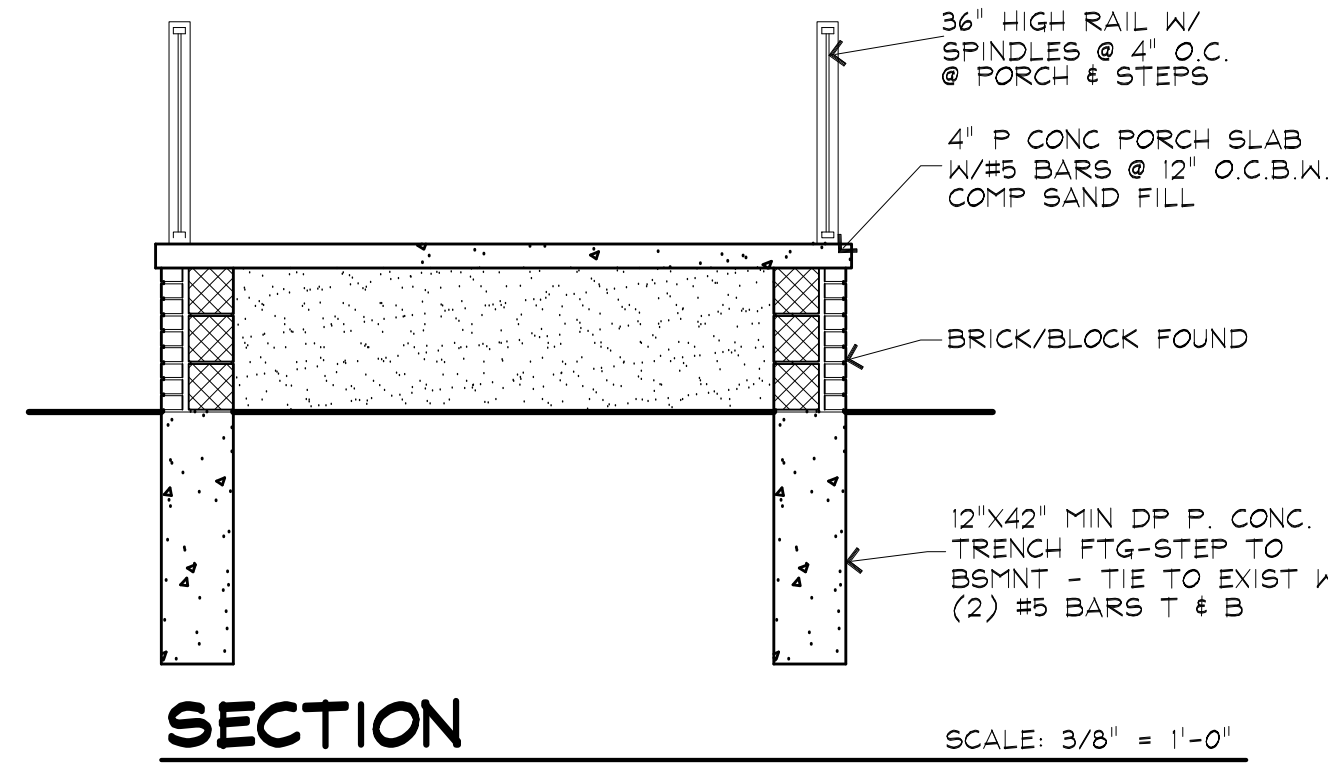
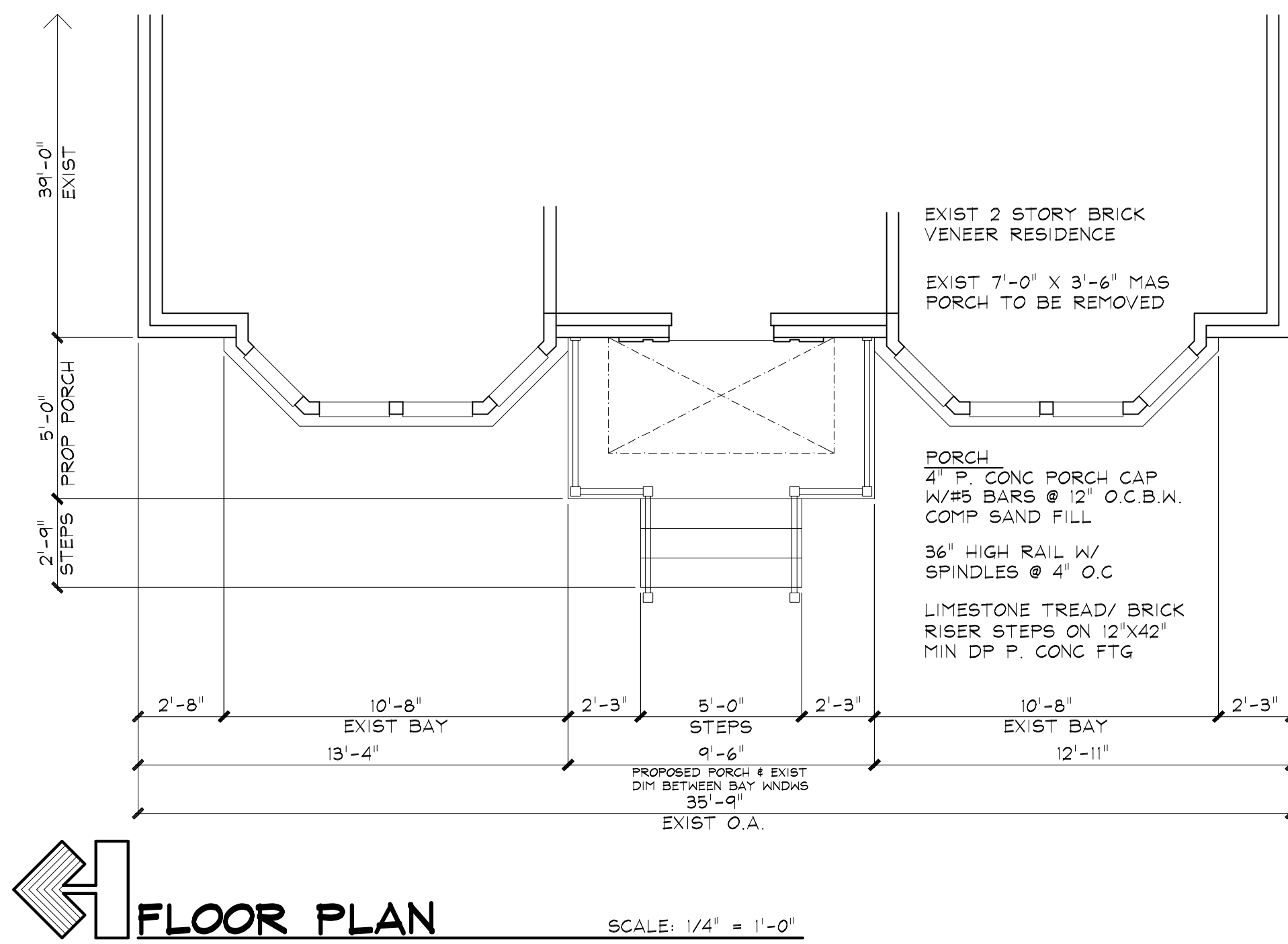
Last Modified

