

**STAFF REPORT:** 09/09/2020 MEETING

**PREPARED BY:** J. ROSS

**ADDRESS:** 290 EDMUND PLACE

**HISTORIC DISTRICT:** BRUSH PARK

**APPLICANT:** JESSIKA HICKS

**DATE OF PROVISIONALLY-COMPLETE APPLICATION:** 8/24/2020

**DATE OF STAFF VISIT:** 9/03/2020

**SCOPE:** ERECT A NEW BUILDING (REVISION TO PREVIOUSLY-APPROVED PROPOSAL)

### **EXISTING CONDITIONS**

The project site consists of an empty parcel that is located within the 200 block of Edmund Place. The general surrounds are dominated by newly constructed, 2-6 story, mixed-use (multiple-family and commercial) buildings. Four, ca.1880, 3-story dwellings are located to the north of the project area/on the north side of Edmund Place. The historic buildings are clad with red brick.



**Project area, photo taken 9/3/2020**

### **PROPOSAL**

The applicant appeared in front of this body at the 2-17-2016 special meeting with a proposal to establish a new mixed-use, multiple-building development (to include commercial and multiple family) within the area bounded by John R, Brush Street, Alfred, and Edmund Place. The development included several building typologies to include apartments, duplexes, townhomes,

and carriage homes. The Commission issued a Certificate of Appropriateness for the proposal as presented. With the current proposal, the applicant is seeking to revise the previously-approved duplex or “duplette” design at 290 Edmund Place (see the attached for **the design which was approved in 2016**). Specifically, as per the applicant, the new building/design is proposed as a 4-story building and shall be erected **according to the following**:

- The new apartment building design measures 46’-6” to the top of the parapet wall whereas the previously-approved duplette building measured 47’-6”. In re: to the building footprint, proposed new building measures 184’x 50’, which is generally consistent with the dimensions of the previously-approved design (which measured 185’x 47’). The setback for both buildings is consistent as well.
- The proposed apartment building design features red brick exterior walls (both modular and veneer) to reflect the red brick found at the nearby historic homes. Vertical cedar panel will be used as an accent material. The base/foundation of the building is a grey concrete.
- A concrete accessibility ramp will be located at the building’s front elevation and will extend from the sidewalk to the primary entrance
- Windows are aluminum fixed and casement units and doors are aluminum.
- The landscaping and hardscaping (concrete walkways and rear parking lot) will remain as per the proposal which the Commission approved in 2016

#### **STAFF OBSERVATIONS AND RESEARCH**

- The design which the Commission approved in 2016 consisted of three separate, closely-set buildings which were clad with grey brick
- The current design is a single apartment block which shall be clad with red brick
- At the 9/11/2019 Regular monthly meeting, the Commission approved a change in design for the building to the west of/next to the subject parcel/290 Edmund
- The applicant submitted their proposed new project to Planning and Development (PDD) design staff for their opinion. The following outlines/paraphrases the general comments of Julio Cedano, staff from PDD’s Design and Zoning Innovations division. Please note that Mr. Cedano’s review was undertaken within an urban planning/design context. As PDD had an active role reviewing the original design, the following comments have been provided for the Commission’s information. Mr. Cedano’s review **did not** take the *Secretary of the Interior Standards for Rehabilitation* and/or the *Brush Park Elements of Design* into consideration:
  - The concrete at the base is too striking in contrast with the brick; suggestion to continue brick or provide additional landscape buffer
  - Better integration of the ramp on the front of the building into the architectural/landscape design
  - The brick is too red and contrast of materials is too strong with regard to the other City Modern buildings and the historic context

#### **ISSUES**

- None



**RECOMMENDATION**

It is staff's opinion that the proposed project is appropriate to the defined Elements of Design for the Brush Park Historic District and the Secretary of the Interior's Standards for Rehabilitation (36 CFR Part 67). Staff therefore recommends that the Commission approve the issuance of a COA for the project as proposed.







# CITY MODERN DUPLLETTE D-2

HISTORIC DISTRICT COMMISSION UPDATE

**SEPTEMBER 2020**  
BEDROCK ARCHITECTURE



**BEDROCK**  
— DETROIT —









# AGENDA

## D-2 DESIGN UPDATE

---

- HISTORIC CONTEXT
- ORIGINAL DESIGN
- PROPOSED DESIGN
- ELEVATIONS
- MATERIALS
- OPENINGS

-  HISTORIC HOMES
-  TOWNHOMES
-  CARRIAGE HOMES
-  THE FLATS
-  DUPLETTE D-2
-  BUILDING H-1



# HISTORICAL CONTEXT

## CITY MODERN

---

The historic mansions work in harmony to create a rich rhythm of solid and void, while the roof lines and building forms vary in order to break down their mass. **This set of criteria creates a cohesive, familiar streetscape while affording each individual home a distinctive character.**

---



© Eliza Rolle 2016



# APPROVED D-2 DESIGN

# PERSPECTIVE

APPROVED DESIGN



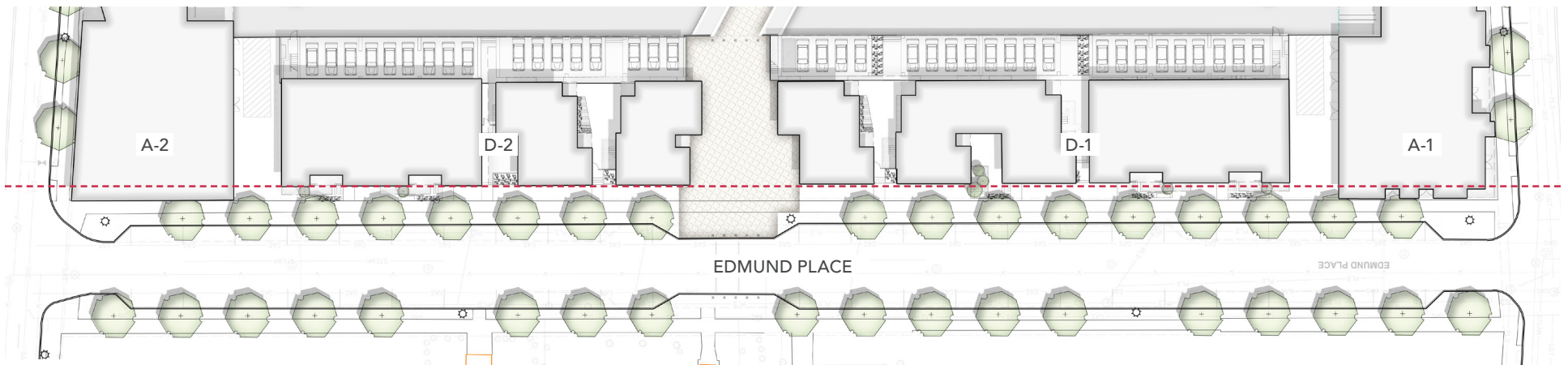


# CONTEXT + MATERIALS

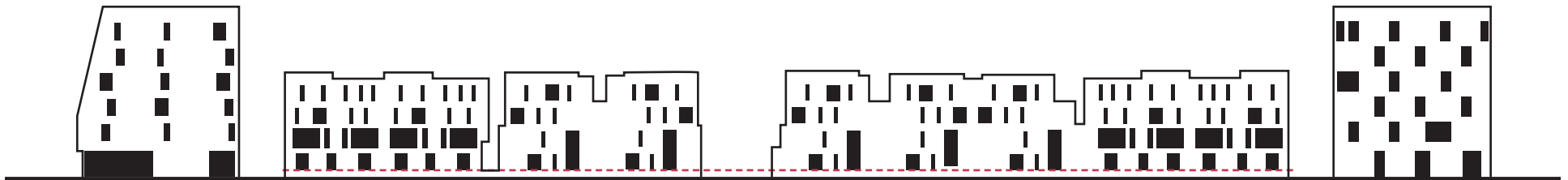
APPROVED DESIGN



APPROVED NORTH ELEVATION



APPROVED PARTIAL SITE PLAN



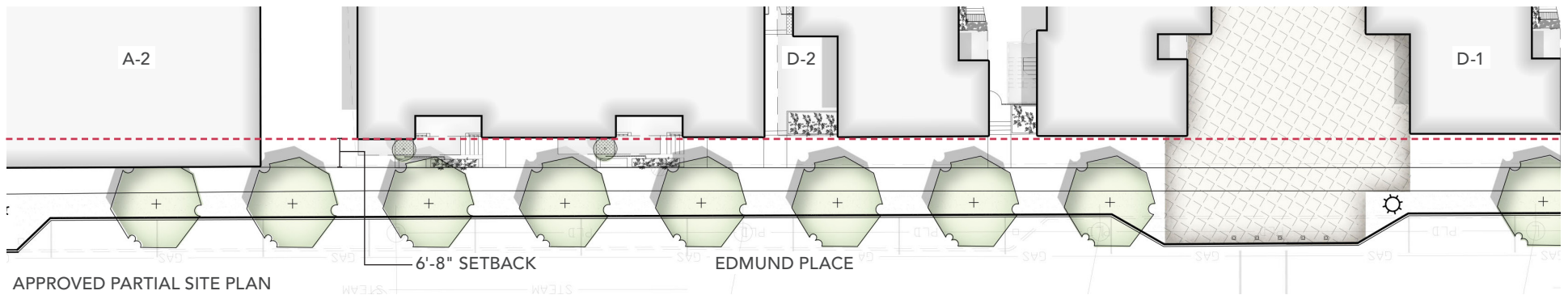
APPROVED FORM + FENESTRATION

# CONTEXT + MATERIALS

APPROVED DESIGN



APPROVED NORTH ELEVATION



APPROVED PARTIAL SITE PLAN

## PRIMARY CLADDING(S)      SECONDARY CLADDING(S)



LIGHT GRAY BRICK  
LIGHT & MEDIUM GRAY



CHARCOAL + IRONSPOT MIX W/  
DARK MORTAR



CEDAR SIDING  
NATURAL CLEAR COAT



VARIED RED MIX W/ LIGHT  
MORTAR

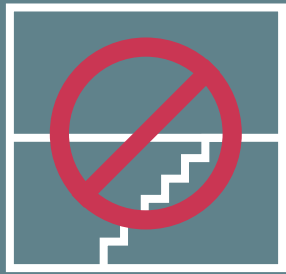


DARK + MEDIUM GRAY MIX W/  
LIGHT MORTAR

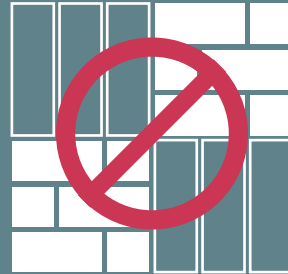
# PROPOSED D-2 DESIGN

# DESIGN GOALS

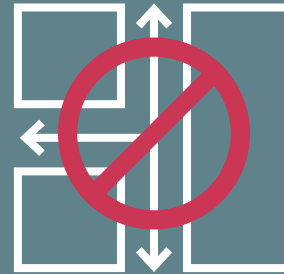
PROPOSED DUPLEX D-2



**REDUCE EXTERIOR  
VERTICAL  
CIRCULATION**



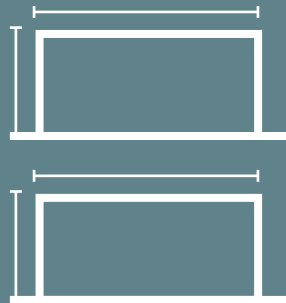
**REDUCE VARIETY  
OF EXTERIOR  
MATERIALS**



**REMOVE  
INTERMEDIATE  
PATHWAYS**



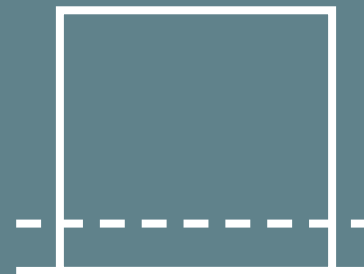
**MAINTAIN  
PEDESTRIAN SCALE  
ALONG STREET**



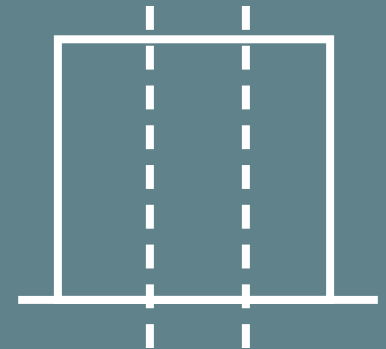
**MAINTAIN BUILDING  
HEIGHT + GENERAL  
FOOTPRINT**



**INCREASE DENSITY  
OF UNIT MIX**



**MAINTAIN HISTORIC  
DATUM AT GROUND  
FLOOR**



**MAINTAIN VERTICAL  
ORIENTATION**

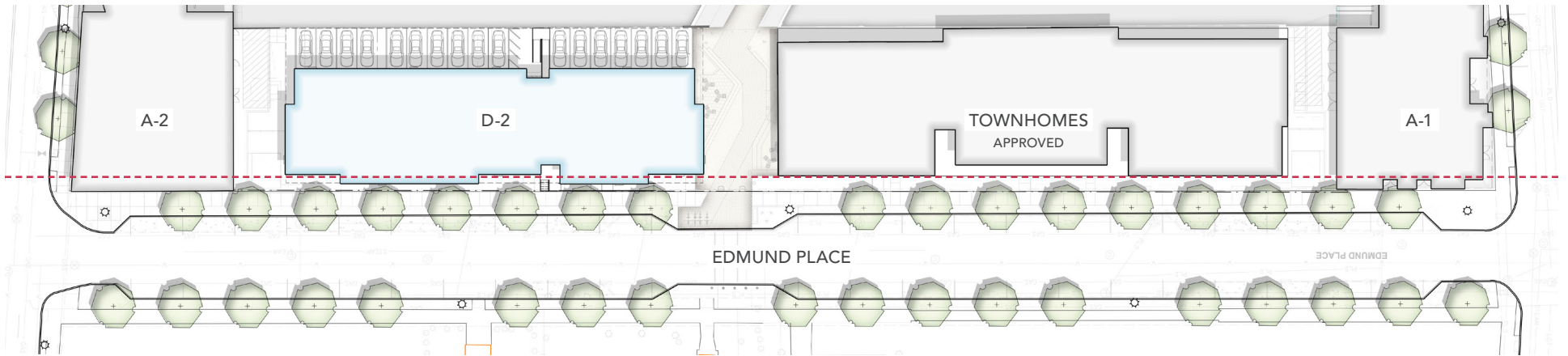


# CONTEXT + MATERIALS

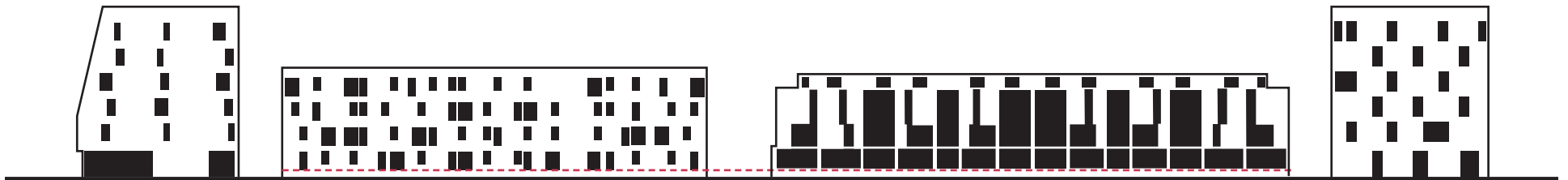
## PROPOSED DESIGN



PROPOSED STREETSCAPE



PROPOSED PARTIAL SITE PLAN



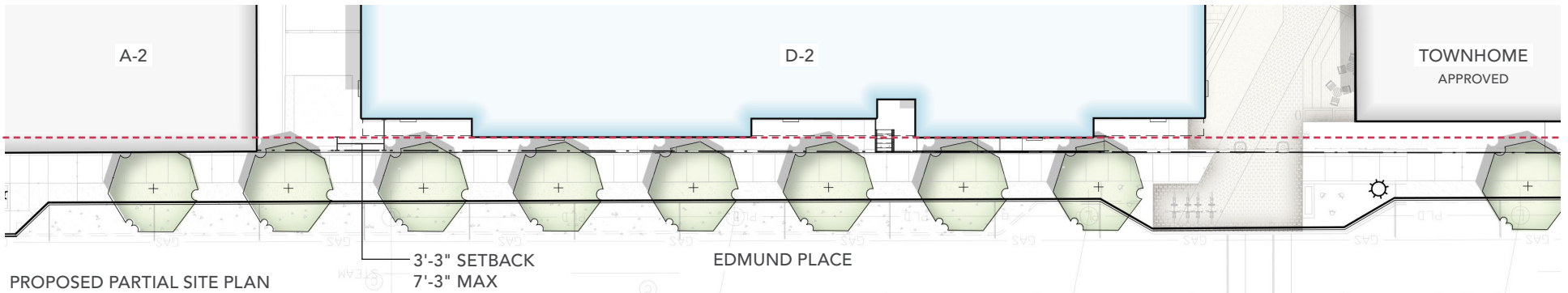
PROPOSED FORM + FENESTRATION

# CONTEXT + MATERIALS

## PROPOSED DESIGN

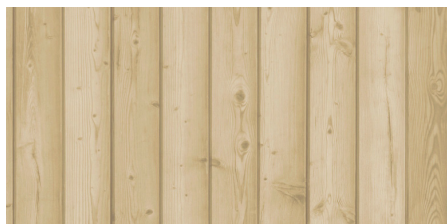


PROPOSED PARTIAL STREETSCAPE



PROPOSED PARTIAL SITE PLAN

**WD-01**



RED CEDAR CLADDING  
4" WIDE, CLEAR COAT, VERTICAL

**MAS-01**



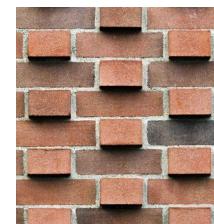
BRICK VENEER  
2-1/4" MODULAR, MONTEREY RED MIX

**MAS-02**



TEXTURED BRICK  
2-1/4" MODULAR, MONTEREY RED MIX

**MAS-03**



**MTL-01**



RAILINGS, DOORS, AND WINDOWS  
POWDER-COATED DARK BRONZE

# REFINED DESIGN

## PROPOSED DUPLEX D-2: MATERIAL REGIONS



PROPOSED NORTH MATERIAL REGIONS

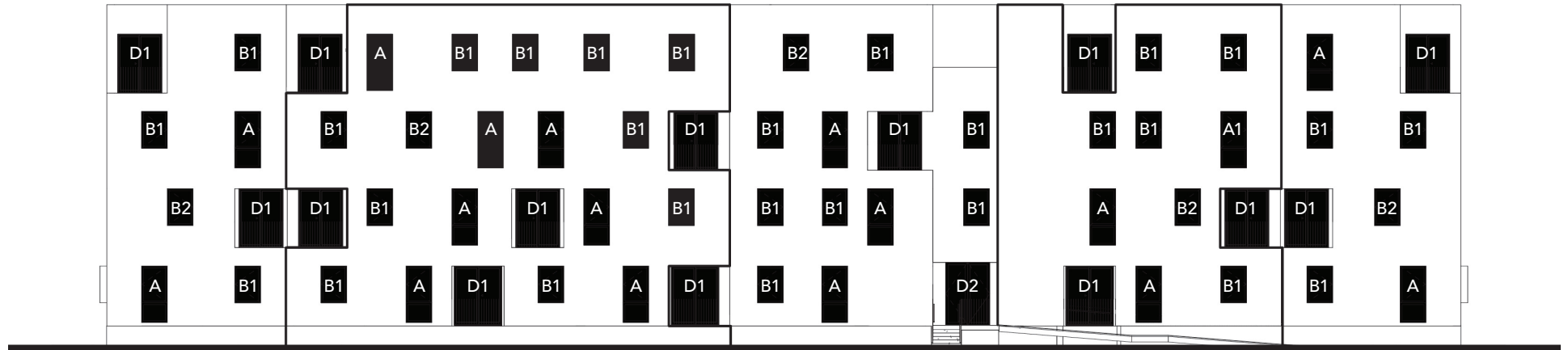


PROPOSED SOUTH MATERIAL REGIONS

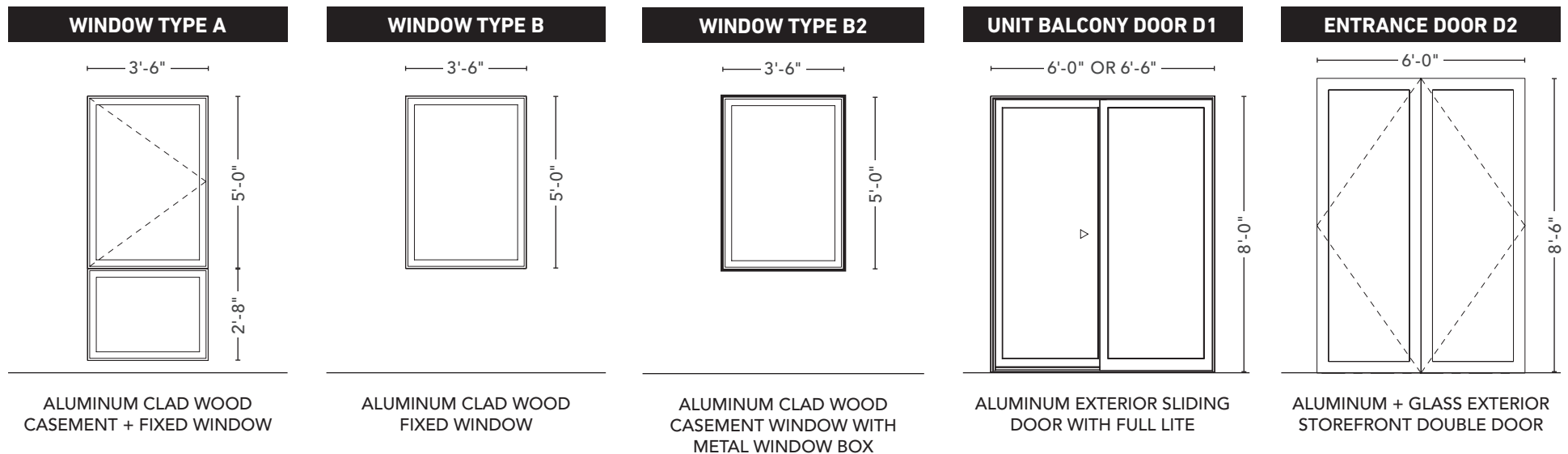


# REFINED DESIGN

## PROPOSED DUPLEX D-2: OPENINGS



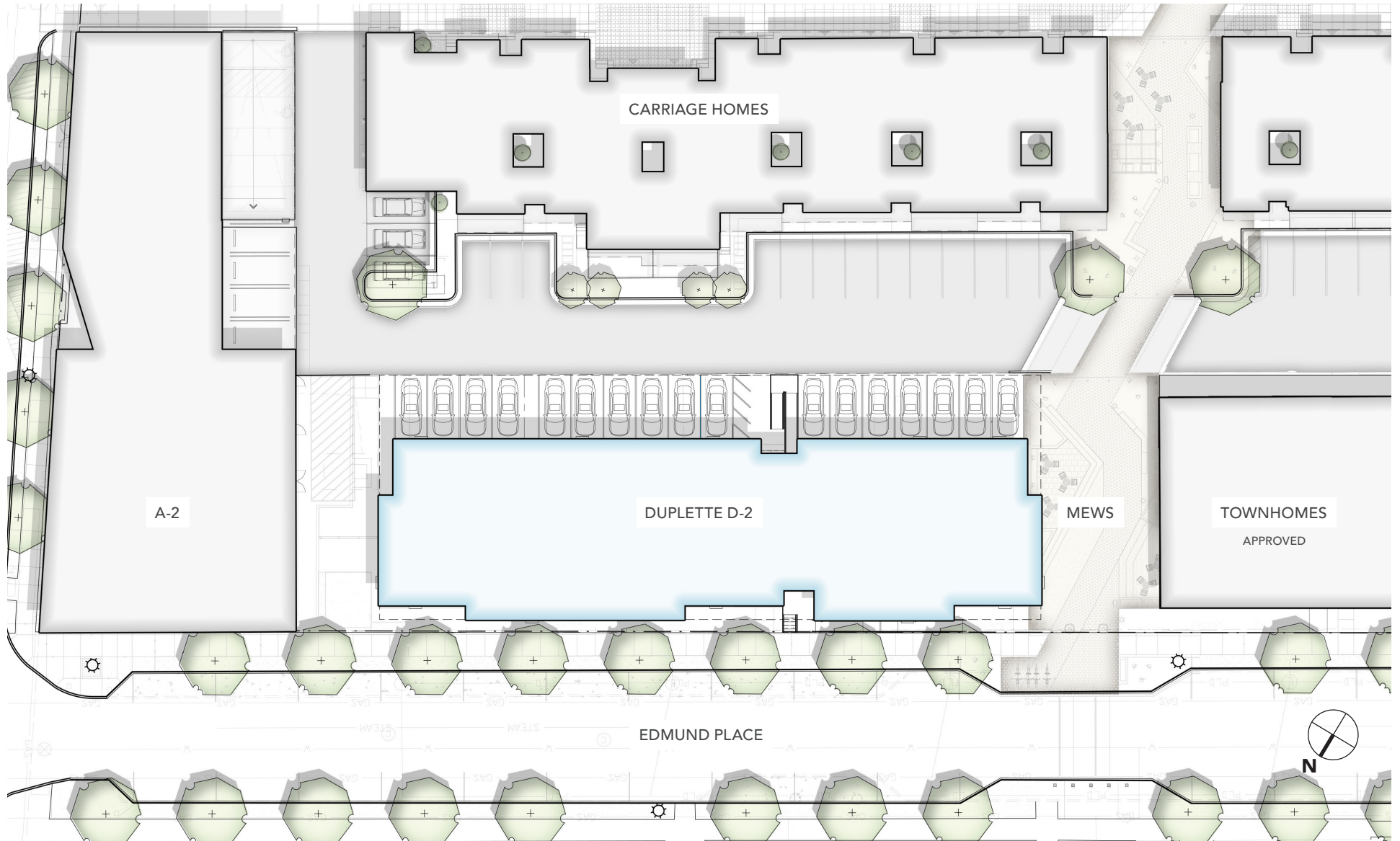
PROPOSED NORTH OPENINGS





# SITE PLAN

## PROPOSED DUPLEX D-2



# PERSPECTIVE

PROPOSED D-2 DESIGN





# ELEVATIONS

PROPOSED



PROPOSED NORTH ELEVATION

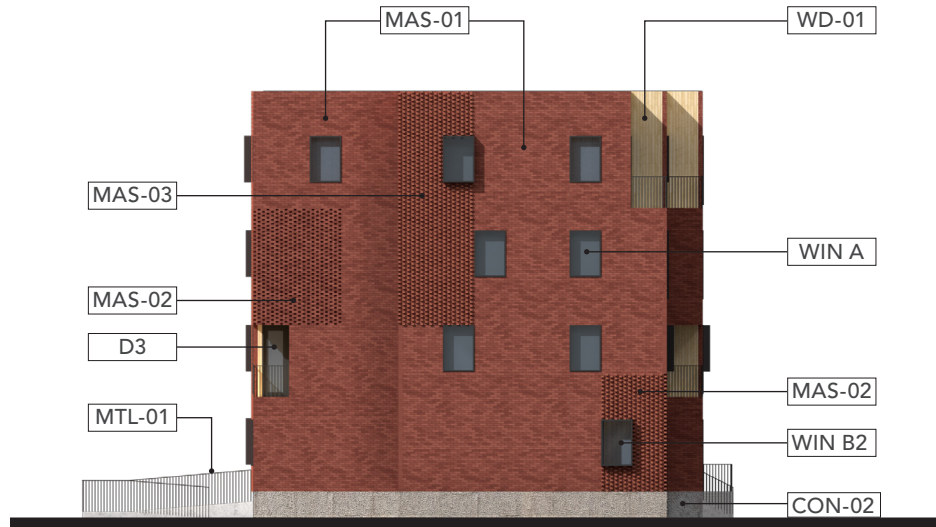


PROPOSED SOUTH ELEVATION



# ELEVATIONS

PROPOSED



PROPOSED EAST ELEVATION



PROPOSED WEST ELEVATION

# MATERIALS

PROPOSED

**MAS-01**



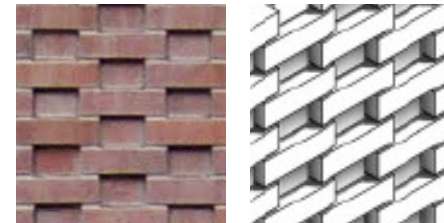
BRICK VENEER  
2-1/4" MODULAR, MONTEREY RED MIX

**WD-01**



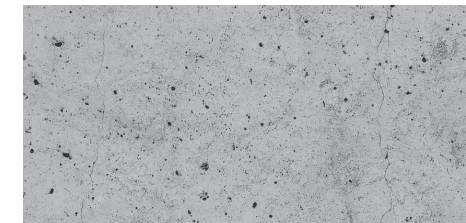
RED CEDAR CLADDING  
4" WIDE, CLEAR COAT, VERTICAL

**MAS-02**



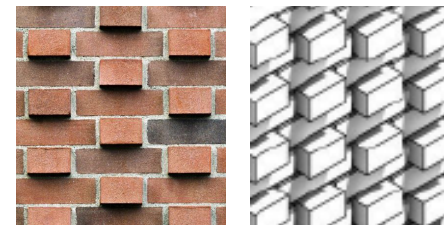
TEXTURED BRICK, RECEDING  
2-1/4" MODULAR, MONTEREY RED MIX

**CON-02**



POURED CONCRETE  
EXPOSED FOUNDATION WALL

**MAS-03**



TEXTURED BRICK, PROTRUDING  
2-1/4" MODULAR, MONTEREY RED MIX

**MTL-01**



RAILINGS, DOORS, AND WINDOWS  
POWDER-COATED DARK BRONZE



# OPENINGS

## PROPOSED WINDOWS

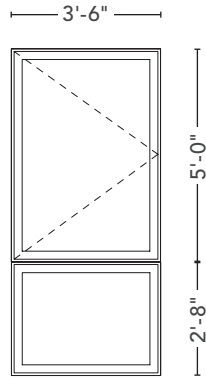
MANUFACTURER:  
QUAKER WINDOWS AND DOORS

SERIES:  
M600 MODERNVU

MATERIAL:  
ALUMINUM

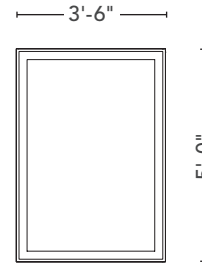
COLOR:  
DARK BRONZE ANODIZED

### WINDOW TYPE A



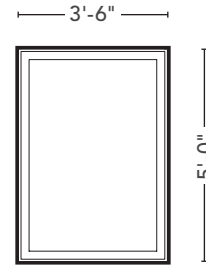
ALUMINUM CLAD WOOD CASEMENT +  
FIXED WINDOW

### WINDOW TYPE B1



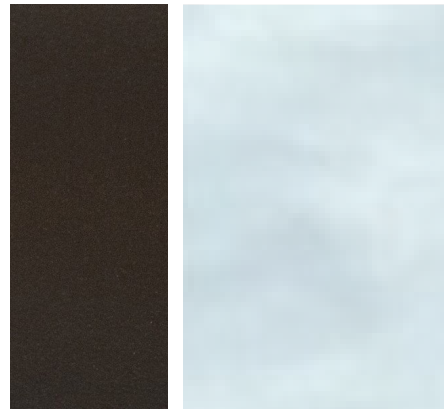
ALUMINUM CLAD WOOD FIXED  
WINDOW

### WINDOW TYPE B2



ALUMINUM CLAD WOOD CASEMENT  
WINDOW WITH METAL WINDOW BOX

### MATERIALS



DARK BRONZE ANODIZED ALUMINUM  
+ TYPICAL GLAZING

### SAMPLE IMAGE



QUAKER CASEMENT WINDOW WITH  
MINIMAL PROFILE

# OPENINGS

## PROPOSED DOORS

### BALCONY DOORS

MANUFACTURER:  
QUAKER WINDOWS AND DOORS

SERIES:  
M600 MODERNVU

MATERIAL:  
ALUMINUM

COLOR:  
DARK BRONZE ANODIZED

### LOBBY ENTRANCE DOORS

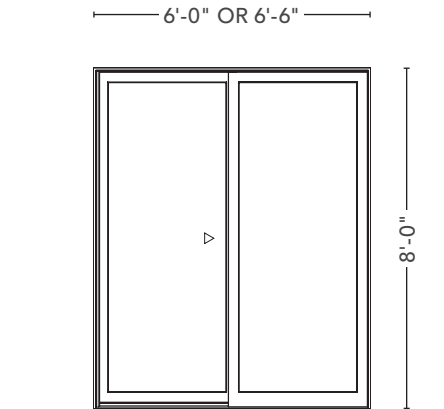
MANUFACTURER:  
KAWNEER

SERIES:  
INSULCLAD 360

MATERIAL:  
ALUMINUM

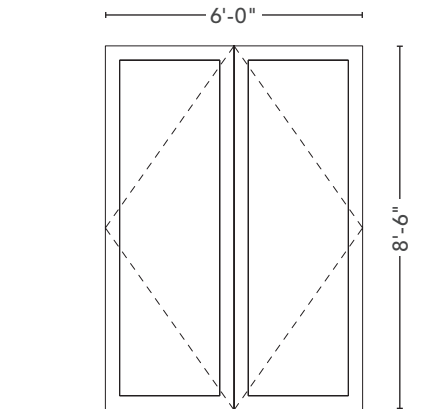
COLOR:  
DARK BRONZE ANODIZED

#### UNIT BALCONY DOOR D1



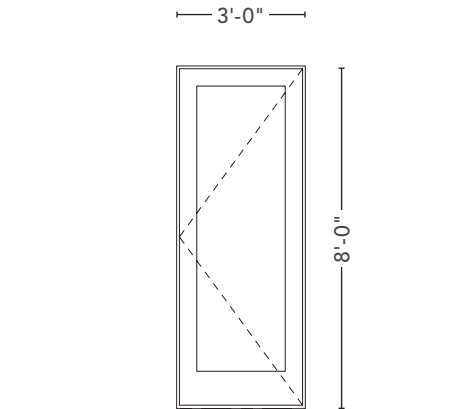
ALUMINUM EXTERIOR SLIDING DOOR  
WITH FULL LITE

#### LOBBY ENTRANCE DOOR D2



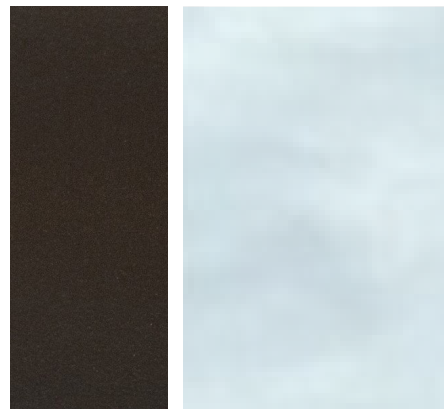
ALUMINUM + GLASS EXTERIOR  
STOREFRONT DOUBLE DOOR

#### UNIT BALCONY DOOR D3



ALUMINUM EXTERIOR SWINGING  
DOOR WITH FULL LITE

#### MATERIALS



DARK BRONZE ANODIZED ALUMINUM  
+ TYPICAL GLAZING

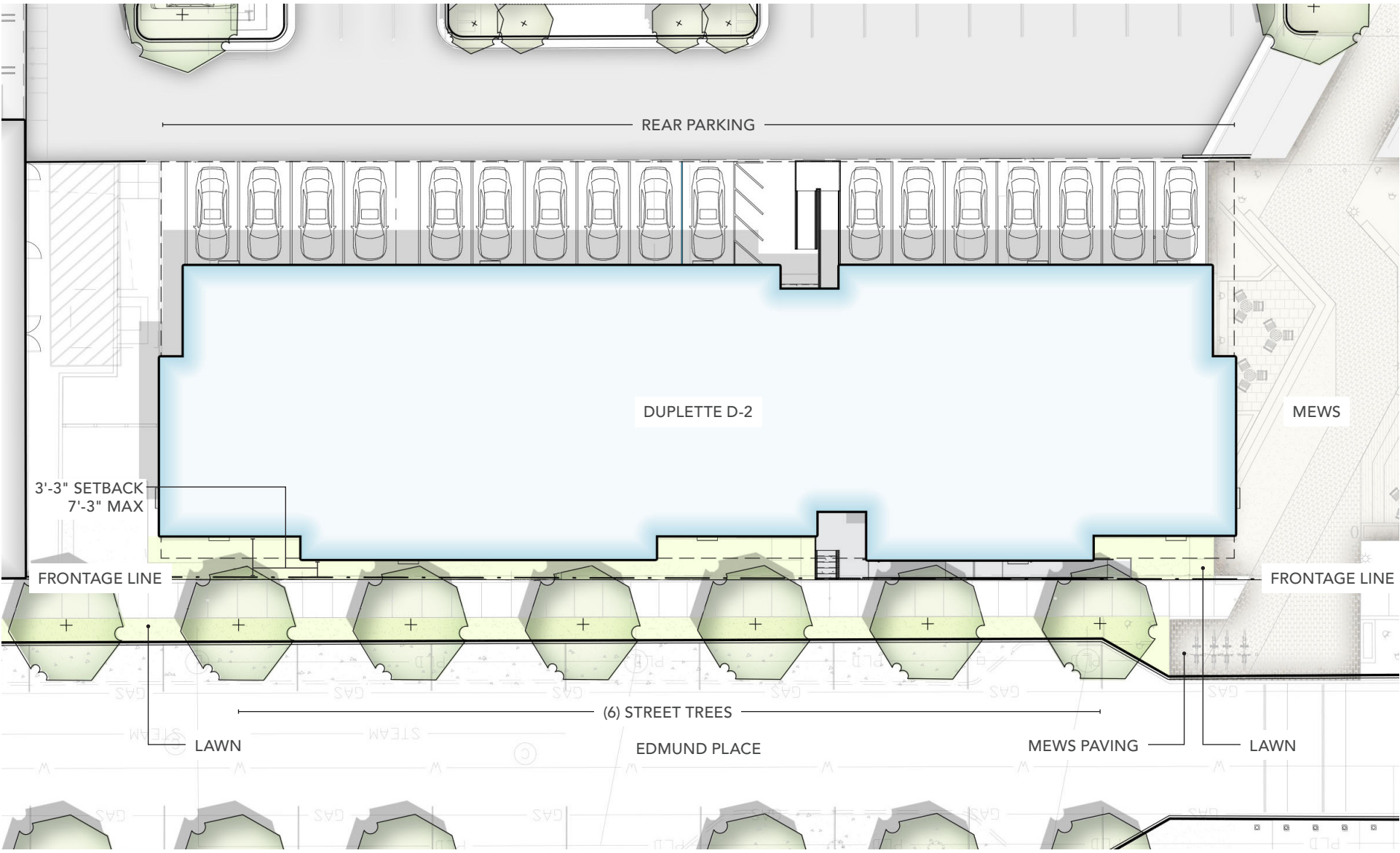
#### SAMPLE IMAGE



QUAKER EXTERIOR SWINGING DOOR  
WITH FULL LITE

# SITE + LANDSCAPE

## APPROVED PLAN





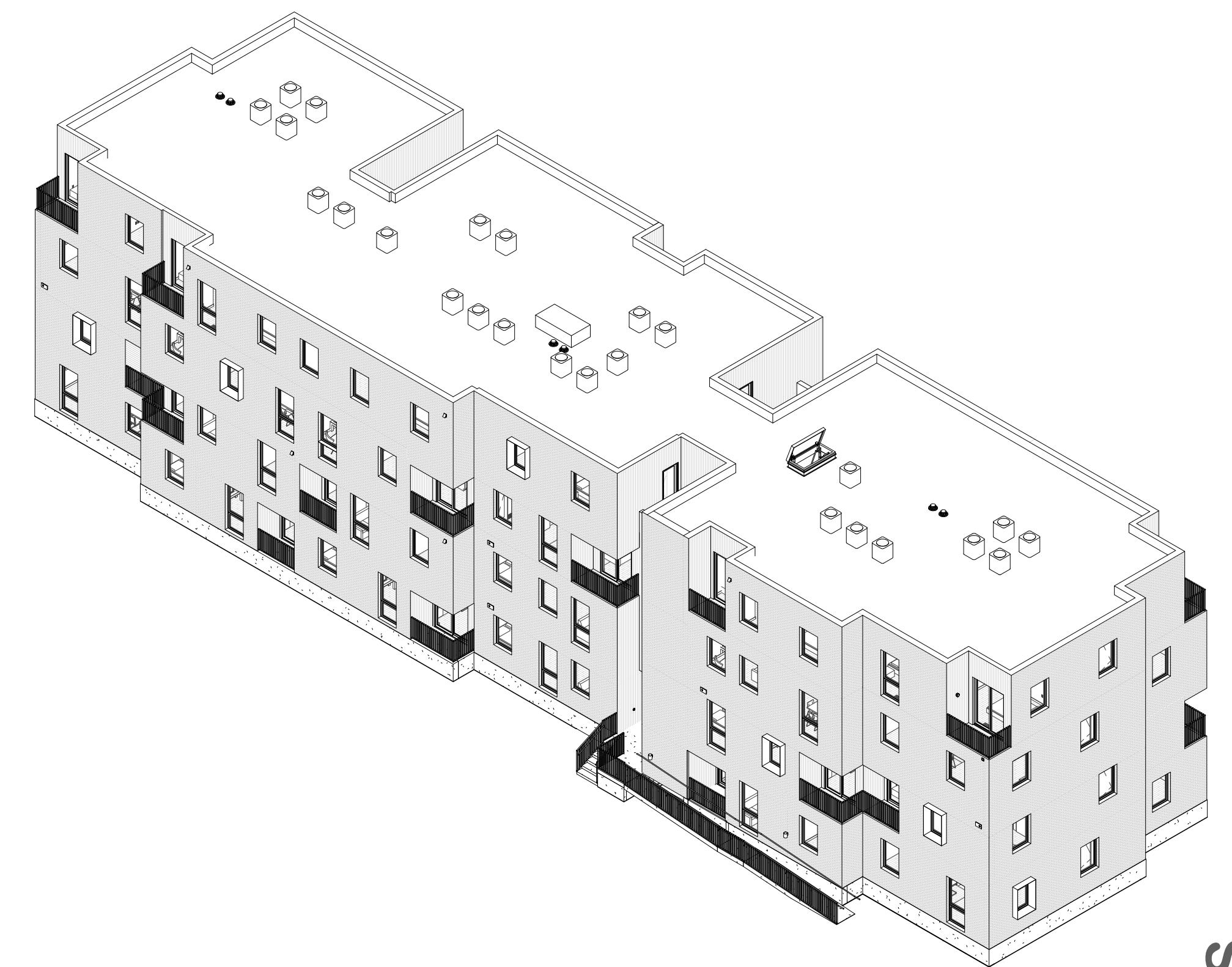
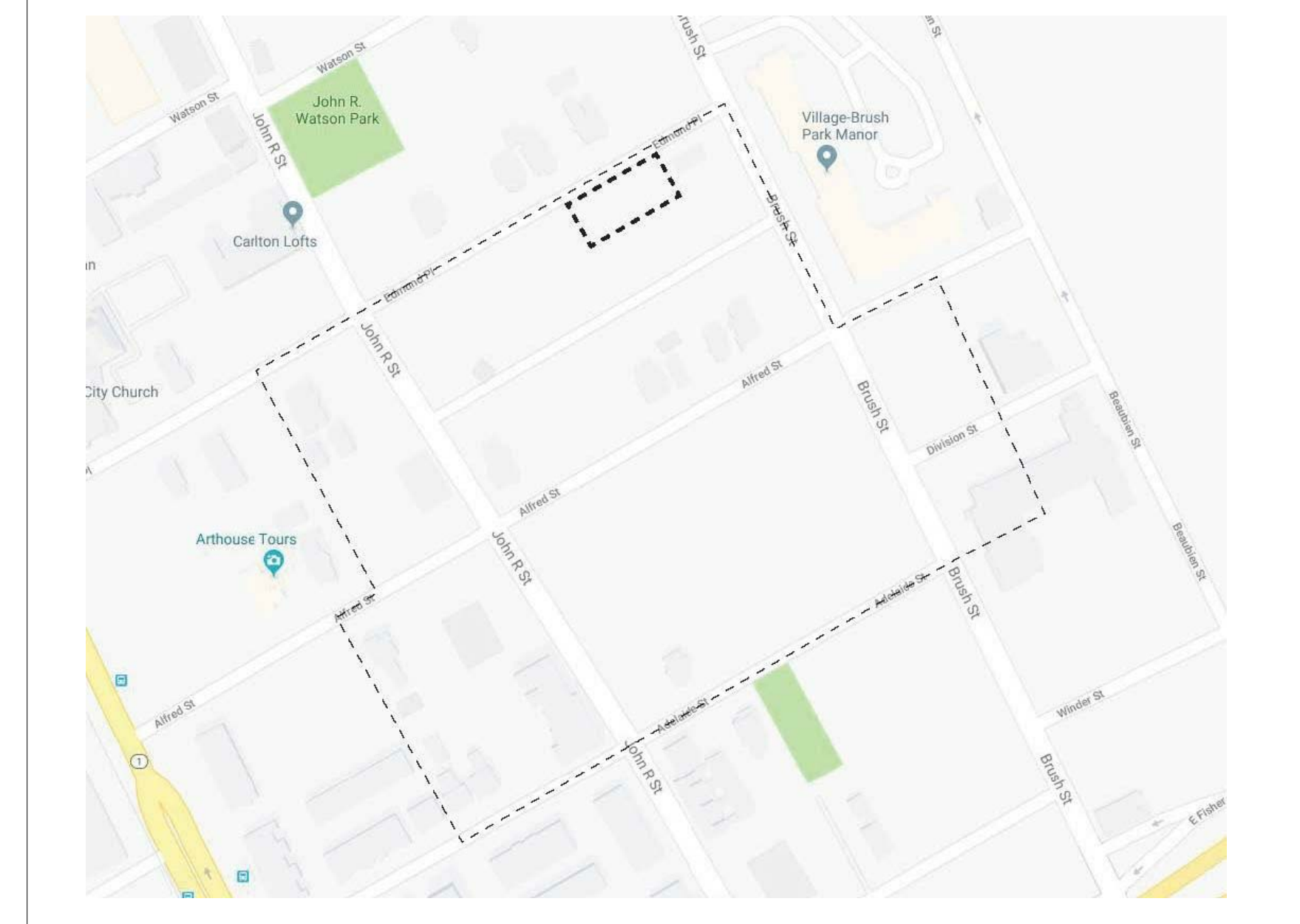
**BEDROCK**

— DETROIT —





SITE LOCATION MAP



# Brush Park Duplette D-2

**100% CD/ PERMIT SET**

**15 MAY 2020**

On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

OWNER / DEVELOPER  
BRUSH PARK DEVELOPMENT  
COMPANY PHASE 1 LLC  
1092 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST., 6TH FLOOR  
BOSTON, MA 02210  
T: 617.670.0265

STRUCTURAL ENGINEER  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER  
SELLINGER ASSOCIATES, INC.  
19821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248-482-0048

ELECTRICAL ENGINEER  
ETS ENGINEERING, INC.  
418-1/2 S. WASHINGTON AVE.  
ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH, MA 01772



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1592 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617-675-0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49418  
 T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARRINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0945  
 F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNPIKE ROAD, SUITE 200  
 SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC  
**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE:

DATE: 05/15/2020

DRAWING TITLE

**DRAWING INDEX**

SHEET NO.

**G-001**

100% CD / PERMIT SET

5/18/2020 2:26:05 AM

100% CD / PERMIT

0-GENERAL

G-000	COVER SHEET	*
G-001	DRAWING INDEX	*
G-100	GENERAL NOTES & ABBREVIATIONS	*
G-101	CODE REVIEW & AREA PLANS	*

1-LIFE SAFETY

LS-001	LIFE SAFETY PLANS	*
LS-002	LIFE SAFETY PLANS	*

2-ARCHITECTURAL

A-001	SITE PLAN	*
A-101	BASEMENT AND FIRST FLOOR PLAN	*
A-101A	FIRST FLOOR PLAN - WEST	*
A-101B	FIRST FLOOR PLAN - EAST	*
A-102	SECOND FLOOR PLAN	*
A-102A	SECOND FLOOR PLAN - WEST	*
A-102B	SECOND FLOOR PLAN - EAST	*
A-103	THIRD FLOOR PLAN	*
A-103A	THIRD FLOOR PLAN - WEST	*
A-103B	THIRD FLOOR PLAN - EAST	*
A-104	FOURTH FLOOR PLAN	*
A-104A	FOURTH FLOOR PLAN - WEST	*
A-104B	FOURTH FLOOR PLAN - EAST	*
A-105	ROOF PLAN	*
A-111	BASEMENT AND FIRST FLOOR RCP	*
A-111A	FIRST FLOOR RCP - WEST	*
A-111B	FIRST FLOOR RCP - EAST	*
A-112	SECOND FLOOR RCP	*
A-112A	SECOND FLOOR RCP - WEST	*
A-112B	SECOND FLOOR RCP - EAST	*
A-113	THIRD FLOOR RCP	*
A-113A	THIRD FLOOR RCP - WEST	*
A-113B	THIRD FLOOR RCP - EAST	*
A-114	FOURTH FLOOR RCP	*
A-114A	FOURTH FLOOR RCP - WEST	*
A-114B	FOURTH FLOOR RCP - EAST	*
A-200	EXTERIOR ELEVATIONS	*
A-201	EXTERIOR ELEVATIONS	*
A-300	BUILDING SECTIONS - LONGITUDINAL	*
A-301	BUILDING SECTIONS - LONGITUDINAL	*
A-302	BUILDING SECTIONS - TRANSVERSE	*
A-303	BUILDING SECTIONS - TRANSVERSE	*
A-400	TEXTURED BRICK DETAILS	*
A-500	WALL SECTIONS	*
A-501	WALL SECTIONS	*
A-502	FOUNDATION DETAILS	*
A-503	EXTERIOR PLAN DETAILS	*
A-504	EXTERIOR SECTION DETAILS	*
A-505	EXTERIOR SECTION DETAILS	*
A-510	EXTERIOR DOOR DETAILS	*
A-511	EXTERIOR WINDOW DETAILS	*
A-602	MATERIAL INDEX & TRANSITION DETAILS	*
A-603	SCHEDULES	*
A-700	UNIT TYPE A, B, B' INTERIOR ELEVATIONS	*
A-701	UNIT TYPE C, C' INTERIOR ELEVATIONS	*
A-702	UNIT TYPE D INTERIOR ELEVATIONS	*
A-703	UNIT TYPE E INTERIOR ELEVATIONS	*
A-704	UNIT TYPE F INTERIOR ELEVATIONS	*
A-705	UNIT TYPE G, G' INTERIOR ELEVATIONS	*
A-706	UNIT TYPE H, H' INTERIOR ELEVATIONS	*
A-707	UNIT TYPE I INTERIOR ELEVATIONS	*
A-708	COMMON AREA INTERIOR ELEVATIONS	*
A-709	COMMON AREA INTERIOR ELEVATIONS	*
A-710	KITCHEN LAYOUTS 1 + 2, UNITS A, B	*
A-711	KITCHEN LAYOUT 3, UNITS C, C', D, G, G', I, E	*
A-712	KITCHEN LAYOUT 4, UNITS F, H	*
A-713	KITCHEN LAYOUT 5, UNIT B (TYPE A)	*
A-720	BATHROOMS UNIT A	*
A-721	BATHROOMS UNIT B	*
A-722	BATHROOMS UNITS C, E, H	*
A-723	BATHROOMS, UNITS D, E, G, H, I	*
A-724	BATHROOMS, UNIT F	*
A-725	BATHROOMS, UNIT G, I	*
A-730	ENLARGED ELEVATIONS	*
A-800	COMMON STAIR 1	*
A-801	COMMON STAIR 2	*
A-900	STAIR DETAILS	*
A-901	INTERIOR DETAILS	*
A-902	INTERIOR DETAILS	*

100% CD / PERMIT

3-STRUCTURAL

F-101	FOUNDATION PLAN	*
F-102	BASEMENT FOUNDATION PLAN	*
F-201	FOUNDATION DETAILS	*
F-202	FOUNDATION DETAILS	*
F-203	FOUNDATION DETAILS	*
S-101	MAIN FLOOR FRAMING PLAN	*
S-102	SECOND FLOOR FRAMING PLAN	*
S-103	THIRD FLOOR FRAMING PLAN	*
S-104	FOURTH FLOOR FRAMING PLAN	*
S-105	ROOF FRAMING PLAN	*
S-106	STRUCTURAL NOTES AND LOADING	*
S-107	SHEAR WALL LOCATION PLAN 4TH FLOOR	*
S-108	SHEAR WALL LOCATION PLAN FLOORS 1, 2, 3	*
S-109	SHEAR WALL AND LINTEL ELEVATIONS	*
S-110	SHEAR WALL AND LINTEL ELEVATIONS	*
S-111	SHEAR WALL ELEVATIONS	*
S-112	SHEAR WALL ELEVATIONS	*
S-201	FRAMING DETAILS	*
S-202	FRAMING DETAILS	*
S-203	FRAMING DETAILS	*

4-MECHANICAL

M-000	MECHANICAL LEGEND, SYMBOLS, AND ABBREVIATIONS	*
M-101	MECHANICAL BASEMENT PLAN	*
M-102	MECHANICAL FIRST FLOOR PLAN	*
M-103	MECHANICAL SECOND FLOOR PLAN	*
M-104	MECHANICAL THIRD FLOOR PLAN	*
M-105	MECHANICAL FOURTH FLOOR PLAN	*
M-106	MECHANICAL ROOF PLAN	*
M-300	TEMPERATURE CONTROLS	*
M-400	MECHANICAL DETAILS	*
M-401	MECHANICAL DETAILS	*
M-500	MECHANICAL SCHEDULES	*
M-501	MECHANICAL SCHEDULES	*

5-PLUMBING

P-000	PLUMBING LEGEND, SYMBOLS, AND ABBREVIATIONS	*
P-100	PLUMBING UNDERGROUND PLAN	*
P-101	PLUMBING BASEMENT PLAN	*
P-102	PLUMBING FIRST FLOOR PLAN	*
P-103	PLUMBING SECOND FLOOR PLAN	*
P-104	PLUMBING THIRD FLOOR PLAN	*
P-105	PLUMBING FOURTH FLOOR PLAN	*
P-106	PLUMBING ROOF PLAN	*
P-200	ENLARGED PLAN	*
P-300	PLUMBING DETAILS	*
P-400	PLUMBING DETAILS	*
P-500	PLUMBING SCHEDULES	*
P-600	PLUMBING SCHEDULES	*
P-601	PLUMBING SCHEDULES	*
P-700	FIRE PROTECTION PLANS	*

6-ELECTRICAL

E-000	ELECTRICAL SYMBOLS LIST, GENERAL NOTES	*
E-001	LIGHT FIXTURE SCHEDULE AND NOTES	*
E-011	ELECTRICAL SITE PLAN	*
E-100	BASEMENT ELECTRICAL POWER & LIGHTING PLAN	*
E-101A	1ST FLOOR WEST ELECTRICAL POWER & LIGHTING PLAN	*
E-101B	1ST FLOOR EAST ELECTRICAL POWER & LIGHTING PLAN	*
E-102A	2ND FLOOR WEST ELECTRICAL POWER & LIGHTING PLAN	*
E-102B	2ND FLOOR EAST ELECTRICAL POWER & LIGHTING PLAN	*
E-103A	3RD FLOOR WEST ELECTRICAL POWER & LIGHTING PLAN	*
E-103B	3RD FLOOR EAST ELECTRICAL POWER & LIGHTING PLAN	*
E-104A	4TH FLOOR WEST ELECTRICAL POWER & LIGHTING PLAN	*
E-104B	4TH FLOOR EAST ELECTRICAL POWER & LIGHTING PLAN	*
E-105	ELECTRICAL ROOF PLAN	*
E-300	ELECTRICAL RISER DIAGRAM & DETAILS	*



**PROJECT NOTES**

**USE OF CONSTRUCTION DOCUMENTS**

- CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYNOTES SHALL BE USED. CONTACT ARCHITECT IF CLARIFICATION OR ADDITIONAL INFORMATION IS REQUIRED.
- INFORMATION REGARDING EXISTING SYSTEMS, FINISHES AND CONDITIONS WHICH IS SHOWN ON THESE DRAWINGS IS BASED UPON INFORMATION FURNISHED TO THE ARCHITECT BY THE OWNER AND/OR PERCEIVED CONDITION IN THE FIELD. THE INFORMATION IS NOT INTENDED TO GUARANTEE EXACT CONDITIONS BEFORE WORK IS STARTED.
- THE DRAWINGS ARE SCHEMATIC IN NATURE. MODIFICATIONS IN DUCTS, PIPING, CONDUIT AND WIRING MAY BE REQUIRED TO ACCOMMODATE ACTUAL FIELD CONDITIONS.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN AND PROTECT EXISTING SYSTEMS AND FINISHES WHICH ARE TO REMAIN. ANY DAMAGES TO SUCH SYSTEMS AND FINISHES SHALL BE IMMEDIATELY REPAIRED IN A MANNER ACCEPTABLE TO THE ARCHITECT. IF SATISFACTORY REPAIRS CANNOT BE MADE, CONTRACTOR SHALL REPLACE SYSTEM AND FINISHES WITH LIKE NEW QUALITY CONSTRUCTION ACCEPTABLE TO THE ARCHITECT. ALL REPAIRS AND REPLACEMENT COSTS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.
- DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS UNLESS FOR SUBMITTALS WITHOUT PRIOR APPROVAL OF ARCHITECT WILL BE REJECTED AND RETURNED TO THE CONTRACTOR.
- DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
  - TO FACE OF STUD.
  - TO FINISH FACE OF WALL OR EXTERIOR WALL.
  - TO CENTERLINE OF COLUMNS AND DOORS
  - TO TOP OF FINISHED FLOOR
  - TO BOTTOM OF FINISHED CEILING.

**ADMINISTRATION OF THE WORK**

- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS.
- CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.
- CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND BUILDING OWNER, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL, USE OF STAIRS AND ELEVATORS, REMOVAL OF WINDOWS, LOCATION OF CHUTES AND DUMPSTERS, ETC. PRIOR TO REMOVAL OF DEBRIS. CONTRACTOR SHALL CLEAN AND REPAIR ANY DAMAGES TO EXISTING SYSTEMS SOILED OR DAMAGED BY DEBRIS REMOVAL PROCESS. IF CLEANING AND REPAIR DOES NOT RETURN SYSTEMS TO ORIGINAL CONDITION CONTRACTOR SHALL INSTALL NEW SYSTEMS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH OWNER'S (OR BUILDING OWNER'S) PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.
- CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH OWNER'S (OR BUILDING OWNER'S) PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.
- EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSULATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.
- CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

**STANDARDS AND REGULATIONS**

- CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS AND SIMILAR STANDARDS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH COPIES OF ALL SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR IF PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF INSPECTIONS.
- IF APPLICABLE, CONTRACTOR SHALL FILE NOTICE OF INTENT WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA).
- CONTRACTOR SHALL COORDINATE WORK WITH APPLICABLE UTILITY PROVIDERS.
- CONTRACTOR SHALL BE FAMILIAR WITH REQUIREMENTS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH REFERENCES FIRE-RATED ASSEMBLY TESTS AND STANDARDS.
- IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, CONTRACTOR SHALL CEASE WORK IN THE AREA AND CONTACT ARCHITECT AND OWNER IMMEDIATELY.
- CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMISSION OF BIDS TO REVIEW EXISTING CONDITIONS.
- WORK NOT INDICATED BUT INFERRABLE TO COMPLETE WORK IS UNDERSTOOD TO BE INCLUDED.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD BEFORE DEMOLITION OR CONSTRUCTION OF ANY PORTION OF THIS PROJECT.

**DEFINITIONS**

- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.
- "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT. CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.
- "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
- "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
- "TYPICAL" OR "TYP" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT.
- "+/-" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUALITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

**MATERIALS**

- ALL DISSIMILAR METAL MATERIALS SHALL BE ISOLATED WITH A NON-METALLIC SEPARATOR.
- WOOD SHALL BE FIRE-RETARDANT-TREATED UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.
- ANY MATERIAL SUBSTITUTIONS MUST BE SUBMITTED IN WRITING FOR APPROVAL BY THE ARCHITECT.
- ALL MATERIALS USED IN FIRE-RATED ASSEMBLIES SHALL BE APPROVED BY U.L. OR OTHER RECOGNIZED STANDARD FOR USE IN SUCH ASSEMBLIES.

**GENERAL NOTES**

- ALL WORK TO BE DONE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES AND AGENCIES HAVING JURISDICTION.
- ANY CONFLICT OR DISCREPANCY WHATSOEVER BETWEEN DRAWINGS, SPECIFICATIONS, AND/OR EXISTING CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
- WORK NOT INDICATED BUT INFERRABLE TO COMPLETE WORK IS UNDERSTOOD TO BE INCLUDED.
- CONTRACTOR TO COORDINATE ALL NEW CONSTRUCTION WITH DETAILS, SPECS, AND NOTES.
- CONTRACTOR TO INCLUDE INSTALLATION FOR ALL NOT IN CONTRACT (N.I.C.) ITEMS IN BUDGET.
- CONTRACTOR TO INCLUDE ADDITIONAL BLOCKING AS REQUIRED FOR SURFACE MOUNTED ITEMS.

**PROJECT DESCRIPTION**

**GENERAL SUMMARY OF WORK:**

BUILD OUT OF 26 RENTAL DWELLING UNITS IN ONE STRUCTURE

BUILD OUT INCLUDES FOUNDATION, BALCONIES, DECKS, CLADDING, PARTITIONS, CASEWORK, AND FINISHES

INSTALLATION OF NATURAL GAS FURNACE IN ALL DWELLING UNITS WITH REMOTE CONDENSING UNIT ON ROOF

INSTALLATION OF PLUMBING FIXTURES AND ASSOCIATED PIPING AND EQUIPMENT

INSTALLATION OF ELECTRICAL EQUIPMENT INCLUDING RANGE, HOT WATER HEATER, AND WASHER/ DRYER

INSTALLATION OF LIGHT FIXTURES, SWITCHES, OUTLETS, AND ASSOCIATED WIRING INCLUDING DWELLINGS' ELECTRICAL PANELS

INSTALLATION OF TELEPHONE AND DATA CABLES TO ALL UNITS

**EXTERIOR MATERIAL:**

FULL BRICK VENEER  
WOOD SIDING AND DECKING  
METAL SPINDLE GUARDRAIL AT BALCONIES

**INTERIOR FINISH:**

PAINTED GYPSUM BOARD, TYPICAL

**APPLICABLE CODES & REGULATIONS**

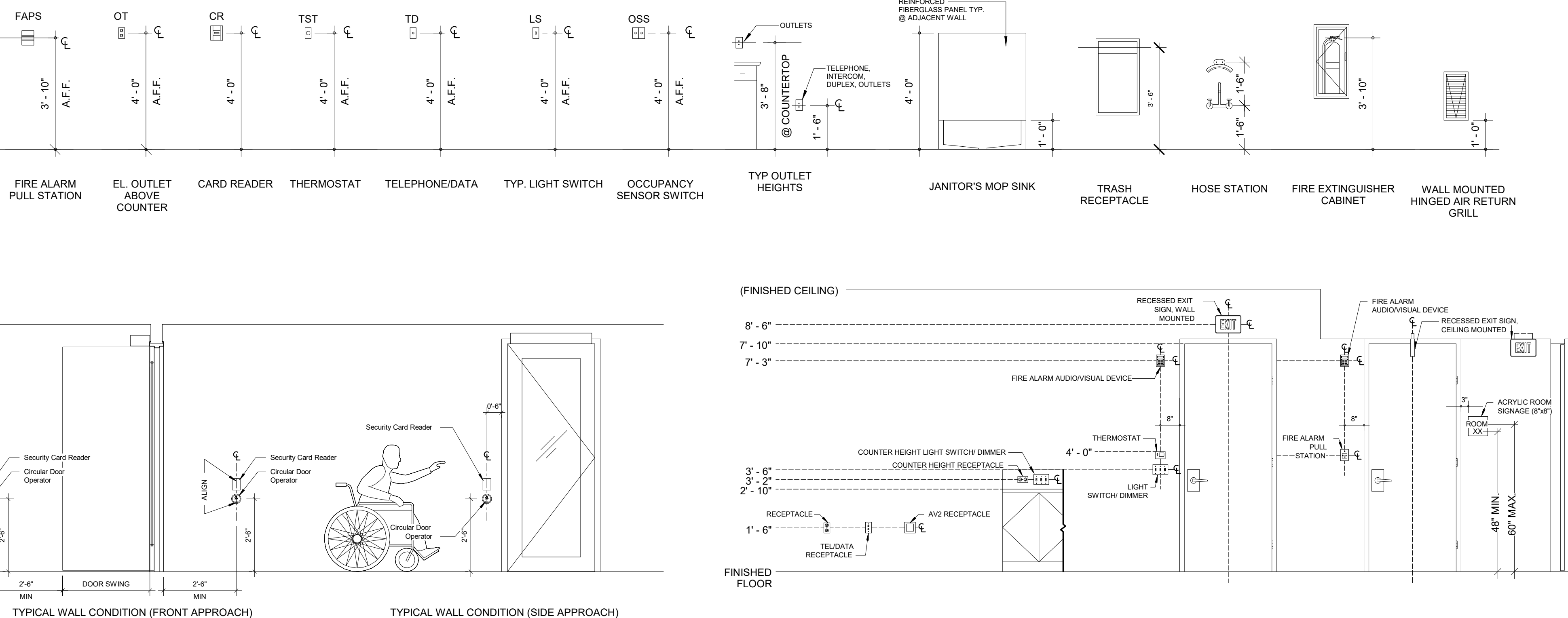
- 2015 Michigan Building Code
- 2017 City of Detroit Zoning Ordinance
- 2015 Detroit Fire Prevention and Protection Code (amended version of NFPA 1)
- 2015 Michigan Energy Code
- 2015 Michigan Mechanical Code
- 2015 Michigan Plumbing Code
- 2017 Michigan Electrical Code
- Accessibility: FHA, 2015 Michigan Building Code Chapter 11, ICC/ANSI A 117.1

**ABBREVIATIONS**

ABV	ABOVE	INT	INTERIOR
AD	ACCESS DOOR	JB	JAMB
ACT	ACOUSTICAL TILE	JO	JOINT
ADJ	ADJUSTABLE	LAM	LAMINATED
AFF	ABOVE FINISH FLOOR	LAV	LAVATORY
ALT	ALTERNATE	LDR	LEADER
BLKG	BLOCKING	LVR	LOUVER
B.O.	BOTTOM OF	LEV	LEVEL
CAB	CABINET	MECH	MECHANICAL
CLGHT	CEILING HEIGHT	MEMB	MEMBRANE
CEM	CEMENT	MTL	METAL
CL	CENTERLINE	MULL	MULLION
CT	CERAMIC TILE	NOM	NOMINAL
CLOS	CLOSET	NIC	NOT IN CONTRACT
COL	COLUMN	NTS	NOT TO SCALE
COL. L	COLUMN LINE	OC	ON CENTER
CONC	CONCRETE	OPNG	OPENING
CJ	CONTROL JOINT	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNIT	OAI	OUTSIDE AIR INTAKE
CONV	CONVECTOR	PBO	PROVIDED BY OWNER
CLG	CEILING	PTD	PAINTED
DEG	DEGREE	PNL	PANEL
DF	DRINKING FOUNTAIN	PTN	PARTITION
DET	DETAIL	PERF	PERFORATED
DIAG	DIAGONAL	PLAS	PLASTER
DIA	DIAMETER	PLAM	PLASTIC LAMINATE
DIFF	DIFFUSER	PL	PLATE
DISP	DISPENSER	PR	PIPE RISERS
DO	DOOR OPENING	PSF	POUNDS / SQUARE FOOT
DIV	DIVISION	PSI	POUNDS / SQUARE INCH
DR	DOOR	PL	PROPERTY LINE
DN	DOWN	PA	PUBLIC ADDRESS
DWG	DRAWING	PART	PARTIAL
EA	EACH	QTY	QUANTITY
EC	ELECTRICAL CLOSET	RA	RETURN AIR
ELEC	ELECTRICAL/ELECTRICAL	RAD	RADIUS
EL	ELEVATION	RCP	REFLECTED CEILING PLAN
EMER	EMERGENCY	REQD	REQUIRED
ENCL	ENCLOSURE	RD	ROOF DRAIN
ENTR	ENTRANCE	RM	ROOM
EQ	EQUAL	RO	ROUGH OPENING
EXP JT	EXPANSION JOINT	STR	STAIR
EXIST	EXISTING	SA	SUPPLY AIR
EXP	EXPOSED	SCHED	SCHEDULE
EXT	EXTERIOR	SECT	SECTION
E.O.S.	EDGE OF SLAB	SH	SHIRT
F.O.B.	FACE OF BUILDING	SIM	SIMILAR
FAB	FABRICATE	SK	SKETCH
FIN	FINISH	STC	SOUND TRANSMISSION CLASSIFICATION
FIN FL	FINISH FLOOR	SPKLD	SPRINKLERED
FIN GR	FINISH GRADE	STD	STANDARD
FD	FLOOR DRAIN	STL	STEEL
FA	FIRE ALARM	SS	STAINLESS STEEL
FE	FIRE EXTINGUISHER	STOR	STORAGE
FEC	FIRE EXTINGUISHER CABINET	SUSP	SUSPENDED
FHC	FIRE HOSE CABINET	STRUCT	STRUCTURAL
FHR	FIRE HOSE RACK	SYM	SYMMETRICAL
FFRF	FIREPROOF	TC	TELEPHONE CLOSET
FL	FLOOR	THR	THRESHOLD
FD	FLOOR DRAIN	T.O. FF	TOP OF FINISH FLOOR
FTG	FOOTING	T.O. S	TOP OF SLAB
FDN	FOUNDATION	T.O. STL	TOP OF STEEL
FSP	FIRE STANDPIPE	TOP'G	TOPPING
GA	GAUGE	TYP	TYPICAL
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GL	GLASS	UR	URINAL
GR	GRADE	VB	VINYL BASE
GWB	GYPSUM WALLBOARD	VCT	VINYL COMPOSITION TILE
HC	HANDICAPPED	VENT	VENTILATION
HDNRL	HANDRAIL	VIF	VERIFY IN FIELD
HDW	HARDWARE	VERT	VERTICAL
HDWD	HARDWOOD	VEST	VESTIBULE
HT	HEIGHT	VWC	VINYL WALL COVERING
HM	HOLLOW METAL	WC	WATER CLOSET
HORIZ	HORIZONTAL	WP	WEATHERPROOF
HB	HOSE BIBB	WT	WEIGHT
INSUL	INSULATION		

**DRAWING LEGEND**

- 101 DOOR TAG
- WF-01 FINISH TAG
- 4 A101 2 INTERIOR ELEVATION TAG
- LF-01 LIGHTING FIXTURE TAG
- Room name ROOM TAG (FLOOR FINISH)
- 1 SIM SECTION TAG
- + SPOT ELEVATION
- 11 PARTITION TYPE TAG
- 1t WINDOW TAG



1 TYPICAL MOUNTING HEIGHTS  
3/8" = 1'-0"

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1192 WOODWARD AVE  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0262

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0946  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

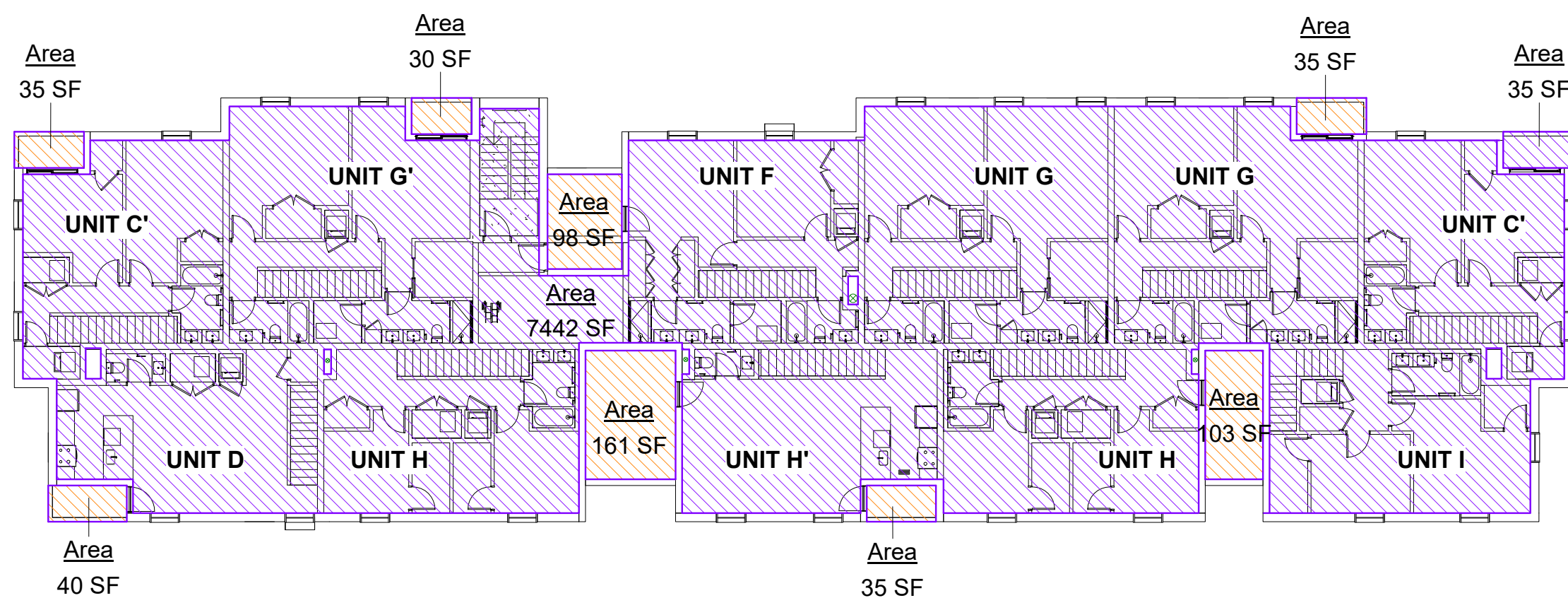
**GENERAL NOTES & ABBREVIATIONS**

SHEET NO.

**G-100**

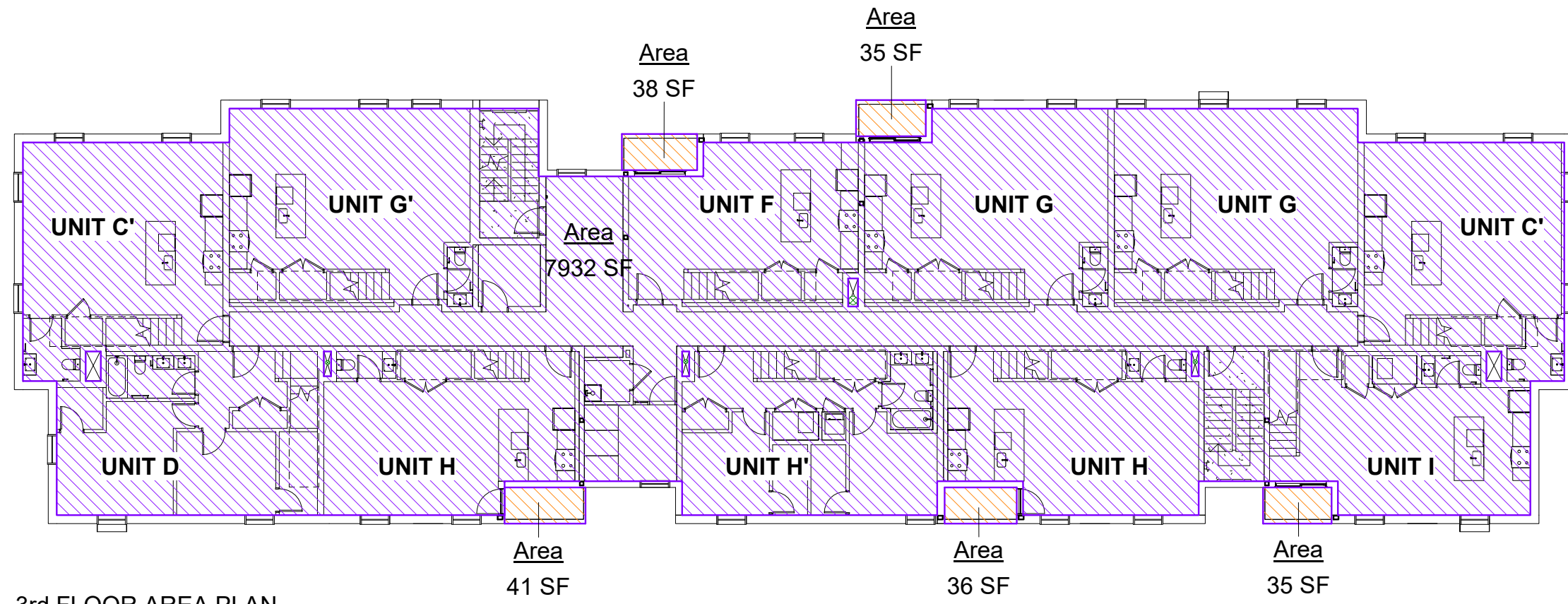
100% CD / PERMIT SET





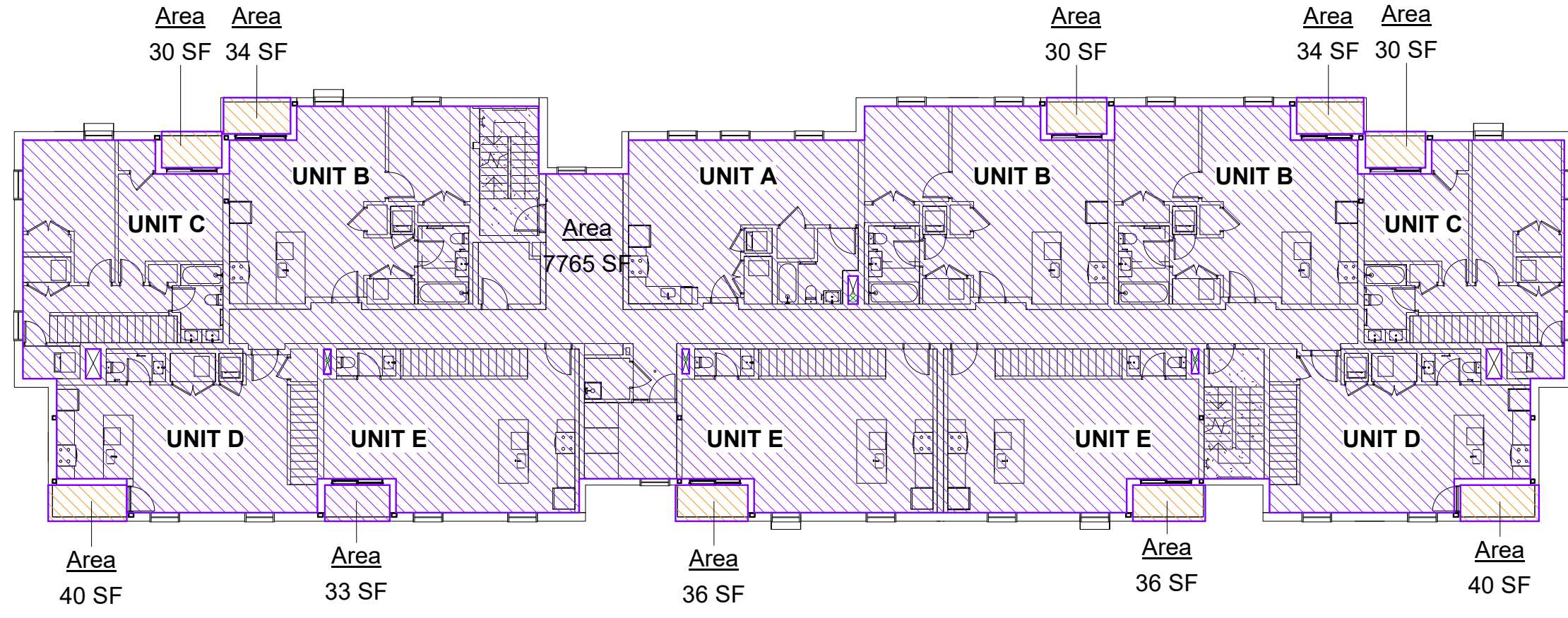
④ 4th FLOOR AREA PLAN  
1/16" = 1'-0"

OCCUPANT LOAD: 41



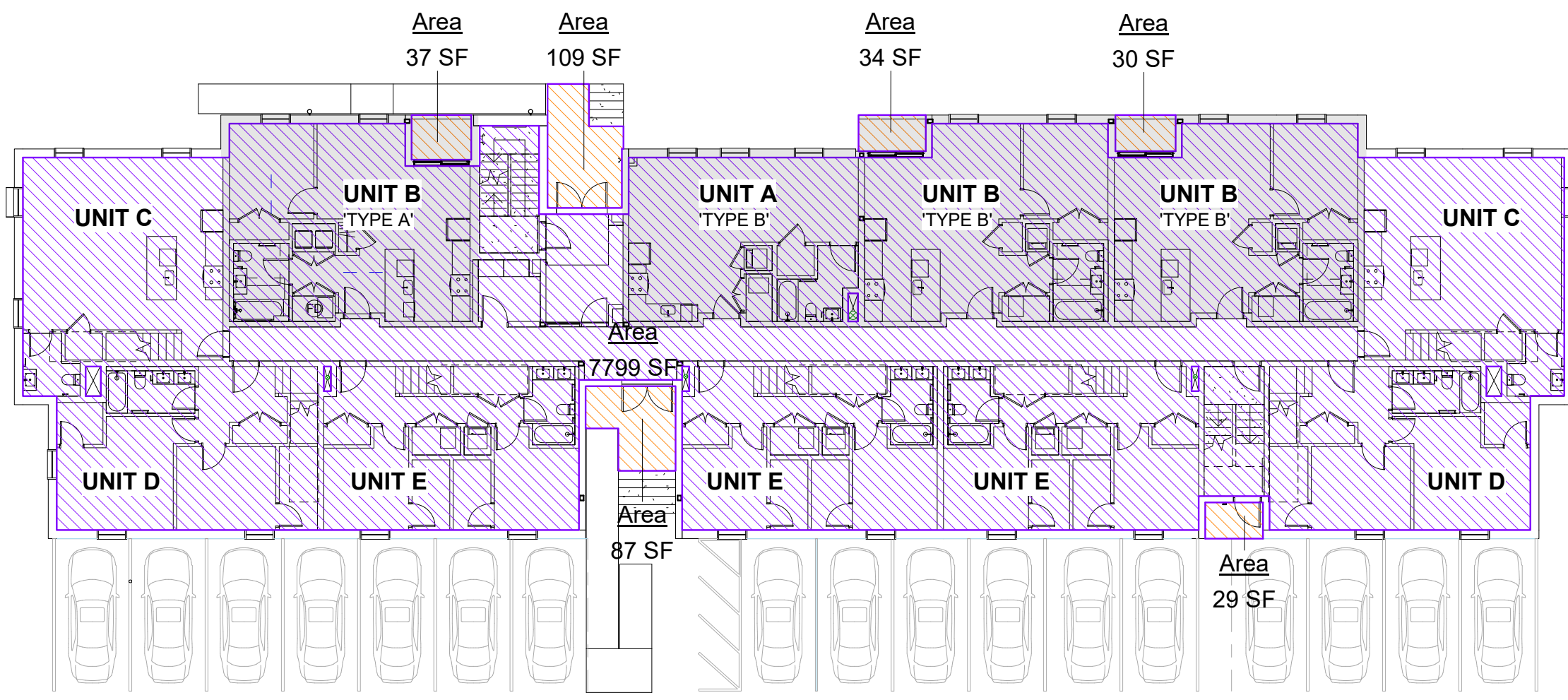
③ 3rd FLOOR AREA PLAN  
1/16" = 1'-0"

OCCUPANT LOAD: 41



② 2nd FLOOR AREA PLAN  
1/16" = 1'-0"

OCCUPANT LOAD: 41



① 1st FLOOR AREA PLAN  
1/16" = 1'-0"

OCCUPANT LOAD: 41

CODE ISSUE		CODE INFORMATION	
DESCRIPTION	PROJECT DATA	GROUP R-2	CODE SECTION
OCCUPANCY		VA	MBC 310.4
CONSTRUCTION TYPE		VA	MBC 602.5
FLOOR AREA	MAXIMUM ALLOWABLE AREA PER FLOOR = 12,000 SF	MAXIMUM = 8,126 SF (FIRST FLOOR)	MBC 506, TABLE 506.2
BUILDING AREA	MAXIMUM ALLOWABLE AREA PER BUILDING = 49,500 SF (NOT INCLUDING BASEMENT)	BUILDING AREA = 32,366 SF	MBC 506, TABLE 506.2
BUILDING HEIGHT	MAXIMUM ALLOWABLE HEIGHT = FOUR STORIES, 70'-0"	45'-0", FOUR STORIES (NOT INCLUDING UTILITIES BASEMENT)	TABLE 504.3 AND 504.4
BUILDING OCCUPANT LOADS		41 PER FLOOR	TABLE 1004.1.2
EXIT ACCESS TRAVEL DISTANCE	MAXIMUM ALLOWABLE (OCCUPANCY R AND WITH SPRINKLER SYSTEM) = 125'	PER CHART ON SHEETS LS-001 AND LS-002	TABLE 1017.2
EXIT(S)	TWO EXITS REQUIRED	TWO EXITS PROVIDED	TABLE 1006.3.1
STAIRWAY WIDTH	36" (MINIMUM) IF OCCUPANT LOAD PER FLOOR IS UNDER 50	38" PROVIDED	MBC 1011.2
EXTERIOR BEARING WALLS		1 HR. RATED	TABLE 601
PRIMARY STRUCTURAL FRAME		1 HR. RATED	TABLE 601
INTERIOR BEARING WALLS		1 HR. RATED	TABLE 601
INTERIOR WALLS BETWEEN UNITS		1 HR. RATED	TABLE 601
FLOOR AND ROOF ASSEMBLY		1 HR. RATED	TABLE 601
SHAFT WALL ASSEMBLY		1 HR. RATED WHEN CONNECTING 3 STORIES, 2 HR. RATED (SELF-SUPPORTING) WHEN CONNECTING 4 STORIES	MBC 713.4
SPRINKLER	REQUIRED THROUGHOUT	BUILDING TO BE EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13R FOR THE DWELLING UNITS AND NFPA 13 EVERYWHERE ELSE. SCOPE INCLUDES EXTERIOR BALCONIES.	MBC 903.2.8
FIRE ALARM	REQUIRED THROUGHOUT	BUILDING TO BE EQUIPPED WITH A FIRE ALARM SYSTEM SYSTEM IN ACCORDANCE WITH NFPA 72 AND LISTED SINGLE- OR MULTIPLE-STATION PHOTOELECTRIC TYPE SMOKE ALARMS	MBC 420.5
ACCESSIBILITY	ONE TYPE A UNIT REQUIRED. REMAINING GROUND FLOOR SINGLE STORY UNITS REQUIRED TO BE PROVIDED WITH MINIMALLY TYPE B ELEMENTS AND COMPLY WITH FHA	ONE TYPE A (1 BEDROOM), ONE TYPE B (STUDIO), AND TWO TYPE B (ONE BEDROOM) PROVIDED	MBC 1107.6.2.2.1
ELEVATOR	AN ELEVATOR IS NOT REQUIRED IN THE BUILDING	NOT PROVIDED	MBC 1107.4 Exception 7

GROSS FLOOR AREA		
LEVEL	AREA	AREA TYPE
BASEMENT	410 SF	Gross Interior Area
FIRST FLOOR	327 SF	Gross Exterior Area
FIRST FLOOR	7,799 SF	Gross Interior Area
	8,126 SF	
SECOND FLOOR	311 SF	Gross Exterior Area
SECOND FLOOR	7,797 SF	Gross Interior Area
	8,108 SF	
THIRD FLOOR	185 SF	Gross Exterior Area
THIRD FLOOR	7,932 SF	Gross Interior Area
	8,117 SF	
FOURTH FLOOR	538 SF	Gross Exterior Area
FOURTH FLOOR	7,478 SF	Gross Interior Area
	8,015 SF	

UNIT MATRIX		
NAME	AREA	ACCESSIBILITY CLASSIFICATION
UNIT A	544 SF	ONE (1) 'TYPE B', FIRST FLOOR
UNIT B	667 SF	ONE (1) 'TYPE A', TWO (2) 'TYPE B', FIRST FLOOR
UNIT C/ C'	1199 SF	--
UNIT D	1153 SF	--
UNIT E	1194 SF	--
UNIT F	1182 SF	--
UNIT G/ G'	1503 SF	--
UNIT H/ H'	1168 SF	--
UNIT I	1150 SF	--

REGISTRATION



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1192 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-745-0269

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-745-0360

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**  
Brush Park Duplette D-2  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: 1/16" = 1'-0"  
DATE: 05/15/2020

DRAWING TITLE  
**CODE REVIEW & AREA PLANS**

SHEET NO.  
**G-101**  
100% CD/ PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1592 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617-677-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49418  
 T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARMINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0945  
 F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNPIKE ROAD, SUITE 200  
 SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

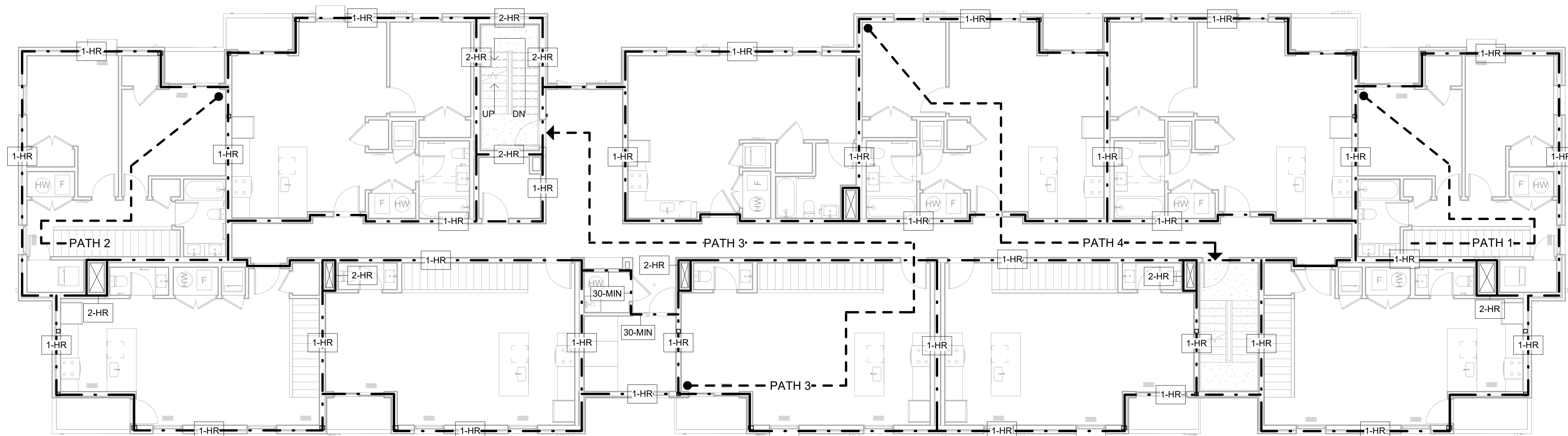
**LIFE SAFETY PLANS**

SHEET NO.

**LS-001**

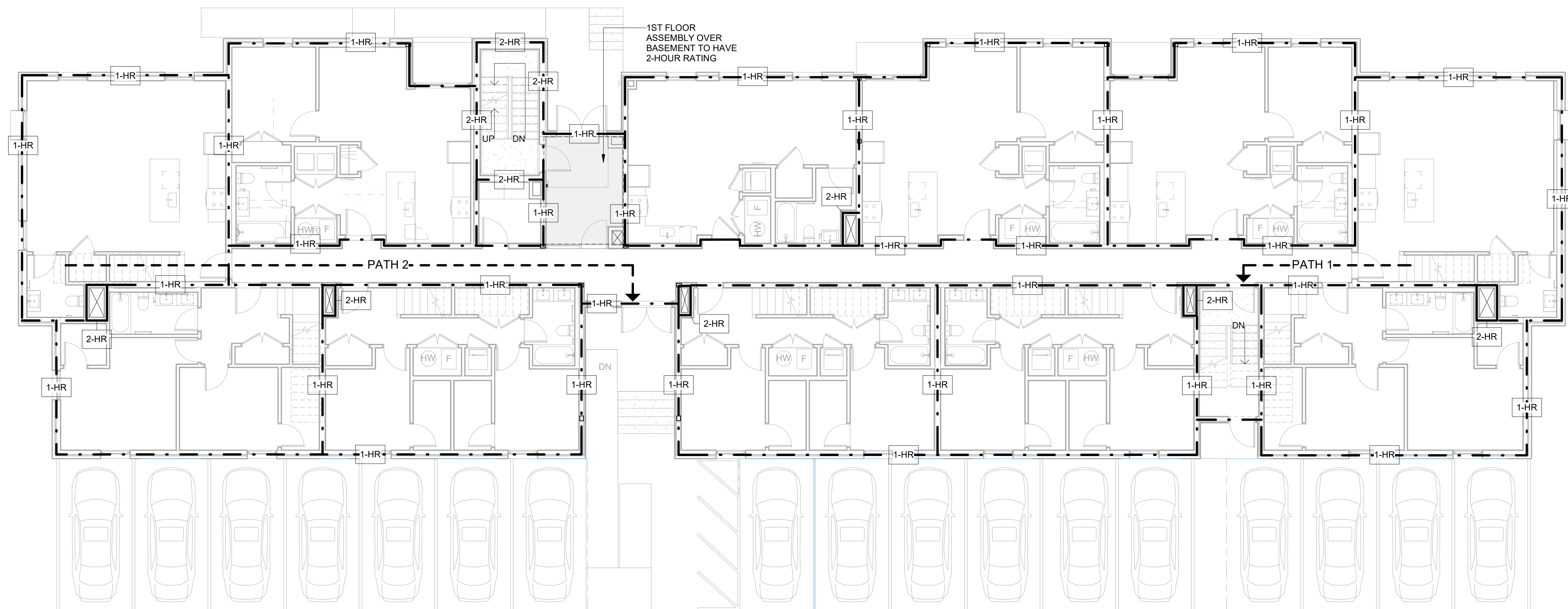
100% CD / PERMIT SET

5/18/2020 2:26:36 AM



2 2nd FLOOR LIFE SAFETY  
 1/8" = 1'-0"

EXIT CAPACITY: 6.15"



1 1st FLOOR LIFE SAFETY  
 1/8" = 1'-0"

EXIT CAPACITY: 6.15"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-677-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LYONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**LIFE SAFETY PLANS**

SHEET NO.  
**LS-002**

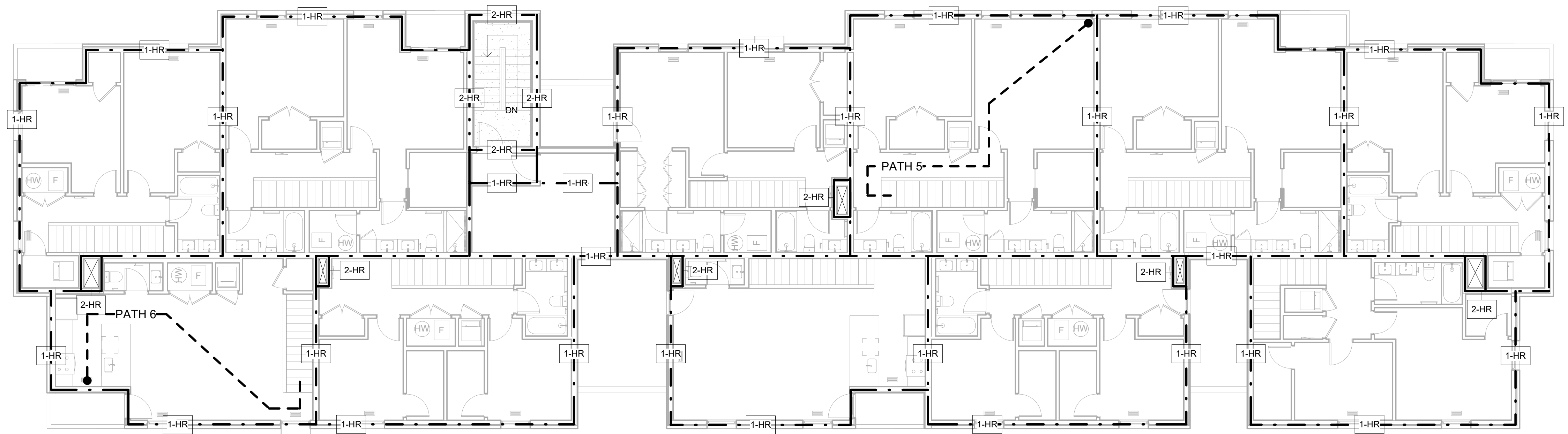
100% CD / PERMIT SET

**LIFE SAFETY LEGEND**

---	1 HR
---	2 HR
→	TRAVEL PATH

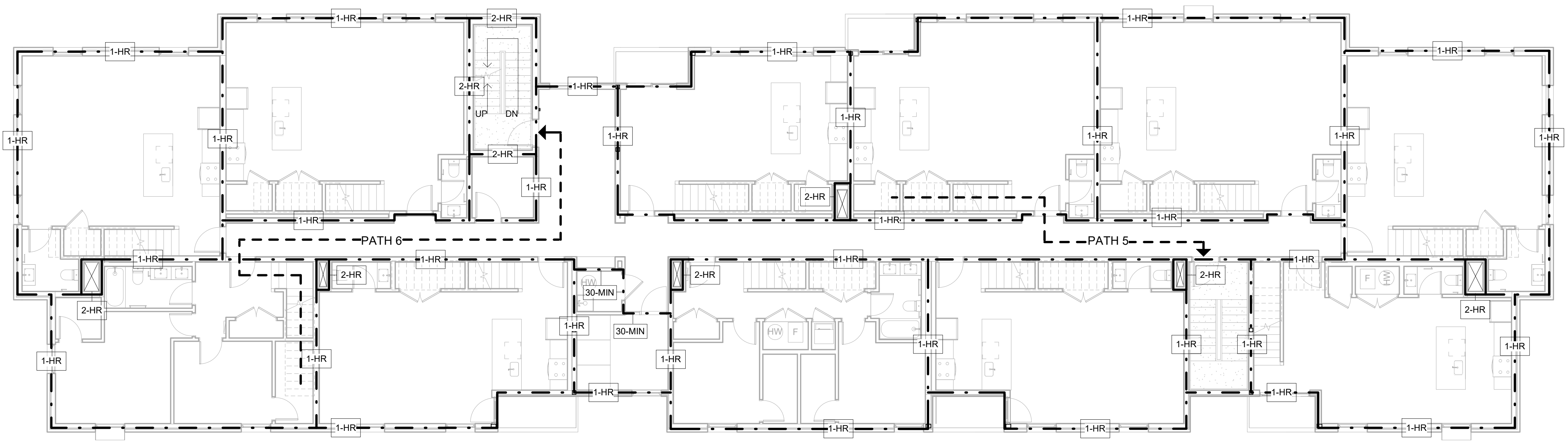
**EGRESS PATHS**

Travel Path	Travel Distance
PATH 1	69' - 10 7/8"
PATH 2	106' - 0 7/16"
PATH 3	103' - 6"
PATH 4	64' - 1 11/16"
PATH 5	88' - 6"
PATH 6	120' - 1 1/4"



② 4th FLOOR LIFE SAFETY  
1/8" = 1'-0"

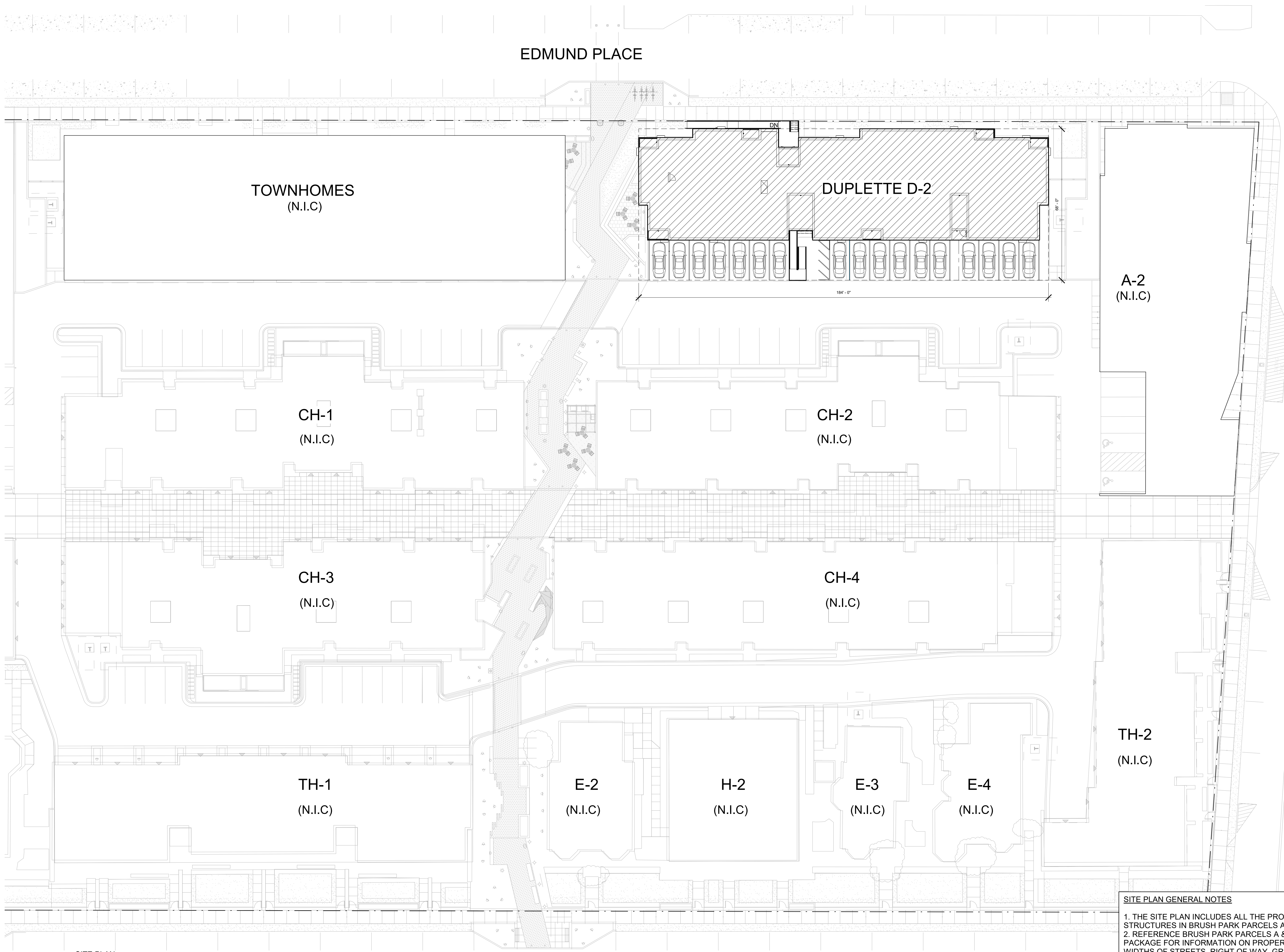
EXIT CAPACITY: 6.15"



① 3rd FLOOR LIFE SAFETY  
1/8" = 1'-0"

EXIT CAPACITY: 6.15"





1 SITE PLAN  
1" = 20'-0"

**SITE PLAN GENERAL NOTES**

1. THE SITE PLAN INCLUDES ALL THE PROPOSED STRUCTURES IN BRUSH PARK PARCELS A & B
2. REFERENCE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR INFORMATION ON PROPERTY LINES, WIDTHS OF STREETS, RIGHT OF WAY, GRADING, LANDSCAPE DESIGN OF LIGHTING AND SECURITY, ETC.