Cynthia Bradford  
 515 Parkview Dr  
 Detroit MI  
 313-204-8366

Material List

- 450 Bricks.
- 3 Bags of Mortar
- 60 4x16 Block
- 15' Limestone for step treads
- 1/2 yard Crushed Rock 21AA
- 70 LF 3/8" Re Rod
- 50 SF concrete porch cap
- 3.5 yards of concrete for new footings and step footings
- 20 LF Railings + Downrails Aluminum white.
- 1 yard concrete from new porch to new concrete.





**GENERAL NOTES**

- ALL IMPROVEMENTS PER CITY CODE
- ASSUMED SOIL BEARING CAPACITY IS 2500 PSF. THE TYPE OF SOIL SUPPORTING FOUNDATIONS SHALL BE IN ACCORDANCE WITH TABLE R404.1.1 (1) (2) (3) (4) AS APPLICABLE FOR CONCRETE & MASONRY FOUNDATIONS
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3000 PSI AT 28 DAYS. PROVIDE CONCRETE COMPRESSIVE STRENGTH & AIR ENTRAINING FOR VARIOUS LOCATIONS & WEATHERING POTENTIAL AS PER TABLE 402.2
- CONCRETE WORK & SPECIFICATIONS SHALL CONFORM TO THE LATEST SPECIFICATIONS OF C.R.S.I. & A.S.I.
- ALL REINFORCING BARS, DOVELS, & TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 60
- ALL STEEL TO CONFORM TO THE LATEST A.S.T.M. SERIAL DESIGNATION A36 & TO A.I.S.C. SUPPLEMENTARY PROVISIONS GOVERNING THE USE OF A36 STEEL
- MASONRY BLOCK SHALL BE OF TYPE N1. - MORTAR SHALL BE OF TYPE S
- PROVIDE A MINIMUM OF (2) COURSES OF SOLID MASONRY AT ALL BEARING CONDITIONS. PROVIDE SOLID MASONRY OR GROUT FILLED UNITS AT ALL BELOW GRADE CONDITIONS
- STEEL LINTELS SUPPORTING BRICK OR STONE VENEER OVER DOOR & WINDOW OPENINGS SHALL COMPLY WITH TABLER03.7.3.
- ALL FRAMING LUMBER TO BE #1 F1R #2 OR BETTER
- PROVIDE DOUBLE JOISTS ON BOTH SIDES OF LADDERS BELOW ALL BEARING WALLS
- PROVIDE (2)X(2) WITH 1/2" PLYWOOD BETWEEN OVER ALL OPENINGS, U.N.O.
- INSTALL DRAFTSTOPPING & FIREBLOCKING IN COMPLIANCE WITH SECTIONS R802.12 & R602.B
- HOLES OR NOTCHES BORED OR CUT IN TO FRAMING MEMBERS SHALL BE IN COMPLIANCE WITH SECTIONS R802.B, R602.2, & R802.7.
- LAMINATED VENEER BEAMS (LVL) SHALL HAVE A MINIMUM F<sub>b</sub> OF 2800 PSI.
- PROVIDE A MINIMUM OF (4) 2X4 BELOW ALL LVL & GIRDER TRUSS ENDS, UNLESS OTHERWISE SPECIFIED BY ENGINEERED TRUSS MANUFACTURER SPECIFICATIONS
- ROOF ASSEMBLIES WHICH ARE SUBJECT TO WIND UPLIFT PRESSURES OF 20 PSF OR GREATER SHALL HAVE ROOF RAFTERS OF TRUSSES ATTACHED TO THEIR SUPPORTING WALL ASSEMBLIES BY CONNECTIONS CAPABLE OF PRODUCING THE RESISTANCE REQUIRED IN TABLE R02.11. PROVIDE MECHANICAL FASTENERS FROM ROOF TRUSSES TO SUPPORTING WALLS IN COMPLIANCE WITH SECTION R802.10.5
- TRUSS MANUFACTURER TO PROVIDE ADDITIONAL STRUCTURAL DATA AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE TRUSS LAYOUT, INCLUDING ANY ADDITIONAL LVL SIZES & LOCATIONS NECESSARY TO CARRY ROOF & FLOOR LOADS.
- FLOOR TRUSSES TO BE INSTALLED PER MANUFACTURER'S SPECIFICATION, INCLUDING ANY ADDITIONAL BLOCKING, BRIDGING OR RIM JOISTS
- FLASHING SHALL BE INSTALLED AT THE BOTTOM & SIDES OF ALL WINDOWS NOT CONSIDERED SELF FLASHING, & AT THE TOP OF ALL EXTERIOR DOORS
- CONTRACTOR TO PROVIDE FOR DEMATERING FORMING, & SHORING AS NECESSARY, & LOCATE SLEEVES, OPENINGS, & EMBEDDED ITEMS REQUIRED BY OTHER TRADES PRIOR TO POURING CONCRETE
- ALL MATERIALS, SUPPLIES, & EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS & CODE
- PROVIDE TEMPORARY BRACING & SHORING AS REQUIRED TO INSURE THE STABILITY OF THE NEW STRUCTURE UNTIL THE PERMANENT FRAMING IS IN PLACE