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1392 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617 675 0269

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1" = 20'-0"

DATE: 05/15/2020

DRAWING TITLE

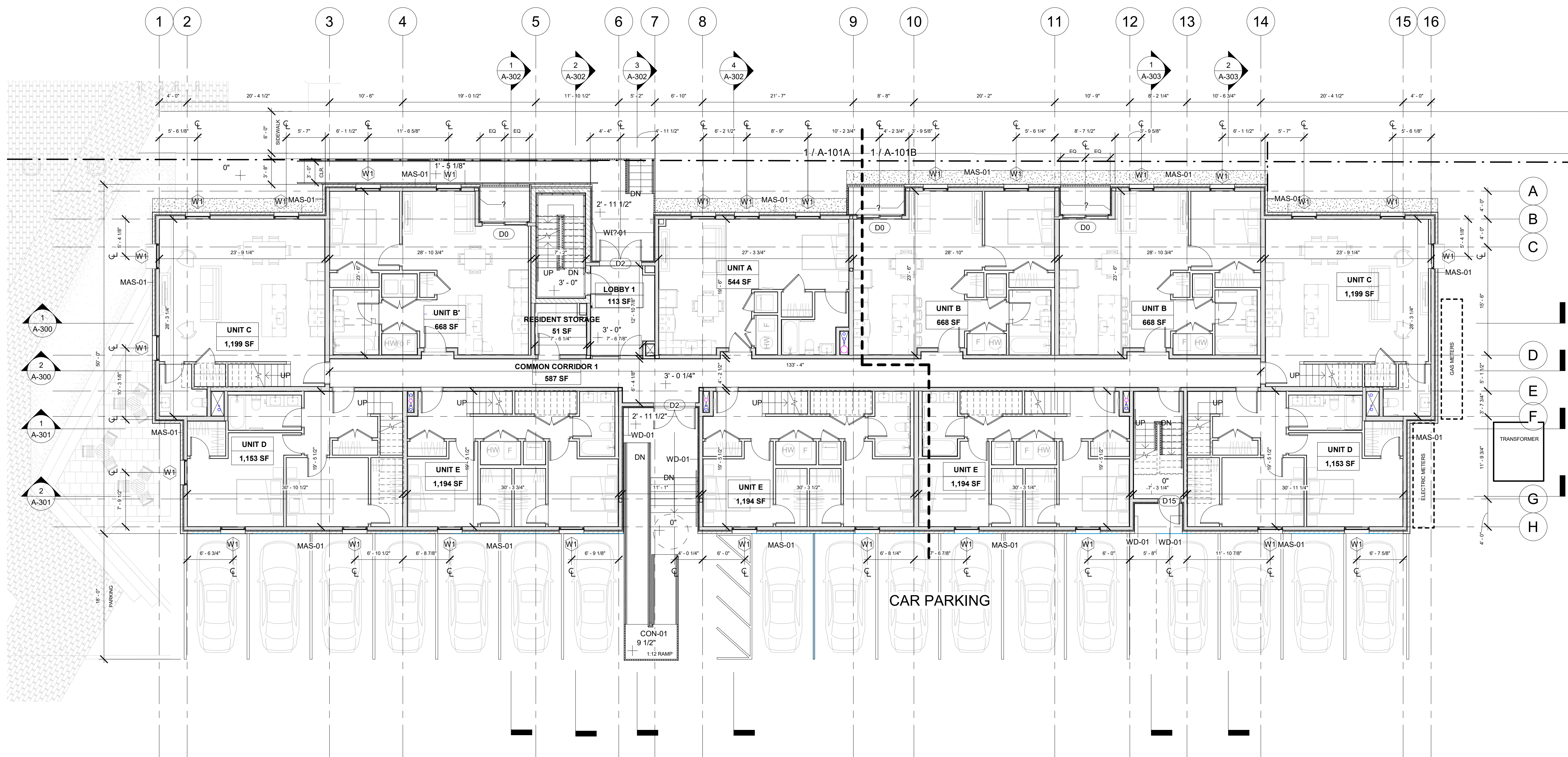
**SITE PLAN**

SHEET NO.

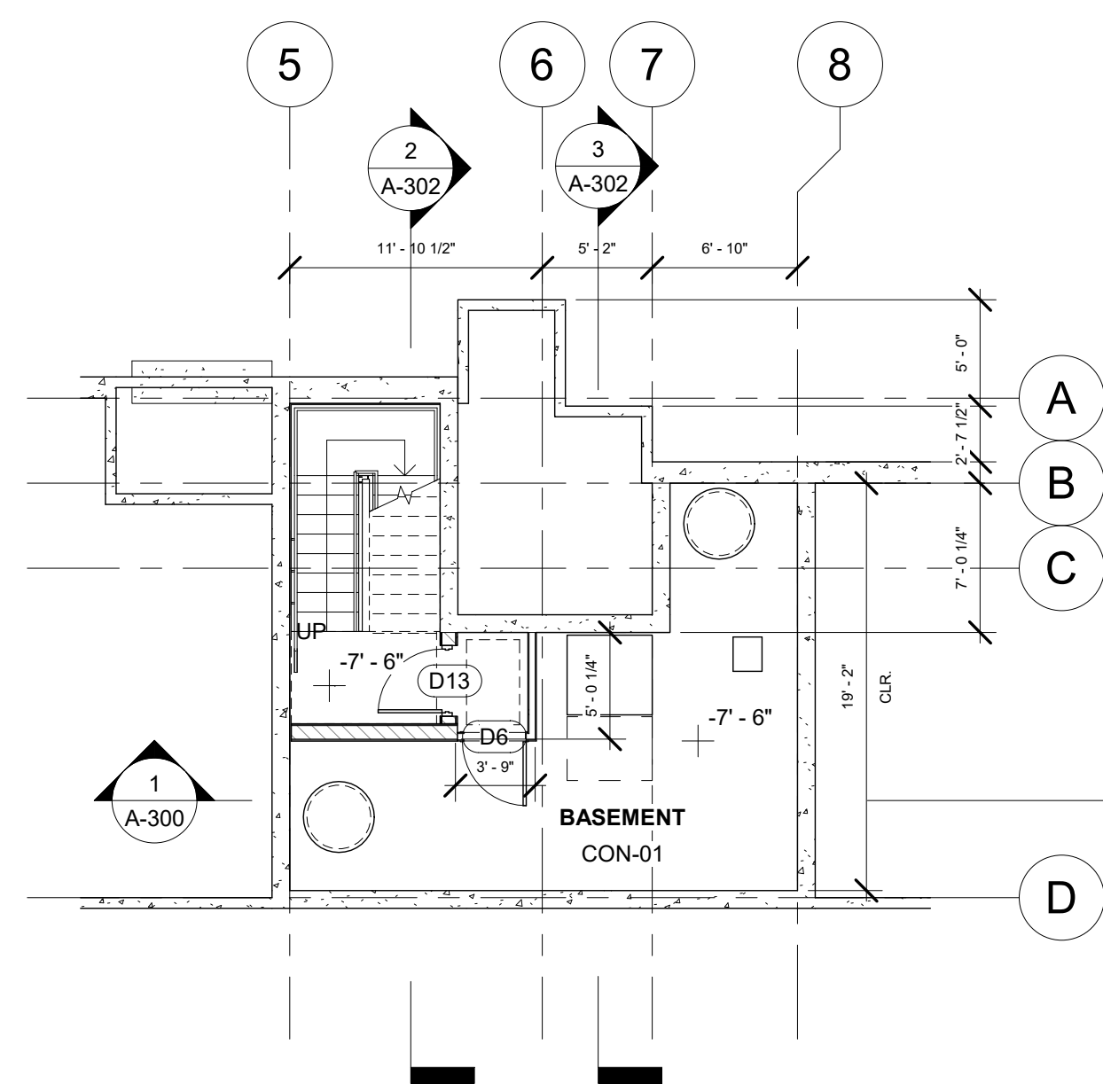
**A-001**

100% CD/ PERMIT SET





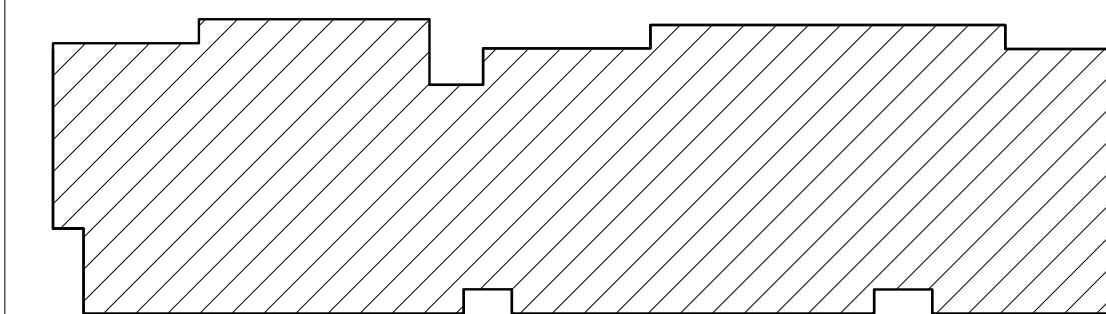
2 1st FLOOR  
1/8" = 1'-0"



1 BASEMENT  
1/8" = 1'-0"

**OVERALL FLOOR PLAN GENERAL NOTES**

1. PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 2'-10 1/4" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
2. SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
3. GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
4. DIMENSIONS ARE TO FACE OF STUD, U.O.N.
5. SEE ENLARGED PLANS FOR LAYOUT OF DWELLING UNITS
6. SEE A-500 & A-501 FOR EXTERIOR WALL CONSTRUCTION
7. FURNITURE N.I.C. AND SHOWN FOR REFERENCE ONLY



A101 KEY PLAN

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1502 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0269

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

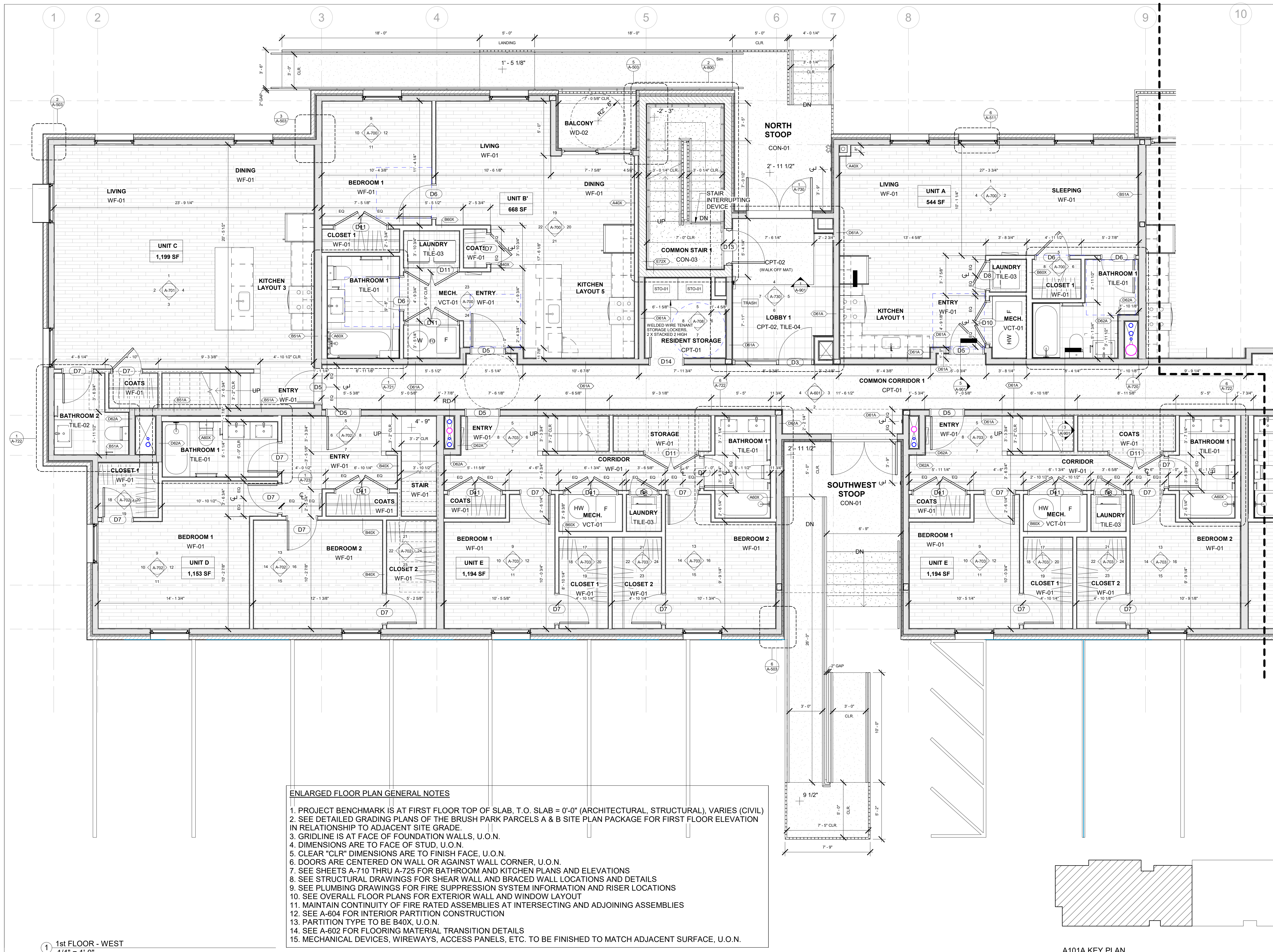
**BASEMENT AND FIRST FLOOR PLAN**

SHEET NO.

**A-101**

100% CD/ PERMIT SET





- ENLARGED FLOOR PLAN GENERAL NOTES**
- PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 0'-0" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL) IN RELATIONSHIP TO ADJACENT SITE GRADE
  - SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION
  - GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
  - DIMENSIONS ARE TO FACE OF STUD, U.O.N.
  - CLEAR "CLR" DIMENSIONS ARE TO FINISH FACE, U.O.N.
  - DOORS ARE CENTERED ON WALL OR AGAINST WALL CORNER, U.O.N.
  - SEE SHEETS A-710 THRU A-725 FOR BATHROOM AND KITCHEN PLANS AND ELEVATIONS
  - SEE STRUCTURAL DRAWINGS FOR SHEAR WALL AND BRACED WALL LOCATIONS AND DETAILS
  - SEE PLUMBING DRAWINGS FOR FIRE SUPPRESSION SYSTEM INFORMATION AND RISER LOCATIONS
  - SEE OVERALL FLOOR PLANS FOR EXTERIOR WALL AND WINDOW LAYOUT
  - MAINTAIN CONTINUITY OF FIRE RATED ASSEMBLIES AT INTERSECTING AND ADJOINING ASSEMBLIES
  - SEE A-604 FOR INTERIOR PARTITION CONSTRUCTION
  - PARTITION TYPE TO BE B40X, U.O.N.
  - SEE A-602 FOR FLOORING MATERIAL TRANSITION DETAILS
  - MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.

1 1st FLOOR - WEST  
1/4" = 1'-0"

A101A KEY PLAN

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1202 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-673-0262

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0522

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNING ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**FIRST FLOOR PLAN - WEST**

SHEET NO.

**A-101A**

100% CD / PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1302 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

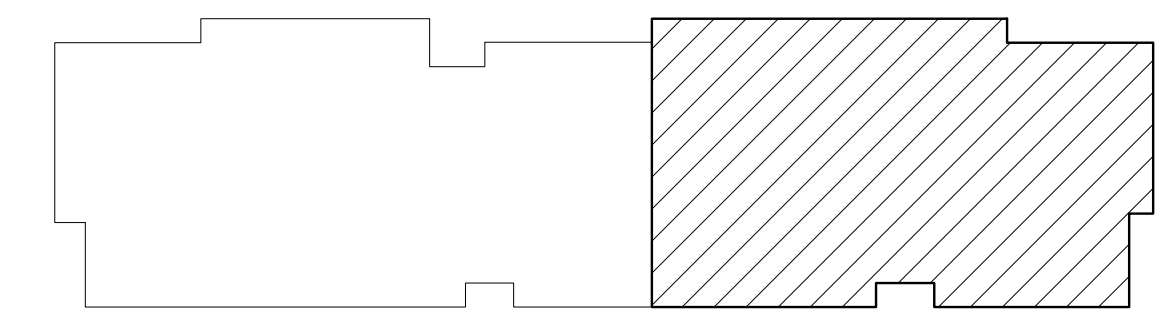
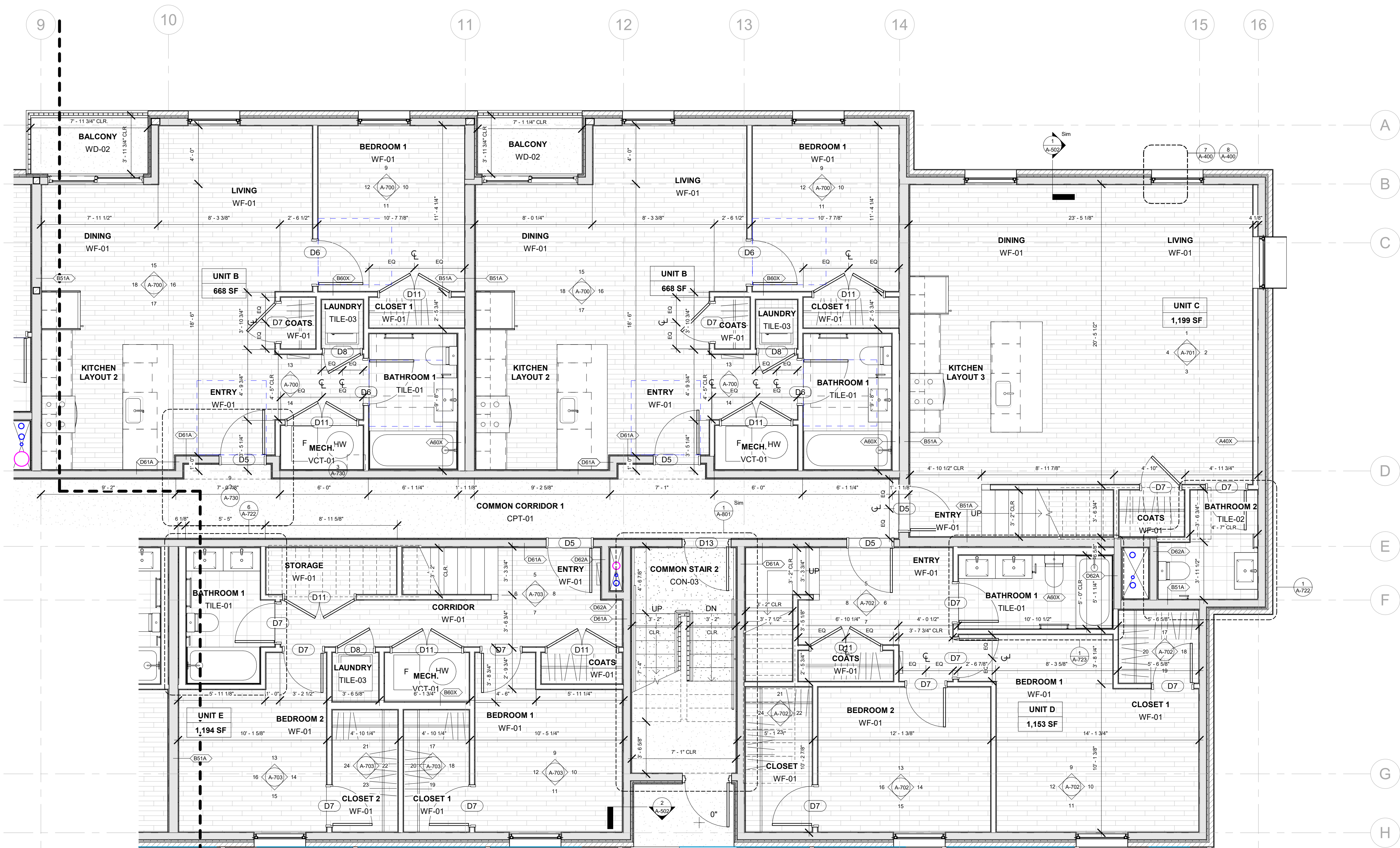
JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**FIRST FLOOR PLAN - EAST**

SHEET NO.

**A-101B**

100% CD/ PERMIT SET



A101B KEY PLAN

- ENLARGED FLOOR PLAN GENERAL NOTES
- PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 0'-0" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
  - SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
  - GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
  - DIMENSIONS ARE TO FACE OF STUD, U.O.N.
  - CLEAR "CLR" DIMENSIONS ARE TO FINISH FACE, U.O.N.
  - DOORS ARE CENTERED ON WALL OR AGAINST WALL CORNER, U.O.N.
  - SEE SHEETS A-710 THRU A-725 FOR BATHROOM AND KITCHEN PLANS AND ELEVATIONS
  - SEE STRUCTURAL DRAWINGS FOR SHEAR WALL AND BRACED WALL LOCATIONS AND DETAILS
  - SEE PLUMBING DRAWINGS FOR FIRE SUPPRESSION SYSTEM INFORMATION AND RISER LOCATIONS
  - SEE OVERALL FLOOR PLANS FOR EXTERIOR WALL AND WINDOW LAYOUT
  - MAINTAIN CONTINUITY OF FIRE RATED ASSEMBLIES AT INTERSECTING AND ADJOINING ASSEMBLIES
  - SEE A-604 FOR INTERIOR PARTITION CONSTRUCTION
  - PARTITION TYPE TO BE B40X, U.O.N.
  - SEE A-602 FOR FLOORING MATERIAL TRANSITION DETAILS
  - MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.

1st FLOOR - EAST  
1/4" = 1'-0"



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

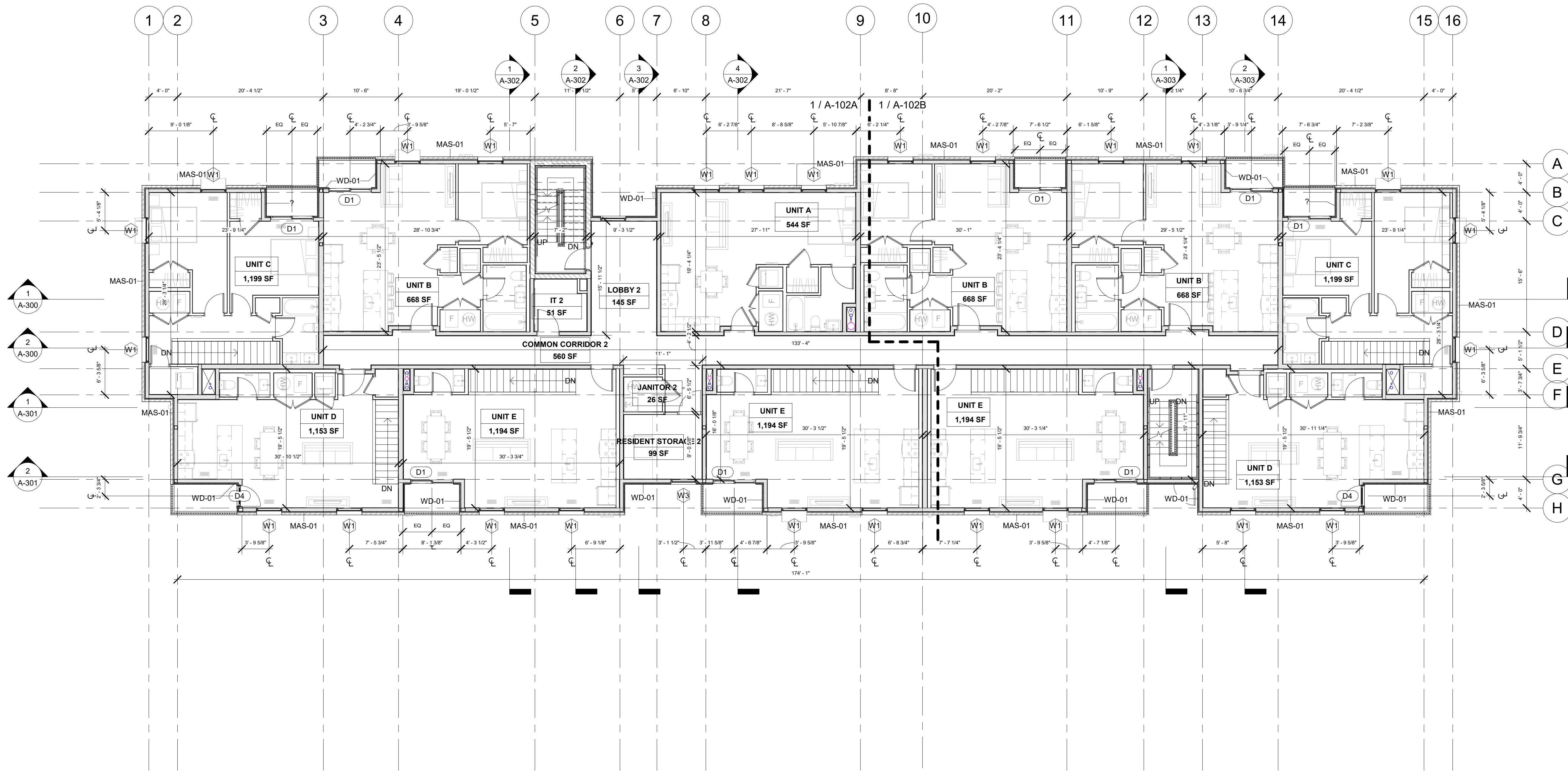
DRAWING TITLE

**SECOND FLOOR PLAN**

SHEET NO.

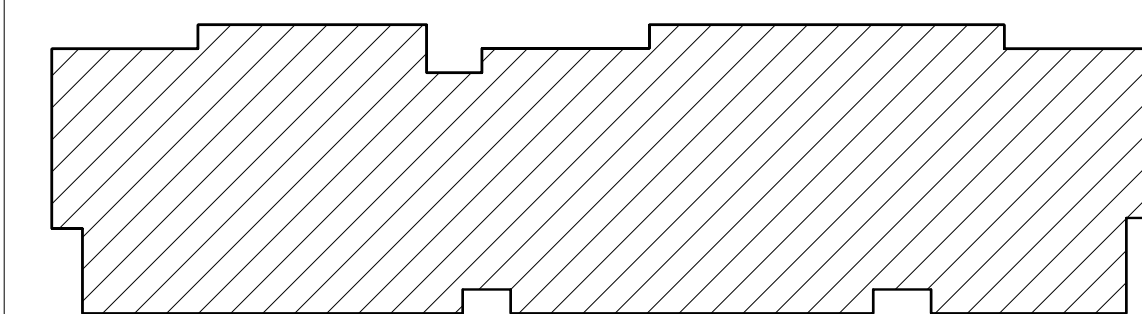
**A-102**

100% CD/ PERMIT SET



OVERALL FLOOR PLAN GENERAL NOTES

1. PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 2'-10 1/4" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
2. SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
3. GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
4. DIMENSIONS ARE TO FACE OF STUD, U.O.N.
5. SEE ENLARGED PLANS FOR LAYOUT OF DWELLING UNITS
6. SEE A-500 & A-501 FOR EXTERIOR WALL CONSTRUCTION
7. FURNITURE N.I.C. AND SHOWN FOR REFERENCE ONLY



A102 KEY PLAN

1 2nd FLOOR  
1/8" = 1'-0"



REGISTRATION



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-677-0262

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0552

**ELECTRICAL ENGINEER**  
EFS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

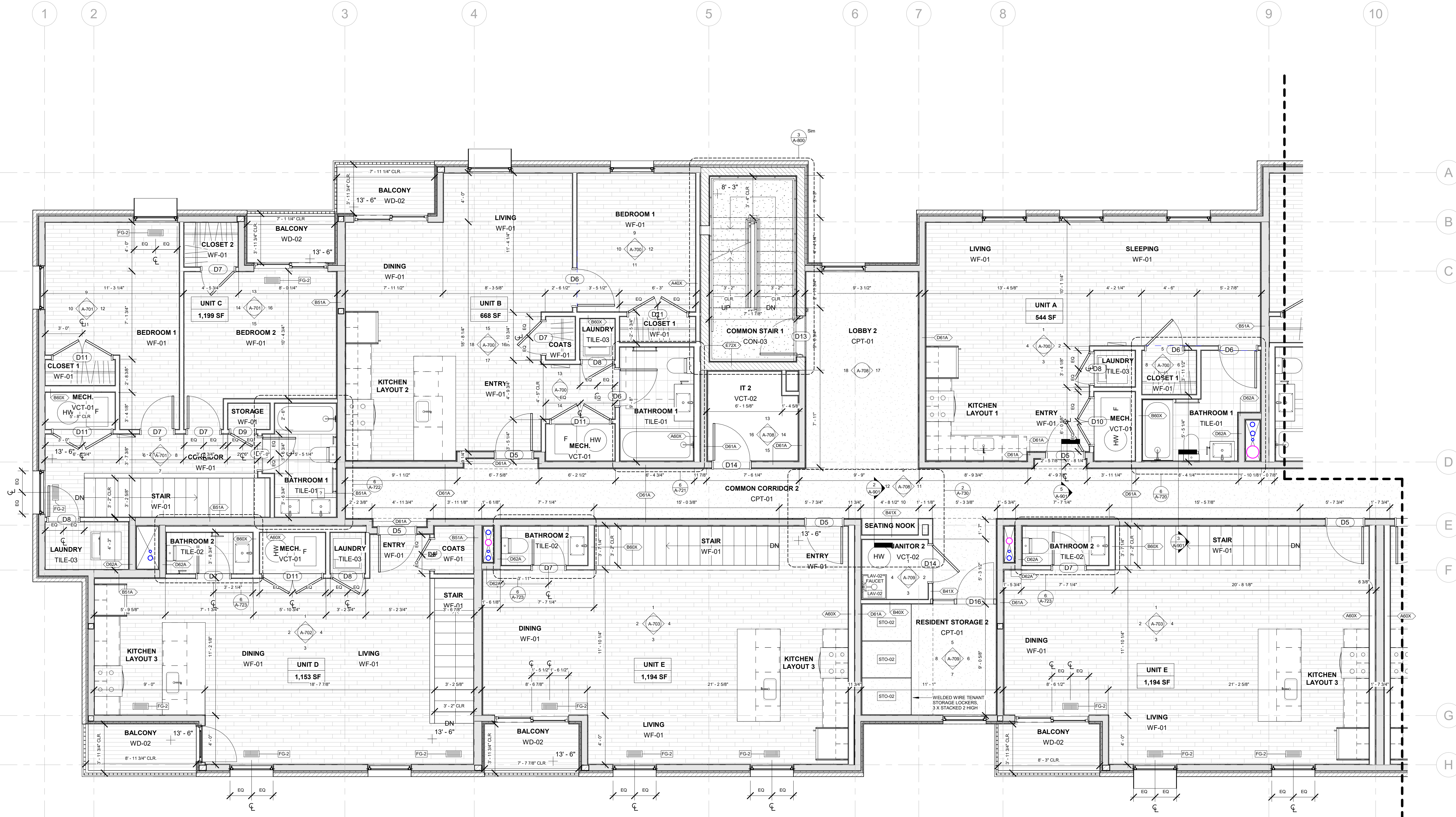
DRAWING TITLE  
**SECOND FLOOR PLAN - WEST**

SHEET NO.

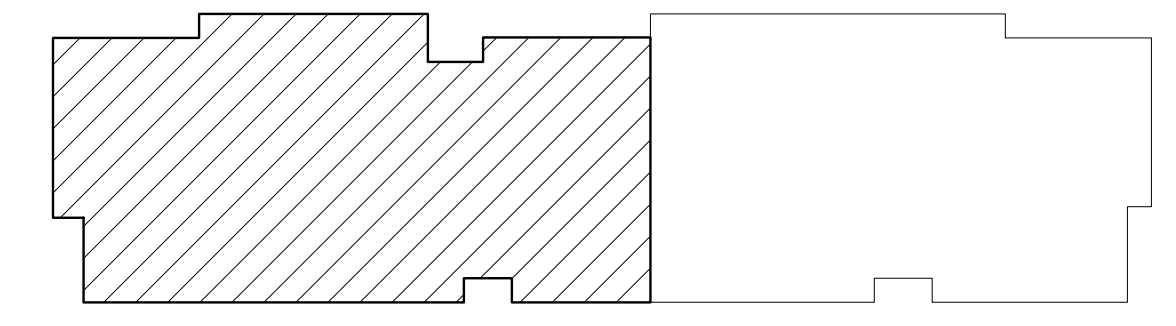
**A-102A**

100% CD / PERMIT SET

5/18/2020 2:16:55 AM



- ENLARGED FLOOR PLAN GENERAL NOTES**
- PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 0'-0" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
  - SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
  - GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
  - DIMENSIONS ARE TO FACE OF STUD, U.O.N.
  - CLEAR "CLR" DIMENSIONS ARE TO FINISH FACE, U.O.N.
  - DOORS ARE CENTERED ON WALL OR AGAINST WALL CORNER, U.O.N.
  - SEE SHEETS A-710 THRU A-725 FOR BATHROOM AND KITCHEN PLANS AND ELEVATIONS
  - SEE STRUCTURAL DRAWINGS FOR SHEAR WALL AND BRACED WALL LOCATIONS AND DETAILS
  - SEE PLUMBING DRAWINGS FOR FIRE SUPPRESSION SYSTEM INFORMATION AND RISER LOCATIONS
  - SEE OVERALL FLOOR PLANS FOR EXTERIOR WALL AND WINDOW LAYOUT
  - MAINTAIN CONTINUITY OF FIRE RATED ASSEMBLIES AT INTERSECTING AND ADJOINING ASSEMBLIES
  - SEE A-604 FOR INTERIOR PARTITION CONSTRUCTION
  - PARTITION TYPE TO BE B40X, U.O.N.
  - SEE A-602 FOR FLOORING MATERIAL TRANSITION DETAILS
  - MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.



A-102A KEY PLAN

1 2nd FLOOR - WEST  
1/4" = 1'-0"



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1502 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE

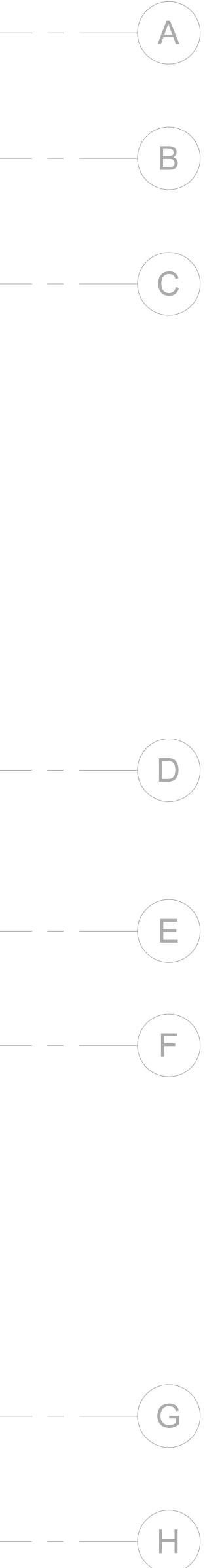
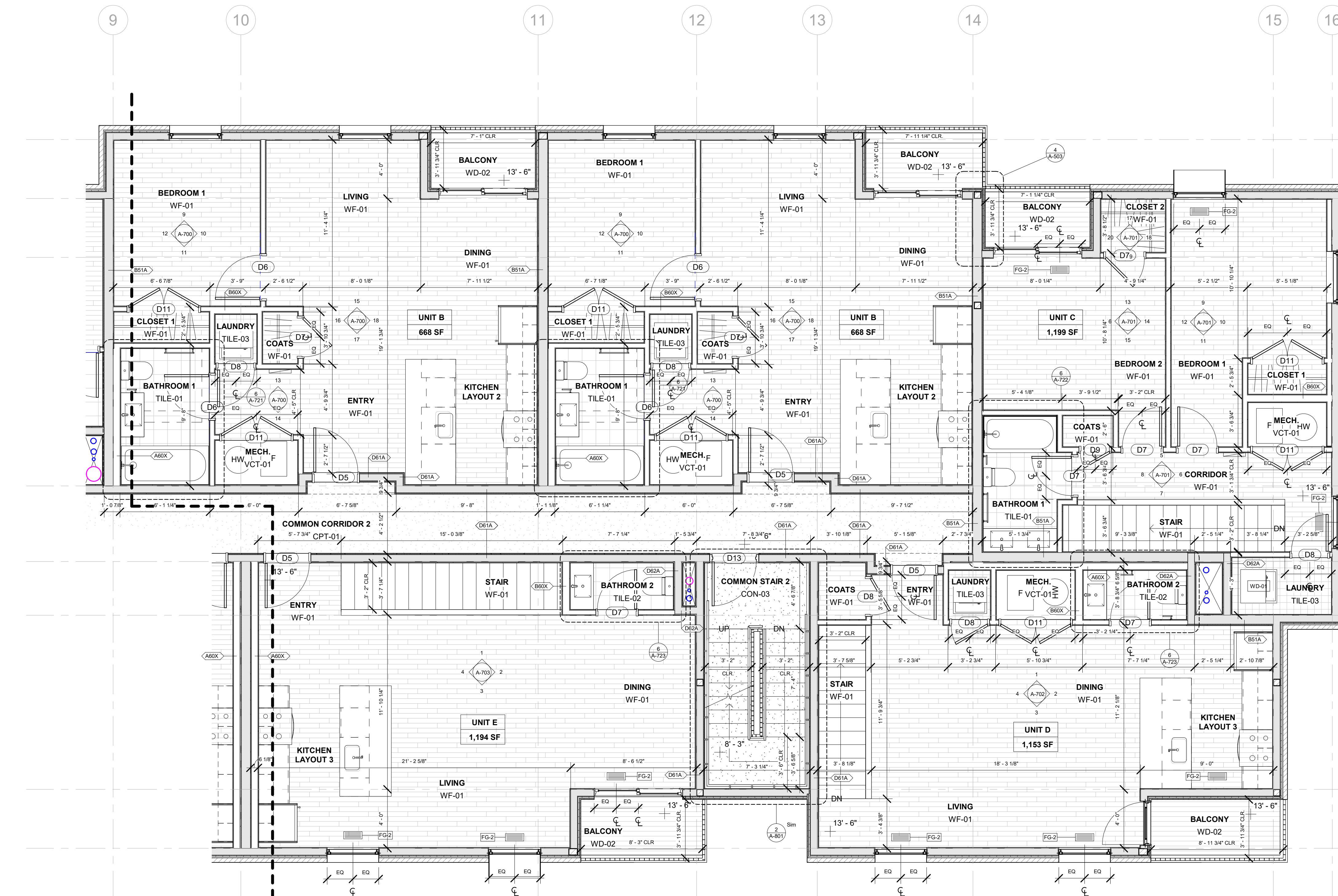
**SECOND FLOOR PLAN - EAST**

SHEET NO.

**A-102B**

100% CD/ PERMIT SET

5/18/2020 2:16:59 AM



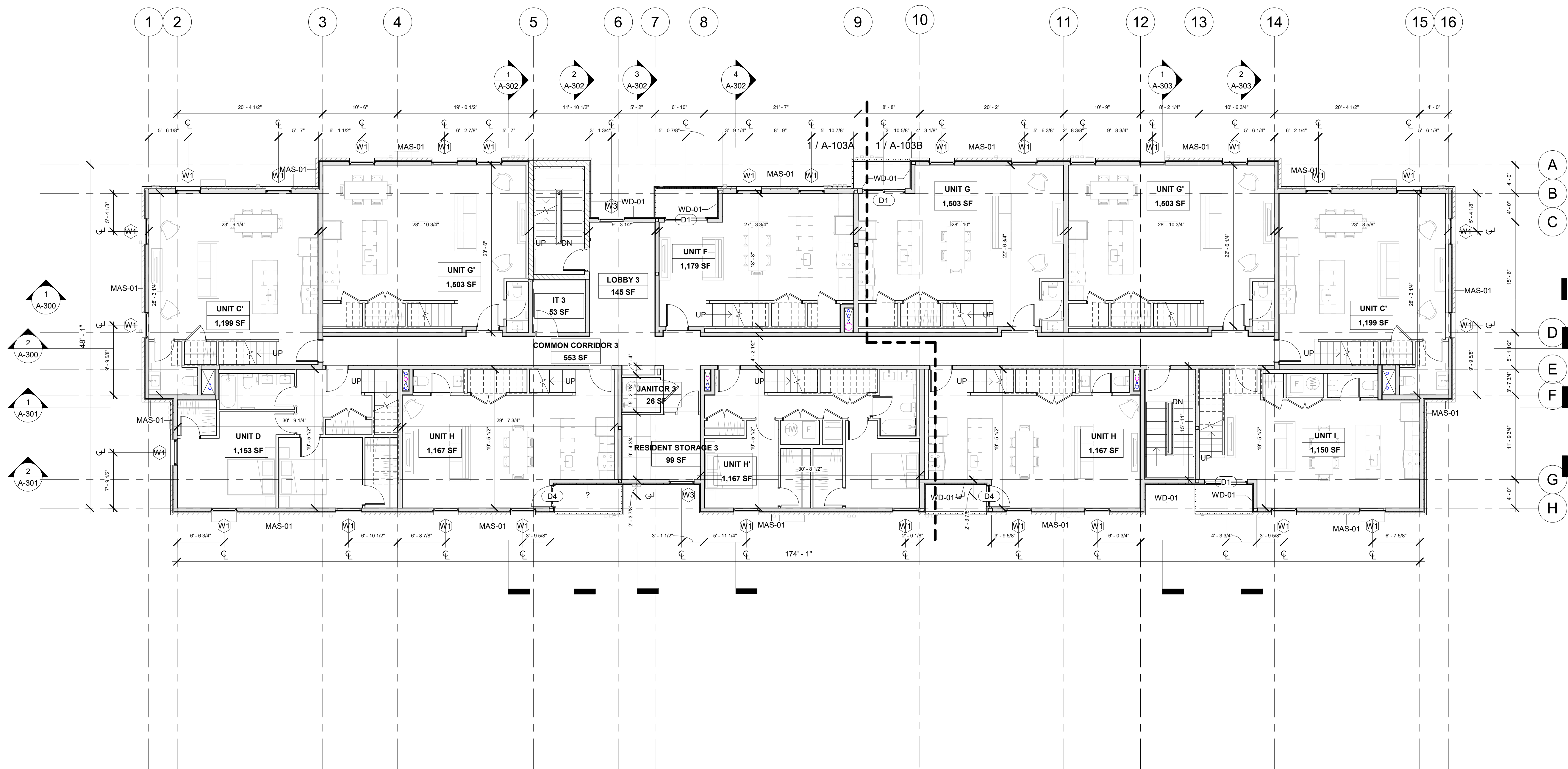
A102B KEY PLAN

ENLARGED FLOOR PLAN GENERAL NOTES

- PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 0'-0" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
- SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
- GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
- DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- CLEAR "CLR" DIMENSIONS ARE TO FINISH FACE, U.O.N.
- DOORS ARE CENTERED ON WALL OR AGAINST WALL CORNER, U.O.N.
- SEE SHEETS A-710 THRU A-725 FOR BATHROOM AND KITCHEN PLANS AND ELEVATIONS
- SEE STRUCTURAL DRAWINGS FOR SHEAR WALL AND BRACED WALL LOCATIONS AND DETAILS
- SEE PLUMBING DRAWINGS FOR FIRE SUPPRESSION SYSTEM INFORMATION AND RISER LOCATIONS
- SEE OVERALL FLOOR PLANS FOR EXTERIOR WALL AND WINDOW LAYOUT
- MAINTAIN CONTINUITY OF FIRE RATED ASSEMBLIES AT INTERSECTING AND ADJOINING ASSEMBLIES
- SEE A-604 FOR INTERIOR PARTITION CONSTRUCTION
- PARTITION TYPE TO BE B40X, U.O.N.
- SEE A-602 FOR FLOORING MATERIAL TRANSITION DETAILS
- MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.

1 2nd FLOOR - EAST  
1/4" = 1'-0"

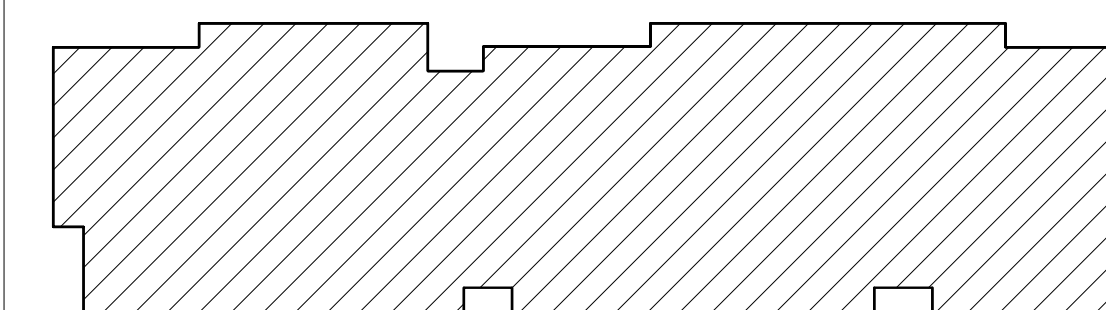




① 3rd FLOOR  
1/8" = 1'-0"

**OVERALL FLOOR PLAN GENERAL NOTES**

1. PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 2'-10 1/4" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
2. SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
3. GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
4. DIMENSIONS ARE TO FACE OF STUD, U.O.N.
5. SEE ENLARGED PLANS FOR LAYOUT OF DWELLING UNITS
6. SEE A-500 & A-501 FOR EXTERIOR WALL CONSTRUCTION
7. FURNITURE N.I.C. AND SHOWN FOR REFERENCE ONLY



A103 KEY PLAN

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0265

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0052

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

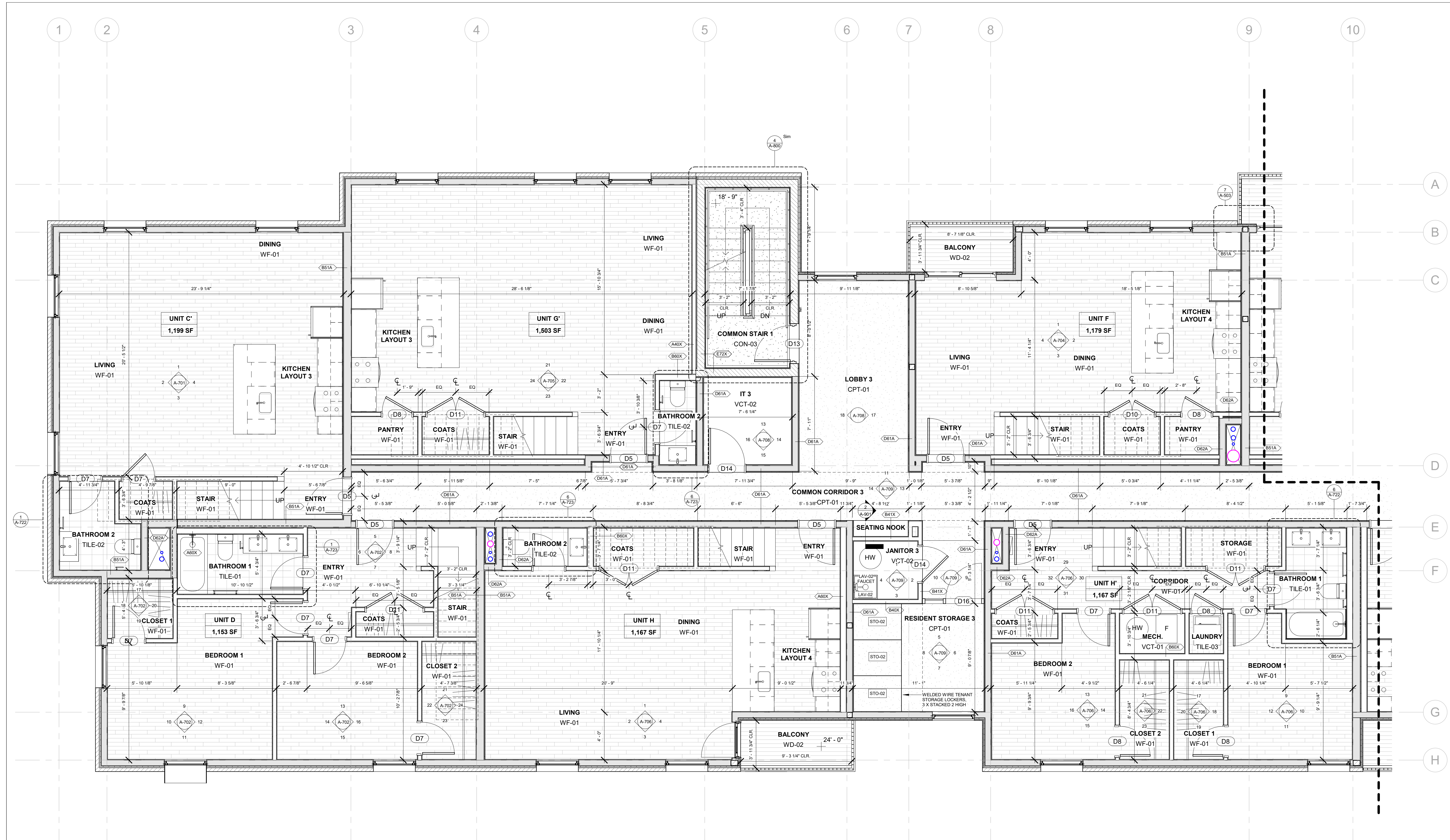
**THIRD FLOOR PLAN**

SHEET NO.

**A-103**

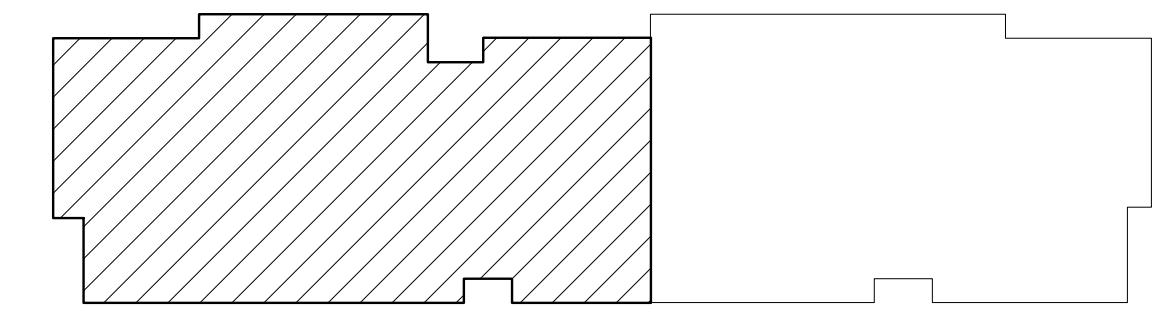
100% CD/ PERMIT SET



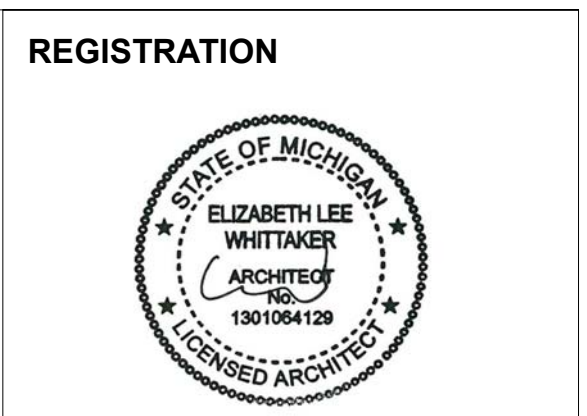


1 3rd FLOOR - WEST  
1/4" = 1'-0"

- ENLARGED FLOOR PLAN GENERAL NOTES**
- PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 0'-0" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
  - SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
  - GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
  - DIMENSIONS ARE TO FACE OF STUD, U.O.N.
  - CLEAR "CLR" DIMENSIONS ARE TO FINISH FACE, U.O.N.
  - DOORS ARE CENTERED ON WALL OR AGAINST WALL CORNER, U.O.N.
  - SEE SHEETS A-710 THRU A-725 FOR BATHROOM AND KITCHEN PLANS AND ELEVATIONS
  - SEE STRUCTURAL DRAWINGS FOR SHEAR WALL AND BRACED WALL LOCATIONS AND DETAILS
  - SEE PLUMBING DRAWINGS FOR FIRE SUPPRESSION SYSTEM INFORMATION AND RISER LOCATIONS
  - SEE OVERALL FLOOR PLANS FOR EXTERIOR WALL AND WINDOW LAYOUT
  - MAINTAIN CONTINUITY OF FIRE RATED ASSEMBLIES AT INTERSECTING AND ADJOINING ASSEMBLIES
  - SEE A-604 FOR INTERIOR PARTITION CONSTRUCTION
  - PARTITION TYPE TO BE B40X, U.O.N.
  - SEE A-602 FOR FLOORING MATERIAL TRANSITION DETAILS
  - MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.



A103A KEY PLAN



**REGISTRATION**

**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0262

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0552

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**THIRD FLOOR PLAN - WEST**

SHEET NO.  
**A-103A**

100% CD / PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1502 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

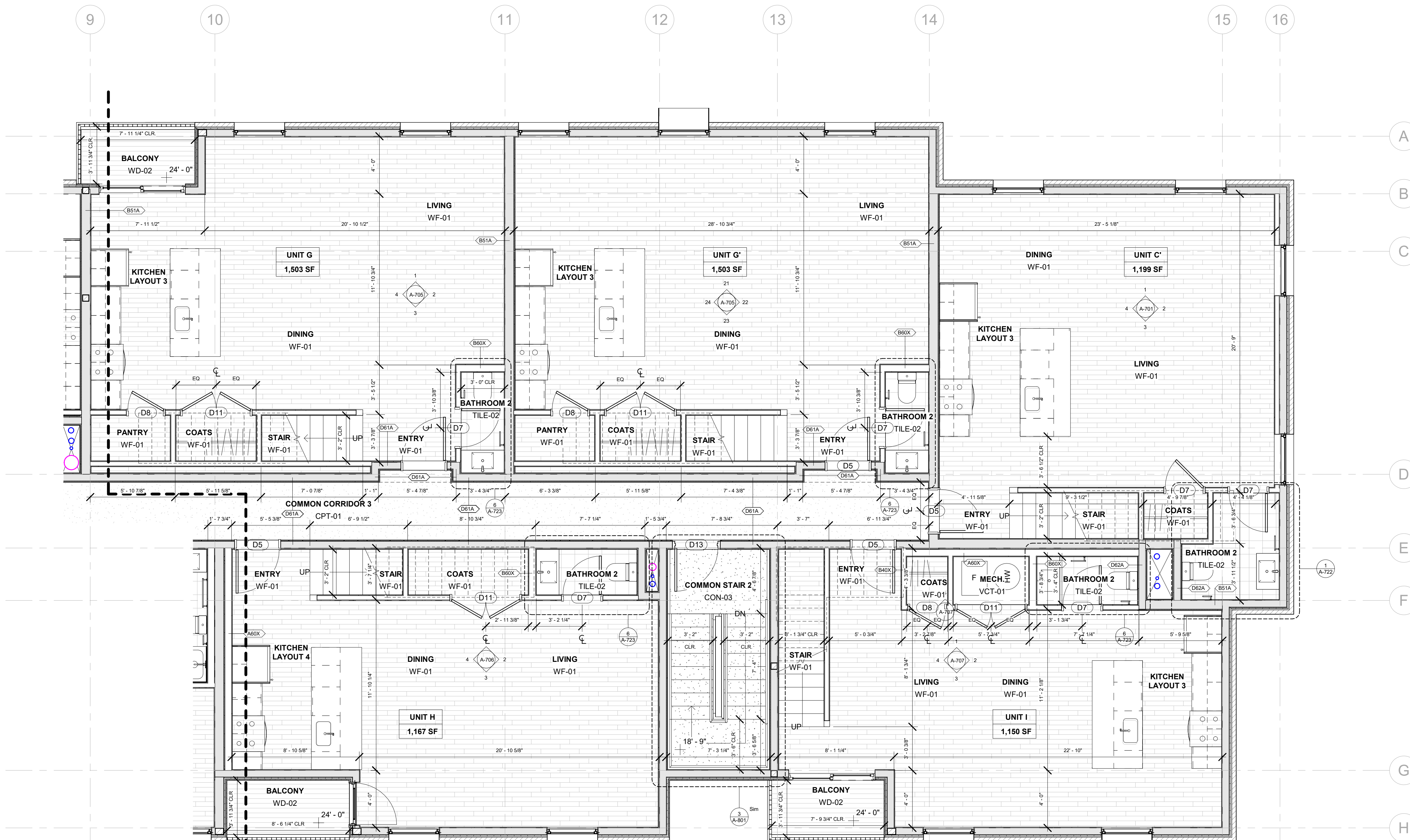
JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**THIRD FLOOR PLAN - EAST**

SHEET NO.

**A-103B**

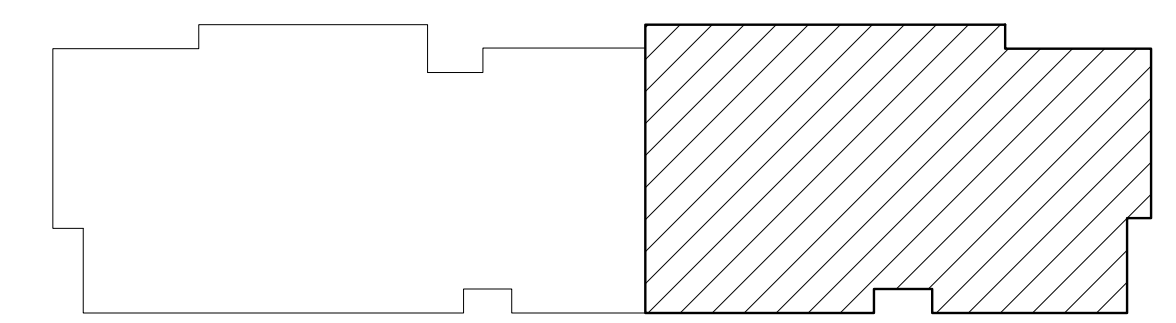
100% CD / PERMIT SET



① 3rd FLOOR - EAST  
1/4" = 1'-0"

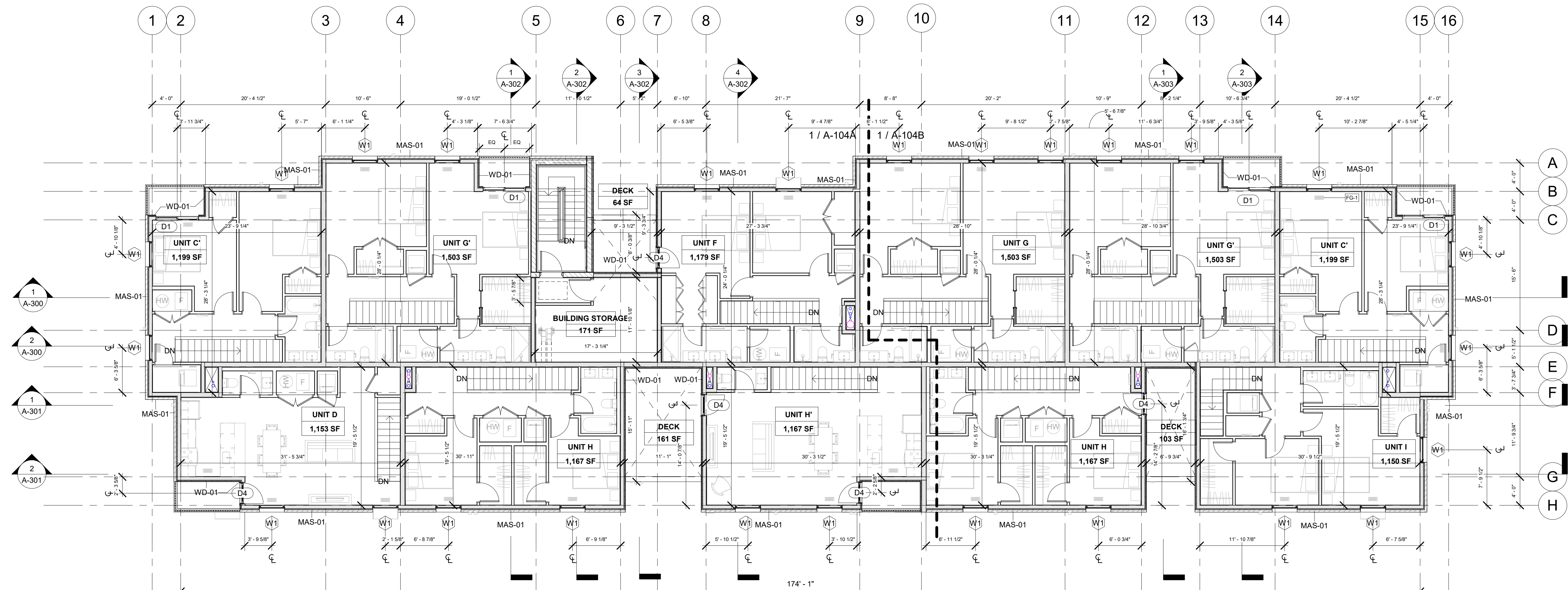
ENLARGED FLOOR PLAN GENERAL NOTES

- PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 0'-0" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
- SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
- GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
- DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- CLEAR "CLR" DIMENSIONS ARE TO FINISH FACE, U.O.N.
- DOORS ARE CENTERED ON WALL OR AGAINST WALL CORNER, U.O.N.
- SEE SHEETS A-710 THRU A-725 FOR BATHROOM AND KITCHEN PLANS AND ELEVATIONS
- SEE STRUCTURAL DRAWINGS FOR SHEAR WALL AND BRACED WALL LOCATIONS AND DETAILS
- SEE PLUMBING DRAWINGS FOR FIRE SUPPRESSION SYSTEM INFORMATION AND RISER LOCATIONS
- SEE OVERALL FLOOR PLANS FOR EXTERIOR WALL AND WINDOW LAYOUT
- MAINTAIN CONTINUITY OF FIRE RATED ASSEMBLIES AT INTERSECTING AND ADJOINING ASSEMBLIES
- SEE A-604 FOR INTERIOR PARTITION CONSTRUCTION
- PARTITION TYPE TO BE B40X, U.O.N.
- SEE A-602 FOR FLOORING MATERIAL TRANSITION DETAILS
- MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.



A103B KEY PLAN

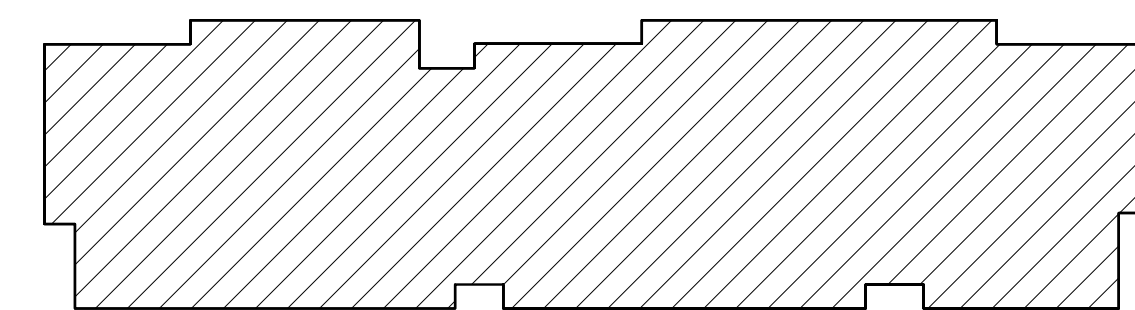




① 4th FLOOR  
1/8" = 1'-0"

**OVERALL FLOOR PLAN GENERAL NOTES**

1. PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 2'-10 1/4" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
2. SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
3. GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
4. DIMENSIONS ARE TO FACE OF STUD, U.O.N.
5. SEE ENLARGED PLANS FOR LAYOUT OF DWELLING UNITS
6. SEE A-500 & A-501 FOR EXTERIOR WALL CONSTRUCTION
7. FURNITURE N.I.C. AND SHOWN FOR REFERENCE ONLY



A104 KEY PLAN

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0265

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

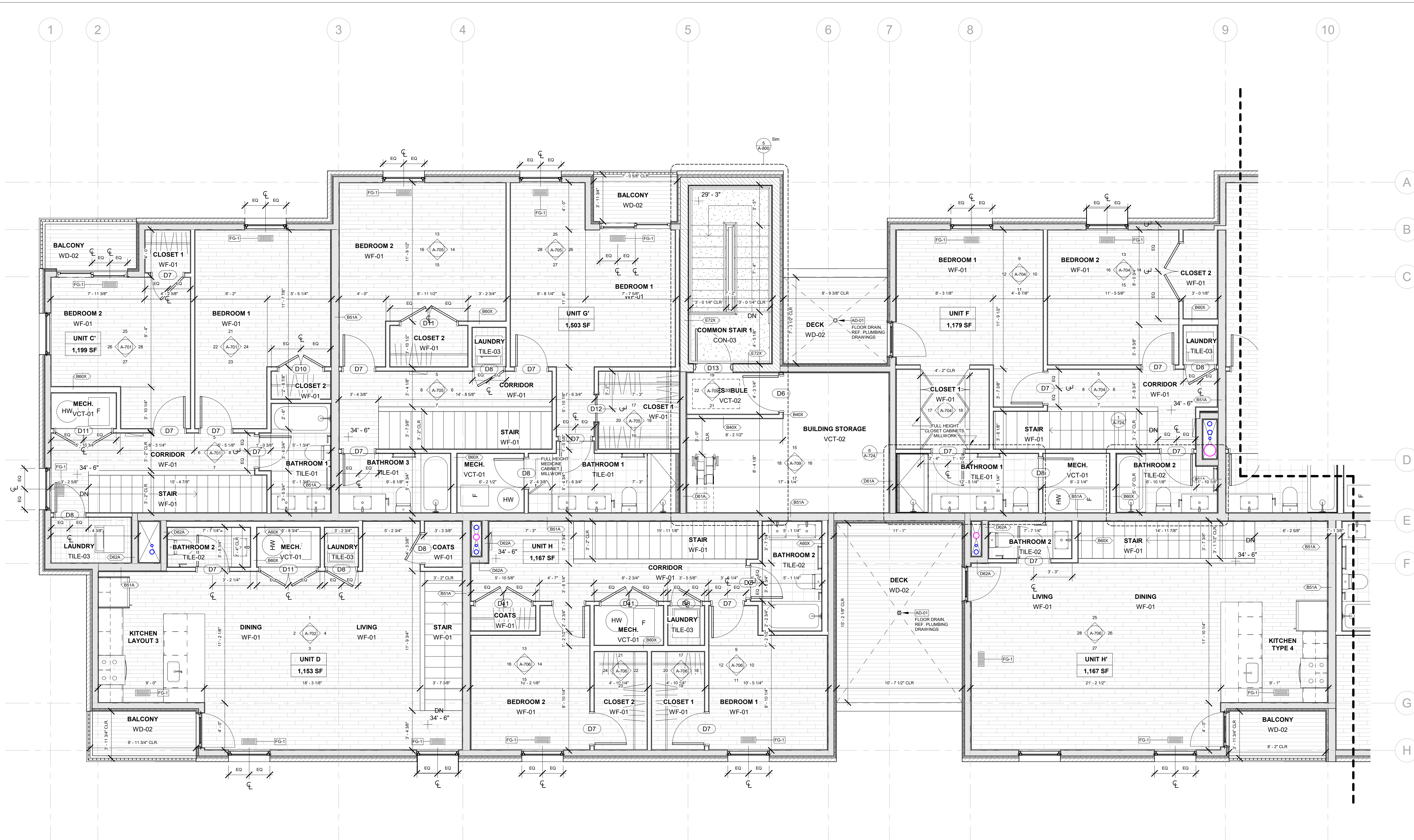
**FOURTH FLOOR PLAN**

SHEET NO.

**A-104**

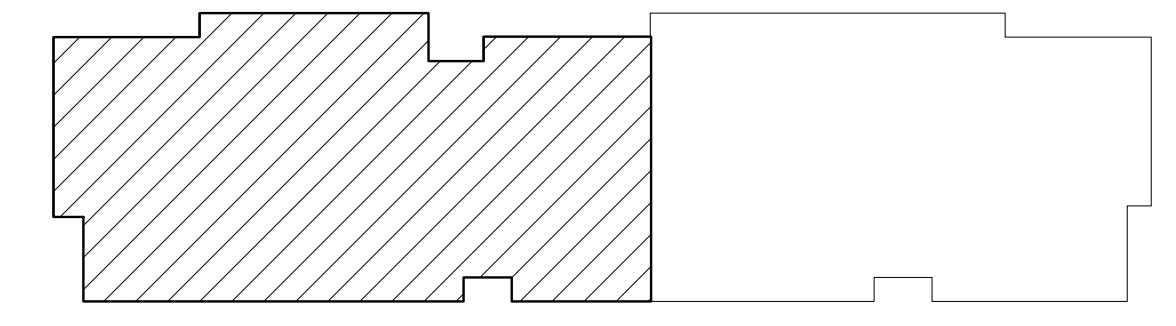
100% CD/ PERMIT SET





4th FLOOR - WEST  
1/4" = 1'-0"

- ENLARGED FLOOR PLAN GENERAL NOTES**
- PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 0'-0" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
  - SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
  - GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
  - DIMENSIONS ARE TO FACE OF STUD, U.O.N.
  - CLEAR "CLR" DIMENSIONS ARE TO FINISH FACE, U.O.N.
  - DOORS ARE CENTERED ON WALL OR AGAINST WALL CORNER, U.O.N.
  - SEE SHEETS A-710 THRU A-725 FOR BATHROOM AND KITCHEN PLANS AND ELEVATIONS
  - SEE STRUCTURAL DRAWINGS FOR SHEAR WALL AND BRACED WALL LOCATIONS AND DETAILS
  - SEE PLUMBING DRAWINGS FOR FIRE SUPPRESSION SYSTEM INFORMATION AND RISER LOCATIONS
  - SEE OVERALL FLOOR PLANS FOR EXTERIOR WALL AND WINDOW LAYOUT
  - MAINTAIN CONTINUITY OF FIRE RATED ASSEMBLIES AT INTERSECTING AND ADJOINING ASSEMBLIES
  - SEE A-604 FOR INTERIOR PARTITION CONSTRUCTION
  - PARTITION TYPE TO BE B40X, U.O.N.
  - SEE A-602 FOR FLOORING MATERIAL TRANSITION DETAILS
  - MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.



A-104A KEY PLAN

REGISTRATION



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0262

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
18201 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE REP CONSULTANTS  
154 TURNING ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**FOURTH FLOOR PLAN - WEST**

SHEET NO.

**A-104A**

100% CD / PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0369

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

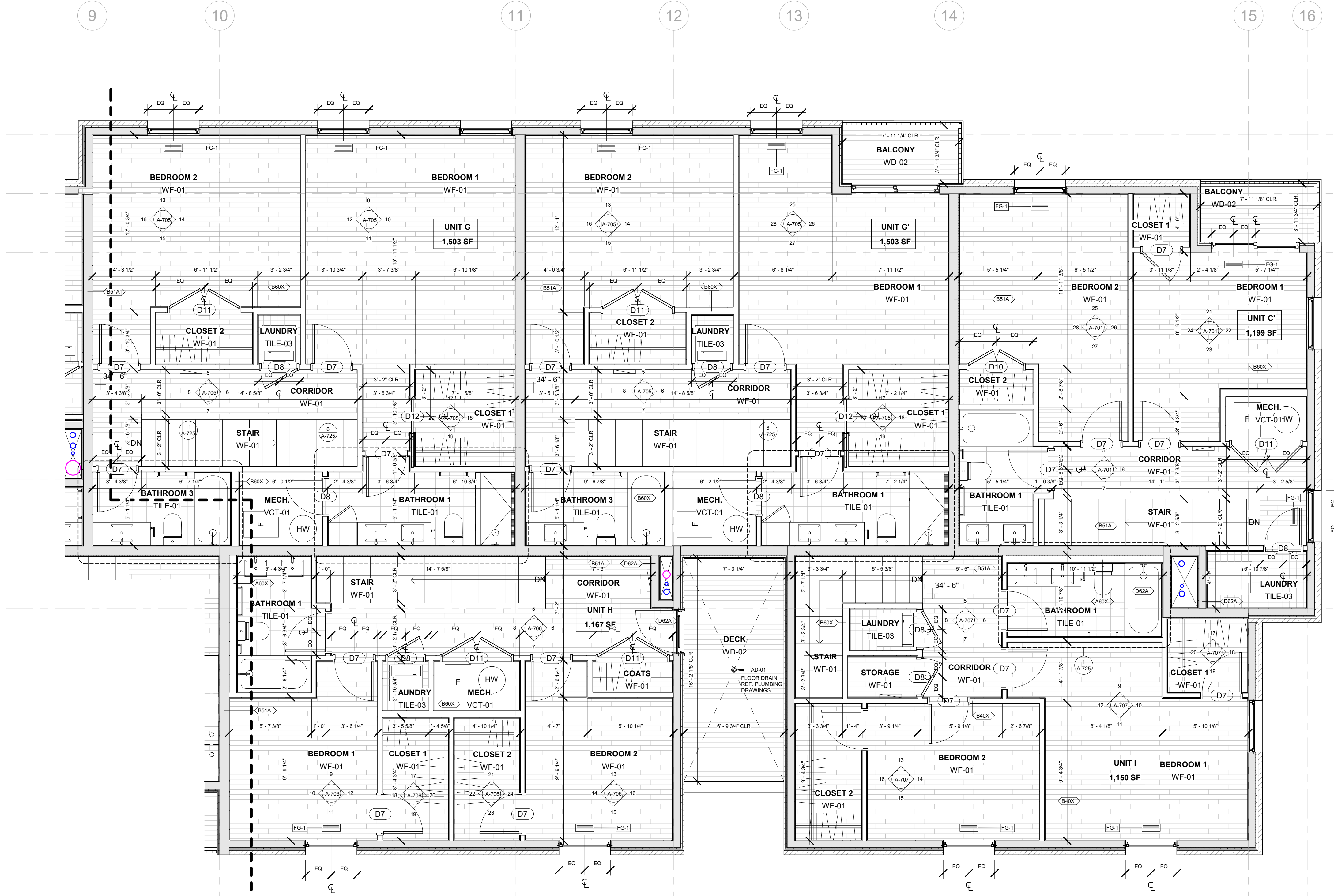
JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**FOURTH FLOOR PLAN - EAST**

SHEET NO.

**A-104B**

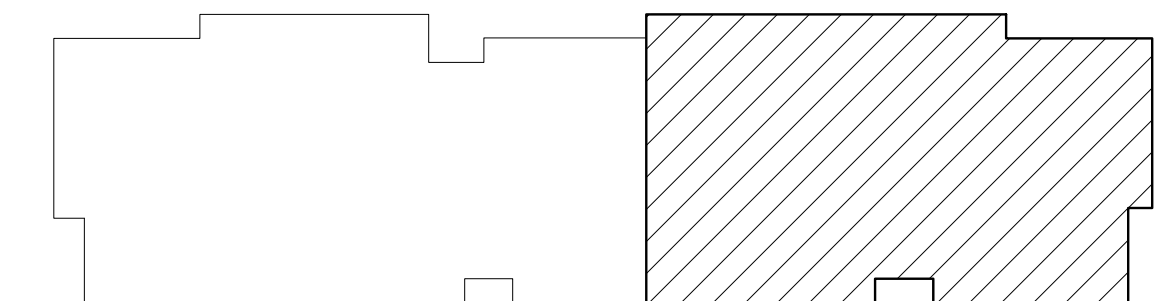
100% CD / PERMIT SET



A  
B  
C  
D  
E  
F  
G  
H

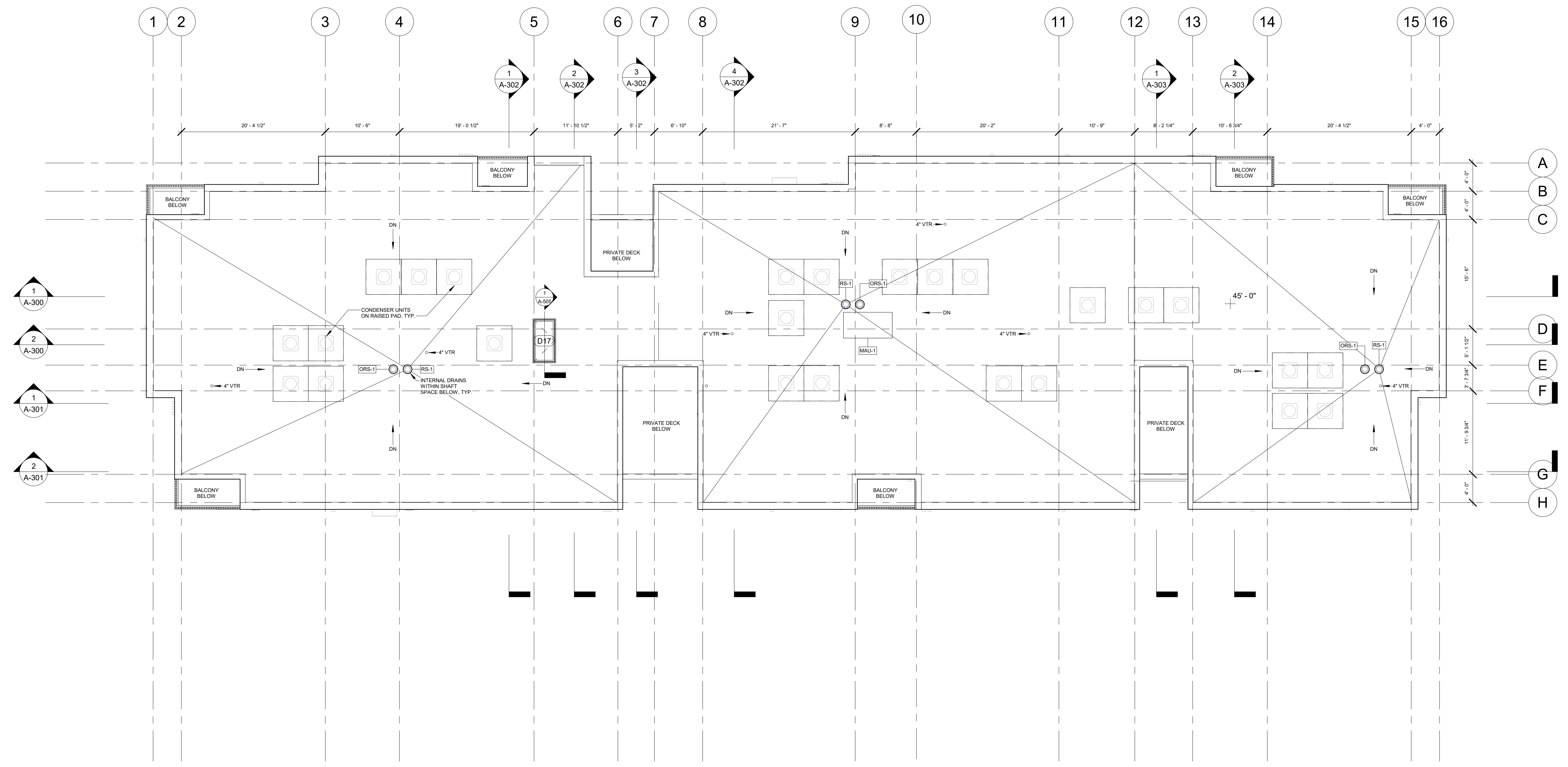
ENLARGED FLOOR PLAN GENERAL NOTES

- PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 0'-0" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
- SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
- GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
- DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- CLEAR "CLR" DIMENSIONS ARE TO FINISH FACE, U.O.N.
- DOORS ARE CENTERED ON WALL OR AGAINST WALL CORNER, U.O.N.
- SEE SHEETS A-710 THRU A-725 FOR BATHROOM AND KITCHEN PLANS AND ELEVATIONS
- SEE STRUCTURAL DRAWINGS FOR SHEAR WALL AND BRACED WALL LOCATIONS AND DETAILS
- SEE PLUMBING DRAWINGS FOR FIRE SUPPRESSION SYSTEM INFORMATION AND RISER LOCATIONS
- SEE OVERALL FLOOR PLANS FOR EXTERIOR WALL AND WINDOW LAYOUT
- MAINTAIN CONTINUITY OF FIRE RATED ASSEMBLIES AT INTERSECTING AND ADJOINING ASSEMBLIES
- SEE A-604 FOR INTERIOR PARTITION CONSTRUCTION
- PARTITION TYPE TO BE B40X, U.O.N.
- SEE A-602 FOR FLOORING MATERIAL TRANSITION DETAILS
- MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.



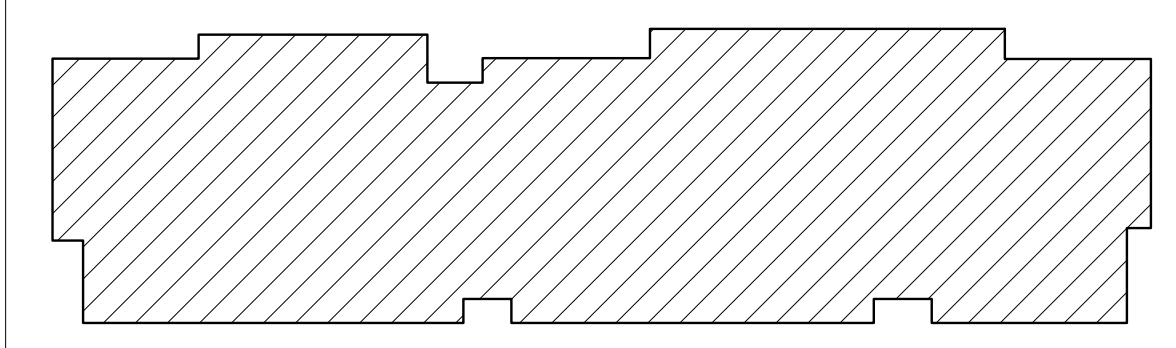
A104B KEY PLAN

① 4th FLOOR - EAST  
1/4" = 1'-0"



1 ROOF  
1/8" = 1'-0"

- OVERALL FLOOR PLAN GENERAL NOTES**
1. PROJECT BENCHMARK IS AT FIRST FLOOR TOP OF SLAB, T.O. SLAB = 2'-10 1/4" (ARCHITECTURAL, STRUCTURAL), VARIES (CIVIL)
  2. SEE DETAILED GRADING PLANS OF THE BRUSH PARK PARCELS A & B SITE PLAN PACKAGE FOR FIRST FLOOR ELEVATION IN RELATIONSHIP TO ADJACENT SITE GRADE.
  3. GRIDLINE IS AT FACE OF FOUNDATION WALLS, U.O.N.
  4. DIMENSIONS ARE TO FACE OF STUD, U.O.N.
  5. SEE ENLARGED PLANS FOR LAYOUT OF DWELLING UNITS
  6. SEE A-500 & A-501 FOR EXTERIOR WALL CONSTRUCTION
  7. FURNITURE N.I.C. AND SHOWN FOR REFERENCE ONLY



ROOF KEY PLAN

REGISTRATION



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-673-0269

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0052

**ELECTRICAL ENGINEER**  
EIS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**ROOF PLAN**

SHEET NO.  
**A-105**

100% CD/ PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

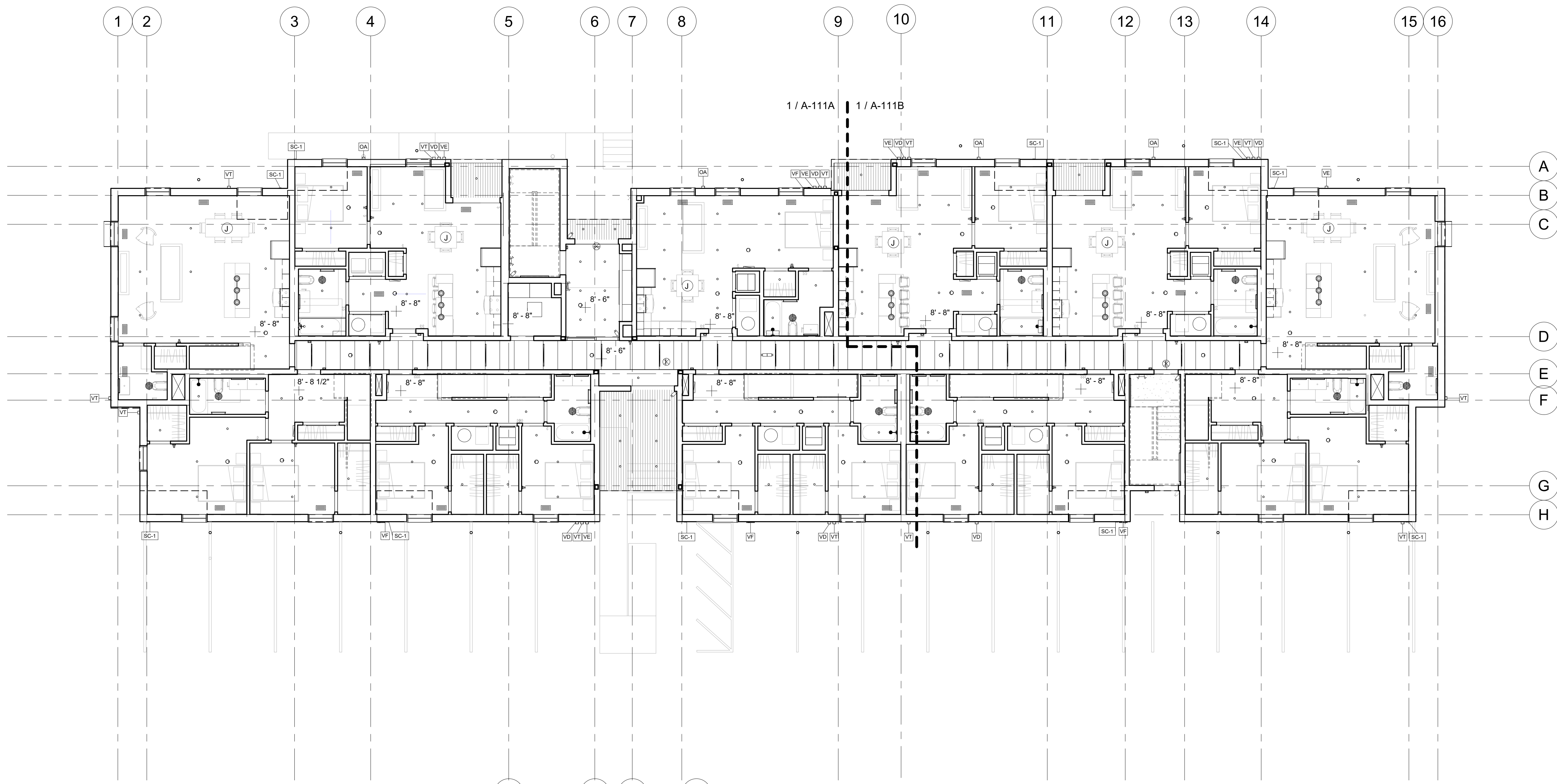
DRAWING TITLE

**BASEMENT AND FIRST FLOOR RCP**

SHEET NO.

**A-111**

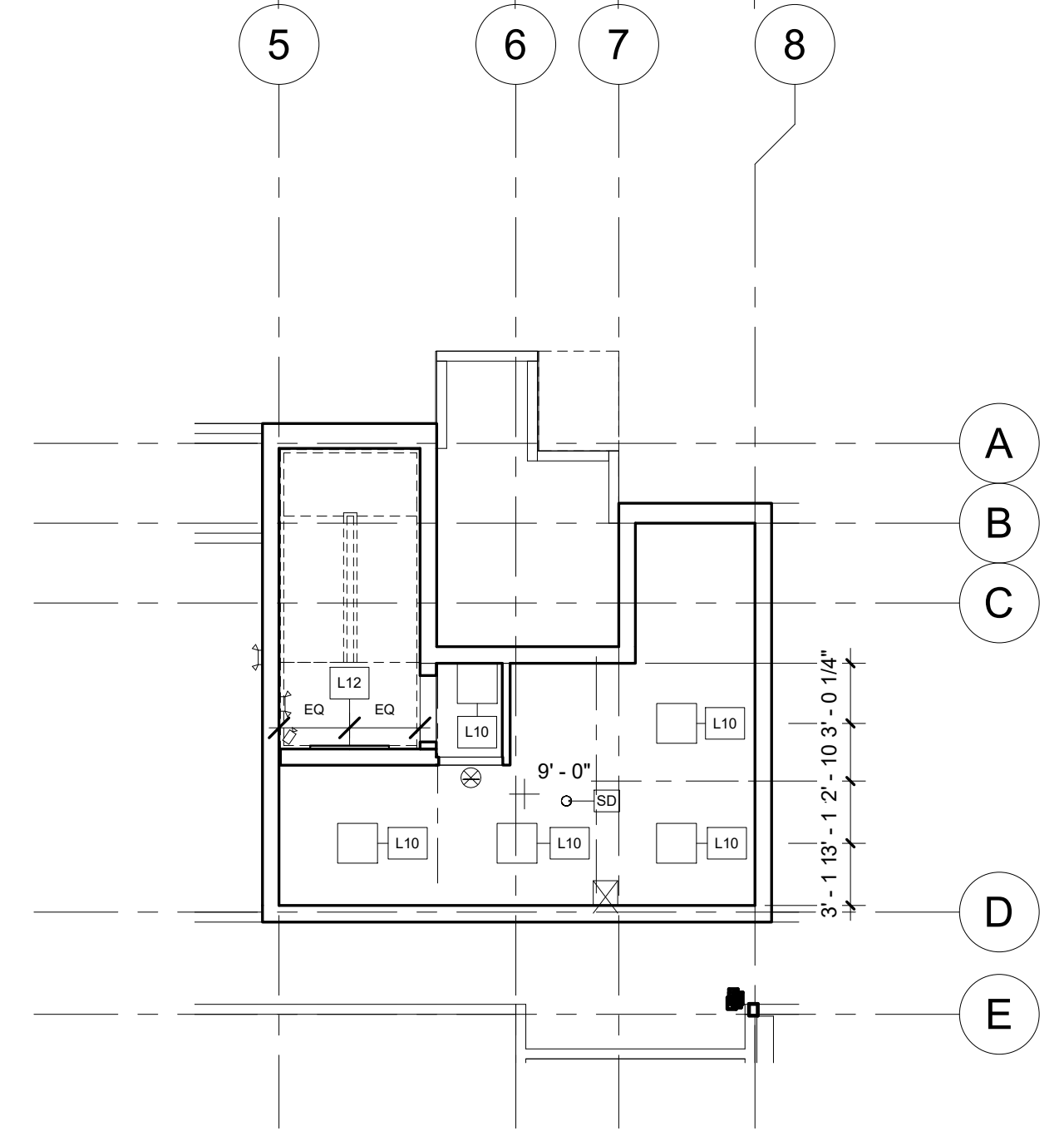
100% CD/ PERMIT SET



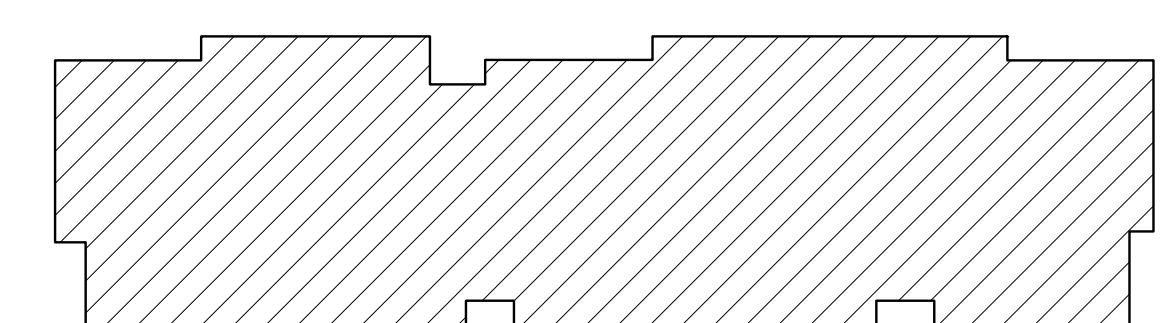
2 1st FLOOR  
1/8" = 1'-0"

VENTS & TERMINATIONS LEGEND		
Type Mark	Location	Description
EF		Ceiling Exhaust Fan
FG-1	Interior Floor	Floor Register
FG-2	Interior Floor	Floor Register
OA	Exterior	Vent Termination
ORS-1	Roof	Roof Overflow Drain
RS-1	Roof	Roof Drain
SG-2	Unit Ceilings	Ceiling Register
TAG-1	Interior Wall	Wall Register
VD	Exterior	Vent Termination
VE	Exterior	Vent Termination
VF	Exterior	Furnace Vent Termination
VT	Exterior	Vent Termination

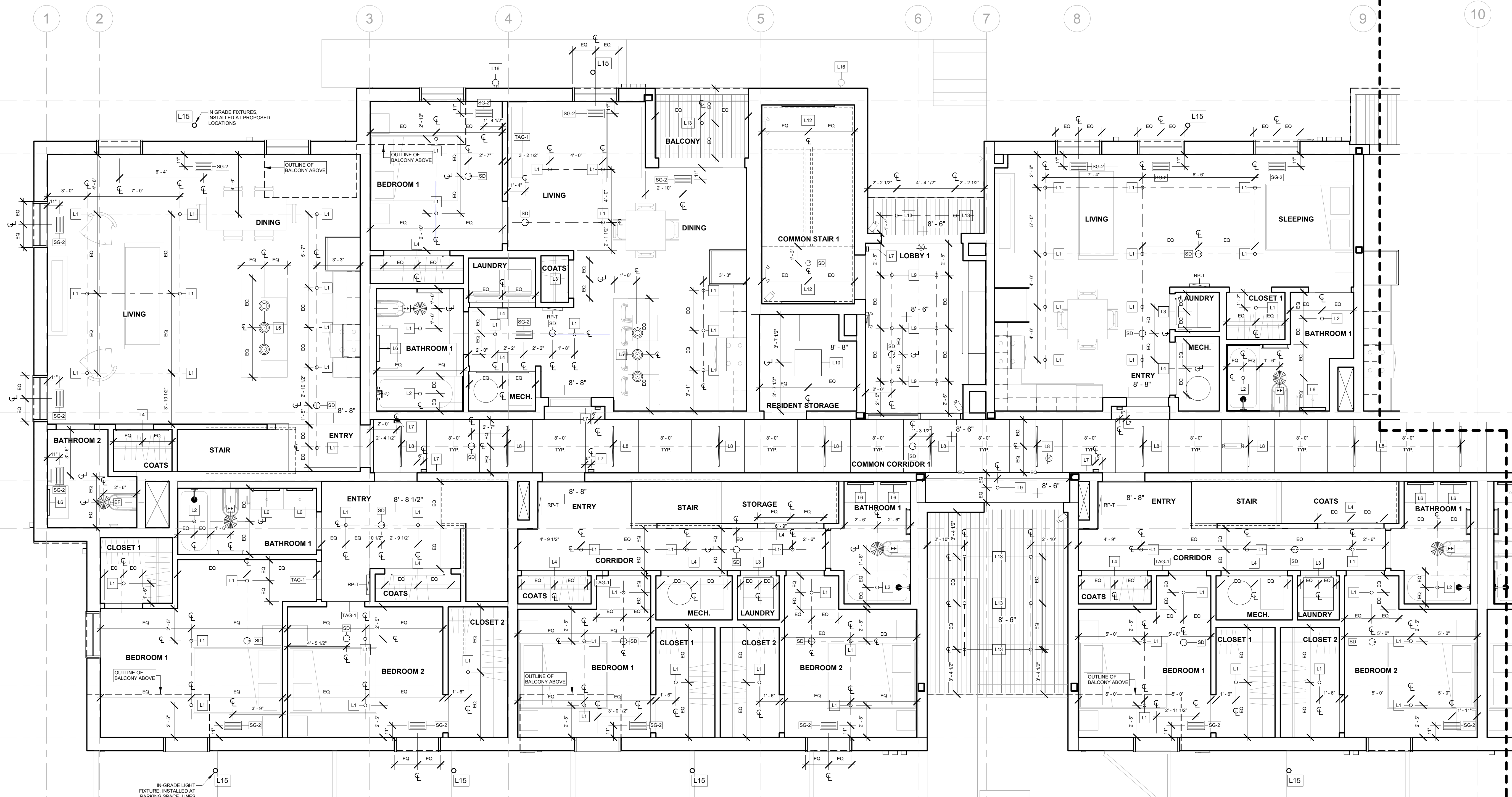
- OVERALL RCP GENERAL NOTES
- DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
  - DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
  - SEE ENLARGED RCP FOR LOCATION OF FIXTURES AND DEVICES.



1 BASEMENT  
1/8" = 1'-0"



A111 KEY PLAN

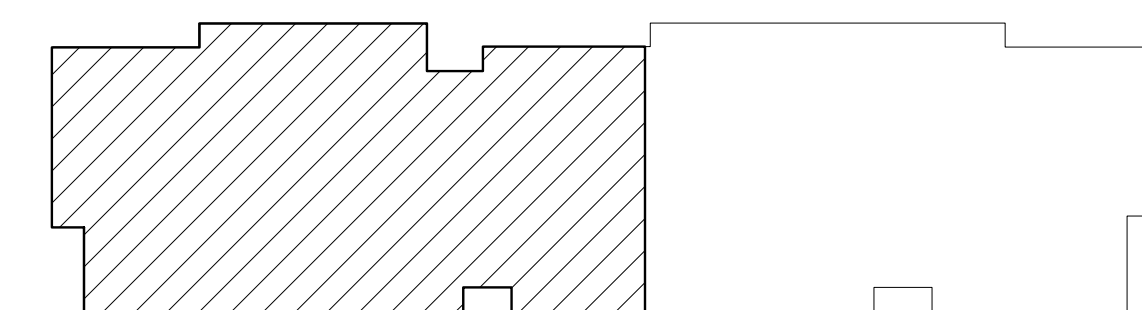


1 1st FLOOR - WEST  
1/4" = 1'-0"

NOTE: REFERENCE A-112A FOR LIGHTING LEGEND

**ENLARGED RCP GENERAL NOTES**

1. DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
2. DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
3. ACCESS DOOR ON CEILINGS TO BE FRAMELESS AND PAINTED TO MATCH CEILING. COORDINATE LOCATIONS WITH ARCHITECT. TAKE CARE OF AIRSEAL AROUND OPENING ON CEILING AT ROOF.
4. TAKE CARE OF AIRSEAL AROUND LIGHTING FIXTURES AND ANY SUCH OPENINGS ON THE CEILING ROOF.
5. MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.
6. COORDINATE LOCATIONS OF FP SPRINKLER HEADS WITH ARCHITECT.



A111A KEY PLAN

**REGISTRATION**



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0269

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0522

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNING ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

**FIRST FLOOR RCP - WEST**

SHEET NO.

**A-111A**

100% CD/ PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1392 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

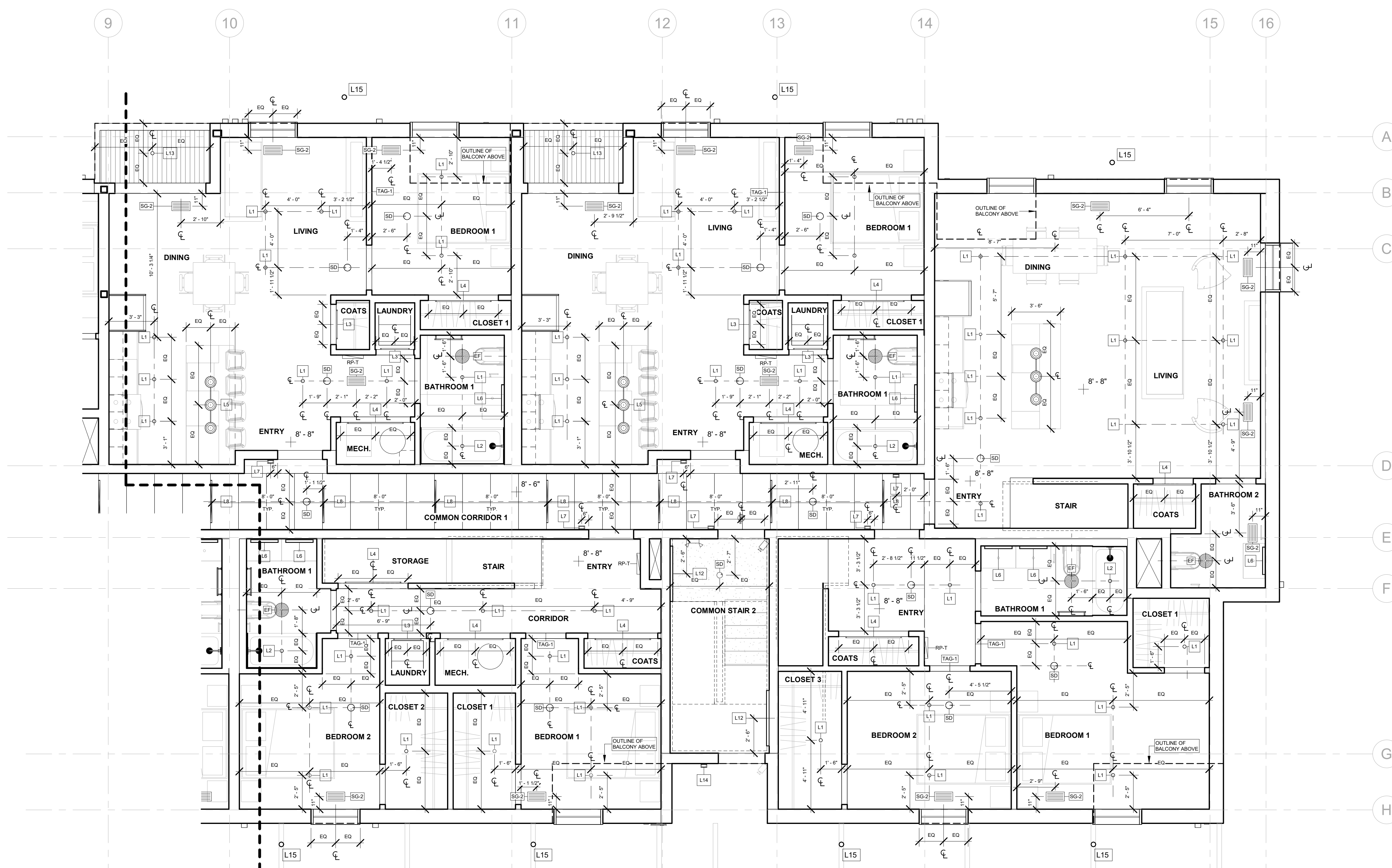
DRAWING TITLE  
**FIRST FLOOR RCP - EAST**

SHEET NO.

**A-111B**

100% CD / PERMIT SET

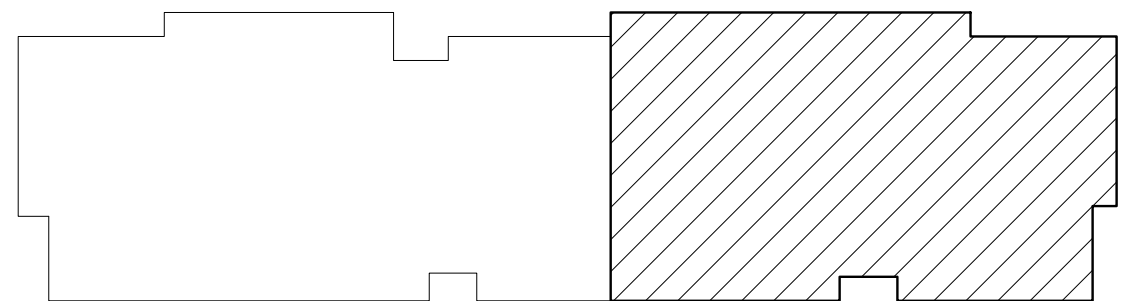
5/18/2020 2:17:54 AM



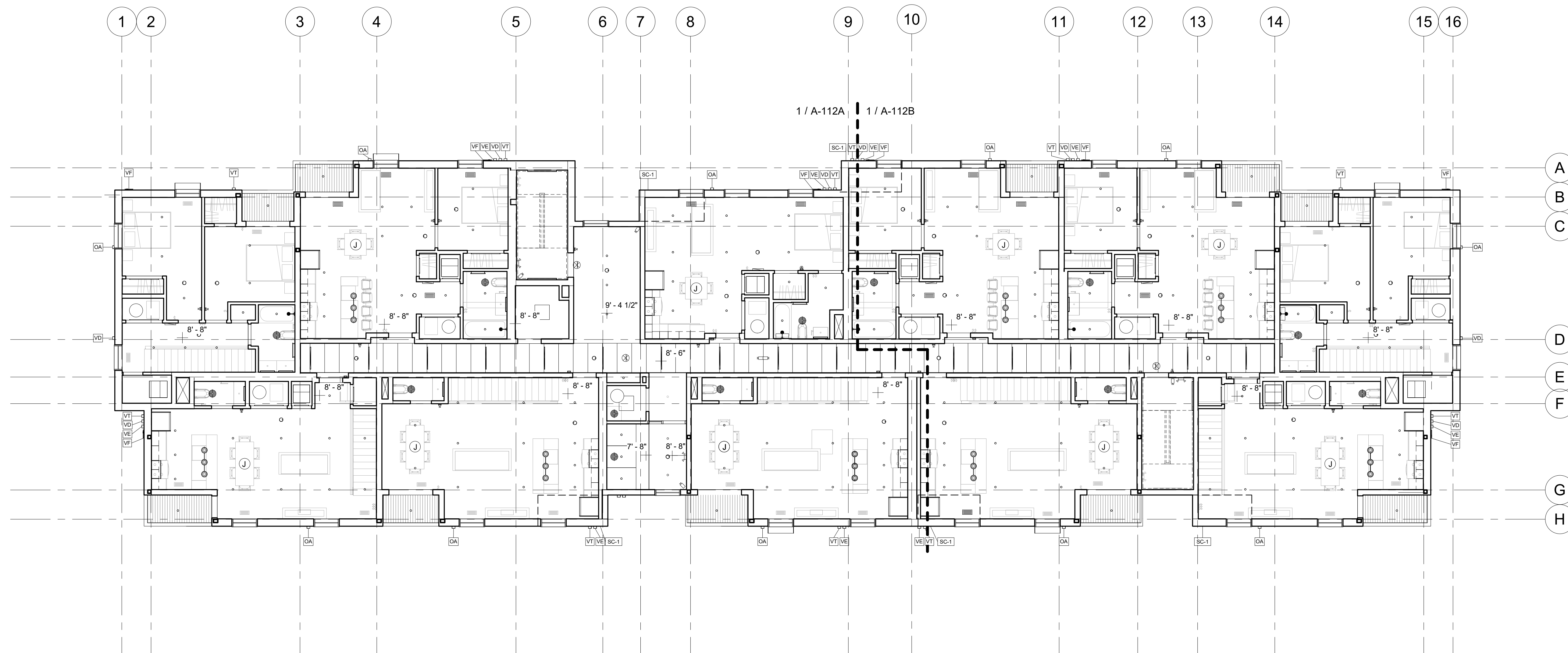
1 1st FLOOR - EAST  
1/4" = 1'-0"

NOTE: REFERENCE A-112A FOR LIGHTING AND MECHANICAL LEGEND

- ENLARGED RCP GENERAL NOTES**
1. DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
  2. DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
  3. ACCESS DOOR ON CEILINGS TO BE FRAMELESS AND PAINTED TO MATCH CEILING. COORDINATE LOCATIONS WITH ARCHITECT. TAKE CARE OF AIRSEAL AROUND OPENING ON CEILING AT ROOF.
  4. TAKE CARE OF AIRSEAL AROUND LIGHTING FIXTURES AND ANY SUCH OPENINGS ON THE CEILING ROOF.
  5. MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.
  6. COORDINATE LOCATIONS OF FP SPRINKLER HEADS WITH ARCHITECT.



A111B KEY PLAN

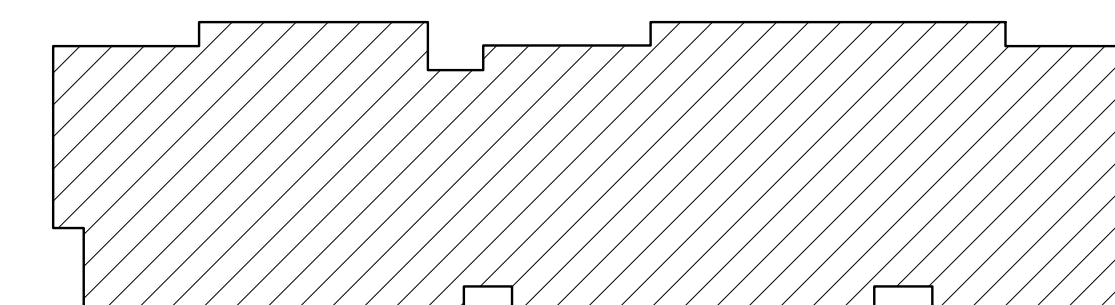


1 2nd FLOOR  
1/8" = 1'-0"

VENTS & TERMINATIONS LEGEND		
Type Mark	Location	Description
EF		Ceiling Exhaust Fan
FG-1	Interior Floor	Floor Register
FG-2	Interior Floor	Floor Register
OA	Exterior	Vent Termination
ORS-1	Roof	Roof Overflow Drain
RS-1	Roof	Roof Drain
SG-2	Unit Ceilings	Ceiling Register
TAG-1	Interior Wall	Wall Register
VD	Exterior	Vent Termination
VE	Exterior	Vent Termination
VF	Exterior	Furnace Vent Termination
VT	Exterior	Vent Termination

OVERALL RCP GENERAL NOTES

- DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
- DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
- SEE ENLARGED RCP FOR LOCATION OF FIXTURES AND DEVICES.



A112 KEY PLAN

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0522

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

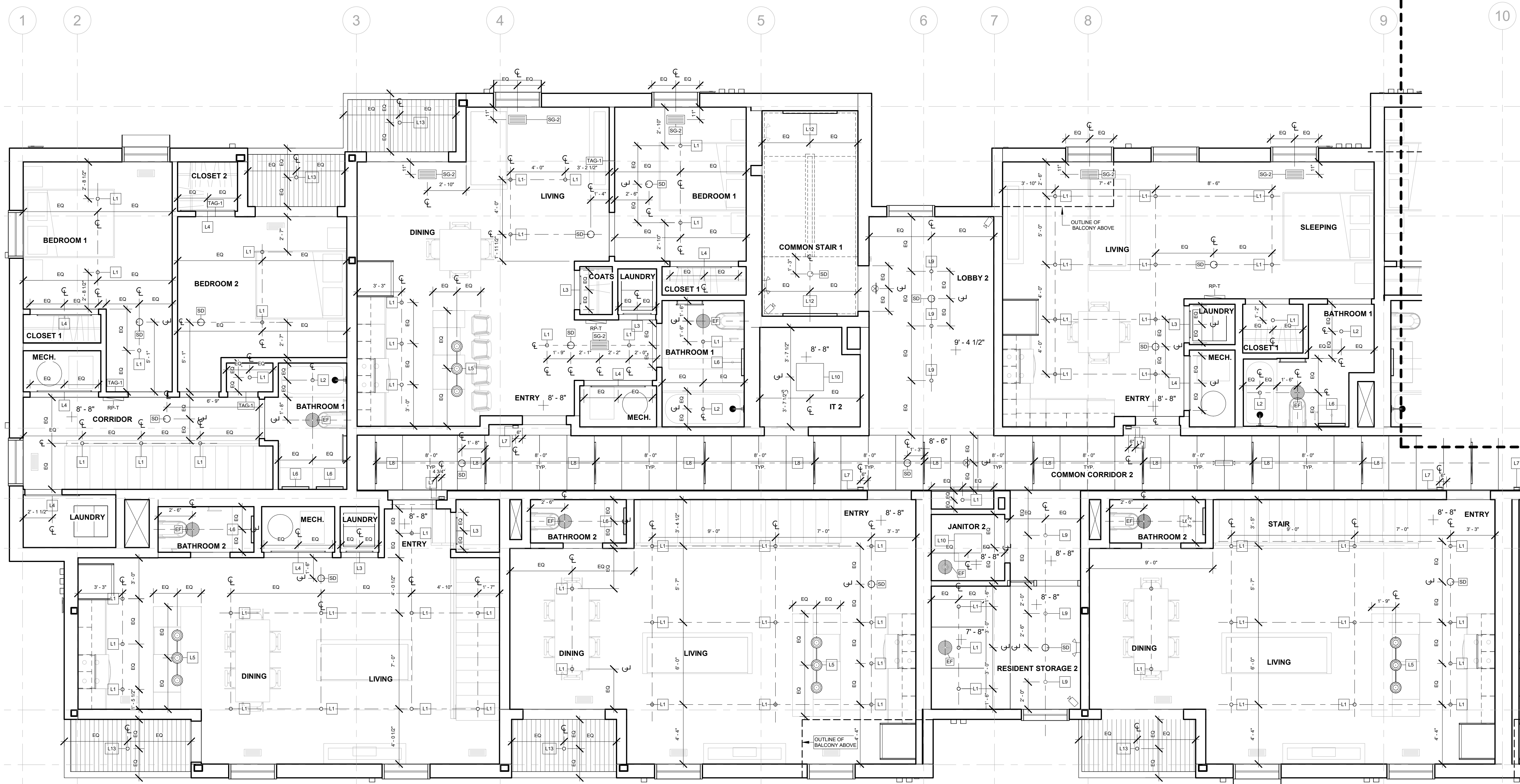
**SECOND FLOOR RCP**

SHEET NO.

**A-112**

100% CD/ PERMIT SET



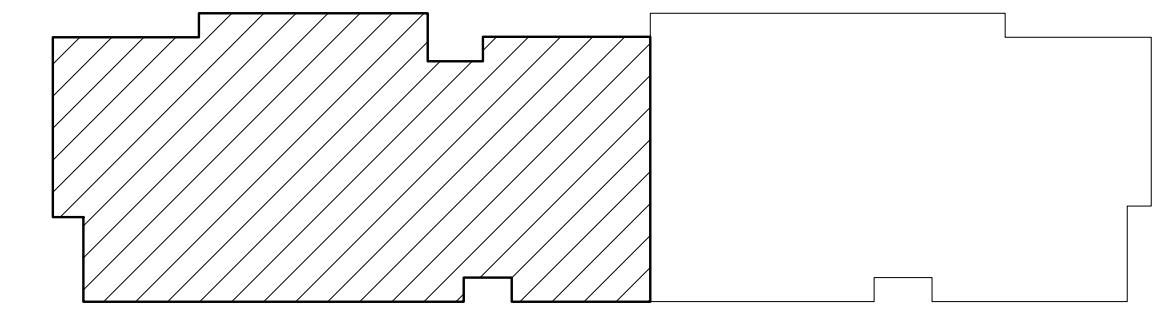


1 2nd FLOOR - WEST  
1/4" = 1'-0"

LIGHTING LEGEND	
Type Mark	Description
	120V EMERGENCY LIGHT FIXTURE
L1	Surface Mounted Slim Downlight
L2	Surface Mounted Slim Downlight
L3	Lightstick 25" (Motion Sensor)
L4	Lightstick 49" (Motion Sensor)
L5	Pendant
L6	Vanity Light
L7	Small Sconce
L8	Linear Downlight ACT System Clip-On
L9	Surface Mounted Slim Downlight
L10	Surface Mounted Downlight
L12	Linear Wall Sconce
L13	Recessed Can Light (Exterior)
L14	Small Sconce (Exterior)
L15	In-grade LED Light (Exterior)
L16	Wall Mounted Sconce (Exterior)

VENTS & TERMINATIONS LEGEND		
Type Mark	Location	Description
EF		Ceiling Exhaust Fan
FG-1	Interior Floor	Floor Register
FG-2	Interior Floor	Floor Register
OA	Exterior	Vent Termination
ORS-1	Roof	Roof Overflow Drain
RS-1	Roof	Roof Drain
SG-2	Unit Ceilings	Ceiling Register
TAG-1	Interior Wall	Wall Register
VD	Exterior	Vent Termination
VE	Exterior	Vent Termination
VF	Exterior	Furnace Vent Termination
VT	Exterior	Vent Termination

- ENLARGED RCP GENERAL NOTES**
- DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
  - DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
  - ACCESS DOOR ON CEILINGS TO BE FRAMELESS AND PAINTED TO MATCH CEILING. COORDINATE LOCATIONS WITH ARCHITECT. TAKE CARE OF AIRSEAL AROUND OPENING ON CEILING AT ROOF.
  - TAKE CARE OF AIRSEAL AROUND LIGHTING FIXTURES AND ANY SUCH OPENINGS ON THE CEILING ROOF.
  - MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.
  - COORDINATE LOCATIONS OF FP SPRINKLER HEADS WITH ARCHITECT.



A-112A KEY PLAN

REGISTRATION



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-673-0269

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0522

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**SECOND FLOOR RCP - WEST**

SHEET NO.

**A-112A**

100% CD/ PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-673-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

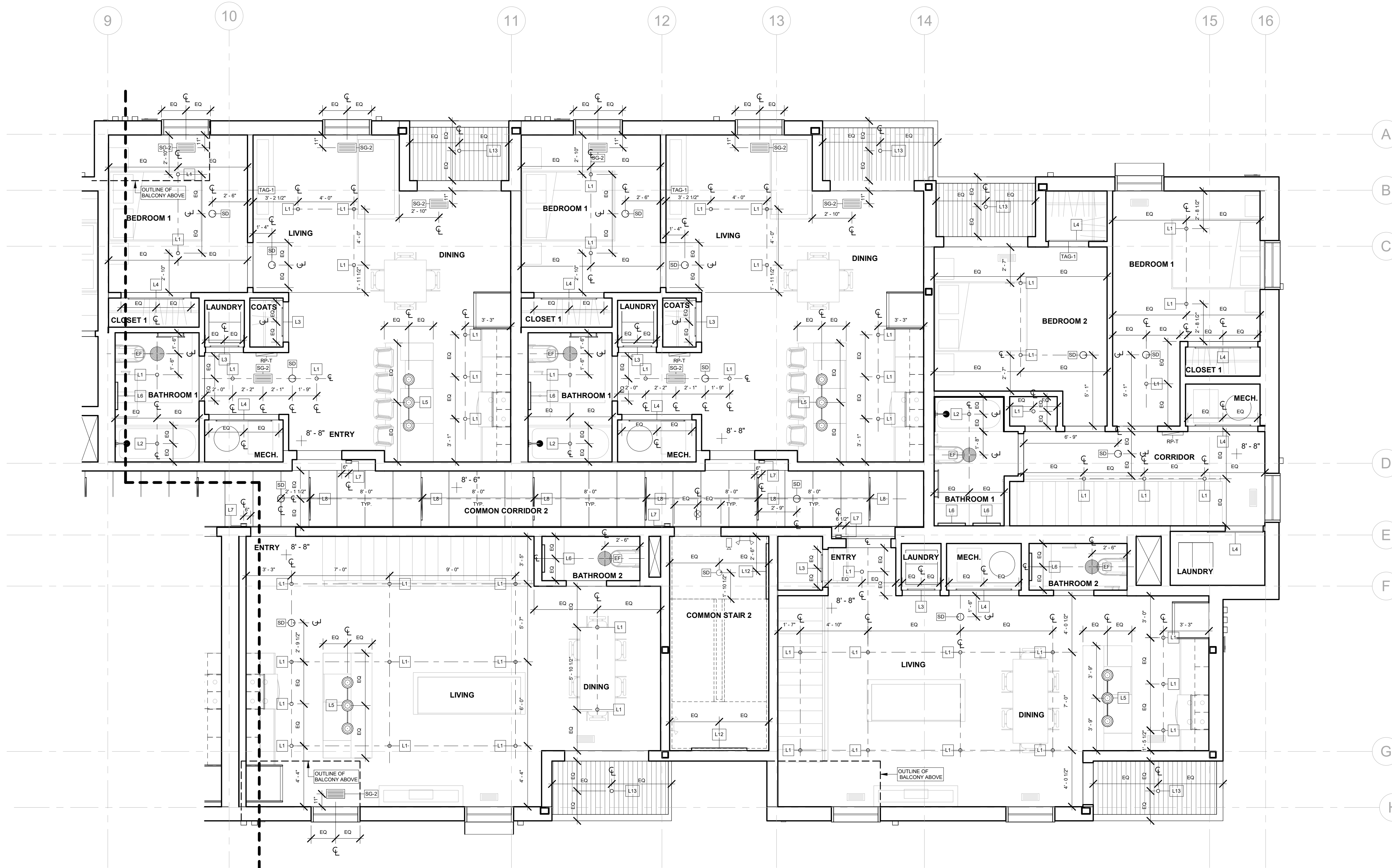
DRAWING TITLE  
**SECOND FLOOR RCP - EAST**

SHEET NO.

**A-112B**

100% CD/ PERMIT SET

5/18/2020 2:16:17 AM



1 2nd FLOOR - EAST  
1/4" = 1'-0"

LIGHTING LEGEND

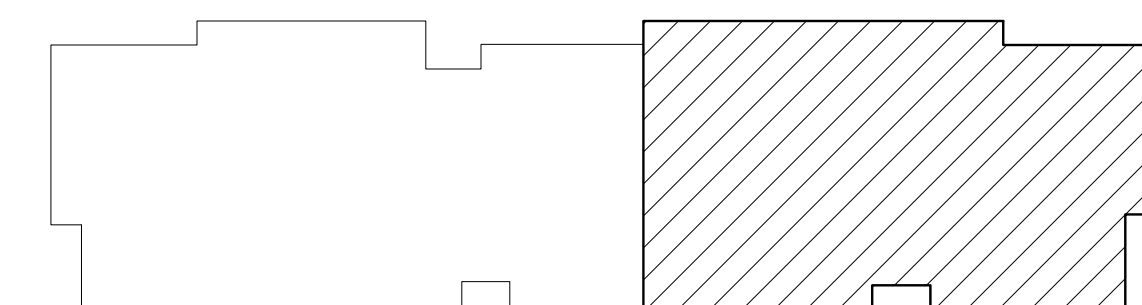
Type Mark	Description
	120V EMERGENCY LIGHT FIXTURE
L1	Surface Mounted Slim Downlight
L2	Surface Mounted Slim Downlight
L3	Lightstick 25" (Motion Sensor)
L4	Lightstick 49" (Motion Sensor)
L5	Pendant
L6	Vanity Light
L7	Small Sconce
L8	Linear Downlight ACT System Clip-On
L9	Surface Mounted Slim Downlight
L10	Surface Mounted Downlight
L12	Linear Wall Sconce
L13	Recessed Can Light (Exterior)
L14	Small Sconce (Exterior)
L15	In-grade LED Light (Exterior)
L16	Wall Mounted Sconce (Exterior)

VENTS & TERMINATIONS LEGEND

Type Mark	Location	Description
EF		Ceiling Exhaust Fan
FG-1	Interior Floor	Floor Register
FG-2	Interior Floor	Floor Register
OA	Exterior	Vent Termination
ORS-1	Roof	Roof Overflow Drain
RS-1	Roof	Roof Drain
SG-2	Unit Ceilings	Ceiling Register
TAG-1	Interior Wall	Wall Register
VD	Exterior	Vent Termination
VE	Exterior	Vent Termination
VF	Exterior	Furnace Vent Termination
VT	Exterior	Vent Termination

ENLARGED RCP GENERAL NOTES

- DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
- DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
- ACCESS DOOR ON CEILINGS TO BE FRAMELESS AND PAINTED TO MATCH CEILING. COORDINATE LOCATIONS WITH ARCHITECT. TAKE CARE OF AIRSEAL AROUND OPENING ON CEILING AT ROOF.
- TAKE CARE OF AIRSEAL AROUND LIGHTING FIXTURES AND ANY SUCH OPENINGS ON THE CEILING ROOF.
- MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.
- COORDINATE LOCATIONS OF FP SPRINKLER HEADS WITH ARCHITECT.



A112B KEY PLAN



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1592 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617-675-0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49418  
 T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARRINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0945  
 F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNPIKE ROAD, SUITE 200  
 SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

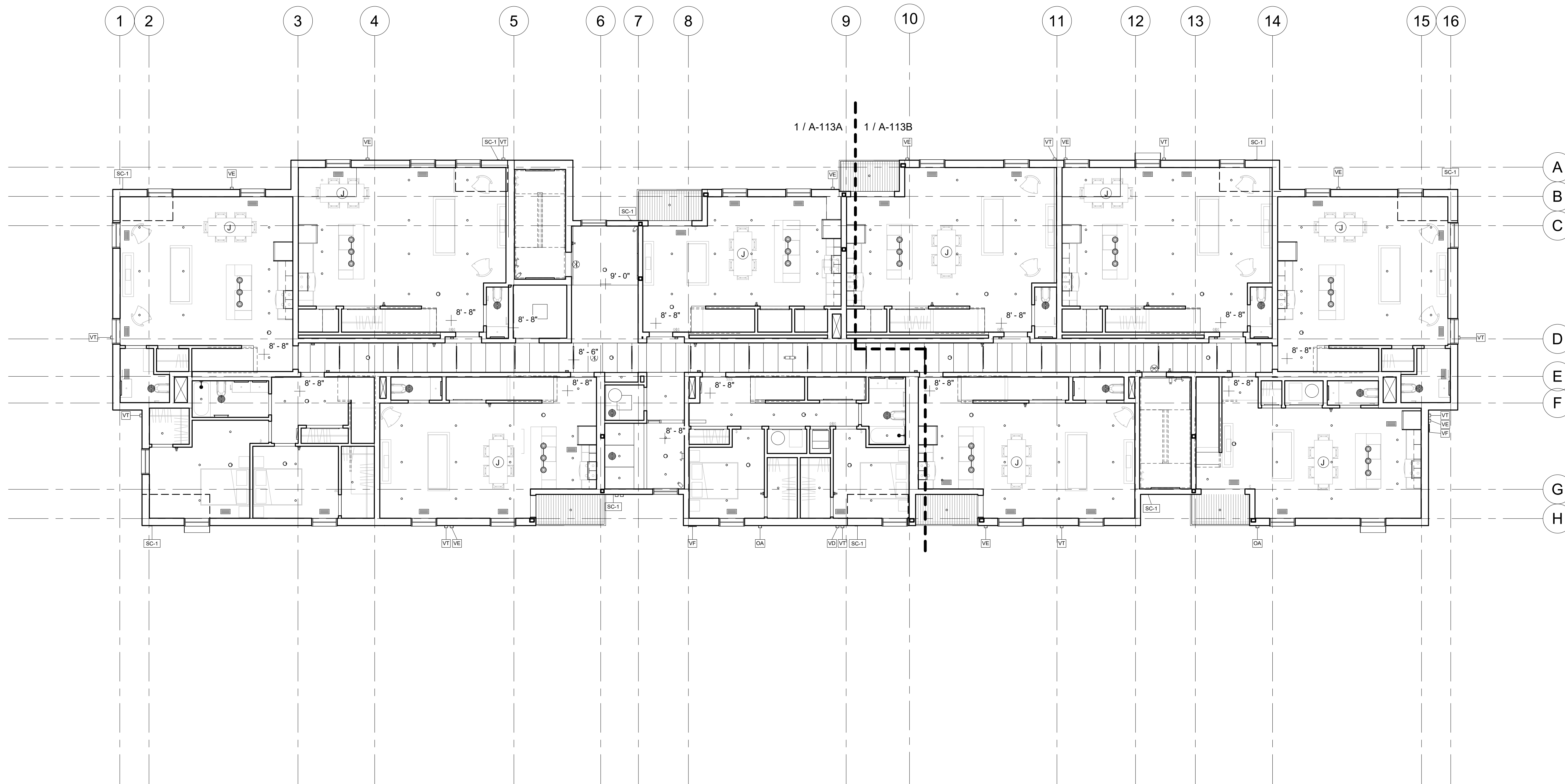
DRAWING TITLE

THIRD FLOOR RCP

SHEET NO.

**A-113**

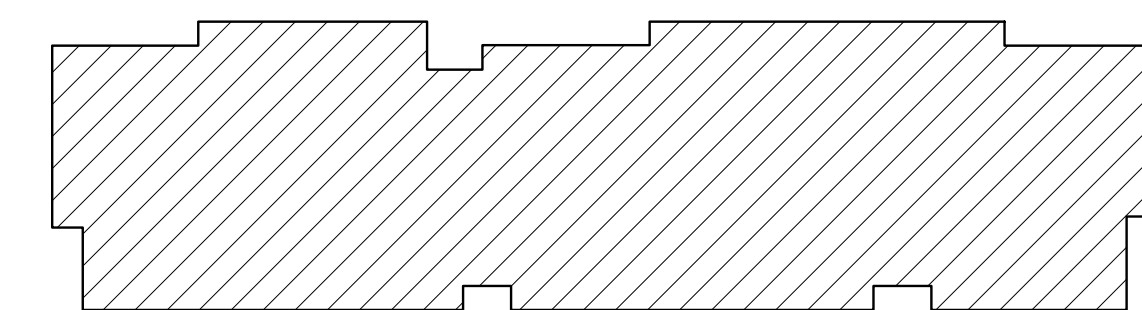
100% CD/ PERMIT SET



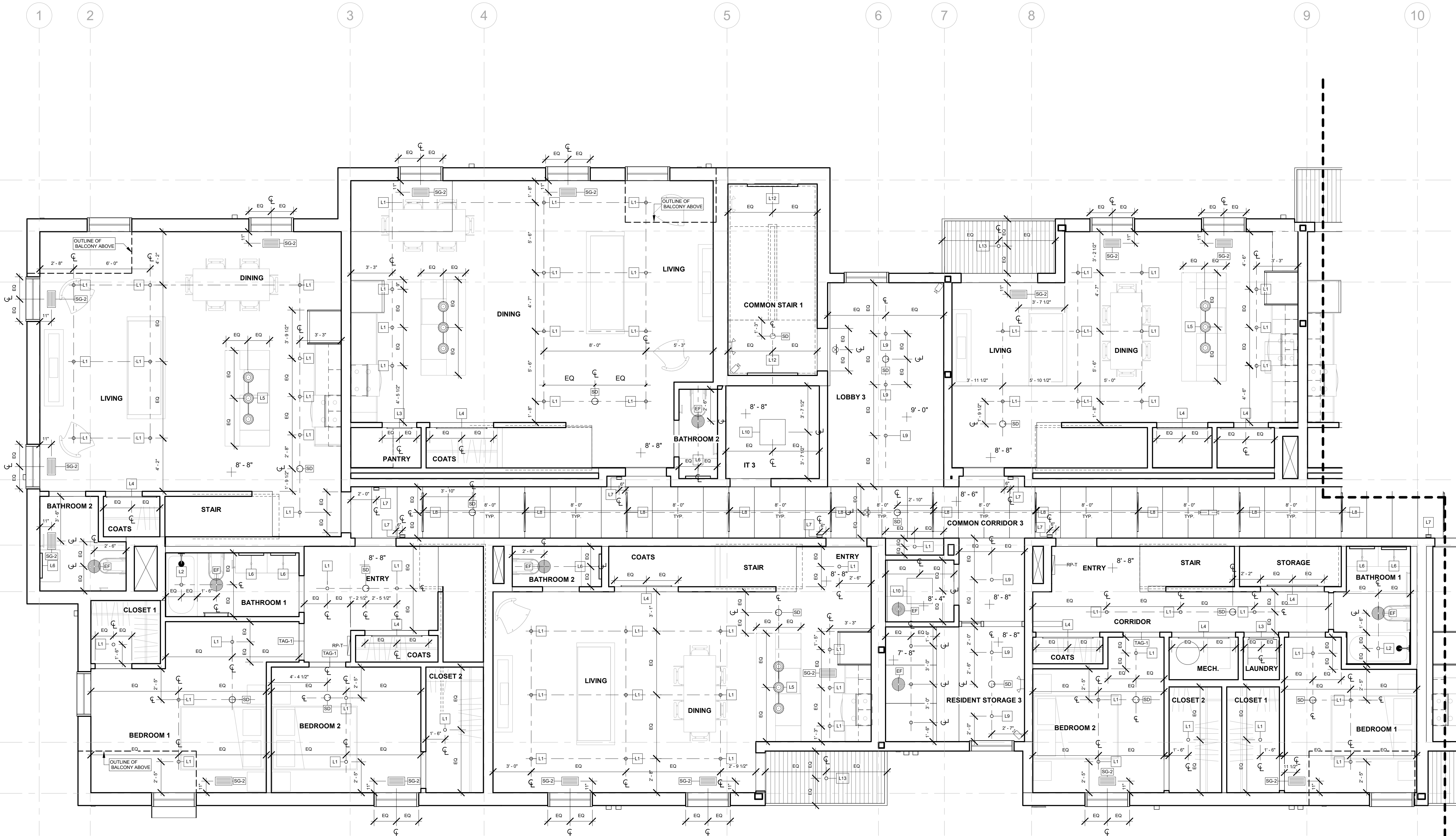
① 3rd FLOOR  
 1/8" = 1'-0"

VENTS & TERMINATIONS LEGEND		
Type Mark	Location	Description
EF		Ceiling Exhaust Fan
FG-1	Interior Floor	Floor Register
FG-2	Interior Floor	Floor Register
OA	Exterior	Vent Termination
ORS-1	Roof	Roof Overflow Drain
RS-1	Roof	Roof Drain
SG-2	Unit Ceilings	Ceiling Register
TAG-1	Interior Wall	Wall Register
VD	Exterior	Vent Termination
VE	Exterior	Vent Termination
VF	Exterior	Furnace Vent Termination
VT	Exterior	Vent Termination

- OVERALL RCP GENERAL NOTES**
1. DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
  2. DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
  3. SEE ENLARGED RCP FOR LOCATION OF FIXTURES AND DEVICES.



A113 KEY PLAN

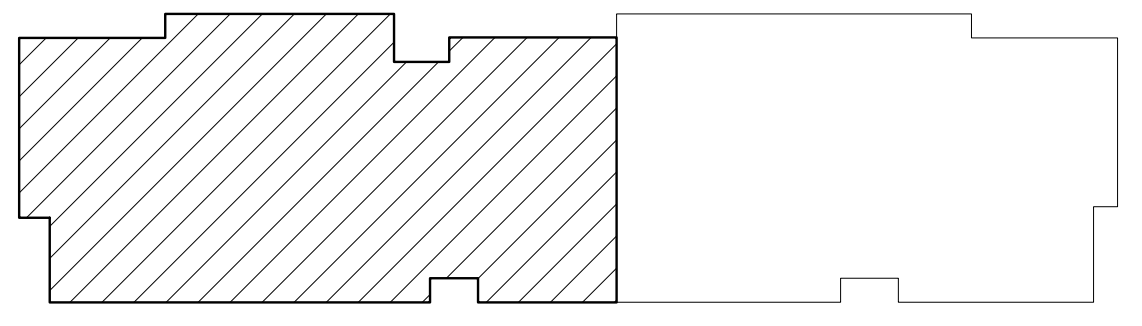


1 3rd FLOOR - WEST  
1/4" = 1'-0"

LIGHTING LEGEND	
Type Mark	Description
	120V EMERGENCY LIGHT FIXTURE
L1	Surface Mounted Slim Downlight
L2	Surface Mounted Slim Downlight
L3	Lightstick 25" (Motion Sensor)
L4	Lightstick 49" (Motion Sensor)
L5	Pendant
L6	Vanity Light
L7	Small Sconce
L8	Linear Downlight ACT System Clip-On
L9	Surface Mounted Slim Downlight
L10	Surface Mounted Downlight
L11	Linear Wall Sconce
L12	Recessed Can Light (Exterior)
L13	Small Sconce (Exterior)
L14	In-grade LED Light (Exterior)
L15	Wall Mounted Sconce (Exterior)
L16	Wall Mounted Sconce (Exterior)

VENTS & TERMINATIONS LEGEND		
Type Mark	Location	Description
EF		Ceiling Exhaust Fan
FG-1	Interior Floor	Floor Register
FG-2	Interior Floor	Floor Register
OA	Exterior	Vent Termination
ORS-1	Roof	Roof Overflow Drain
RS-1	Roof	Roof Drain
SG-2	Unit Ceilings	Ceiling Register
TAG-1	Interior Wall	Wall Register
VD	Exterior	Vent Termination
VE	Exterior	Vent Termination
VF	Exterior	Furnace Vent Termination
VT	Exterior	Vent Termination

- ENLARGED RCP GENERAL NOTES**
- DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
  - DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
  - ACCESS DOOR ON CEILINGS TO BE FRAMELESS AND PAINTED TO MATCH CEILING. COORDINATE LOCATIONS WITH ARCHITECT. TAKE CARE OF AIRSEAL AROUND OPENING ON CEILING AT ROOF.
  - TAKE CARE OF AIRSEAL AROUND LIGHTING FIXTURES AND ANY SUCH OPENINGS ON THE CEILING ROOF.
  - MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.
  - COORDINATE LOCATIONS OF FP SPRINKLER HEADS WITH ARCHITECT.



A113A KEY PLAN

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE REP CONSULTANTS  
154 TURNING ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**THIRD FLOOR RCP - WEST**

SHEET NO.

**A-113A**

100% CD/ PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1592 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617-675-0262

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49418  
 T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARRINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0945  
 F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNPIKE ROAD, SUITE 200  
 SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

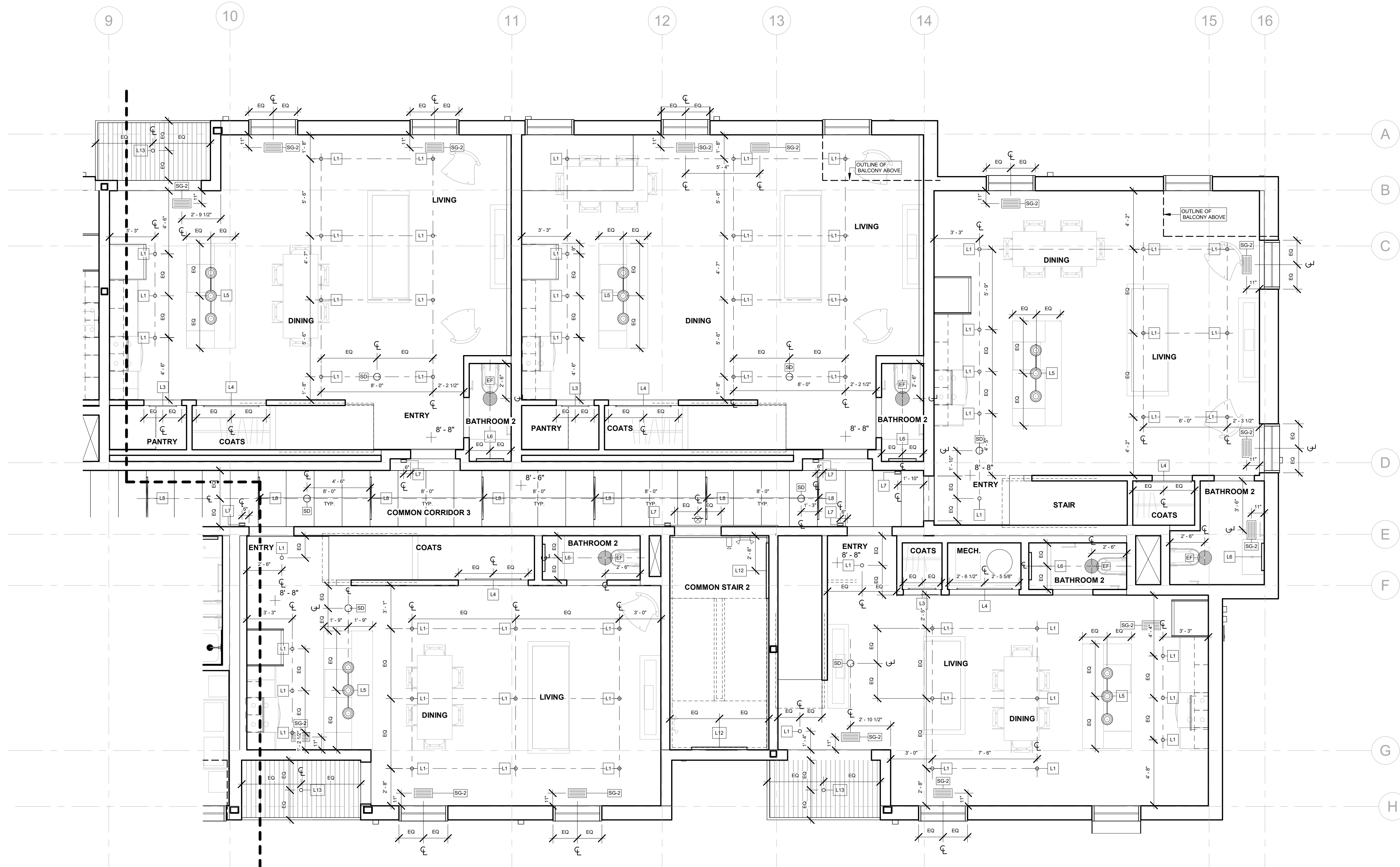
**THIRD FLOOR RCP - EAST**

SHEET NO.

**A-113B**

100% CD/ PERMIT SET

5/18/2020 2:16:30 AM

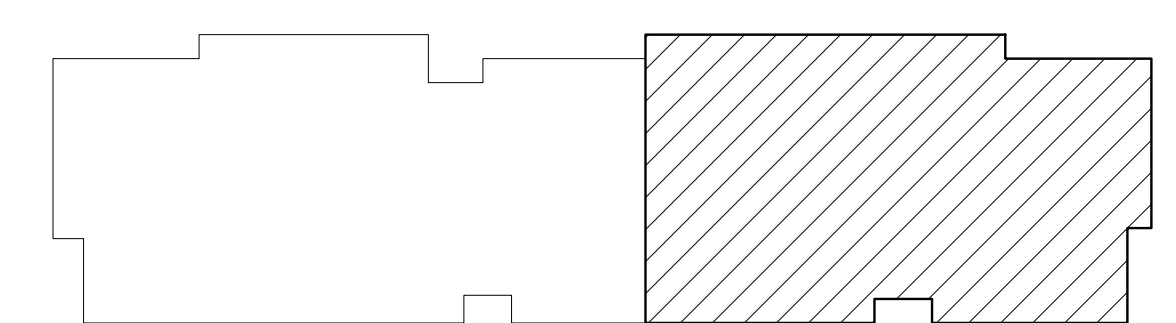


1 3rd FLOOR - EAST  
 1/4" = 1'-0"

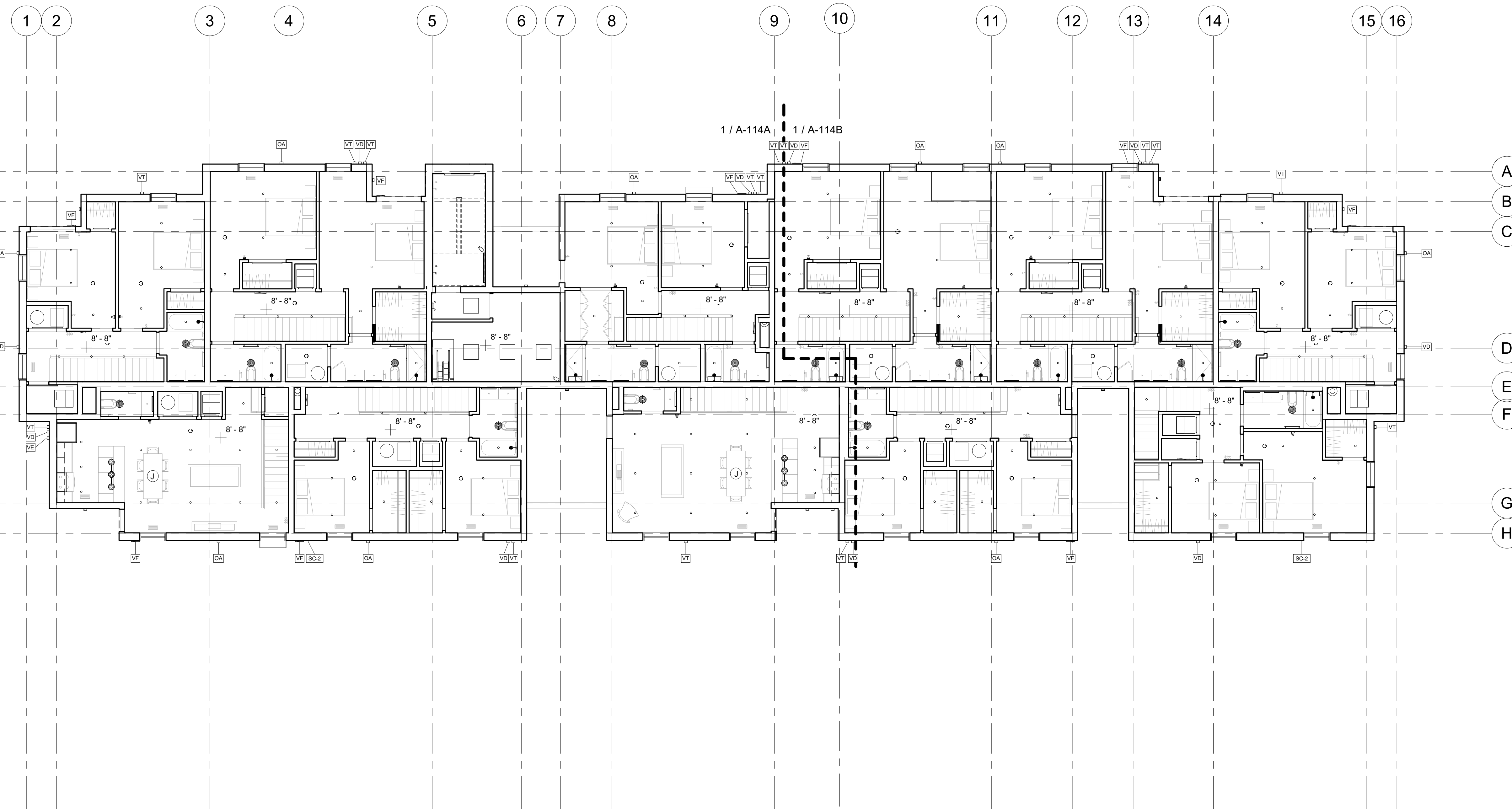
LIGHTING LEGEND	
Type Mark	Description
	120V EMERGENCY LIGHT FIXTURE
L1	Surface Mounted Slim Downlight
L2	Surface Mounted Slim Downlight
L3	Lightstick 25" (Motion Sensor)
L4	Lightstick 49" (Motion Sensor)
L5	Pendant
L6	Vanity Light
L7	Small Sconce
L8	Linear Downlight ACT System Clip-On
L9	Surface Mounted Slim Downlight
L10	Surface Mounted Downlight
L11	Linear Wall Sconce
L12	Recessed Can Light (Exterior)
L13	Small Sconce (Exterior)
L14	In-grade LED Light (Exterior)
L15	Wall Mounted Sconce (Exterior)
L16	Wall Mounted Sconce (Exterior)

VENTS & TERMINATIONS LEGEND		
Type Mark	Location	Description
EF		Ceiling Exhaust Fan
FG-1	Interior Floor	Floor Register
FG-2	Interior Floor	Floor Register
OA	Exterior	Vent Termination
ORS-1	Roof	Roof Overflow Drain
RS-1	Roof	Roof Drain
SG-2	Unit Ceilings	Ceiling Register
TAG-1	Interior Wall	Wall Register
VD	Exterior	Vent Termination
VE	Exterior	Vent Termination
VF	Exterior	Furnace Vent Termination
VT	Exterior	Vent Termination

- ENLARGED RCP GENERAL NOTES**
- DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
  - DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
  - ACCESS DOOR ON CEILINGS TO BE FRAMELESS AND PAINTED TO MATCH CEILING. COORDINATE LOCATIONS WITH ARCHITECT. TAKE CARE OF AIRSEAL AROUND OPENING ON CEILING AT ROOF.
  - TAKE CARE OF AIRSEAL AROUND LIGHTING FIXTURES AND ANY SUCH OPENINGS ON THE CEILING ROOF.
  - MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.
  - COORDINATE LOCATIONS OF FP SPRINKLER HEADS WITH ARCHITECT.



A113B KEY PLAN

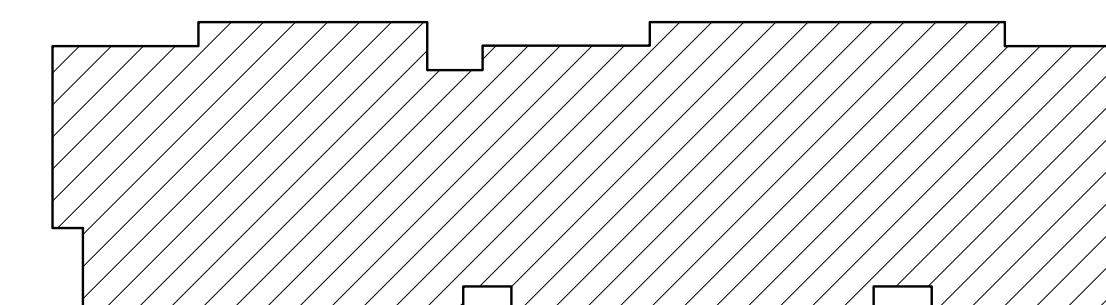


① 4th FLOOR  
1/8" = 1'-0"

VENTS & TERMINATIONS LEGEND		
Type Mark	Location	Description
EF		Ceiling Exhaust Fan
FG-1	Interior Floor	Floor Register
FG-2	Interior Floor	Floor Register
OA	Exterior	Vent Termination
ORS-1	Roof	Roof Overflow Drain
RS-1	Roof	Roof Drain
SG-2	Unit Ceilings	Ceiling Register
TAG-1	Interior Wall	Wall Register
VD	Exterior	Vent Termination
VE	Exterior	Vent Termination
VF	Exterior	Furnace Vent Termination
VT	Exterior	Vent Termination

**OVERALL RCP GENERAL NOTES**

- DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
- DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
- SEE ENLARGED RCP FOR LOCATION OF FIXTURES AND DEVICES.



A114 KEY PLAN

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1392 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-673-0269

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

**FOURTH FLOOR RCP**

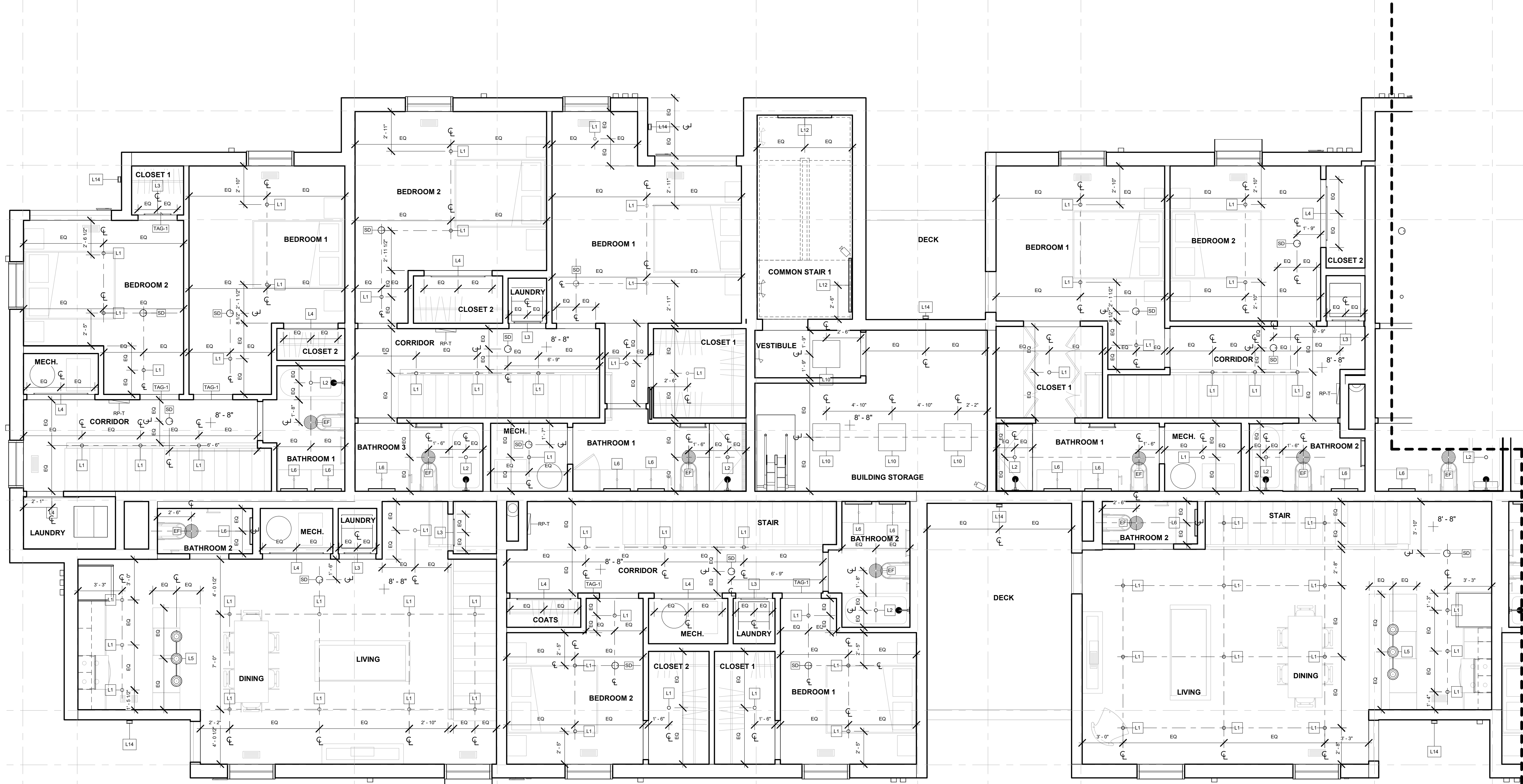
SHEET NO.

**A-114**

100% CD/ PERMIT SET



1 2 3 4 5 6 7 8 9 10



A  
B  
C  
D  
E  
F  
G  
H

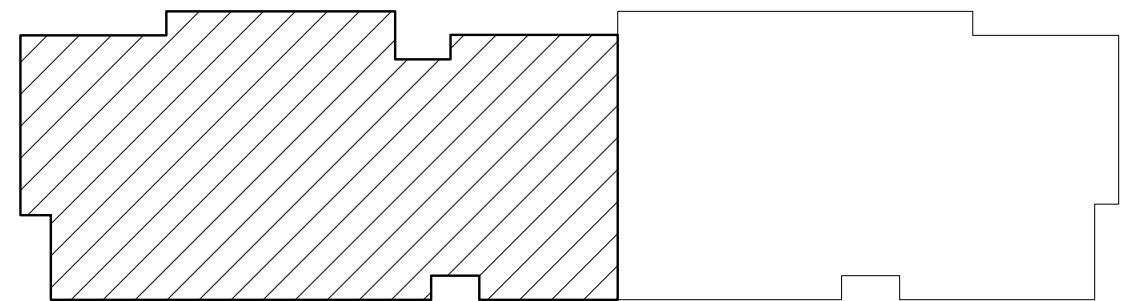
1 4th FLOOR - WEST  
1/4" = 1'-0"

LIGHTING LEGEND	
Type Mark	Description
	120V EMERGENCY LIGHT FIXTURE
L1	Surface Mounted Slim Downlight
L2	Surface Mounted Slim Downlight
L3	Lightstick 25" (Motion Sensor)
L4	Lightstick 49" (Motion Sensor)
L5	Pendant
L6	Vanity Light
L7	Small Sconce
L8	Linear Downlight ACT System Clip-On
L9	Surface Mounted Slim Downlight
L10	Surface Mounted Downlight
L12	Linear Wall Sconce
L13	Recessed Can Light (Exterior)
L14	Small Sconce (Exterior)
L15	In-grade LED Light (Exterior)
L16	Wall Mounted Sconce (Exterior)

VENTS & TERMINATIONS LEGEND		
Type Mark	Location	Description
EF		Ceiling Exhaust Fan
FG-1	Interior Floor	Floor Register
FG-2	Interior Floor	Floor Register
OA	Exterior	Vent Termination
ORS-1	Roof	Roof Overflow Drain
RS-1	Roof	Roof Drain
SG-2	Unit Ceilings	Ceiling Register
TAG-1	Interior Wall	Wall Register
VD	Exterior	Vent Termination
VE	Exterior	Vent Termination
VF	Exterior	Furnace Vent Termination
VT	Exterior	Vent Termination

**ENLARGED RCP GENERAL NOTES**

- DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
- DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
- ACCESS DOOR ON CEILINGS TO BE FRAMELESS AND PAINTED TO MATCH CEILING. COORDINATE LOCATIONS WITH ARCHITECT. TAKE CARE OF AIRSEAL AROUND OPENING ON CEILING AT ROOF.
- TAKE CARE OF AIRSEAL AROUND LIGHTING FIXTURES AND ANY SUCH OPENINGS ON THE CEILING ROOF.
- MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.
- COORDINATE LOCATIONS OF FP SPRINKLER HEADS WITH ARCHITECT.



A114A KEY PLAN

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0522

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE REP CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**FOURTH FLOOR RCP - WEST**

SHEET NO.

**A-114A**

100% CD/ PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

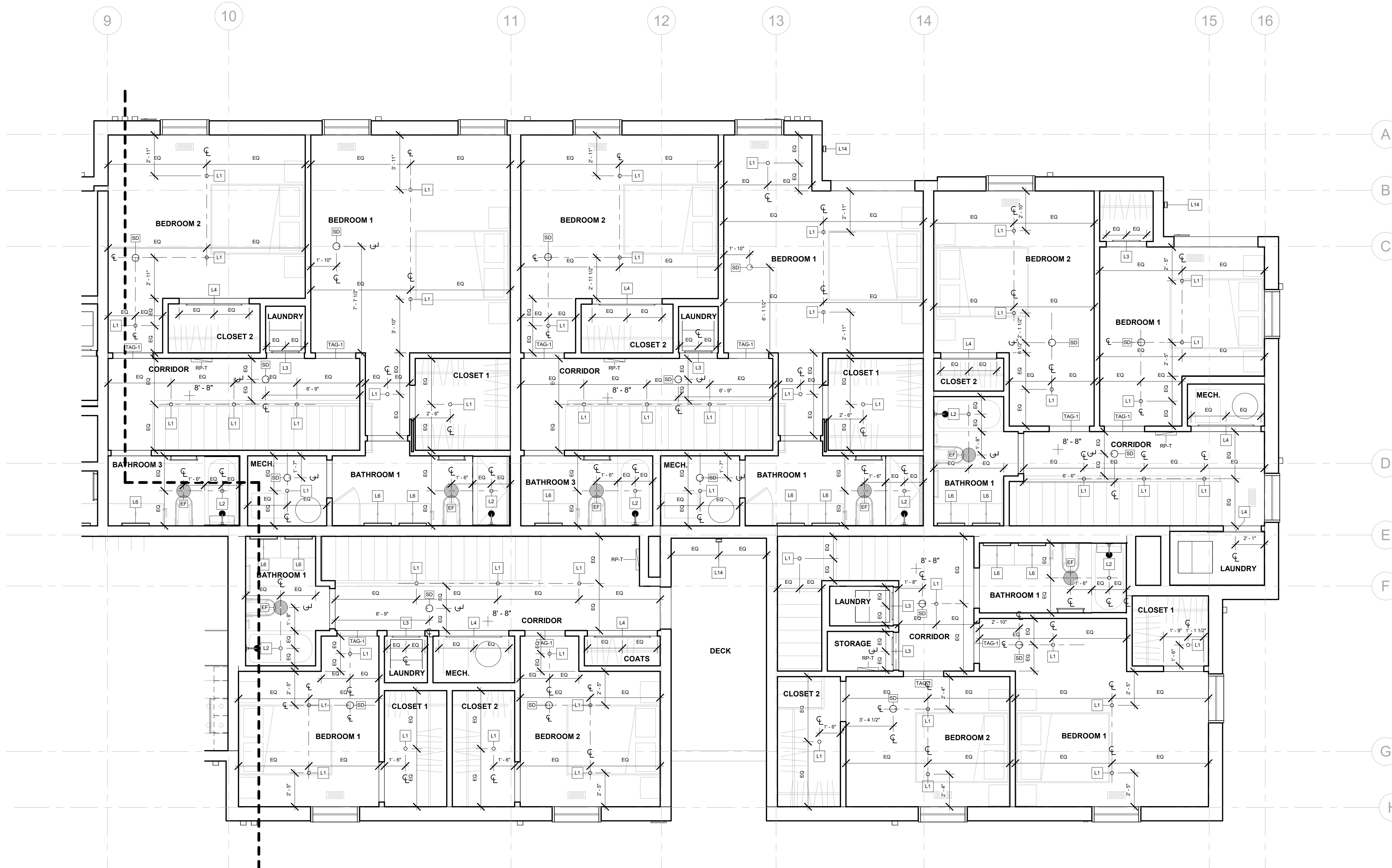
**FOURTH FLOOR RCP - EAST**

SHEET NO.

**A-114B**

100% CD/ PERMIT SET

5/18/2020 2:16:47 AM



① 4th FLOOR - EAST  
1/4" = 1'-0"

**LIGHTING LEGEND**

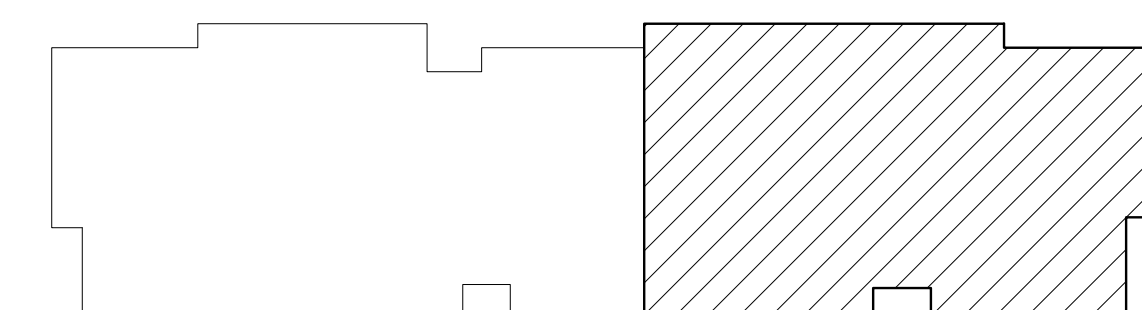
Type Mark	Description
	120V EMERGENCY LIGHT FIXTURE
L1	Surface Mounted Slim Downlight
L2	Surface Mounted Slim Downlight
L3	Lightstick 25" (Motion Sensor)
L4	Lightstick 49" (Motion Sensor)
L5	Pendant
L6	Vanity Light
L7	Small Sconce
L8	Linear Downlight ACT System Clip-On
L9	Surface Mounted Slim Downlight
L10	Surface Mounted Downlight
L12	Linear Wall Sconce
L13	Recessed Can Light (Exterior)
L14	Small Sconce (Exterior)
L15	In-grade LED Light (Exterior)
L16	Wall Mounted Sconce (Exterior)

**VENTS & TERMINATIONS LEGEND**

Type Mark	Location	Description
EF		Ceiling Exhaust Fan
FG-1	Interior Floor	Floor Register
FG-2	Interior Floor	Floor Register
OA	Exterior	Vent Termination
ORS-1	Roof	Roof Overflow Drain
RS-1	Roof	Roof Drain
SG-2	Unit Ceilings	Ceiling Register
TAG-1	Interior Wall	Wall Register
VD	Exterior	Vent Termination
VE	Exterior	Vent Termination
VF	Exterior	Furnace Vent Termination
VT	Exterior	Vent Termination

**ENLARGED RCP GENERAL NOTES**

1. DIMENSIONS ARE TO FINISHED FACE OF WALLS, U.O.N.
2. DIMENSIONS ARE TO CENTERLINE OF FIXTURES AND DEVICES, U.O.N.
3. ACCESS DOOR ON CEILINGS TO BE FRAMELESS AND PAINTED TO MATCH CEILING. COORDINATE LOCATIONS WITH ARCHITECT. TAKE CARE OF AIRSEAL AROUND OPENING ON CEILING AT ROOF.
4. TAKE CARE OF AIRSEAL AROUND LIGHTING FIXTURES AND ANY SUCH OPENINGS ON THE CEILING ROOF.
5. MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.
6. COORDINATE LOCATIONS OF FP SPRINKLER HEADS WITH ARCHITECT.



A114B KEY PLAN



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1302 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617-673-0262

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49418  
 T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARRINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0945  
 F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNING ROAD, SUITE 200  
 SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

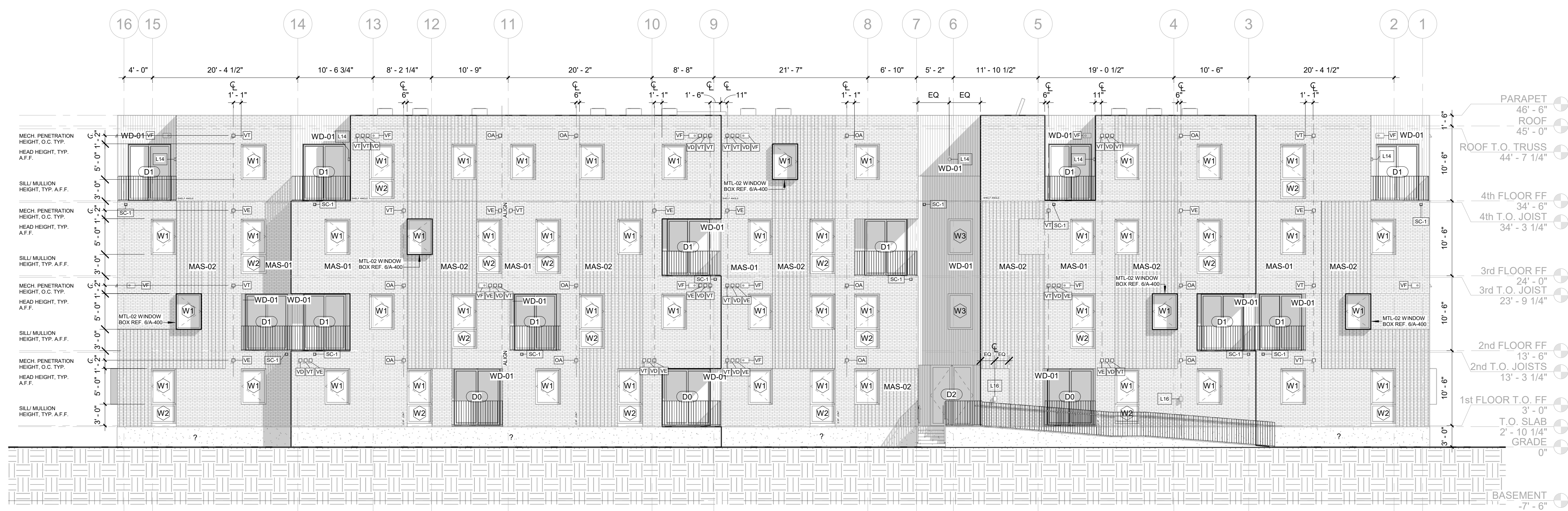
DRAWING TITLE

**EXTERIOR ELEVATIONS**

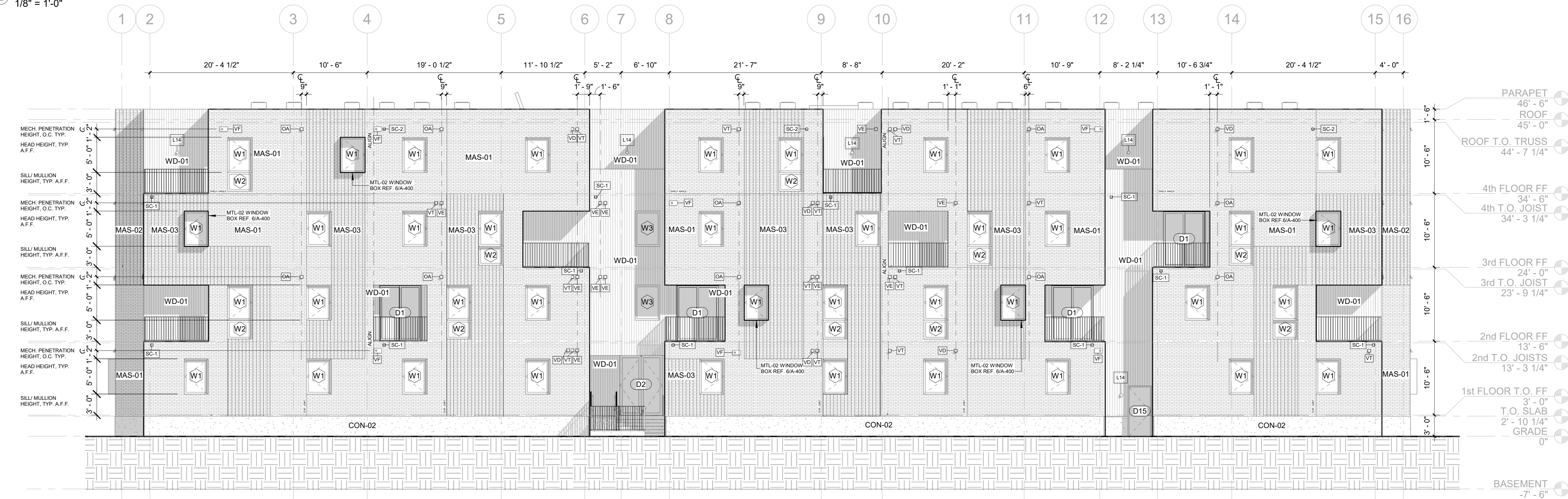
SHEET NO.

**A-200**

100% CD / PERMIT SET



2 NORTH ELEVATION  
 1/8" = 1'-0"



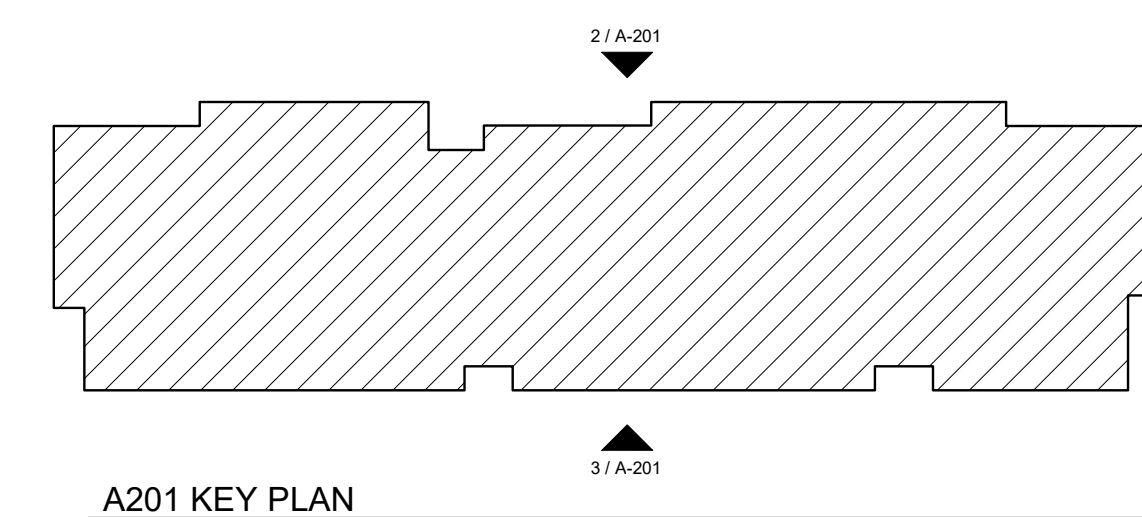
1 SOUTH ELEVATION  
 1/8" = 1'-0"

ELEVATIONS GENERAL NOTES

1. SEE OVERALL FLOOR PLANS FOR HORIZONTAL WINDOW LOCATION.
2. SEE A-400 FOR LOCATION AND SCOPE OF TEXTURED BRICK (MAS-02, MAS-03)
3. AVOID MECHANICAL PENETRATIONS (VD, VE, VF, VT, VA) WITHIN AREAS OF TEXTURED BRICK (MAS-02, MAS-03)
4. GROUP AND ALIGN MECHANICAL PENETRATIONS (VD, VE, VF, VT, VA)
5. SEE A-510 AND A-511 FOR DOOR AND WINDOW DETAILS

EQUIPMENT AND LIGHTING LEGEND (SEE A-603 FOR SCHEDULE)

TAG NO.	DESCRIPTION
L14	WALL-MOUNTED SCENCE, EXTERIOR ENTRY AND BALCONIES
SC-1	BALCONY OVERFLOW SCUPPER
SC-2	ROOF OVERFLOW SCUPPER
VD	DRYER EXHAUST VENT TERMINATION
VE	KITCHEN RANGE HOOD, JANITOR SINK EXHAUST VENT TERMINATION
VF	FURNACE FLUE VENT TERMINATION
VT	TOILET EXHAUST VENT TERMINATION



A201 KEY PLAN



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617 675 0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
ROOF  
445 - 0"  
GRANDVILLE, MI 48148  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LYONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

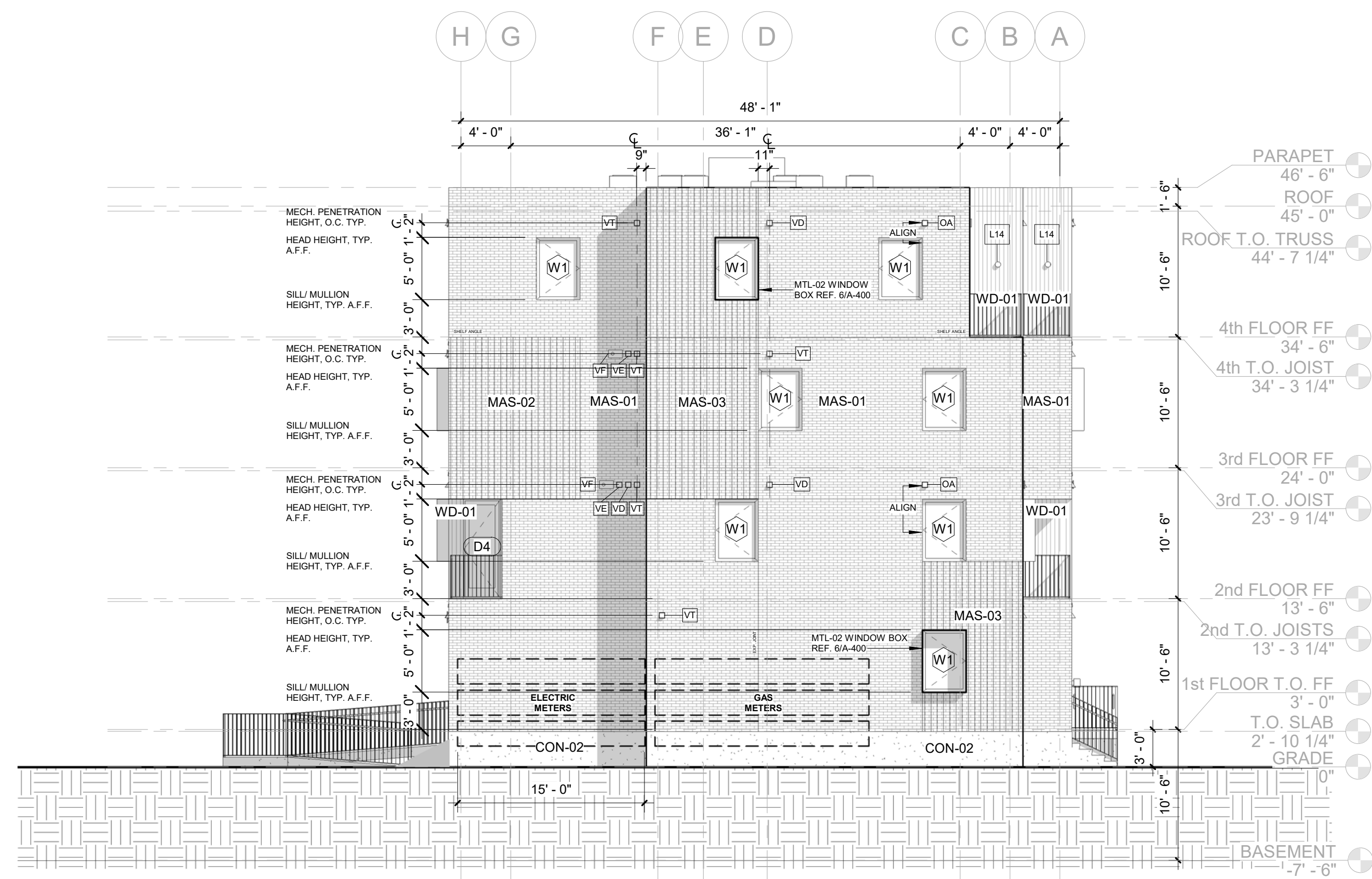
DRAWING TITLE

**EXTERIOR ELEVATIONS**

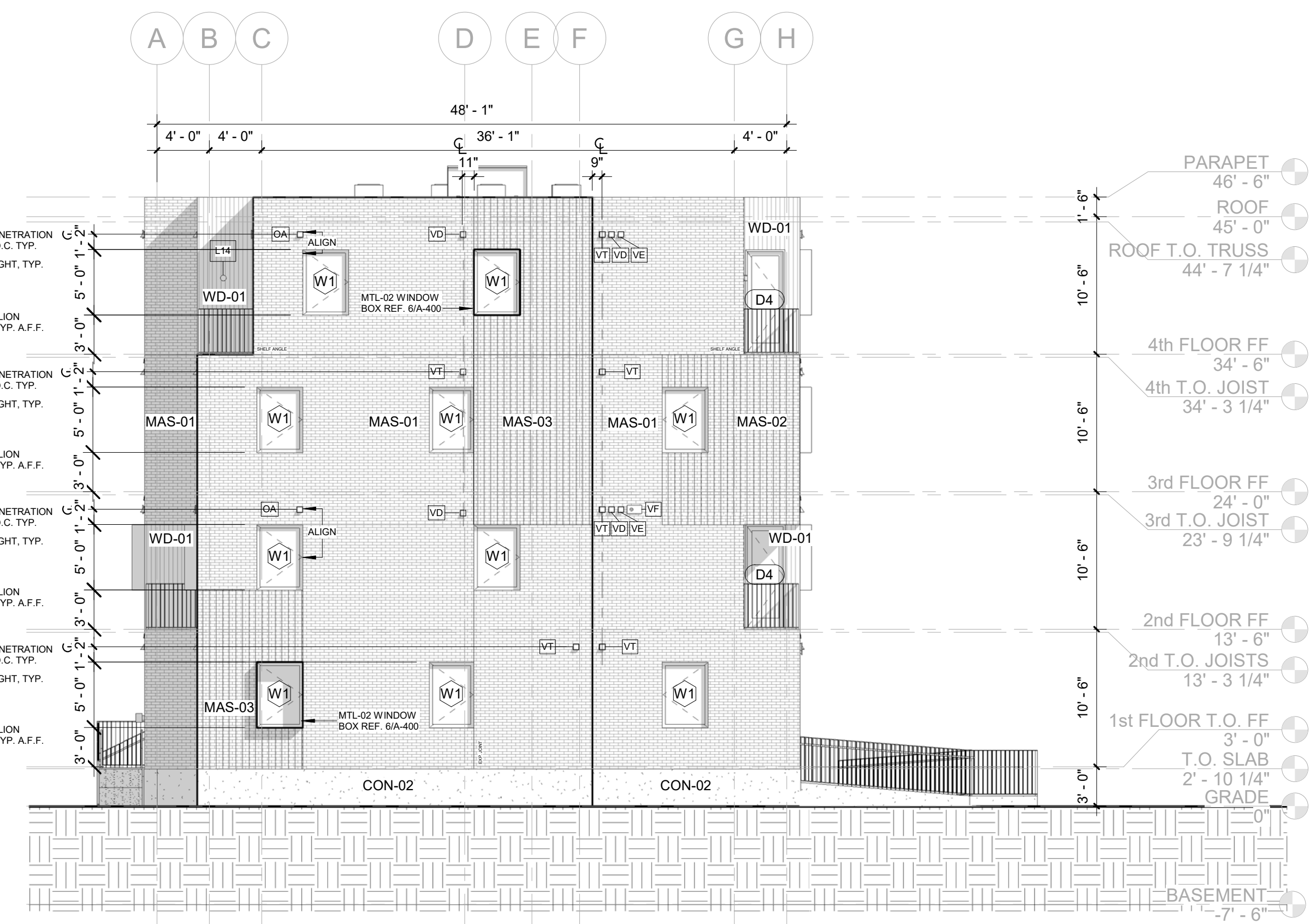
SHEET NO.

**A-201**

100% CD / PERMIT SET



② EAST ELEVATION  
1/8" = 1'-0"



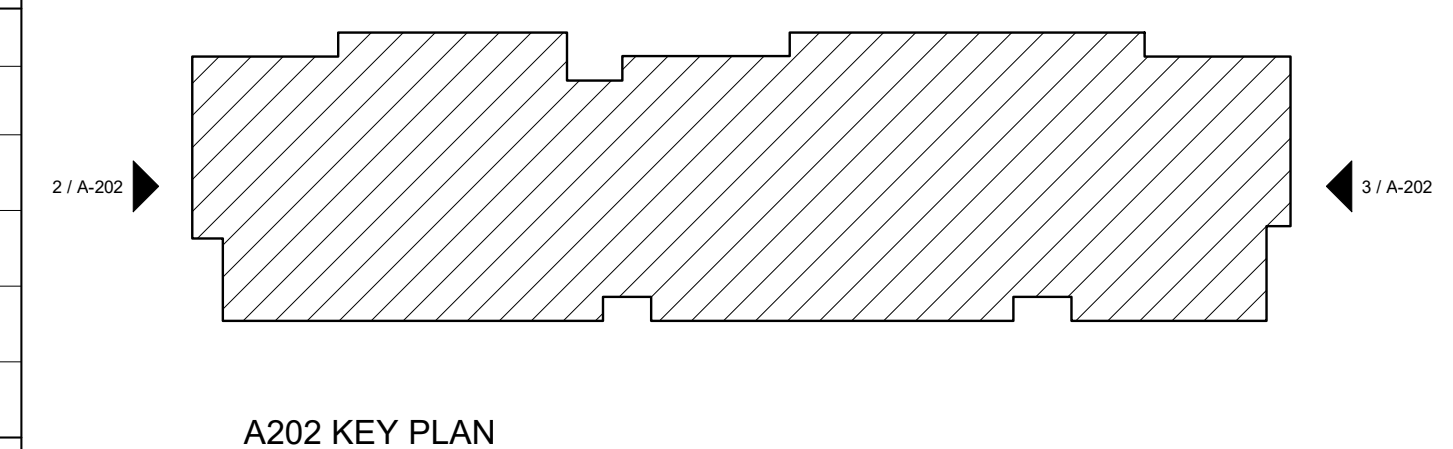
① WEST ELEVATION  
1/8" = 1'-0"

**ELEVATIONS GENERAL NOTES**

- SEE OVERALL FLOOR PLANS FOR HORIZONTAL WINDOW LOCATION.
- SEE A-400 FOR LOCATION AND SCOPE OF TEXTURED BRICK (MAS-02, MAS-03)
- AVOID MECHANICAL PENETRATIONS (VD, VE, VF, VT, OA) WITHIN AREAS OF TEXTURED BRICK (MAS-02, MAS-03)
- GROUP AND ALIGN MECHANICAL PENETRATIONS (VD, VE, VF, VT, OA)
- SEE A-510 AND A-511 FOR DOOR AND WINDOW DETAILS

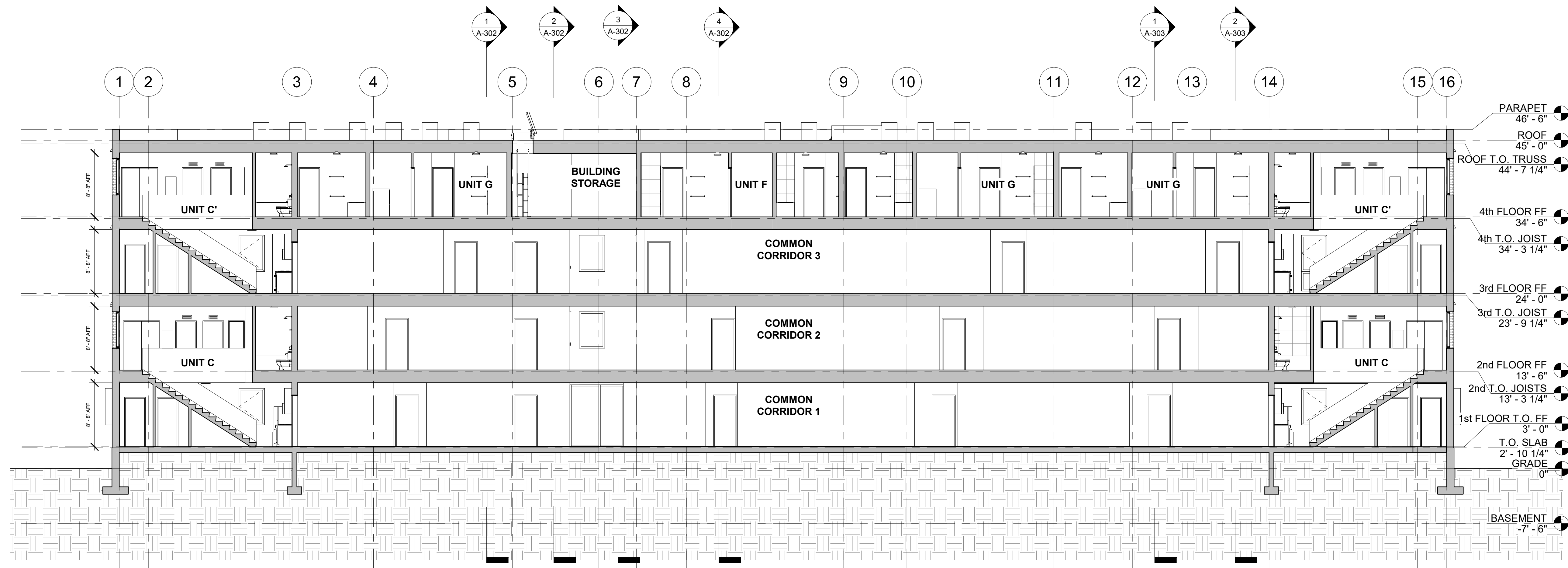
**EQUIPMENT AND LIGHTING LEGEND (SEE A-603 FOR SCHEDULE)**

TAG NO.	DESCRIPTION
L14	WALL-MOUNTED SCENCE, EXTERIOR ENTRY AND BALCONIES
SC-1	BALCONY OVERFLOW SCUPPER
SC-2	ROOF OVERFLOW SCUPPER
VD	DRYER EXHAUST VENT TERMINATION
VE	KITCHEN RANGE HOOD, JANITOR SINK EXHAUST VENT TERMINATION
VF	FURNACE FLUE VENT TERMINATION
VT	TOILET EXHAUST VENT TERMINATION



A202 KEY PLAN

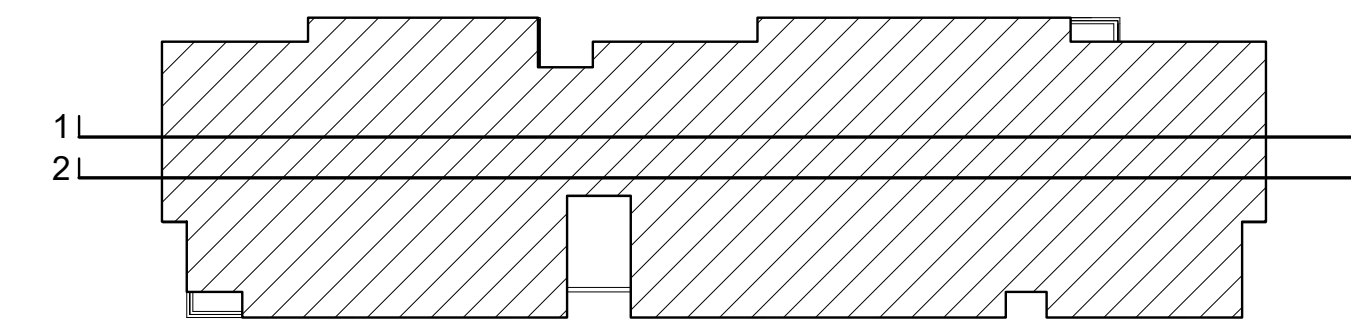




2 LONGITUDINAL SECTION 2  
1/8" = 1'-0"



1 LONGITUDINAL SECTION 1  
1/8" = 1'-0"



A300 KEY PLAN

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1192 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0522

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

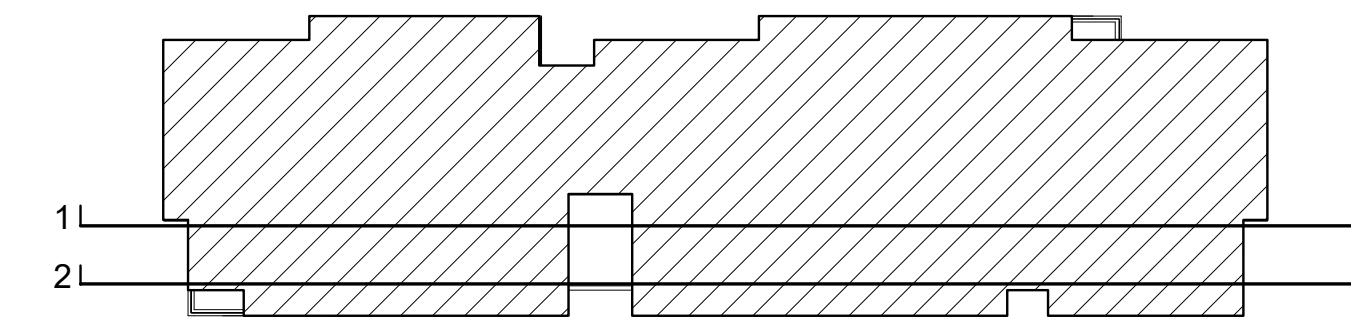
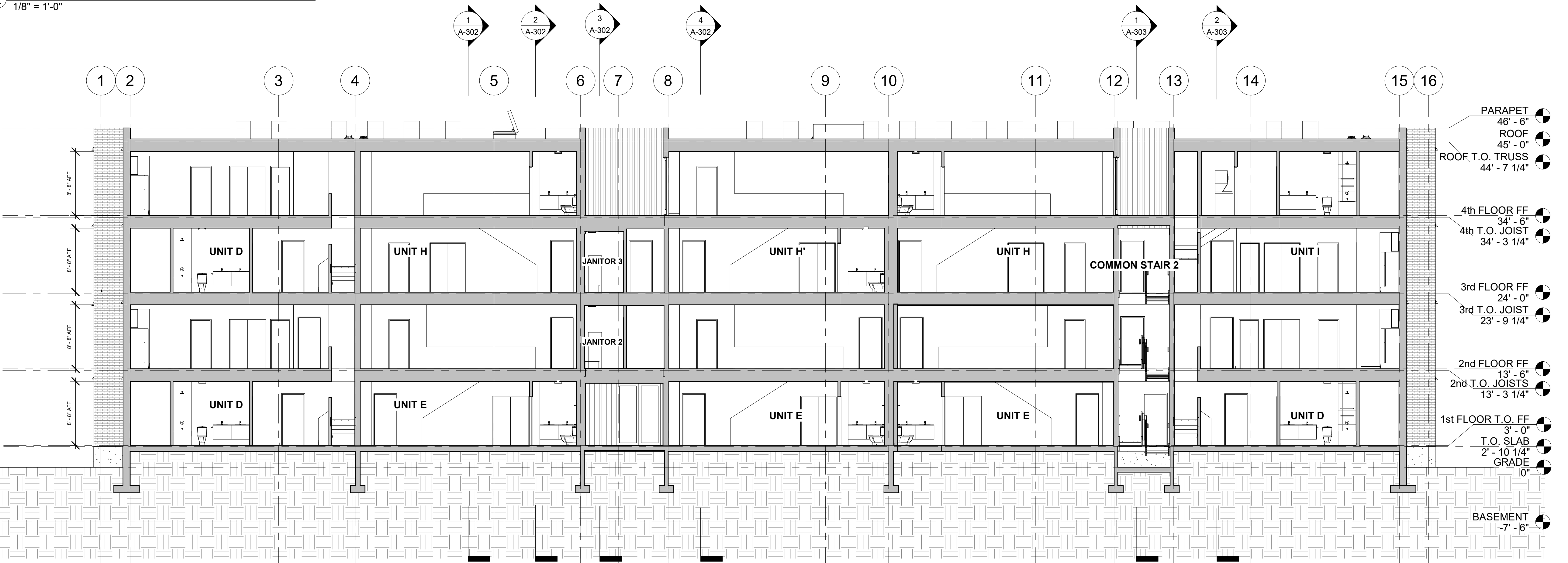
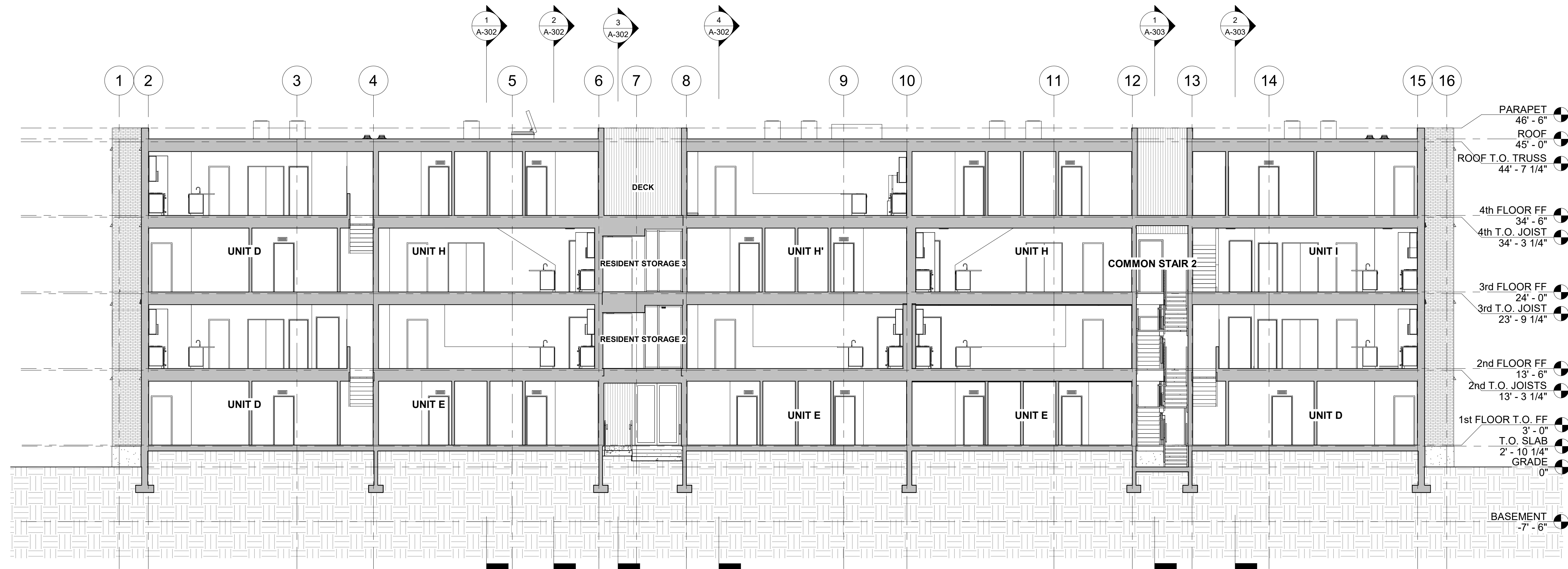
JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

DRAWING TITLE  
**BUILDING SECTIONS - LONGITUDINAL**

SHEET NO.

**A-300**

100% CD/ PERMIT SET



**REGISTRATION**

**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1192 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0269

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LYONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0552

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

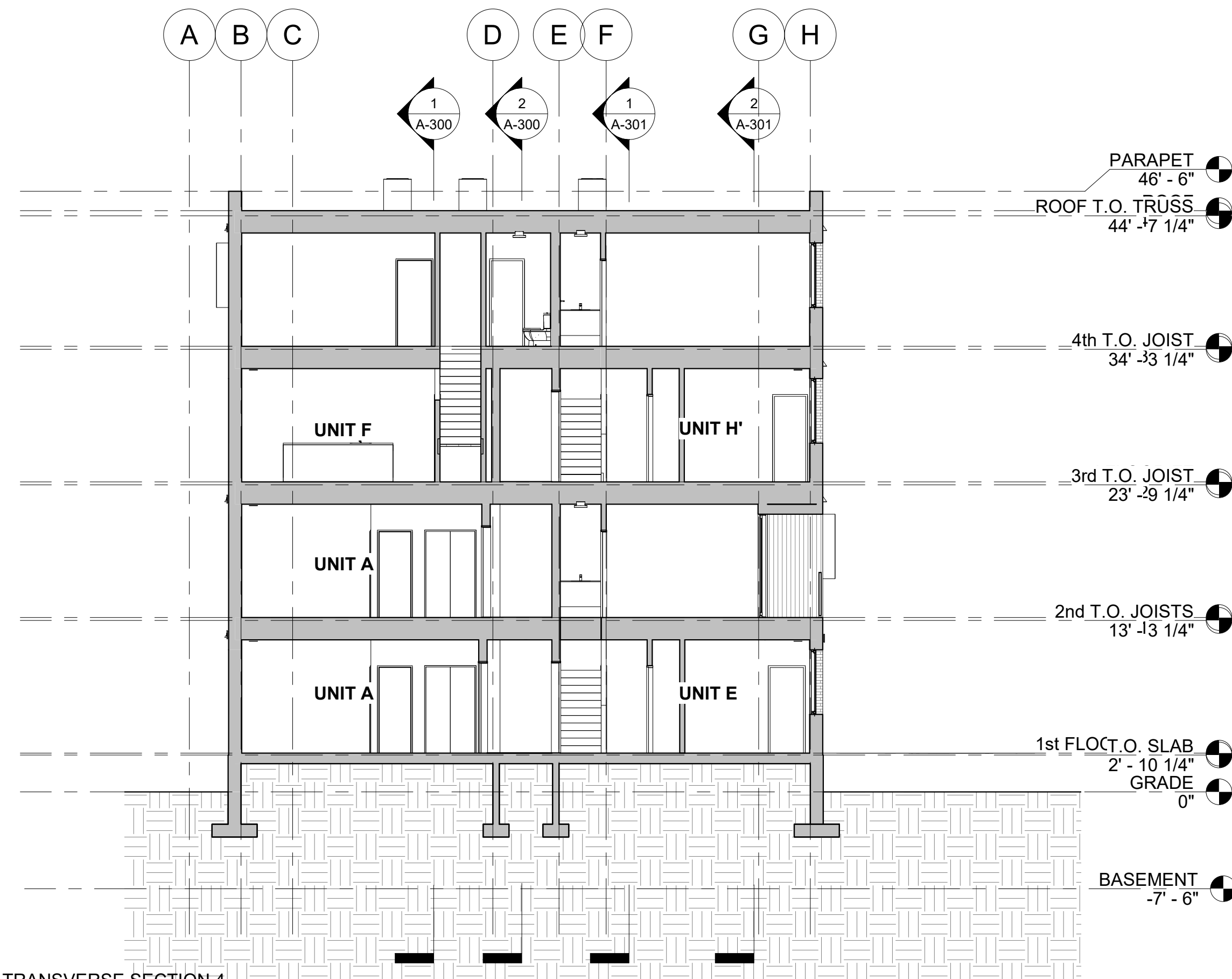
THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: As indicated  
DATE: 05/15/2020

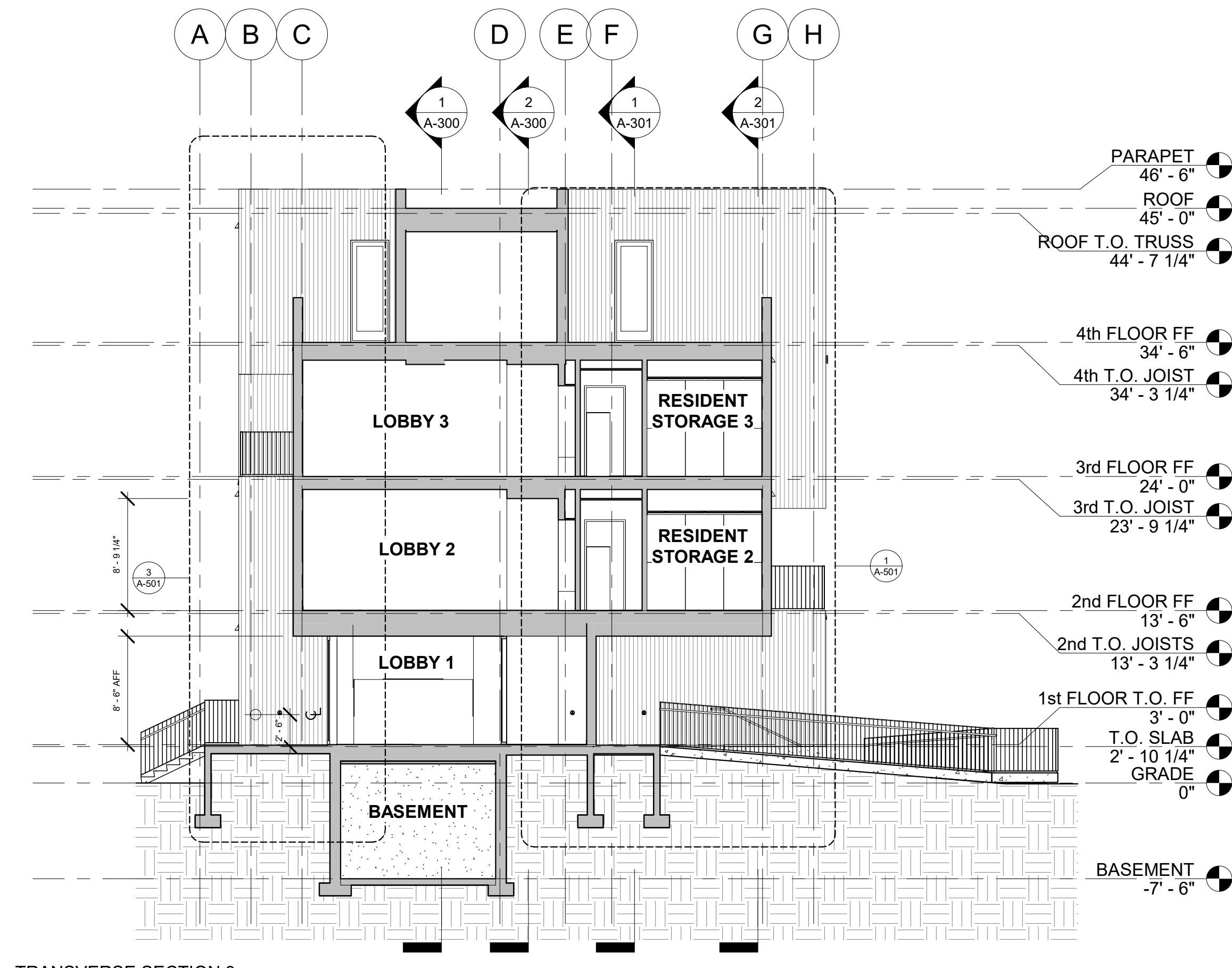
DRAWING TITLE  
**BUILDING SECTIONS - LONGITUDINAL**

SHEET NO.  
**A-301**  
100% CD/ PERMIT SET

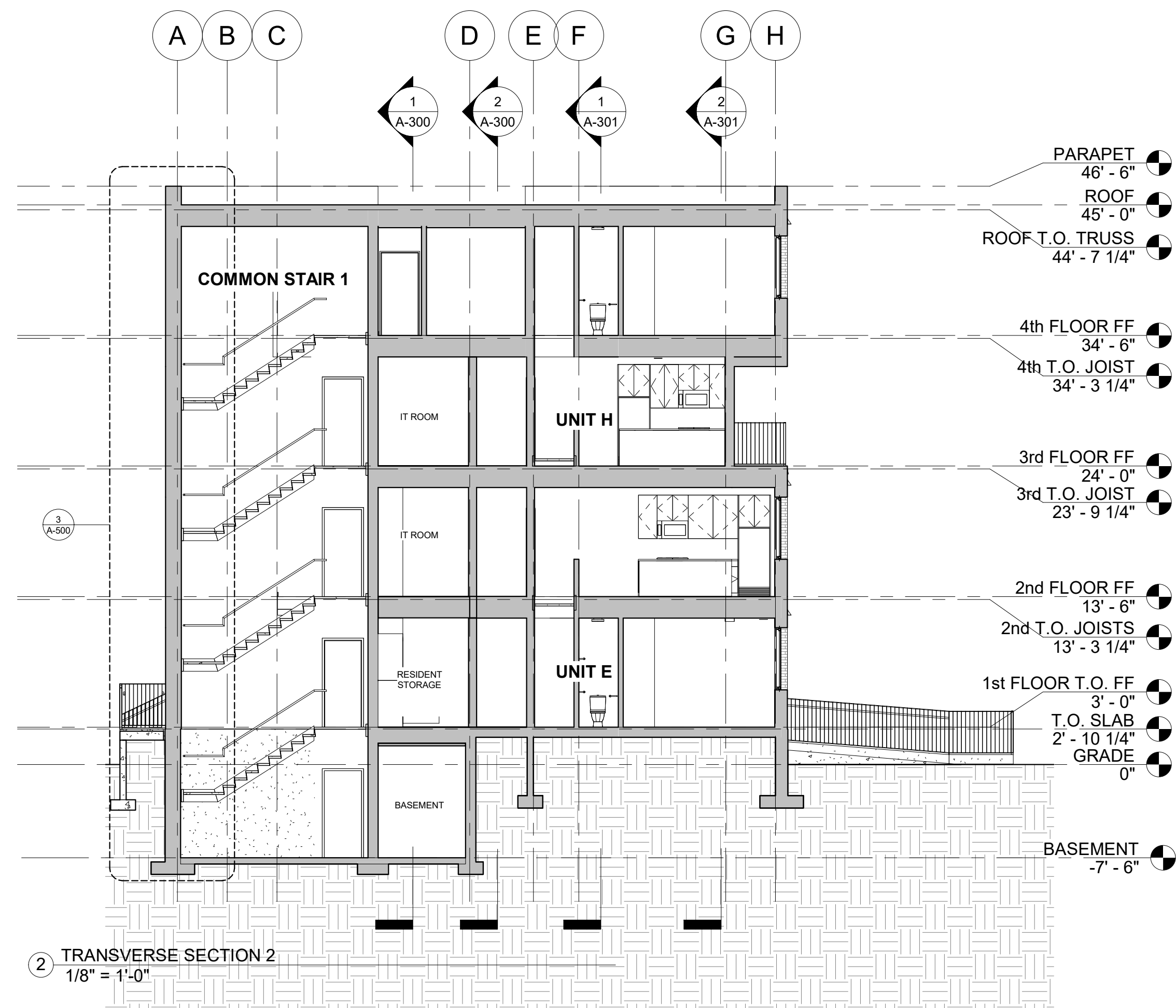




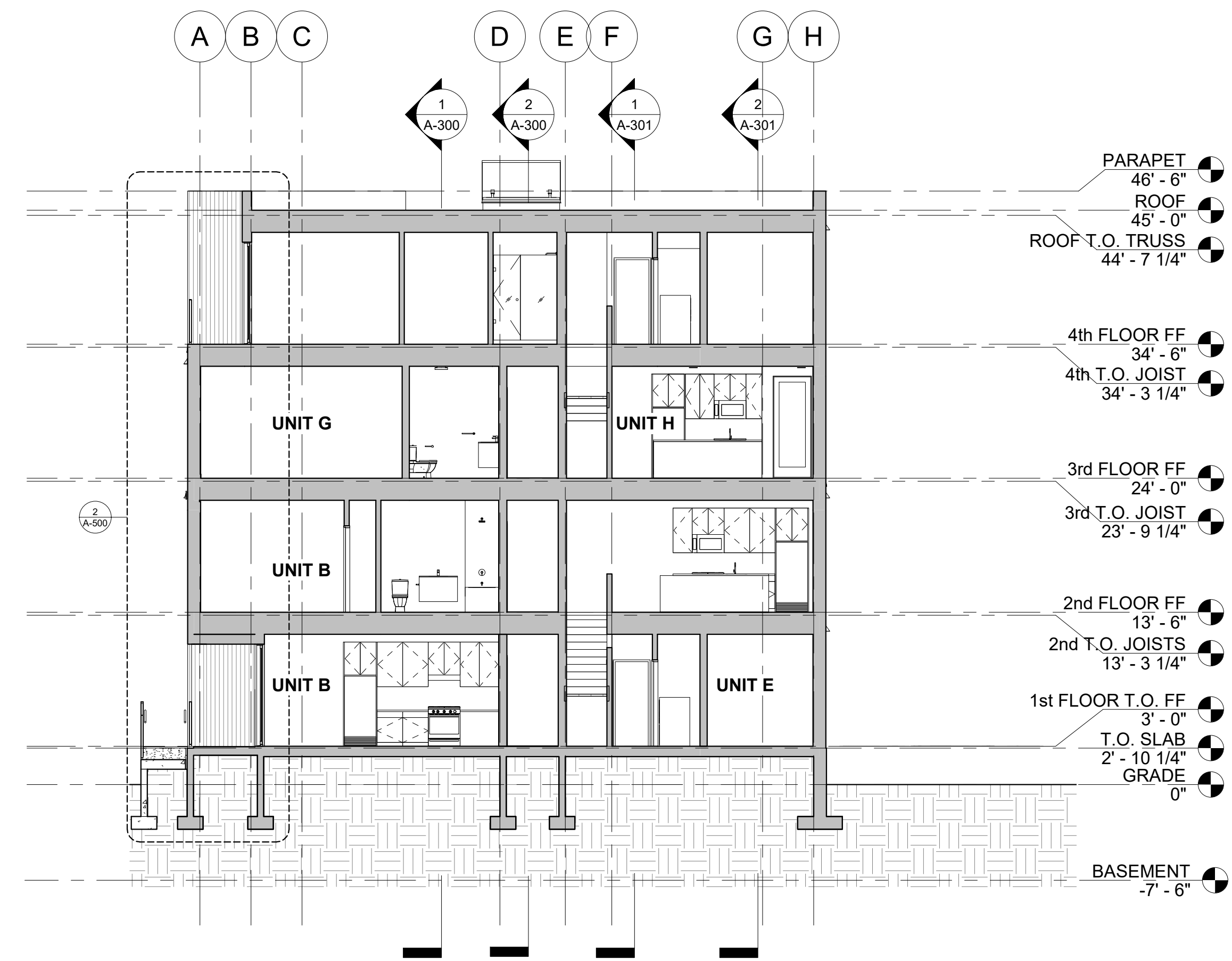
4 TRANSVERSE SECTION 4  
1/8" = 1'-0"



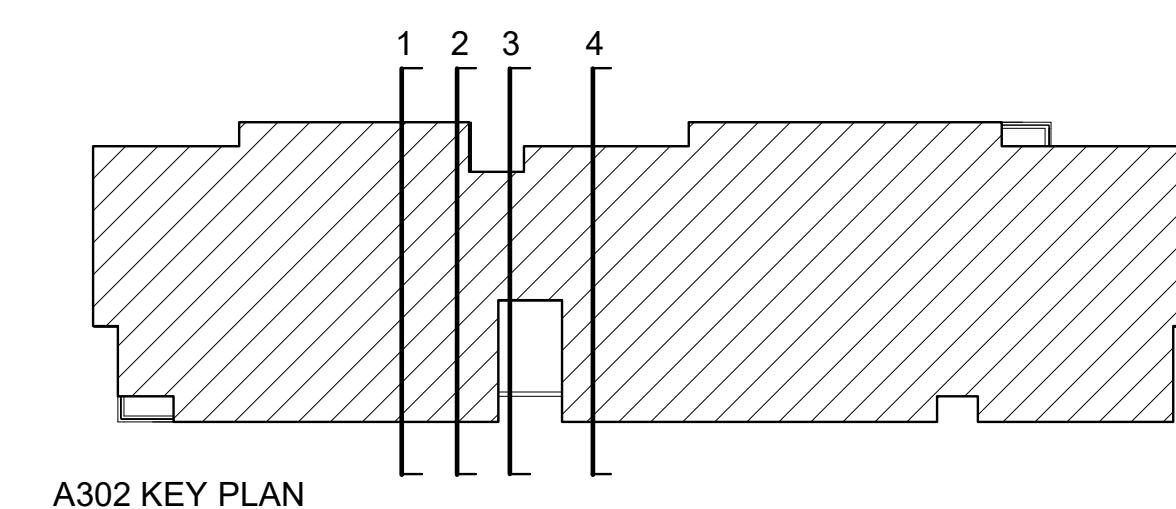
3 TRANSVERSE SECTION 3  
1/8" = 1'-0"



2 TRANSVERSE SECTION 2  
1/8" = 1'-0"



1 TRANSVERSE SECTION 1  
1/8" = 1'-0"



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

**BUILDING SECTIONS - TRANSVERSE**

SHEET NO.