NOTES:  
 CONSULT THE CITY OF DETROIT FOR ALL CITY AND STATE REQUIREMENTS AND REGULATIONS.

ISSUED  
 9-25-20

CONSTRUCTION

DRAWN  
 R.O.

CHECKED  
 R.O.

TITLE  
 FLOOR PLAN  
 FOUNDATION  
 ELEVATIONS  
 SECTION

PROJECT  
 PROPOSED MASONRY PORCH  
 EXISTING RESIDENCE  
 1670 PARKVIEW  
 DETROIT, MICHIGAN

JOB NO.  
 20082

SHEET NO.  
**A-1**  
 OF 1

## Material List

450 Bricks.

3 Bags of Mortar

60 4x16 Block

15' Limestone for step treads

1/2 yard Crushed Rock 21 A A

70 LF 3/8" Re Rod

50 SF concrete porch cap

3.5 yards of concrete  
for new footings and  
step footings

20 LF Railings + Downrails

Aluminum white.

1 yard concrete from new  
porch to new concrete.

P  
stone Tread

sk



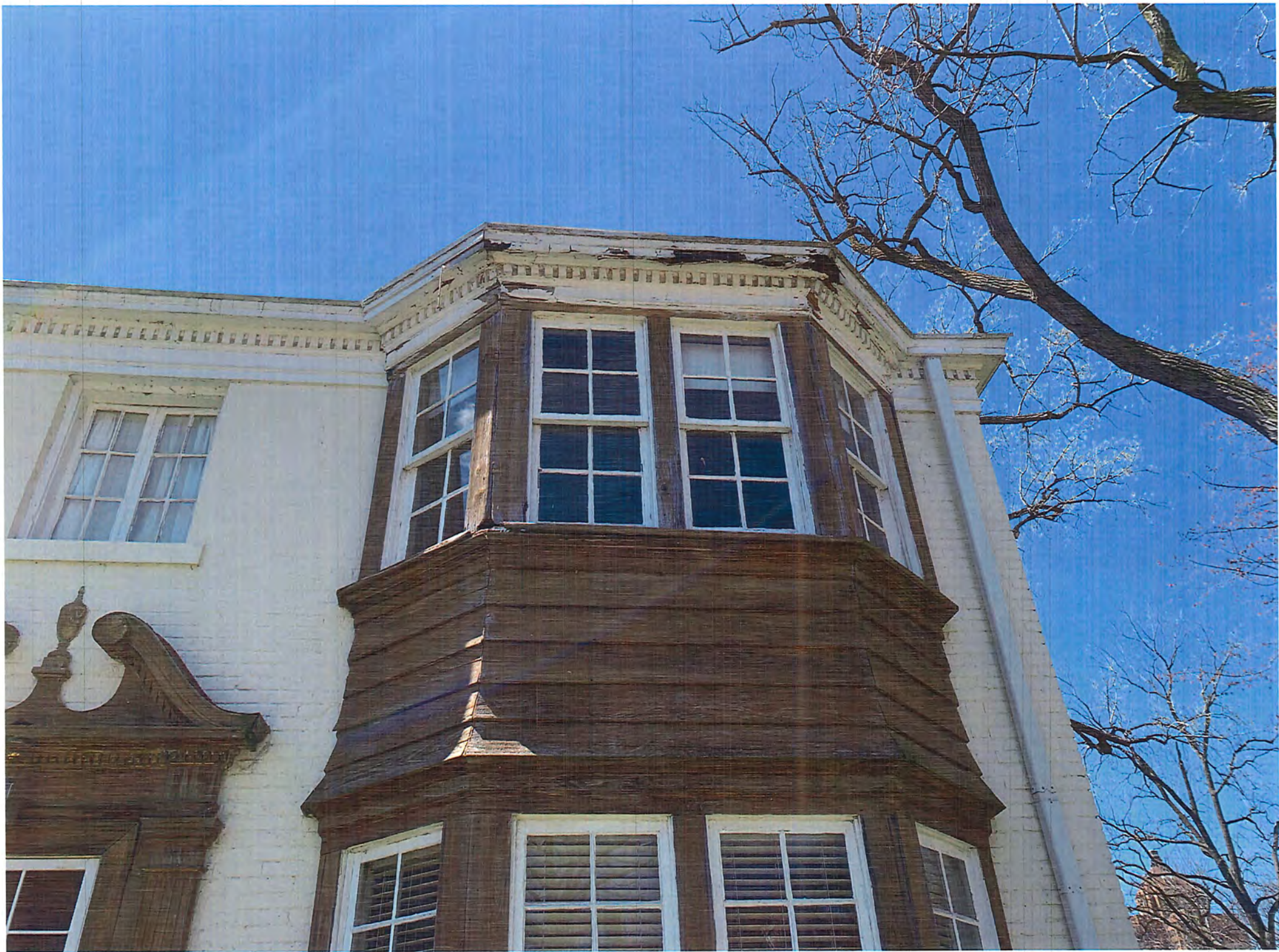










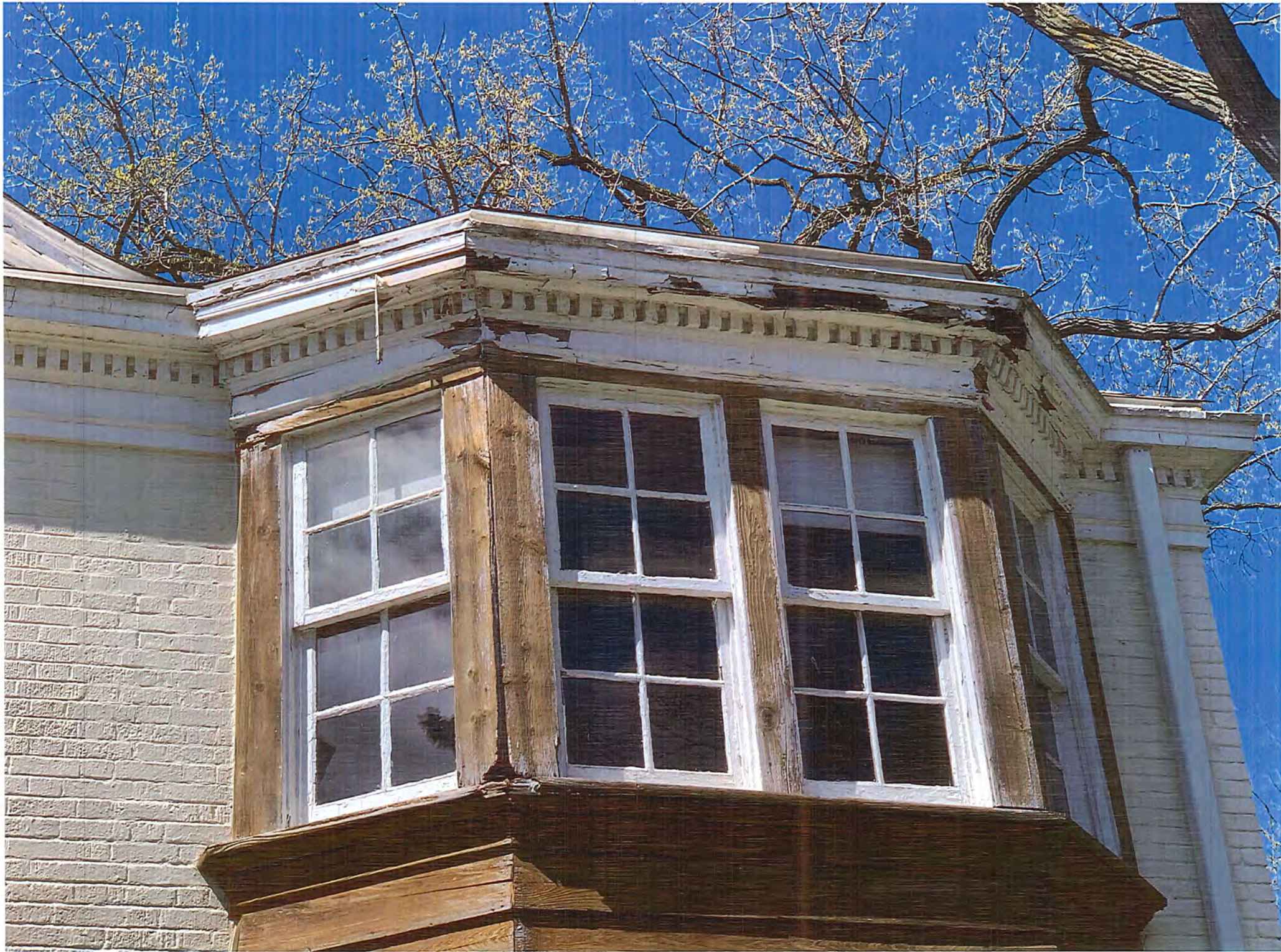


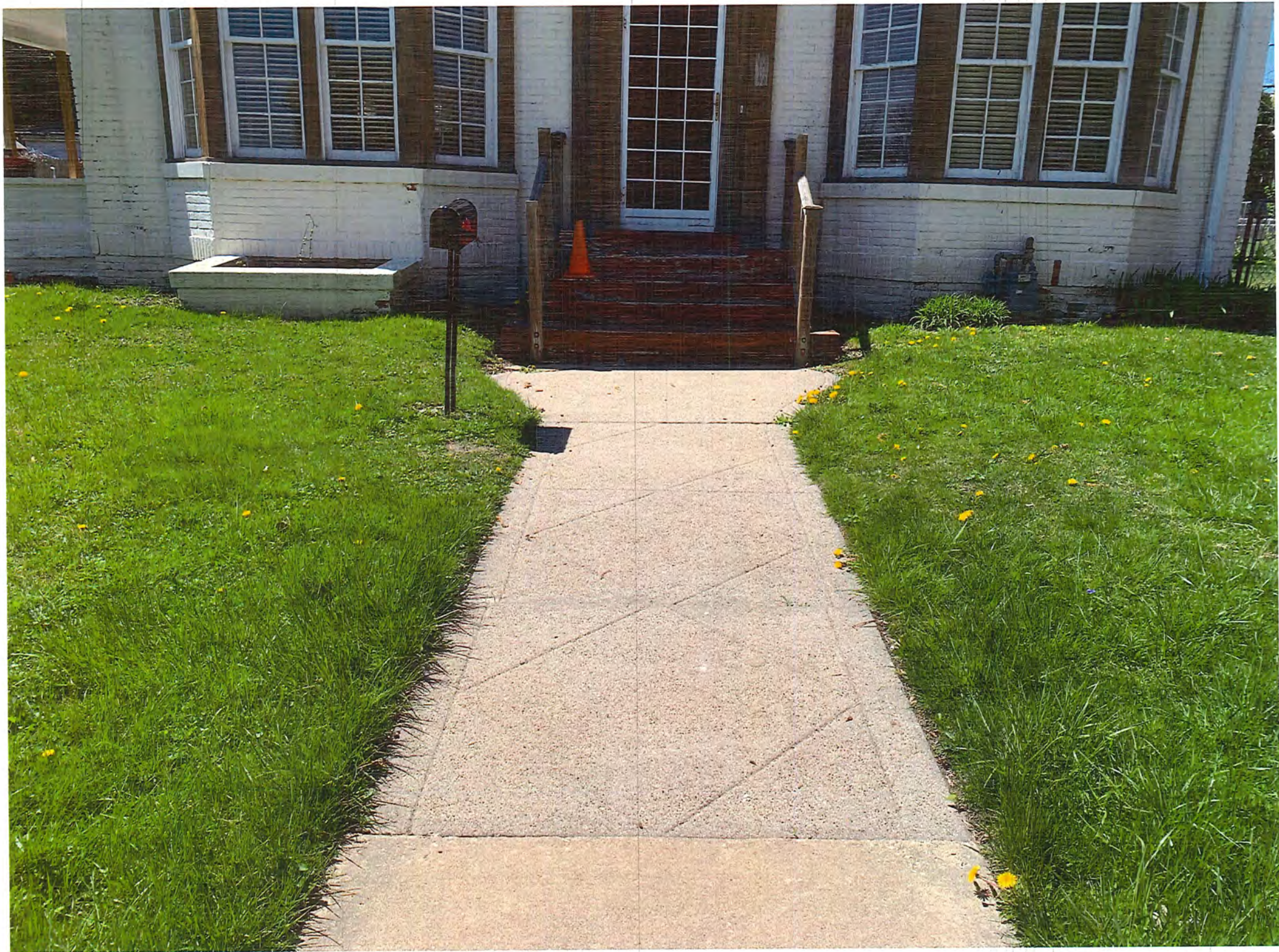














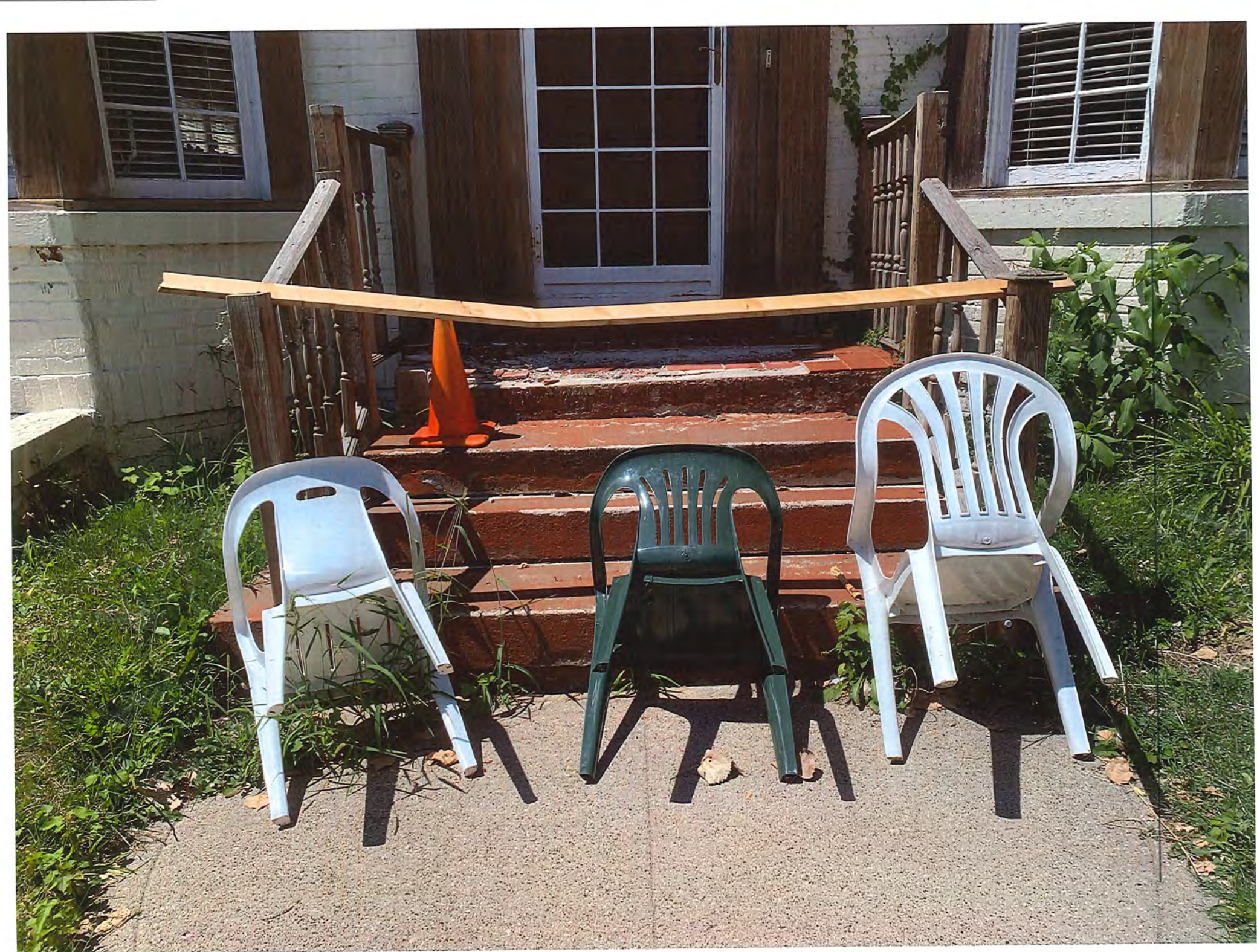














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Image capture: Jun 2019 © 2020 Google

Detroit, Michigan



Street View