**A-302**

100% CD / PERMIT SET

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617 675 0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0052

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

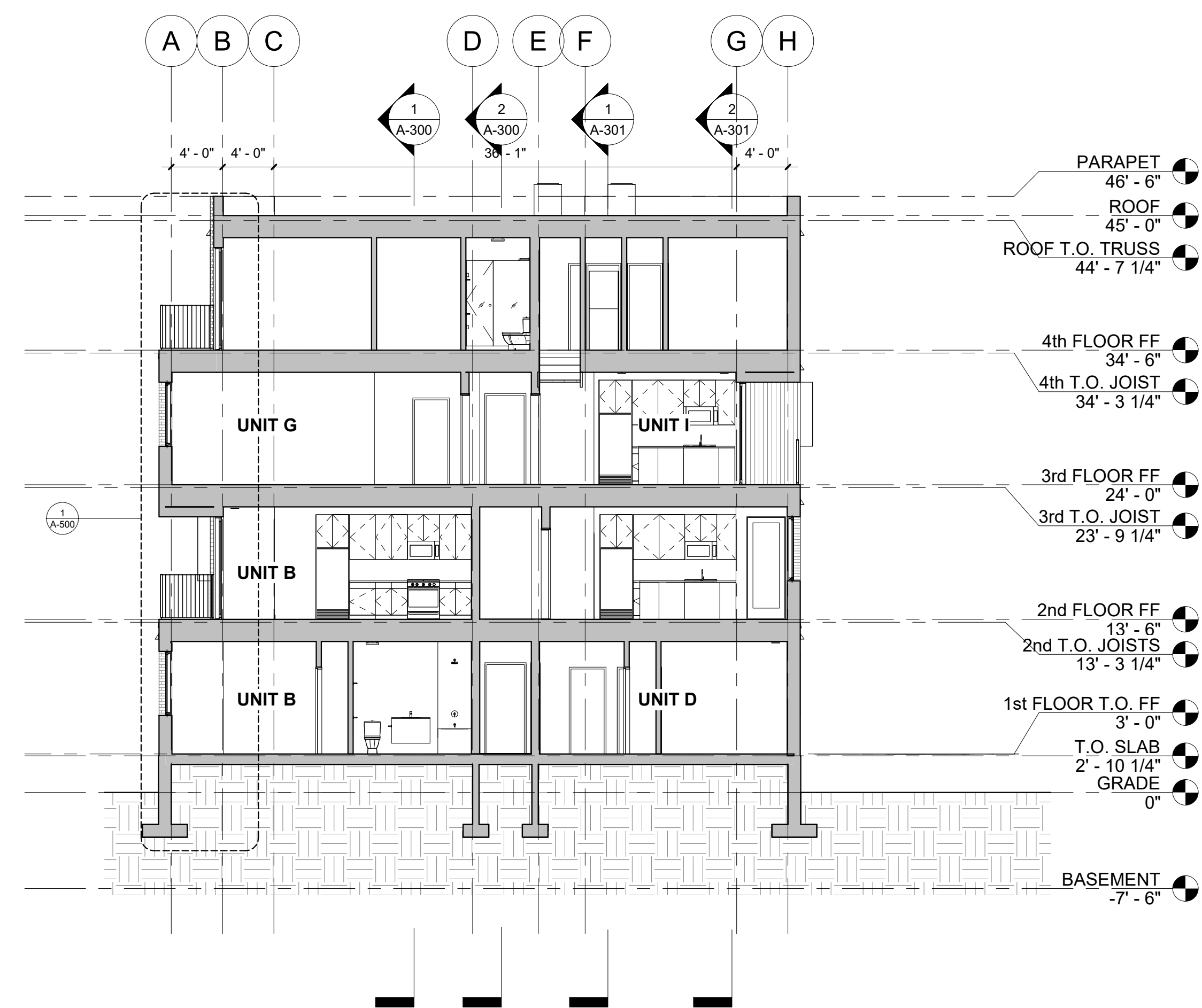
DRAWING TITLE

**BUILDING SECTIONS - TRANSVERSE**

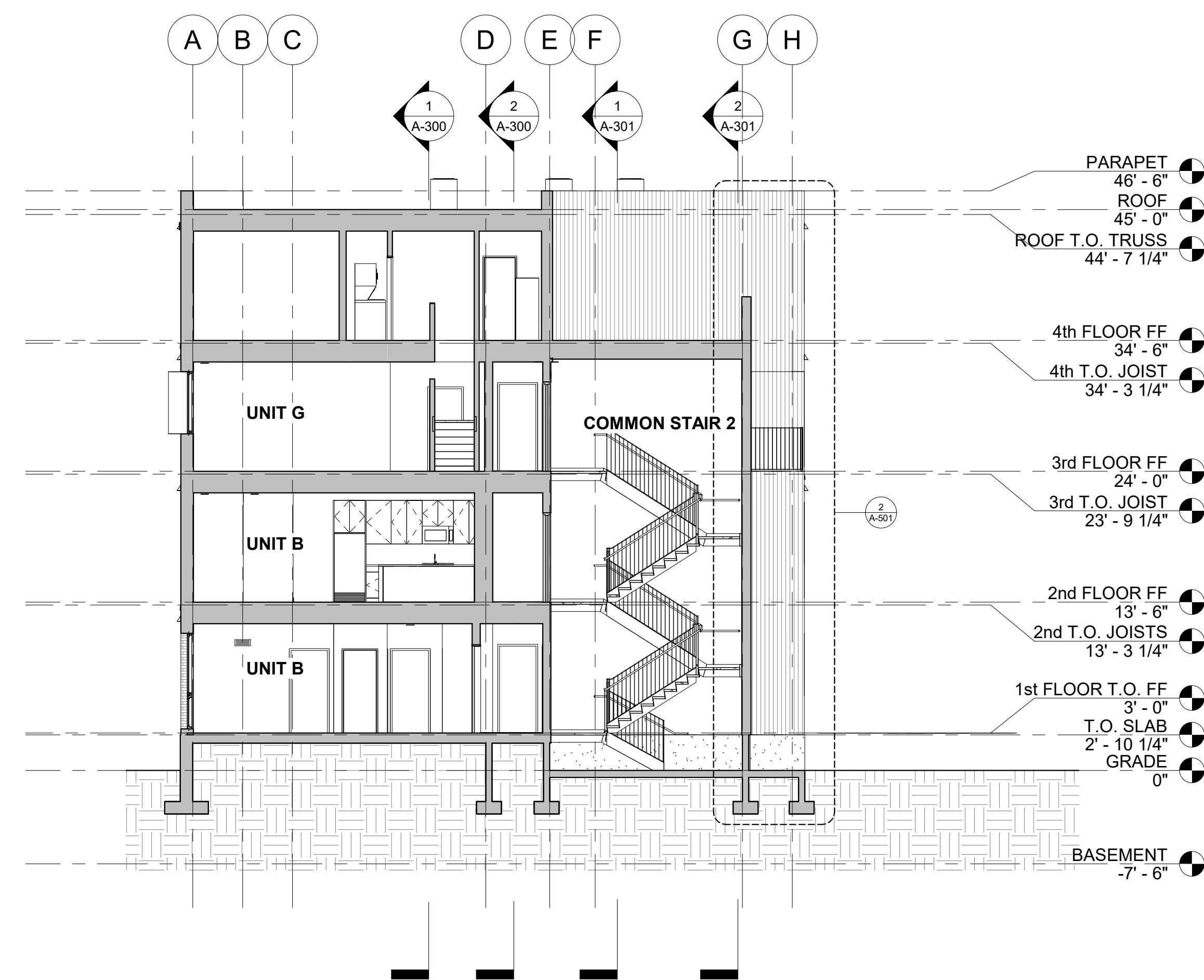
SHEET NO.

**A-303**

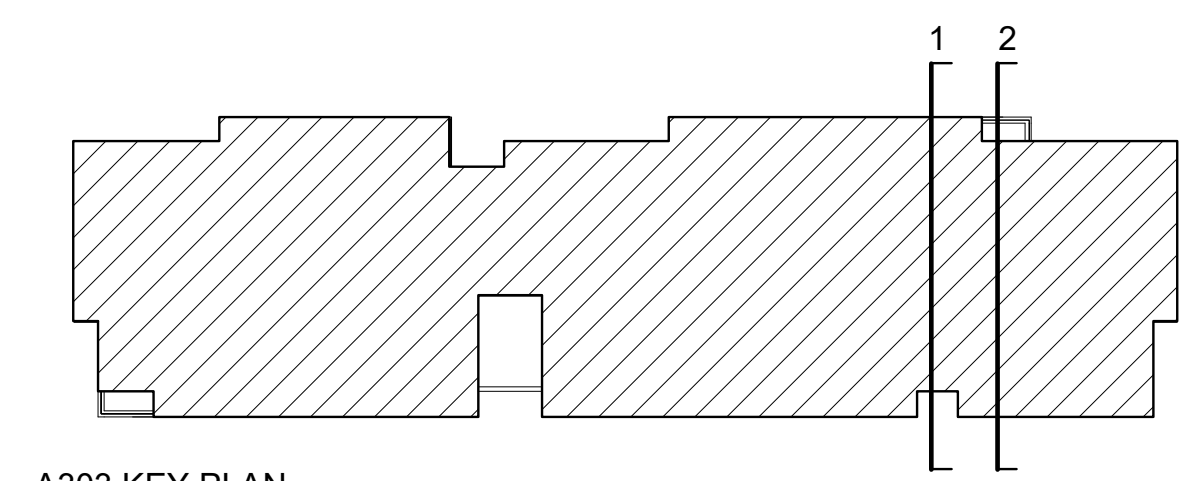
100% CD/ PERMIT SET



2 TRANSVERSE SECTION 6  
1/8" = 1'-0"



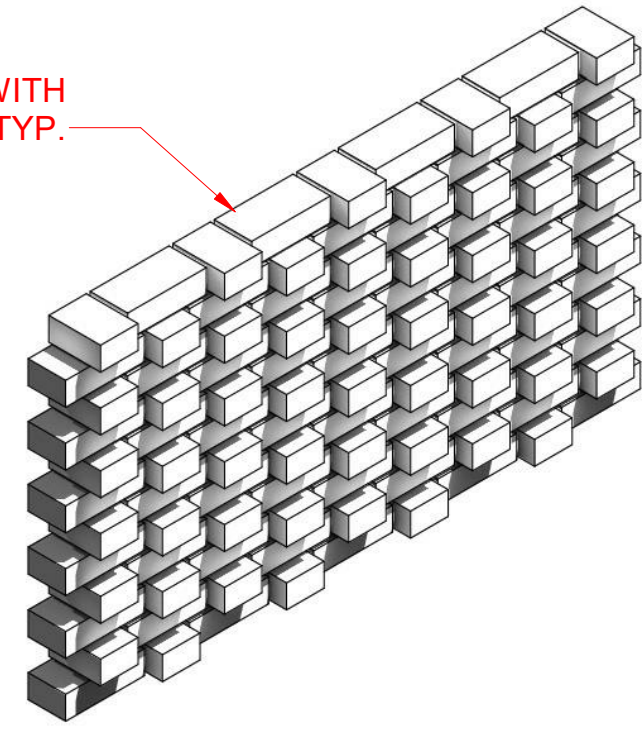
1 TRANSVERSE SECTION 5  
1/8" = 1'-0"



A303 KEY PLAN

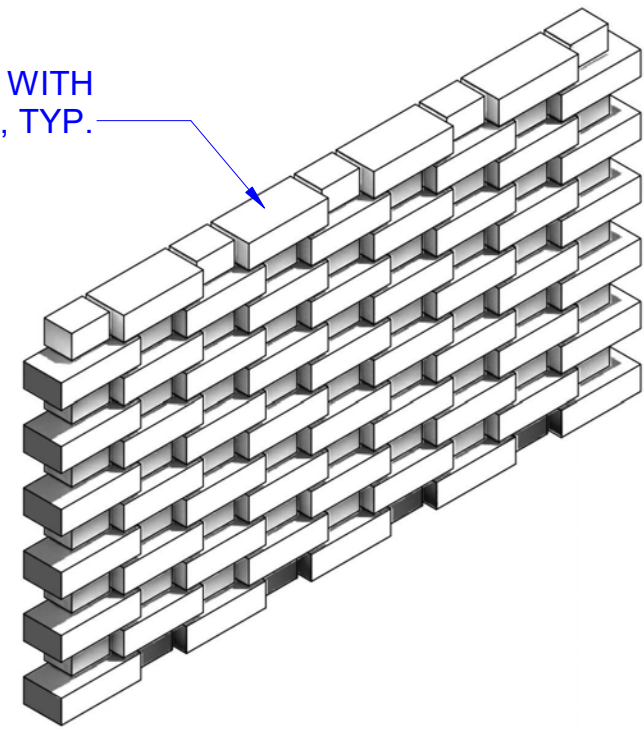


FLEMISH BOND WITH PROTRUDING HEADER, TYP.

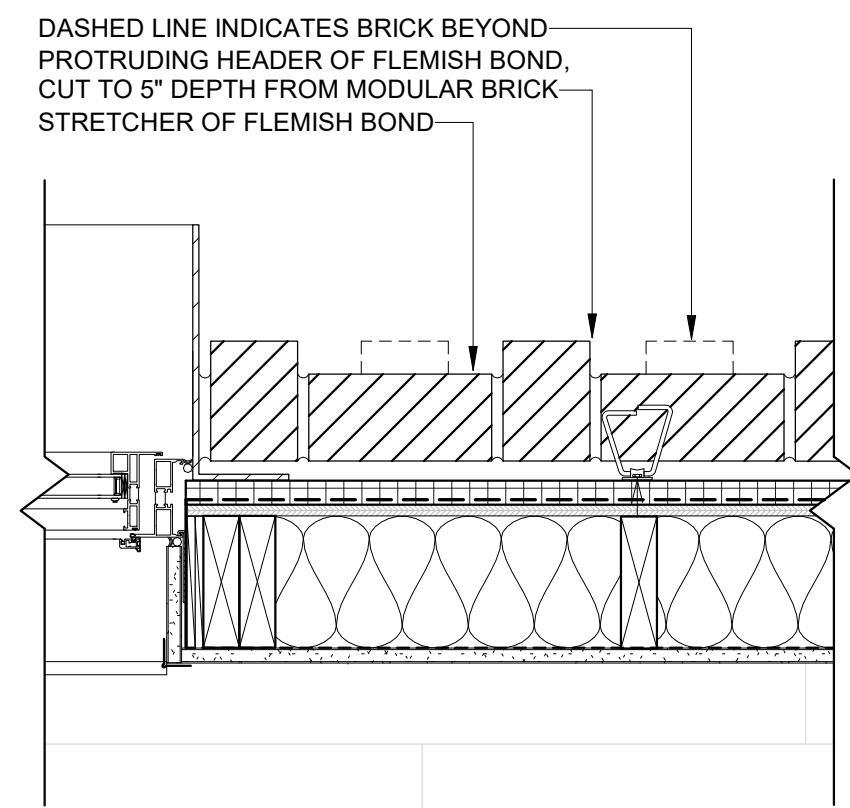


MAS-03, TEXTURED BRICK #2: PROTRUDING  
AXONOMETRIC - PROTRUDING TEXTURED BRICK  
DETAIL TYP.  
1/2" = 1'-0"

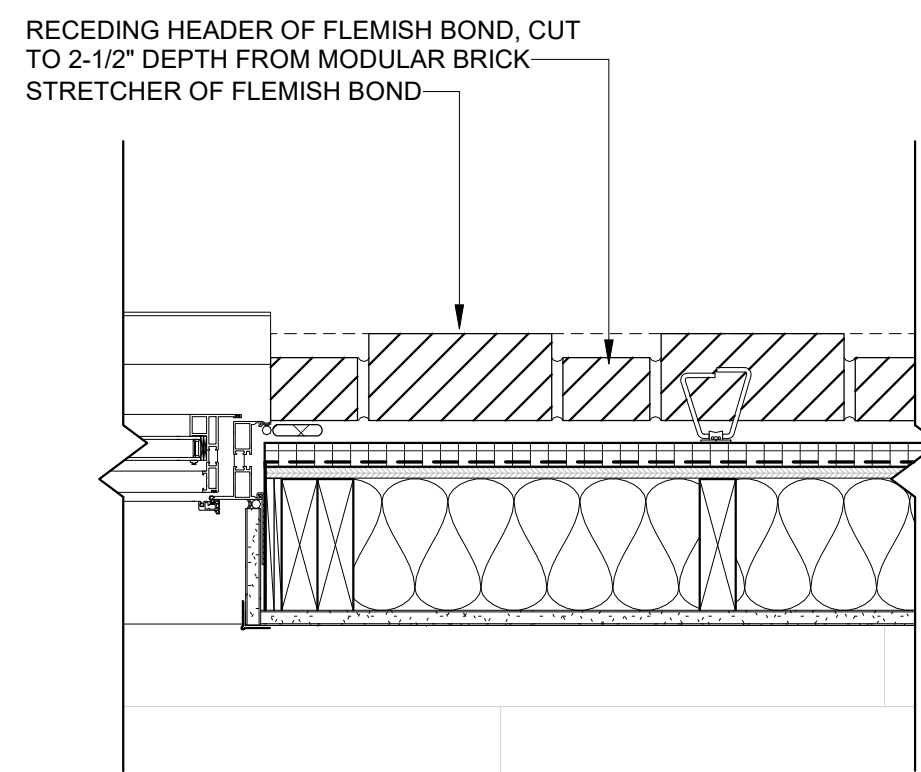
FLEMISH BOND WITH RECESSED HEADER, TYP.



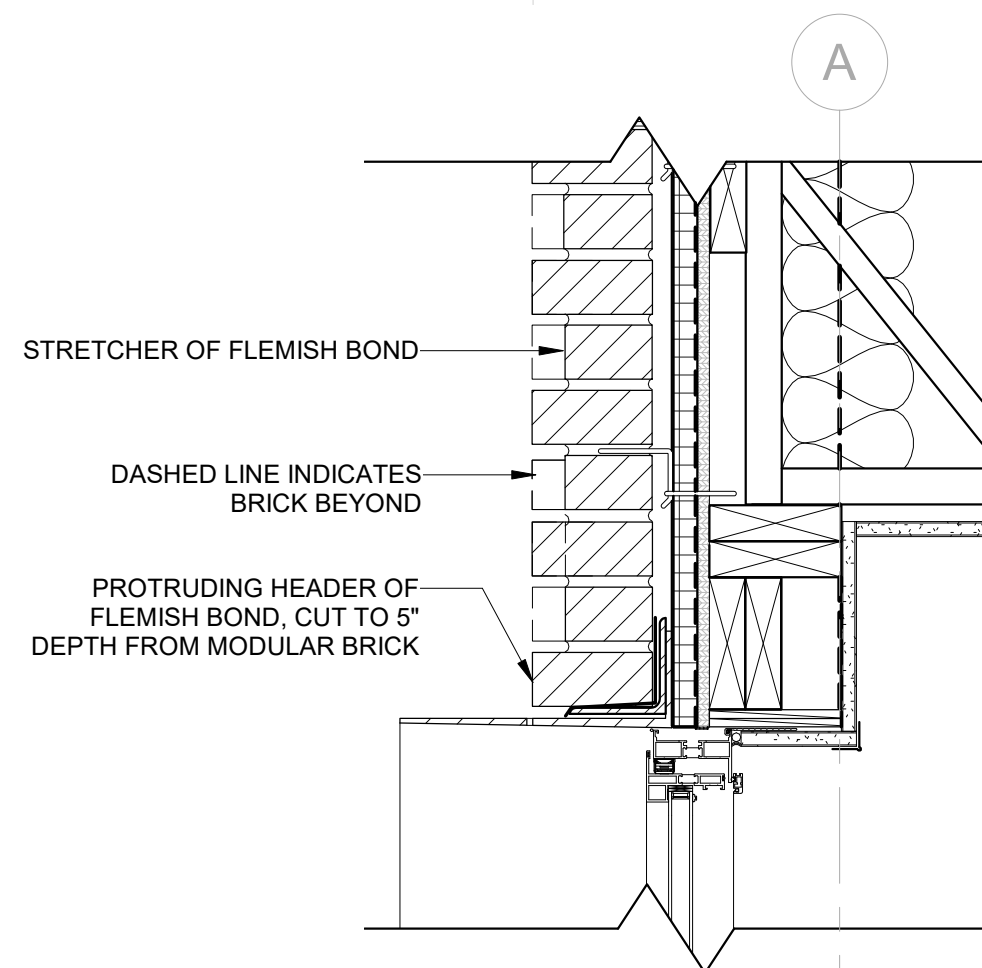
MAS-02, TEXTURED BRICK #1: RECEDING  
AXONOMETRIC - RECEDING TEXTURED BRICK  
DETAIL TYP.  
1/2" = 1'-0"



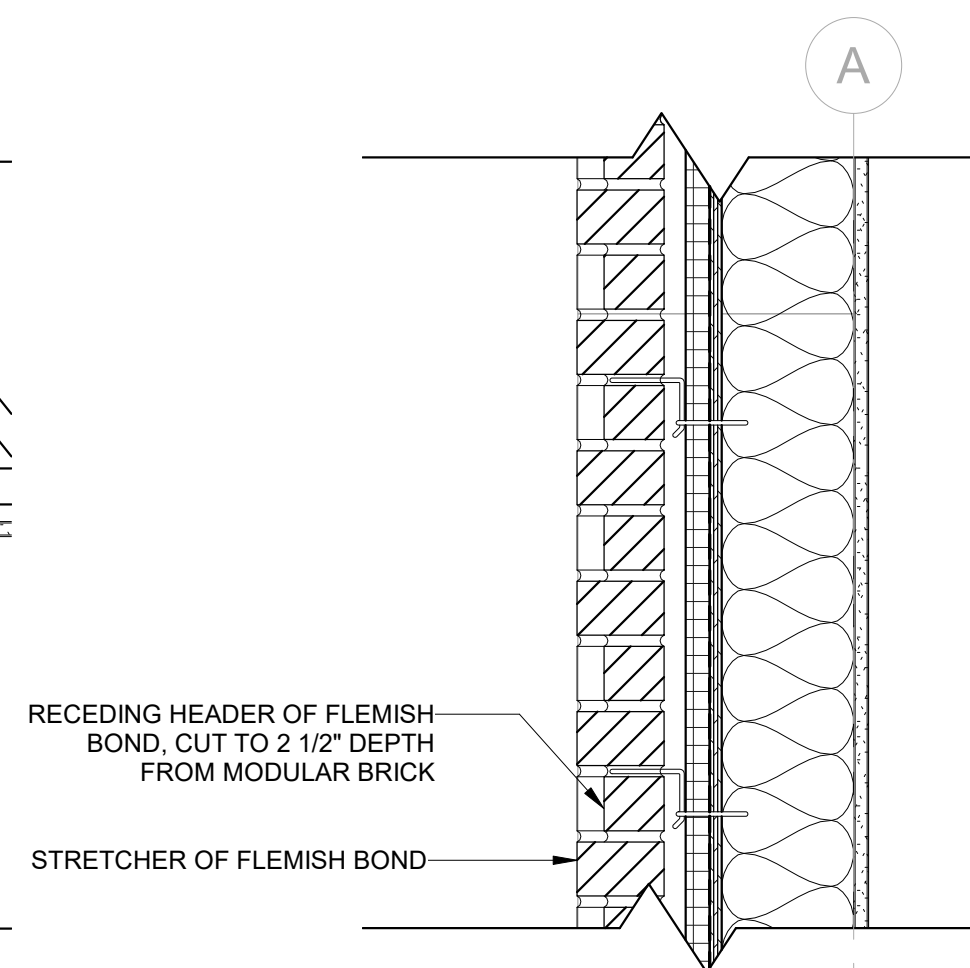
8 PLAN DETAIL - PROTRUDING TEXTURED BRICK #2, TYP.  
1 1/2" = 1'-0"



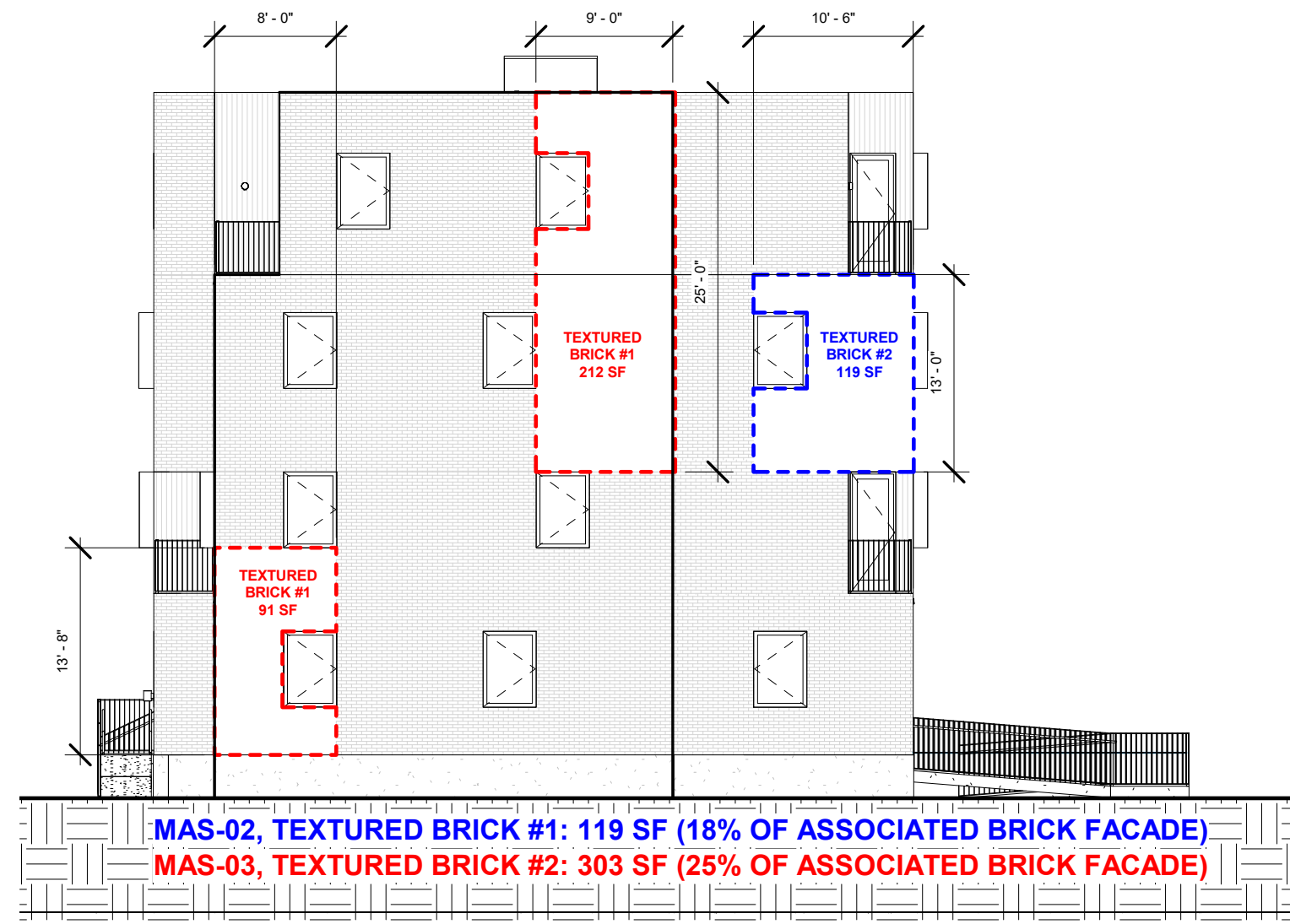
7 PLAN DETAIL - RECEDING TEXTURED BRICK #1, TYP.  
1 1/2" = 1'-0"



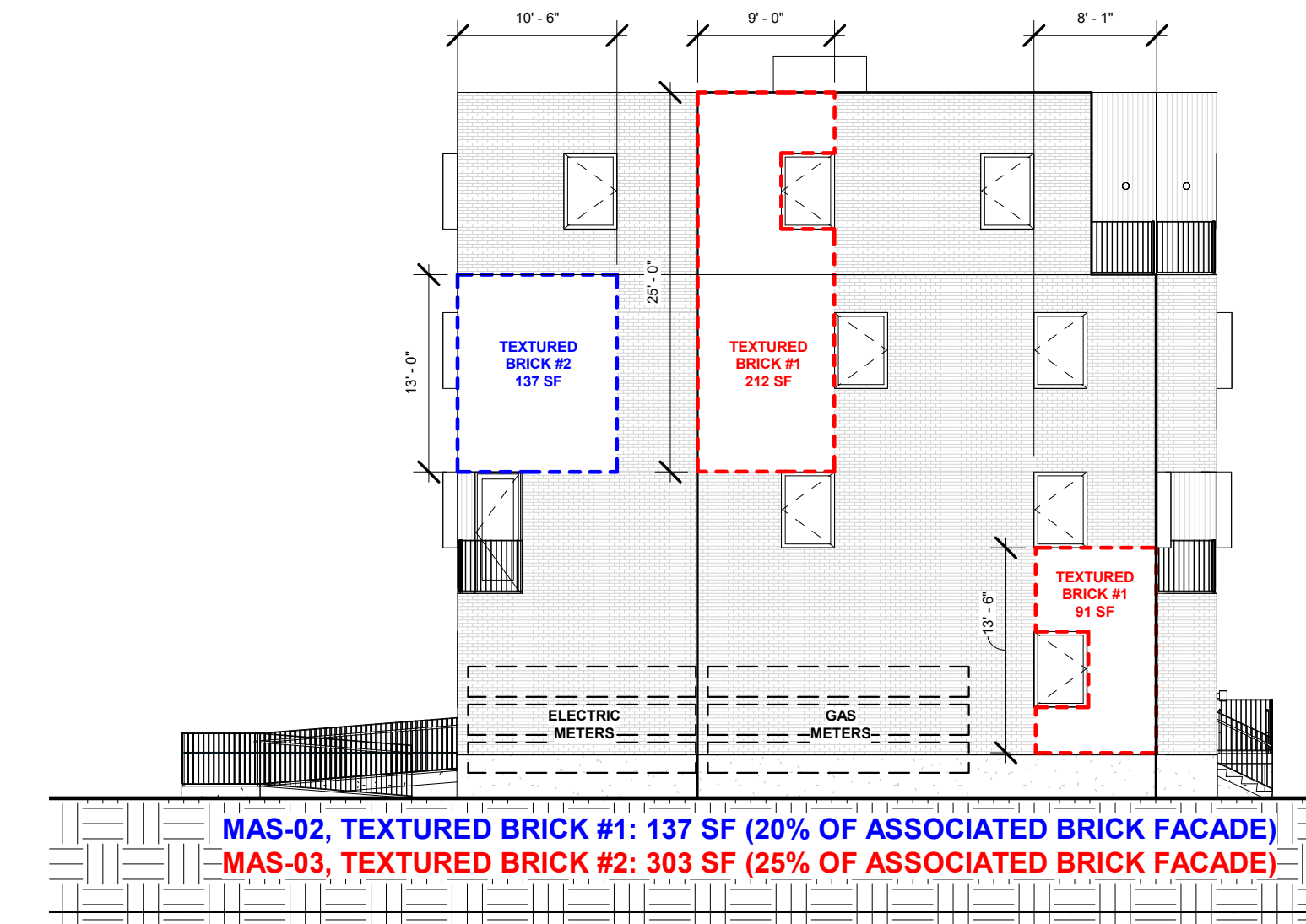
6 SECTION DETAIL - PROTRUDING TEXTURED BRICK #2 @ LINTEL  
1 1/2" = 1'-0"



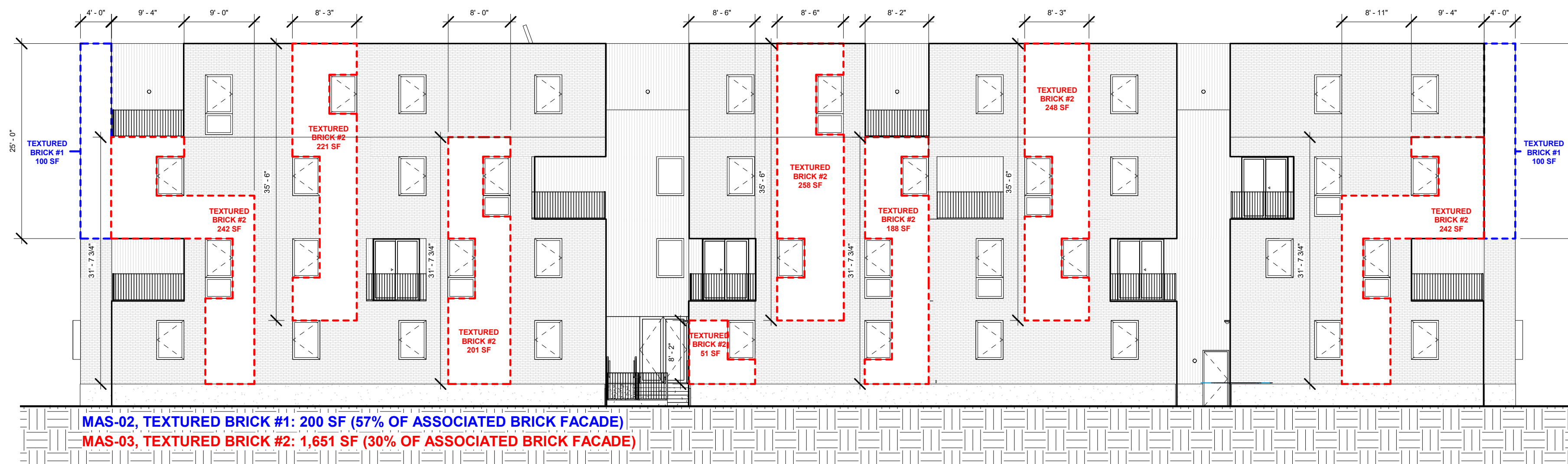
5 SECTION DETAIL - RECEDING TEXTURED BRICK #1 TYP.  
1 1/2" = 1'-0"



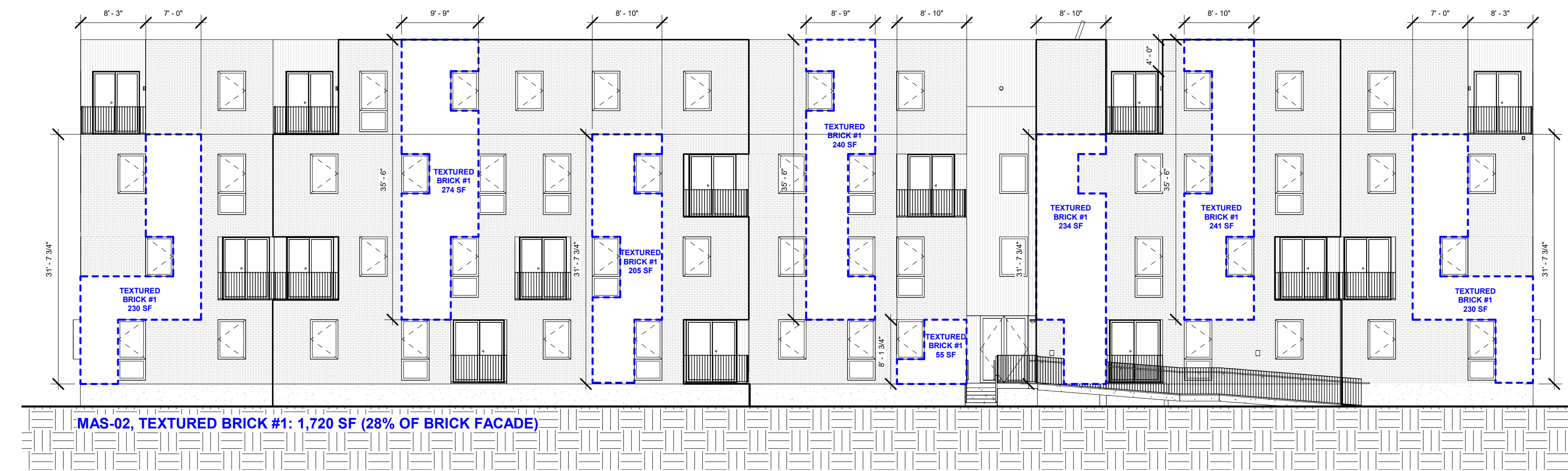
4 WEST ELEVATION TEXTURED BRICK  
3/32" = 1'-0"



3 EAST ELEVATION TEXTURED BRICK  
3/32" = 1'-0"



2 SOUTH ELEVATION TEXTURED BRICK  
3/32" = 1'-0"



1 NORTH ELEVATION TEXTURED BRICK  
3/32" = 1'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1502 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-867-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

MERGE ARCHITECTS INC

Brush Park Duplette D-2  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

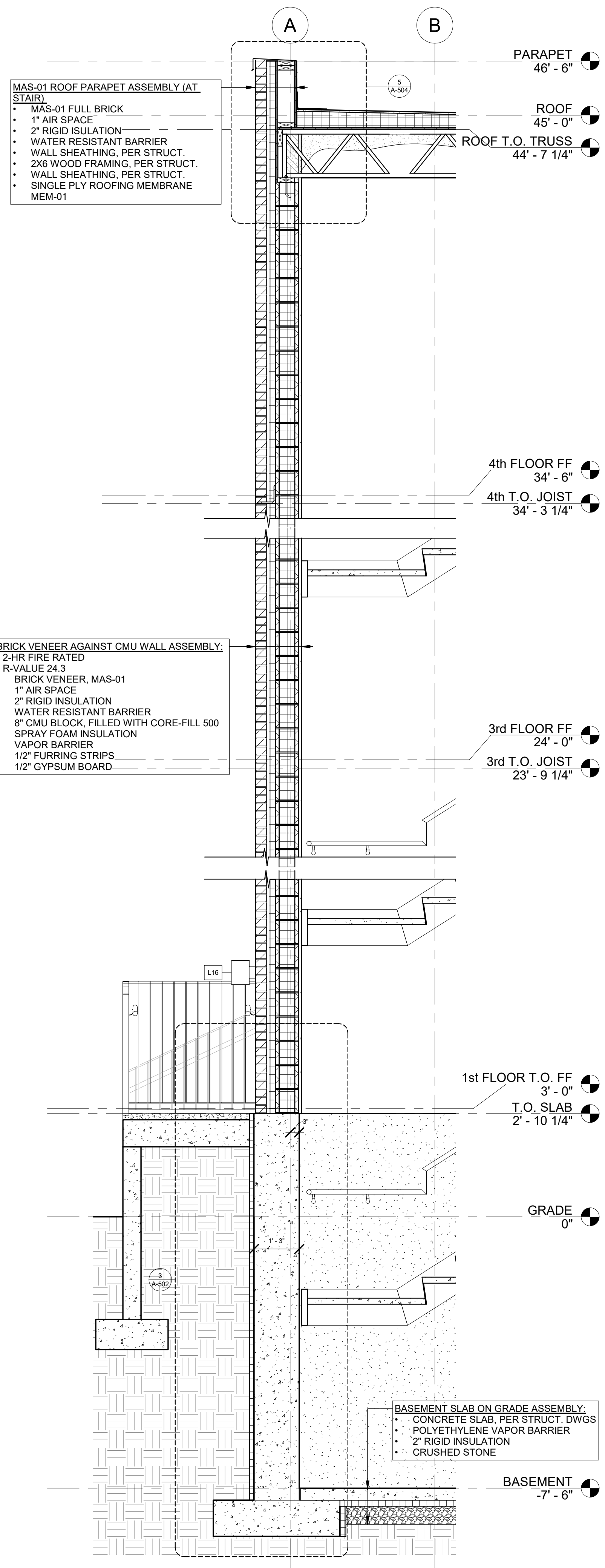
TEXTURED BRICK DETAILS

SHEET NO.

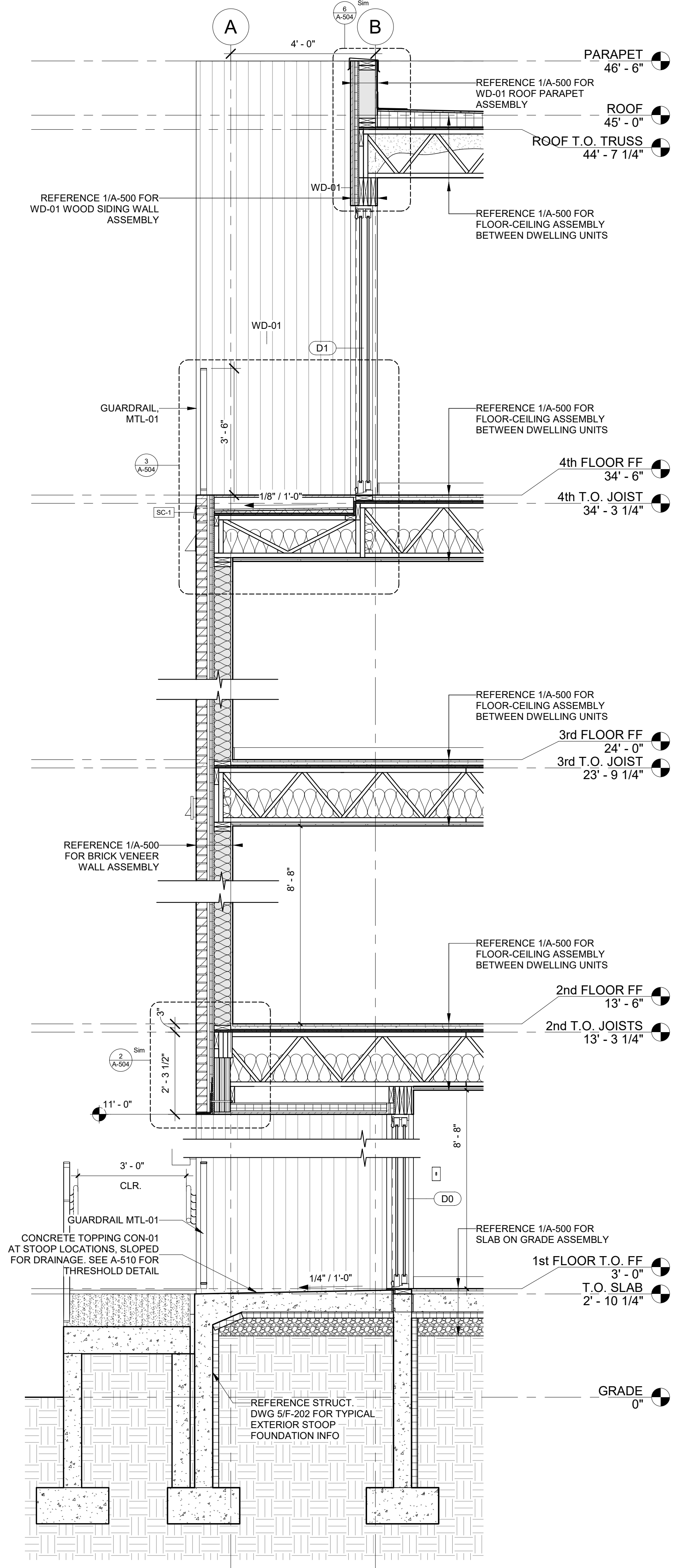
A-400

100% CD / PERMIT SET

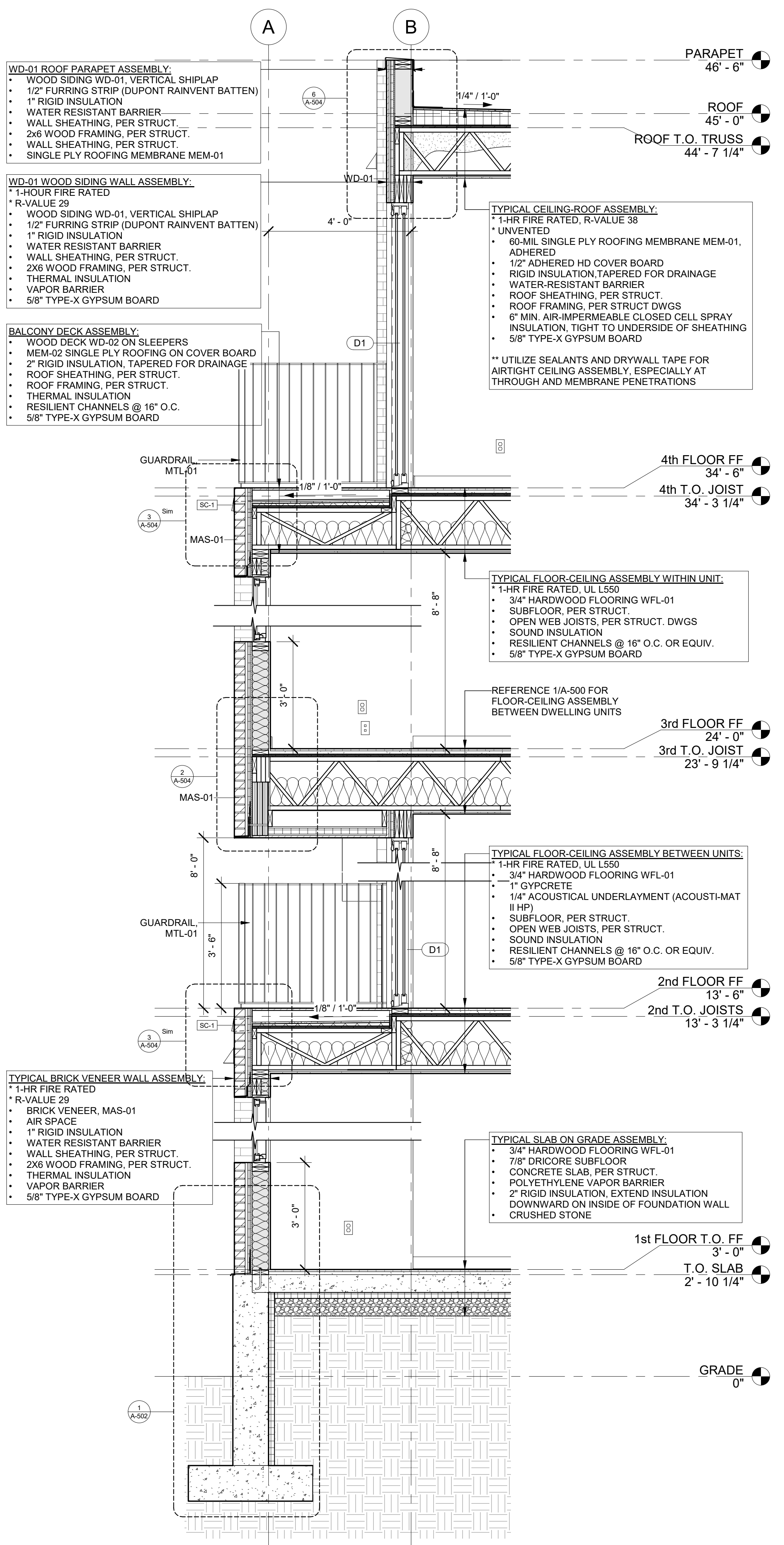




3 WALL SECTION @ NORTH STAIR  
1/2" = 1'-0"



2 WALL SECTION @ 1ST FLOOR BALCONY  
1/2" = 1'-0"



1 WALL SECTION @ 2-3RD & 4TH FLOOR BALCONY  
1/2" = 1'-0"

**REGISTRATION**

**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1292 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-673-0269

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0522

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 250  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

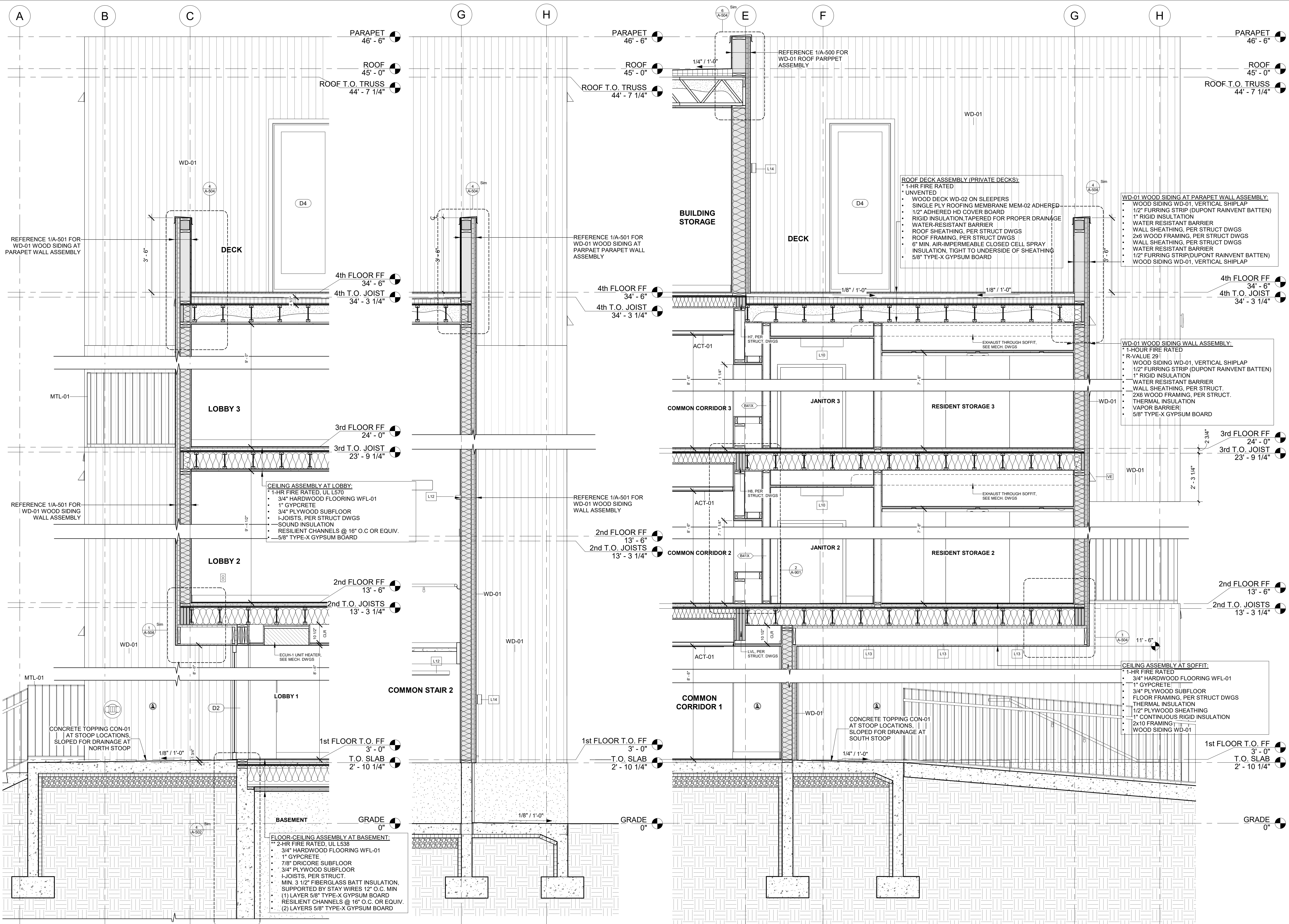
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

**THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES**

**JOB NO.:** 18284  
**SCALE:** 1/2" = 1'-0"  
**DATE:** 05/15/2020  
**DRAWING TITLE:** WALL SECTIONS  
**SHEET NO.:** A-500  
**100% CD/ PERMIT SET**





3 WALL SECTION @ NORTH ENTRANCE  
1/2" = 1'-0"

2 WALL SECTION @ SOUTH STAIR  
1/2" = 1'-0"

1 WALL SECTION @ SOUTH ENTRANCE  
1/2" = 1'-0"

**REGISTRATION**

**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1502 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0260

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0522

**ELECTRICAL ENGINEER**  
EIS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE REP CONSULTANTS  
154 TURNING ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: 1/2" = 1'-0"  
DATE: 05/15/2020  
DRAWING TITLE: WALL SECTIONS  
SHEET NO.: A-501  
100% CD / PERMIT SET





**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0265

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0945  
F: 248-482-0522

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

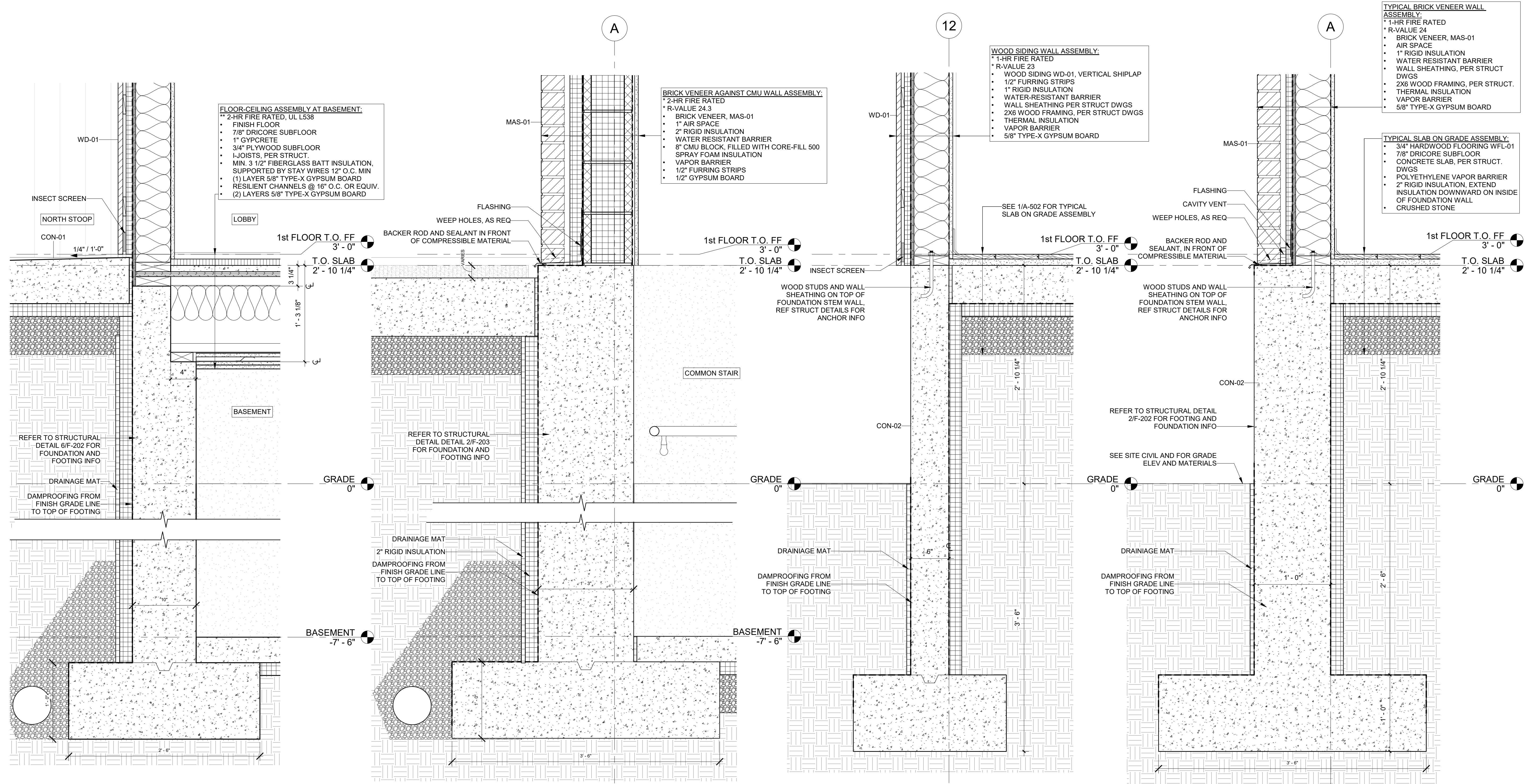
05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: 1 1/2" = 1'-0"  
DATE: 05/15/2020

DRAWING TITLE  
**FOUNDATION DETAILS**

SHEET NO.  
**A-502**



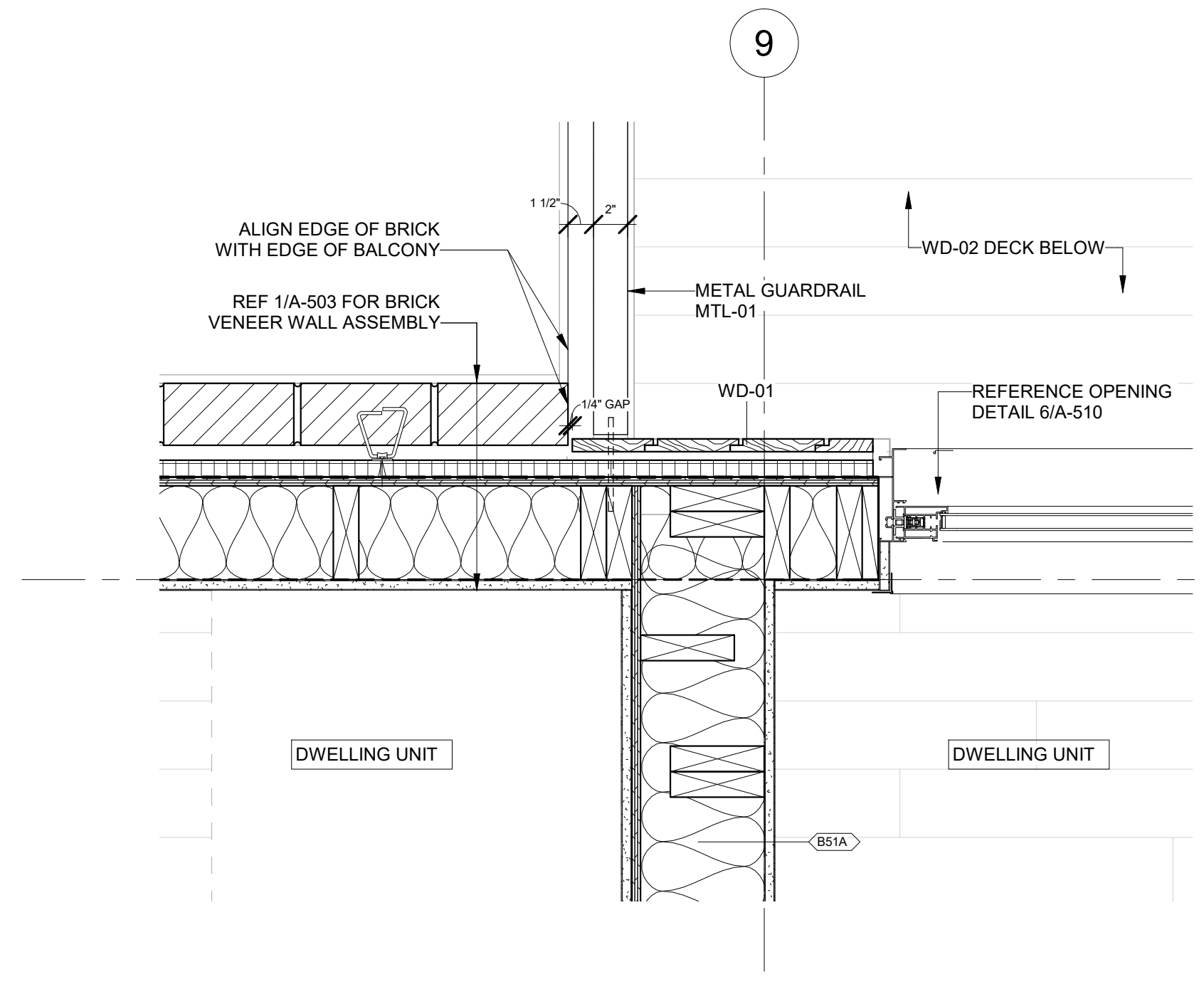
④ FOUNDATION DETAIL AT FRONT ENTRY  
1 1/2" = 1'-0"

③ FOUNDATION DETAIL AT CMU WALL  
1 1/2" = 1'-0"

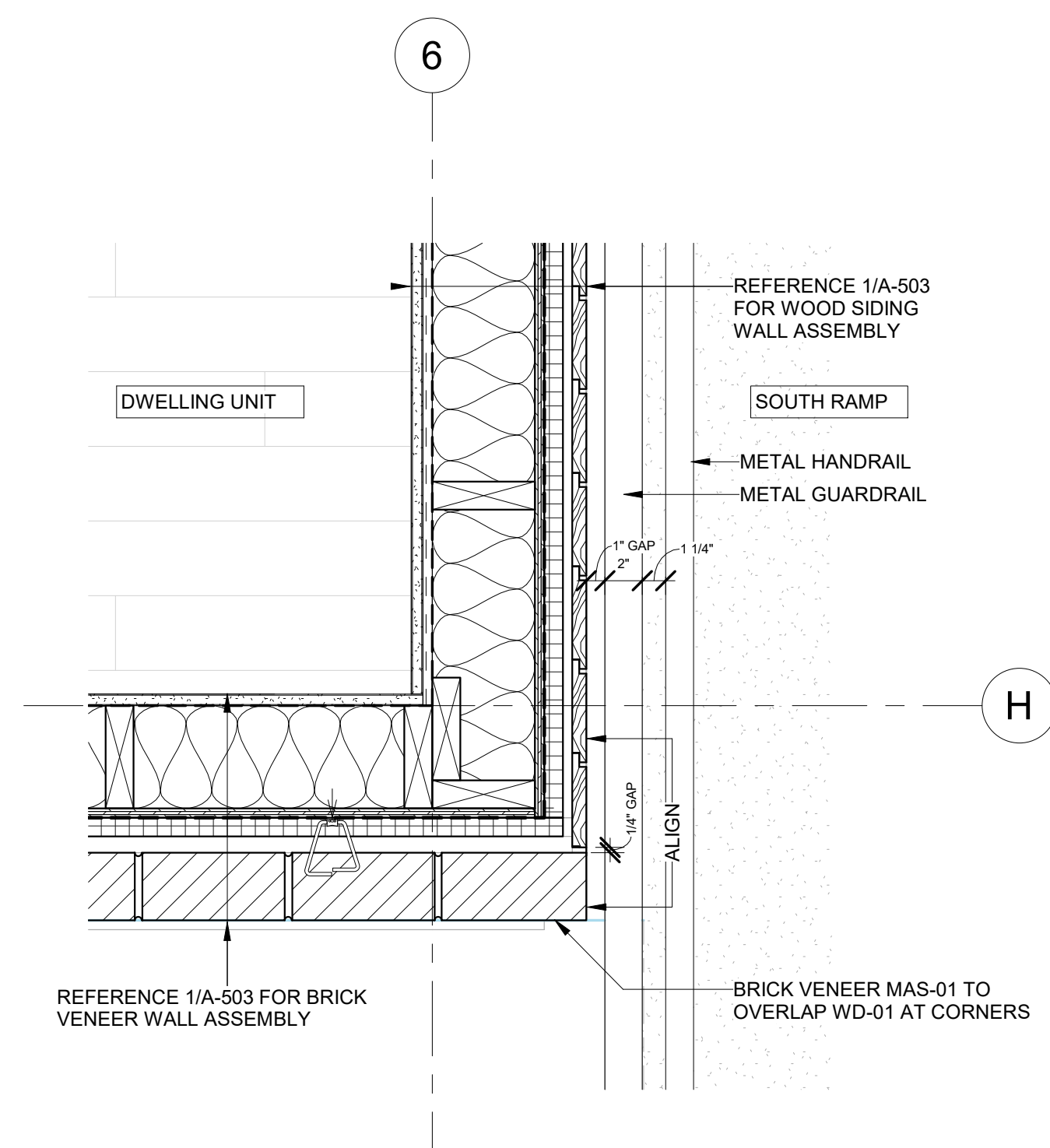
② FOUNDATION DETAIL AT CEDAR SIDING  
1 1/2" = 1'-0"

① FOUNDATION DETAIL TYP.  
1 1/2" = 1'-0"

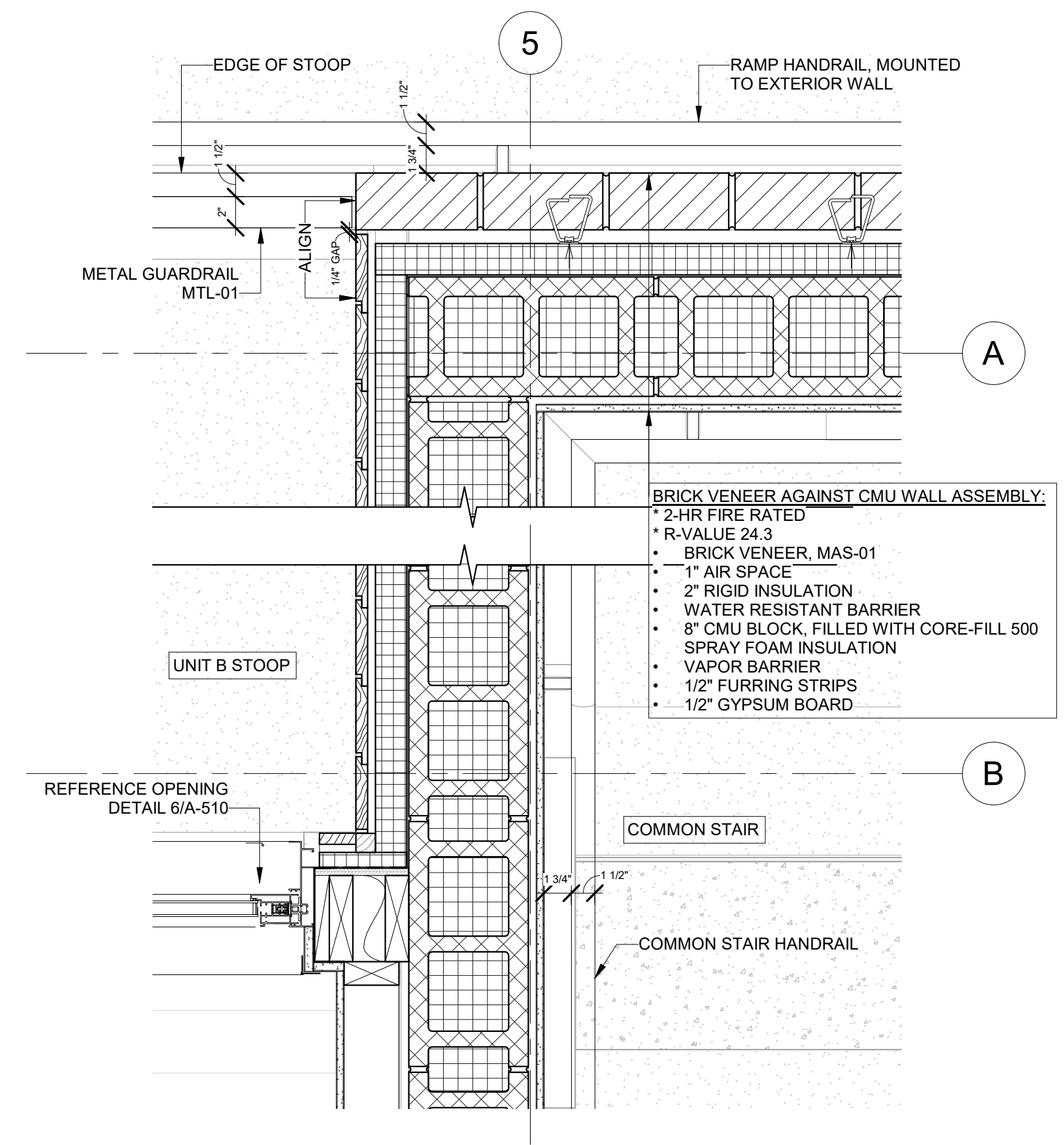




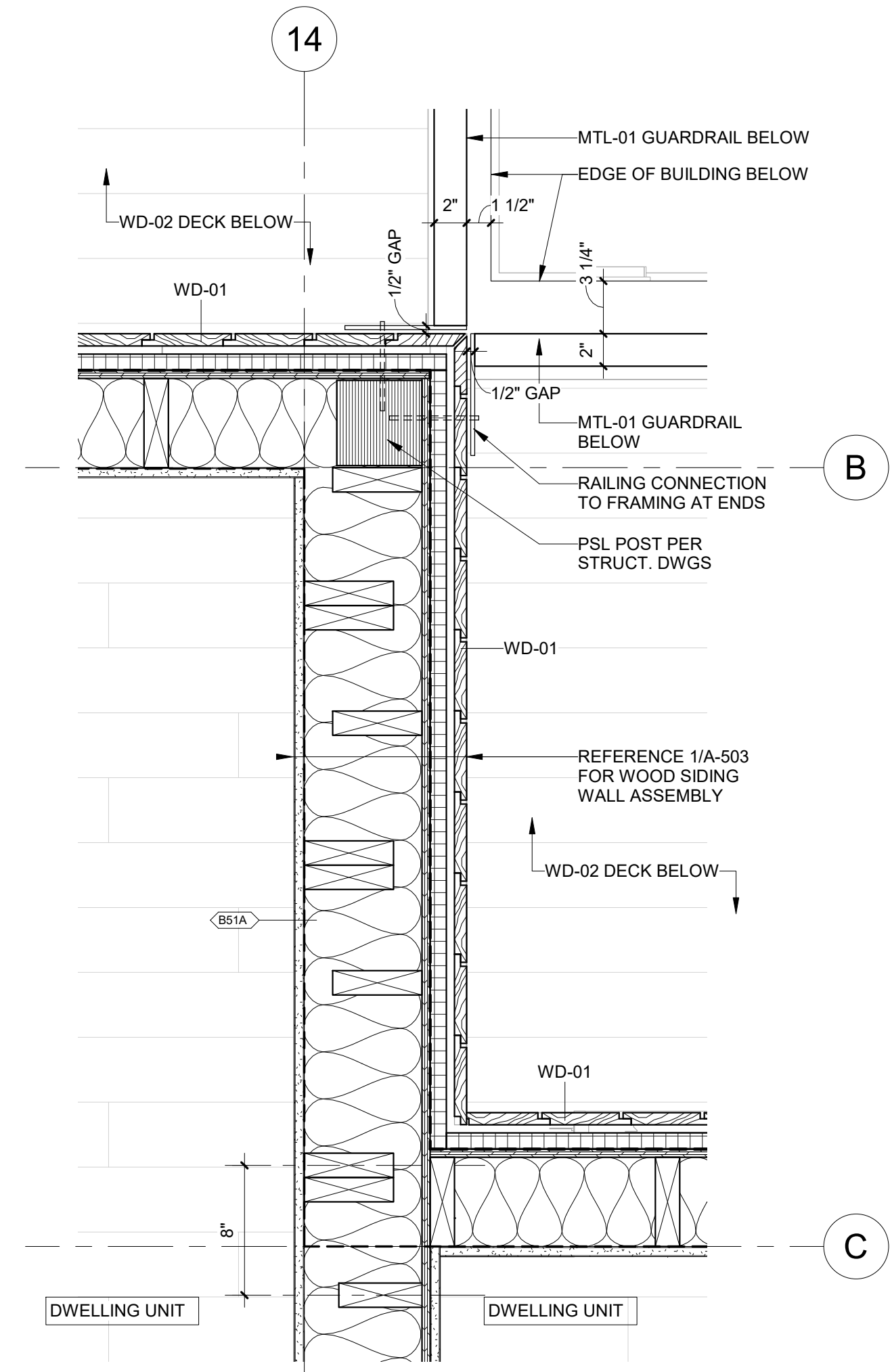
9 PLAN DETAIL - AT BRICK TO WOOD TRANSITION  
1 1/2" = 1'-0"



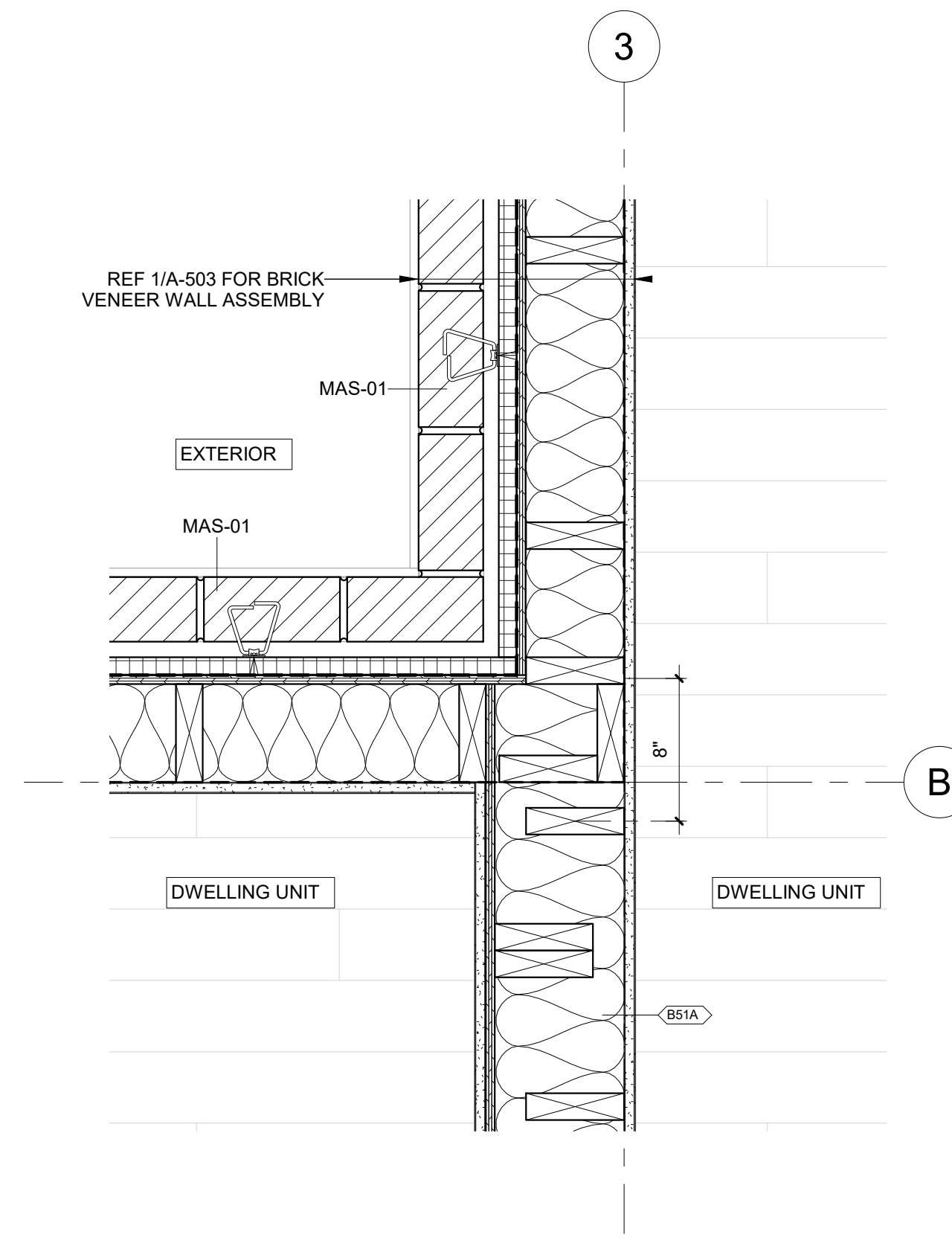
6 PLAN DETAIL - AT SOUTH RAMP  
1 1/2" = 1'-0"



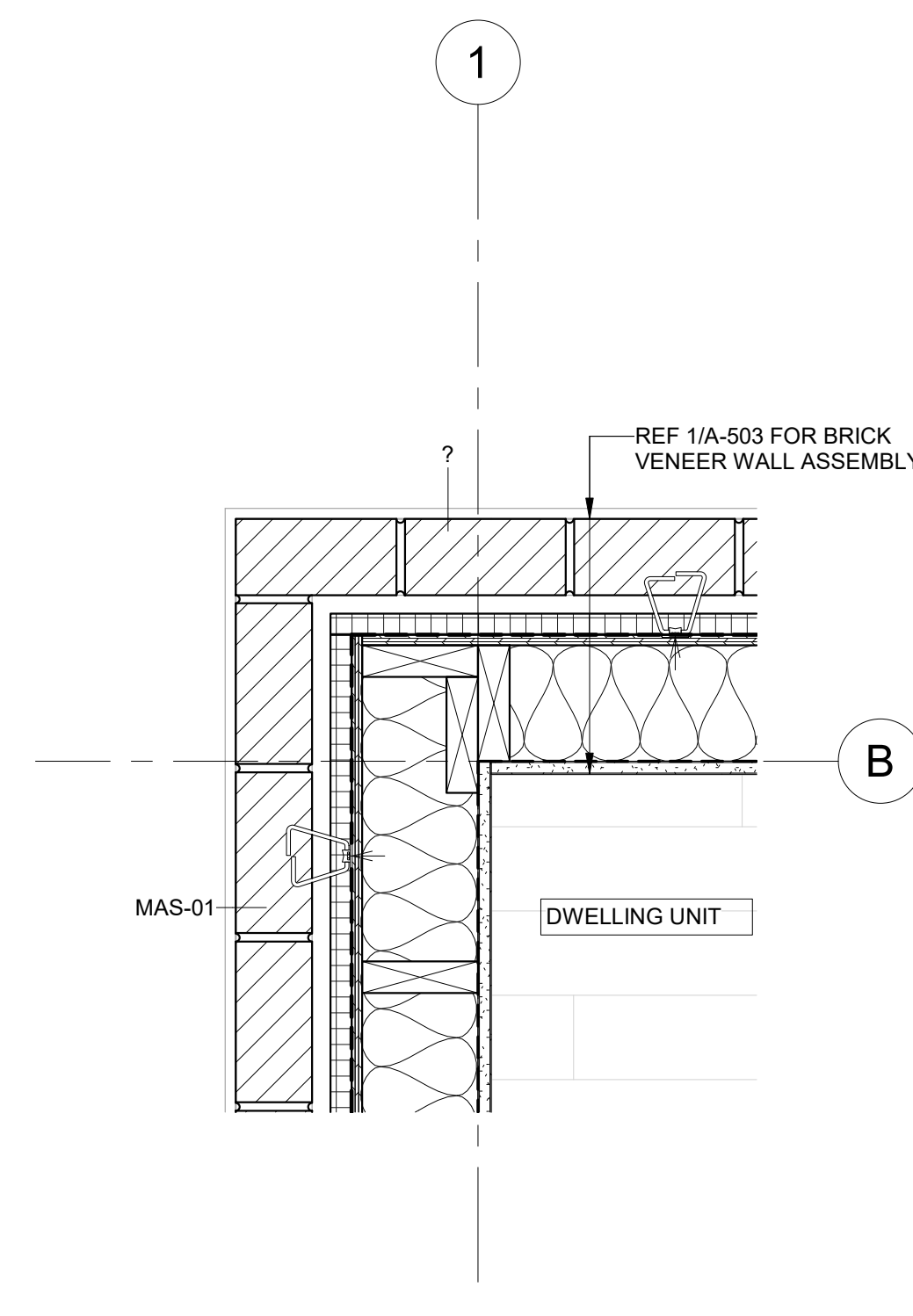
5 PLAN DETAIL - AT CMU STAIR ENCLOSURE  
1 1/2" = 1'-0"



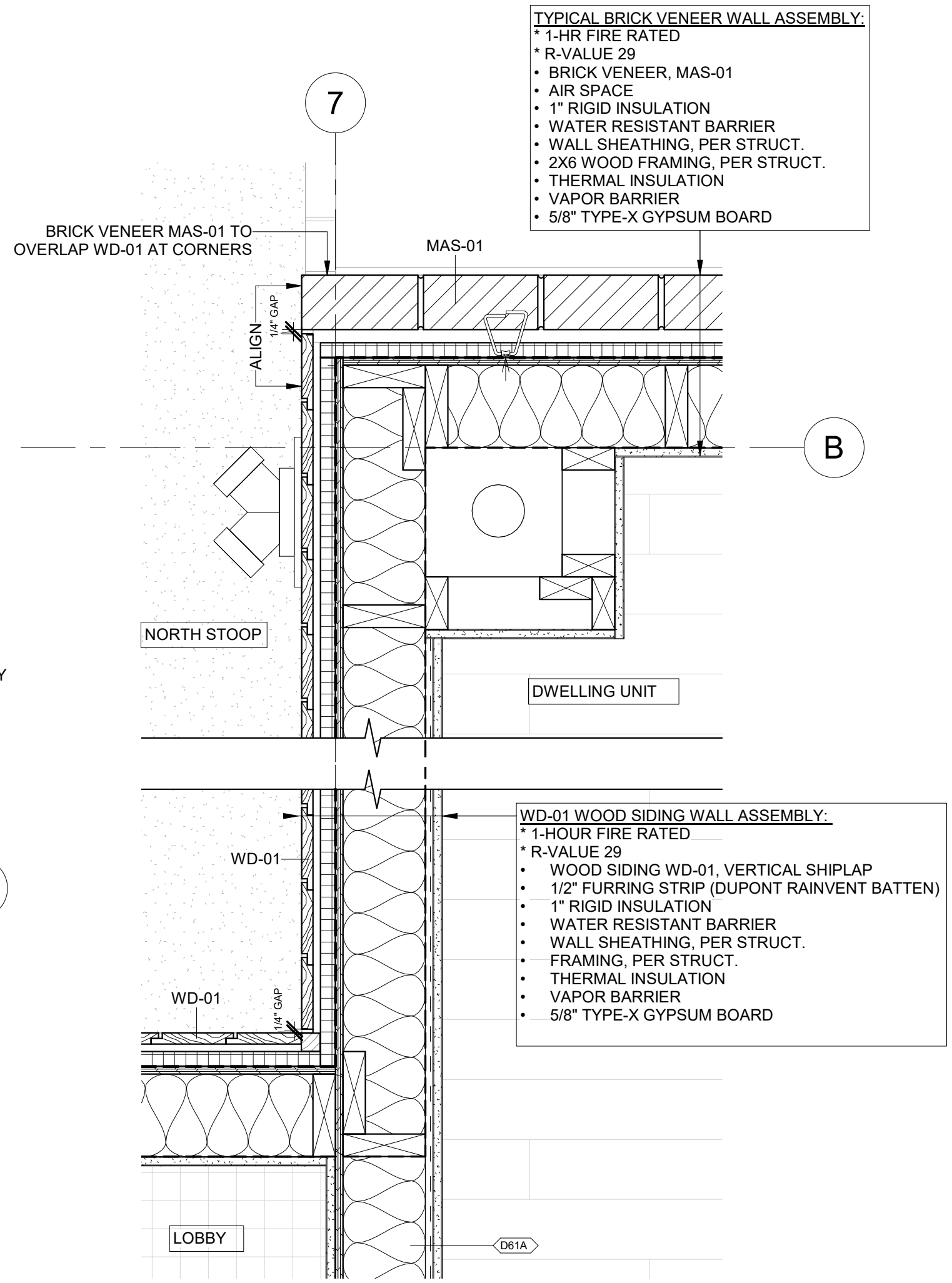
14 PLAN DETAIL AT ADJACENT BALCONIES (LEVEL 2)  
1 1/2" = 1'-0"



3 PLAN DETAIL - BRICK CORNER AT DEMISING WALL  
1 1/2" = 1'-0"



2 PLAN DETAIL - BRICK AT EXTERIOR CORNER TYP.  
1 1/2" = 1'-0"



7 PLAN DETAIL - BRICK TO WOOD AT CORNER  
1 1/2" = 1'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: 1 1/2" = 1'-0"  
DATE: 05/15/2020

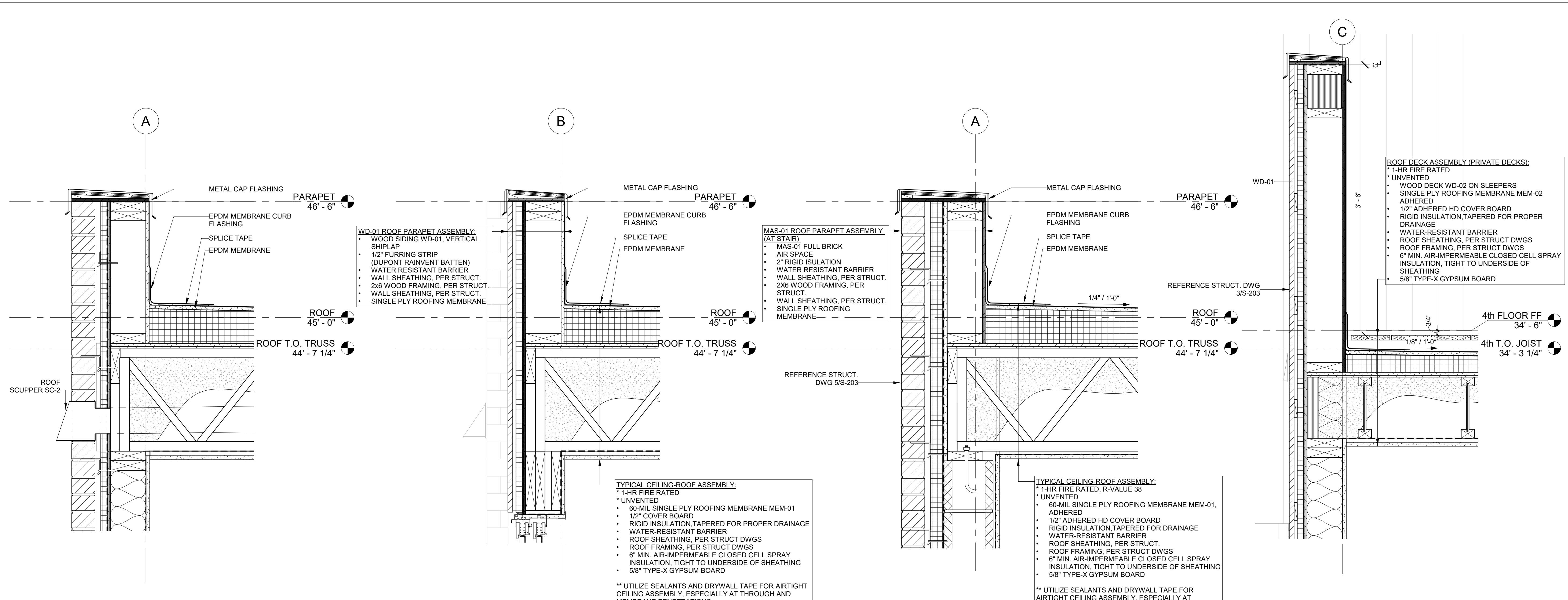
DRAWING TITLE  
**EXTERIOR PLAN DETAILS**

SHEET NO.

**A-503**

100% CD / PERMIT SET



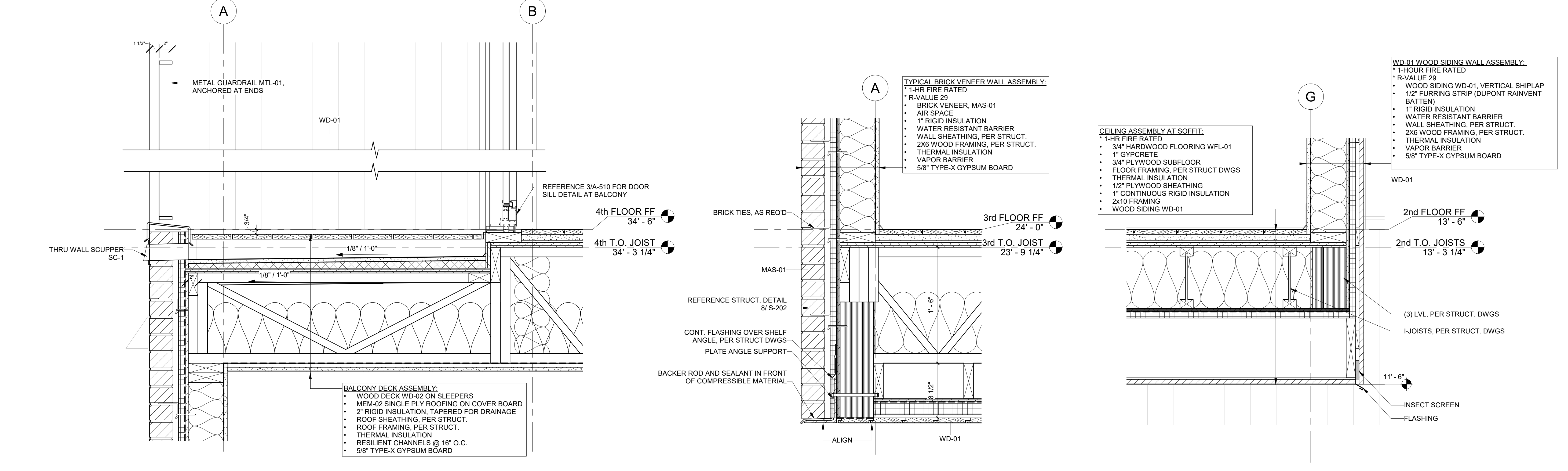


7 EXTERIOR SECTION DETAIL - PARAPET AT BRICK, TYP.  
1 1/2" = 1'-0"

6 EXTERIOR SECTION DETAIL - PARAPET AT WD-01 WALL, TYP.  
1 1/2" = 1'-0"

5 EXTERIOR SECTION DETAIL - PARAPET WALL AT CMU  
1 1/2" = 1'-0"

4 EXTERIOR SECTION DETAIL - PARAPET WALL AT EXTERIOR DECK  
1 1/2" = 1'-0"



3 EXTERIOR SECTION DETAIL - AT BALCONY GUARD TYP.  
1 1/2" = 1'-0"

2 EXTERIOR SECTION DETAIL - AT BALCONY ROOF TYP.  
1 1/2" = 1'-0"

1 EXTERIOR SECTION DETAIL - OVERHANG AT ENTRANCE  
1 1/2" = 1'-0"

**REGISTRATION**

**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0262

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0522

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC.**  
Brush Park Duplette D-2  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: 1 1/2" = 1'-0"  
DATE: 05/15/2020

DRAWING TITLE  
**EXTERIOR SECTION DETAILS**

SHEET NO.  
**A-504**

100% CD / PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1592 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617 670-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49418  
 T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 18621 FARMINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0045  
 F: 248-482-0052

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNPIKE ROAD, SUITE 200  
 SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC  
**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

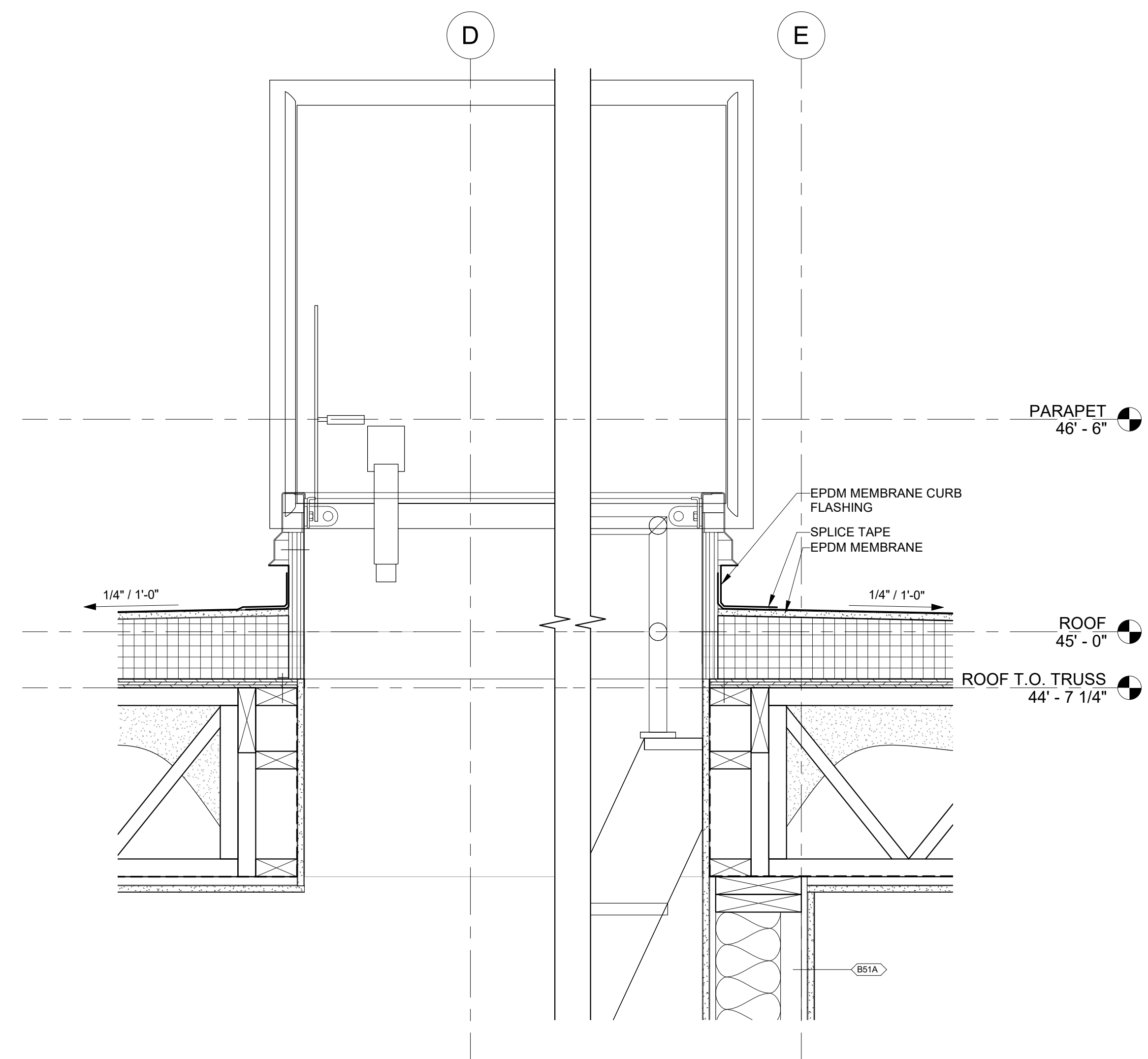
JOB NO.: 18284  
 SCALE: 1 1/2" = 1'-0"  
 DATE: 05/15/2020

DRAWING TITLE  
**EXTERIOR SECTION DETAILS**

SHEET NO.

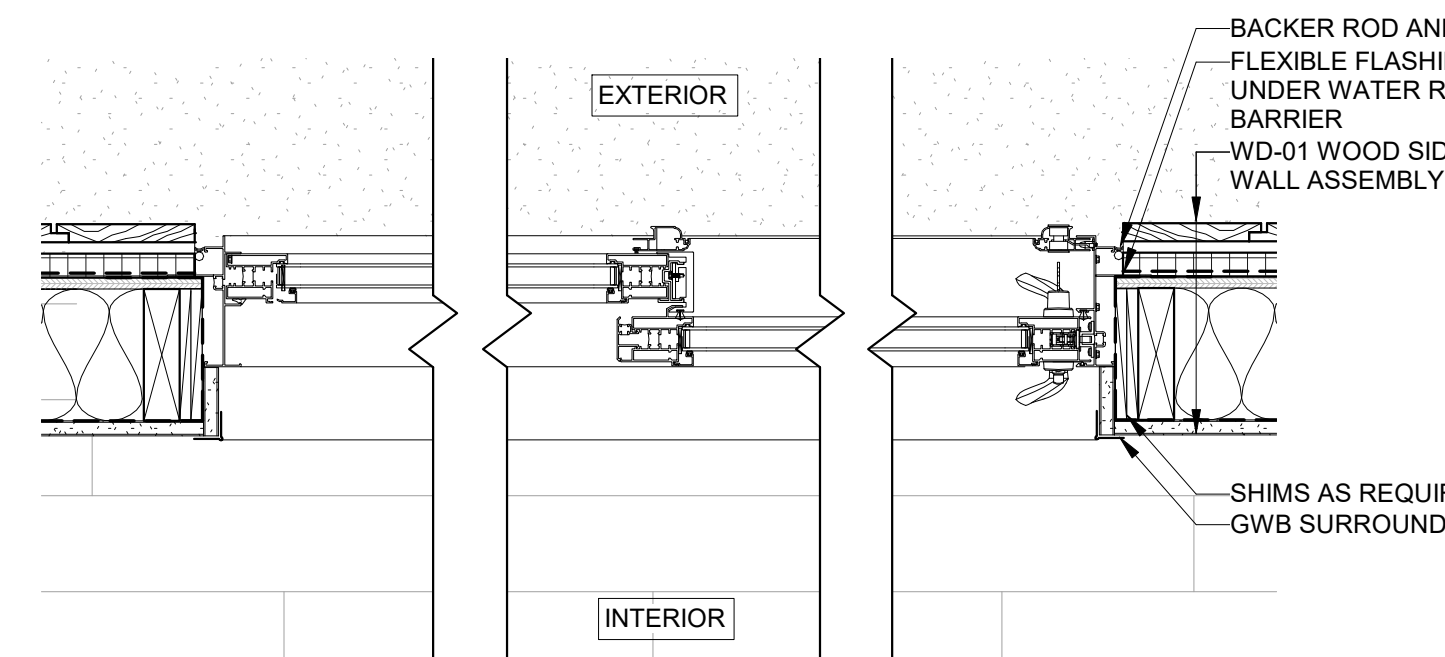
**A-505**

100% CD/ PERMIT SET

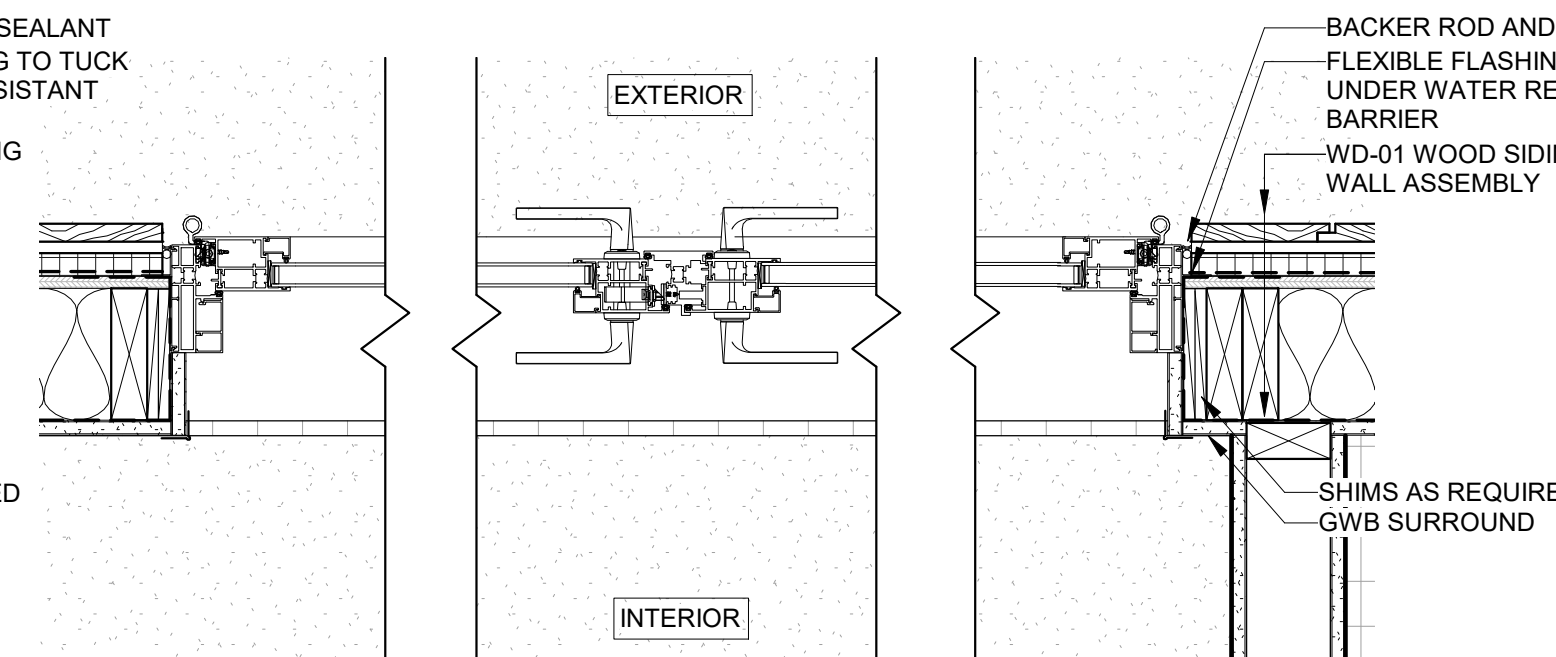


EXTERIOR SECTION DETAIL - THROUGH ROOF HATCH  
 1 1/2" = 1'-0"

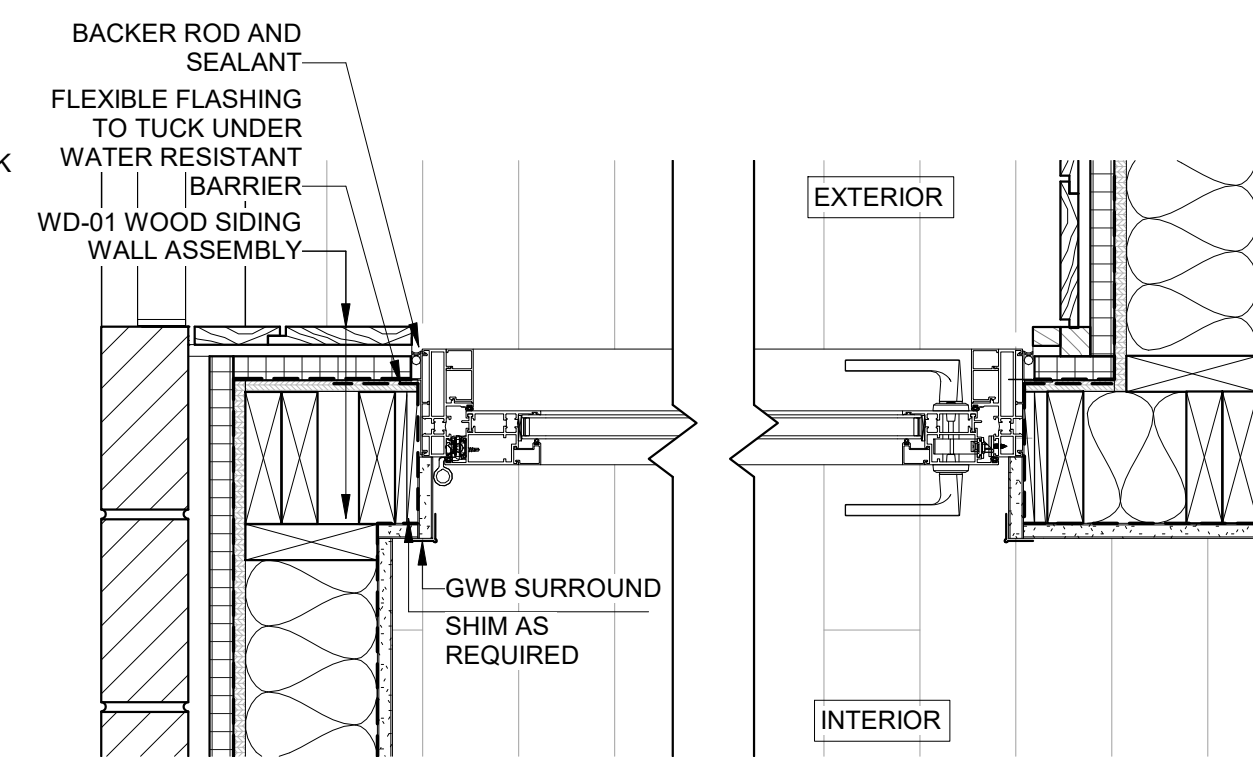




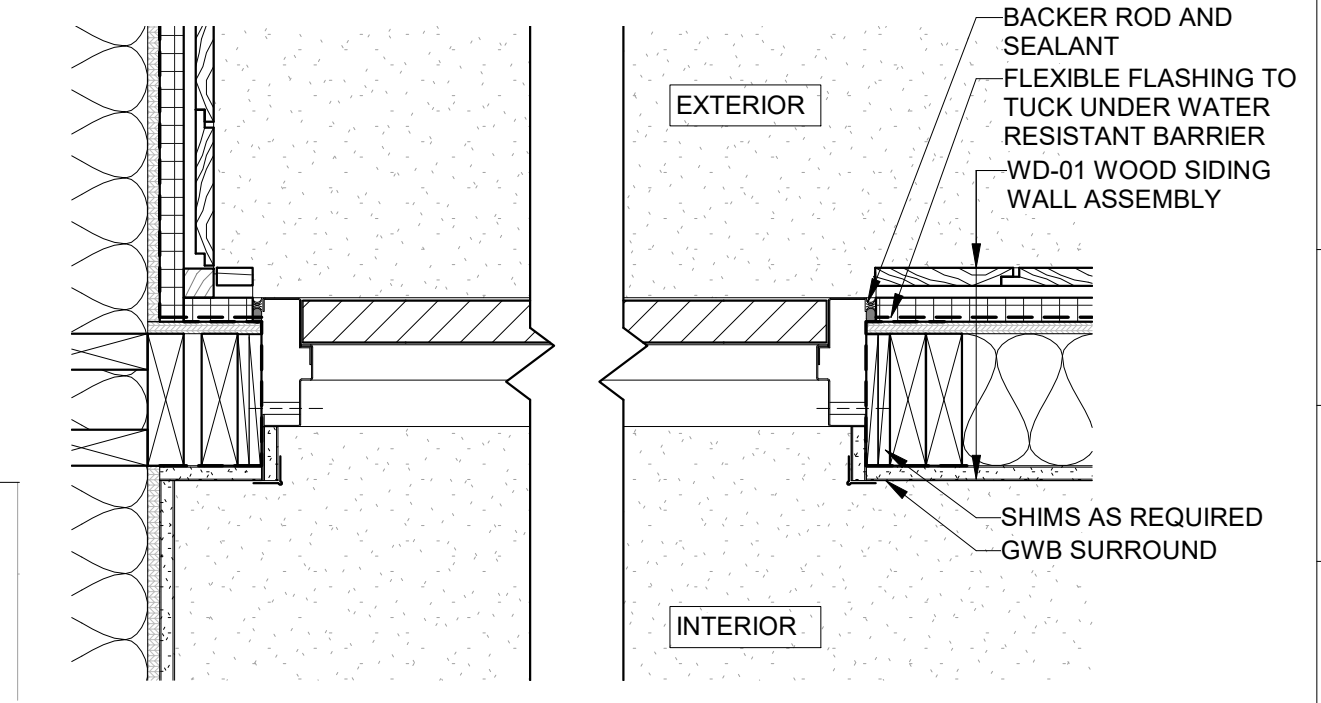
9 JAMB OPENING DETAIL - SLIDING GLASS DOOR AT WOOD  
1 1/2" = 1'-0"



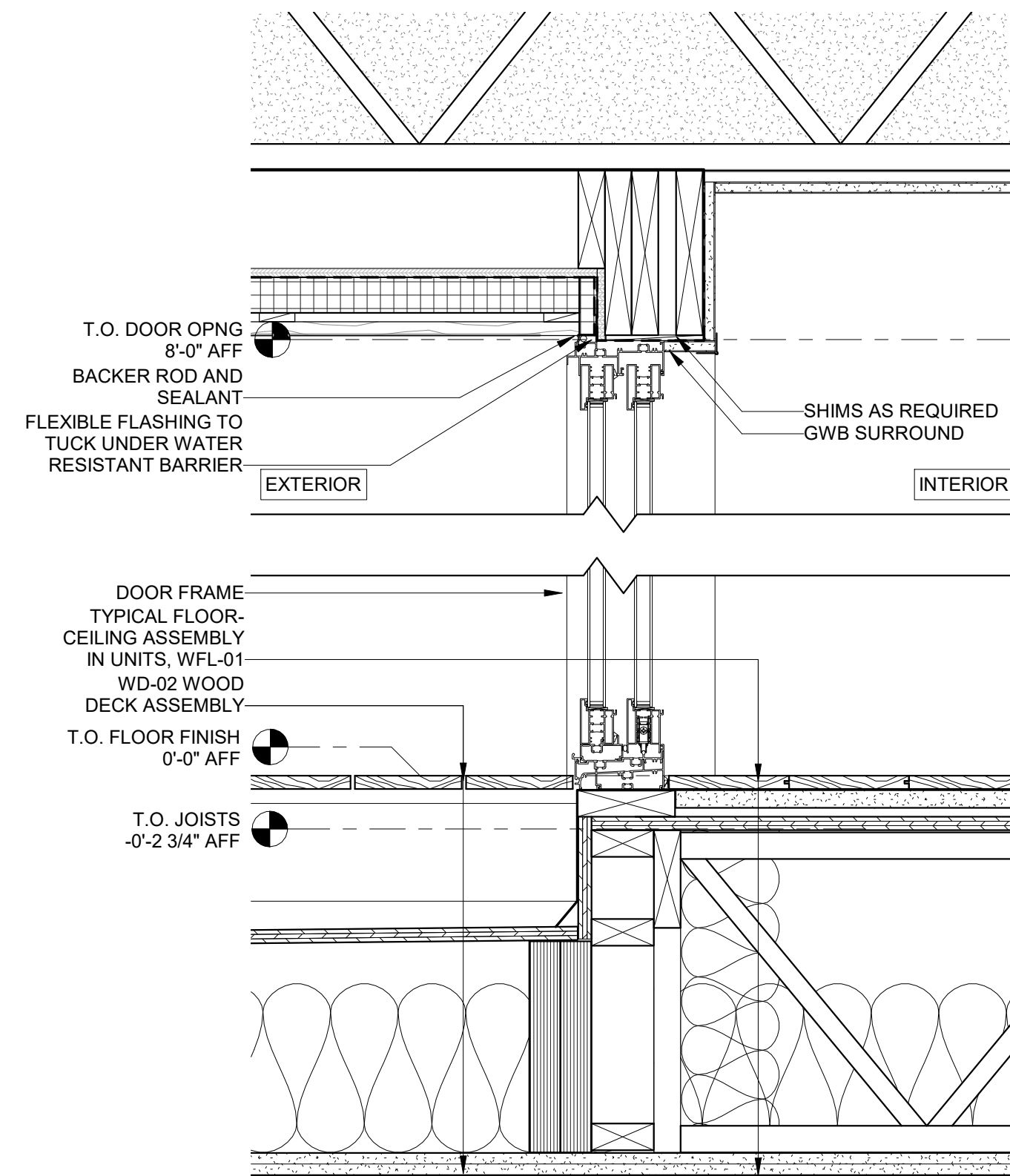
6 JAMB OPENING DETAIL - OUTSWING GLASS DOUBLE DOOR  
1 1/2" = 1'-0"



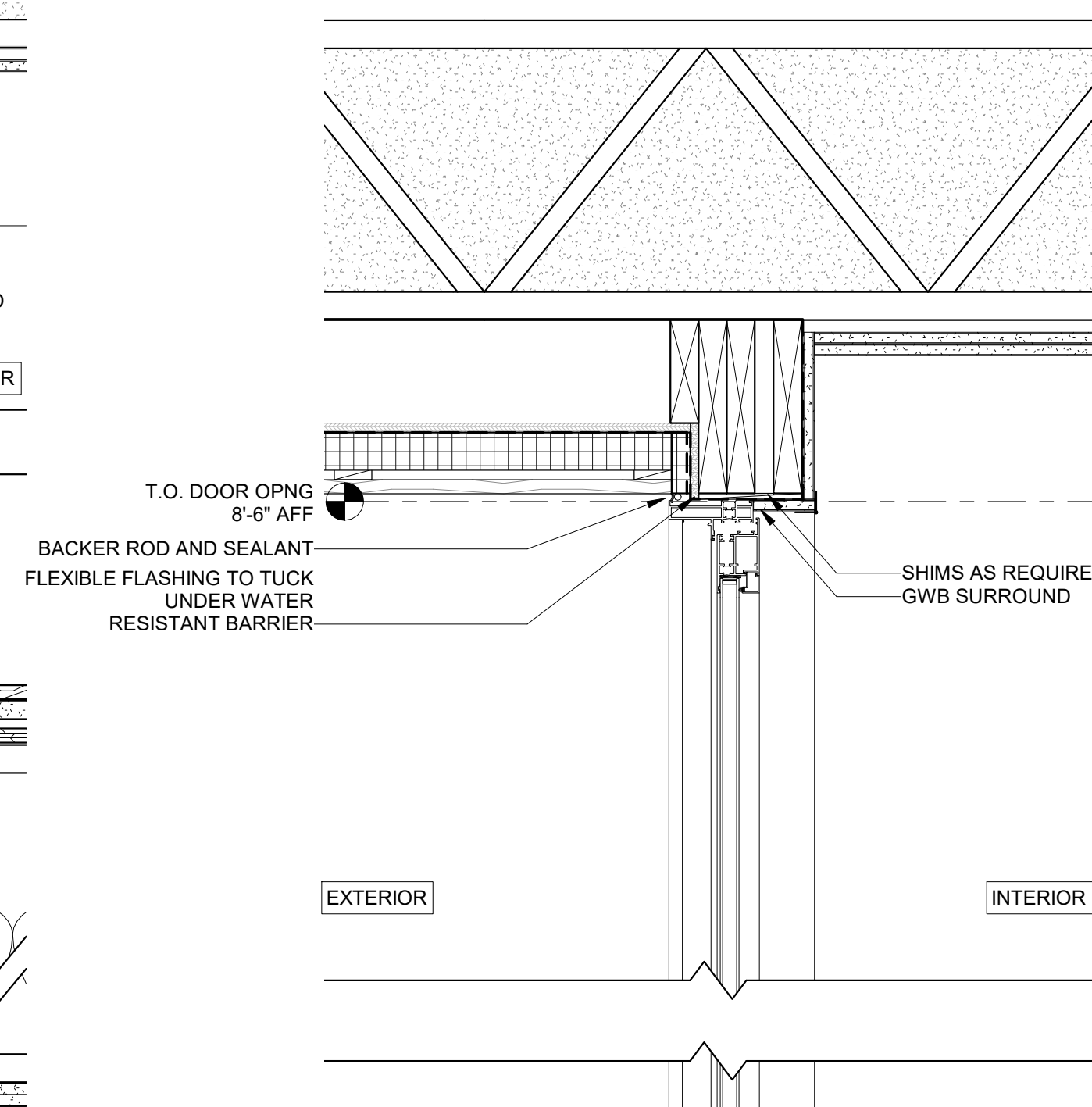
4 JAMB OPENING DETAIL - INSWING GLASS SINGLE DOOR  
1 1/2" = 1'-0"



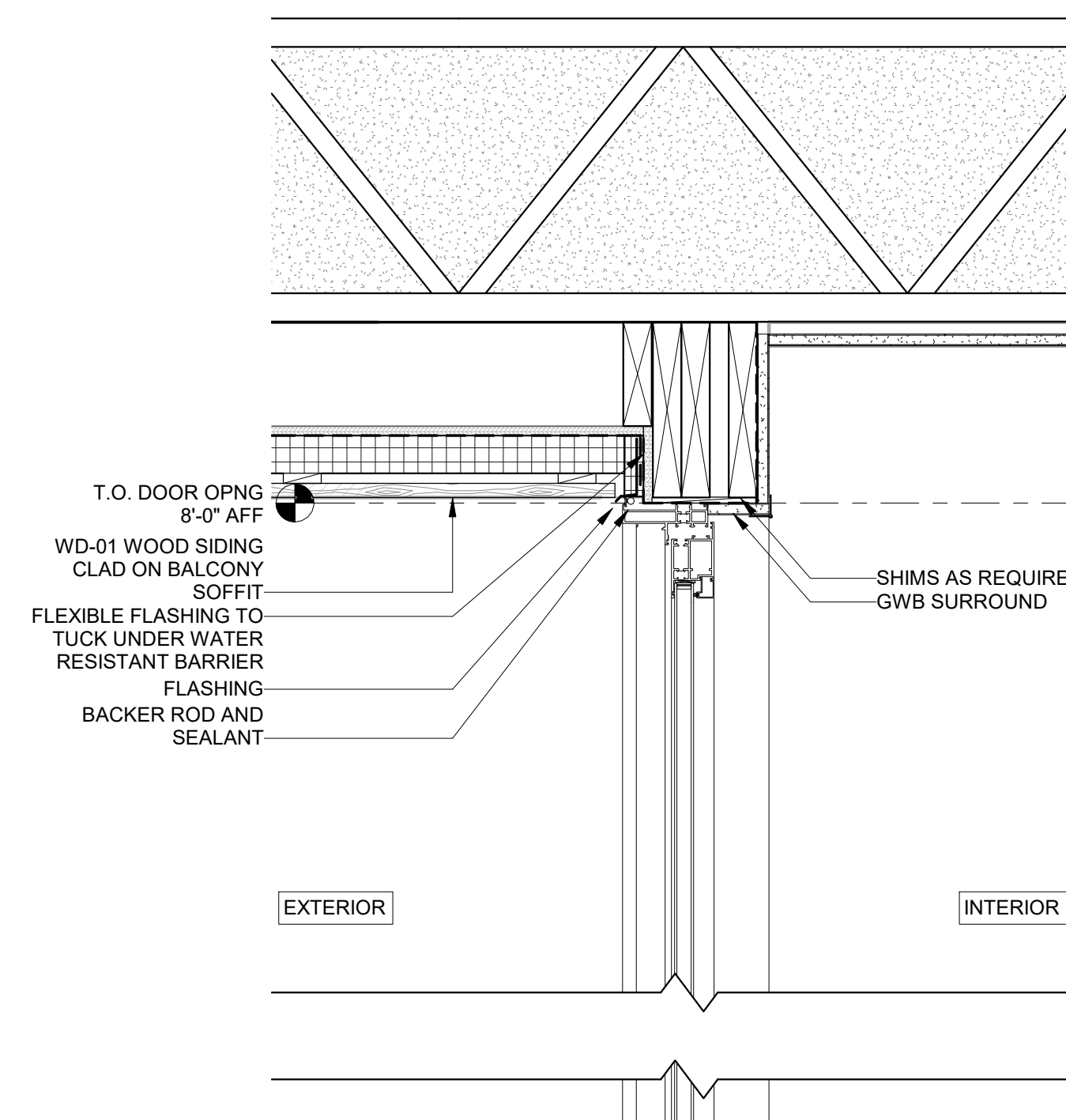
2 JAMB OPENING DETAIL - SOLID SWINGING DOOR AT WOOD  
1 1/2" = 1'-0"



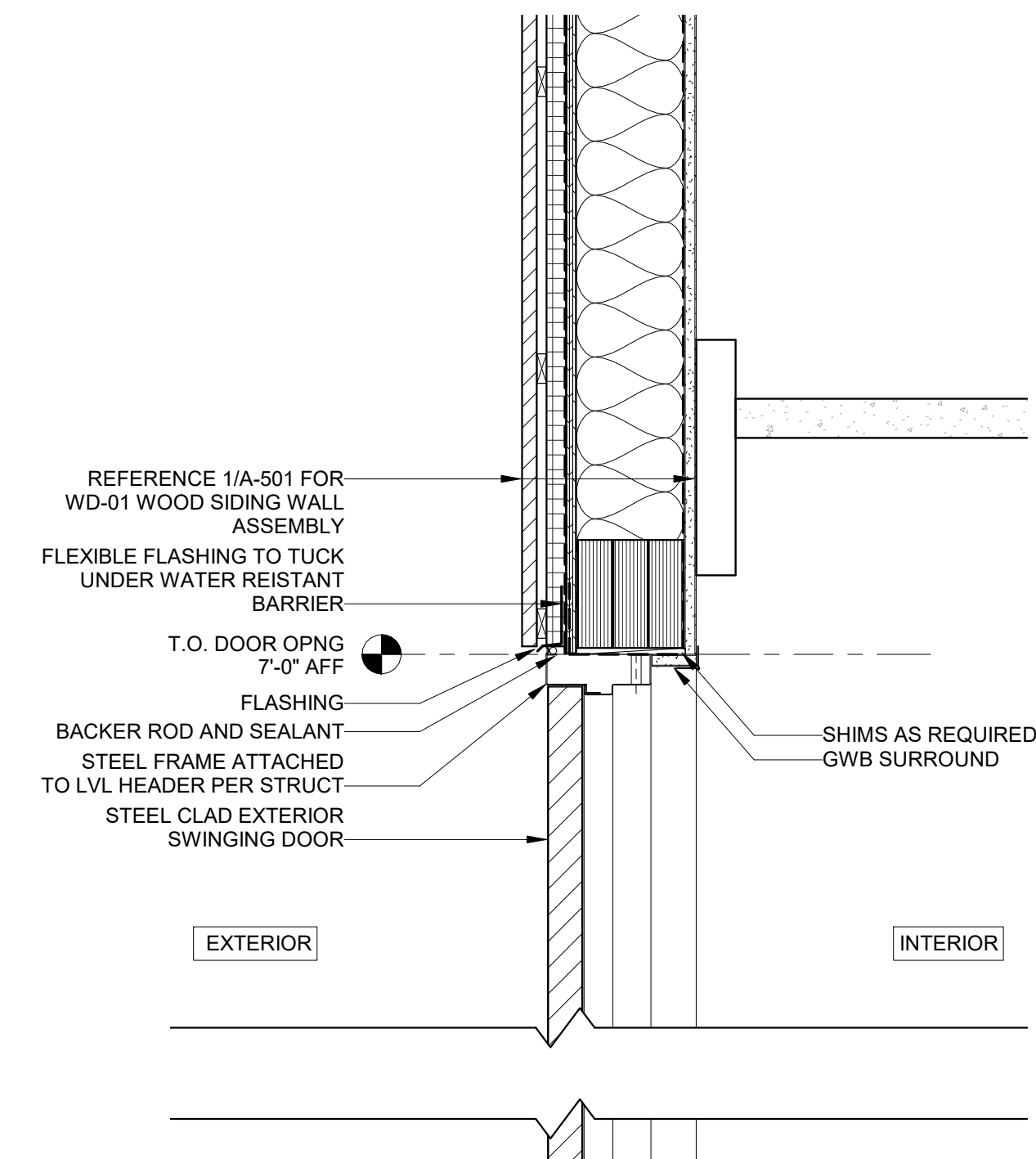
8 HEAD/SILL OPENING DETAIL - SLIDING GLASS DOOR AT WOOD  
1 1/2" = 1'-0"



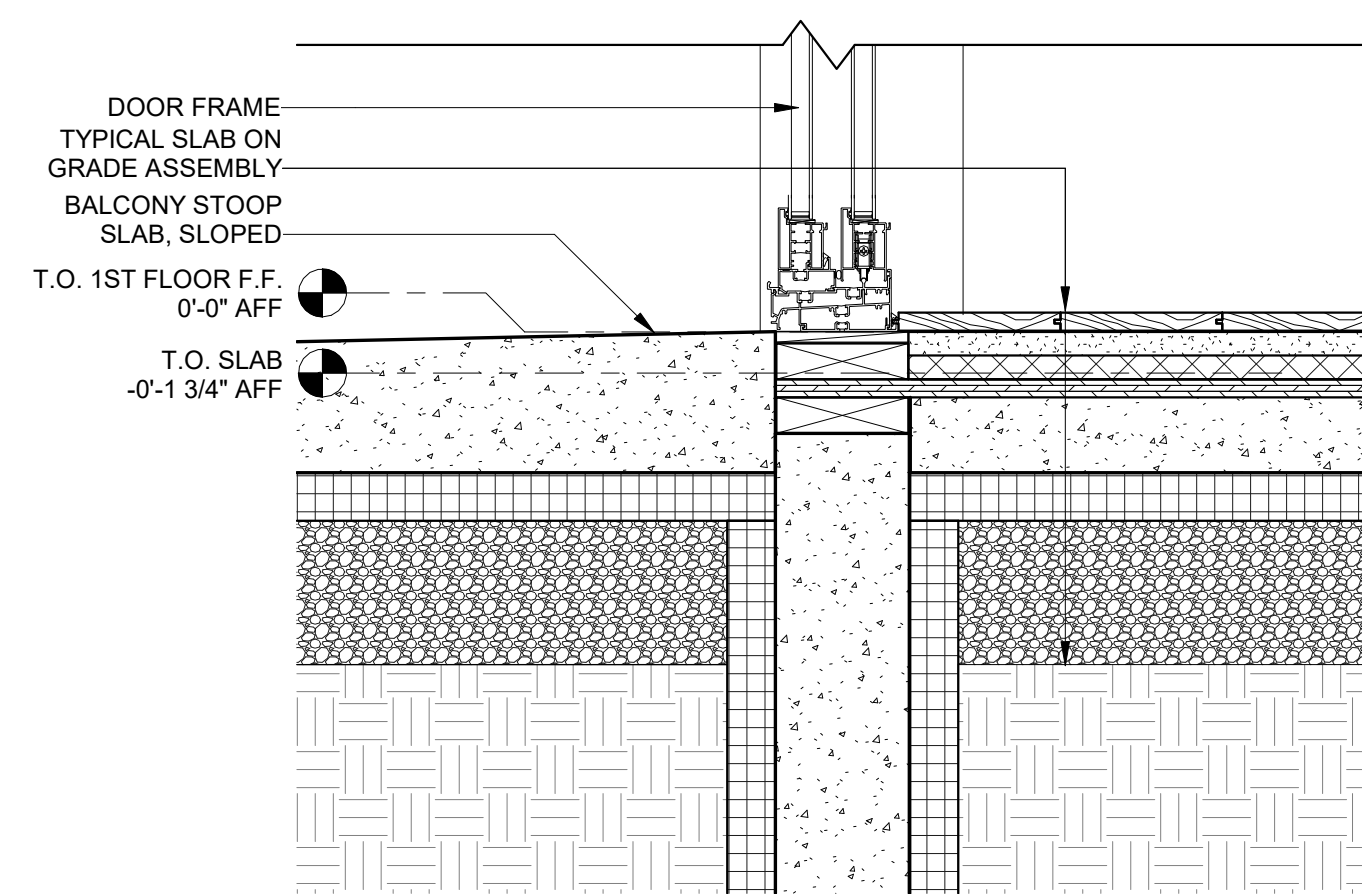
5 HEAD/SILL OPENING DETAIL - OUTSWING GLASS DOUBLE DOOR AT WOOD  
1 1/2" = 1'-0"



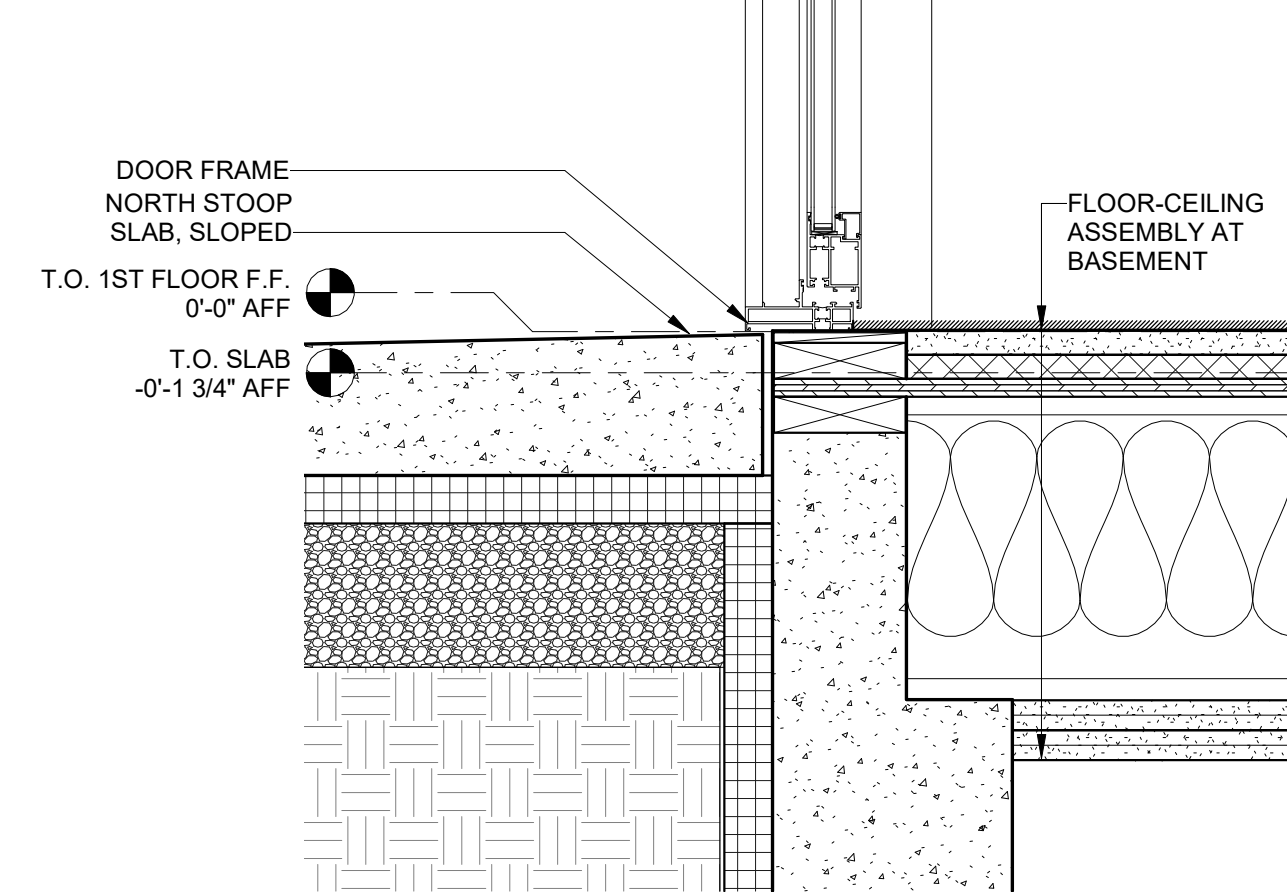
3 HEAD/SILL OPENING DETAIL - INSWING GLASS SINGLE DOOR AT WOOD  
1 1/2" = 1'-0"



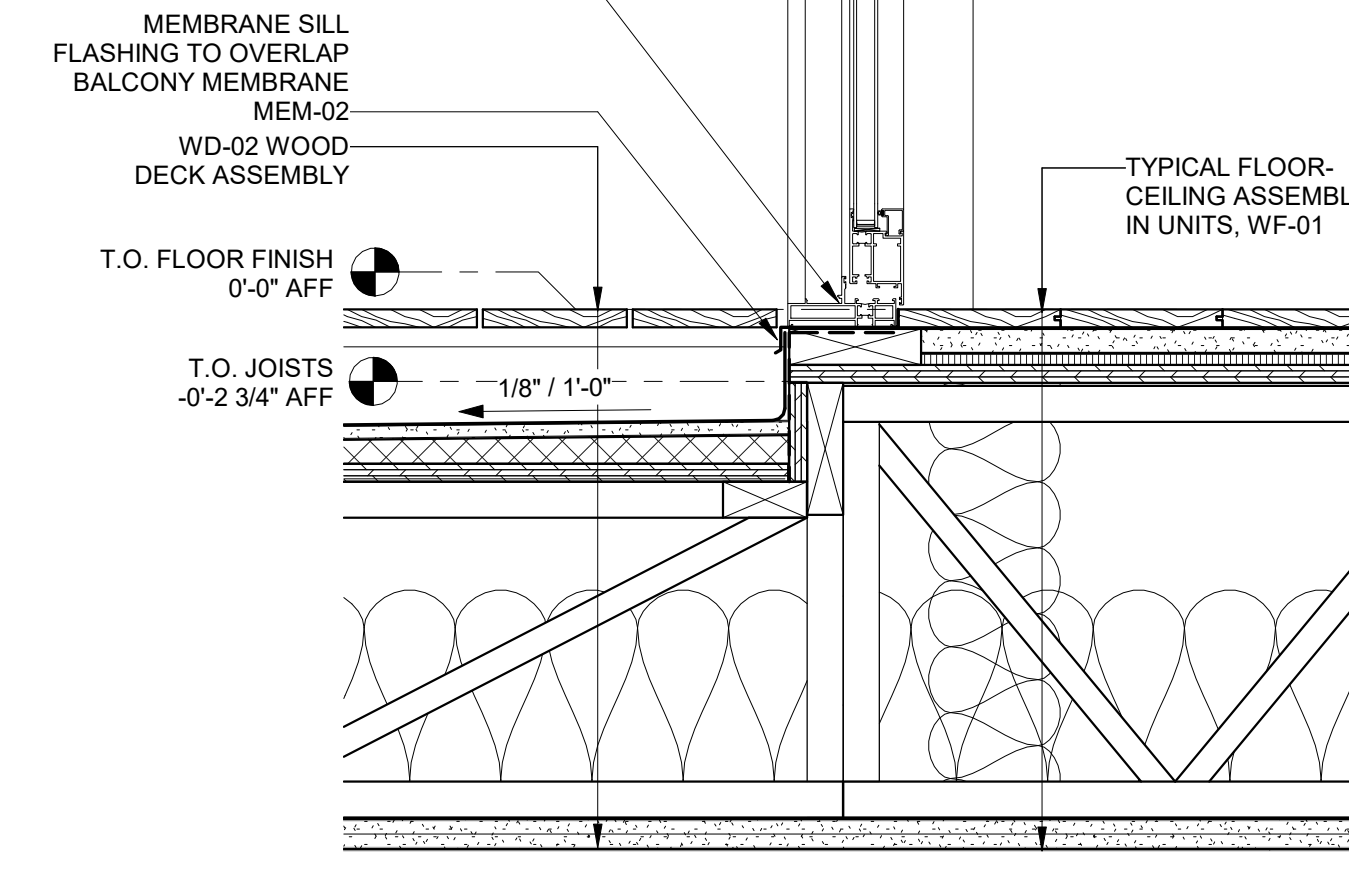
1 HEAD/SILL DETAIL OPENING DETAIL - SOLID SWINGING DOOR AT WOOD  
1 1/2" = 1'-0"



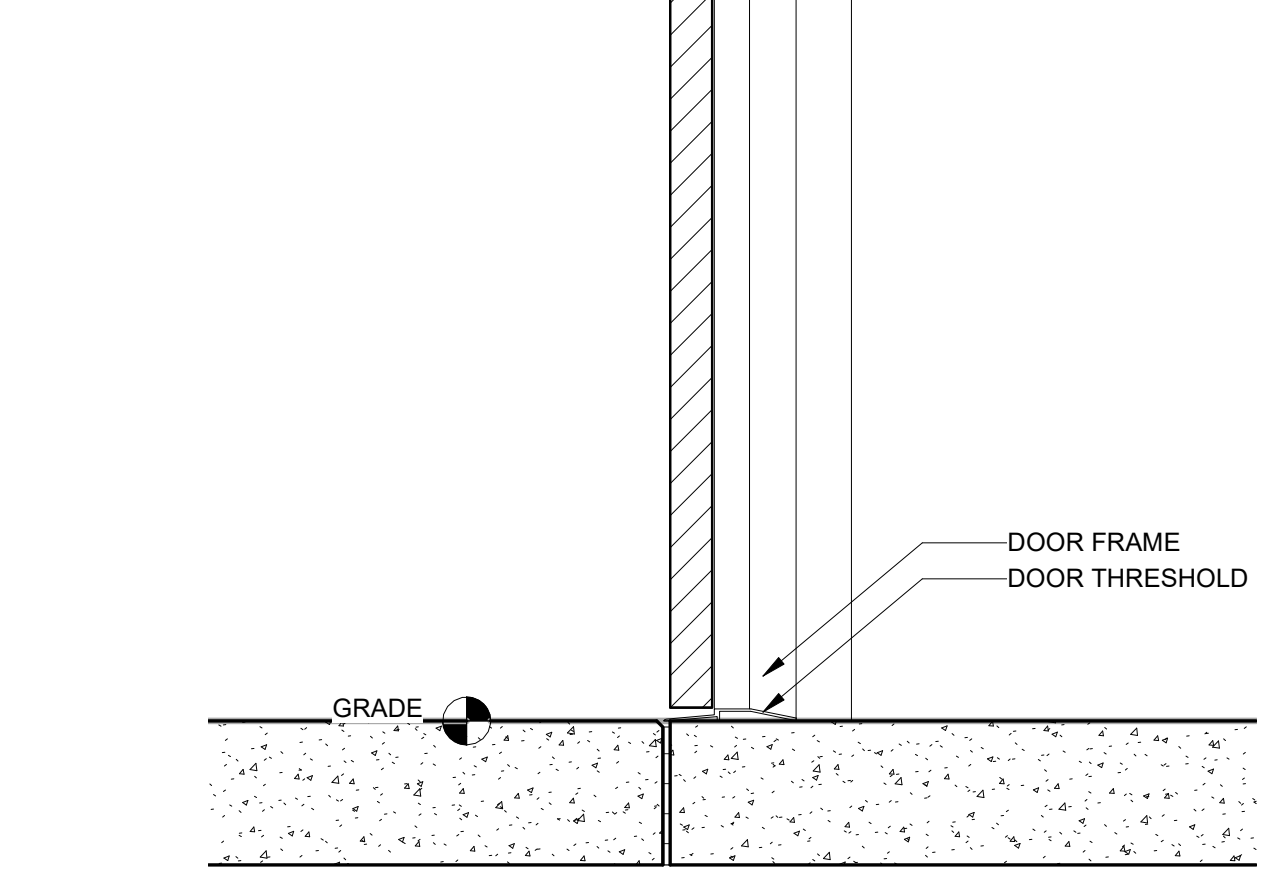
7 LEVEL 1 SILL OPENING DETAIL - SLIDING GLASS DOOR AT WOOD  
1 1/2" = 1'-0"



5 HEAD/SILL OPENING DETAIL - OUTSWING GLASS DOUBLE DOOR AT WOOD  
1 1/2" = 1'-0"



3 HEAD/SILL OPENING DETAIL - INSWING GLASS SINGLE DOOR AT WOOD  
1 1/2" = 1'-0"



1 HEAD/SILL DETAIL OPENING DETAIL - SOLID SWINGING DOOR AT WOOD  
1 1/2" = 1'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: 1 1/2" = 1'-0"  
DATE: 05/15/2020

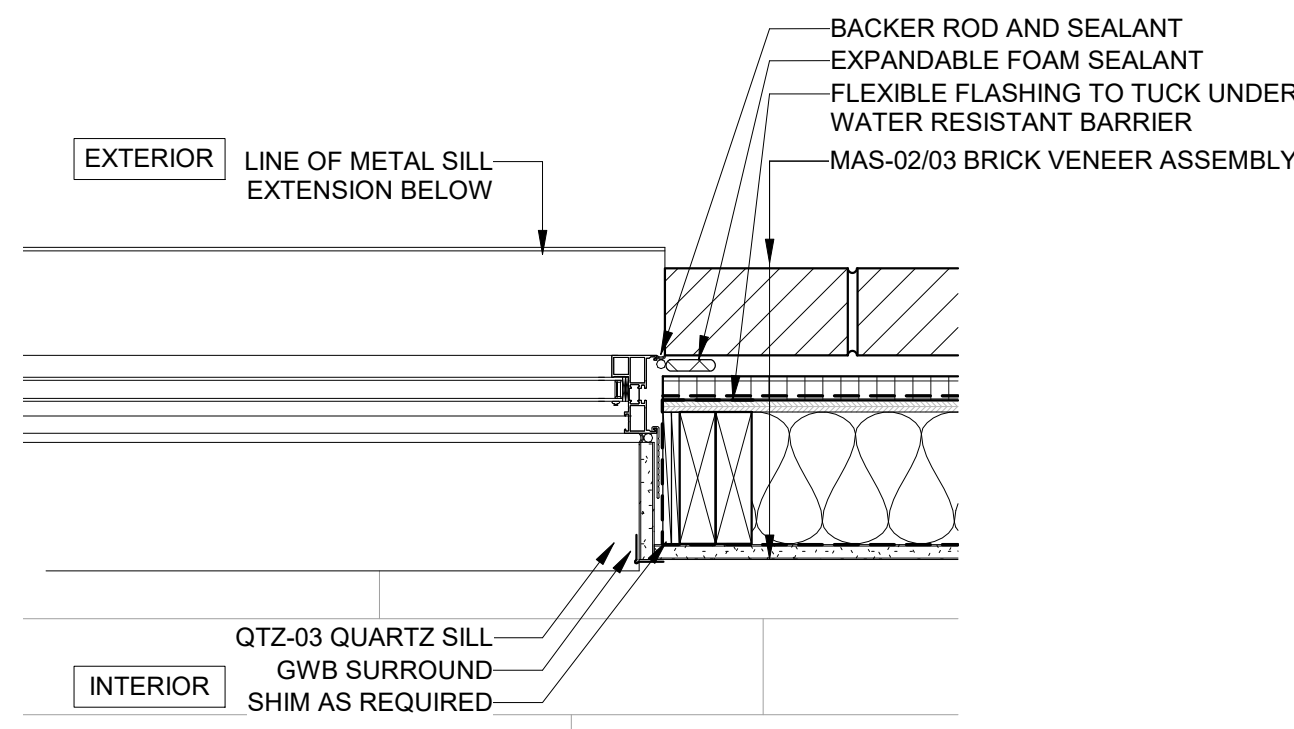
DRAWING TITLE  
**EXTERIOR DOOR DETAILS**

SHEET NO.

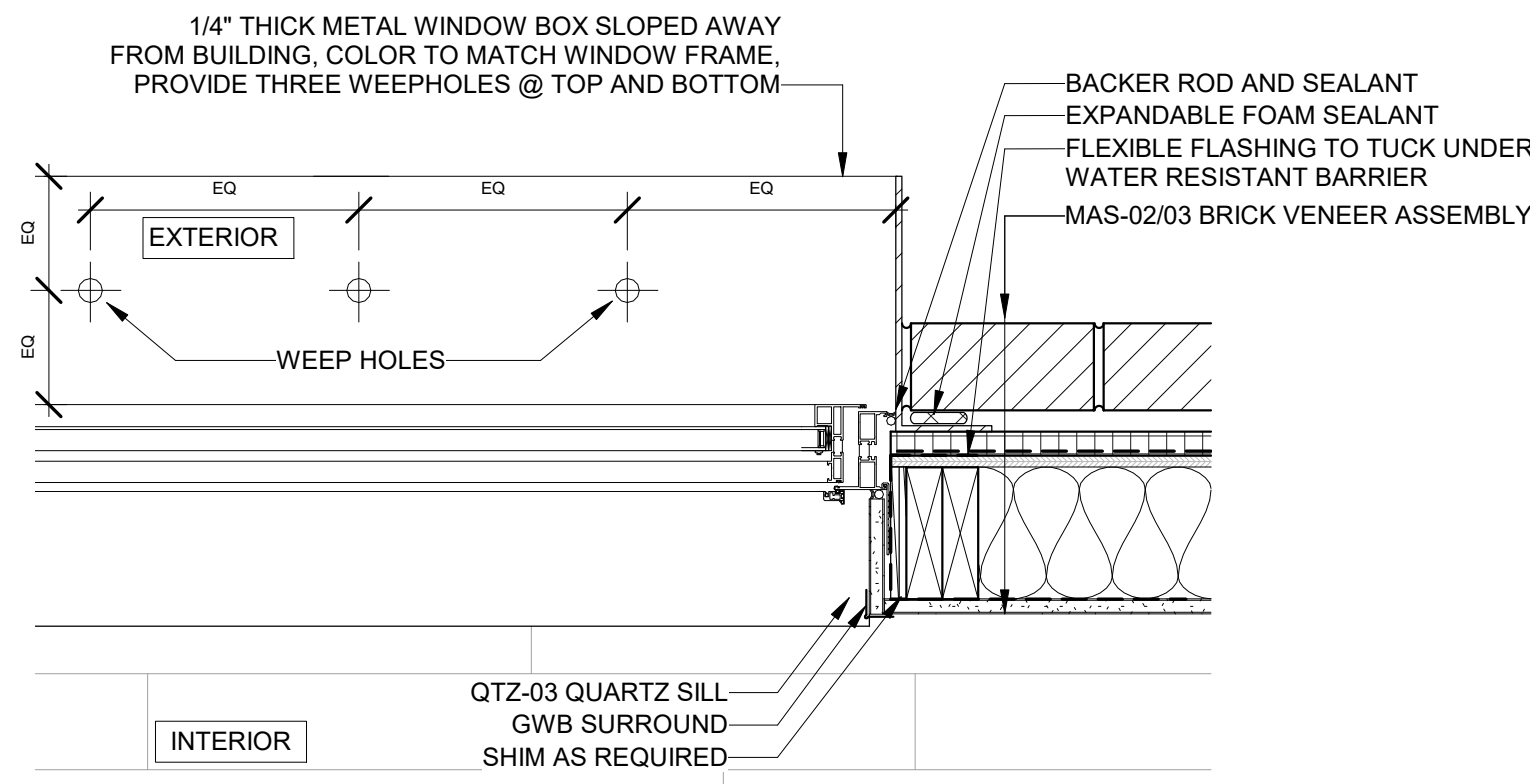
**A-510**

100% CD/ PERMIT SET

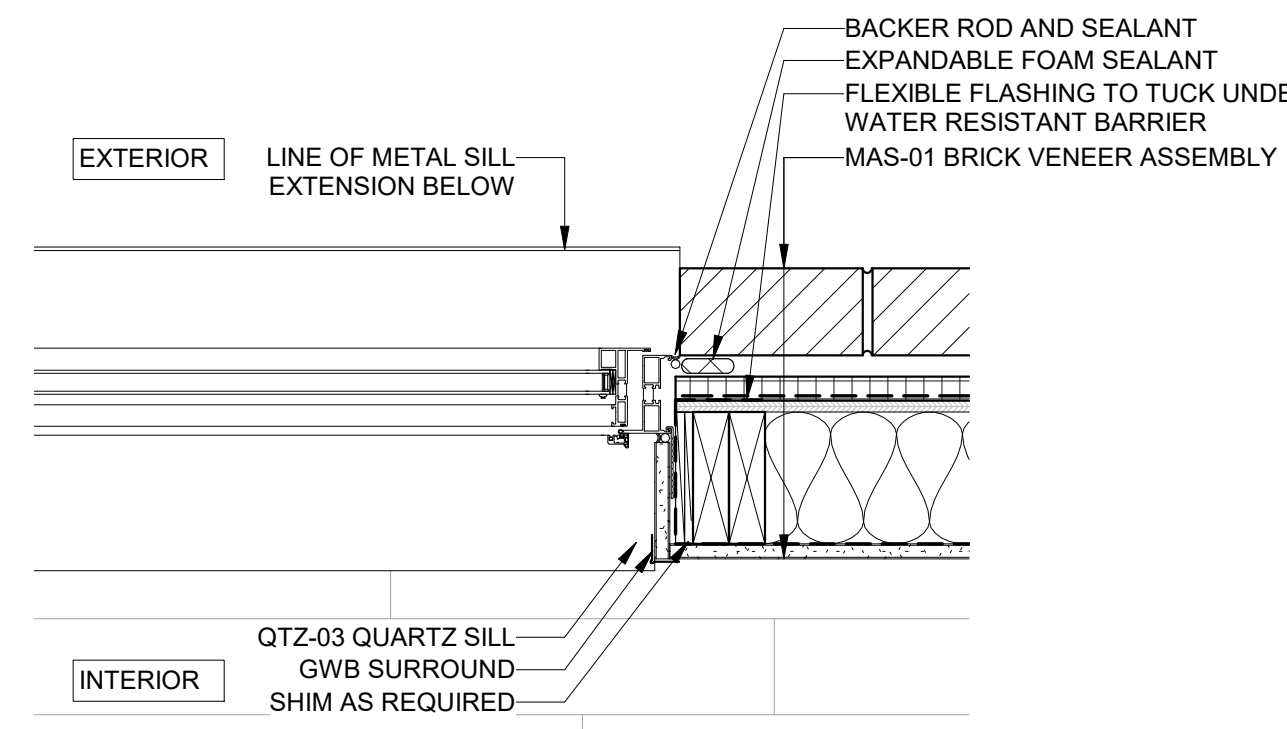




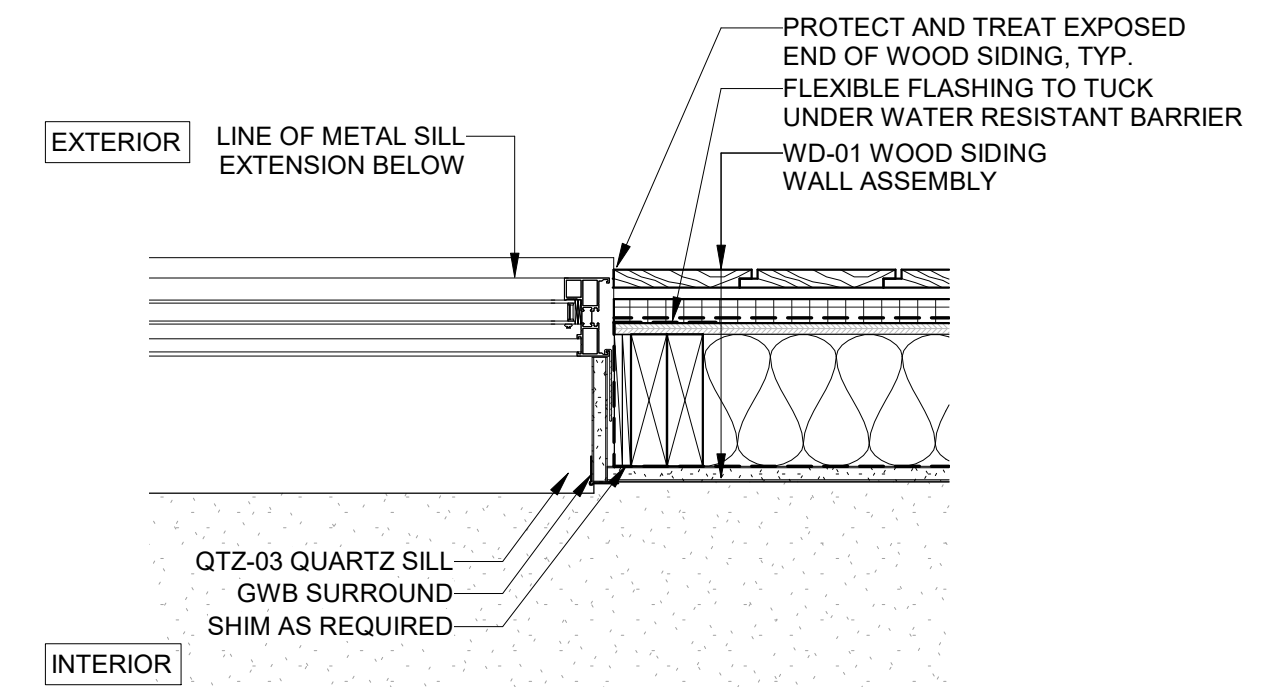
9 JAMB OPENING DETAIL - FIXED WINDOW AT BRICK  
1 1/2" = 1'-0"



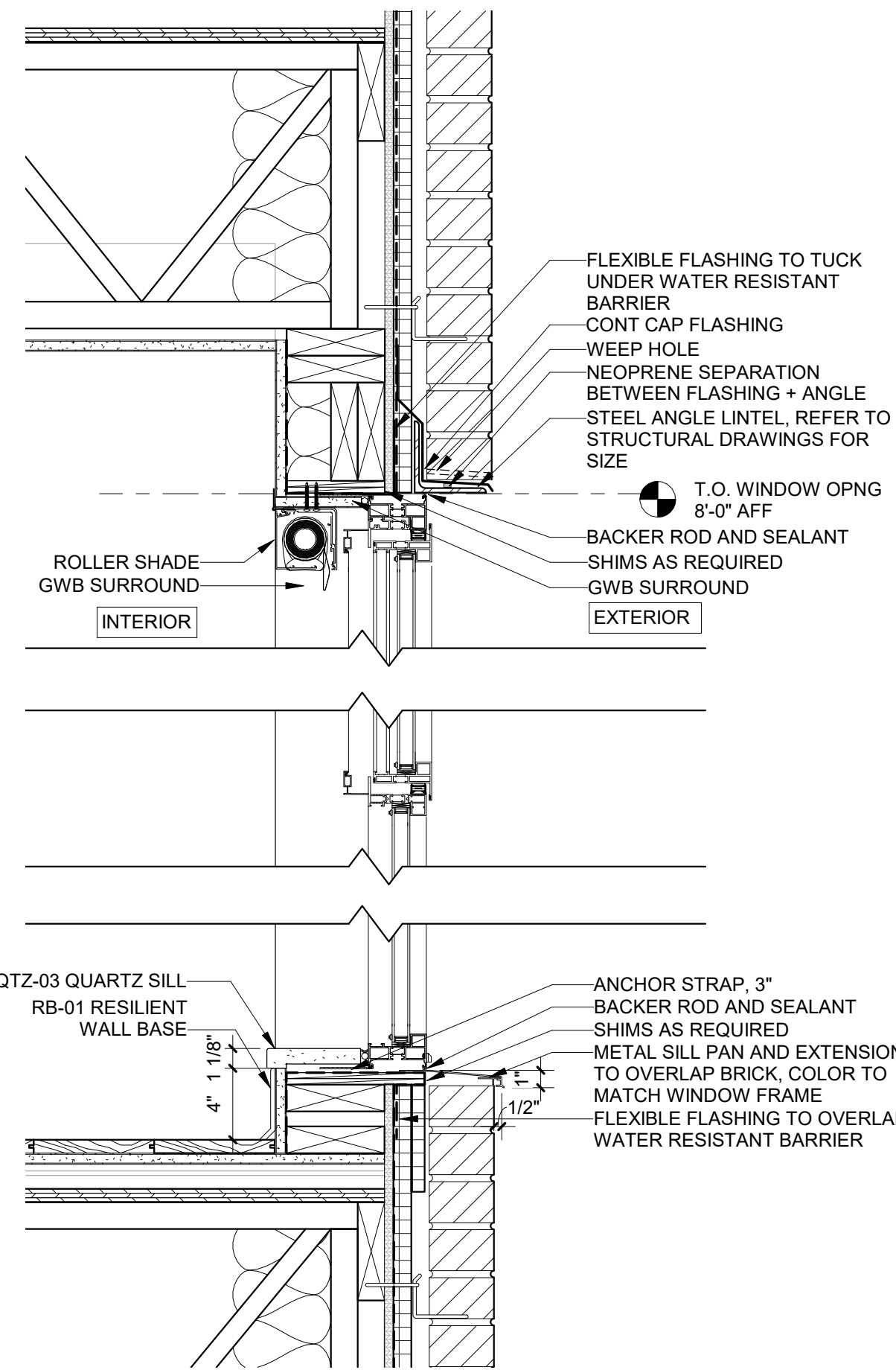
6 JAMB OPENING DETAIL - CASEMENT WINDOW BOX AT BRICK  
1 1/2" = 1'-0"



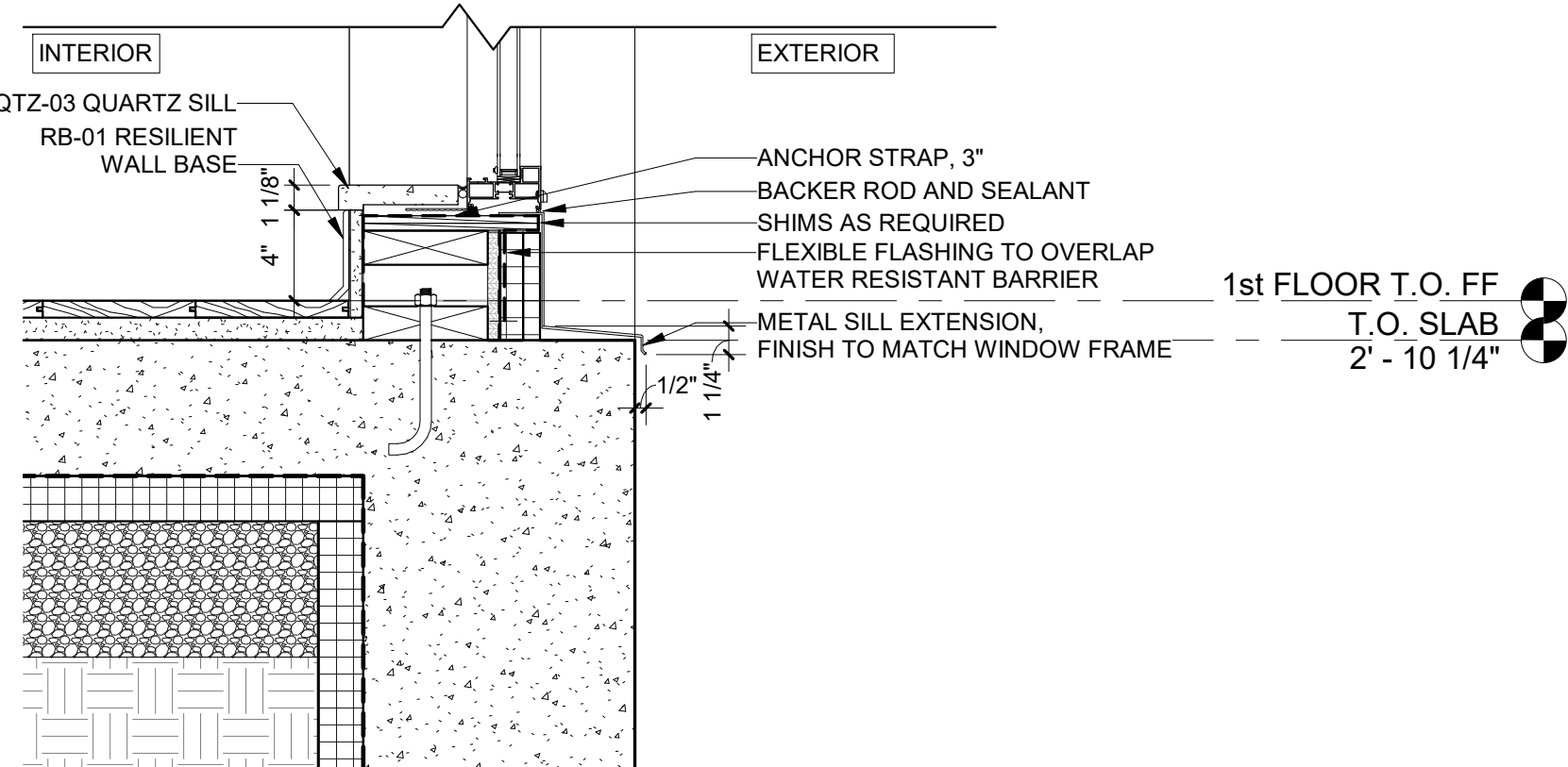
4 JAMB OPENING DETAIL - CASEMENT AT BRICK  
1 1/2" = 1'-0"



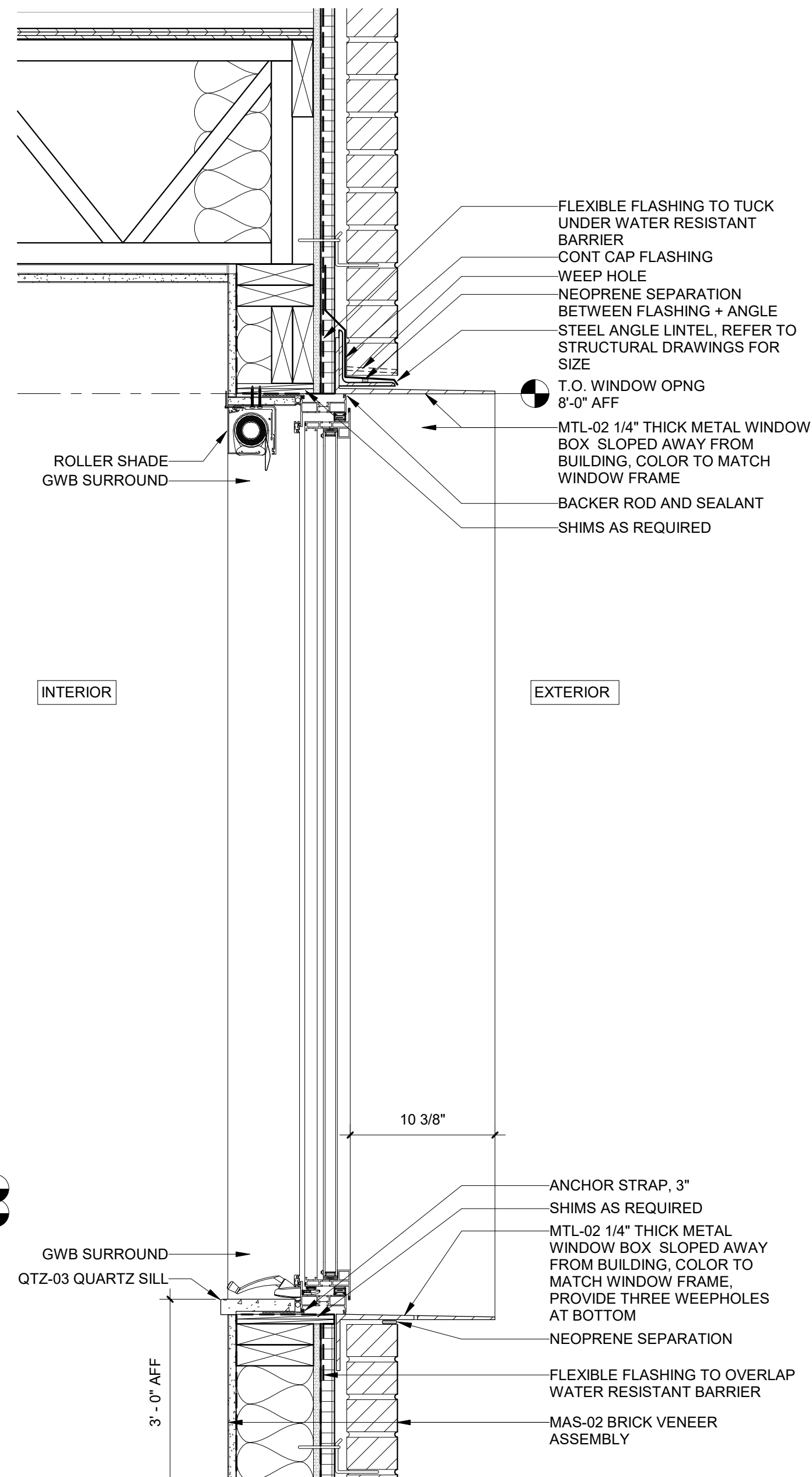
2 JAMB OPENING DETAIL - FIXED WINDOW @ WOOD  
1 1/2" = 1'-0"



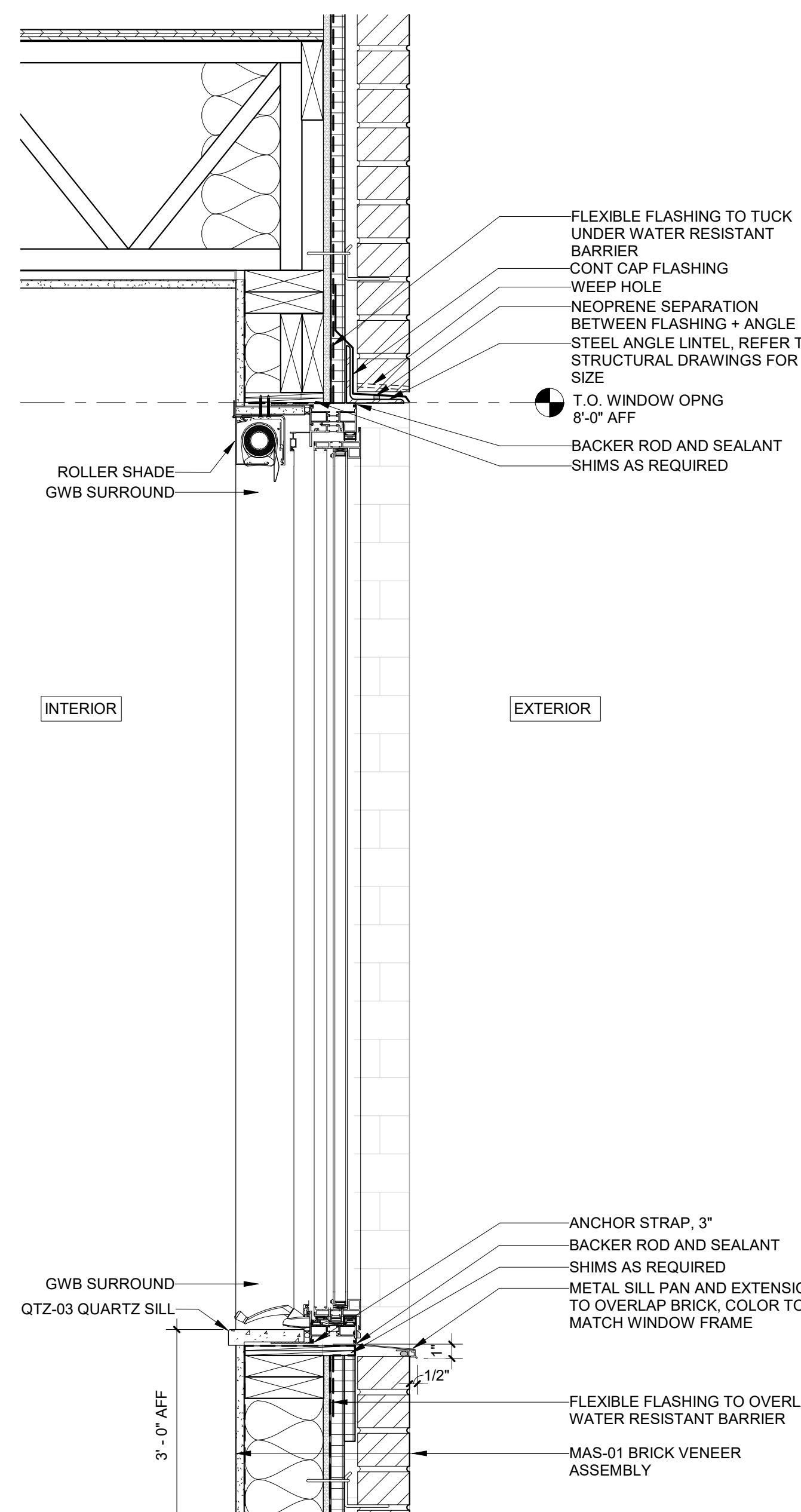
8 LEVEL 2-4 HEAD/SILL OPENING DETAIL - FIXED + CASEMENT WINDOW AT BRICK  
1 1/2" = 1'-0"



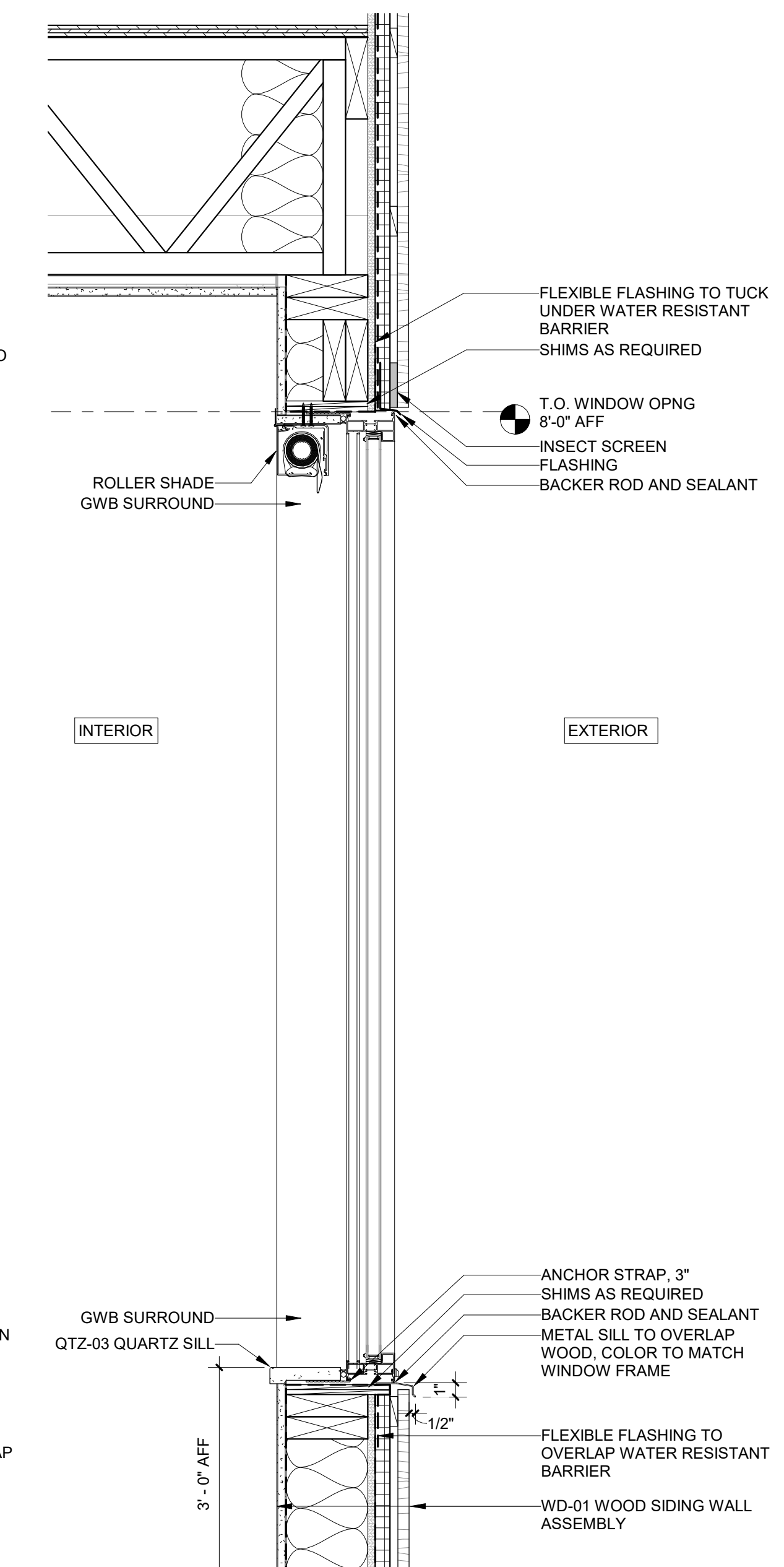
7 LEVEL 1 SILL OPENING DETAIL - FIXED + CASEMENT WINDOW @ BRICK (SEE ABOVE HEAD DETAIL)  
1 1/2" = 1'-0"



5 HEAD/SILL OPENING DETAIL - CASEMENT W/ WINDOW BOX AT BRICK  
1 1/2" = 1'-0"



3 HEAD/SILL OPENING DETAIL - CASEMENT WINDOW AT BRICK  
1 1/2" = 1'-0"



1 HEAD/SILL OPENING DETAIL - FIXED WINDOW AT WOOD  
1 1/2" = 1'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1192 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1 1/2" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

**EXTERIOR WINDOW DETAILS**

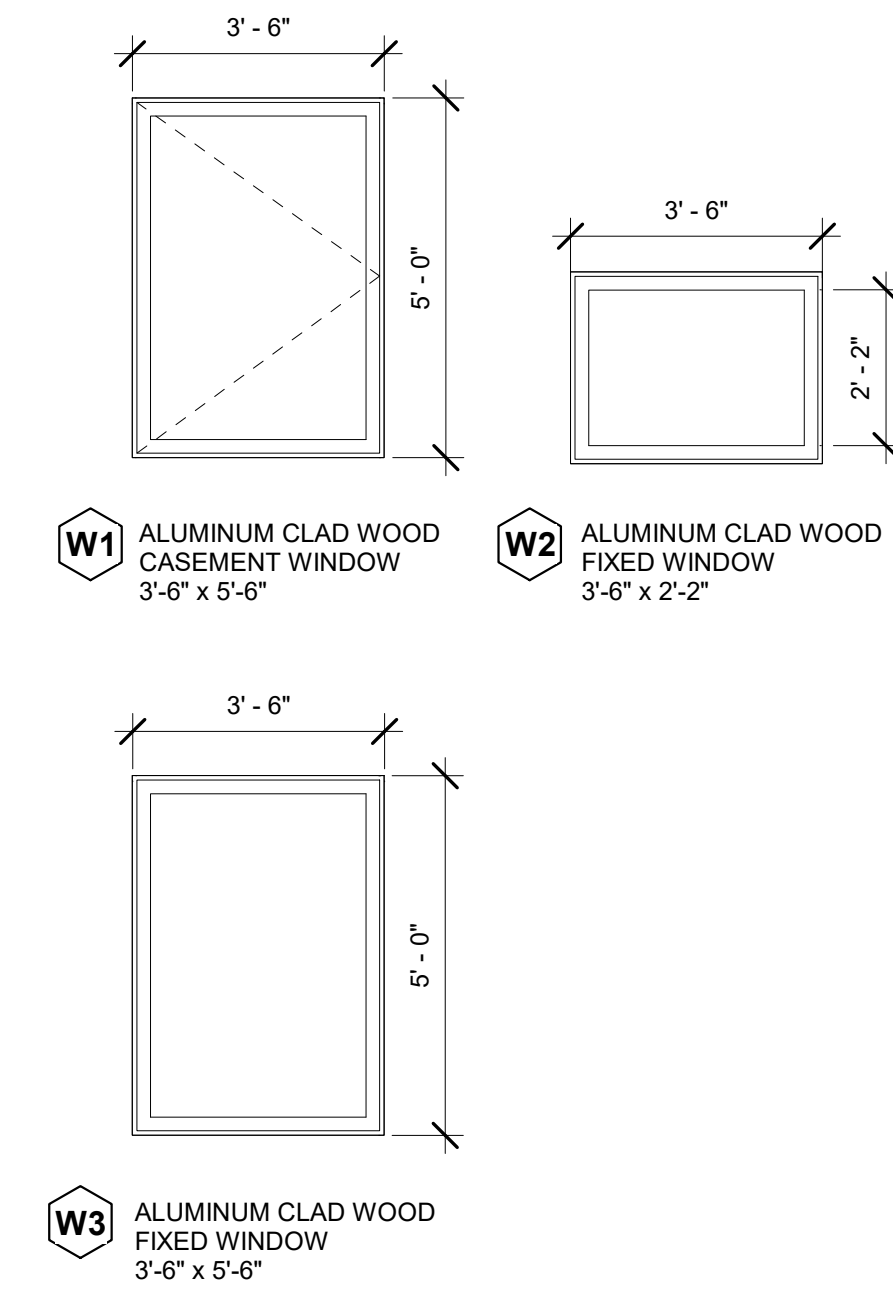
SHEET NO.

**A-511**

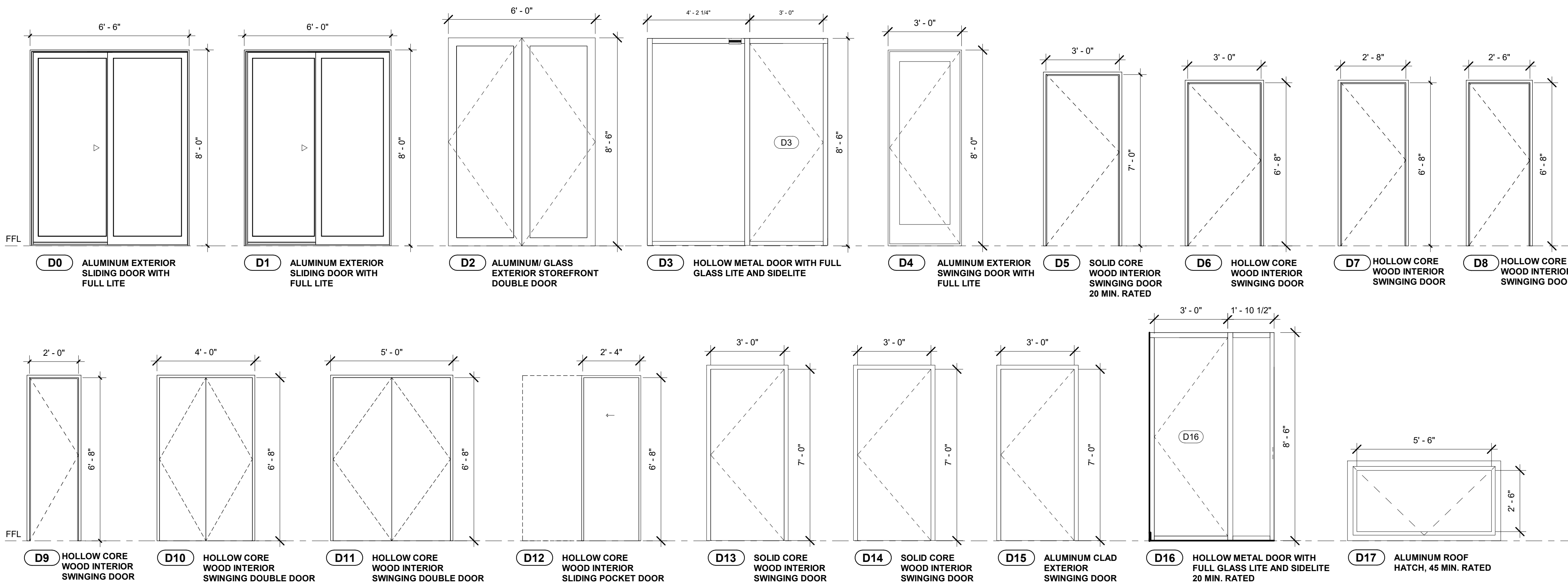
100% CD / PERMIT SET



**WINDOW LEGEND**



**DOOR LEGEND**



**WINDOW SCHEDULE**

Mark	Location	Count	Width	Height	Description	Basis of Design	Frame Finish	Head/ Sill	Jamb
W1	Units	107	3'-6"	5'-0"	Aluminum Casement Window	Quaker, M600 ModernVu	Dark Bronze Anodized	3/5, A-511	4/6, A-511
W2	Units	27	3'-6"	2'-8"	Aluminum Fixed Window	Quaker, M600 ModernVu	Dark Bronze Anodized	7/8, A-511	9, A-511
W3	Lobbies, Residential Storage 2,3	4	3'-6"	5'-0"	Aluminum Fixed Window	Quaker, M600 ModernVu	Dark Bronze Anodized	1, A-511	2, A-511
<b>Total: 138</b>									

Mark	Location	Count	Size			Fire Rating	Description	Door			Frame			Sidelite		Hardware			Additional Hardware		
			Width	Height	Thickness			Basis of Design	Finish	Glass Size	Glass Type	Description	Head/ Sill	Jamb	Finish	Glass Size	Glass Type	Handle		Latch	Hinges
D0	Unit Balcony	3	6'-6"	8'-0"	2-1/8" stile	-	Aluminum Exterior Sliding Door with Full Lite	Quaker, M600 Sliding Door	Dark Bronze Anodized	2'-9" x 7'-2" per leaf	1" Tempered	Aluminum	7, 8, A-510	9, A-510	Dark Bronze Anodized	-	-	Flush Handle (per manufacturer options)	TBD	Steel Rollers/ Stainless Steel Track	-
D1	Unit Balcony	15	6'-0"	8'-0"	2-1/8" stile	-	Aluminum Exterior Sliding Door with Full Lite	Quaker, M600 Sliding Door	Dark Bronze Anodized	2'-6" x 7'-2" per leaf	1" Tempered	Aluminum	8, A-510	9, A-510	Dark Bronze Anodized	-	-	Flush Handle (per manufacturer options)	TBD	Steel Rollers/ Stainless Steel Track	-
D2	Lobby Entrances	2	6'-0"	8'-0"	2-1/4"	-	Aluminum/ Glass Exterior Storefront Double Door	Kawneer Insulclad 360 Thermal Entrance	Dark Bronze Anodized	2'-3 7/8" x 7'-4 7/8" per leaf	1" Tempered	Aluminum	5, A-510	6, A-510	Dark Bronze Anodized	-	-	Arbortek Rockwood Straight Pull RM4160 Black Suede Powder Coat + Maple, Standard Domestic 48" (per manufacturer)	Adams-Rite MS 1850A deadlock	Steel, bearing type	1601 BF adjustable surface closer with hold-open, Card Reader, ADA automatic door opener Push Button, Exit Device
D3	Lobby Airlock	1	3'-0"	8'-3"	1-3/4"	-	Hollow Metal Door with Full Glass Lite and Sidelite	Ceco Assa Abloy Thrulite 3-5/8" Sile + Rail Entrance Door (No Center Rail)	Dark Bronze Anodized	2'-4 7/8" x 7'-1 7/8"	1" Tempered	Hollow Metal Series BQ	1, 7, A-602	9, A-602	Dark Bronze Anodized	8'-6" x 4'-2 1/4"	1" Tempered	Sargent Lock IN120 7976 B E4 MI 20D RH Set Dark Statuary Bronze Clear Powder Coat	-	Steel, bearing type	Closer, Card Reader (see Handle), ADA Push Paddle
D4	Unit Balcony	9	3'-0"	8'-0"	2-1/4"	-	Aluminum Clad Exterior Swinging Door with Full Lite	Quaker, ModernVu Terrace Door - Inswing	Dark Bronze Anodized	2'-2" x 7'-2"	1" Insulated	Aluminum	3, A-510	4, A-510	Dark Bronze Anodized	-	-	Kwikset Halifax 156HFLRDT-514 SMT Iron Black (Keyed Entry)	TBD	Steel, bearing type	-
D5	Unit Entries	31	3'-0"	7'-0"	1-3/4"	20 min.	Solid Core Wood Interior Swing Door	Masonite Architectural Aspiro Marshfield-Algoma Paintable Particleboard Core	PT-04	-	-	Wood	3, 8 A-602	10, A-602	PT-04	-	-	Sargent Lock IN120 7976 B E4 MI 20D RH Set, Dark Statuary Bronze Clear Powder Coat	3/4" Projection Stainless Steel Latchbolt 1" Projection Steel Deadbolt Per Lockset	Steel, bearing type	Peephole Viewer, Closer, Door Position Switch, Electric Mortise Lock, Card Reader (see Handle)
D6	Unit Interiors	18	3'-0"	6'-8"	1-3/4"	-	Hollow Core Wood Interior Swing Door	Steve's Doors Flush - Primed Smooth Hardboard	PT-01	-	-	Wood	4, 5 Sim, 8 A-602	10, A-602	PT-01	-	-	Kwikset Milan 155MLRDT-514, Iron Black (Privacy Door Lever Set with Push Button Lock)	-	Steel, bearing type	-
D7	Unit Interiors	107	2'-8"	6'-8"	1-3/4"	-	Hollow Core Wood Swinging Door	Steve's Doors Flush - Primed Smooth Hardboard	PT-01	-	-	Wood	4, 5 Sim, 8 A-602	10, A-603	PT-01	-	-	Kwikset Milan 155MLRDT-514, Iron Black (Privacy Door Lever Set with Push Button Lock)	-	Steel, bearing type	-
D8	Unit Interiors	40	2'-6"	6'-8"	1-3/4"	-	Hollow Core Wood Swinging Door	Steve's Doors Flush - Primed Smooth Hardboard	PT-01	-	-	Wood	4, 5 Sim, 8 A-602	10, A-604	PT-01	-	-	Kwikset Milan 157MLRDT-514, Iron Black (Reversible, Non-Turning One-Sided Dummy Door)	-	Steel, bearing type	-
D9	Unit Closets	2	2'-0"	6'-8"	1-3/4"	-	Hollow Core Wood Swinging Door	Steve's Doors Flush - Primed Smooth Hardboard	PT-01	-	-	Wood	4, 5 Sim, 8 A-602	10, A-605	PT-01	-	-	Kwikset Milan 157MLRDT-514, Iron Black (Reversible, Non-Turning One-Sided Dummy Door)	-	Steel, bearing type	-
D10	Unit Closets	5	4'-0"	6'-8"	1-3/4"	-	Hollow Core Wood Swinging Double Door	Steve's Doors Flush - Primed Smooth Hardboard	PT-01	-	-	Wood	4, 5 Sim, 8 A-602	10, A-606	PT-01	-	-	Kwikset Milan 157MLRDT-514, Iron Black (Reversible, Non-Turning One-Sided Dummy Door)	-	Steel, bearing type	-
D11	Unit Closets	51	5'-0"	6'-8"	1-3/4"	-	Hollow Core Wood Swinging Double Door	Steve's Doors Flush - Primed Smooth Hardboard	PT-01	-	-	Wood	4, 5 Sim, 8 A-602	10, A-607	PT-01	-	-	Kwikset Milan 157MLRDT-514, Iron Black (Reversible, Non-Turning One-Sided Dummy Door)	-	Steel, bearing type	-
D12	Unit F Walk-in Closet	3	2'-4"	6'-8"	1-3/4"	-	Hollow Core Wood Sliding Pocket Door	Steve's Doors Flush - Primed Smooth Hardboard	PT-01	-	-	Wood	4, 5 Sim, 8 A-602	10, A-608	PT-01	-	-	Emtek Modern Z2030US19, Flat Black (Rectangular 4 Inch Tall Flush Door Pull)	-	Steel, bearing type	Johnson 100PDSC Soft-Close Pocket Door Hardware or sim.
D13	Common Stairs 1 & 2	8	3'-0"	7'-0"	1-3/4"	90 min.	Solid Core Wood Interior Swing Door	Masonite Architectural Aspiro Marshfield-Algoma Paintable Fire-Resistant Mineral Core	PT-04 TYP. PT-06 @ Lobby 1	-	-	Wood	4, 5 Sim, 8 A-609	10, A-609	PT-04 TYP. PT-06 @ Lobby 1	-	-	Kwikset Halifax 156HFLRDT-514 SMT, Iron Black (Keyed Entry)	-	Steel, bearing type	Card Reader, Exit Device (Push Bar)
D14	Residential Storage 1 & 2	5	3'-0"	7'-0"	1-3/4"	20 min.	Solid Core Wood Interior Swing Door	Masonite Architectural Aspiro Marshfield-Algoma Paintable Particleboard Core	PT-04	-	-	Wood	2 Sim, 8 A-602	10, A-610	PT-04	-	-	Kwikset Halifax 156HFLRDT-514 SMT, Iron Black (Keyed Entry)	-	Steel, bearing type	Card Reader, ADA Push Paddle
D15	Common Stair 2	1	3'-0"	7'-0"	1-3/4"	90 min.	Steel Clad Exterior Swinging Door	Ceco Assa Abloy Mercury Door (F) and Frame	RAL 9017	-	-	Steel	1, A-510	2, A-510	RAL 9017	-	-	Kwikset Halifax 156HFLRDT-514 SMT, Iron Black (Keyed Entry)	-	Steel, bearing type	Card Reader, Exit Device (Push Bar)
D16	Residential Storage 2 & 3	2	3'-0"	8'-3"	1-3/4"	20 min.	Hollow Metal Door with Full Glass Lite and Sidelite	Ceco Assa Abloy Thrulite 3-5/8" Sile + Rail Entrance Door (No Center Rail)	Dark Bronze Anodized	2'-4 7/8" x 7'-1 7/8"	1" Tempered	Hollow Metal Series BQ	1 Sim, 7, A-602	9, A-602	Dark Bronze Anodized	8'-6" x 1'-10 1/2"	1" Tempered	Sargent Lock IN120 7976 B E4 MI 20D RH Set, Dark Statuary Bronze Clear Powder Coat	-	Steel, bearing type	Closer, Card Reader (see Handle)
D17	Roof Access	1	2'-6"	1'-0"	-	-	Aluminum Roof Hatch	Blco, NB-TB	Mill Finish	-	-	Aluminum	-	-	Mill Finish	-	-	Per Manufacturer (Interior and exterior turn handles and padlock hinges, zinc plated chromate sealed)	Slam latch, zinc plated chromate sealed (per manufacturer)	Type 316 steel hinges (per manufacturer)	-
<b>Total: 304</b>																					

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0260

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-462-0045  
F: 248-462-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 3/8" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

**WINDOW & DOOR SCHEDULES**

SHEET NO.

**A-601**

100% CD/ PERMIT SET



**PAINT GENERAL NOTES:**

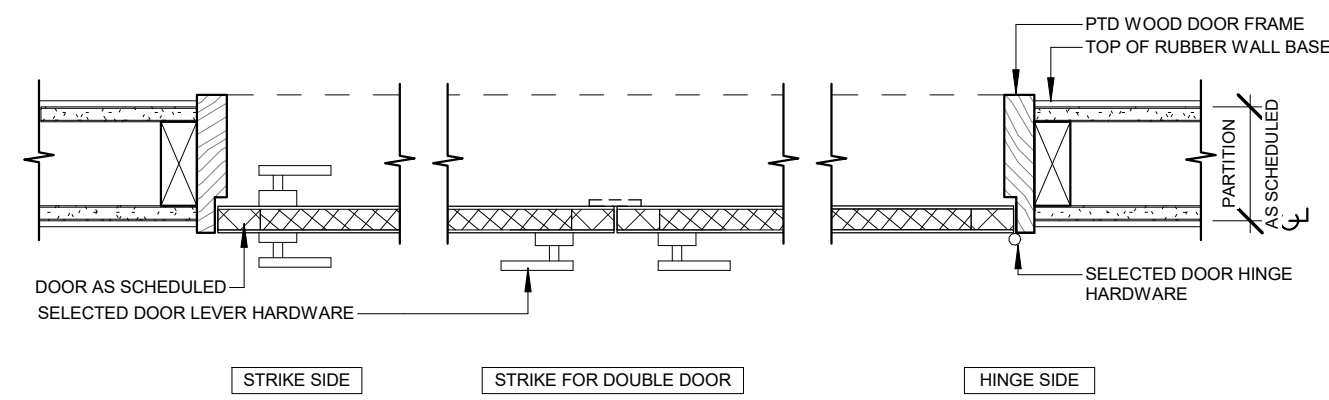
1. CEILINGS SCHEDULED TO RECEIVE PAINT SHALL RECEIVE A FLAT FINISH UNLESS OTHERWISE NOTED
2. WALLS SCHEDULED TO RECEIVE PAINT SHALL RECEIVE AN EGGSHELL FINISH UNLESS OTHERWISE NOTED
3. ALL WALLS TO BE PAINTED PT-01 UNLESS NOTED OTHERWISE. REFER TO ROOM FINISH SCHEDULE AND INTERIOR ELEVATIONS
4. WET AREAS SCHEDULED TO RECEIVE PAINT SHALL RECEIVE A SEMI-GLOSS FINISH (E.G. TOILET ROOMS, SHOWER ROOMS, AND WALLS BEHIND DRINKING FOUNTAINS) FOR ALL SURFACES (WALLS, CEILINGS, ETC) UNLESS NOTED OTHERWISE
5. ALL DOORS AND FRAMES TO RECEIVE PAINT SHALL RECEIVE SEMI-GLOSS FINISH. ALL DOORS, DOOR FRAMES, TRIM, AND WINDOW FRAMES TO BE PT-01 UNLESS NOTED OTHERWISE
6. TYPICAL CONDITIONS HAVE BEEN INDICATED ON DRAWINGS BUT DO NOT EXPRESS ALL CONDITIONS. THE INDICATION OF PAINTING DOES NOT PRECLUDE PAINTING ON OTHER AREAS NOT INDICATED ON DRAWINGS
7. PROVIDE ACCENT PAINT COLOR MOCKUP FOR ARCHITECT APPROVAL OF ACCENT PAINT COLORS AND LOCATIONS

**FLOORING GENERAL NOTES:**

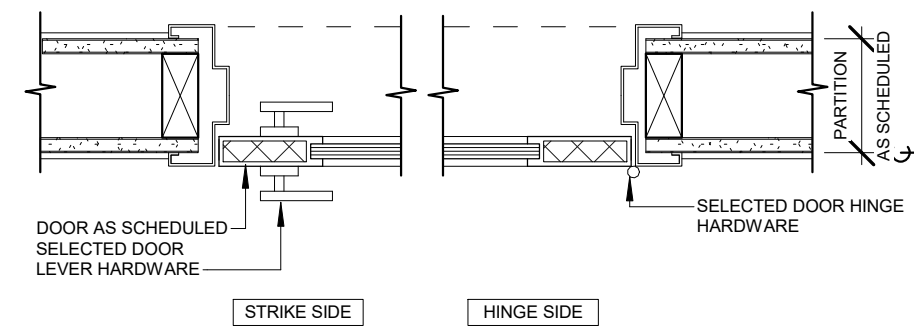
1. PREPARE ALL FLOORING SUBSTRATES TO RECEIVE NEW FLOORING MATERIAL. MAKE ALL TRANSITIONS FLUSH AND CLEAN AS REQUIRED TO RECEIVE NEW FLOORING MATERIAL
2. EXTEND FLOORING INTO TOE SPACES AND KNEE SPACES AS NEEDED
3. INSTALL FLOORING UNDER ALL FLOOR MOUNTED EQUIPMENT
4. TERMINATE FLOORING MATERIAL AT THRESHOLD, PER FLOORING TRANSITION DETAILS, WHERE ADJACENT FLOOR FINISH AND/OR COLOR IS DISSIMILAR
5. ADA COMPLIANT TRANSITION/ REDUCER STRIPS TO BE USED AT MATERIAL HEIGHT DIFFERENCE AND DISSIMILAR MATERIALS, U.O.N.
6. FLOORING CONTRACTOR TO SUBMIT SEAMING PATTERN TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION
7. ALL GROUT JOINTS TO ALIGN WITH ADJACENT WALL TILE/ BASE TILE, U.O.N. CONTRACTOR TO SUBMIT GROUT AND TILE LAYOUT FOR APPROVAL PRIOR TO INSTALLATION

**FINISH GENERAL NOTES:**

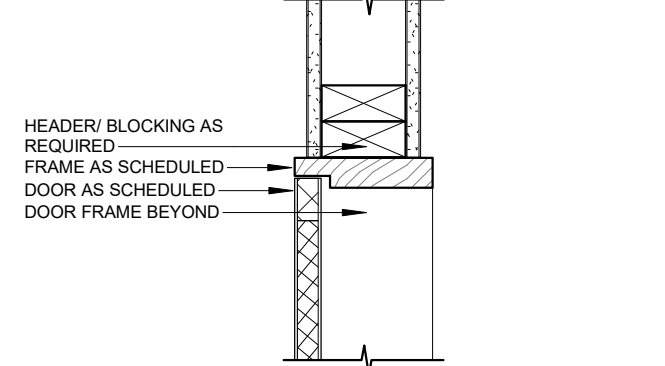
1. ALL FINISHES SHALL BE PROVIDED AS SPECIFIED. NO SUBSTITUTIONS, U.O.N.
2. DISCREPANCIES IN FINISH DESIGNATIONS SHALL BE BROUGHT TO THE ATTENTION TO THE ARCHITECT FOR RESELECTION OR CLARIFICATION



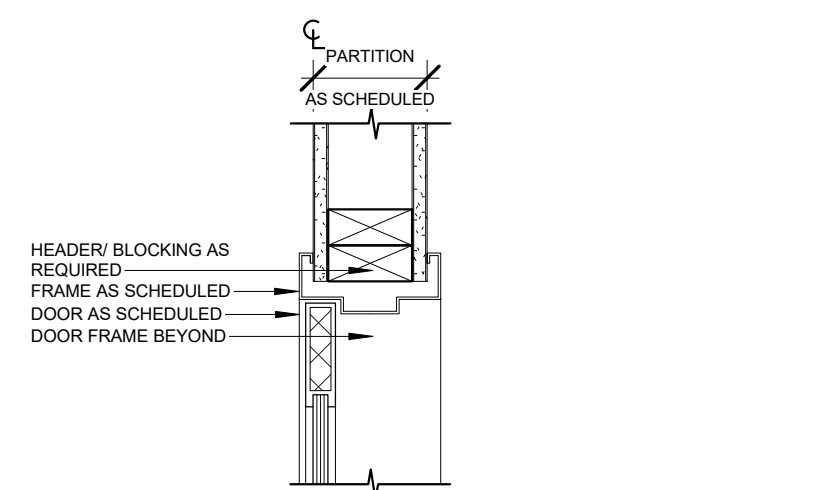
10 PLAN DETAIL - WOOD FRAME SWING DOOR, TYP.  
1 1/2" = 1'-0"



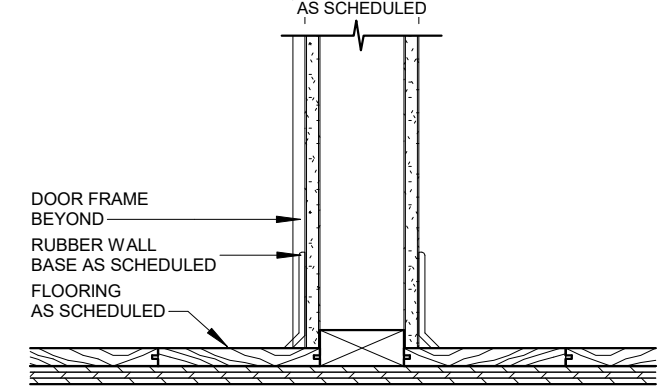
9 PLAN DETAIL - HOLLOW METAL FRAME SWING DOOR, TYP.  
1 1/2" = 1'-0"



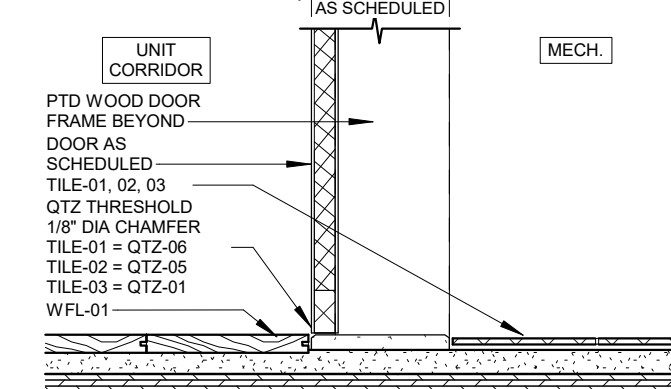
8 SECTION DETAIL - WOOD FRAME SWING DOOR, TYP.  
1 1/2" = 1'-0"



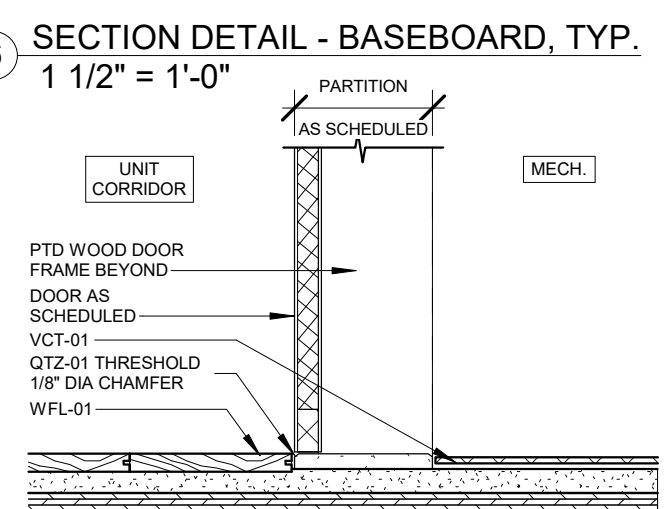
7 SECTION DETAIL - HOLLOW METAL FRAME SWING DOOR, TYP.  
1 1/2" = 1'-0"



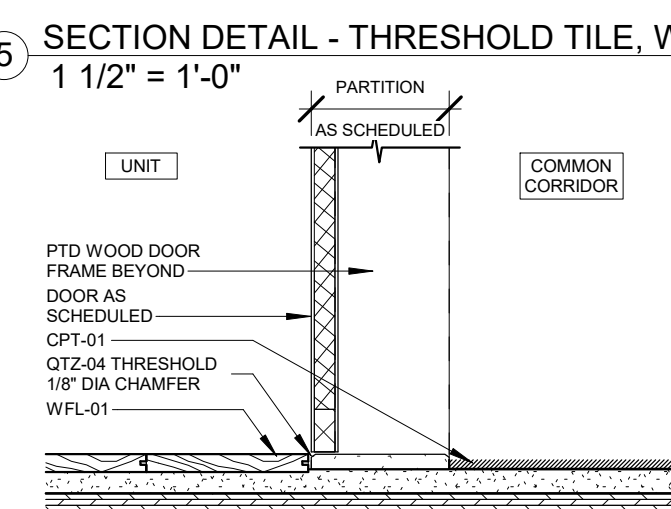
6 SECTION DETAIL - BASEBOARD, TYP.  
1 1/2" = 1'-0"



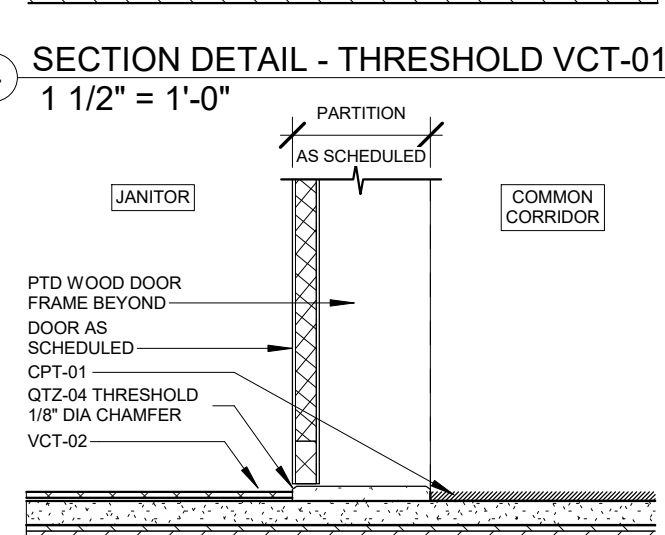
5 SECTION DETAIL - THRESHOLD TILE, WFL-01  
1 1/2" = 1'-0"



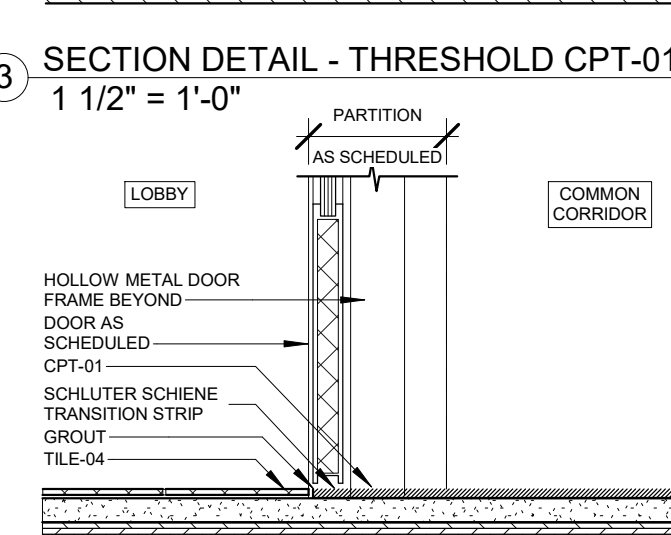
4 SECTION DETAIL - THRESHOLD VCT-01, WFL-01  
1 1/2" = 1'-0"



3 SECTION DETAIL - THRESHOLD CPT-01, WFL-01  
1 1/2" = 1'-0"



2 SECTION DETAIL - THRESHOLD CPT-01, VCT-02  
1 1/2" = 1'-0"



1 SECTION DETAIL - THRESHOLD CPT-01, TILE  
1 1/2" = 1'-0"

	Description	Manufacturer	Series/Type	Finish/Color	Size/Dims	Location
<b>CONCRETE</b>						
CON-01	Concrete with Integral Color	Concrete: Locally Sourced by GC Integral Color: Butterfield Color	Uni-Mix Integral Color	U18 Gull Gray	See Floor Plans	Stoop and Steps at Building Exterior
CON-02	Concrete, Exposed Foundation Wall	Locally Sourced by GC	--	--	varies	Exposed Foundation wall at Building Base up to +36" above Grade
CON-03	Concrete with Non-slip Traffic Coating	Concrete: Locally Sourced by GC Coating: New Dimensions Solutions	No Slip Skid Safe System™ For Concrete	Satin/ Matte	varies	First Floor Balcony Flooring; Treads and Landings at Metal Pan Stair MTL-03
<b>MASONRY</b>						
MAS-01,02,03	Brick Veneer	Interstate	2-1/4" Modular	Monterey red mix	3-5/8" x 2-1/4" x 7-5/8" (Modular)	Exterior Cladding
CMU-01	Concrete Masonry Unit	Locally Sourced by GC	--	--	8" x 8" x 16"	Common Stair 1 Shaft Enclosure
<b>METALS</b>						
MTL-01	Steel Railing and Spindles	American Stair	Custom with stock flat metal	Powder-coated Dark Bronze to match window finish	Per detail 3/ A-504	Balcony Guardrail; Ramp and Stair Guard and Handrail
MTL-02	Steel Window Box	Locally Sourced by GC	--	Powder-coated Dark Bronze to match window finish	Per detail 5/ A-511	At Windows noted on Exterior Elevations
MTL-03	Metal Pan Stairs and Railing	American Stair	Box Stringer, Metal Pan Tread, Vertical Picket Railing	Powder-coated to match PT-07 color	Per drawings A-800, A-801	Common Stair 1 and 2
MTL-04	Steel Wall Panels	Brandner Design or equal ( <a href="https://brandnerdesign.com/">https://brandnerdesign.com/</a> )	Blackened hot rolled (from standard steel finish)	Sealer	16-gauge, Glue applied to substrate, Per detail 6/ A-901	Lobby 1 Walls for Mailboxes, Package Drop, and Receptacle
<b>WOOD</b>						
WD-01	Cedar Siding	Locally Sourced by GC	Red Cedar species	A-Grade Clear, Siplap, Vertical Application	4" wide	Exterior Cladding
WD-02	Composite Wood Decking	Trex	Transcend	Havana Gold	1" Square Edge Board	Balcony Flooring
WD-03	Top Rail Wood Trim	Locally Sourced by GC	Pine species	Painted to match wall finish	Per detail 2/A-900	Unit Stair
<b>MOISTURE PROTECTION</b>						
MEM-01	EPDM Membrane	Johns Manville	Adhered 60 mil 2 Sided FIT EPDM over Adhered Invinsa Cover Board (150 psi) and Energy 3 CGF 25 psi ISO	Black color	60-mil thick	Roof Covering
MEM-02	EPDM Membrane	Johns Manville	Adhered 60 mil 2 Sided FIT EPDM	Black color	60-mil thick	Covering beneath Balcony Decking
<b>OPENINGS</b>						
MIR-01	Mirror	Locally Sourced by GC	--	Frameless, Clear finish	Per Bathroom layout on A-721 through A-721	Unit Bathroom
<b>STONE &amp; TILE</b>						
QTZ-01	Quartz (Cultured Stone)	Caesarstone	--	Airy Concrete 4044 color	2-cm thick, square edge	Unit Kitchen Countertop and Backsplash
QTZ-02	Quartz (Cultured Stone)	mti bath	SculptureStone, Boutique collection bathroom counter sink (Custom)	White	Integrated Vanity/ Basin and 3" Backsplash, per sheets A-700s and A-901	Unit Bathroom
QTZ-02 (ALT)	Quartz (Cultured Stone)	Avanity	Solid Surface #VUT81WT (61 in vanity), #VUT37WT (37 in vanity), #VUT31WT (31 in vanity)	Solid White	Integrated Vanity/ Basin and 3" Backsplash, per sheets A-700s and A-901	Unit Bathroom
QTZ-03	Quartz (Cultured Stone)	Locally Sourced by GC	Dwyer Marble and Stone ENVI™ ENGINEERED QUARTZ	TEMPLE WHITE	2-cm thick	Window Sill
QTZ-04	Quartz (Cultured Stone)	Locally Sourced by GC	Dwyer Marble and Stone ENVI™ ENGINEERED QUARTZ	ASH SUEDE FINISH	3-cm thick	Unit Door Threshold
QTZ-05	Quartz (Cultured Stone)	Locally Sourced by GC	Dwyer Marble and Stone ENVI™ ENGINEERED QUARTZ	Grey Birch Suede Finish	3-cm thick	Bathroom 1 Door Threshold
QTZ-06	Quartz (Cultured Stone)	Locally Sourced by GC	Dwyer Marble and Stone ENVI™ ENGINEERED QUARTZ	Metro Slate Brushed	3-cm thick	Bathroom 2 Door Threshold
TILE-01	Porcelain Tile	Stone Source	Giocare	Grey	8.5mm thick	Unit Full Bathroom Flooring and Wet Walls
TILE-02	Porcelain Tile	Nemo Tile	Tread	Neutral	10mm thick	Unit Half Bathroom Flooring
TILE-03	Ceramic Tile	Dattile	Balans	White BA30 color	5/16" thick	Unit Laundry Room Flooring
TILE-04	Porcelain Tile	Stone Source	Gris	Ancienne	24"x48"x10mm	Lobby 1 Flooring
WF-01	Engineered Wood Flooring	Havwoods	PurePlank	HW2204 Provence	7 1/8" wide	Unit Flooring
<b>CEILING</b>						
ACT-01	Acoustic Ceiling Tile	Armstrong	Ultima Tegular 535 w/ Suprafine 9/16" Suspension System	White	24" x 48"	Common Corridor Ceiling
<b>FLOORING</b>						
CPT-01	Carpet, Tiles	Ege Carpets	Reform Terra ECT350	Anthracite (Black/ Grey)	96-cm x 96-cm	Common Corridor Flooring
CPT-02	High Traffic Carpet Walk-off Mat	Musson	HT-CM Hi-Traffic Carpet Entrance Matting	Black Shadow	13'-2" width, custom cut	at Doors of Lobby 1 and Common Corridor 1
VCT-01	Vinyl Composite Tile	Armstrong	Premium Excelon Crown Texture 5c899	Cool White	12" x 12" x 1/8"	Unit Mech Room Flooring
VCT-02	Vinyl Composite Tile	Armstrong	Premium Excelon Raffia 55802	Charcoal Dust	12" x 12" x 1/8"	Janitor's Room and IT Room Flooring
<b>BASE</b>						
RB-01	Resilient Wall Base	Johnsontite	Vinyl, Toe	White	4" height	Unit General
RB-02	Resilient Wall Base	Johnsontite	Vinyl, Toe	Mist	4" height	Unit Laundry Room
RB-03	Resilient Wall Base	Johnsontite	Vinyl, Toe	Burnt Umber	4" height	Common Corridor
RB-04	Resilient Wall Base	Johnsontite	Vinyl, Toe	Dover	4" height	Lobby 1
RB-05	Resilient Wall Base	Johnsontite	Vinyl, Toe	Pewter	4" height	Janitor's Room and IT Room
RB-06	Resilient Wall Base	Johnsontite	Vinyl, Toe	Vapor Grey	4" height	Unit Mech Room
<b>PAINT</b>						
PT-01	Interior Paint	Sherwin-Williams	Latex, Low VOC	Designer White color, Eggshell finish, two coats, Level 4 drywall	--	Unit Walls and Trim
PT-02	Interior Paint	Sherwin-Williams	Latex, Low VOC	Designer White color, Flat finish, two coats, Level 4 drywall	--	Unit Ceilings
PT-03	Interior Paint	Sherwin-Williams	Latex, Low VOC	Designer White color, Semi-gloss finish, two coats, Level 4 drywall	--	Unit Bathroom Walls and Ceilings
PT-04	Interior Paint	Benjamin Moore	Latex, Low VOC	Iron Mountain, Flat finish, two coats, Level 4 drywall	--	Unit Entry area along Common Corridor
PT-05	Interior Paint	Benjamin Moore	Latex, Low VOC	Iron Mountain, Flat finish, two coats, Level 4 drywall	--	Lobby 1 Ceiling
PT-06	Interior Paint	Sherwin-Williams	Latex, Low VOC	Solstice, Eggshell finish, two coats, Level 4 drywall	--	Common Corridor Walls, Lobby walls
PT-07	Interior Paint	Sherwin-Williams	Latex, Low VOC	Common Stair Accent 1, Eggshell finish, two coats, Level 4 drywall	--	Common Stair 1 and 2 Stairs, Railing, Walls, Ceilings
PT-08	Interior Paint	Sherwin-Williams	Latex, Low VOC	Common Stair Accent 2, Eggshell finish, two coats, Level 4 drywall	--	Common Stair 1 and 2 Stairs, Railing, Walls, Ceilings
PT-09	Interior Paint	Sherwin-Williams	Latex, Low VOC	Common Stair Accent 3, Eggshell finish, two coats, Level 4 drywall	--	Common Stair 1 and 2 Stairs, Railing, Walls, Ceilings
<b>SPECIALTIES</b>						
WT-01	Roller Shade	Hunter Douglas	Designer Roller Shades, Cordless	White (Fabric TBD), Solar Screen Fabric and 1% Opacity	Per window dimensions	Unit General
WT-02	Roller Shade	Hunter Douglas	Designer Roller Shades, Cordless	White (Fabric TBD), Solid Blackout	Per window dimensions	Unit Bedrooms and Bathrooms
GL-01	Shower Enclosure	C.R. Laurence Co.	Tempered Glass Wall and Door	Clear Glass, U-Channel at shower sill and wall for panels. Stainless Steel hinges.	Per detail 3/A-902	EnSuite Bathroom (Units F, G, G')
<b>FURNISHINGS</b>						
WV-01	Wood Veneered Cabinetry	Locally Sourced by GC	Flat Panel, Full Overlay	White	Per detail 2/A-902	Unit Kitchen
WV-02	Wood Veneered Vanities	Locally Sourced by GC	Flat Panel, Full Overlay	White	Per detail 1/A-902	Unit Bathroom

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1092 WOODWARD AVE  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0262

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 05/15/2020

DRAWING TITLE

**MATERIAL INDEX & TRANSITION DETAILS**

SHEET NO.