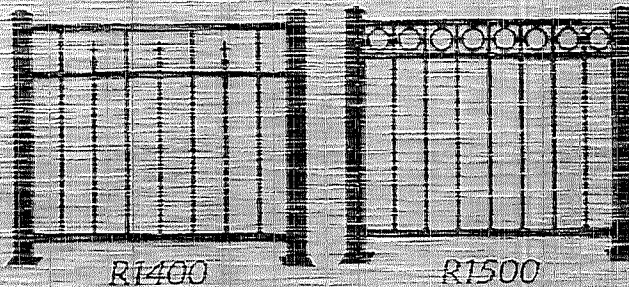
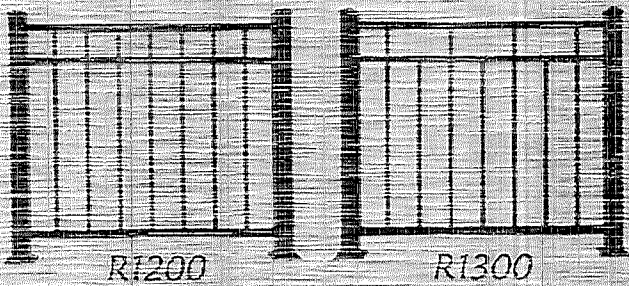
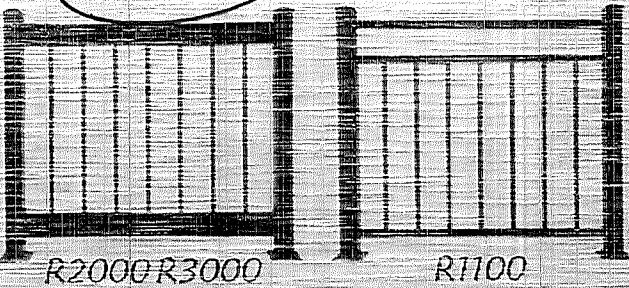
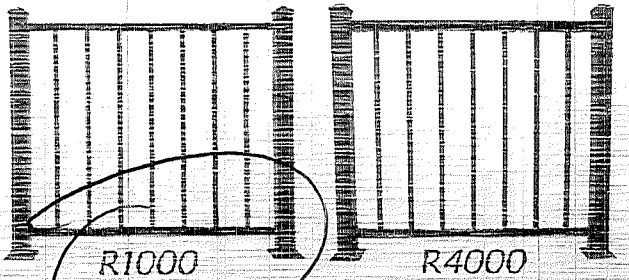
Eight Styles Available In Up  
To Four Different Colors

## Wayne Craft Aluminum Railing Features

- Custom Built
- Durable Construction
- Beautiful For Years
- Powder Coated for a Sleek, Attractive Finish