**A-602**

100% CD/ PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-676-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LYONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0369

CODE CONSULTANT

CODE REP CONSULTANTS  
154 BURNING ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE:

DATE: 05/15/2020

DRAWING TITLE

**SCHEDULES**

SHEET NO.

**A-603**

100% CD/ PERMIT SET

**ACCESSORIES & EQUIPMENT SCHEDULE**

Type Mark	Location	Description	Manufacturer	Type	Model	Finish
				Exit Sign		
GB-01	Bathroom	Components Grab Bar	Kohler	42" Grab Bar	K-25162-BL	Matte Black
GB-02	Bathroom	Components Grab Bar	Kohler	24" Grab Bar	K-78387-BL	Matte Black
MAIL	Lobby	Mailboxes	Florence Manufacturing Co	Versatile	4C09D (See Elevations A-730)	Black (BK)
ROD-01	Bathroom	Shower Rod	Allied Brass	60" Shower Curtain Rod	SR-60-BKM	Matte Black
ROD-02	Unit Closets	Shelf & Heavy Duty Rod	TBD	TBD	(Not Wire System)	White
SS-01	Bathroom	Choreograph Floating Shower Shelf	Kohler	21" Shower Shelf	K-97623-BNK	Anodized Brushed Nickel
STO-01	Residential Storage 1	Welded Wire Tenant Storage Units, 2 stacked	BeastWire Mesh Guarding	2'-0"x 4'-0"	--	Gray
STO-02	Residential Storage 2, 3	Welded Wire Tenant Storage Units, 2 stacked	BeastWire Mesh Guarding	3'-0"x 4'-0"	--	Gray
TP-01	Bathroom	Composed Pivoting Toilet Tissue Holder	Kohler	Toilet Paper Holder	K-73147-BL	Matte Black
TR-01	Bathroom	Components Towel Bar	Kohler	Towel Bar 24"	K-78373-BL	Matte Black
TR-02	Bathroom	Components Towel Arm	Kohler	Towel Arm	K-78377-BL	Matte Black
TRASH	Lobby	Trash Receptacle	American Specialties Inc.	Piatto Collection Waste Receptacle	6474-41	Matte Black

**APPLIANCE SCHEDULE**

Type Mark	Location	Description	Manufacturer	Type	Model	Finish
				Exit Sign		
D-01	Laundry	Dryer Front Loading	Bosch	500 Series Compact Condensation Dryer 24"	WTG86401UC	White
DW-01	Kitchen	Dishwasher	Whirlpool	Stainless Steel Dishwasher	WDF560SAFM	Stainless Steel
DW-02	Kitchen (Type A)	Dishwasher	Whirlpool	Stainless Steel Dishwasher (Short)	WDF550SAHS	Stainless Steel
MW-01	Kitchen	Microwave Oven	Whirlpool	1.7 cu. ft. Microwave Hood Combination	WMH31017HS	Stainless Steel
MW-02	Kitchen (Type A)	Microwave Oven	Whirlpool	1.7 cu. ft. Microwave Hood Combination (Type A)	WMH31017HS	Stainless Steel
RANGE-01	Kitchen	Oven/ Range	Whirlpool	5.8 Cu. Ft. Smart Slide-in Electric Range	WEE510S0FS	Black-on-Stainless
RANGE-02	Kitchen (Type A)	Oven/ Range	Whirlpool	5.8 Cu. Ft. Smart Slide-in Electric Range (Type A)	WEE510S0FS	Black-on-Stainless
REF-01	Kitchen	Refrigerator	Whirlpool	30" Wide Top Freezer Refrigerator	WRT348FMES	Stainless Steel
REF-02	Kitchen (Type A)	Refrigerator	Whirlpool	30" Wide Top Freezer Refrigerator (Type A)	WRT318FZDM	Stainless Steel
RH-01	Kitchen (Type A)	Range Hood	Whirlpool	30" Wide Range Hood	UXT4030ADS	Stainless Steel
W-01	Laundry	Washer Front Loading	Bosch	500 Series Compact Washer 24"	WAT28401UC	White
WD-01	Laundry	Electric Stacked Laundry Center	Bosch	500 Series Compact Condensation Washer + Dryer 24"	WAT28401UC/ WTG86401UC	White

**LIGHTING FIXTURE SCHEDULE**

Type Mark	Location	Description	Manufacturer	Type	Model	Finish
				Exit Sign		
		5 WATT EYEBALL		120V EMERGENCY LIGHT FIXTURE	LSI	LSI-EPM_120V
L1	Living Room, Kitchen, Bedrooms	Surface Mounted Slim Downlight	Philips Lightolier	SlimSurface LED Round 5" (L1)	S5R830K7	White
L2	Bathrooms	Surface Mounted Slim Downlight	Philips Lightolier	SlimSurface LED Round 5" (L2)	S5R830K7	White
L3	Closets	Lightstick 25" (Motion Sensor)	Modern Forms		WS-47925	White
L4	Closets	Lightstick 49" (Motion Sensor)	Modern Forms		WS-47949	White
L5	Kitchen Island	Pendant	Muuto	Ambit Rail Light	15423	Grey
L6	Vanity	Vanity Light	Tech Lighting	Finn 24 Bath	LED930	Black
L7	Crisp Sconce Small	Small Sconce	Rich Brilliant Willing	Crisp Frosted Interior	CR-S12-30-120-TR-DEX-IP65	Black
L8	Public Corridor	Linear Downlight ACT System Clip-On	Vode	ZipTwo Micro Profile 36"	707-Z2 SL 36 T1 0 RP AE 2 ZZ Z SO 30 S3 ZZ WH 0	White
L9	Public Lobbies/ Commons	Surface Mounted Slim Downlight	Philips Lightolier	SlimSurface LED Round 5" (L9)	S5R830K7	White
L10	Janitors Closets, Residential Storage	Surface Mounted Downlight	Philips	CoreLine Panel Square	SM134V-W60L60-DPP	White
L12	Stairs	Linear Wall Sconce	Alcon	Continuum 23	12100-23-W-D27-18-30K-ELV-WH	White
L13	Exterior Overhangs, Balconies	Recessed Can Light (Exterior)	BEGA	LED Recessed Downlight 6-3/8"	55825	Black
L14	Crisp Sconce Small	Small Sconce (Exterior)	Rich Brilliant Willing	Crisp Frosted Exterior	CR-S12-30-120-TR-DEX-IP65	Black
L15	In-grade	In-grade LED Light (Exterior)	BEGA	In-grade LED	77116	--
L16	Exterior Ramp Areas	Wall Mounted Sconce (Exterior)	BEGA	LED Directional Wall Light	24502	Black

**PLUMBING FIXTURE SCHEDULE**

Type Mark	Location	Description	Manufacturer	Type	Model	Finish
BT-01	Bathroom	Bath and Shower Trim	Kohler	Purist Rite-Temp Bath and Shower Trim with Lever Handle	#K-T14420-4-BL	Matte Black
BT-02	Bathroom	Handshower Kit	Kohler	Purist® 2.5 gpm Multifunction Handshower Kit	#K-22178-BL	Matte Black
LAV-01	Bathroom	Sink	Kohler	Verticyl Rectangular Undermount Bathroom Sink	#K-2882-7	
LAV-01 FAUCET	Bathroom	Faucet	Kohler	Single-handle Bathroom Sink Faucet	K-99491-4-BL	
LAV-02	Janitors Closet	Mop Service Basin	Zurn Industries, LLC	Mop Service Basin 24" x 24" x 12"	Z1996-24	
LAV-02 FAUCET	Janitors Closet	Wall Mounted Service Sink Faucet	Chicago Faucets	Wall-Mounted Manual Sink Faucet with 8" Centers	897-RCF	
SC-1	Exterior	Box Roof Drainage Scupper	Majestic	Juliette Scupper	Nelson 4"	
SC-2	Exterior	Roof Drainage Scupper	Majestic	Roof Overflow Scupper	Hugo 6"	
SH-01	Bathroom (Ensuite)	Provide with Linear Drain		Tiled Shower		
SK-01	Kitchen	Sink	Vigo	Ludlow Undermount Stainless Steel Sink 23" x 20"	VG2320CK1	
SK-01 FAUCET	Kitchen	Sink	Kohler	Concetto Single Handle Pull Down Sprayer Kitchen Faucet in Super Steel with Dual Spray	K-24982	
TUB-01	Bathroom	Tub - Regular	Duravit	Starck Bathtub Panel Alcove 59" x 29-1/2"	#700332-ST8936	
TUB-02	Bathroom	Tub - Long	Duravit	Starck Bathtub Panel Alcove 70-7/8" x 31-1/2"	#700338-ST8939	
WC-01	Bathroom	Toilet	Duravit	Starck 3 Close Coupled, 14 5/8" x 27 3/4" Inch	#214109	

**VENTS & TERMINATIONS SCHEDULE**

Type Mark	Location	Description	Manufacturer	Model	Finish
EF		Ceiling Exhaust Fan	See Mech. Dwgs	See Mech. Dwgs	
FG-1	Interior Floor	Floor Register	See Mech. Dwgs	See Mech. Dwgs	
FG-2	Interior Floor	Floor Register	See Mech. Dwgs	See Mech. Dwgs	
OA	Exterior	Vent Termination	Luxury Metals	Wall Vent	Stainless Steel
ORS-1	Roof	Roof Overflow Drain	See Plumbing Dwgs	See Plumbing Dwg	
RS-1	Roof	Roof Drain	See Plumbing Dwgs	See Plumbing Dwg	
SG-2	Unit Ceilings	Ceiling Register	See Mech. Dwgs	See Mech. Dwgs	Ptd to match ceiling
TAG-1	Interior Wall	Wall Register	See Mech. Dwgs	See Mech. Dwgs	Ptd to match wall
VD	Exterior	Vent Termination	Luxury Metals	Wall Vent	Stainless Steel
VE	Exterior	Vent Termination	Luxury Metals	Wall Vent	Stainless Steel
VF	Exterior	Furnace Vent Termination	Triangle Tube	4" Wall Vent	Stainless Steel
VT	Exterior	Vent Termination	Luxury Metals	Wall Vent	Stainless Steel

**CABINET HARDWARE SCHEDULE**

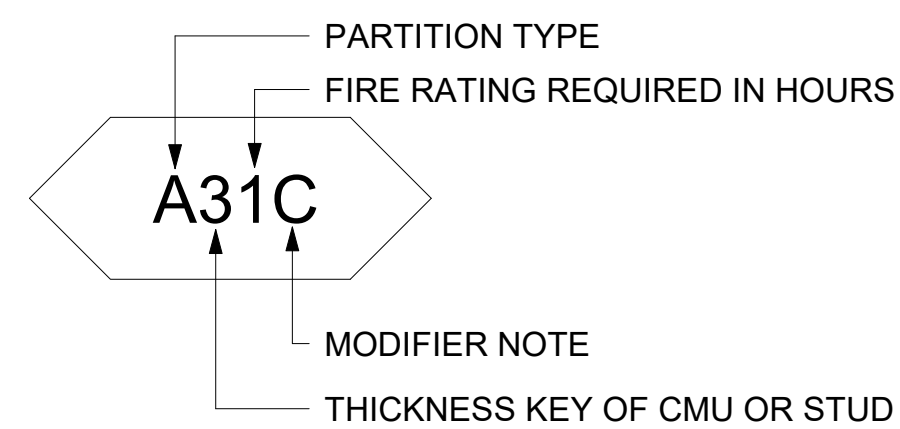
Type Mark	Location	Description	Manufacturer	Model	Finish
HW-01	Kitchen	Cabinet Tab Pull (Long)	Atlas Hardwares	Tab Edge A832-BN	Brushed Nickel
HW-02	Kitchen	Cabinet Tab Pull (Short)	Atlas Hardwares	Tab Edge A831-BN	Brushed Nickel
HW-03	Bathroom	Cabinet Tab Pull (Long)	Atlas Hardwares	Tab Edge A832-BL	Matte Black
HW-04	Bathroom	Cabinet Tab Pull (Short)	Atlas Hardwares	Tab Edge A831-BL	Matte Black
HW-05	Kitchen (Type A)	Cabinet Pull (Long)	Atlas Hardwares	Malin A643-BRN	Brushed Nickel
HW-06	Kitchen (Type A)	Cabinet Pull (Short)	Atlas Hardwares	Malin A641-BRN	Brushed Nickel
HW-07	Bathroom (Type A)	Cabinet Pull (Long)	Atlas Hardwares	Malin A643-BL	Matte Black
HW-08	Bathroom (Type A)	Cabinet Pull (Short)	Atlas Hardwares	Malin A641-BL	Matte Black

**ROOM FINISH SCHEDULE**

Room Name	Floor Finish	Wall Finish	Base Finish	Ceiling Finish
BALCONY	WD-02	WD-01	--	WD-01
BASEMENT	CON-01	PT-01	RB-05	PT-02
BATHROOM 1	TILE-01	PT-03, TILE-01	TILE-01	PT-03
BATHROOM 2	TILE-02	PT-03	TILE-02	PT-03
BATHROOM 3	TILE-01	PT-03, TILE-01	TILE-01	PT-03
BEDROOM 1	WF-01	PT-01	RB-01	PT-02
BEDROOM 2	WF-01	PT-01	RB-01	PT-02
BUILDING STORAGE	VCT-02	PT-01	RB-05	PT-02
CLOSET 1	WF-01	PT-01	RB-01	PT-02
CLOSET 2	WF-01	PT-01	RB-01	PT-02
CLOSET 3	WF-01	PT-01	RB-01	PT-02
COATS	WF-01	PT-01	RB-01	PT-02
COMMON CORRIDOR 1	CPT-01	PT-04, PT-06	RB-03	ACT-01
COMMON CORRIDOR 2	CPT-01	PT-04, PT-06	RB-03	ACT-01
COMMON CORRIDOR 3	CPT-01	PT-04, PT-06	RB-03	ACT-01
COMMON STAIR 1	CON-03	PT-07, PT-08, PT-09	RB-05	PT-07, PT-08, PT-09
COMMON STAIR 2	CON-03	PT-07, PT-08, PT-09	RB-05	PT-07, PT-08, PT-09
CORRIDOR	WF-01	PT-01	RB-01	PT-02
DECK	WD-02	WD-01	--	--
DINING	WF-01	PT-01	RB-01	PT-02
ENTRY	WF-01	PT-01	RB-01	PT-02
IT 2	VCT-02	PT-06	RB-05	PT-02
IT 3	VCT-02	PT-06	RB-05	PT-02
JANITOR 2	VCT-02	PT-06	RB-05	PT-02
JANITOR 3	VCT-02	PT-06	RB-05	PT-02
KITCHEN	WF-01	PT-01, QTZ-01	RB-01	PT-02
LAUNDRY	TILE-03	PT-01	RB-02	PT-02
LIVING	WF-01	PT-01	RB-01	PT-02
LOBBY 1	CPT-02, TILE-04	PT-06	RB-03	PT-05
LOBBY 2	CPT-01	PT-06	RB-03	PT-02
LOBBY 3	CPT-01	PT-06	RB-03	PT-02
MECH.	VCT-01	PT-01	RB-06	PT-02
N STOOP	CON-02	WD-01	--	WD-01
PANTRY	WF-01	PT-01	RB-01	PT-02
RESIDENT STORAGE	CPT-01	PT-01	RB-03	PT-02
RESIDENT STORAGE 2	CPT-01	PT-06	RB-03	PT-02
RESIDENT STORAGE 3	CPT-01	PT-06	RB-03	PT-02
SE STOOP	CON-02	WD-01	--	--
SLEEPING	WF-01	PT-01	RB-01	PT-02
STAIR	WF-01	PT-01	RB-01	PT-02
STORAGE	WF-01	PT-01	RB-01	PT-02
SW STOOP	CON-02	WD-01	--	WD-01
VESTIBULE	VCT-02	PT-01	RB-05	PT-02



**KEY TO PARTITION TYPE SCHEDULE**



**PARTITION TYPE**

- A. GYP. BOARD - 1 LAYER, 1 SIDE
- B. GYP. BOARD - 1 LAYER EACH SIDE
- C. GYP. BOARD - 1 LAYER 1 SIDE, 2 LAYERS OTHER SIDE
- D. GYP. BOARD - 2 LAYERS EACH SIDE
- E. CMU
- F. PLUMBING CHASE - GYP. BOARD
- S. SHAFT WALL - GYP. BOARD
- X. EXTERIOR FURRING - GYP. BOARD
- Z. 'Z' FURRING

**THICKNESS KEY**

**STUD (METAL AND WOOD) WALLS - STUD SIZE KEY**

- 0. 1/2" RESILIENT FURRING CHANNELS
- 1. 1 5/8" METAL STUD
- 2. 2 1/2" METAL STUD
- 3. 3 5/8" METAL STUD
- 4. 4" METAL STUD (OR WOOD 2X4)
- 5. STAGGERED STUDS - SEE DETAIL FOR SIZES
- 6. 6" METAL STUD (OR WOOD 2X6)
- 7. 7/8" HAT SHAPED FURRING CHANNELS
- 8. 8" METAL STUD (OR WOOD 2X8)

**CMU WALLS - THICKNESS KEY**

- 1. 11 5/8" CMU
- 2. NOT IN USE
- 3. 3 5/8" CMU
- 4. NOT IN USE
- 5. 5 5/8" CMU
- 6. NOT IN USE
- 7. 7 5/8" CMU
- 8. NOT IN USE
- 9. 9 5/8" CMU

**FIRE RATING KEY**

- 0. NO RATING REQUIRED
- 1. 1 HOUR (60 MIN)
- 2. 2 HOUR (120 MIN)
- 3. 30 MIN
- 4. NOT IN USE
- 5. NOT IN USE
- 6. NOT IN USE
- 7. NOT IN USE
- 8. NOT IN USE
- 9. 90 MIN

**MODIFIER NOTE**

PROVIDE THESE FEATURES WHERE NOTED IN PARTITION KEY:

- A. PROVIDE 1/2" OSB SHEATHING AS REQ'D
- B. TERMINATE GYP BOARD 6" ABOVE CEILING (DO NOT EXTEND FULL HEIGHT)
- C. FACE LAYER TO BE MOISTURE RESISTANT GYP. BOARD INSTEAD OF REGULAR OR TYPE "X"
- D. PROVIDE ABUSE RESISTANT GYP. BOARD INSTEAD OF REGULAR OR TYPE "X"
- E. PROVIDE CEMENT BACKER BOARD INSTEAD OF GYP. BOARD
- F. PROVIDE EXTRA LAYER OF GYP. BOARD ON EXPOSED SIDE AND SOUND ATTENUATION BLANKET FULL THICKNESS OF STUD.
- G. CERAMIC TILE ON CEMENT BACKER BOARD
- H. PARTITION TERMINATES AT UNDERSIDE OF CEILING
- J. PARTIAL HEIGHT WALL
- X. NONE OF THE ABOVE APPLY

**NON-RATED WOOD STUD PARTITIONS**

<b>B40X</b> TYPICAL GWB PARTITION NON-RATED	ROOM SIDE ROOM SIDE	4 3/4"	(1) LAYER 5/8" GYPSUM BOARD 2X4 WOOD STUD AT 16" O.C. WITH ACOUSTICAL INSULATION (1) LAYER 5/8" GYPSUM BOARD	FIRE: NON-RATED UL: N/A STC: 39
<b>B60X</b> WET WALL NON-RATED	ROOM SIDE ROOM SIDE	6 3/4"	(1) LAYER 5/8" GYPSUM BOARD 2X6 WOOD STUD AT 16" O.C. WITH ACOUSTICAL INSULATION (1) LAYER 5/8" GYPSUM BOARD	FIRE: NON-RATED UL: N/A STC: 39+

**RATED WOOD STUD PARTITIONS**

<b>B41X</b> GWB PARTITION RATED	ROOM SIDE ROOM SIDE	5"	(1) LAYER 5/8" TYPE-X GYPSUM BOARD 2X4 WOOD STUD AT 16" O.C. WITH ACOUSTICAL INSULATION (1) LAYER 5/8" TYPE-X GYPSUM BOARD	FIRE: 1-HR UL: UL Des 305 STC:
<b>B51A</b> DEMISING BEARING GWB PARTITION RATED	DWELLING SIDE DWELLING SIDE	9"	(1) LAYER 5/8" TYPE-X GYPSUM BOARD (1) LAYER 7/16" APA RATED EXPOSURE 1 SHEATHING, PER STRUCT. DWGS 2X6 WOOD STUD STAGGERED AT 8" O.C. ON 2X8 SILL WITH ACOUSTICAL INSULATION (1) LAYER 5/8" TYPE-X GYPSUM BOARD	FIRE: 1-HR UL: UL Des U340 STC: 56
<b>D61A</b> CORRIDOR BEARING GWB PARTITION RATED	ROOM SIDE CORRIDOR SIDE	7 3/4"	(1) LAYER 5/8" TYPE-X GYPSUM BOARD (1) LAYER 1/2" RESILIENT CHANNEL 2X6 WOOD STUD AT 16" O.C. WITH ACOUSTICAL INSULATION (1) LAYER 1/2" OSB SHEATHING AS REQ'D (1) LAYER 5/8" TYPE-X GYPSUM BOARD	FIRE: 1-HR UL: UL Des U327 STC: 50
<b>D62A</b> SHAFT/ STAIR BEARING GWB PARTITION RATED	ROOM SIDE SHAFT / STAIR SIDE	8 1/2"	(2) LAYER 5/8" TYPE-X GYPSUM BOARD 2X6 WOOD STUD AT 16" O.C. WITH ACOUSTICAL INSULATION (1) LAYER 1/2" OSB SHEATHING AS REQ'D (2) LAYER 5/8" TYPE-X GYPSUM BOARD	FIRE: 2-HR UL: UL Des U301 STC:
<b>E72X</b> STAIR SHAFT RATED	ROOM SIDE STAIR SIDE	9 7/8"	(2) LAYER 5/8" TYPE-X GYPSUM BOARD 8" CMU BLOCK (2) LAYER 5/8" TYPE-X GYPSUM BOARD	FIRE: 2-HR UL: STC:

**NON-RATED FURRING PARTITIONS**

<b>A60X</b> WET WALL FURRED PARTITION NON-RATED	WC SIDE CAVITY SIDE	6 1/8"	(1) LAYER 5/8" GYPSUM BOARD 2X6 WOOD STUD AT 16" O.C. WITH THERMAL INSULATION	FIRE: NON-RATED UL: N/A STC: -
---	------------------------	--------	--	---

**STANDARDS: GYPSUM BOARD PARTITIONS**

- (PROVIDE THESE FEATURES AT ALL GYPSUM BOARD & STUD (WOOD OR METAL) PARTITIONS)
- SPACE STUDS AT 16" O.C. , MAX, UNLESS NOTED OTHERWISE.
  - PROVIDE BRACING AS REQUIRED IF STUD LENGHT EXCEEDS MAXIMUM HEIGHT SPECIFIED
  - PROVIDE TYPE "X" GYP. BOARD AT ALL FIRE RATED GYP. BOARD AND METAL STUD PARTITIONS. GYPSUM WALLBOARD SHOULD BE 5/8" THICK UNLESS NOTED OTHERWISE.
  - STUDS AND ALL LAYERS OF GYP. BOARD ARE TO EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE UNLESS NOTED OTHERWISE.
  - PROVIDE CEMENTITIOUS BACKER BOARD IN LIEU OF GYPSUM WALL BOARD AT LOCATIONS TO RECEIVE TILE AS INDICATED IN FINISH SCHEDULE.
  - PROVIDE MOLD & MOISTURE RESISTANT GYP. BOARD BEHIND ALL CERAMIC TILE WAINSCOTIS AND FULL HEIGHT CERAMIC WALLS UNLESS NOTED OTHERWISE.
  - PROVIDE WATER RESISTANT GYPSUM WALL BOARD AT SURFACES IN BATHROOMS AND SIMILAR WET AREAS NOT INDICATED TO RECEIVE WALL TILE.
  - PROVIDE SAG RESISTANT GYP. BOARD AT ALL INTERIOR CEILING APPLICATIONS UNLESS NOTED OTHERWISE.
  - PROVIDE "BLUEBOARD" GYPSUM WALL BOARD AT PARTITIONS INDICATED TO RECEIVE VENEER PLASTER.
  - PROVIDE SOUND ATTENUATION BLANKETS FULL THICKNESS OF STUD UNLESS NOTED OTHERWISE.
  - MAINTAIN INTEGRITY OF MORE STRINGENT PARTITION TYPE AT PARTITION INTERSECTIONS.
  - REFERENCE STRUCTURAL DRAWINGS FOR TYPE AND DETAILS ON STRUCTURAL OSB SHEATHING AT SHEAR WALL LOCATIONS. PREP OSB SHEATHING TO RECEIVING PERPENDICULAR PARTITION. INSTALL OSB SHEATHING AFTER INSTALLATION OF PLUMBING PIPING WITHIN PARTITION.
  - PROVIDE FIRESTOPS AND SMOKE SEALS AT ALL PENETRATIONS OF FIRE RATED PARTITIONS PER SPECIFICATIONS.
  - PROVIDE FIRE RESISTANT JOINT SYSTEM.
  - PROVIDE ACOUSTICAL SEALANT AT ALL NON RATED PARTITIONS.
  - SEAL ALL PENETRATIONS THROUGH WALL AT CONDUIT, DUCTWORK, BEAMS, BRACING, ETC., WITH SOUND SEALANT AND SOUND BATT PER SPECIFICATIONS.
  - DEVICES SHALL NOT BE ALIGNED BACK TO BACK IN SAME STUD LOCATION.
  - EXTRA LAYER OF GYPSUM WALL BOARD AT ASYMMETRICAL PARTITIONS IS TO BE INSTALLED ON SIDE OF PARTITION WHICH TYPE KEY IS SHOWN.

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1192 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0260

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0260

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: 1 1/2" = 1'-0"  
DATE: 05/15/2020

DRAWING TITLE

**PARTITION TYPES**

SHEET NO.

**A-604**

100% CD / PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1592 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617-675-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49418  
 T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARMINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0045  
 F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNPIKE ROAD, SUITE 200  
 SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/4" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

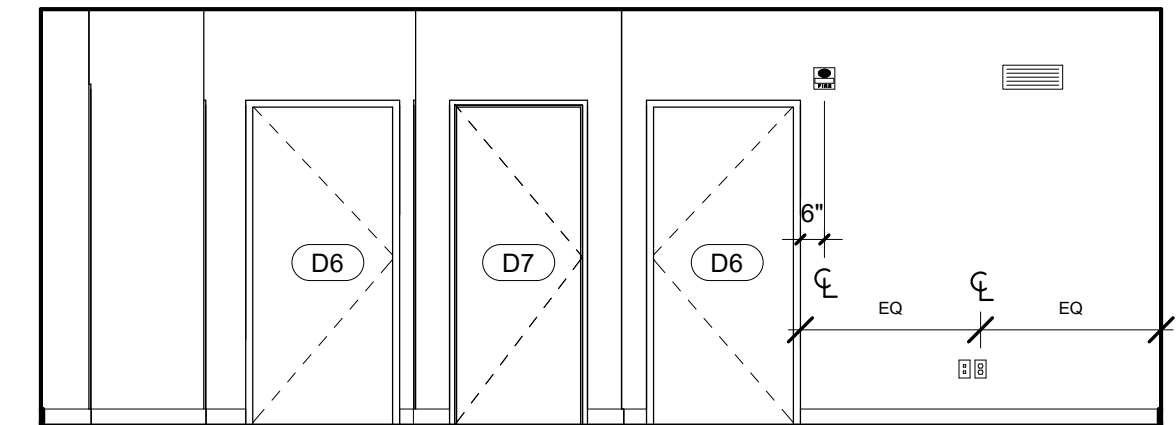
**UNIT TYPE A, B, B'  
 INTERIOR ELEVATIONS**

SHEET NO.

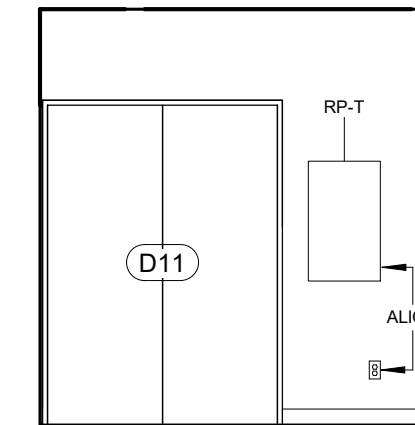
**A-700**

100% CD/ PERMIT SET

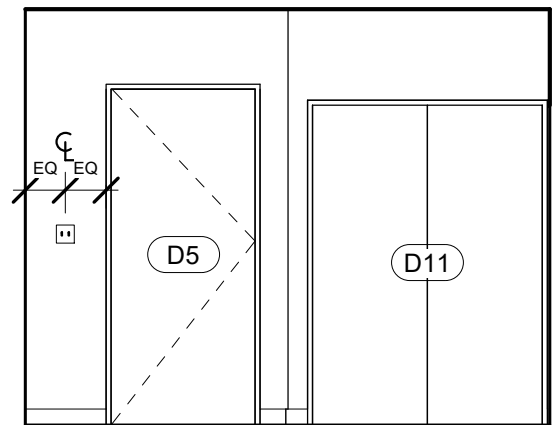
5/18/2020 2:25:01 AM



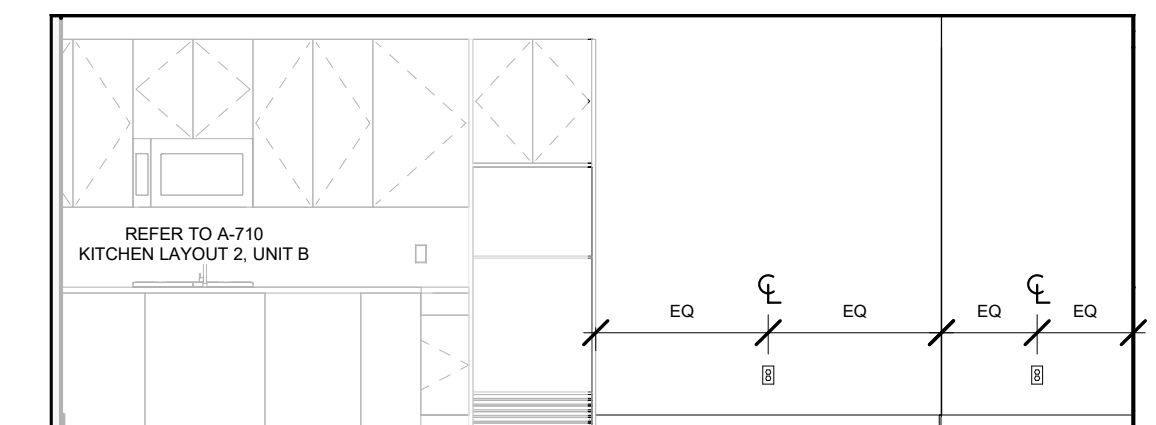
22 UNIT B' LIVING AREA INTERIOR ELEVATION 04  
 1/4" = 1'-0"



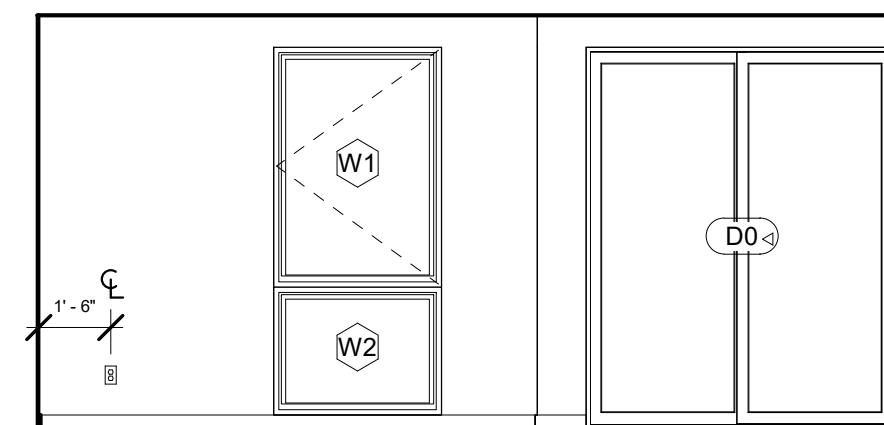
23 UNIT B' CORRIDOR INTERIOR ELEVATION 01  
 1/4" = 1'-0"



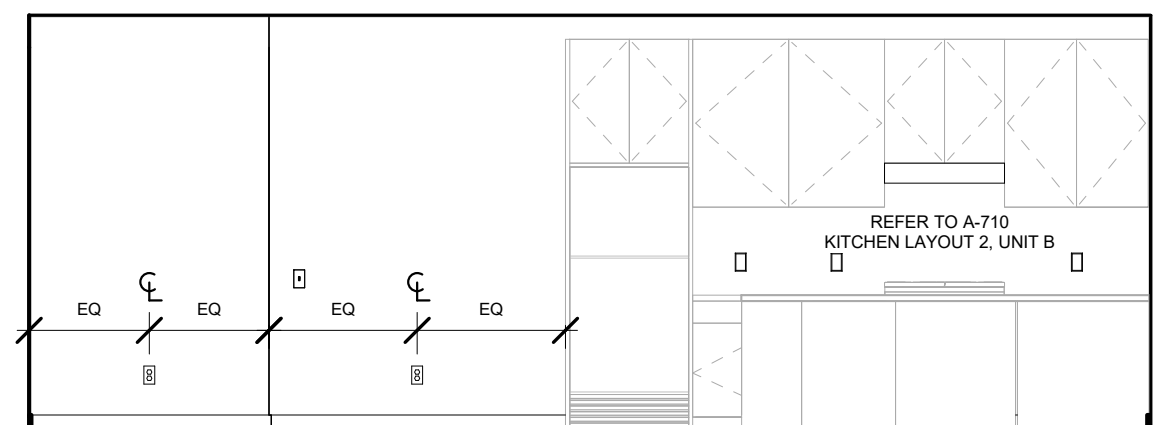
24 UNIT B' CORRIDOR INTERIOR ELEVATION 02  
 1/4" = 1'-0"



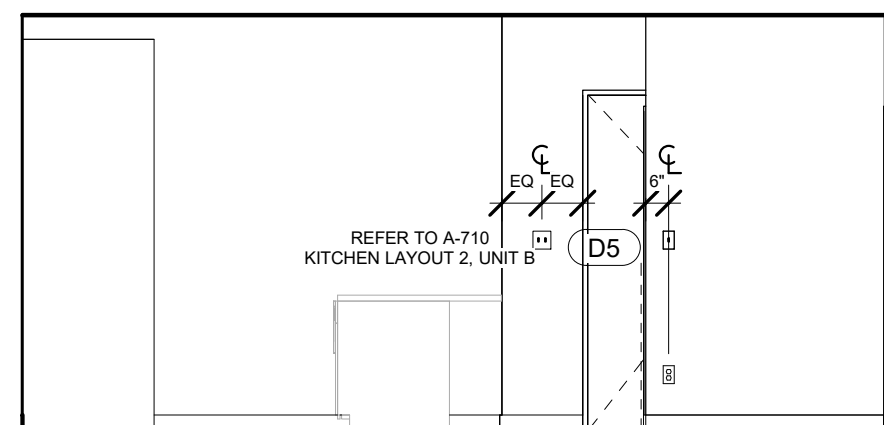
18 UNIT B LIVING AREA INTERIOR ELEVATION 04  
 1/4" = 1'-0"



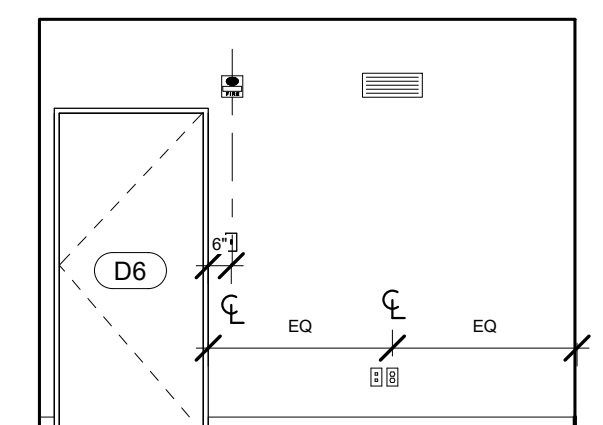
19 UNIT B' LIVING AREA INTERIOR ELEVATION  
 1/4" = 1'-0"



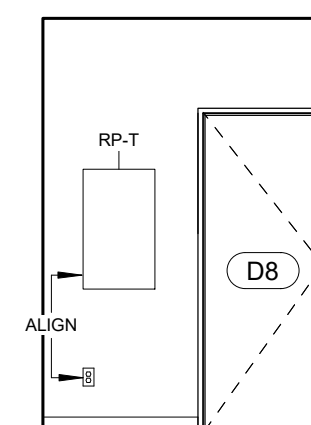
20 UNIT B' LIVING AREA INTERIOR ELEVATION 02  
 1/4" = 1'-0"



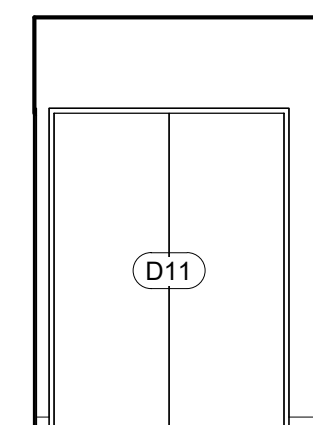
21 UNIT B' LIVING AREA INTERIOR ELEVATION 03  
 1/4" = 1'-0"



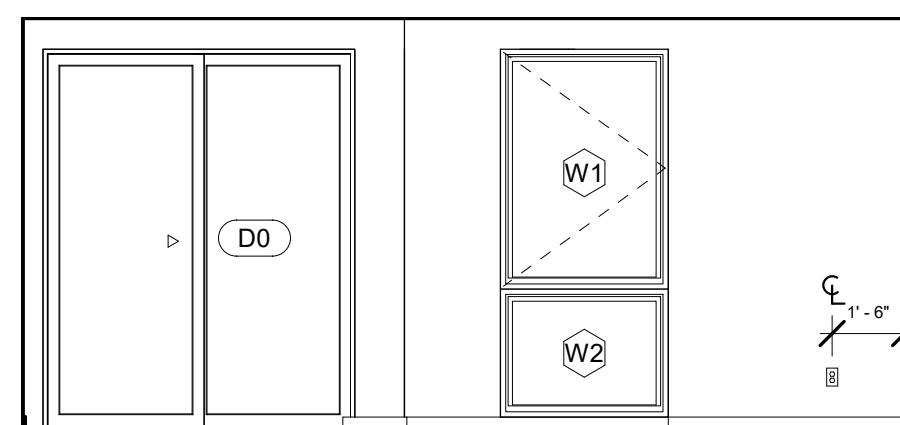
12 UNIT B BEDROOM INTERIOR ELEVATION 04  
 1/4" = 1'-0"



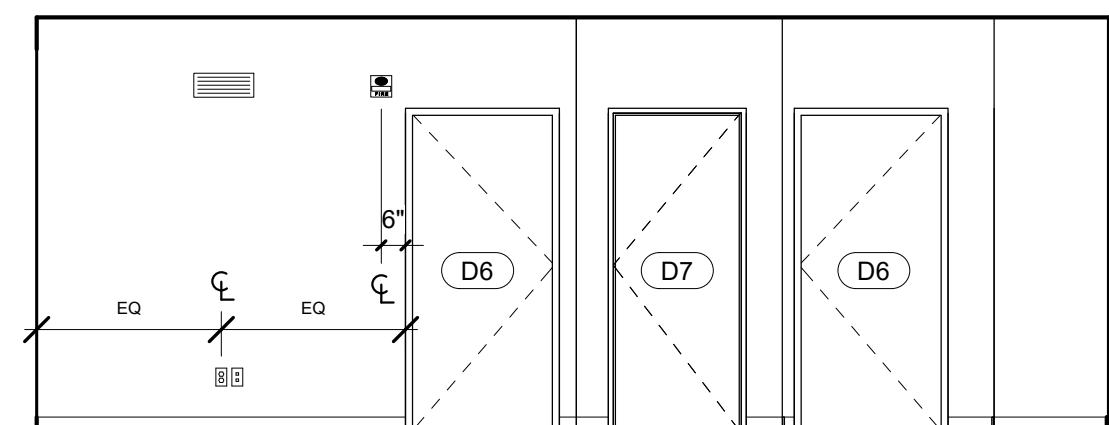
13 UNIT B CORRIDOR INTERIOR ELEVATION 01  
 1/4" = 1'-0"



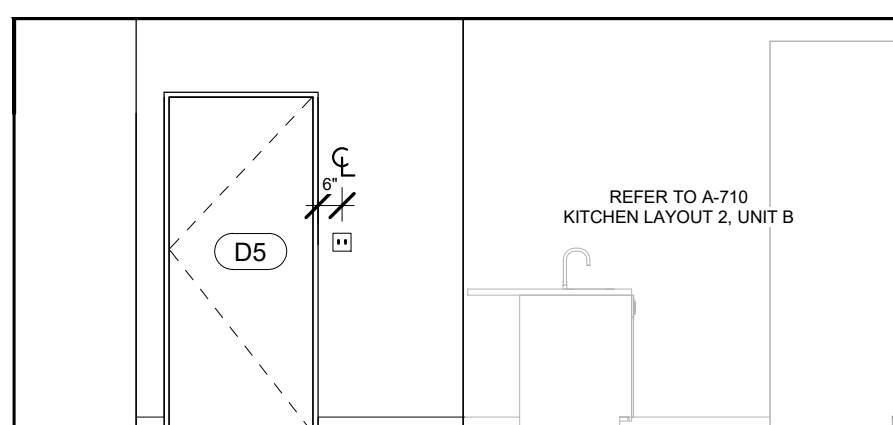
14 UNIT B CORRIDOR INTERIOR ELEVATION 02  
 1/4" = 1'-0"



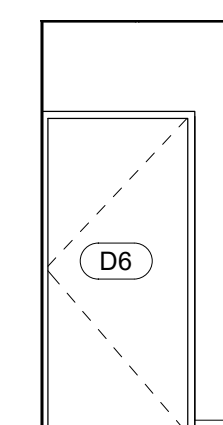
15 UNIT B LIVING AREA INTERIOR ELEVATION 01  
 1/4" = 1'-0"



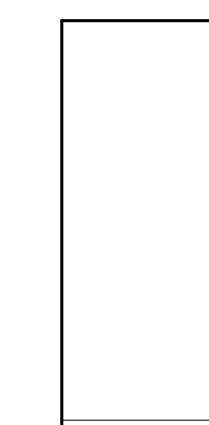
16 UNIT B LIVING AREA INTERIOR ELEVATION 02  
 1/4" = 1'-0"



17 UNIT B LIVING AREA INTERIOR ELEVATION 03  
 1/4" = 1'-0"



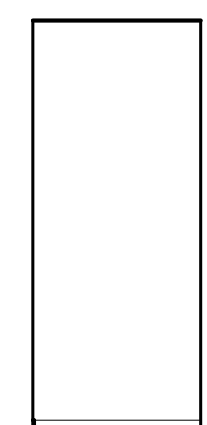
5 UNIT A CLOSET INTERIOR ELEVATION 01  
 1/4" = 1'-0"



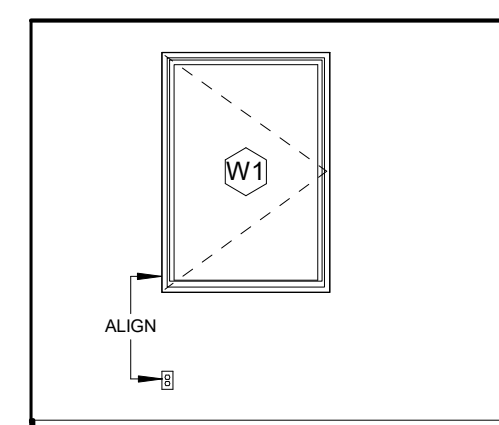
6 UNIT A CLOSET INTERIOR ELEVATION 02  
 1/4" = 1'-0"



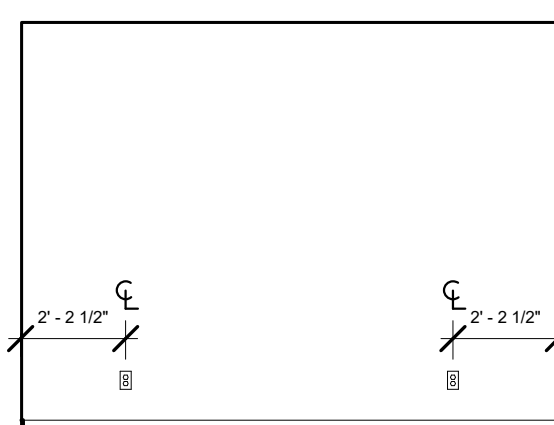
7 UNIT A CLOSET INTERIOR ELEVATION 03  
 1/4" = 1'-0"



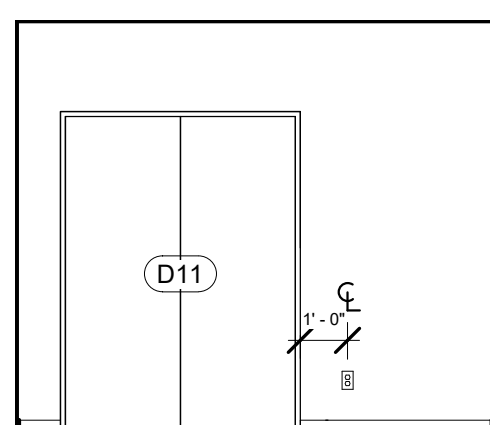
8 UNIT A CLOSET INTERIOR ELEVATION 04  
 1/4" = 1'-0"



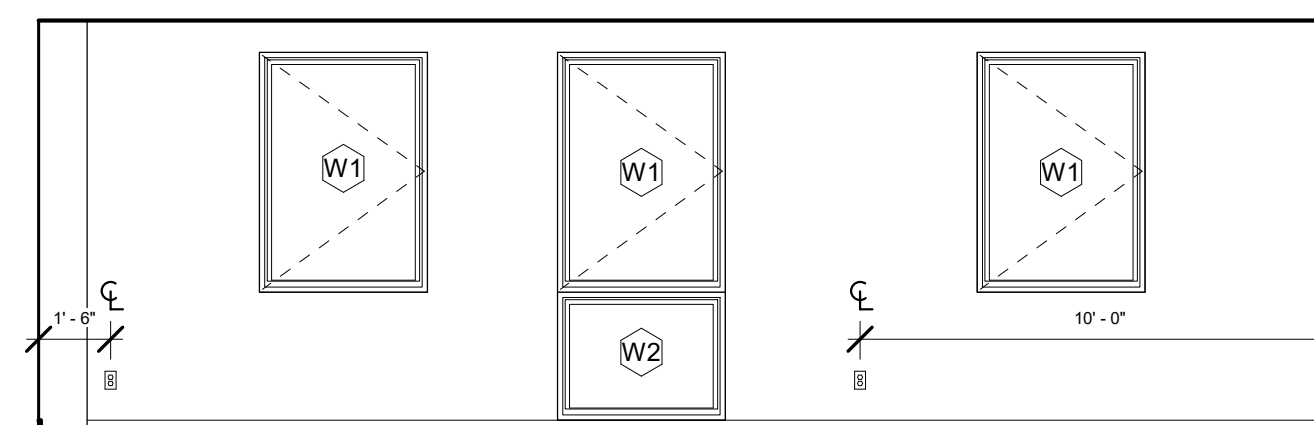
9 UNIT B BEDROOM INTERIOR ELEVATION 01  
 1/4" = 1'-0"



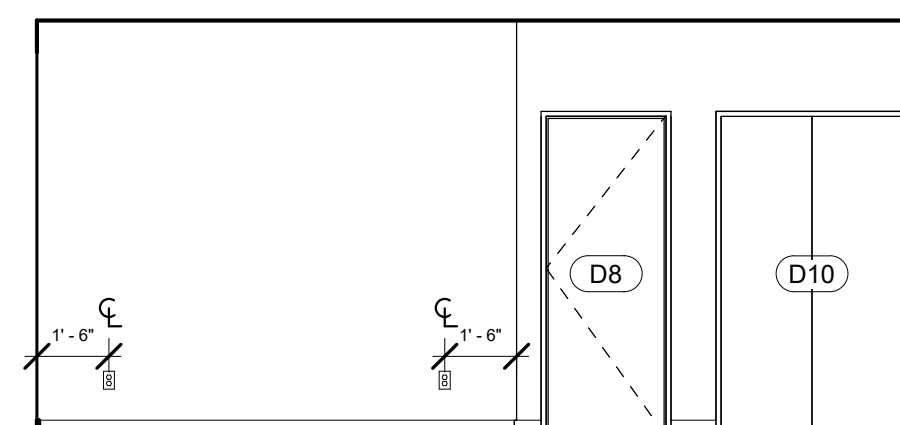
10 UNIT B BEDROOM INTERIOR ELEVATION 02  
 1/4" = 1'-0"



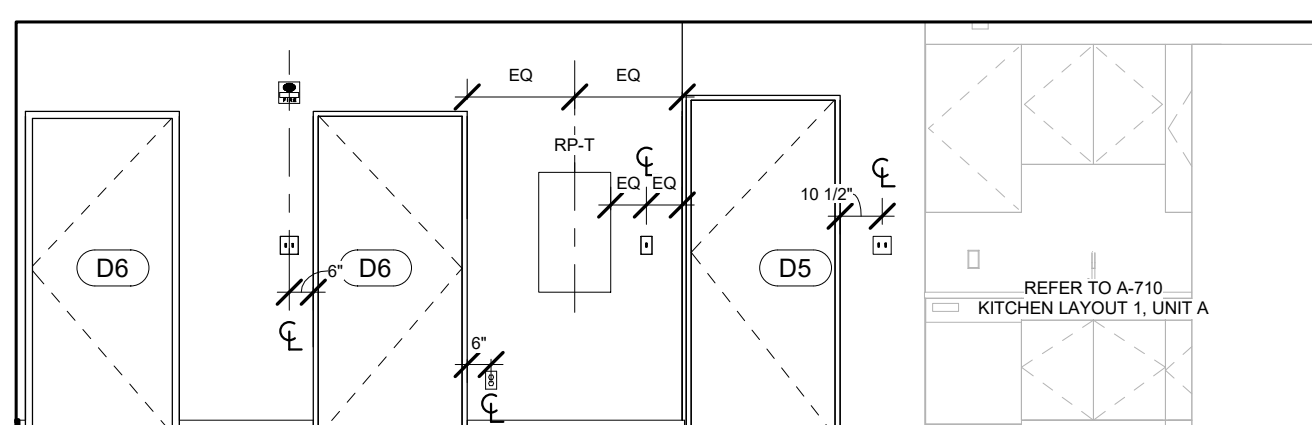
11 UNIT B BEDROOM INTERIOR ELEVATION 03  
 1/4" = 1'-0"



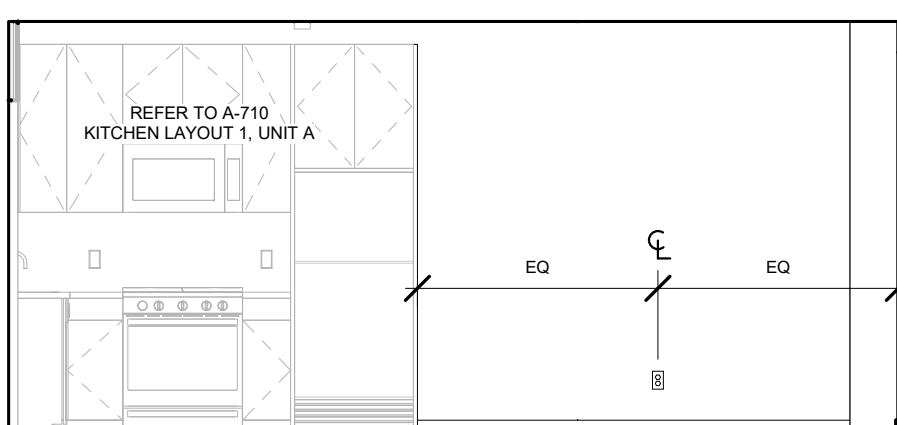
1 UNIT A LIVING AREA INTERIOR ELEVATION 01  
 1/4" = 1'-0"



2 UNIT A LIVING AREA INTERIOR ELEVATION 02  
 1/4" = 1'-0"



3 UNIT A LIVING AREA INTERIOR ELEVATION 03  
 1/4" = 1'-0"



4 UNIT A LIVING AREA INTERIOR ELEVATION 04  
 1/4" = 1'-0"

GENERAL NOTES

- SEE G-100 FOR TYPICAL MOUNTING HEIGHTS
- MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-673-0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/4" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

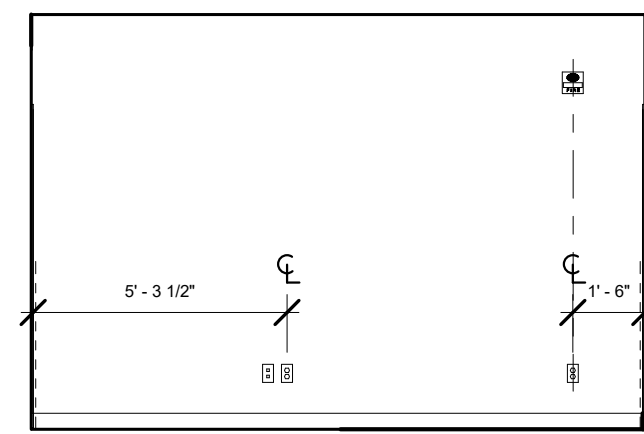
**UNIT TYPE C, C'  
INTERIOR ELEVATIONS**

SHEET NO.

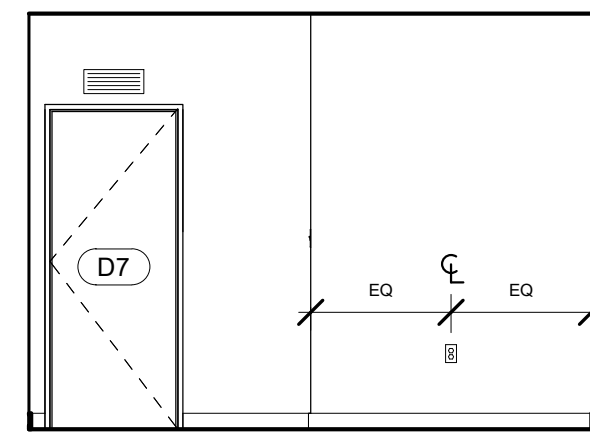
**A-701**

100% CD/ PERMIT SET

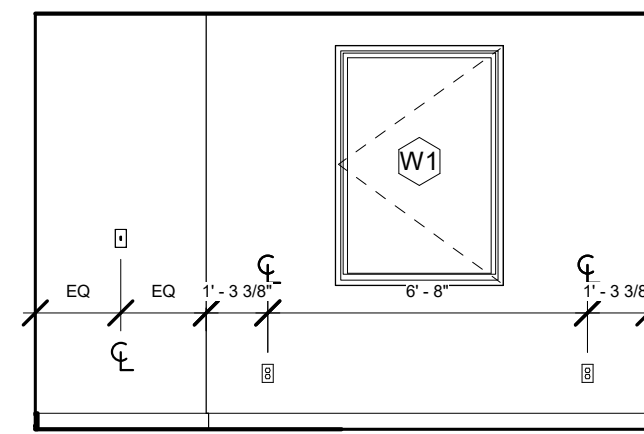
5/18/2020 2:28:11 AM



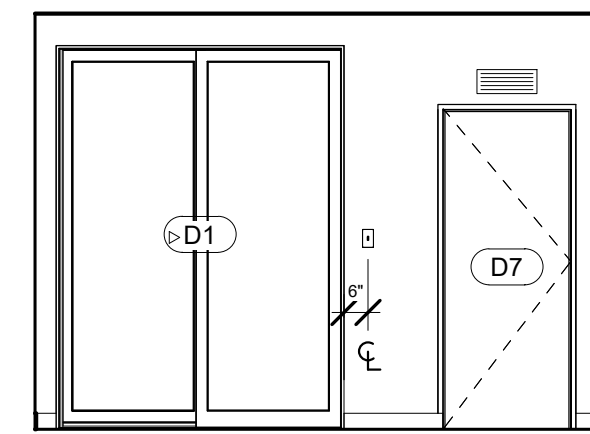
28 UNIT C' BEDROOM 2 INTERIOR ELEVATION 04  
1/4" = 1'-0"



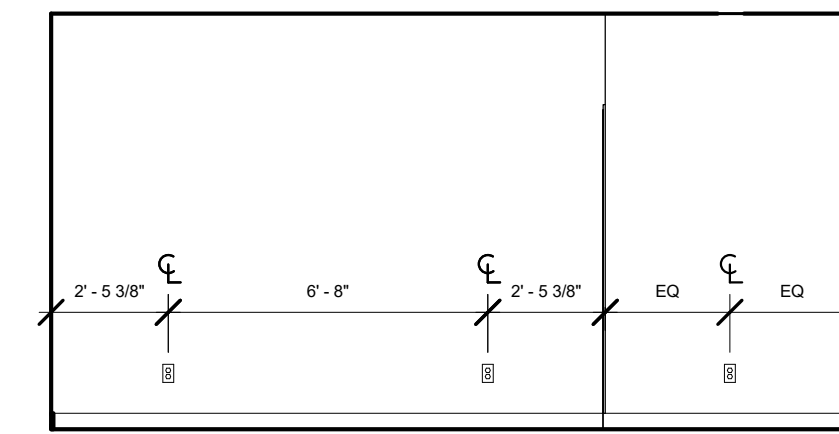
27 UNIT C' BEDROOM 2 INTERIOR ELEVATION 03  
1/4" = 1'-0"



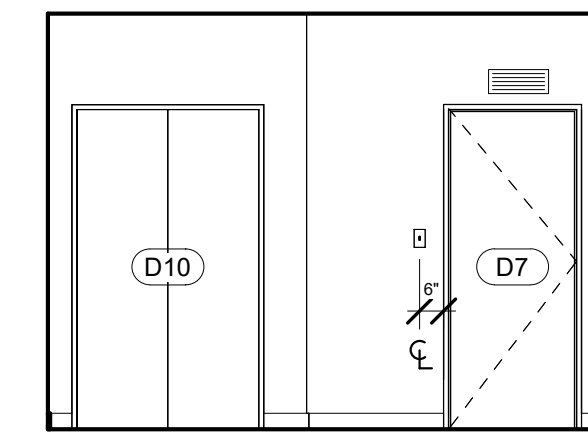
26 UNIT C' BEDROOM 2 INTERIOR ELEVATION 02  
1/4" = 1'-0"



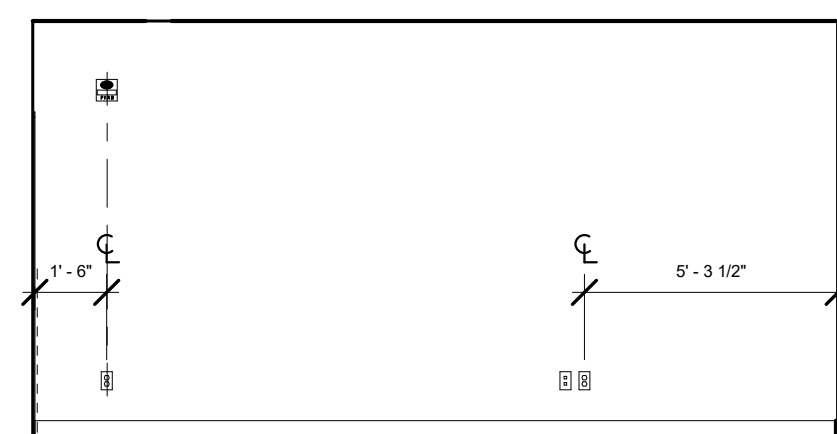
25 UNIT C' BEDROOM 2 INTERIOR ELEVATION 01  
1/4" = 1'-0"



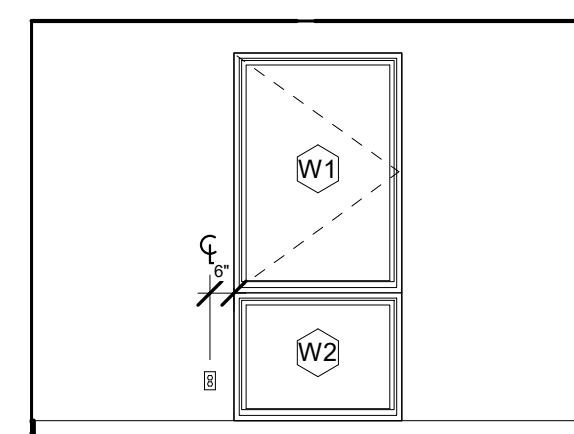
24 UNIT C' BEDROOM 1 INTERIOR ELEVATION 04  
1/4" = 1'-0"



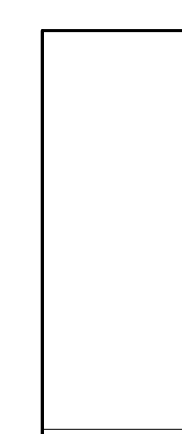
23 UNIT C' BEDROOM 1 INTERIOR ELEVATION 03  
1/4" = 1'-0"



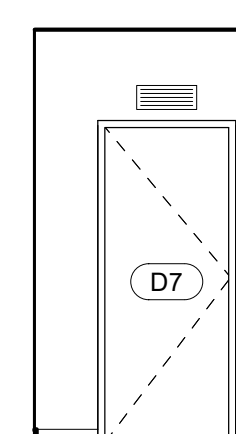
22 UNIT C' BEDROOM 1 INTERIOR ELEVATION 02  
1/4" = 1'-0"



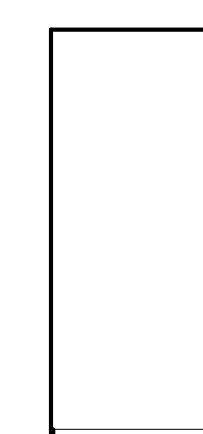
21 UNIT C' BEDROOM 1 INTERIOR ELEVATION 01  
1/4" = 1'-0"



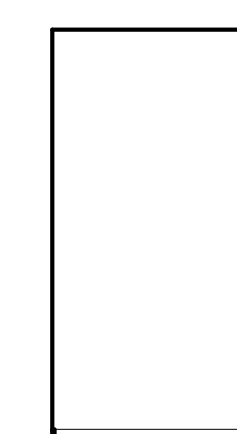
20 UNIT C CLOSET INTERIOR ELEVATION 04  
1/4" = 1'-0"



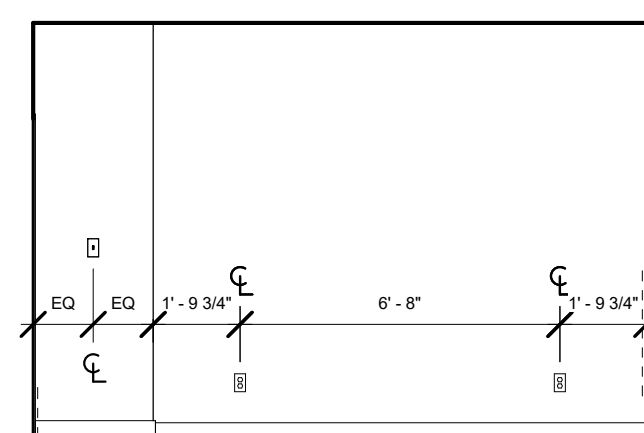
19 UNIT C CLOSET INTERIOR ELEVATION 03  
1/4" = 1'-0"



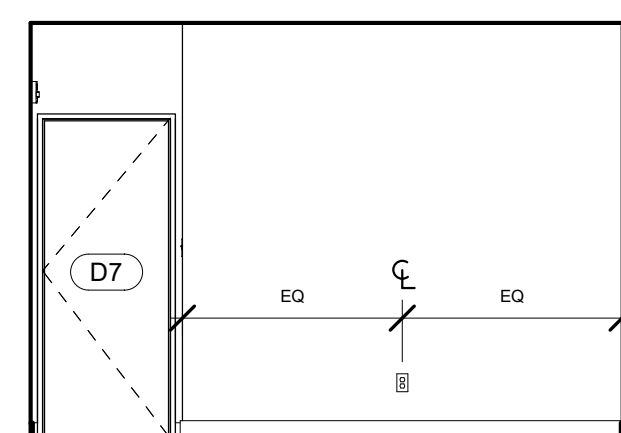
18 UNIT C CLOSET INTERIOR ELEVATION 02  
1/4" = 1'-0"



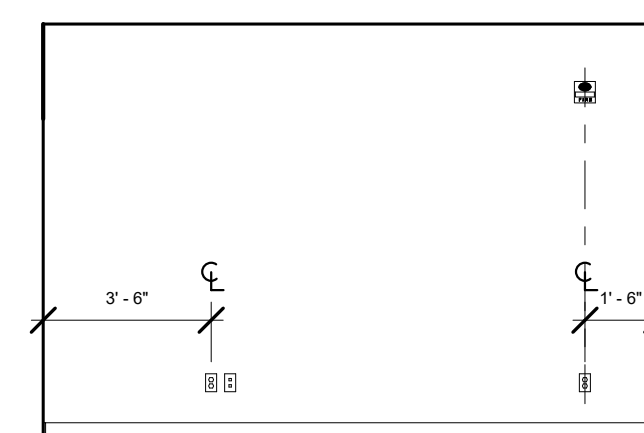
17 UNIT C CLOSET INTERIOR ELEVATION 01  
1/4" = 1'-0"



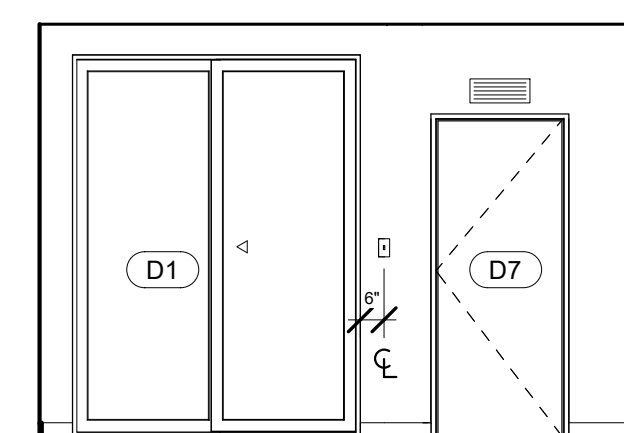
16 UNIT C BEDROOM 2 INTERIOR ELEVATION 04  
1/4" = 1'-0"



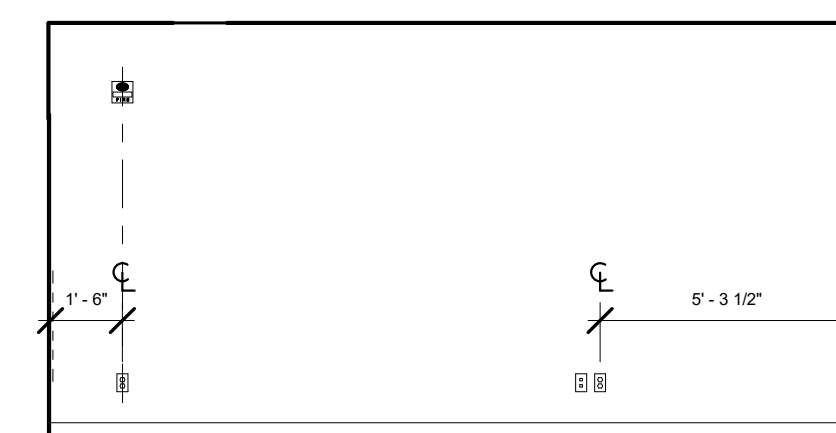
15 UNIT C BEDROOM 2 INTERIOR ELEVATION 03  
1/4" = 1'-0"



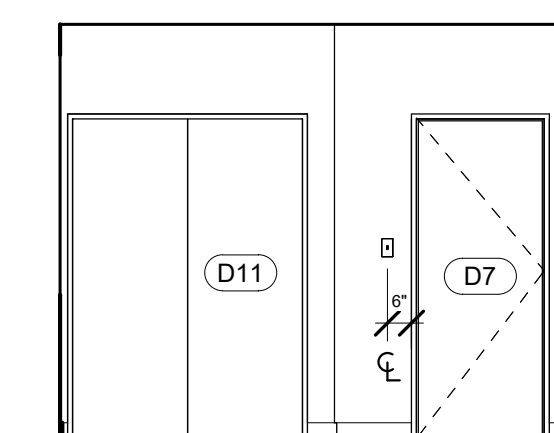
14 UNIT C BEDROOM 2 INTERIOR ELEVATION 02  
1/4" = 1'-0"



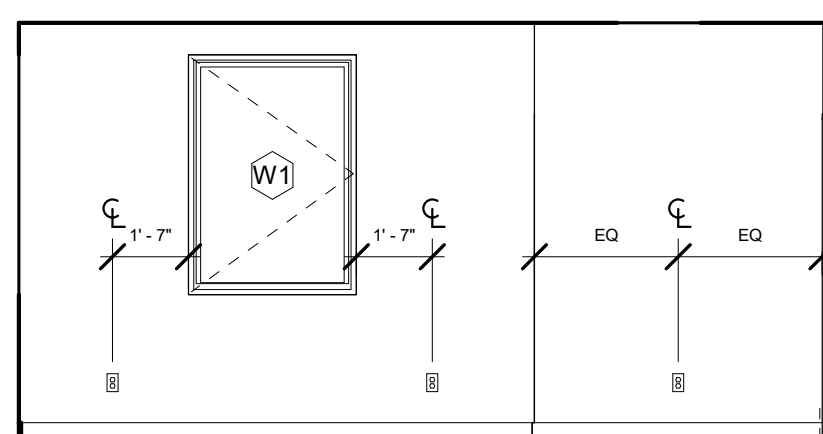
13 UNIT C BEDROOM 2 INTERIOR ELEVATION 01  
1/4" = 1'-0"



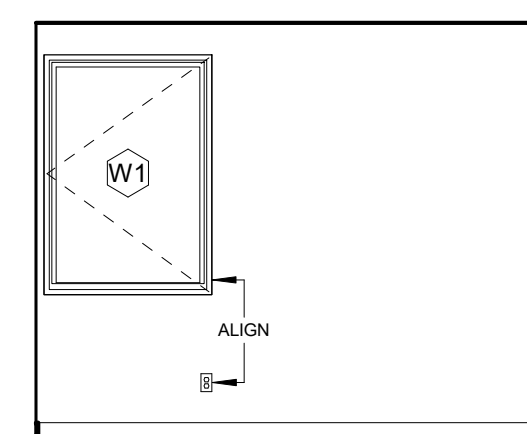
12 UNIT C BEDROOM 1 INTERIOR ELEVATION 04  
1/4" = 1'-0"



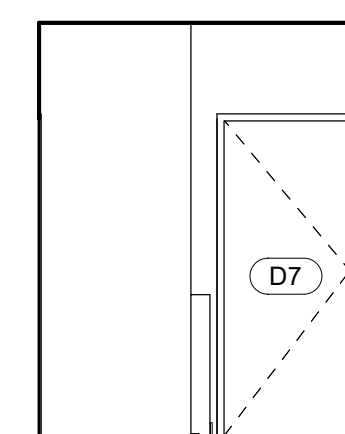
11 UNIT C BEDROOM 1 INTERIOR ELEVATION 03  
1/4" = 1'-0"



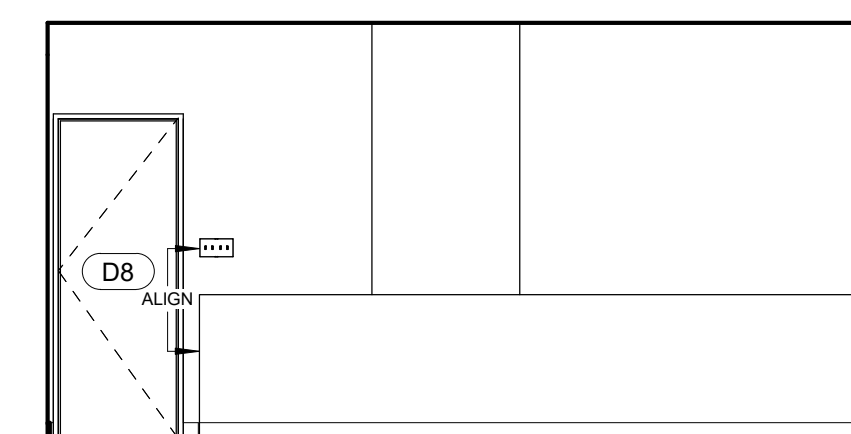
10 UNIT C BEDROOM 1 INTERIOR ELEVATION 02  
1/4" = 1'-0"



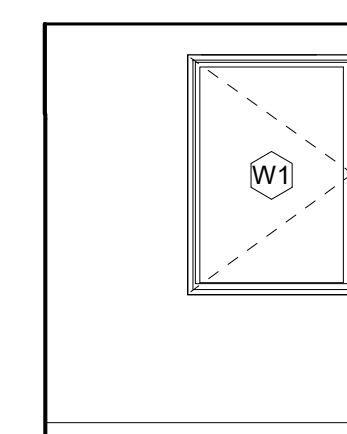
9 UNIT C BEDROOM 1 INTERIOR ELEVATION 01  
1/4" = 1'-0"



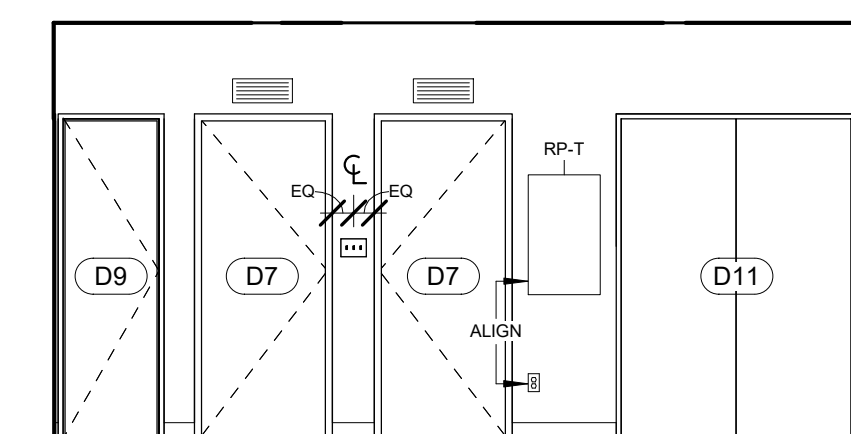
8 UNIT C CORRIDOR INTERIOR ELEVATION 04  
1/4" = 1'-0"



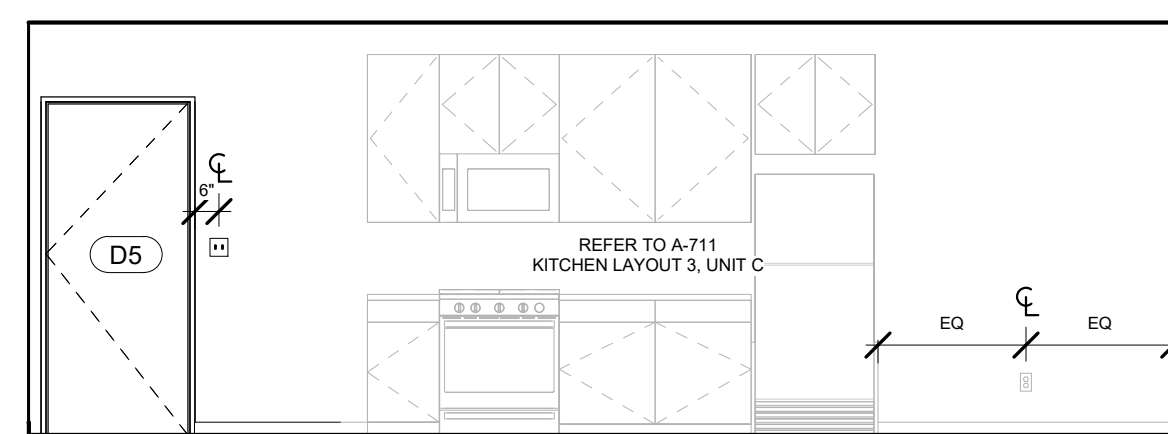
7 UNIT C CORRIDOR INTERIOR ELEVATION 03  
1/4" = 1'-0"



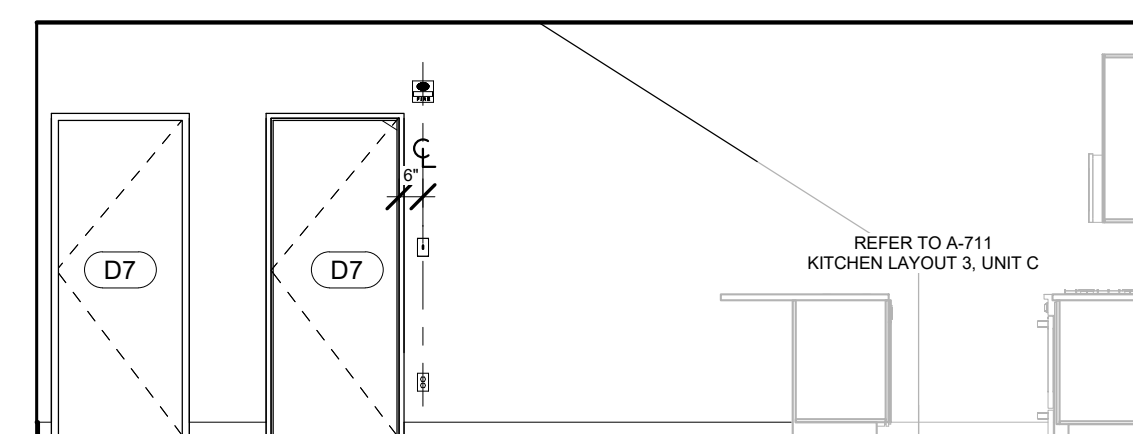
6 UNIT C CORRIDOR INTERIOR ELEVATION 02  
1/4" = 1'-0"



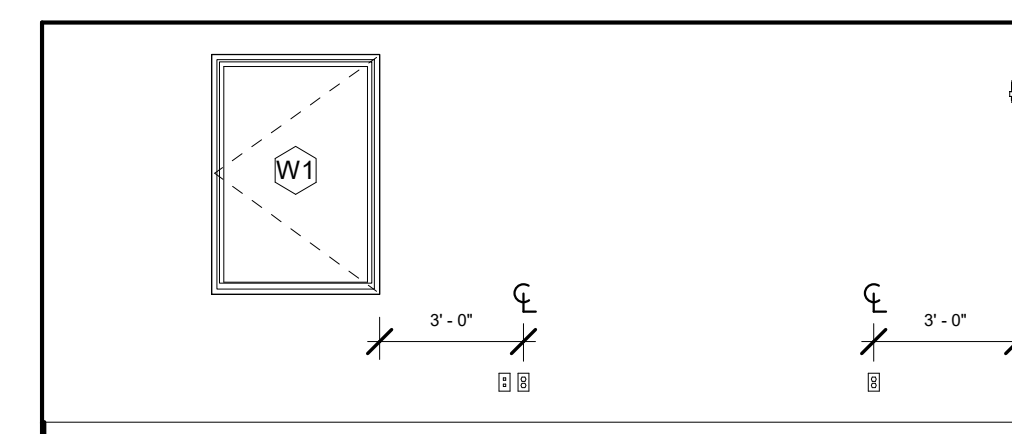
5 UNIT C CORRIDOR INTERIOR ELEVATION 01  
1/4" = 1'-0"



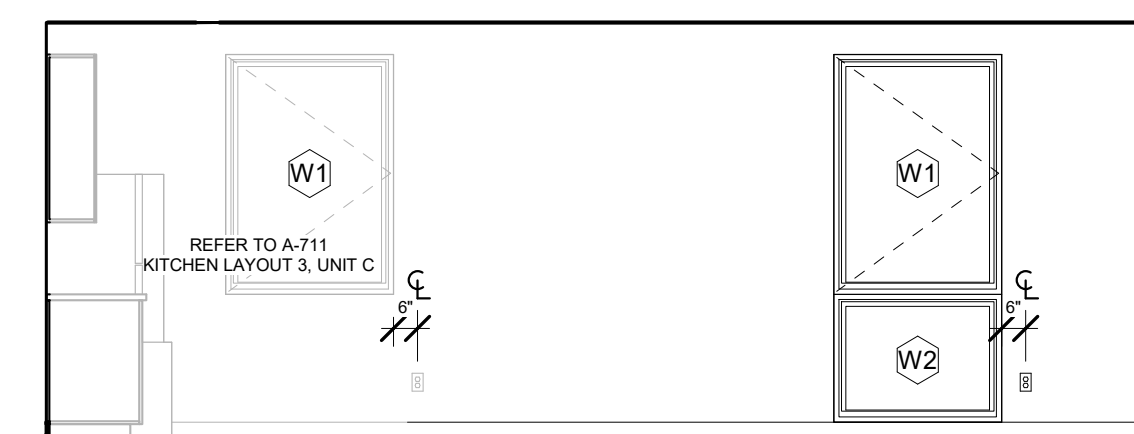
4 UNIT C LIVING AREA INTERIOR ELEVATION 04  
1/4" = 1'-0"



3 UNIT C LIVING AREA INTERIOR ELEVATION 03  
1/4" = 1'-0"



2 UNIT C LIVING AREA INTERIOR ELEVATION 02  
1/4" = 1'-0"



1 UNIT C LIVING AREA INTERIOR ELEVATION 01  
1/4" = 1'-0"

GENERAL NOTES

- SEE G-100 FOR TYPICAL MOUNTING HEIGHTS
- MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617 675-0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/4" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

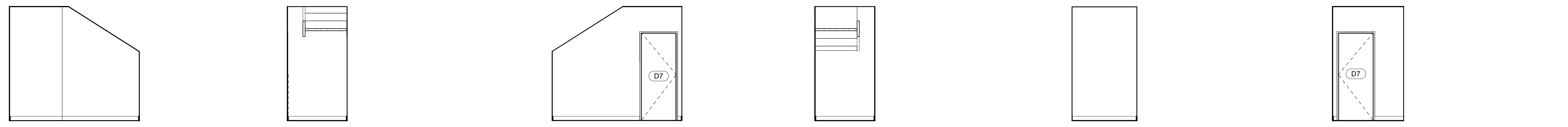
**UNIT TYPE D INTERIOR ELEVATIONS**

SHEET NO.

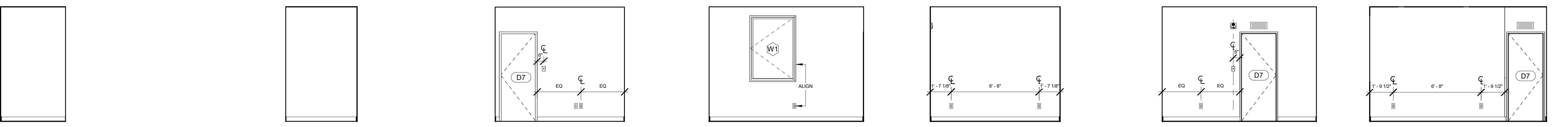
**A-702**

100% CD/ PERMIT SET

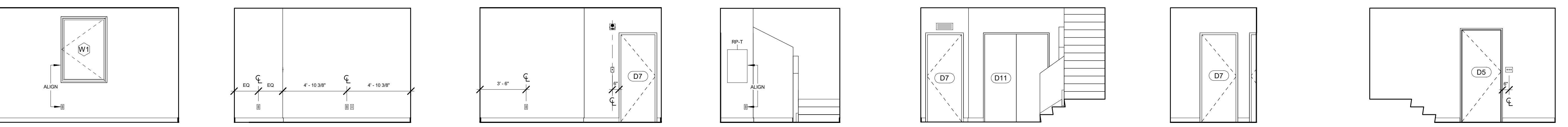
5/18/2020 2:25:22 AM



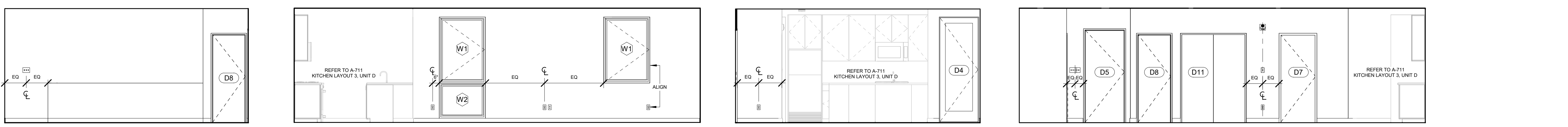
24 UNIT D BEDROOM 2 CLOSET INTERIOR ELEVATION 04 1/4" = 1'-0"  
23 UNIT D BEDROOM 2 CLOSET INTERIOR ELEVATION 03 1/4" = 1'-0"  
22 UNIT D BEDROOM 2 CLOSET INTERIOR ELEVATION 02 1/4" = 1'-0"  
21 UNIT D BEDROOM 2 CLOSET INTERIOR ELEVATION 01 1/4" = 1'-0"  
20 UNIT D BEDROOM 1 CLOSET INTERIOR ELEVATION 04 1/4" = 1'-0"  
19 UNIT D BEDROOM 1 CLOSET INTERIOR ELEVATION 03 1/4" = 1'-0"



18 UNIT D BEDROOM 1 CLOSET INTERIOR ELEVATION 02 1/4" = 1'-0"  
17 UNIT D BEDROOM 1 CLOSET INTERIOR ELEVATION 01 1/4" = 1'-0"  
16 UNIT D BEDROOM 2 INTERIOR ELEVATION 04 1/4" = 1'-0"  
15 UNIT D BEDROOM 2 INTERIOR ELEVATION 03 1/4" = 1'-0"  
14 UNIT D BEDROOM 2 INTERIOR ELEVATION 02 1/4" = 1'-0"  
13 UNIT D BEDROOM 2 INTERIOR ELEVATION 01 1/4" = 1'-0"  
12 UNIT D BEDROOM 1 INTERIOR ELEVATION 04 1/4" = 1'-0"



11 UNIT D BEDROOM 1 INTERIOR ELEVATION 03 1/4" = 1'-0"  
10 UNIT D BEDROOM 1 INTERIOR ELEVATION 02 1/4" = 1'-0"  
9 UNIT D BEDROOM 1 INTERIOR ELEVATION 01 1/4" = 1'-0"  
8 UNIT D CORRIDOR INTERIOR ELEVATION 04 1/4" = 1'-0"  
7 UNIT D CORRIDOR INTERIOR ELEVATION 03 1/4" = 1'-0"  
6 UNIT D CORRIDOR INTERIOR ELEVATION 02 1/4" = 1'-0"  
5 UNIT D CORRIDOR INTERIOR ELEVATION 01 1/4" = 1'-0"



4 UNIT D LIVING AREA INTERIOR ELEVATION 04 1/4" = 1'-0"  
3 UNIT D LIVING AREA INTERIOR ELEVATION 03 1/4" = 1'-0"  
2 UNIT D LIVING AREA INTERIOR ELEVATION 02 1/4" = 1'-0"  
1 UNIT D LIVING AREA INTERIOR ELEVATION 01 1/4" = 1'-0"

GENERAL NOTES

- SEE G-100 FOR TYPICAL MOUNTING HEIGHTS
- MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1502 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617 675 0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49418  
 T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARMINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0045  
 F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNPIKE ROAD, SUITE 200  
 SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/4" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

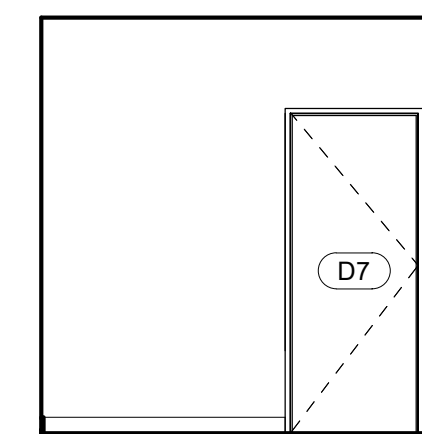
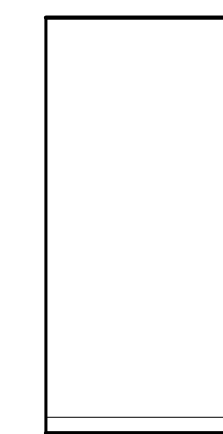
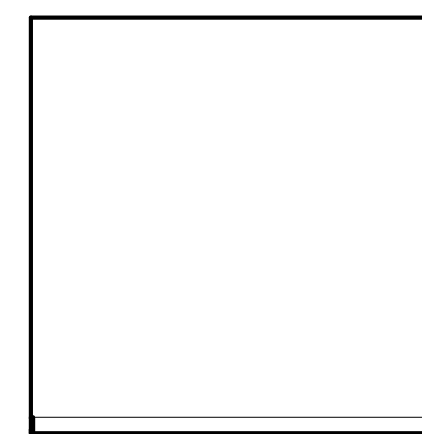
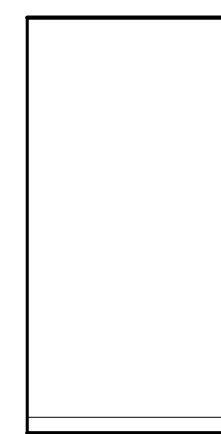
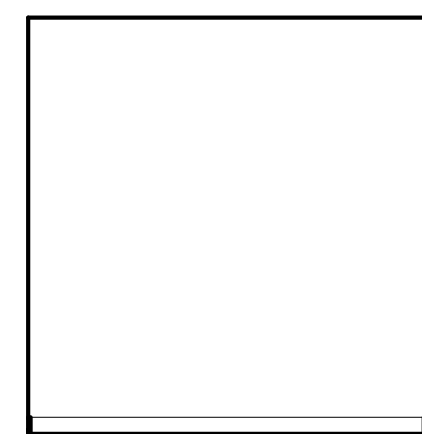
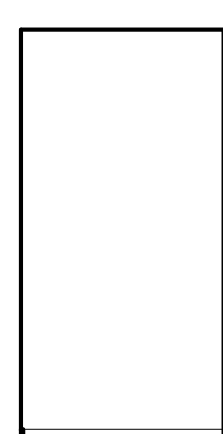
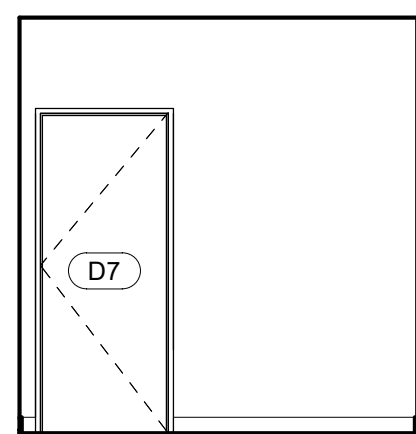
**UNIT TYPE E INTERIOR ELEVATIONS**

SHEET NO.