# WAYNE CRAFT

Railing



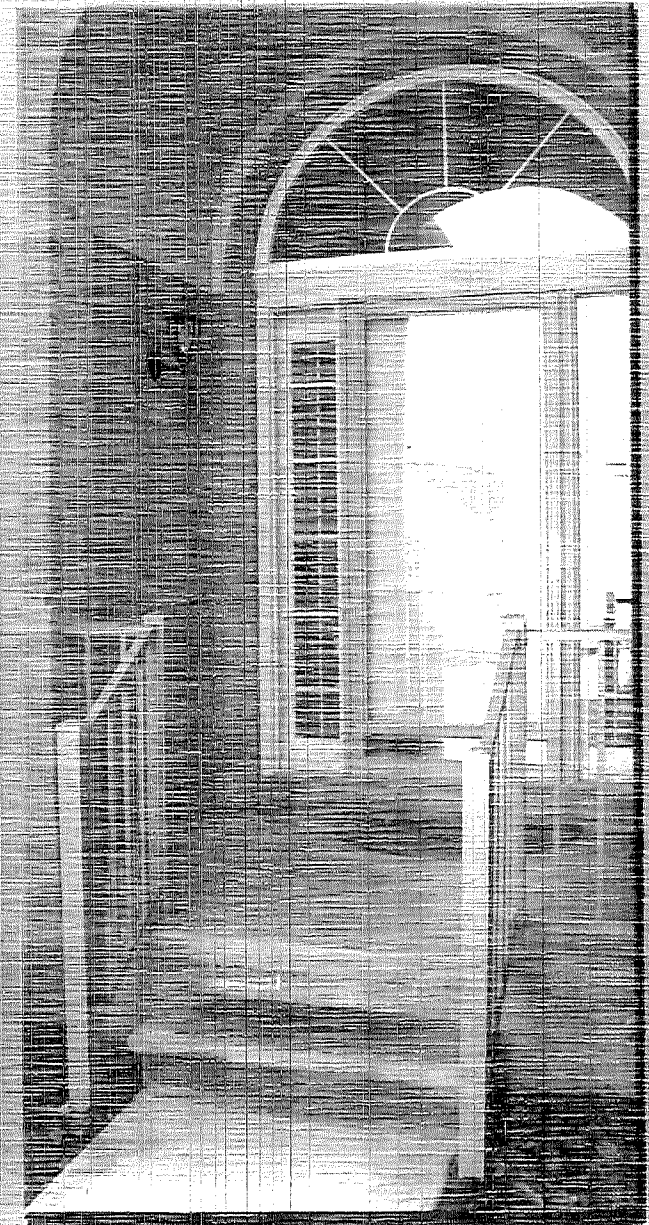
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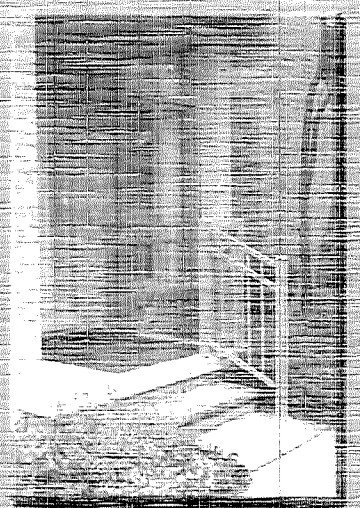
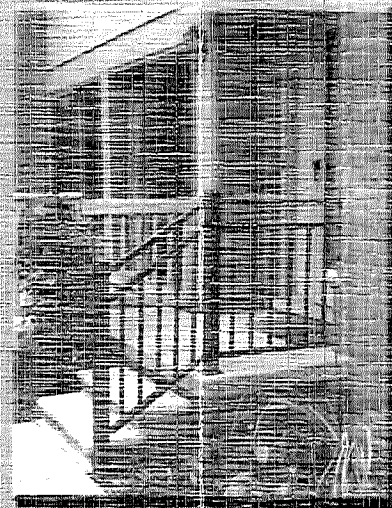
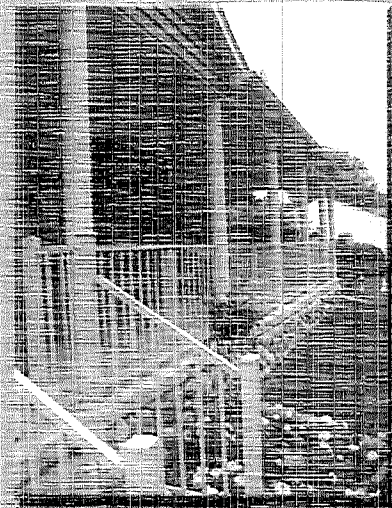
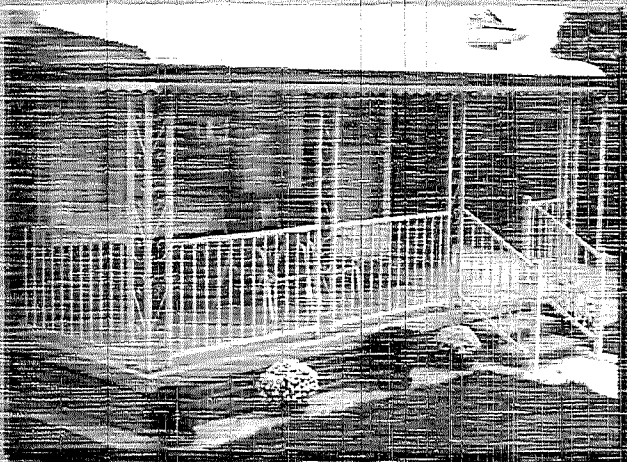
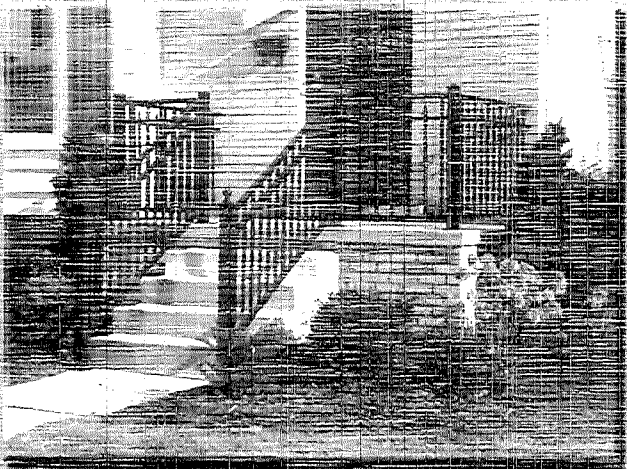
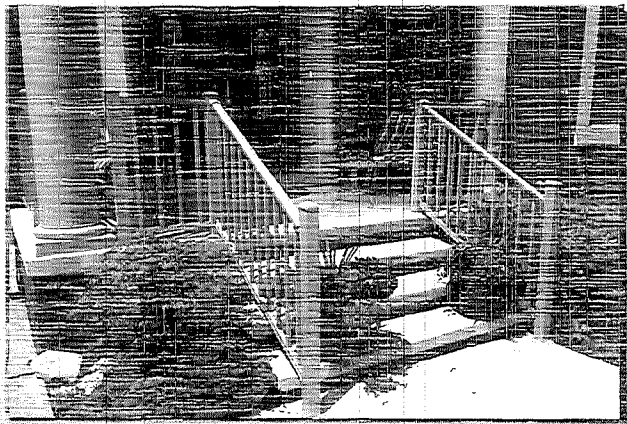
[www.WayneCraft.com](http://www.WayneCraft.com)