**A-703**

100% CD/ PERMIT SET

5/18/2020 2:26:32 AM



24 UNIT E CLOSET 2 INTERIOR ELEVATION 04  
1/4" = 1'-0"

23 UNIT E CLOSET 2 INTERIOR ELEVATION 03  
1/4" = 1'-0"

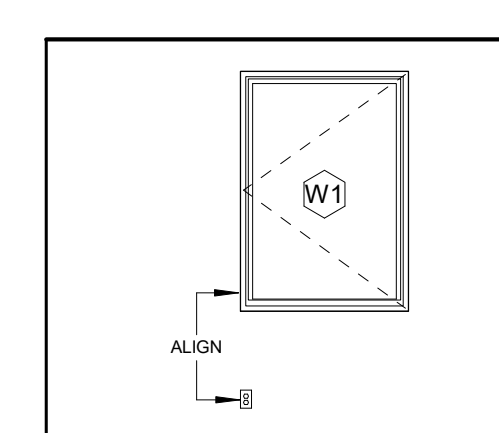
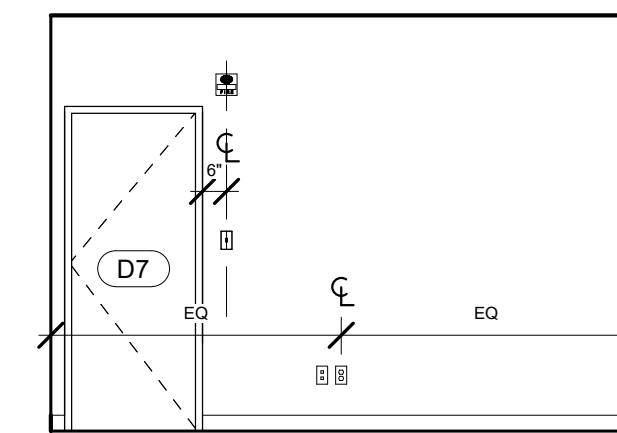
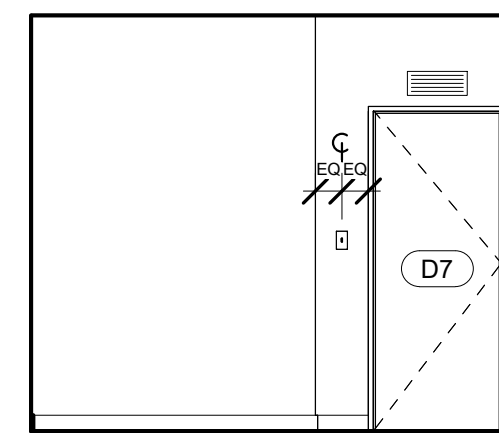
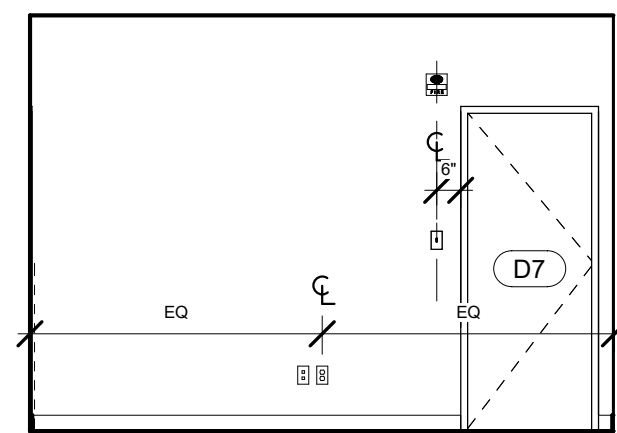
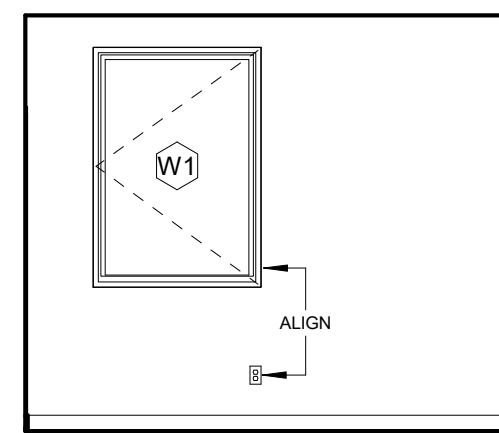
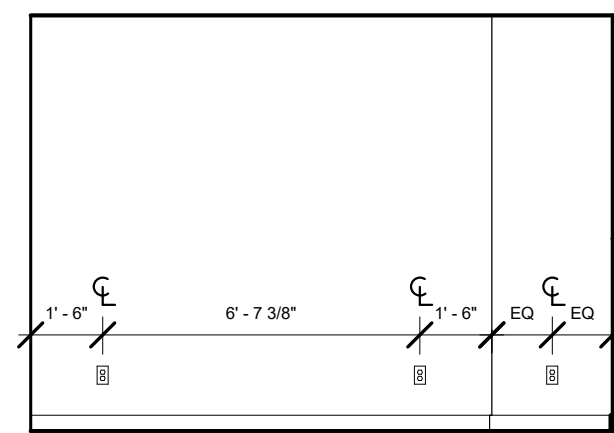
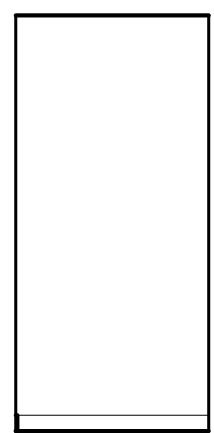
22 UNIT E CLOSET 2 INTERIOR ELEVATION 02  
1/4" = 1'-0"

21 UNIT E CLOSET 2 INTERIOR ELEVATION 01  
1/4" = 1'-0"

20 UNIT E CLOSET 1 INTERIOR ELEVATION 04  
1/4" = 1'-0"

19 UNIT E CLOSET 1 INTERIOR ELEVATION 03  
1/4" = 1'-0"

18 UNIT E CLOSET 1 INTERIOR ELEVATION 02  
1/4" = 1'-0"



17 UNIT E CLOSET 1 INTERIOR ELEVATION 01  
1/4" = 1'-0"

16 UNIT E BEDROOM 2 INTERIOR ELEVATION 04  
1/4" = 1'-0"

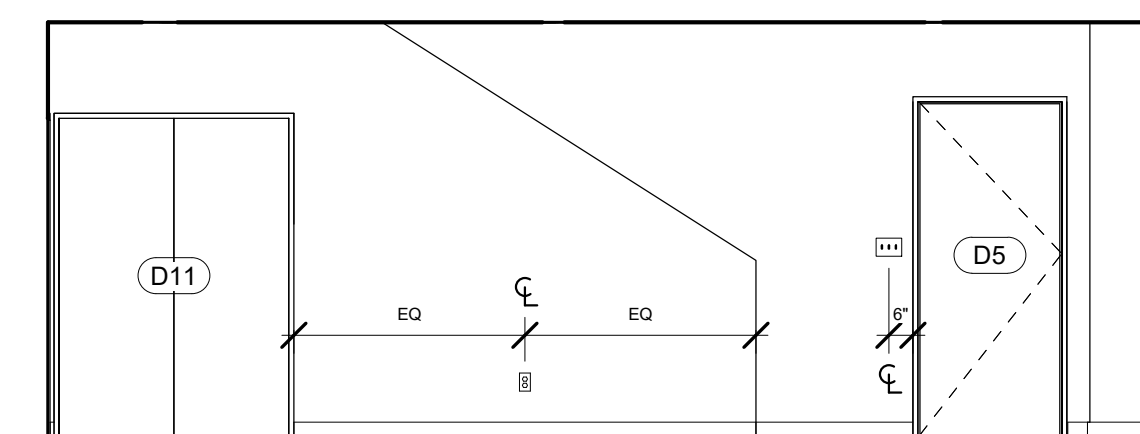
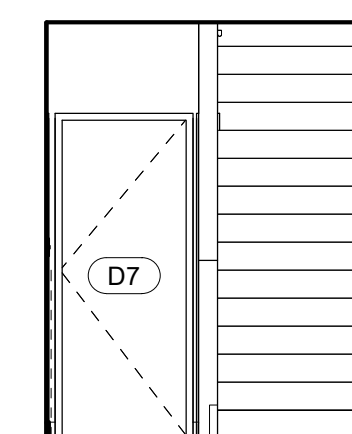
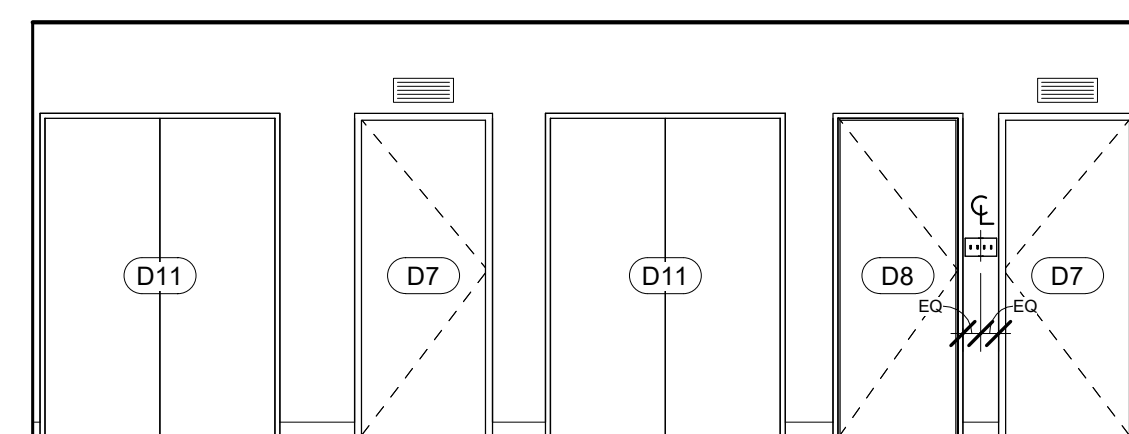
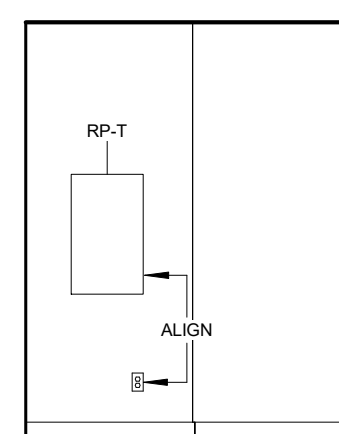
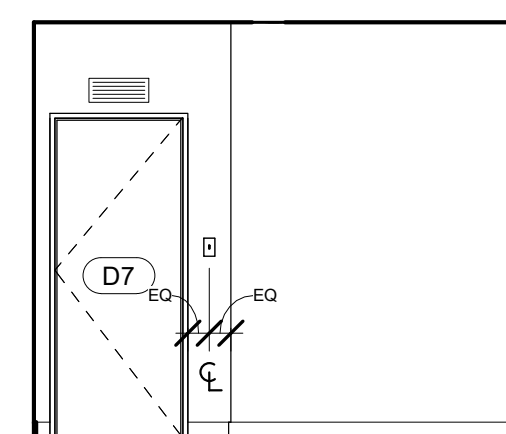
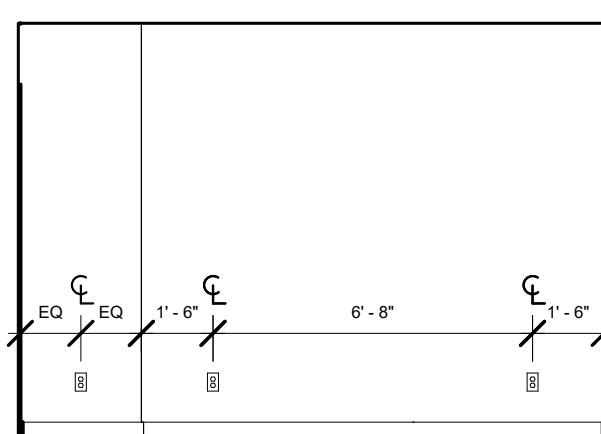
15 UNIT E BEDROOM 2 INTERIOR ELEVATION 03  
1/4" = 1'-0"

14 UNIT E BEDROOM 2 INTERIOR ELEVATION 02  
1/4" = 1'-0"

13 UNIT E BEDROOM 2 INTERIOR ELEVATION 01  
1/4" = 1'-0"

12 UNIT E BEDROOM 1 INTERIOR ELEVATION 04  
1/4" = 1'-0"

11 UNIT E BEDROOM 1 INTERIOR ELEVATION 03  
1/4" = 1'-0"



10 UNIT E BEDROOM 1 INTERIOR ELEVATION 02  
1/4" = 1'-0"

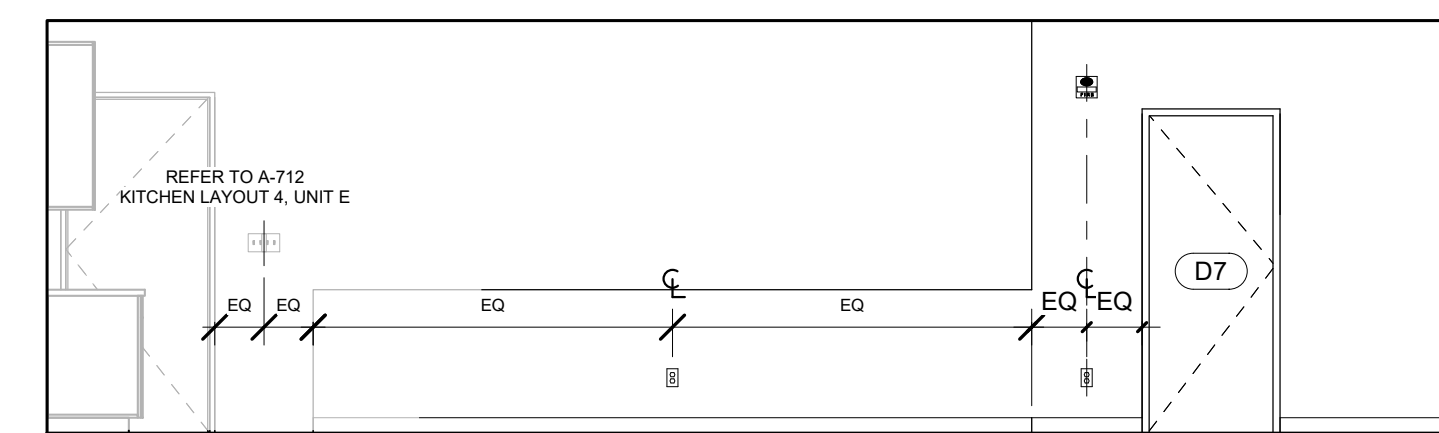
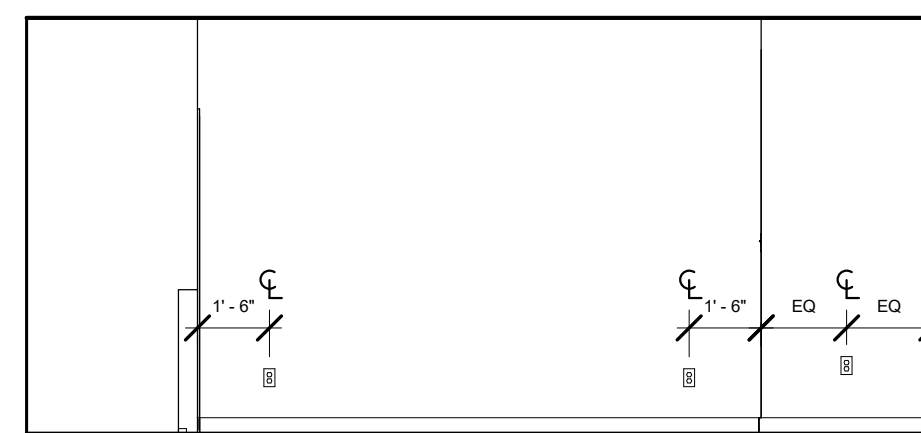
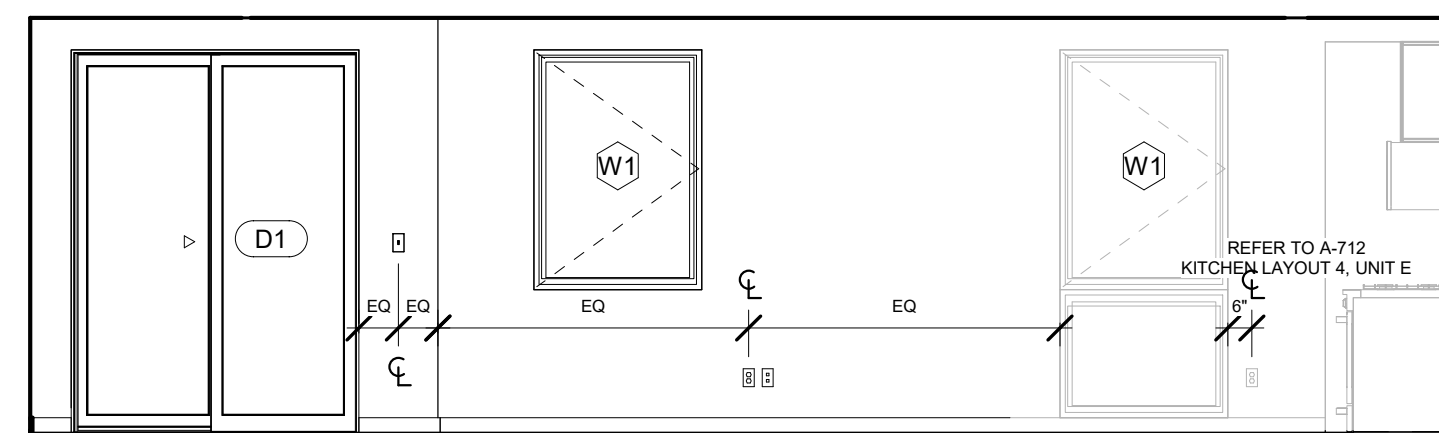
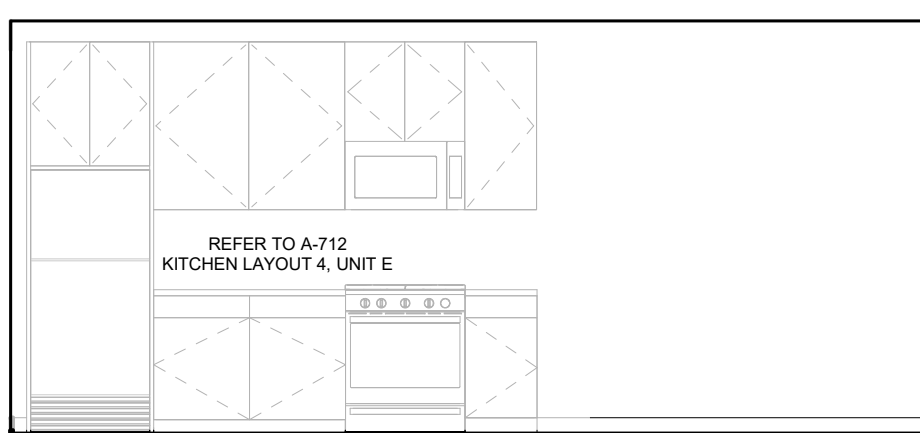
9 UNIT E BEDROOM 1 INTERIOR ELEVATION 01  
1/4" = 1'-0"

8 UNIT E CORRIDOR INTERIOR ELEVATION 04  
1/4" = 1'-0"

7 UNIT E CORRIDOR INTERIOR ELEVATION 03  
1/4" = 1'-0"

6 UNIT E CORRIDOR INTERIOR ELEVATION 02  
1/4" = 1'-0"

5 UNIT E CORRIDOR INTERIOR ELEVATION 01  
1/4" = 1'-0"



4 UNIT E LIVING AREA INTERIOR ELEVATION 04  
1/4" = 1'-0"

3 UNIT E LIVING AREA INTERIOR ELEVATION 03  
1/4" = 1'-0"

2 UNIT E LIVING AREA INTERIOR ELEVATION 02  
1/4" = 1'-0"

1 UNIT E LIVING AREA INTERIOR ELEVATION 01  
1/4" = 1'-0"

GENERAL NOTES

- SEE G-100 FOR TYPICAL MOUNTING HEIGHTS
- MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1592 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617 675 0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49419  
 T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARRINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0045  
 F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNPIKE ROAD, SUITE 200  
 SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/4" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

**UNIT TYPE F INTERIOR ELEVATIONS**

SHEET NO.

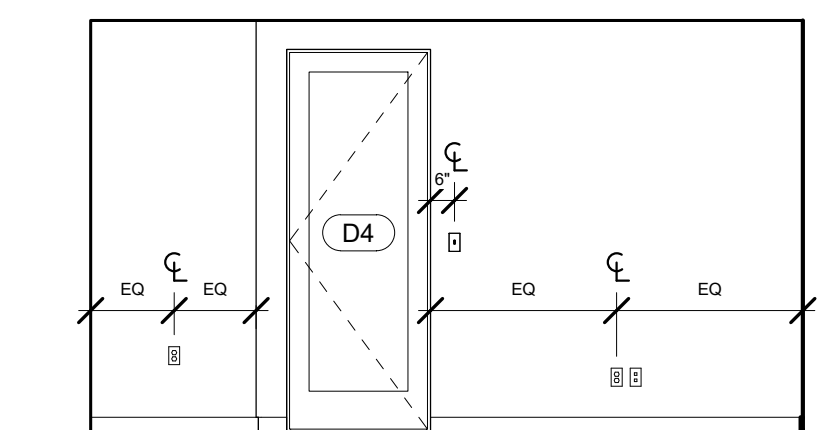
**A-704**

100% CD/ PERMIT SET

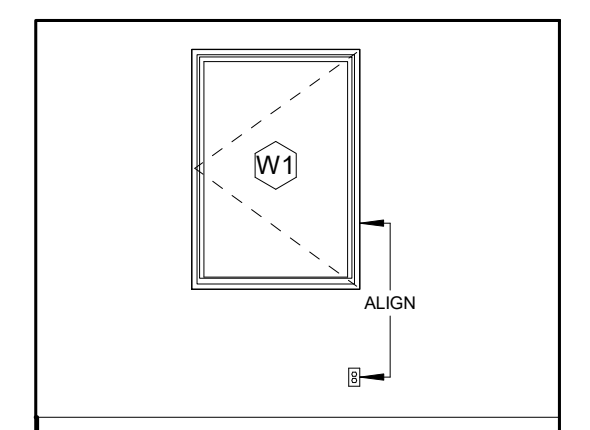
GENERAL NOTES

1. SEE G-100 FOR TYPICAL MOUNTING HEIGHTS
2. MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.

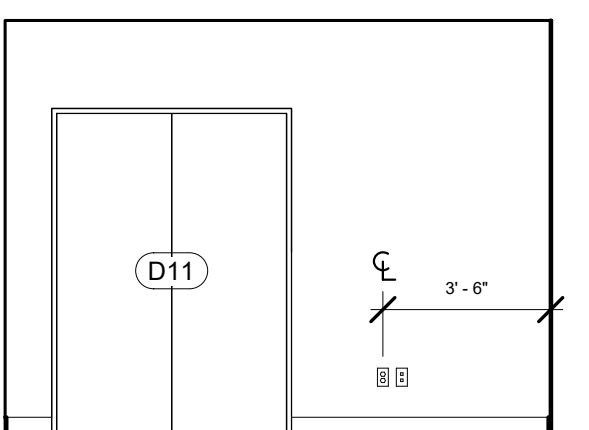
5/18/2020 2:25:38 AM



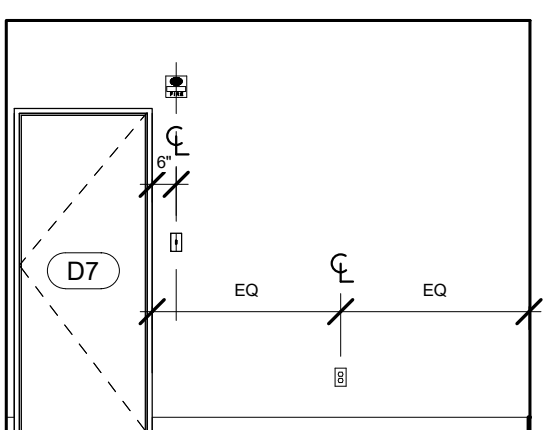
12 UNIT F BEDROOM 1 INTERIOR ELEVATION 04  
 1/4" = 1'-0"



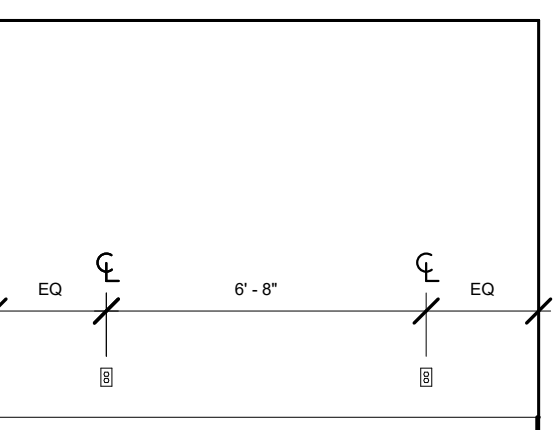
13 UNIT F BEDROOM 2 INTERIOR ELEVATION 01  
 1/4" = 1'-0"



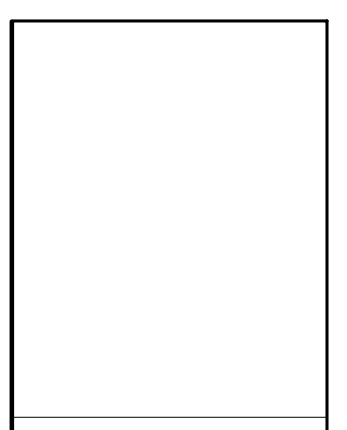
14 UNIT F BEDROOM 2 INTERIOR ELEVATION 02  
 1/4" = 1'-0"



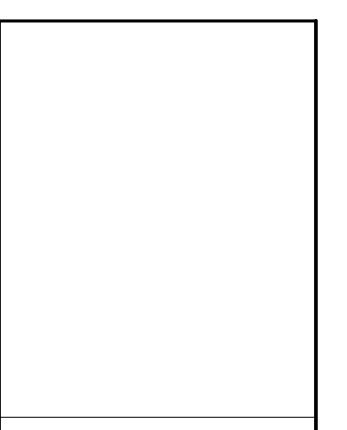
15 UNIT F BEDROOM 2 INTERIOR ELEVATION 03  
 1/4" = 1'-0"



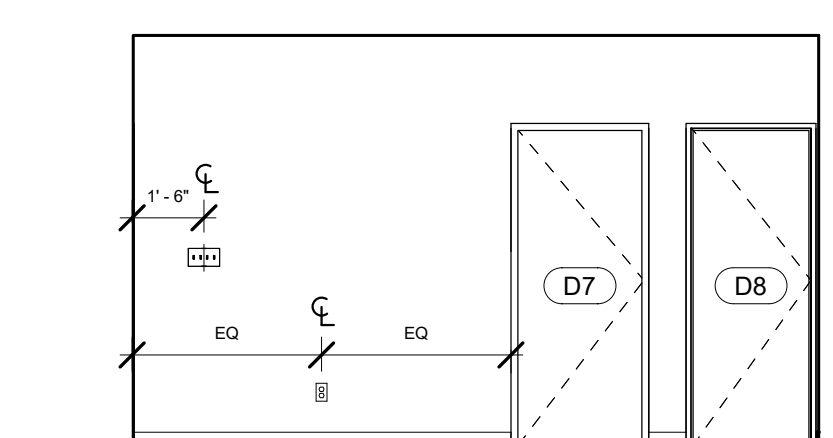
16 UNIT F BEDROOM 2 INTERIOR ELEVATION 04  
 1/4" = 1'-0"



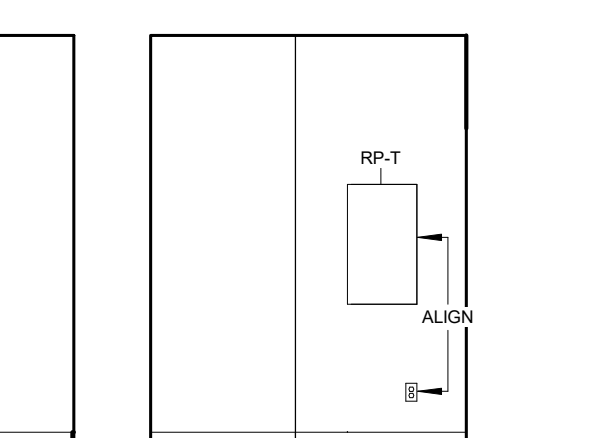
17 UNIT F CLOSET INTERIOR ELEVATION 01  
 1/4" = 1'-0"



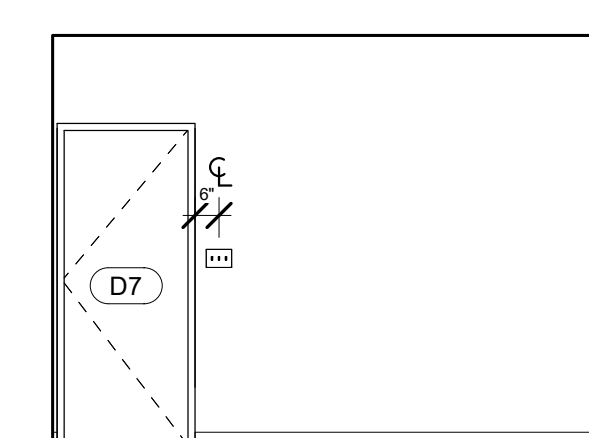
18 UNIT F CLOSET INTERIOR ELEVATION 02  
 1/4" = 1'-0"



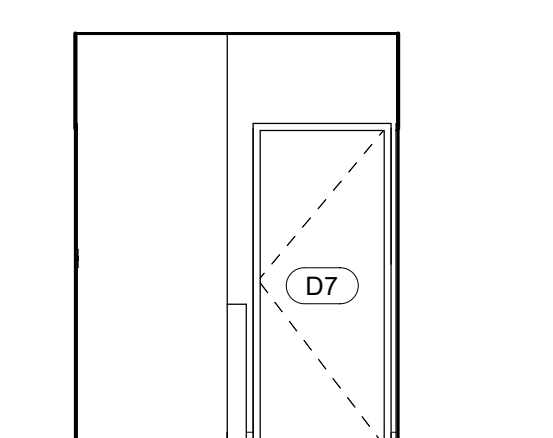
5 UNIT F CORRIDOR INTERIOR ELEVATION 01  
 1/4" = 1'-0"



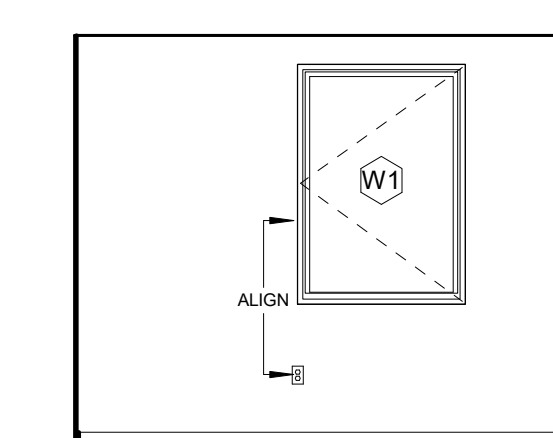
6 UNIT F CORRIDOR INTERIOR ELEVATION 02  
 1/4" = 1'-0"



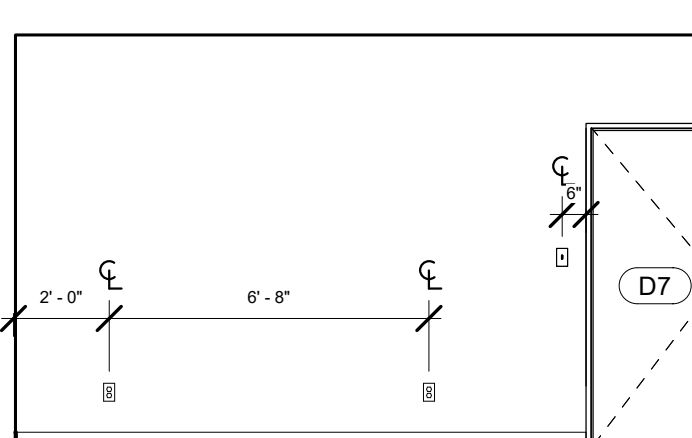
7 UNIT F CORRIDOR INTERIOR ELEVATION 03  
 1/4" = 1'-0"



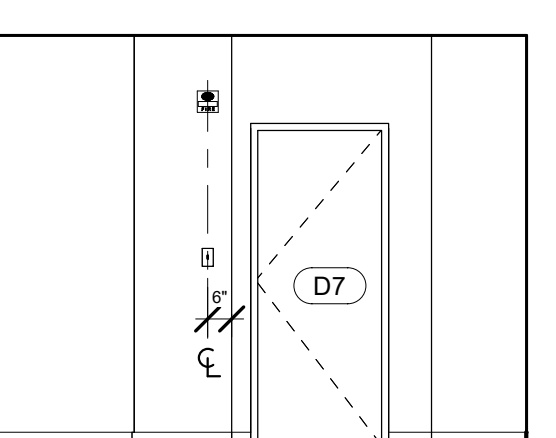
8 UNIT F CORRIDOR INTERIOR ELEVATION 04  
 1/4" = 1'-0"



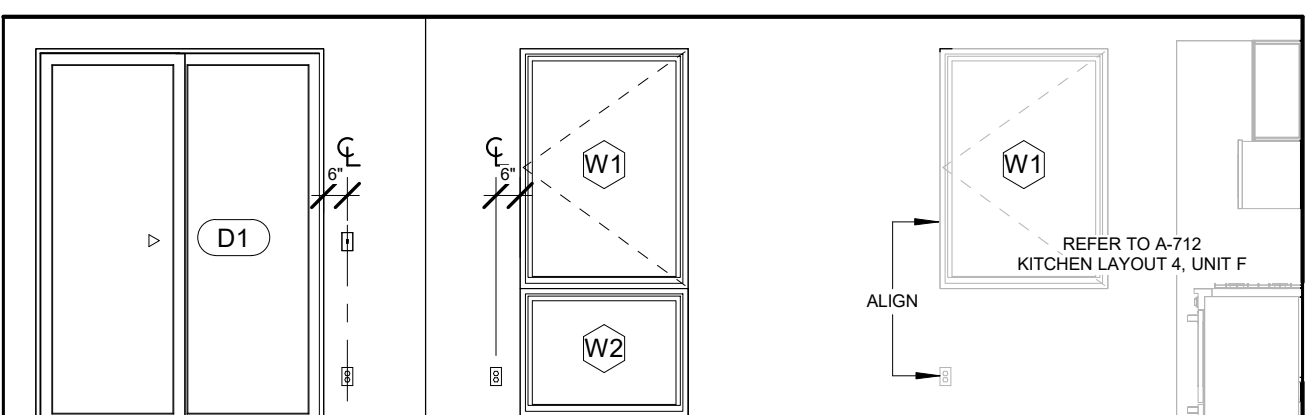
9 UNIT F BEDROOM 1 INTERIOR ELEVATION 01  
 1/4" = 1'-0"



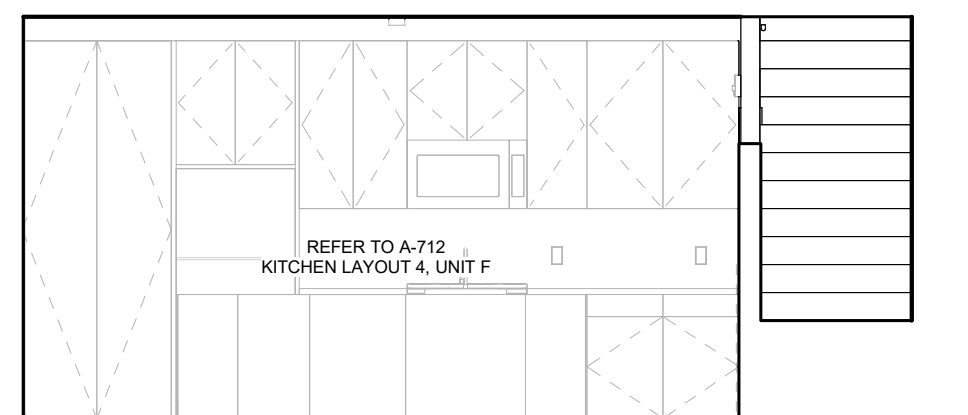
10 UNIT F BEDROOM 1 INTERIOR ELEVATION 02  
 1/4" = 1'-0"



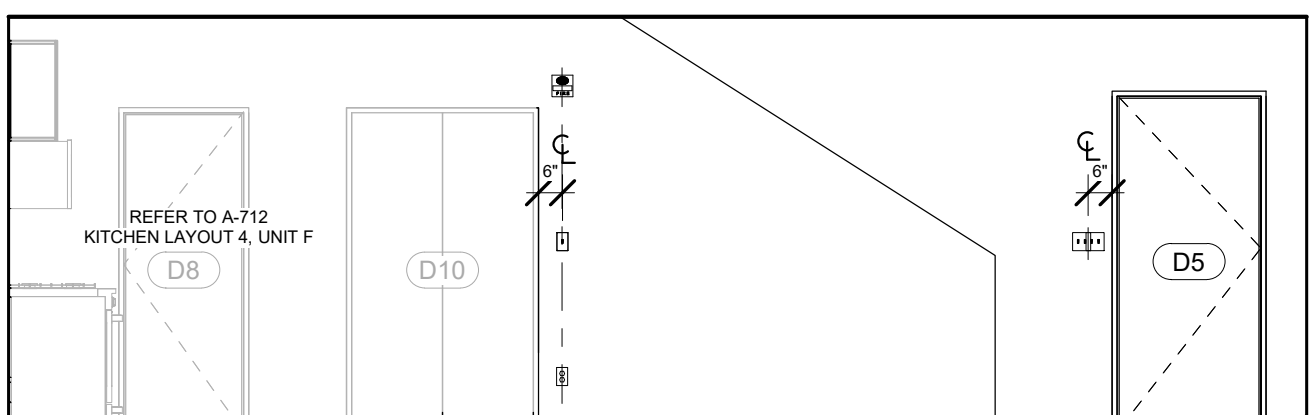
11 UNIT F BEDROOM 1 INTERIOR ELEVATION 03  
 1/4" = 1'-0"



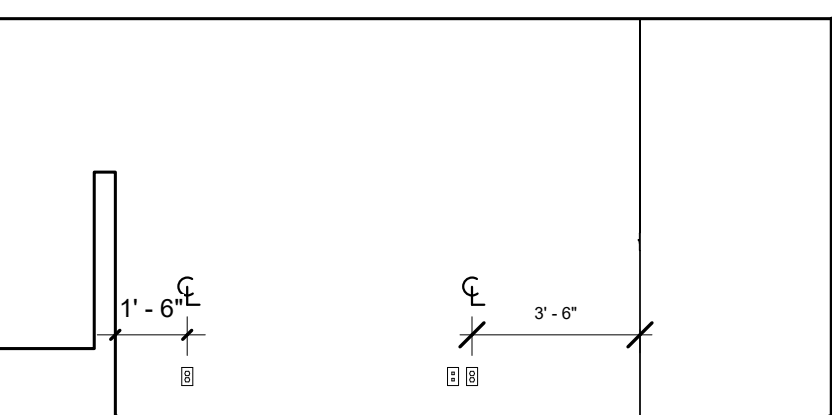
1 UNIT F LIVING AREA INTERIOR ELEVATION 01  
 1/4" = 1'-0"



2 UNIT F LIVING AREA INTERIOR ELEVATION 02  
 1/4" = 1'-0"



3 UNIT F LIVING AREA INTERIOR ELEVATION 03  
 1/4" = 1'-0"



4 UNIT F LIVING AREA INTERIOR ELEVATION 04  
 1/4" = 1'-0"



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1192 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-873-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-867-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/4" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

**UNIT TYPE G, G'  
INTERIOR ELEVATIONS**

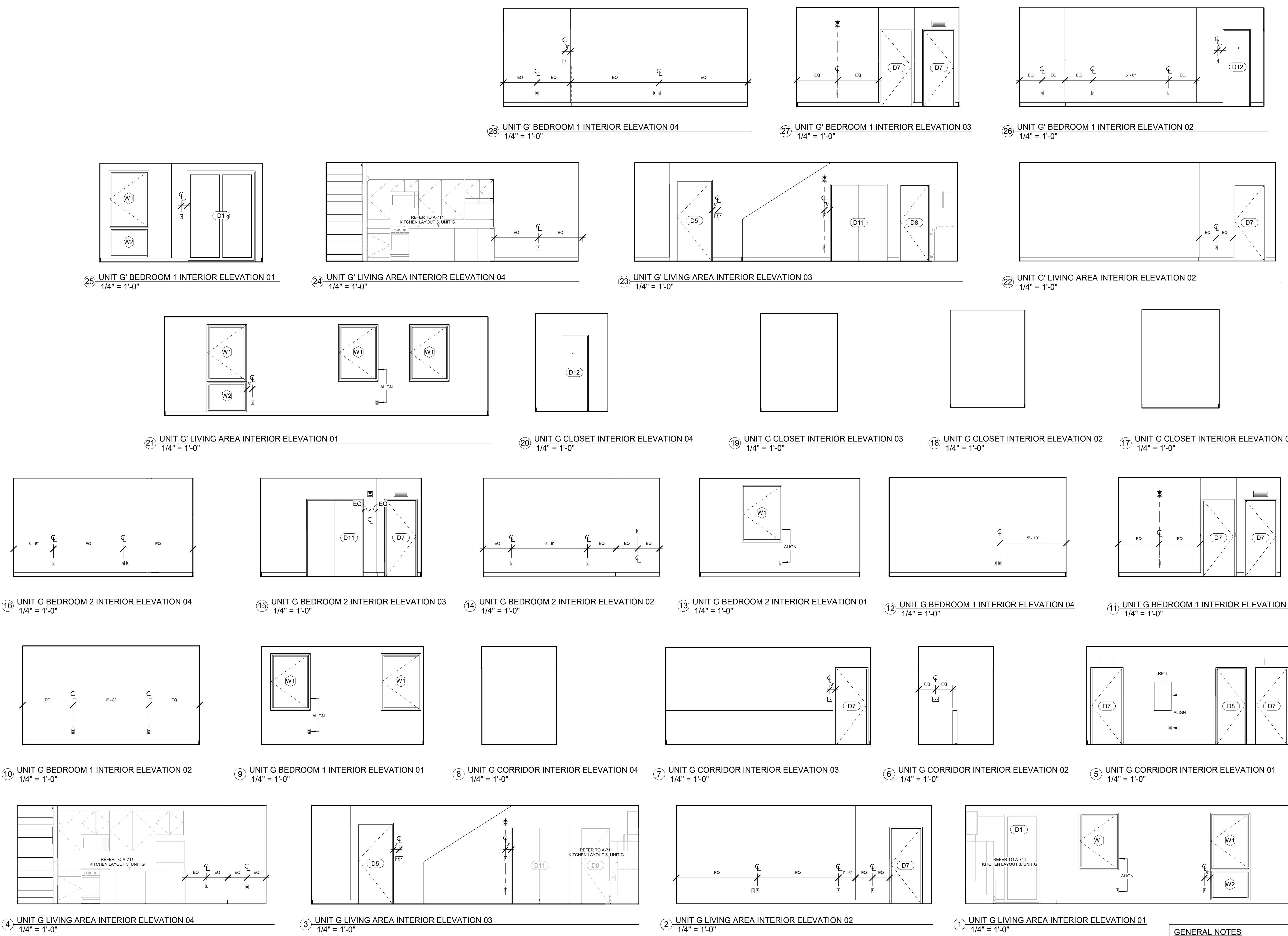
SHEET NO.

**A-705**

100% CD / PERMIT SET

GENERAL NOTES

1. SEE G-100 FOR TYPICAL MOUNTING HEIGHTS
2. MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.





REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1592 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617 670-0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49418  
 T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARMINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0945  
 F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNPIKE ROAD, SUITE 200  
 SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/4" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

**UNIT TYPE H, H' INTERIOR ELEVATIONS**

SHEET NO.

**A-706**

100% CD/ PERMIT SET

GENERAL NOTES

- SEE G-100 FOR TYPICAL MOUNTING HEIGHTS
- MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.





REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617 675 0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/4" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

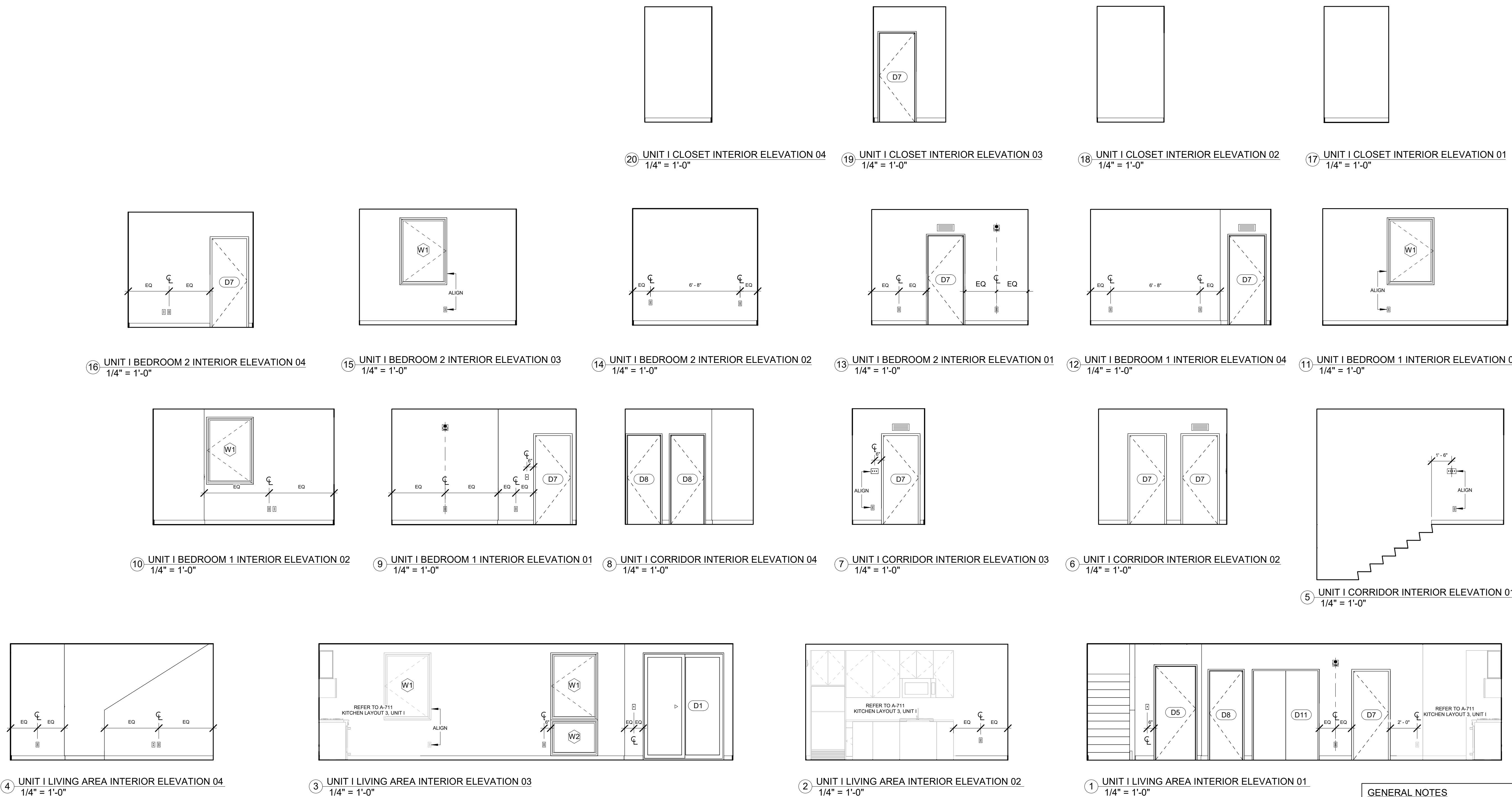
**UNIT TYPE I INTERIOR ELEVATIONS**

SHEET NO.

**A-707**

100% CD/ PERMIT SET

5/18/2020 2:26:06 AM



GENERAL NOTES

1. SEE G-100 FOR TYPICAL MOUNTING HEIGHTS
2. MECHANICAL DEVICES, WIREWAYS, ACCESS PANELS, ETC. TO BE FINISHED TO MATCH ADJACENT SURFACE, U.O.N.





**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1392 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0260

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

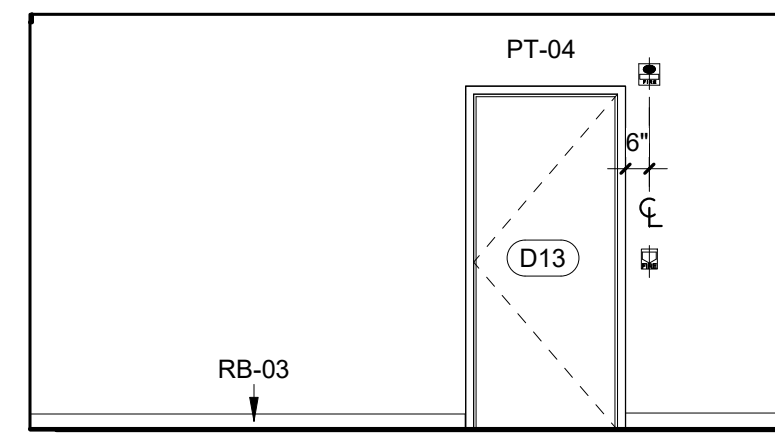
JOB NO.: 18284  
SCALE: 1/4" = 1'-0"  
DATE: 02/07/20

DRAWING TITLE  
**COMMON AREA INTERIOR ELEVATIONS**

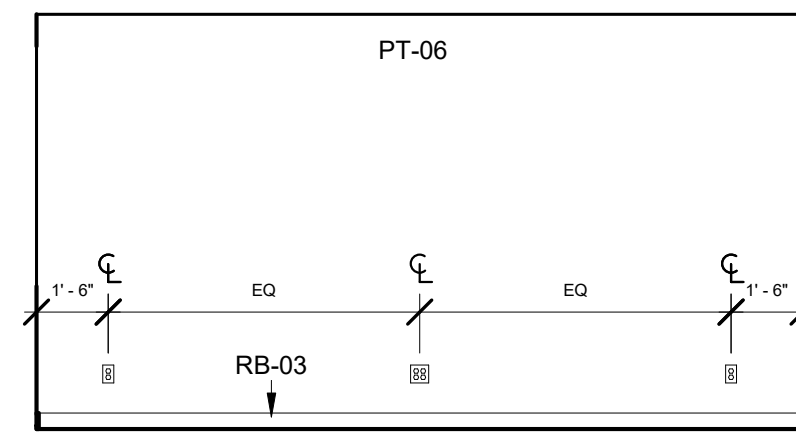
SHEET NO.

**A-708**

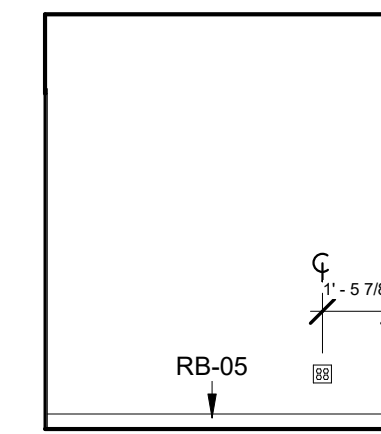
100% CD / PERMIT SET



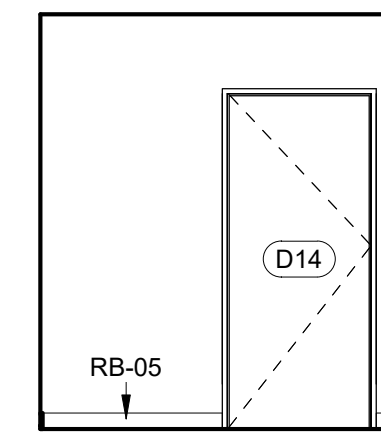
18 LOBBY 2,3 TYP. INTERIOR ELEVATION 02  
1/4" = 1'-0"



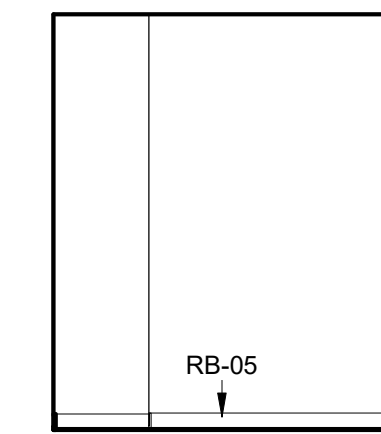
17 LOBBY 2,3 TYP. INTERIOR ELEVATION 01  
1/4" = 1'-0"



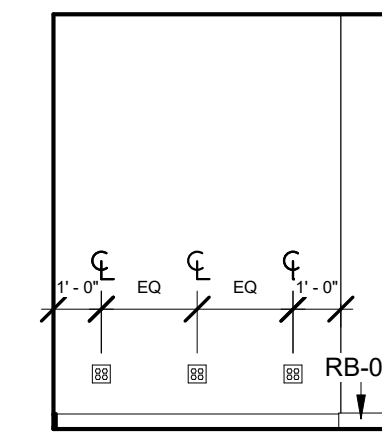
16 IT CLOSET, TYP. INTERIOR ELEVATION 04  
1/4" = 1'-0"



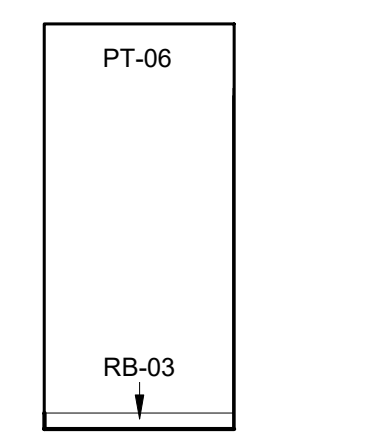
15 IT CLOSET, TYP. INTERIOR ELEVATION 03  
1/4" = 1'-0"



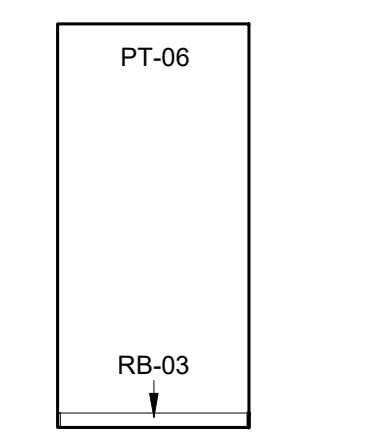
14 IT CLOSET, TYP. INTERIOR ELEVATION 02  
1/4" = 1'-0"



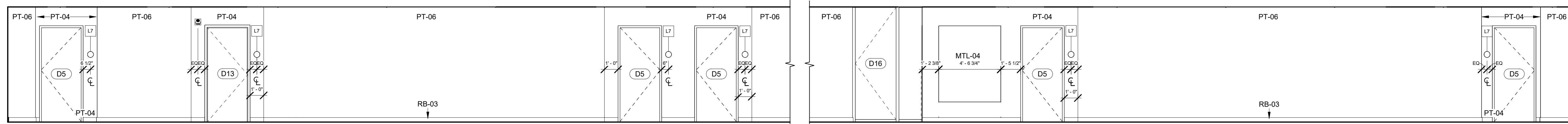
13 IT CLOSET, TYP. INTERIOR ELEVATION 01  
1/4" = 1'-0"



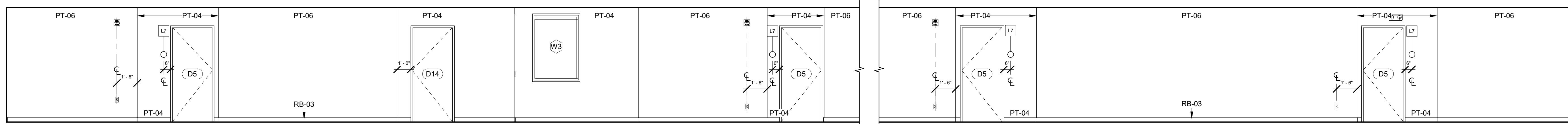
12 COMMON CORRIDOR 2 INTERIOR ELEVATION 04  
1/4" = 1'-0"



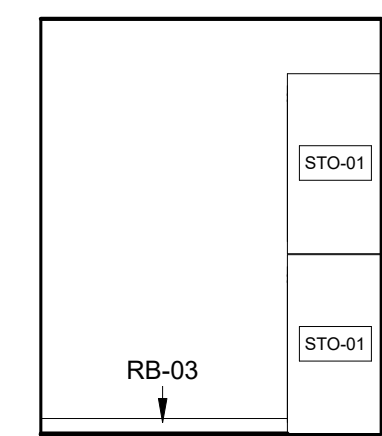
11 COMMON CORRIDOR 2 INTERIOR ELEVATION 03  
1/4" = 1'-0"



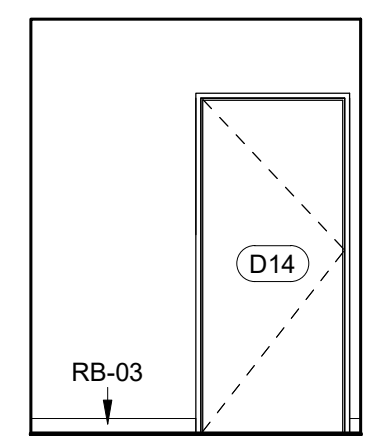
10 COMMON CORRIDOR 2 INTERIOR ELEVATION 02  
1/4" = 1'-0"



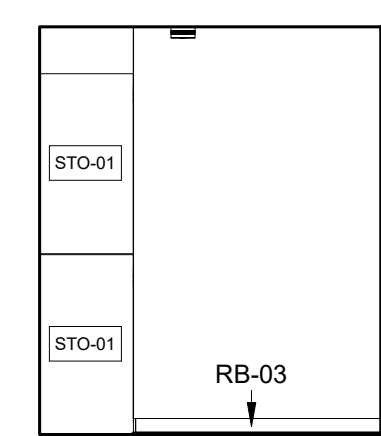
9 COMMON CORRIDOR 2 INTERIOR ELEVATION 01  
1/4" = 1'-0"



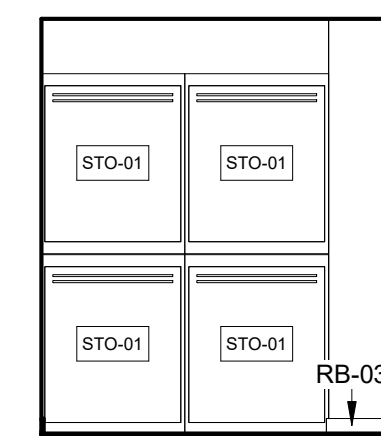
8 RESIDENT STORAGE LEVEL 1 INTERIOR ELEVATION 04  
1/4" = 1'-0"



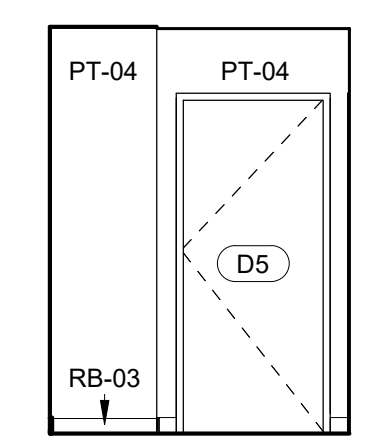
7 RESIDENT STORAGE LEVEL 1 INTERIOR ELEVATION 03  
1/4" = 1'-0"



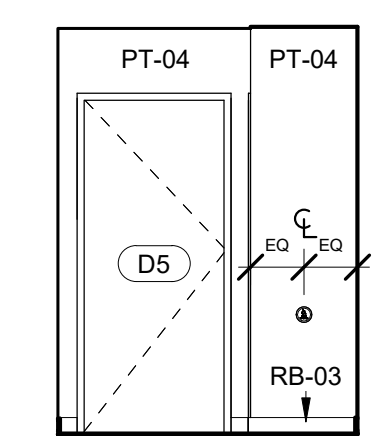
6 RESIDENT STORAGE LEVEL 1 INTERIOR ELEVATION 02  
1/4" = 1'-0"



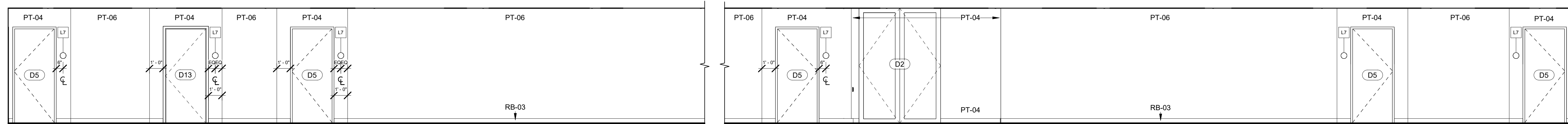
5 RESIDENT STORAGE LEVEL 1 INTERIOR ELEVATION 01  
1/4" = 1'-0"



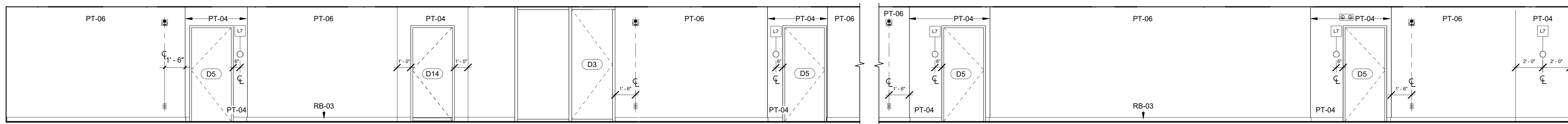
4 COMMON CORRIDOR 1 INTERIOR ELEVATION 04  
1/4" = 1'-0"



3 COMMON CORRIDOR 1 INTERIOR ELEVATION 03  
1/4" = 1'-0"



2 COMMON CORRIDOR 1 INTERIOR ELEVATION 02  
1/4" = 1'-0"



1 COMMON CORRIDOR 1 INTERIOR ELEVATION 01  
1/4" = 1'-0"



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1502 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617 675 0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49418  
 T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARRINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0045  
 F: 248-482-0522

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNPIKE ROAD, SUITE 200  
 SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
 SCALE: 1/4" = 1'-0"  
 DATE: 05/06/20

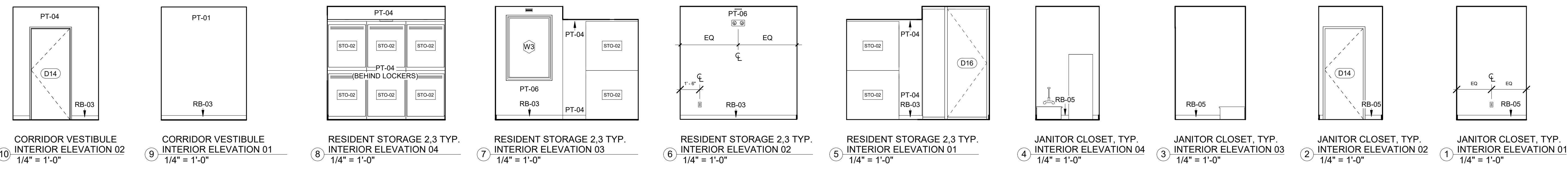
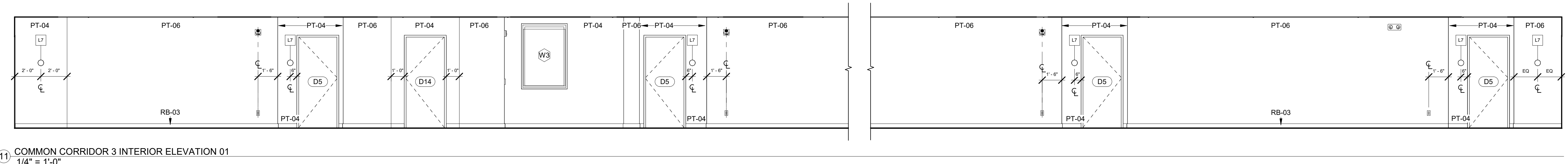
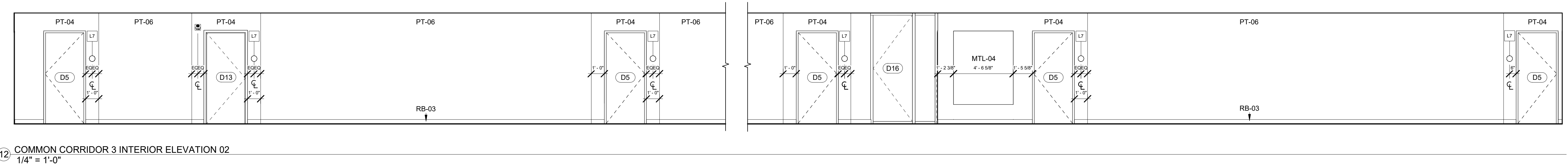
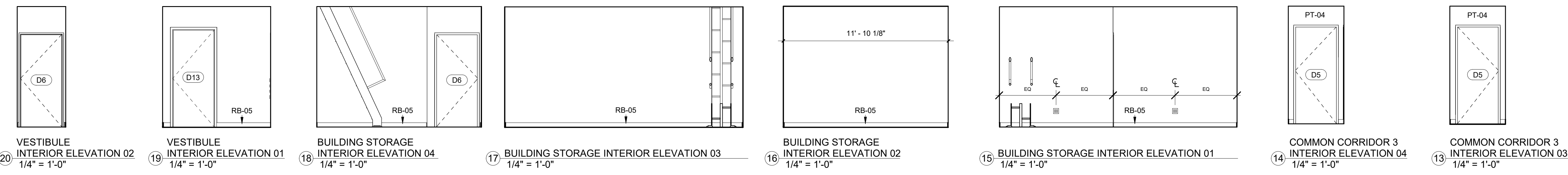
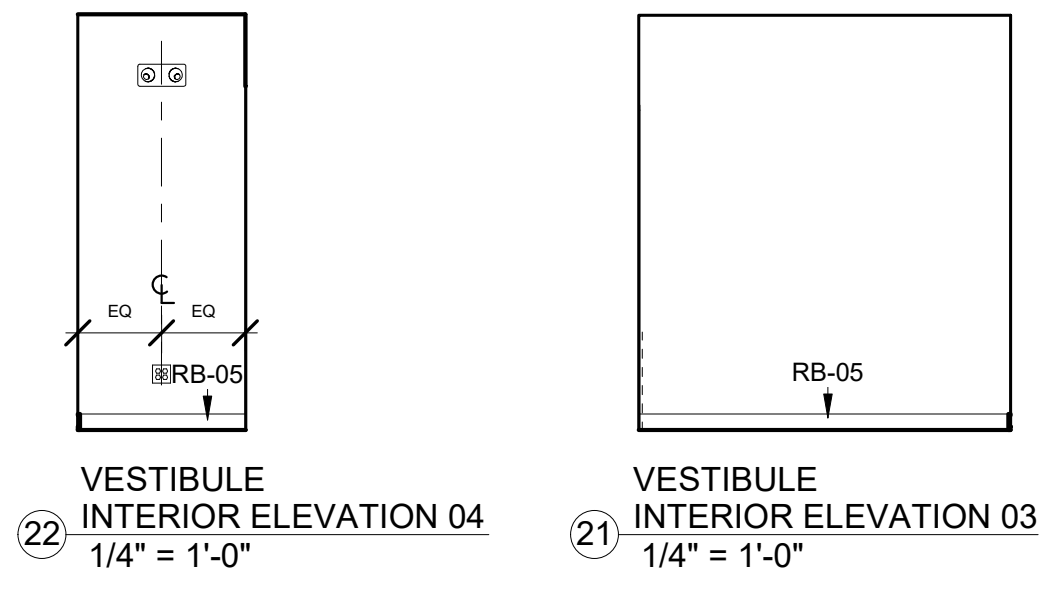
DRAWING TITLE  
**COMMON AREA  
 INTERIOR ELEVATIONS**

SHEET NO.

**A-709**

100% CD / PERMIT SET

5/16/2020 2:24:26 AM



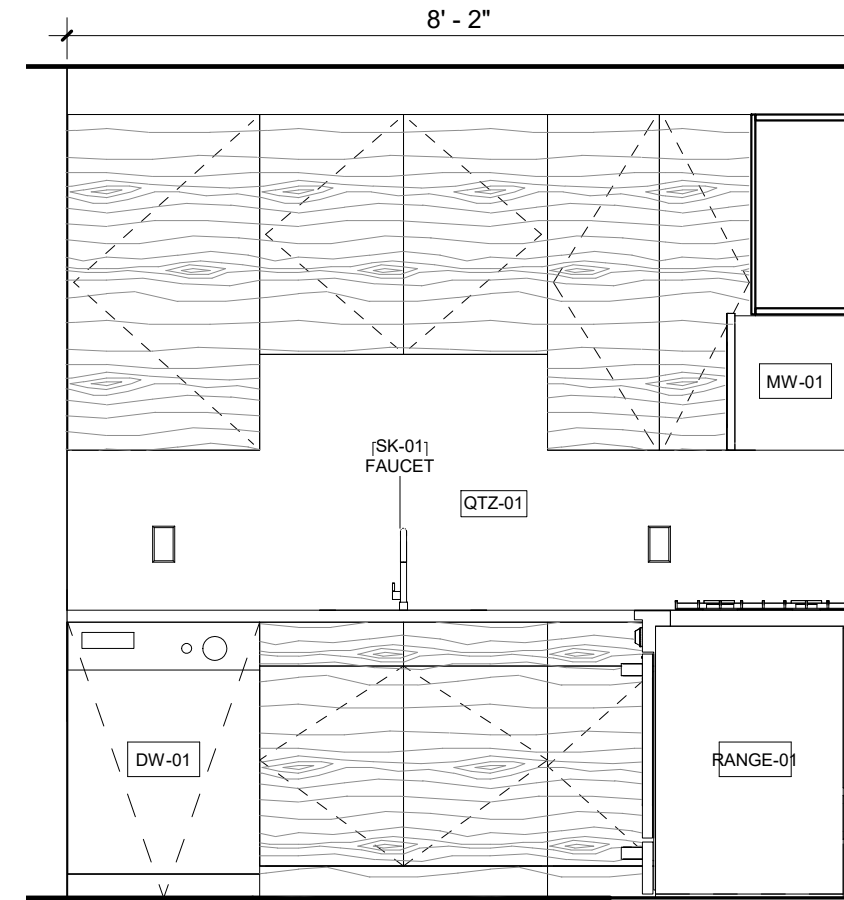


PLUMBING LEGEND	
Type Mark	Description
BT-01	Bath and Shower Trim
BT-02	Handshower Kit
LAV-01	Sink
LAV-01 FAUCET	Faucet
LAV-02	Mop Service Basin
LAV-02 FAUCET	Wall Mounted Service Sink Faucet
SC-1	Box Roof Drainage Scupper
SC-2	Roof Drainage Scupper
SH-01	Provide with Linear Drain
SK-01	Sink
SK-01 FAUCET	Sink
TUB-01	Tub - Regular
TUB-02	Tub - Long
WC-01	Toilet

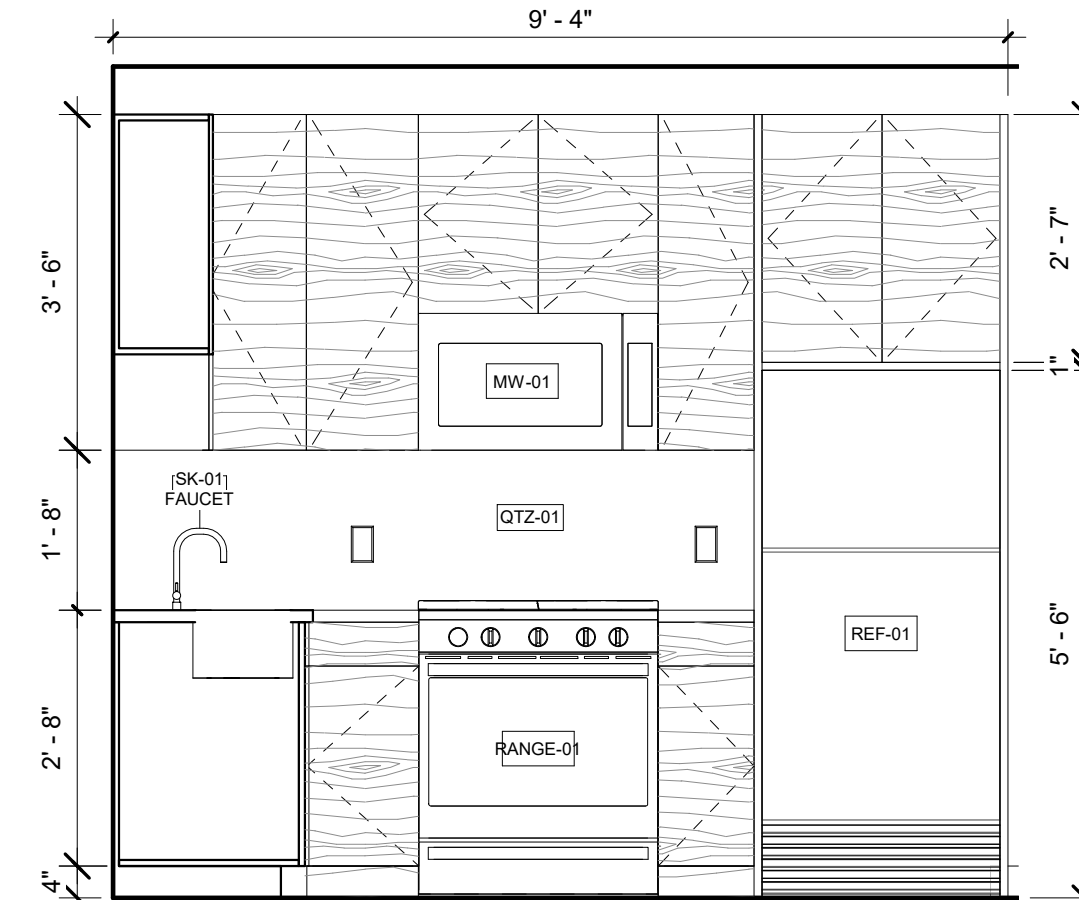
APPLIANCE LEGEND	
Type Mark	Description
D-01	Dryer Front Loading
DW-01	Dishwasher
DW-02	Dishwasher
MW-01	Microwave Oven
MW-02	Microwave Oven
RANGE-01	Oven/ Range
RANGE-02	Oven/ Range
REF-01	Refrigerator
REF-02	Refrigerator
RH-01	Range Hood
W-01	Washer Front Loading
WD-01	Electric Stacked Laundry Center

**KITCHEN GENERAL NOTES**

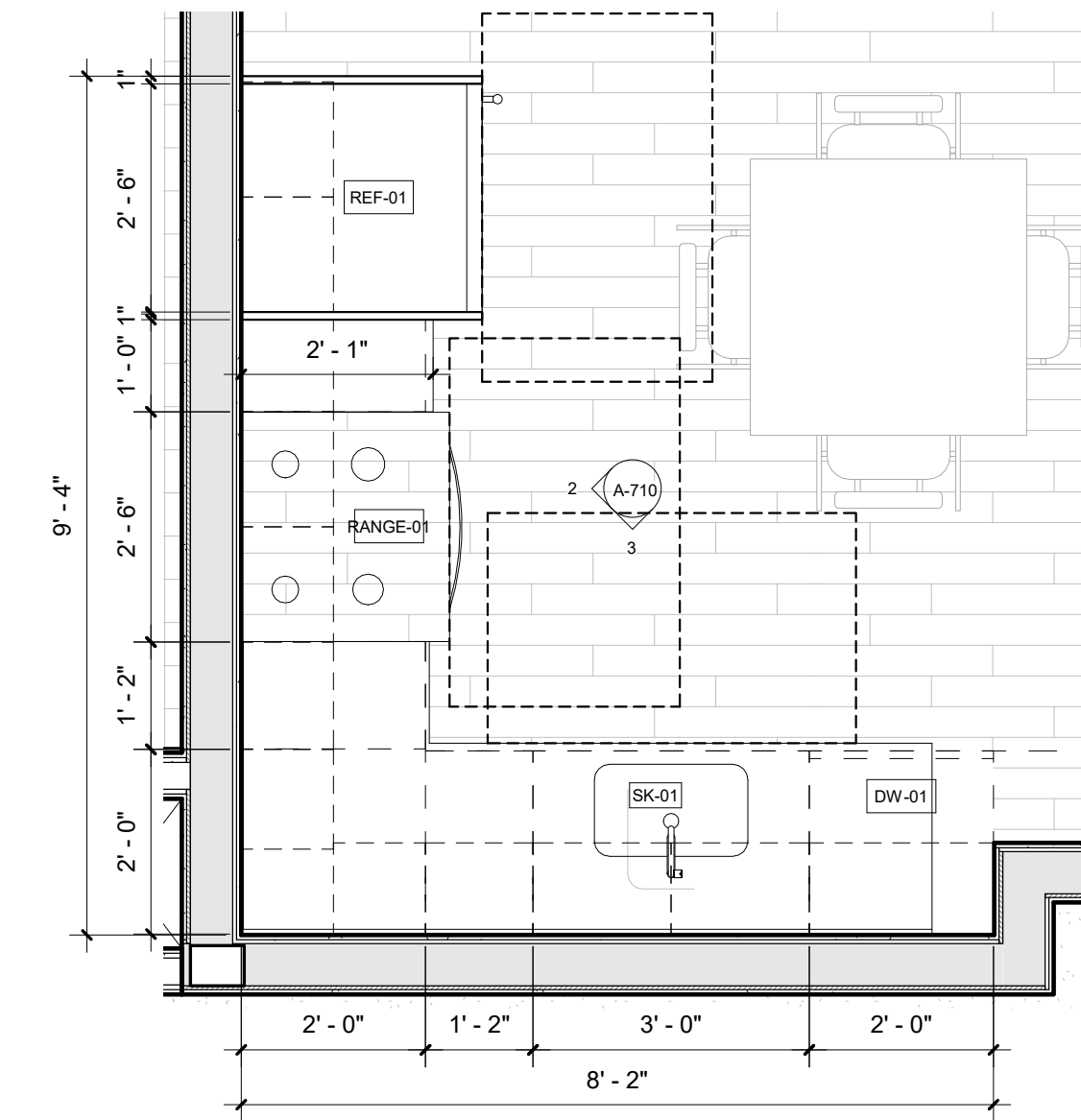
1. DIMENSIONS ARE TO FINISH FACE U.O.N.
2. COORDINATE CASEWORK WITH APPLIANCE SPECIFICATIONS
3. PROVIDE FINISH FACE CABINETS AT CASEWORK CORNERS, WALL TERMINATIONS, AND VISIBLE ENDS
4. CONTINUE BACKSPASH 4" BELOW TOP OF RANGE
5. CONTINUE PAINT BEHIND APPLIANCES AND REMOVABLE CABINETS
6. CONTINUE FINISH FLOOR UNDER REMOVABLE CABINETS
7. REFER TO ENLARGED PLANS FOR ORIENTATION OF KITCHEN LAYOUT.



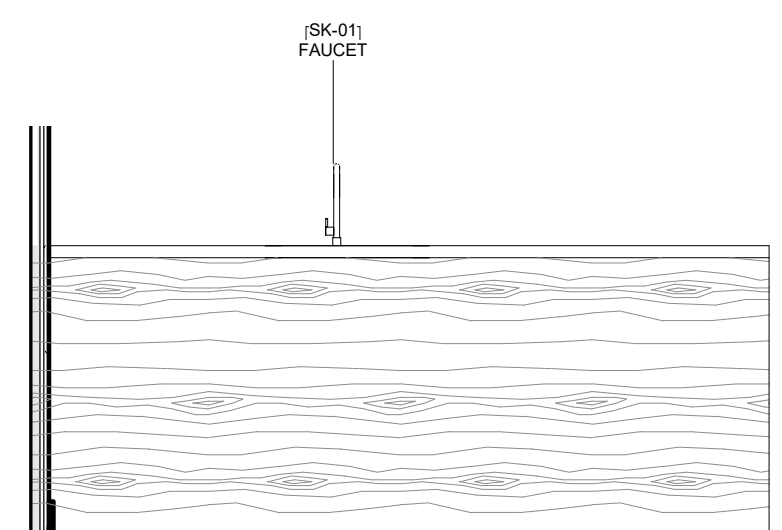
3 KITCHEN LAYOUT 1 INTERIOR ELEVATION 02  
1/2" = 1'-0"



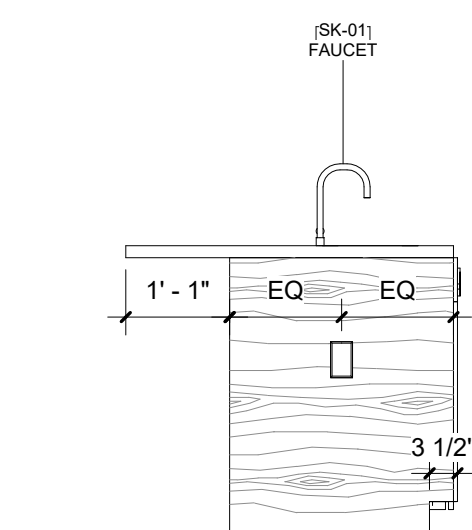
2 KITCHEN LAYOUT 1 INTERIOR ELEVATION 01  
1/2" = 1'-0"



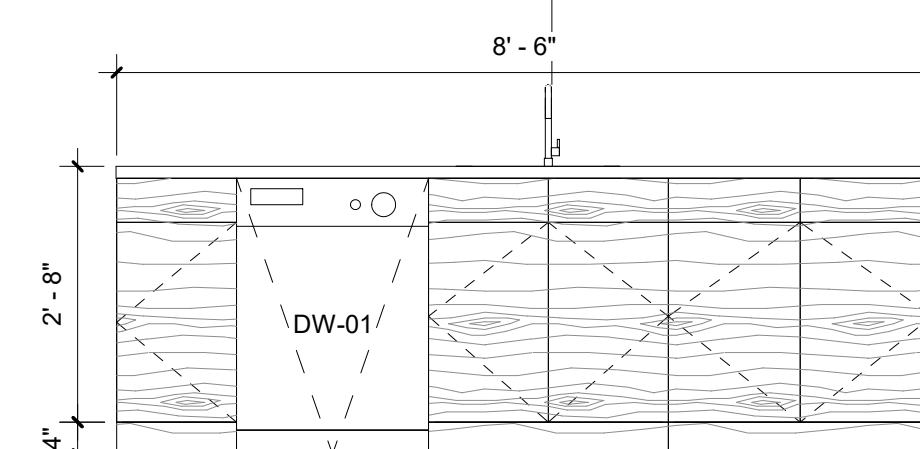
1 KITCHEN LAYOUT 1 ENLARGED PLAN (UNIT A)  
1/2" = 1'-0"



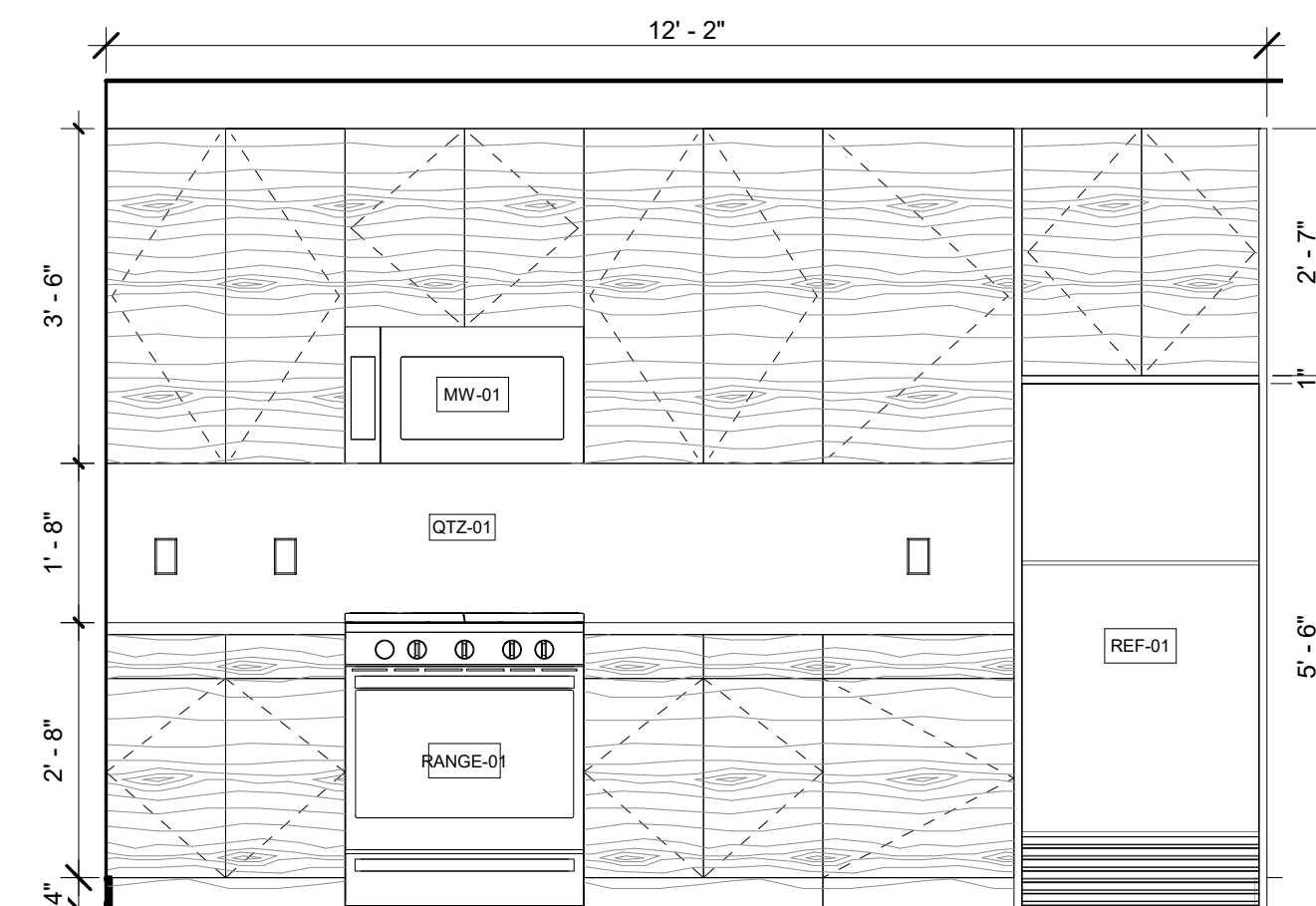
8 KITCHEN LAYOUT 2 INTERIOR ELEVATION 04  
1/2" = 1'-0"



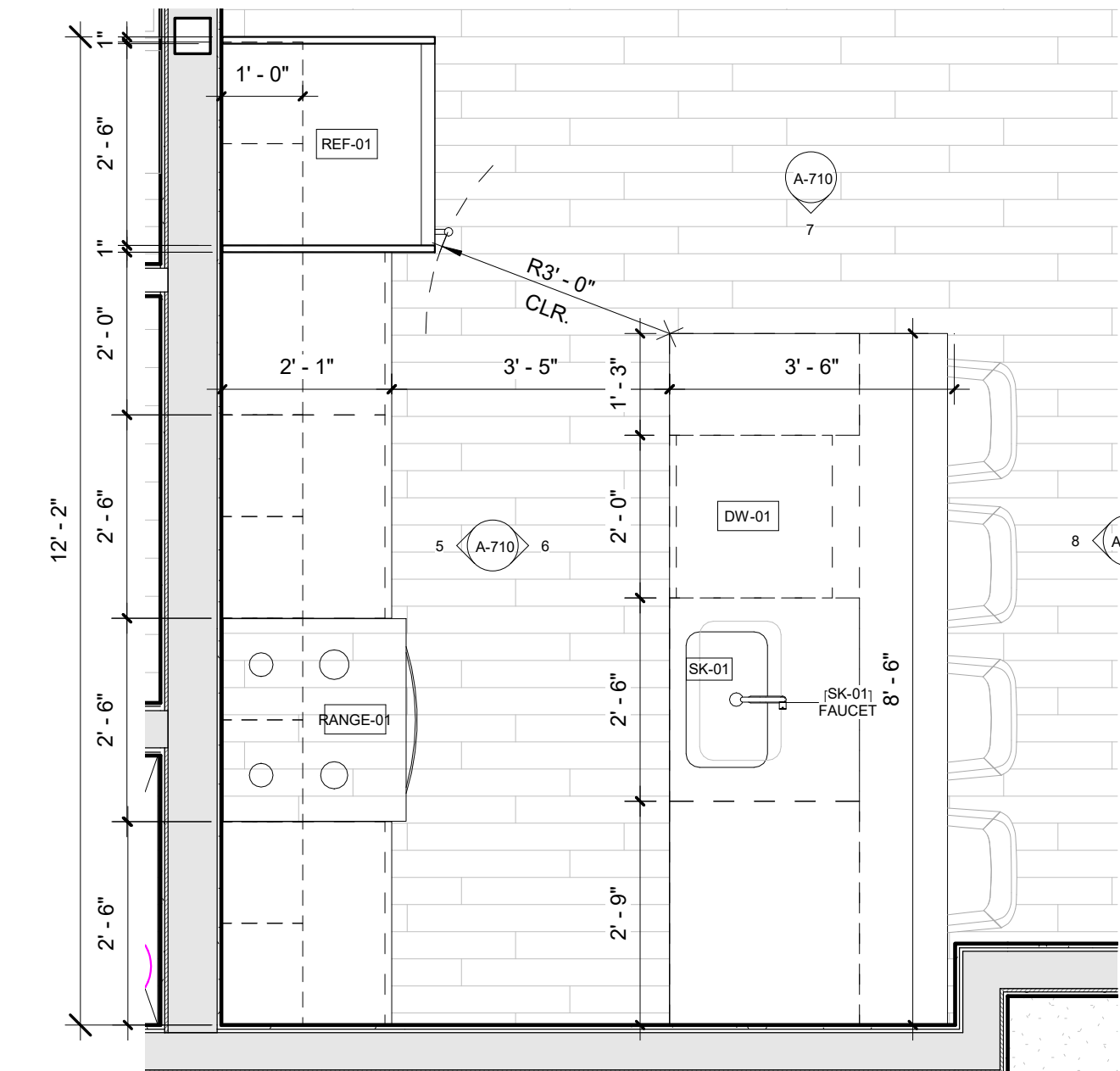
7 KITCHEN LAYOUT 2 INTERIOR ELEVATION 03  
1/2" = 1'-0"



6 KITCHEN LAYOUT 2 INTERIOR ELEVATION 02  
1/2" = 1'-0"



5 KITCHEN LAYOUT 2 INTERIOR ELEVATION 01  
1/2" = 1'-0"



4 KITCHEN LAYOUT 2 ENLARGED PLAN (UNIT B)  
1/2" = 1'-0"

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1192 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0260

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/2" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

**KITCHEN LAYOUTS 1 + 2, UNITS A, B**

SHEET NO.

**A-710**

100% CD / PERMIT SET

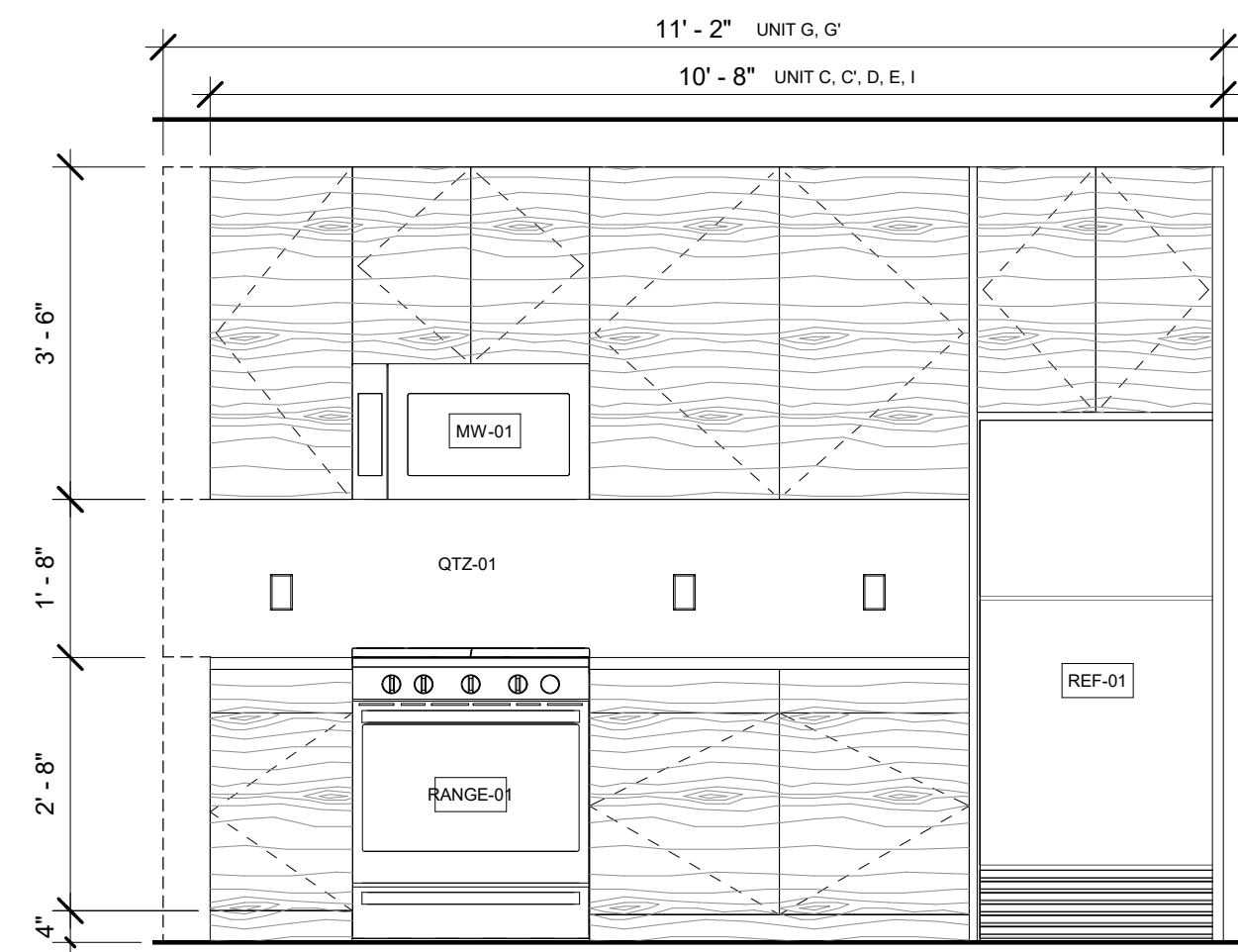


PLUMBING LEGEND	
Type Mark	Description
BT-01	Bath and Shower Trim
BT-02	Handshower Kit
LAV-01	Sink
LAV-01 FAUCET	Faucet
LAV-02	Mop Service Basin
LAV-02 FAUCET	Wall Mounted Service Sink Faucet
SC-1	Box Roof Drainage Scupper
SC-2	Roof Drainage Scupper
SH-01	Provide with Linear Drain
SK-01	Sink
SK-01 FAUCET	Sink
TUB-01	Tub - Regular
TUB-02	Tub - Long
WC-01	Toilet

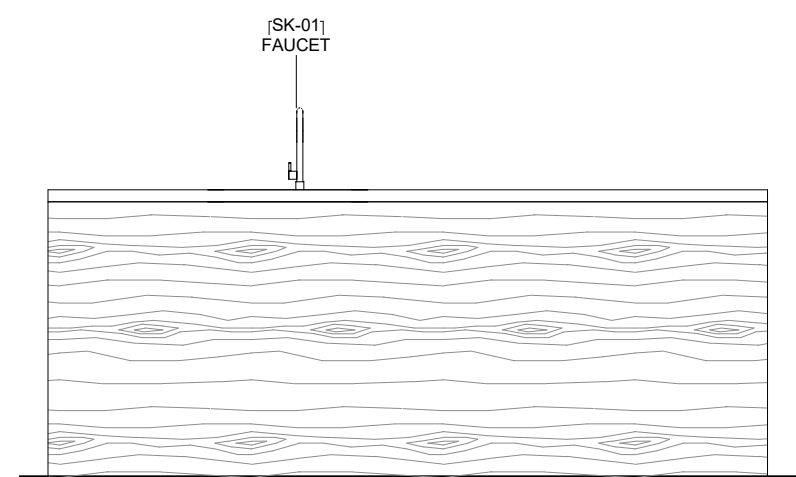
APPLIANCE LEGEND	
Type Mark	Description
D-01	Dryer Front Loading
DW-01	Dishwasher
DW-02	Dishwasher
MW-01	Microwave Oven
MW-02	Microwave Oven
RANGE-01	Oven/ Range
RANGE-02	Oven/ Range
REF-01	Refrigerator
REF-02	Refrigerator
RH-01	Range Hood
W-01	Washer Front Loading
WD-01	Electric Stacked Laundry Center

**KITCHEN GENERAL NOTES**

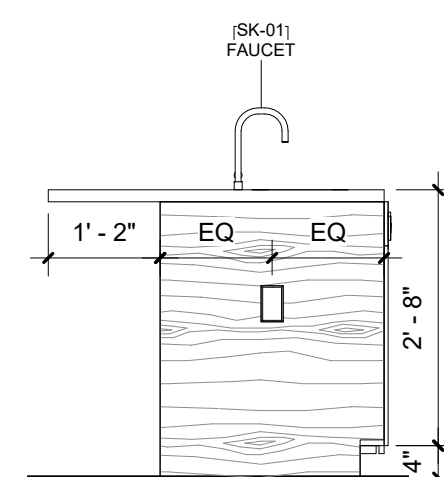
- DIMENSIONS ARE TO FINISH FACE U.O.N.
- COORDINATE CASEWORK WITH APPLIANCE SPECIFICATIONS
- PROVIDE FINISH FACE CABINETS AT CASEWORK CORNERS, WALL TERMINATIONS, AND VISIBLE ENDS
- CONTINUE BACKSPASH 4" BELOW TOP OF RANGE
- CONTINUE PAINT BEHIND APPLIANCES AND REMOVABLE CABINETS
- CONTINUE FINISH FLOOR UNDER REMOVABLE CABINETS
- REFER TO ENLARGED PLANS FOR ORIENTATION OF KITCHEN LAYOUT.



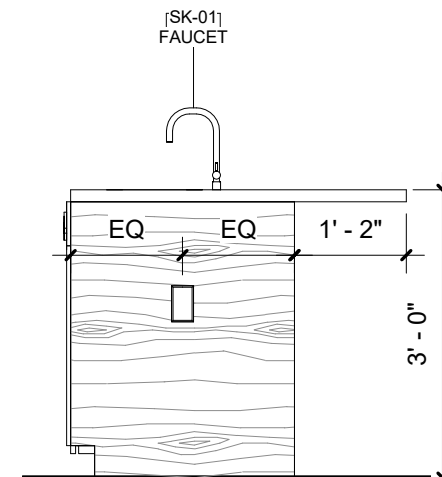
② KITCHEN LAYOUT 3 INTERIOR ELEVATION 01  
1/2" = 1'-0"



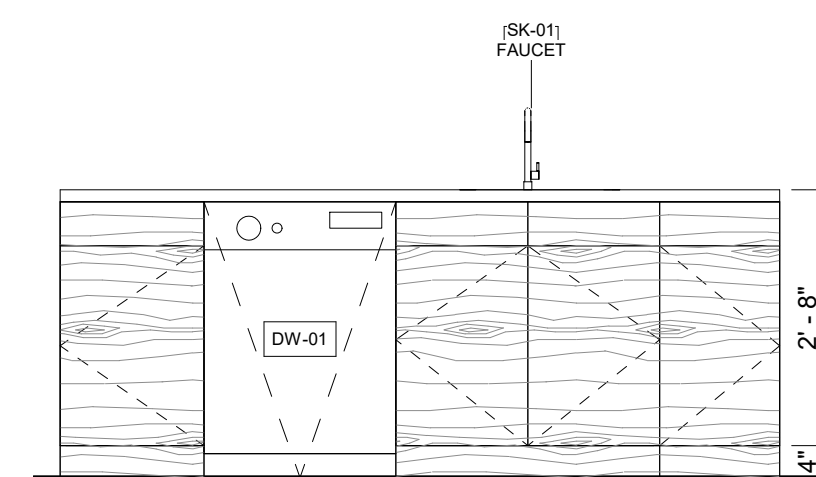
⑥ KITCHEN LAYOUT 3 INTERIOR ELEVATION 05  
1/2" = 1'-0"



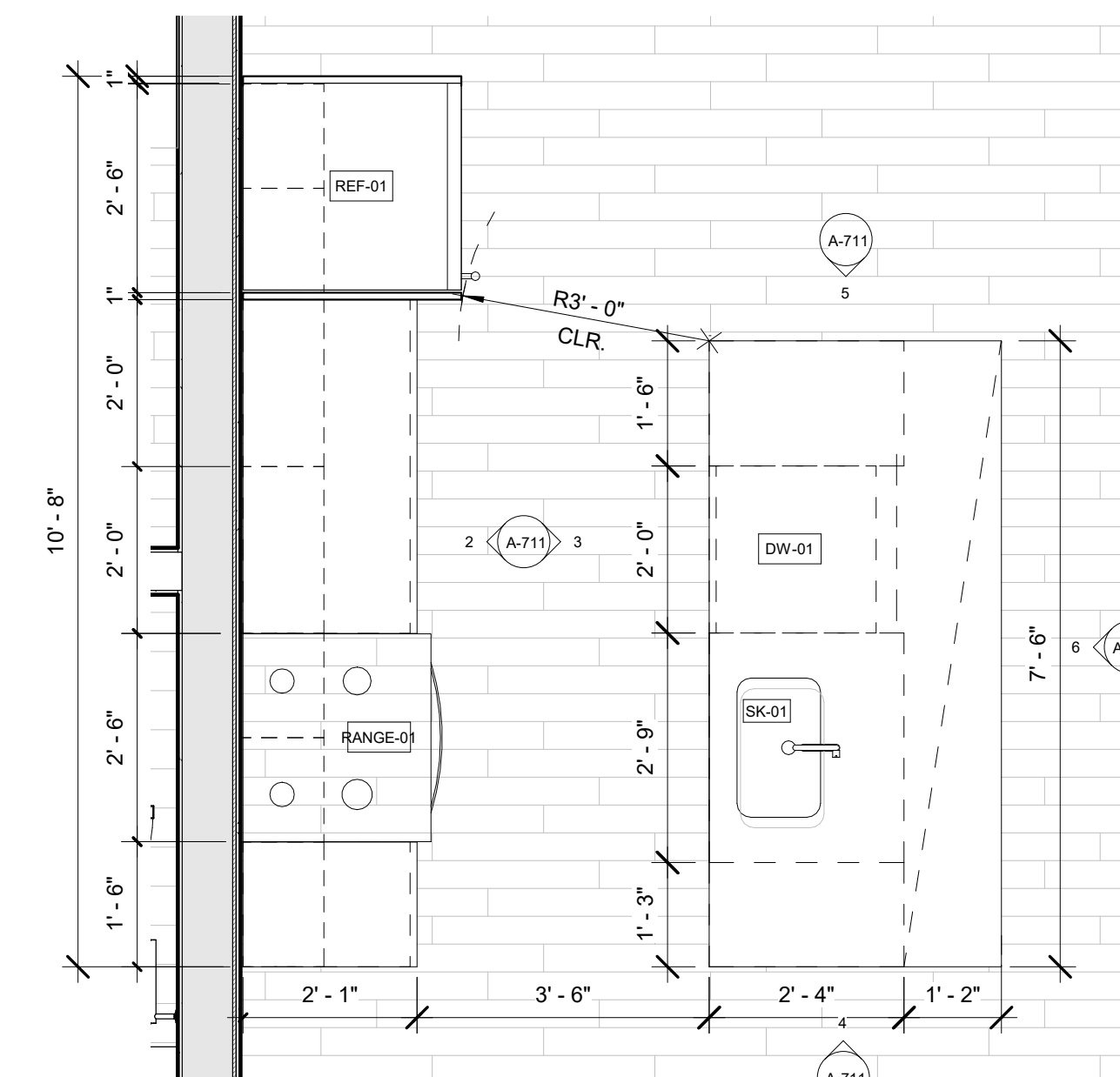
⑤ KITCHEN LAYOUT 3 INTERIOR ELEVATION 02  
1/2" = 1'-0"



④ KITCHEN LAYOUT 3 INTERIOR ELEVATION 03  
1/2" = 1'-0"



③ KITCHEN LAYOUT 3 INTERIOR ELEVATION 04  
1/2" = 1'-0"



① KITCHEN LAYOUT 3 ENLARGED PLAN (UNITS C, C', D, G, G', I, E)  
1/2" = 1'-0"

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1192 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0260

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0052

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/2" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

**KITCHEN LAYOUT 3,  
UNITS C, C', D, G, G', I, E**

SHEET NO.