Screen Rooms, Railings, Sunrooms,  
Patio Covers, Awnings, Carports

Available From:

Decorative Inserts Are Available  
For A More Ornate Appearance





*Wayne Craft's Strong and Decorative Railing Has Been  
Manufactured In Michigan For Over 50 Years*



Buildings, Safety Engineering  
& Environmental Department

City of Detroit  
Buildings, Safety Engineering and Environmental Department  
Licensing and Permits Division  
Coleman A. Young Municipal Center  
2 Woodward Avenue, 4th Floor, Suite 402, Detroit, Michigan 48226  
(313) 224-3202 and (313) 224-3168

## INVOICE

### RECORD INFORMATION

Applicant: Title Brothers Construction  
15720 FORT ST  
SOUTHGATE, MI 48195

Record ID: BLD2020-02379

Record Type: Building Permit Application

Property Address: 515 PARKVIEW , # 48214

Description of Work: TBD

Invoice No. : 5753606  
Invoice Date: 07/15/2020  
Due Date : **08/14/2020**

### FEE DETAIL

| Fee Description     | Quantity | Fee Amount |
|---------------------|----------|------------|
| Building Permit Fee | 1        | \$570.00   |
|                     |          | \$570.00   |

# FOR REFERENCE ONLY

## COA FOR APP. #20-6835 - NOT FOR CURRENT APPLICATION

CITY OF DETROIT  
HISTORIC DISTRICT COMMISSION

DETROIT, MICHIGAN 48226  
PHONE 313-224-1762

9/15/2020

### CERTIFICATE OF APPROPRIATENESS

Greg Tittle  
Tittle Brothers Construction  
15720 Fort Street  
Southgate, MI 48195

**RE: Application Number 20-6835; 515 Parkview Drive, Berry Subdivision Historic District**

Dear Mr. Tittle,

At the regularly scheduled meeting held virtually on September 9, 2020, the Detroit Historic District Commission ("Commission") reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of September 15, 2020.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior's Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

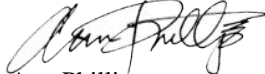
- **Demolish existing 8'W x 3'D front porch and (3) steps in their entirety and replace with a new porch.**
- **Perform the following general repairs:**
  - Remove existing wood gutter located at the right (north) roofline of the front façade
  - Remove and replace damaged wood at southern most windows and sills at second floor of right (north) bay.
  - Remove and replace a few pieces of cedar siding at left (south) bay.
  - Replace broken glass in window located on left (south) elevation.

**With the following conditions:**

- New aluminum railings are to be black in color
- Any general repairs that include replacement of existing/historic material should be replaced in-kind to match existing material, design, dimension, color, and finish.
- The deck of the reconstructed porch must be 8'W x 3'D in size to match the size of the deck of the existing porch.
- The applicant shall revise the submission to reflect the updated railing and submit to HDC staff for review and approval prior to pulling the building permit for the project.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Ann Phillips  
Staff

Detroit Historic District Commission