**A-711**

100% CD/ PERMIT SET

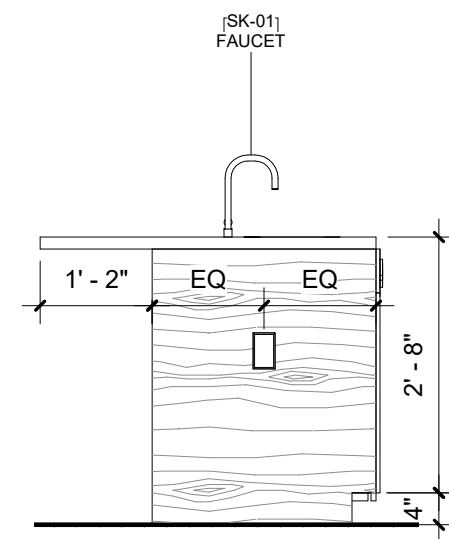


PLUMBING LEGEND	
Type Mark	Description
BT-01	Bath and Shower Trim
BT-02	Handshower Kit
LAV-01	Sink
LAV-01 FAUCET	Faucet
LAV-02	Mop Service Basin
LAV-02 FAUCET	Wall Mounted Service Sink Faucet
SC-1	Box Roof Drainage Scupper
SC-2	Roof Drainage Scupper
SH-01	Provide with Linear Drain
SK-01	Sink
SK-01 FAUCET	Sink
TUB-01	Tub - Regular
TUB-02	Tub - Long
WC-01	Toilet

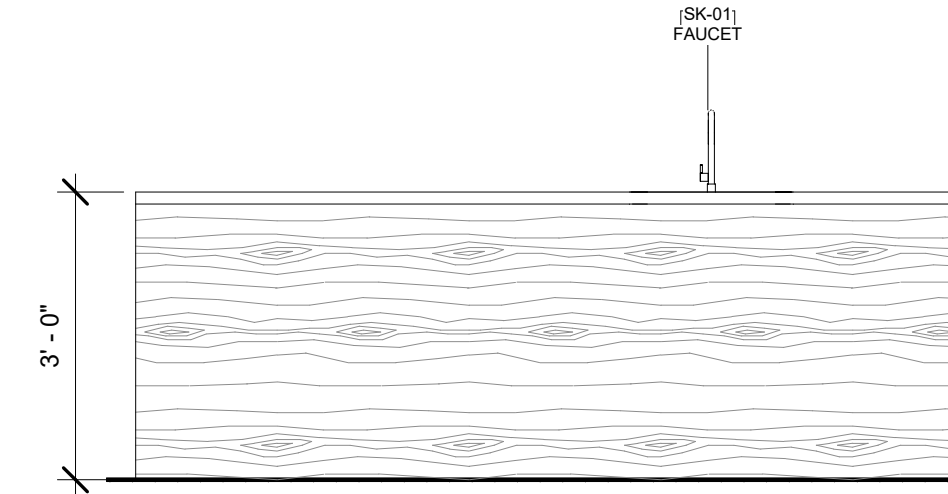
APPLIANCE LEGEND	
Type Mark	Description
D-01	Dryer Front Loading
DW-01	Dishwasher
DW-02	Dishwasher
MW-01	Microwave Oven
MW-02	Microwave Oven
RANGE-01	Oven/ Range
RANGE-02	Oven/ Range
REF-01	Refrigerator
REF-02	Refrigerator
RH-01	Range Hood
W-01	Washer Front Loading
WD-01	Electric Stacked Laundry Center

**KITCHEN GENERAL NOTES**

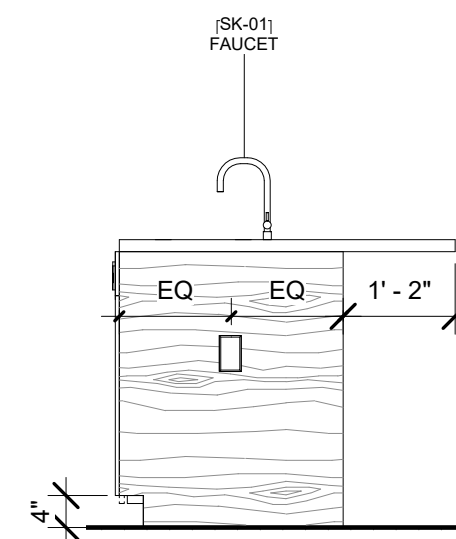
- DIMENSIONS ARE TO FINISH FACE U.O.N.
- COORDINATE CASEWORK WITH APPLIANCE SPECIFICATIONS
- PROVIDE FINISH FACE CABINETS AT CASEWORK CORNERS, WALL TERMINATIONS, AND VISIBLE ENDS
- CONTINUE BACKSPLASH 4" BELOW TOP OF RANGE
- CONTINUE PAINT BEHIND APPLIANCES AND REMOVABLE CABINETS
- CONTINUE FINISH FLOOR UNDER REMOVABLE CABINETS
- REFER TO ENLARGED PLANS FOR ORIENTATION OF KITCHEN LAYOUT.



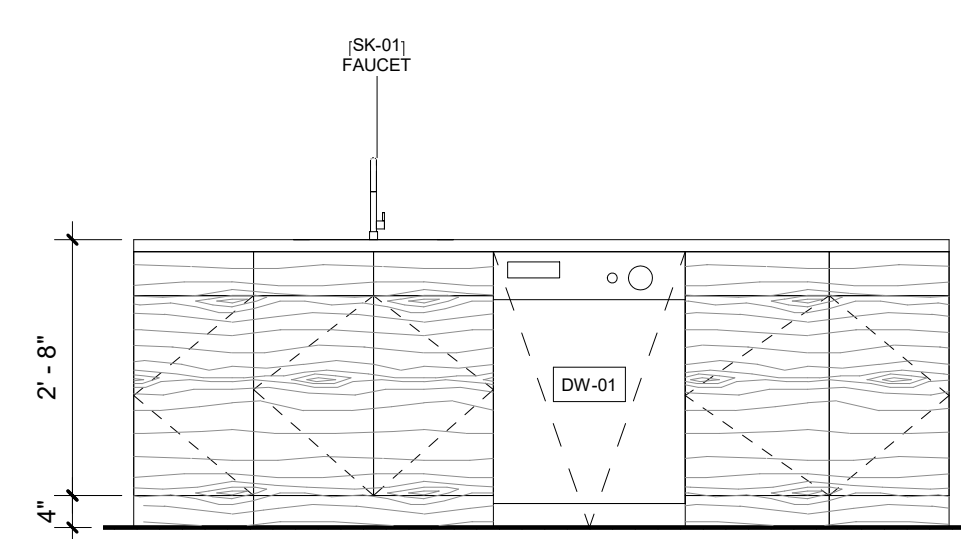
6 KITCHEN LAYOUT 4 INTERIOR ELEVATION 05  
1/2" = 1'-0"



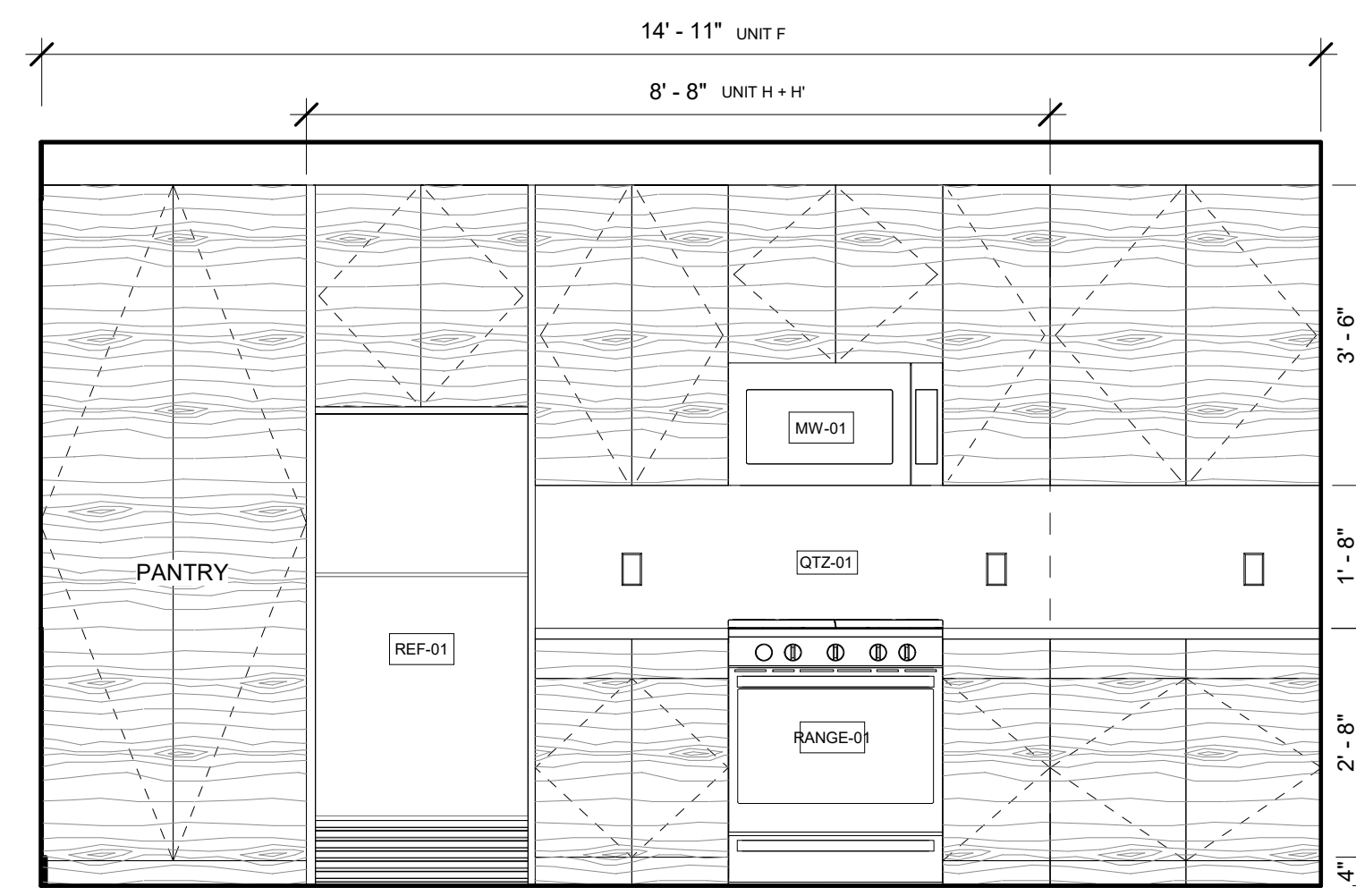
5 KITCHEN LAYOUT 4 INTERIOR ELEVATION 04  
1/2" = 1'-0"



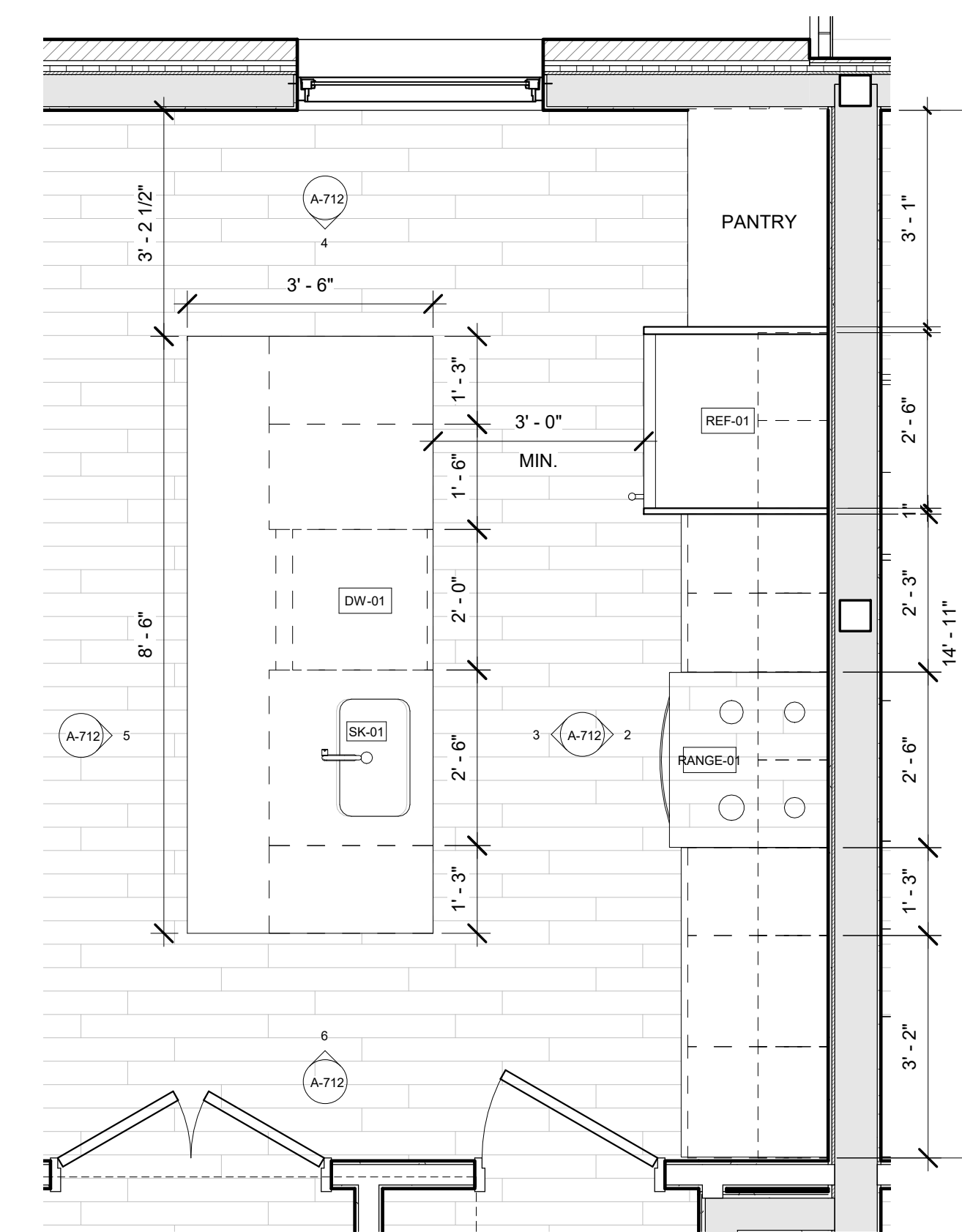
4 KITCHEN LAYOUT 4 INTERIOR ELEVATION 03  
1/2" = 1'-0"



3 KITCHEN LAYOUT 4 INTERIOR ELEVATION 02  
1/2" = 1'-0"



2 KITCHEN LAYOUT 4 INTERIOR ELEVATION 01  
1/2" = 1'-0"



1 KITCHEN LAYOUT 4 ENLARGED PLAN (UNITS H, H')  
1/2" = 1'-0"

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1192 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0260

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LYONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/2" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

**KITCHEN LAYOUT 4, UNITS F, H**

SHEET NO.

**A-712**

100% CD/ PERMIT SET

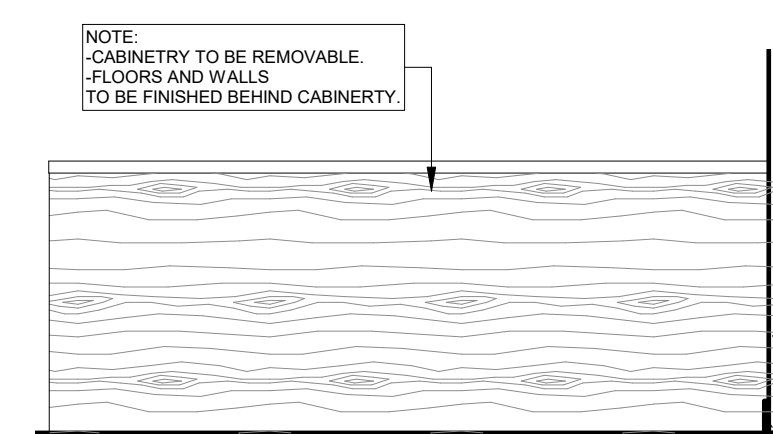


PLUMBING LEGEND	
Type Mark	Description
BT-01	Bath and Shower Trim
BT-02	Handshower Kit
LAV-01	Sink
LAV-01 FAUCET	Faucet
LAV-02	Mop Service Basin
LAV-02 FAUCET	Wall Mounted Service Sink Faucet
SC-1	Box Roof Drainage Scupper
SC-2	Roof Drainage Scupper
SH-01	Provide with Linear Drain
SK-01	Sink
SK-01 FAUCET	Sink
TUB-01	Tub - Regular
TUB-02	Tub - Long
WC-01	Toilet

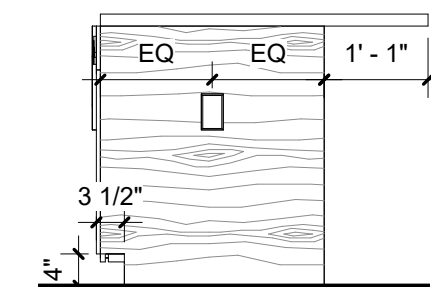
APPLIANCE LEGEND	
Type Mark	Description
D-01	Dryer Front Loading
DW-01	Dishwasher
DW-02	Dishwasher
MW-01	Microwave Oven
MW-02	Microwave Oven
RANGE-01	Oven/ Range
RANGE-02	Oven/ Range
REF-01	Refrigerator
REF-02	Refrigerator
RH-01	Range Hood
W-01	Washer Front Loading
WD-01	Electric Stacked Laundry Center

**KITCHEN GENERAL NOTES**

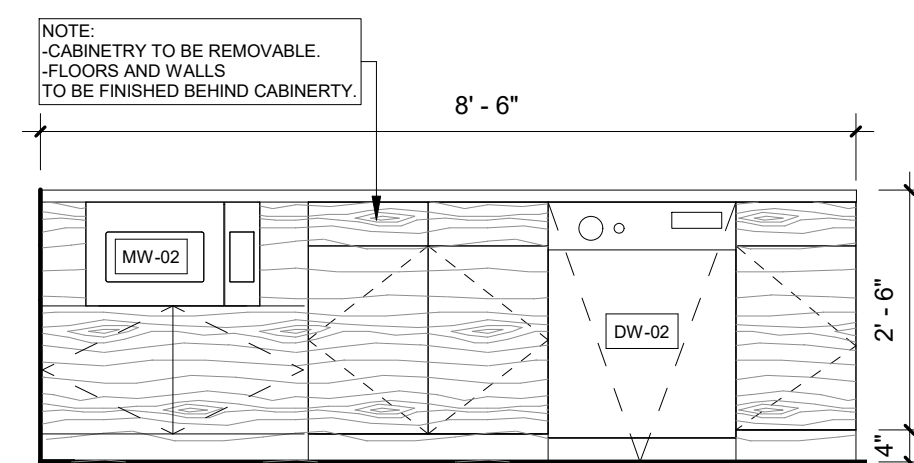
1. DIMENSIONS ARE TO FINISH FACE U.O.N.
2. COORDINATE CASEWORK WITH APPLIANCE SPECIFICATIONS
3. PROVIDE FINISH FACE CABINETS AT CASEWORK CORNERS, WALL TERMINATIONS, AND VISIBLE ENDS
4. CONTINUE BACKSPLASH 4" BELOW TOP OF RANGE
5. CONTINUE PAINT BEHIND APPLIANCES AND REMOVABLE CABINETS
6. CONTINUE FINISH FLOOR UNDER REMOVABLE CABINETS
7. REFER TO ENLARGED PLANS FOR ORIENTATION OF KITCHEN LAYOUT.



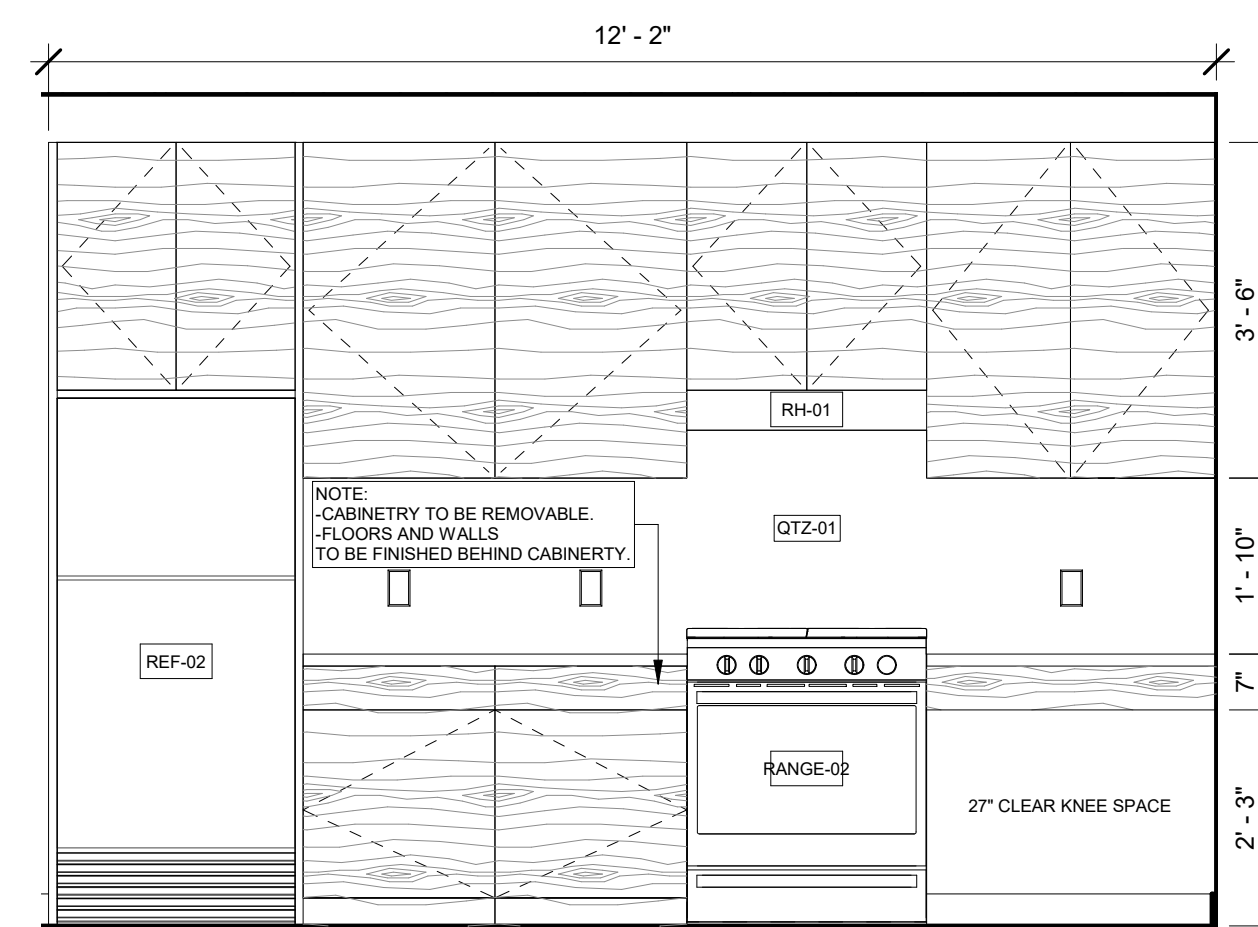
5 UNIT B KITCHEN ELEVATION 04 (TYPE A)  
1/2" = 1'-0"



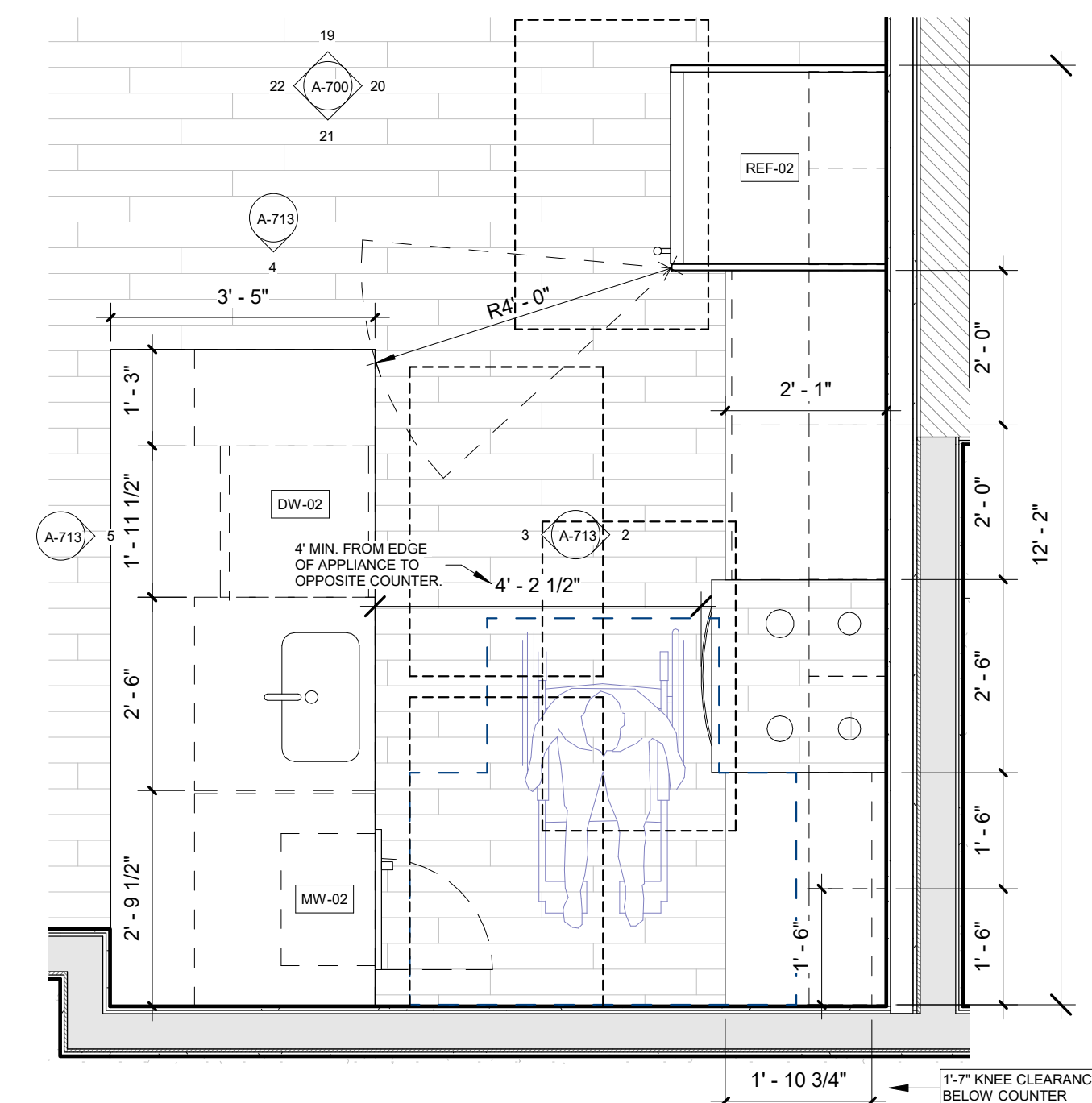
4 UNIT B KITCHEN ELEVATION 03 (TYPE A)  
1/2" = 1'-0"



3 UNIT B KITCHEN ELEVATION 02 (TYPE A)  
1/2" = 1'-0"



2 UNIT B KITCHEN ELEVATION 01 (TYPE A)  
1/2" = 1'-0"



1 KITCHEN LAYOUT 5 (UNIT B, TYPE A)  
1/2" = 1'-0"

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1392 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0260

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0052

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/2" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

**KITCHEN LAYOUT 5, UNIT B (TYPE A)**

SHEET NO.

**A-713**

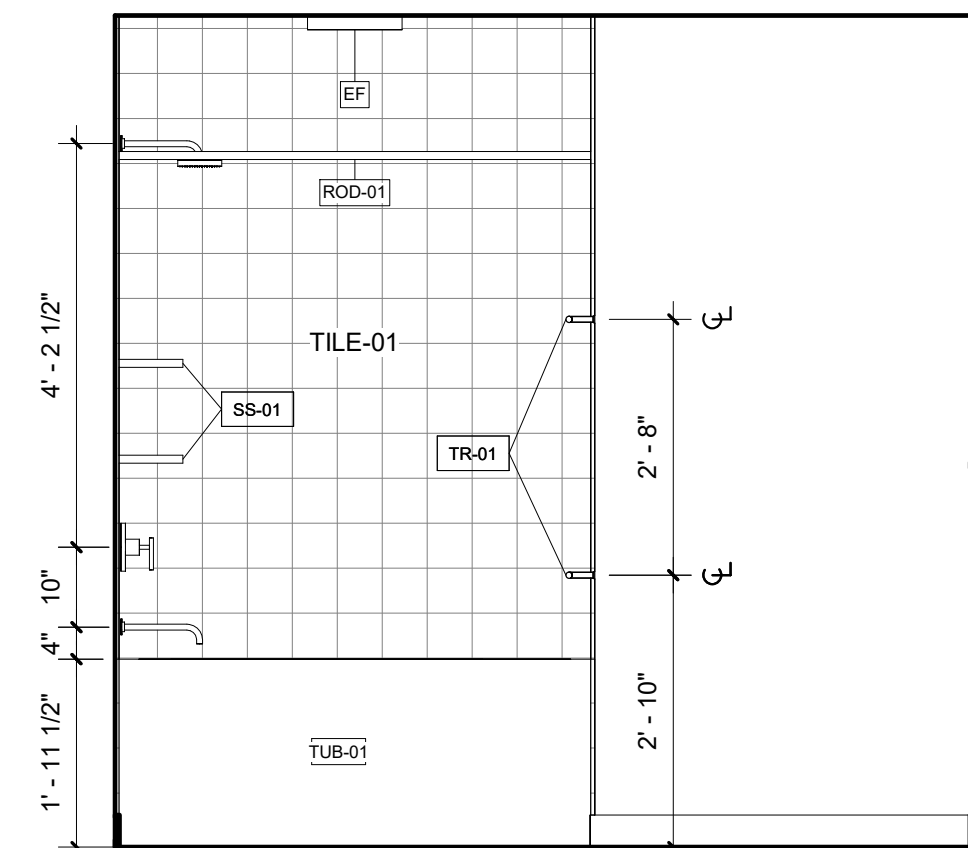
100% CD/ PERMIT SET



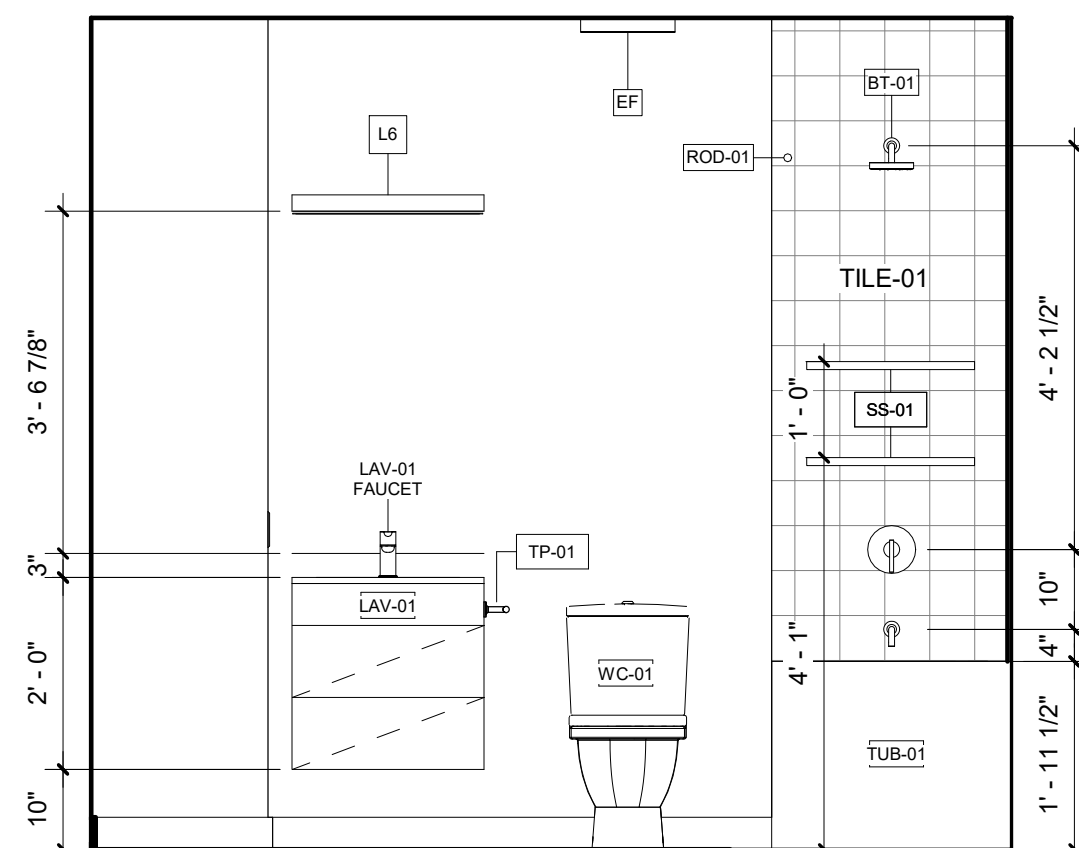
PLUMBING LEGEND	
Type Mark	Description
BT-01	Bath and Shower Trim
BT-02	Handshower Kit
LAV-01	Sink
LAV-01 FAUCET	Faucet
LAV-02	Mop Service Basin
LAV-02 FAUCET	Wall Mounted Service Sink Faucet
SC-1	Box Roof Drainage Scupper
SC-2	Roof Drainage Scupper
SH-01	Provide with Linear Drain
SK-01	Sink
SK-01 FAUCET	Sink
TUB-01	Tub - Regular
TUB-02	Tub - Long
WC-01	Toilet

ACCESSORIES & EQUIPMENT LEGEND	
Type Mark	Description
GB-01	Components Grab Bar
GB-02	Components Grab Bar
MAIL	Mailboxes
ROD-01	Shower Rod
ROD-02	Shelf & Heavy Duty Rod
SS-01	Choreograph Floating Shower Shelf
STO-01	Welded Wire Tenant Storage Units, 2 stacked
STO-02	Welded Wire Tenant Storage Units, 2 stacked
TP-01	Composed Pivoting Toilet Tissue Holder
TR-01	Components Towel Bar
TR-02	Components Towel Arm
TRASH	Trash Receptacle

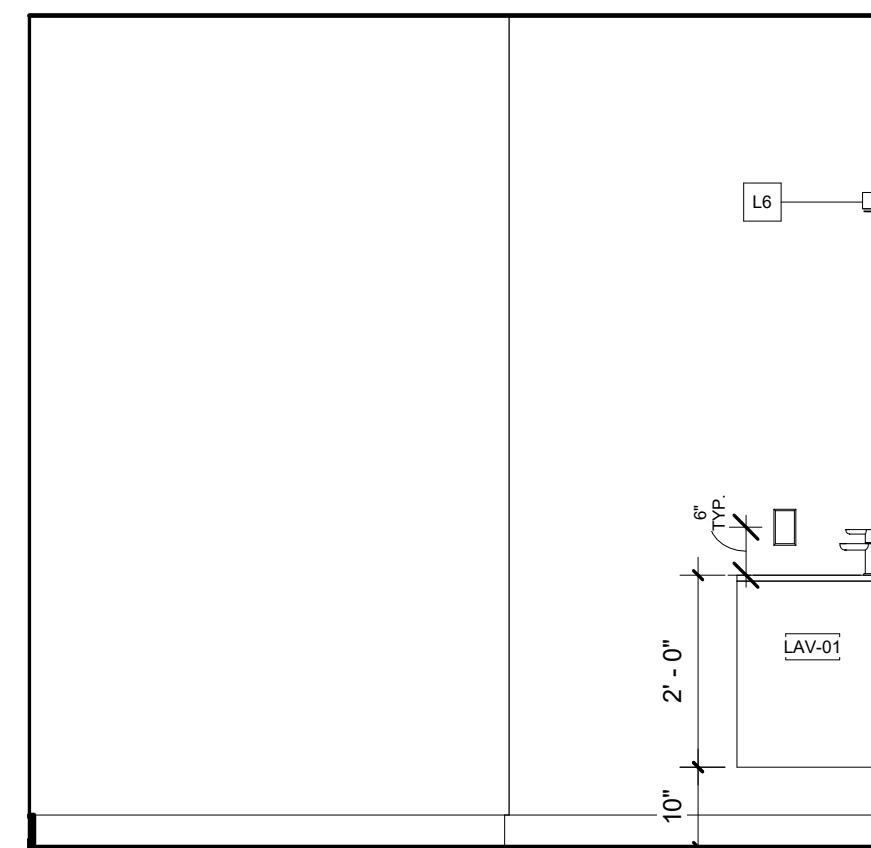
- BATHROOM GENERAL NOTES**
- DIMENSIONS ARE TO FINISH FACE U.O.N.
  - LAY TILES IN PATTERN DIRECTION AS INDICATED ON DRAWINGS. CENTER TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA, U.O.N. PROVIDE UNIFORM JOINT WIDTHS, U.O.N.
  - PROVIDE SOLID WOOD BLOCKING FOR AND COORDINATE LOCATIONS OF ALL ACCESSORY ITEMS INCLUDING, BUT NOT LIMITED TO: TOWEL RACKS, SHELVEING, AND ROD.
  - VERIFY ROUGH OPENING REQUIREMENTS AT BATHTUB AND SHOWER WITH APPROVED MANUFACTURER.
  - REFER TO ENLARGED PLANS FOR ORIENTATION OF BATHROOM LAYOUT.



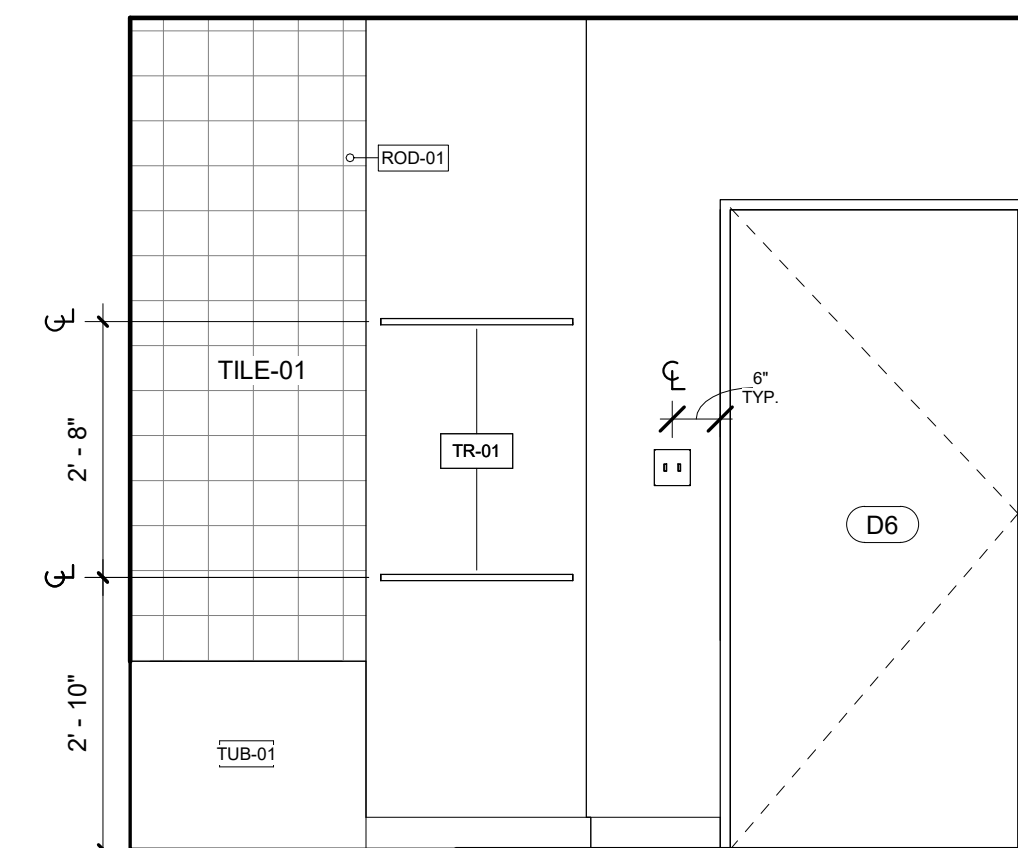
10 UNIT A BATHROOM INTERIOR ELEVATION 04  
1/2" = 1'-0"



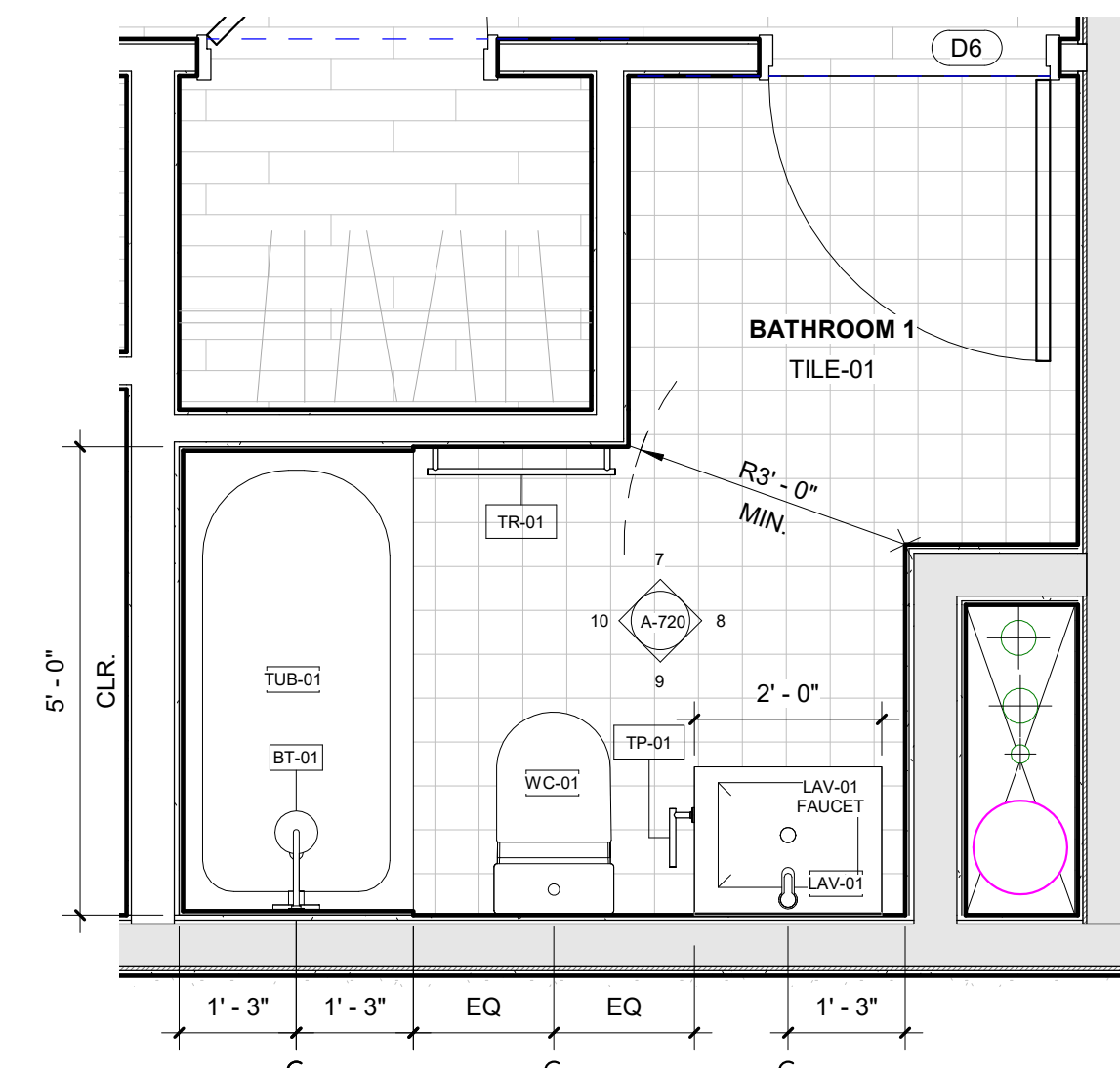
9 UNIT A BATHROOM INTERIOR ELEVATION 03  
1/2" = 1'-0"



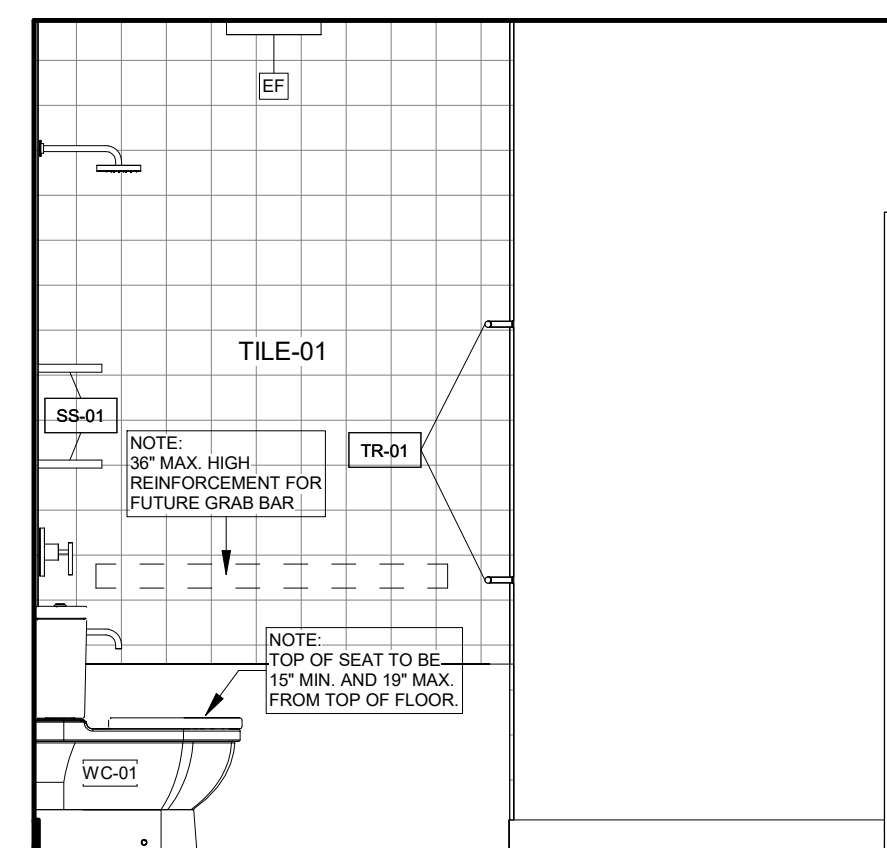
8 UNIT A BATHROOM INTERIOR ELEVATION 02  
1/2" = 1'-0"



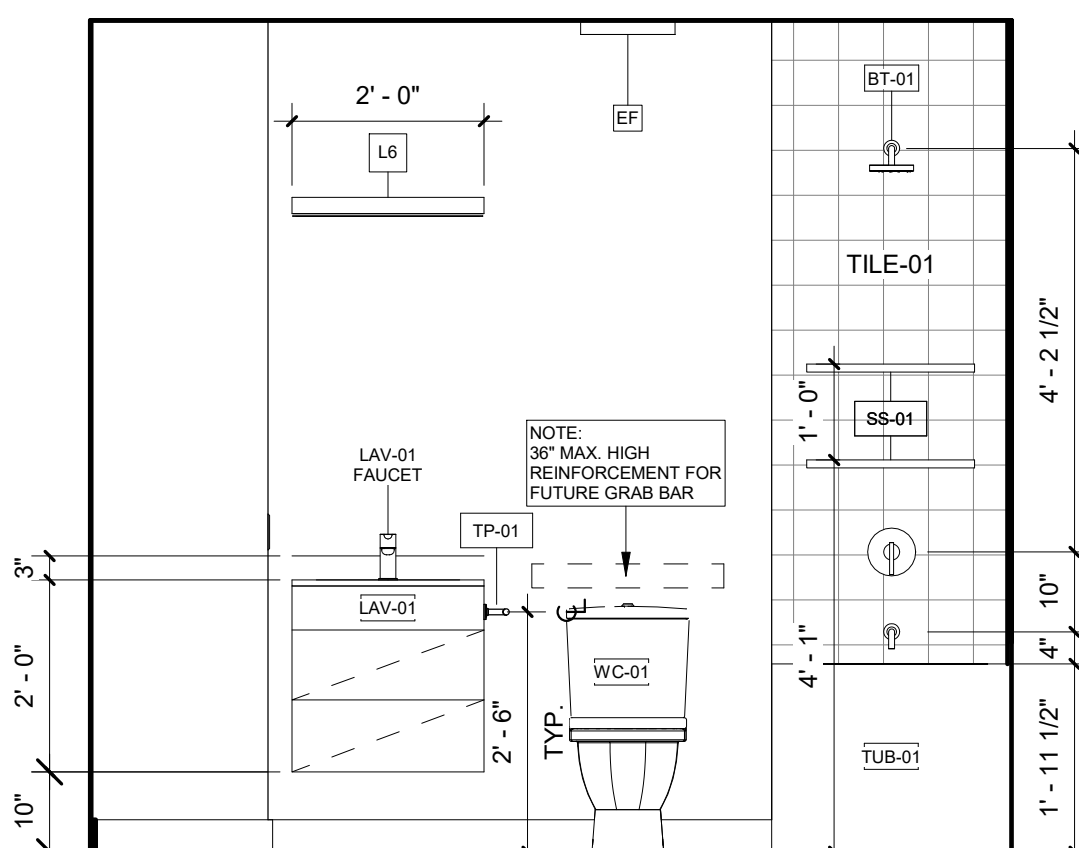
7 UNIT A BATHROOM INTERIOR ELEVATION 01  
1/2" = 1'-0"



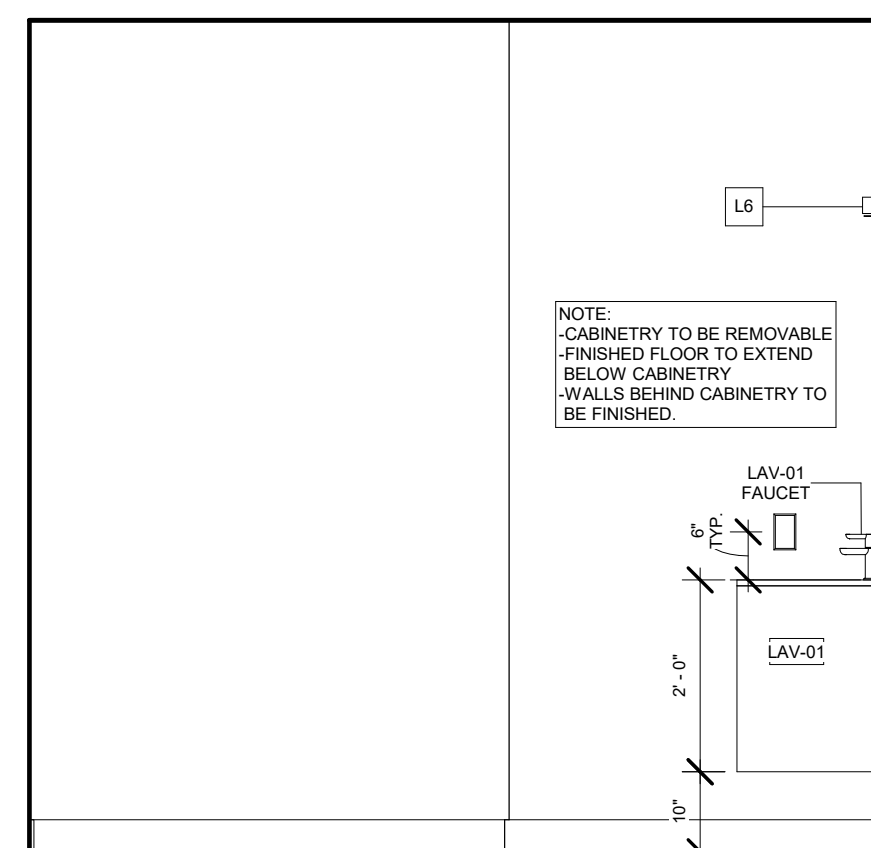
6 BATHROOM 1, UNIT A  
1/2" = 1'-0"



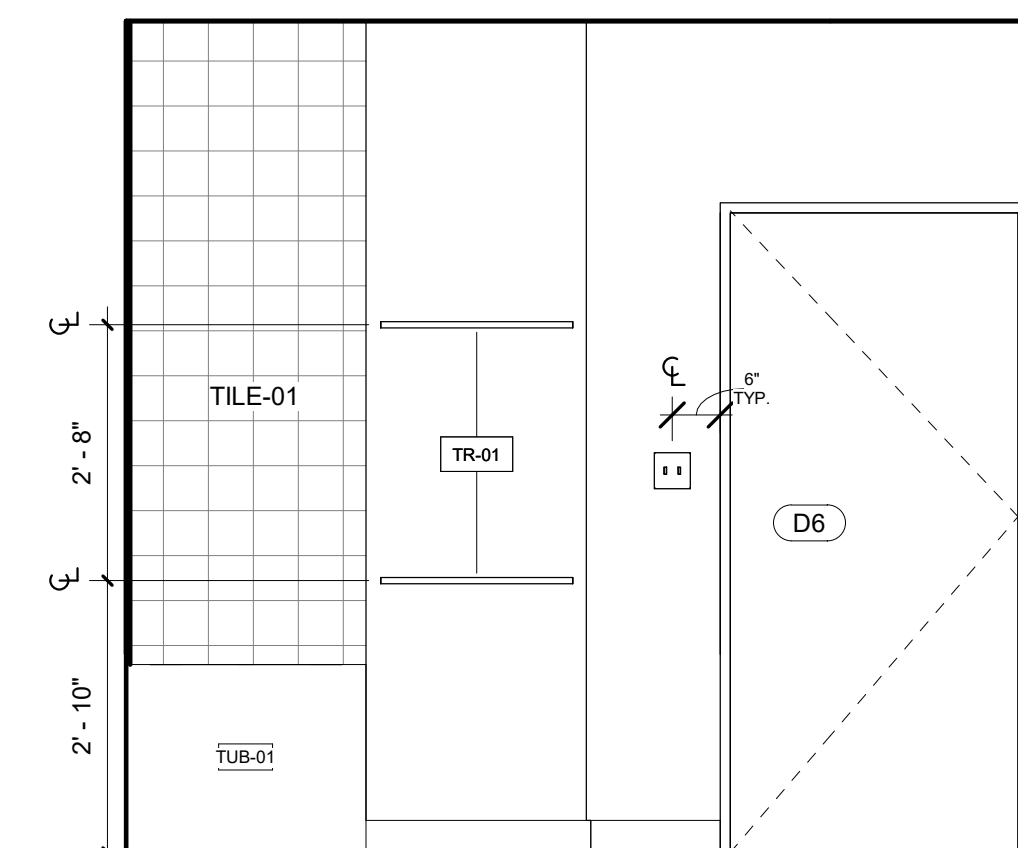
5 UNIT A BATHROOM ELEVATION 04 (TYPE B)  
1/2" = 1'-0"



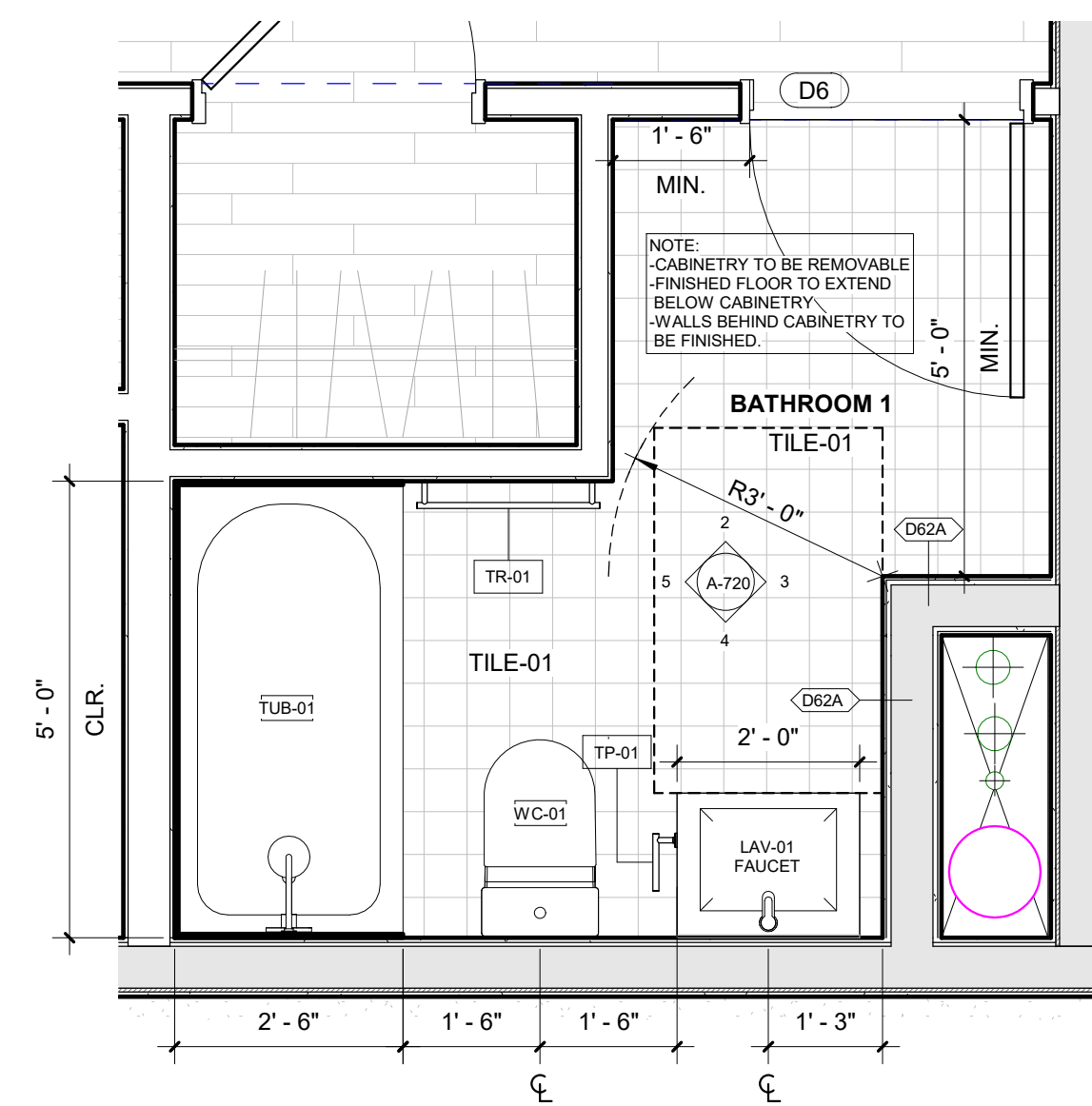
4 UNIT A BATHROOM ELEVATION 03 (TYPE B)  
1/2" = 1'-0"



3 UNIT A BATHROOM ELEVATION 02 (TYPE B)  
1/2" = 1'-0"



2 UNIT A BATHROOM ELEVATION 01 (TYPE B)  
1/2" = 1'-0"



1 BATHROOM 1, UNIT A (TYPE B)  
1/2" = 1'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1392 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LYONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: 1/2" = 1'-0"  
DATE: 05/15/2020

DRAWING TITLE  
**BATHROOMS UNIT A**

SHEET NO.

**A-720**

100% CD/ PERMIT SET

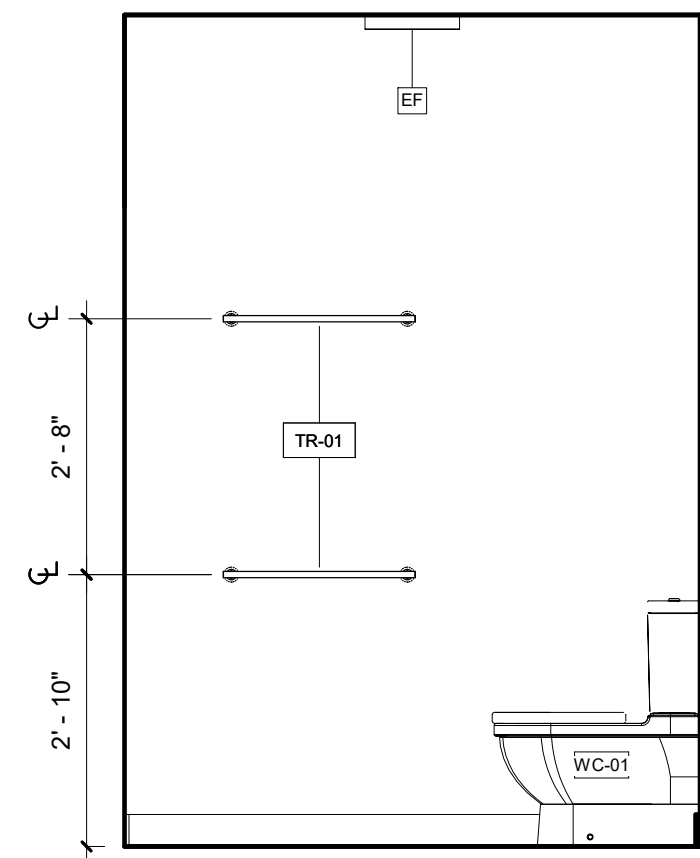


PLUMBING LEGEND	
Type Mark	Description
BT-01	Bath and Shower Trim
BT-02	Handshower Kit
LAV-01	Sink
LAV-01 FAUCET	Faucet
LAV-02	Mop Service Basin
LAV-02 FAUCET	Wall Mounted Service Sink Faucet
SC-1	Box Roof Drainage Scupper
SC-2	Roof Drainage Scupper
SH-01	Provide with Linear Drain
SK-01	Sink
SK-01 FAUCET	Sink
TUB-01	Tub - Regular
TUB-02	Tub - Long
WC-01	Toilet

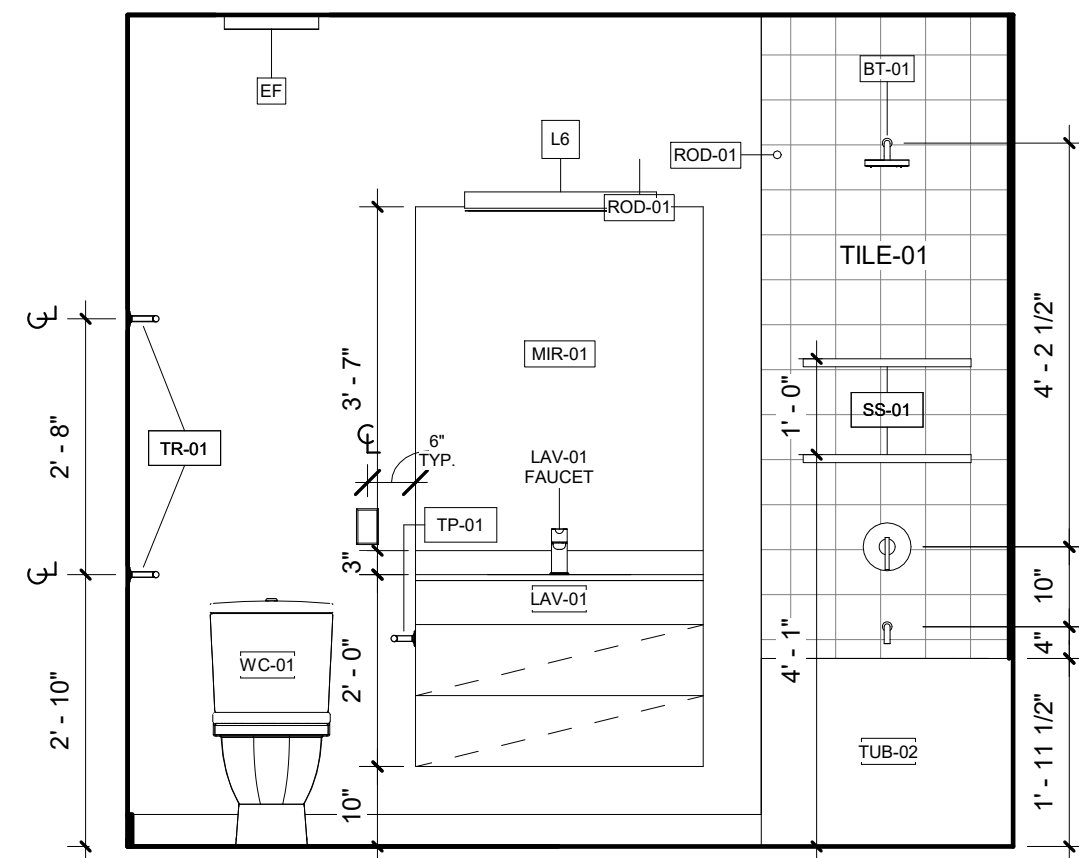
ACCESSORIES & EQUIPMENT LEGEND	
Type Mark	Description
GB-01	Components Grab Bar
GB-02	Components Grab Bar
MAIL	Mailboxes
ROD-01	Shower Rod
ROD-02	Shelf & Heavy Duty Rod
SS-01	Choreograph Floating Shower Shelf
STO-01	Welded Wire Tenant Storage Units, 2 stacked
STO-02	Welded Wire Tenant Storage Units, 2 stacked
TP-01	Composed Pivoting Toilet Tissue Holder
TR-01	Components Towel Bar
TR-02	Components Towel Arm
TRASH	Trash Receptacle

**BATHROOM GENERAL NOTES**

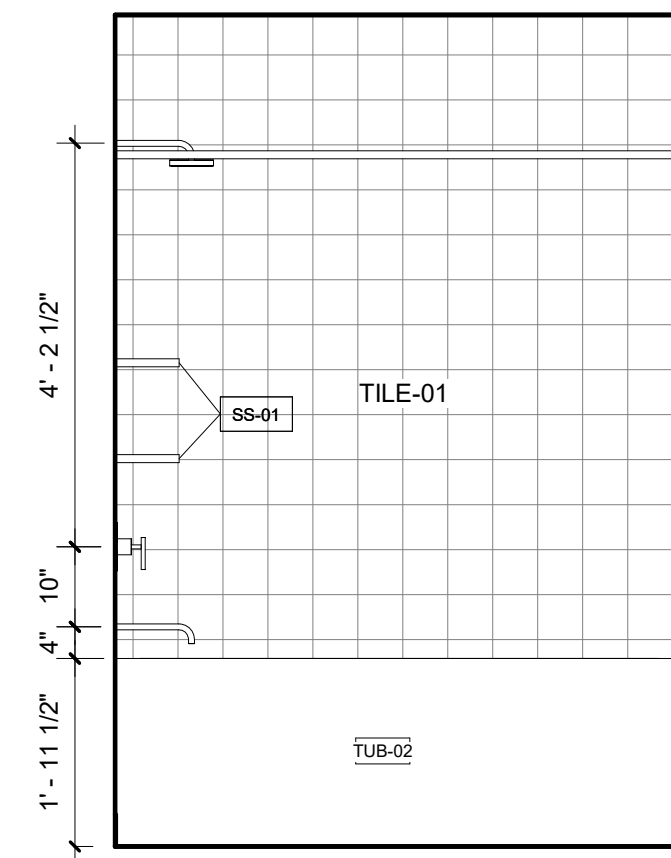
- DIMENSIONS ARE TO FINISH FACE U.O.N.
- LAY TILES IN PATTERN DIRECTION AS INDICATED ON DRAWINGS. CENTER TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA. U.O.N. PROVIDE UNIFORM JOINT WIDTHS. U.O.N. PROVIDE SOLID WOOD BLOCKING FOR AND COORDINATE LOCATIONS OF ALL ACCESSORY ITEMS INCLUDING, BUT NOT LIMITED TO: TOWEL RACKS, SHELVEING, AND ROD.
- VERIFY ROUGH OPENING REQUIREMENTS AT BATHTUB AND SHOWER WITH APPROVED MANUFACTURER.
- REFER TO ENLARGED PLANS FOR ORIENTATION OF BATHROOM LAYOUT.



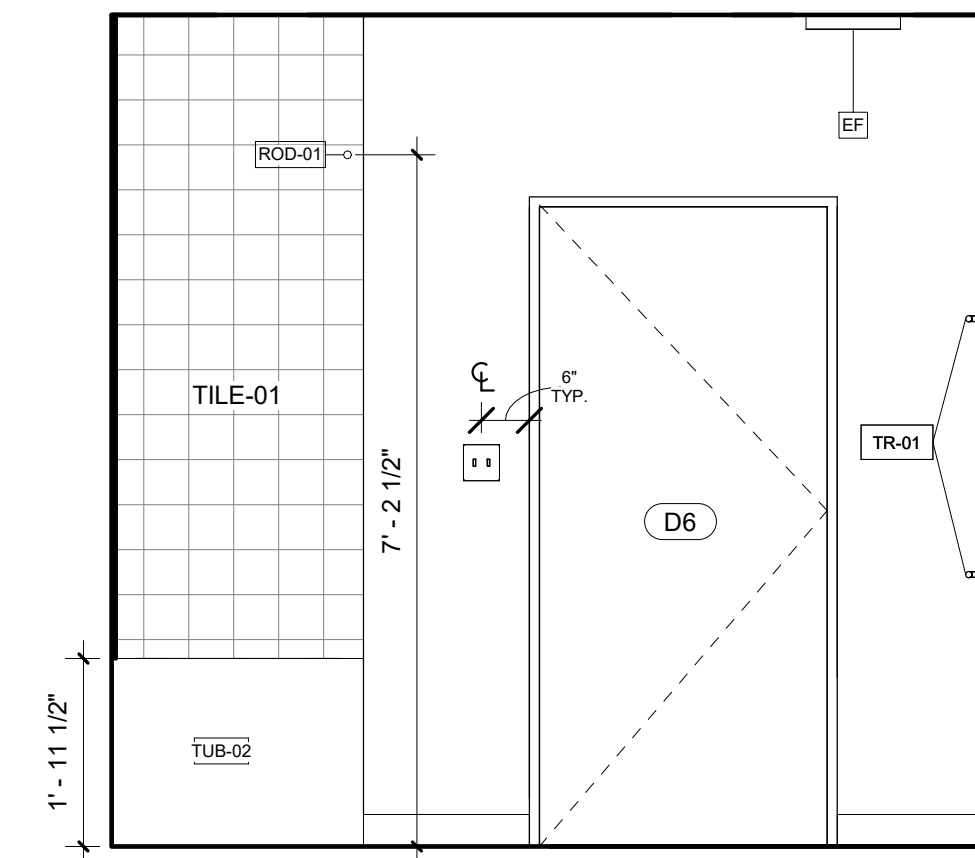
10 UNIT B BATHROOM INTERIOR ELEVATION 04  
1/2" = 1'-0"



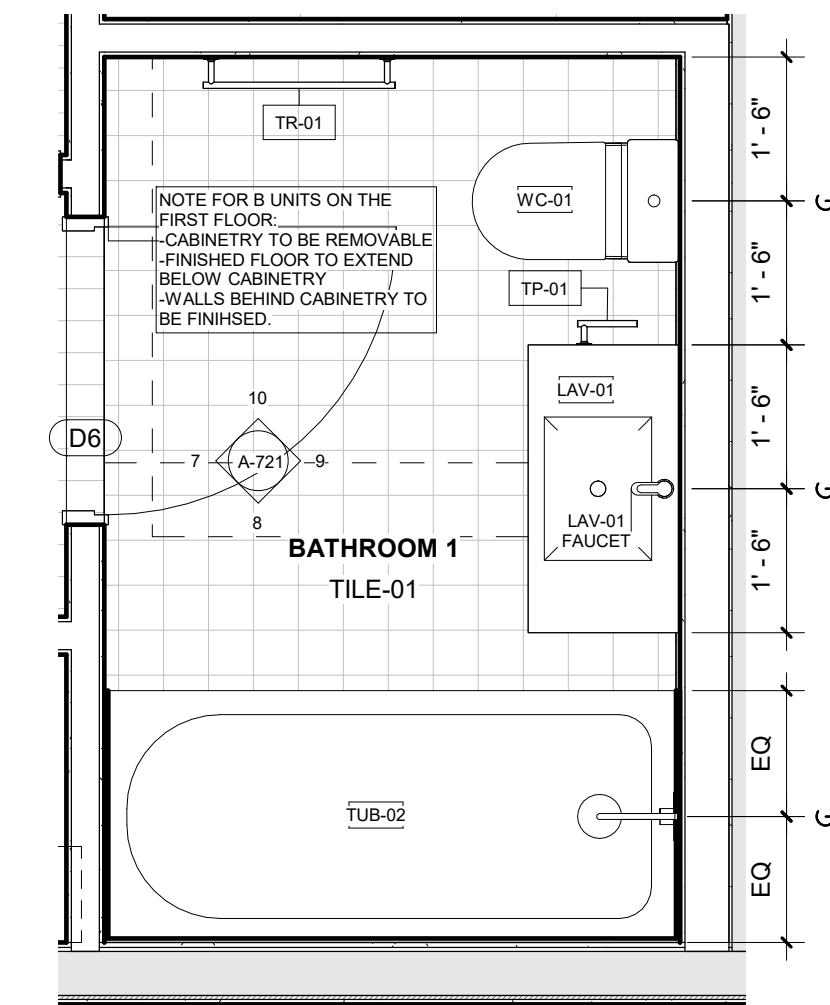
9 UNIT B BATHROOM INTERIOR ELEVATION 03  
1/2" = 1'-0"



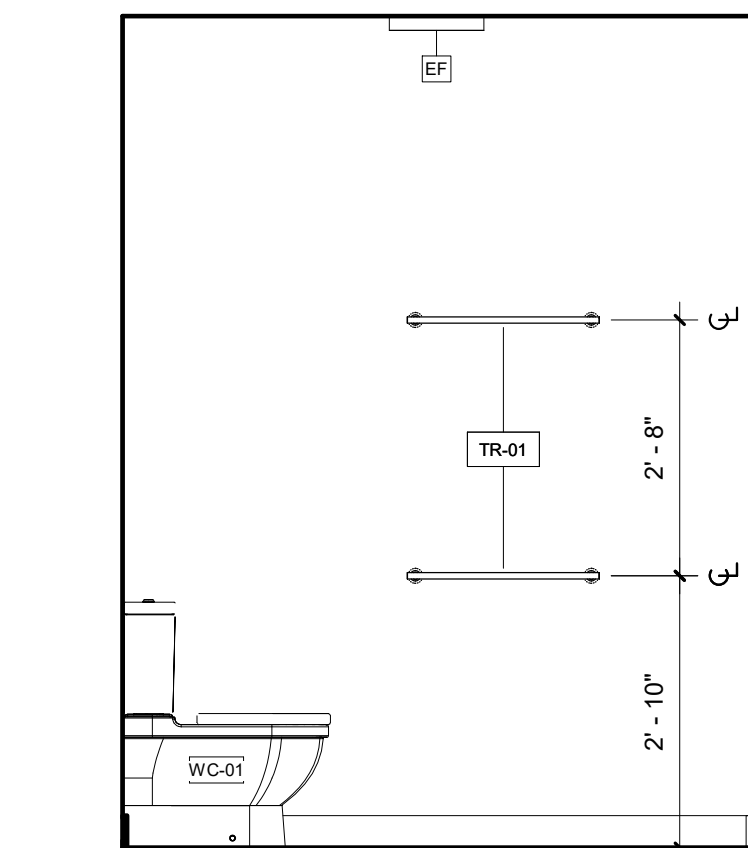
8 UNIT B BATHROOM INTERIOR ELEVATION 02  
1/2" = 1'-0"



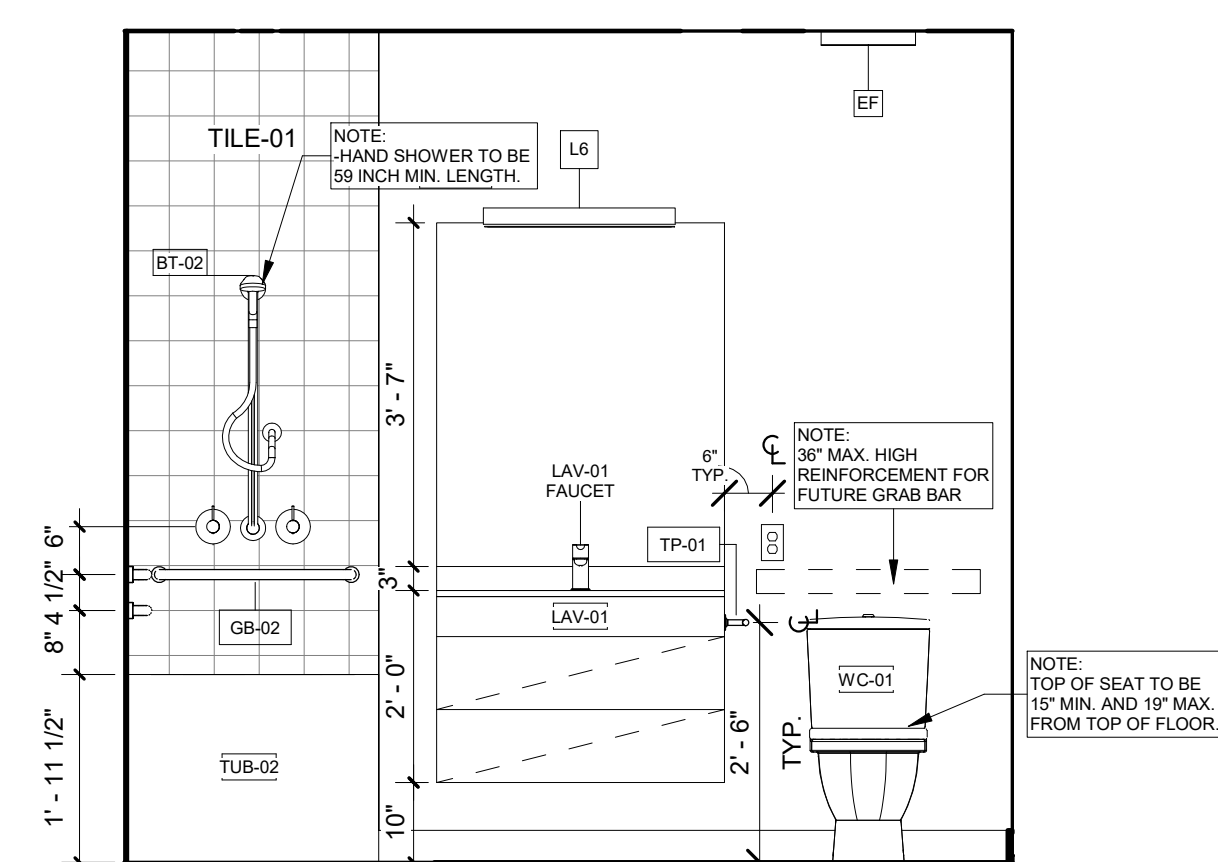
7 UNIT B BATHROOM INTERIOR ELEVATION 01  
1/2" = 1'-0"



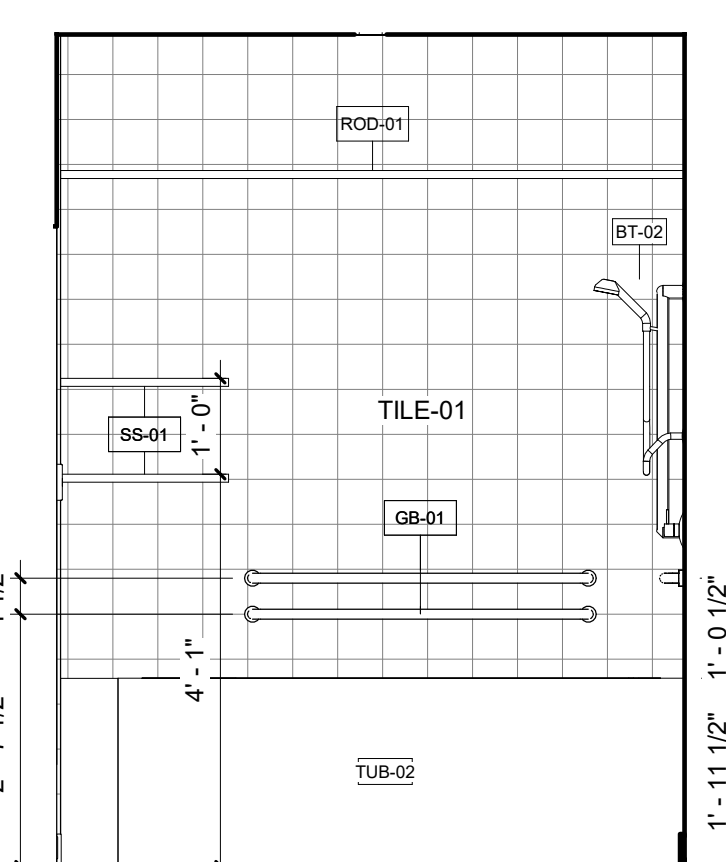
6 BATHROOM 1, UNIT B  
1/2" = 1'-0"



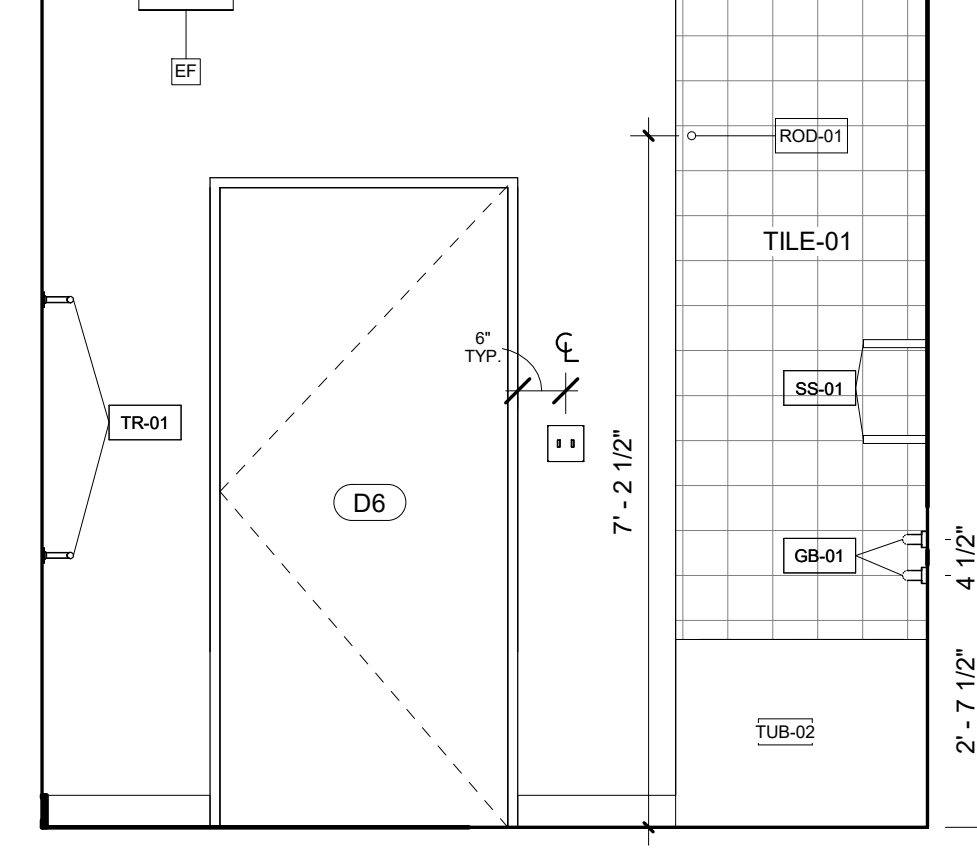
5 UNIT B BATHROOM ELEVATION 04 (TYPE A)  
1/2" = 1'-0"



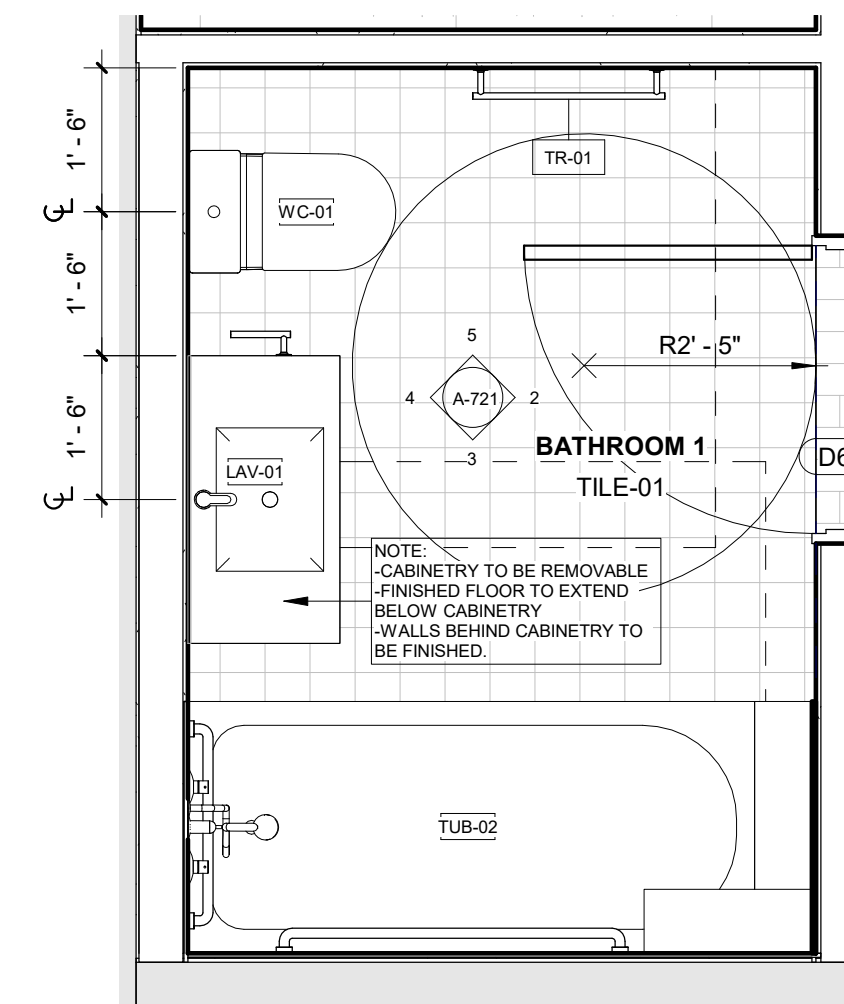
4 UNIT B BATHROOM ELEVATION 03 (TYPE A)  
1/2" = 1'-0"



3 UNIT B BATHROOM ELEVATION 02 (TYPE A)  
1/2" = 1'-0"



2 UNIT B BATHROOM ELEVATION 01 (TYPE A)  
1/2" = 1'-0"



1 BATHROOM 1, UNIT B (TYPE A)  
1/2" = 1'-0"

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0265

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: 1/2" = 1'-0"  
DATE: 05/15/2020

DRAWING TITLE  
**BATHROOMS UNIT B**

SHEET NO.

**A-721**

100% CD/ PERMIT SET

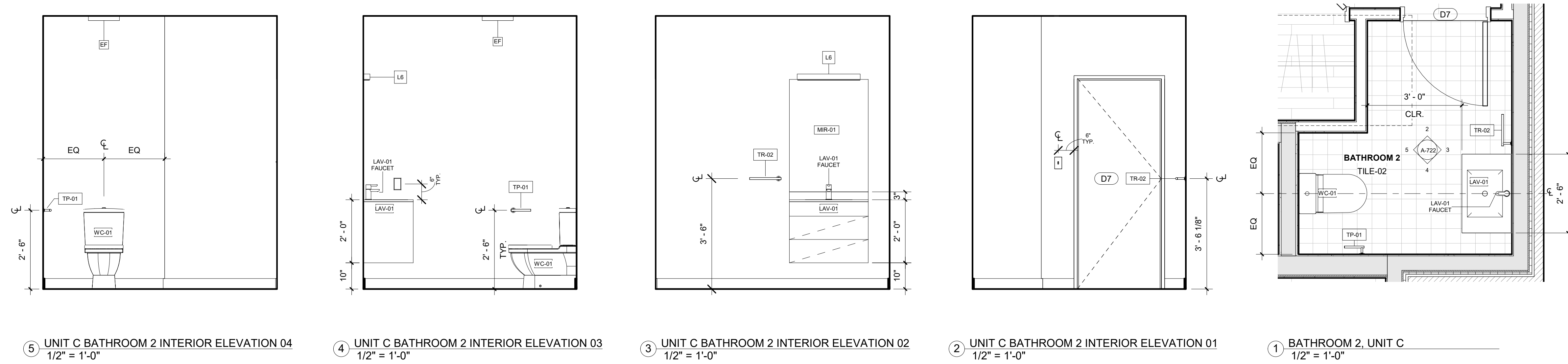
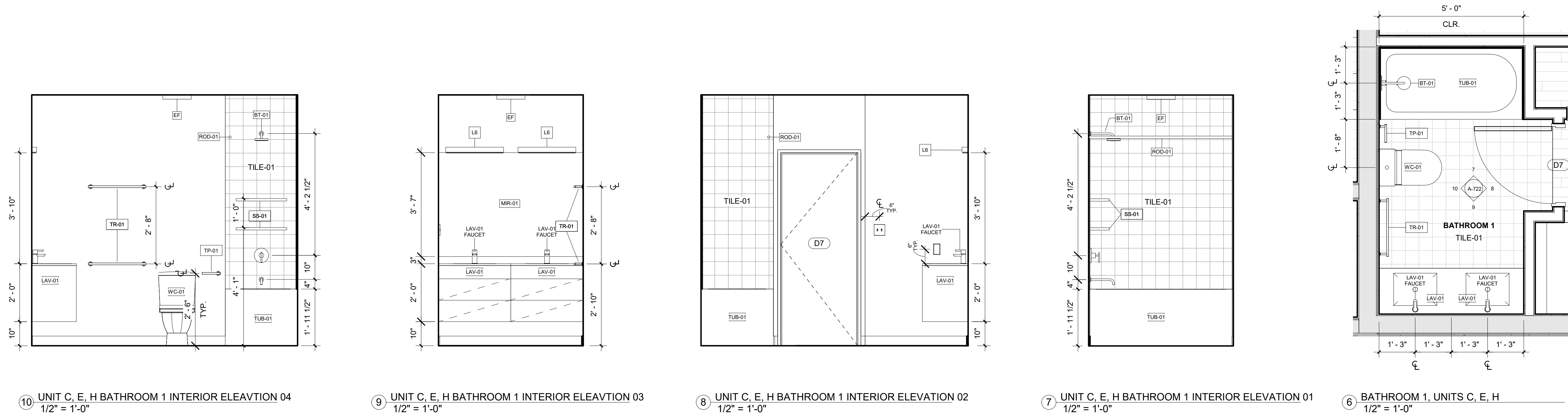


PLUMBING LEGEND	
Type Mark	Description
BT-01	Bath and Shower Trim
BT-02	Handshower Kit
LAV-01	Sink
LAV-01 FAUCET	Faucet
LAV-02	Mop Service Basin
LAV-02 FAUCET	Wall Mounted Service Sink Faucet
SC-1	Box Roof Drainage Scupper
SC-2	Roof Drainage Scupper
SH-01	Provide with Linear Drain
SK-01	Sink
SK-01 FAUCET	Sink
TUB-01	Tub - Regular
TUB-02	Tub - Long
WC-01	Toilet

ACCESSORIES & EQUIPMENT LEGEND	
Type Mark	Description
GB-01	Components Grab Bar
GB-02	Components Grab Bar
MAIL	Mailboxes
ROD-01	Shower Rod
ROD-02	Shelf & Heavy Duty Rod
SS-01	Choreograph Floating Shower Shelf
STO-01	Welded Wire Tenant Storage Units, 2 stacked
STO-02	Welded Wire Tenant Storage Units, 2 stacked
TP-01	Composed Pivoting Toilet Tissue Holder
TR-01	Components Towel Bar
TR-02	Components Towel Arm
TRASH	Trash Receptacle

**BATHROOM GENERAL NOTES**

1. DIMENSIONS ARE TO FINISH FACE U.O.N.
2. LAY TILES IN PATTERN DIRECTION AS INDICATED ON DRAWINGS. CENTER TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA, U.O.N. PROVIDE UNIFORM JOINT WIDTHS, U.O.N.
3. PROVIDE SOLID WOOD BLOCKING FOR AND COORDINATE LOCATIONS OF ALL ACCESSORY ITEMS INCLUDING, BUT NOT LIMITED TO: TOWEL RACKS, SHELVEING, AND ROD.
4. VERIFY ROUGH OPENING REQUIREMENTS AT BATHTUB AND SHOWER WITH APPROVED MANUFACTURER.
5. REFER TO ENLARGED PLANS FOR ORIENTATION OF BATHROOM LAYOUT.



**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0260

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LYONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA 01772

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: 1/2" = 1'-0"  
DATE: 05/15/2020  
DRAWING TITLE  
**BATHROOMS UNITS C, E, H**

SHEET NO.

**A-722**

100% CD/ PERMIT SET

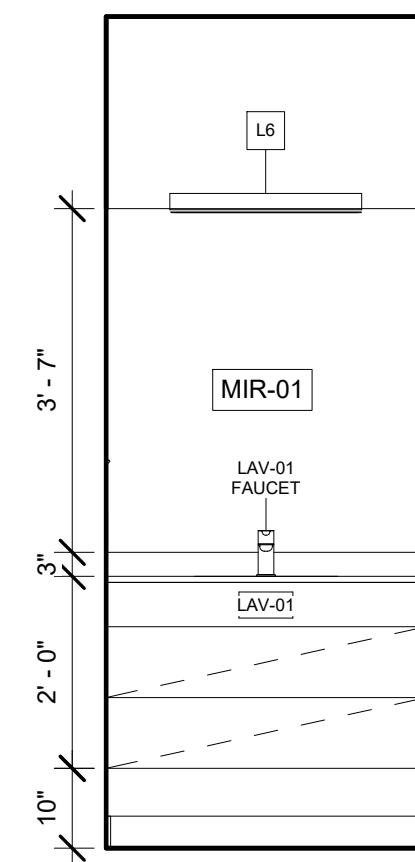


PLUMBING LEGEND	
Type Mark	Description
BT-01	Bath and Shower Trim
BT-02	Handshower Kit
LAV-01	Sink
LAV-01 FAUCET	Faucet
LAV-02	Mop Service Basin
LAV-02 FAUCET	Wall Mounted Service Sink Faucet
SC-1	Box Roof Drainage Scupper
SC-2	Roof Drainage Scupper
SH-01	Provide with Linear Drain
SK-01	Sink
SK-01 FAUCET	Sink
TUB-01	Tub - Regular
TUB-02	Tub - Long
WC-01	Toilet

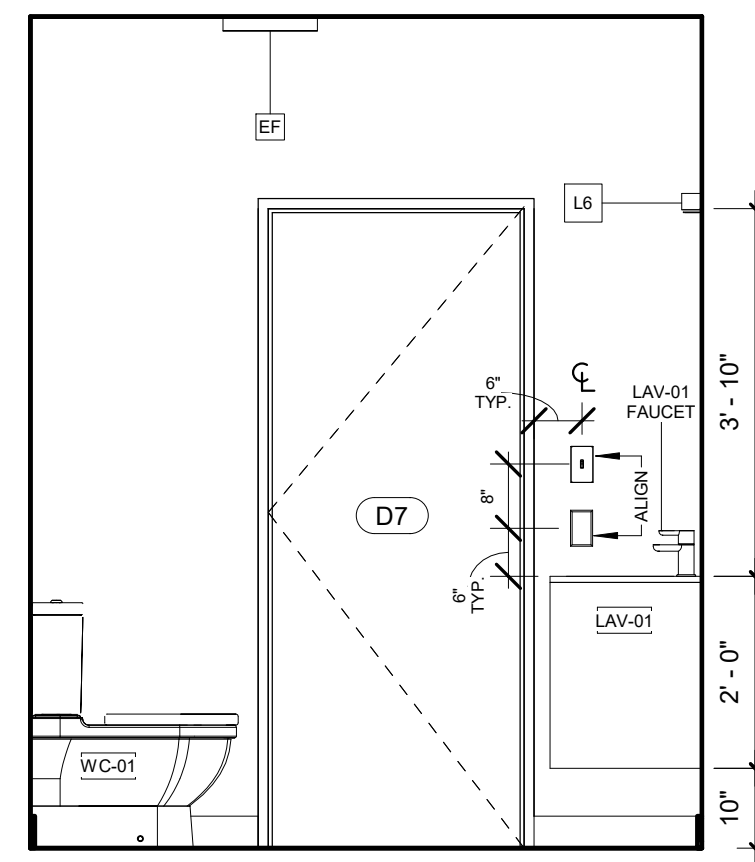
ACCESSORIES & EQUIPMENT LEGEND	
Type Mark	Description
GB-01	Components Grab Bar
GB-02	Components Grab Bar
MAIL	Mailboxes
ROD-01	Shower Rod
ROD-02	Shelf & Heavy Duty Rod
SS-01	Choreograph Floating Shower Shelf
STO-01	Welded Wire Tenant Storage Units, 2 stacked
STO-02	Welded Wire Tenant Storage Units, 2 stacked
TP-01	Composed Pivoting Toilet Tissue Holder
TR-01	Components Towel Bar
TR-02	Components Towel Arm
TRASH	Trash Receptacle

**BATHROOM GENERAL NOTES**

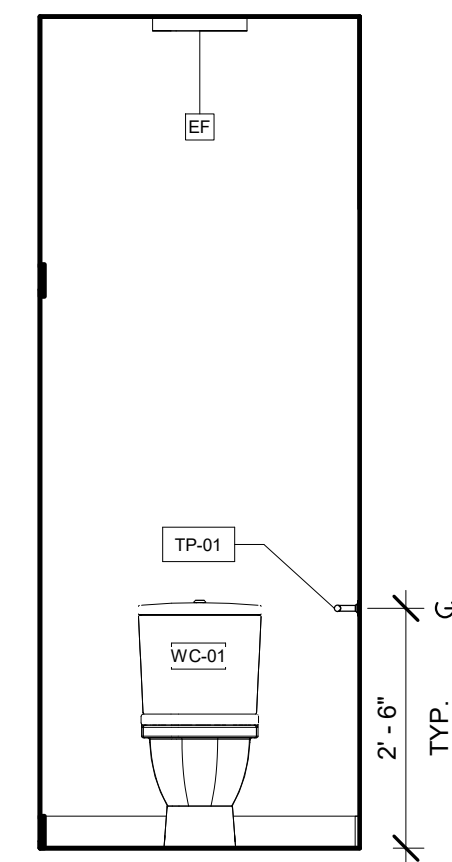
- DIMENSIONS ARE TO FINISH FACE U.O.N.
- LAY TILES IN PATTERN DIRECTION AS INDICATED ON DRAWINGS. CENTER TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA, U.O.N. PROVIDE UNIFORM JOINT WIDTHS, U.O.N.
- PROVIDE SOLID WOOD BLOCKING FOR AND COORDINATE LOCATIONS OF ALL ACCESSORY ITEMS INCLUDING, BUT NOT LIMITED TO: TOWEL RACKS, SHELVEING, AND ROD.
- VERIFY ROUGH OPENING REQUIREMENTS AT BATHTUB AND SHOWER WITH APPROVED MANUFACTURER.
- REFER TO ENLARGED PLANS FOR ORIENTATION OF BATHROOM LAYOUT.



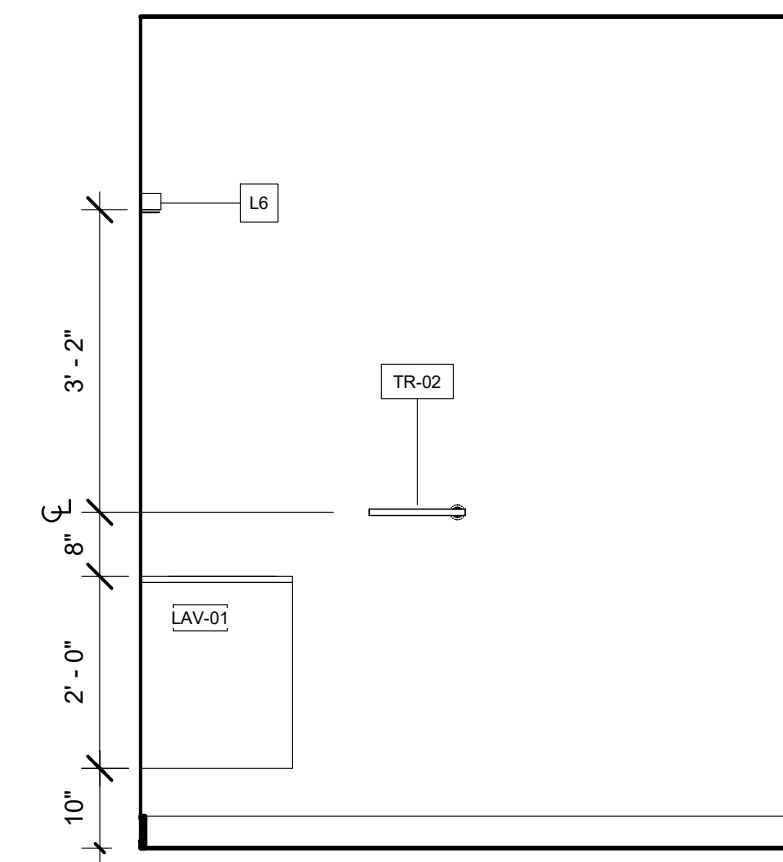
10 UNITS D, E, G, H, I BATHROOM 2 INTERIOR ELEVATION 04  
1/2" = 1'-0"



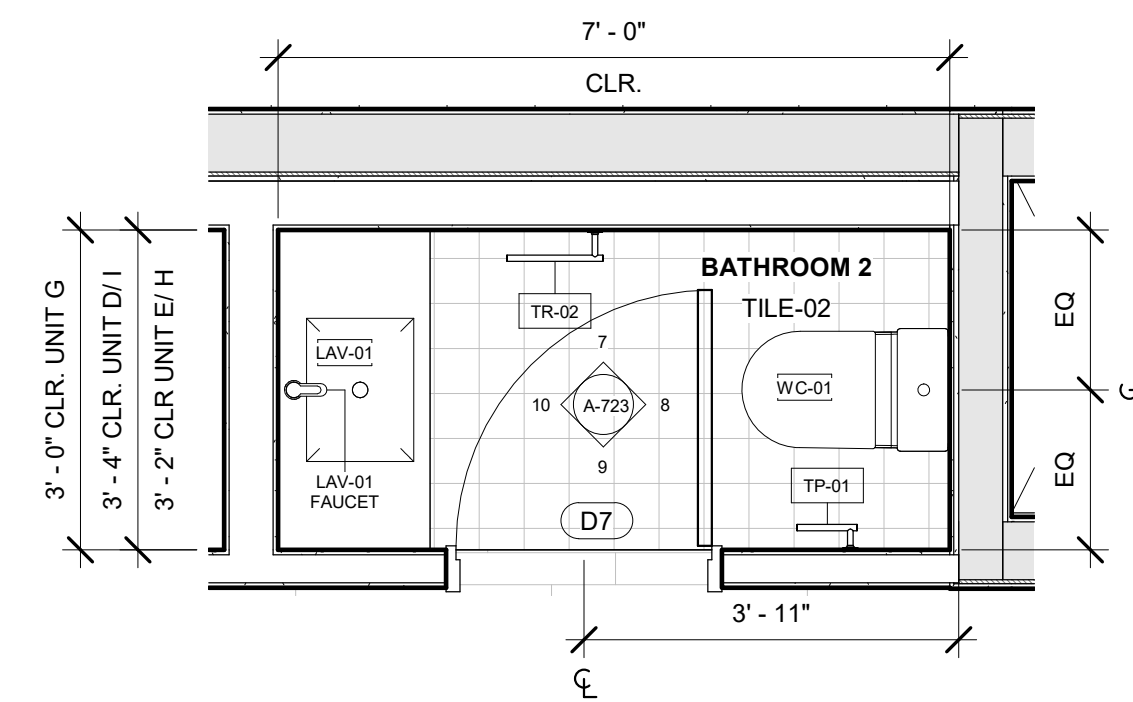
9 UNITS D, E, G, H, I BATHROOM 2 INTERIOR ELEVATION 03  
1/2" = 1'-0"



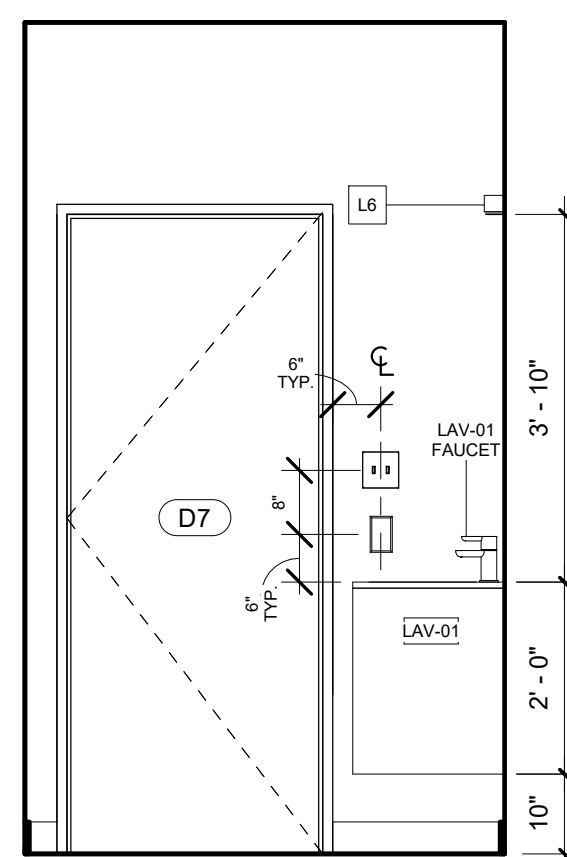
8 UNITS D, E, G, H, I BATHROOM 2 INTERIOR ELEVATION 02  
1/2" = 1'-0"



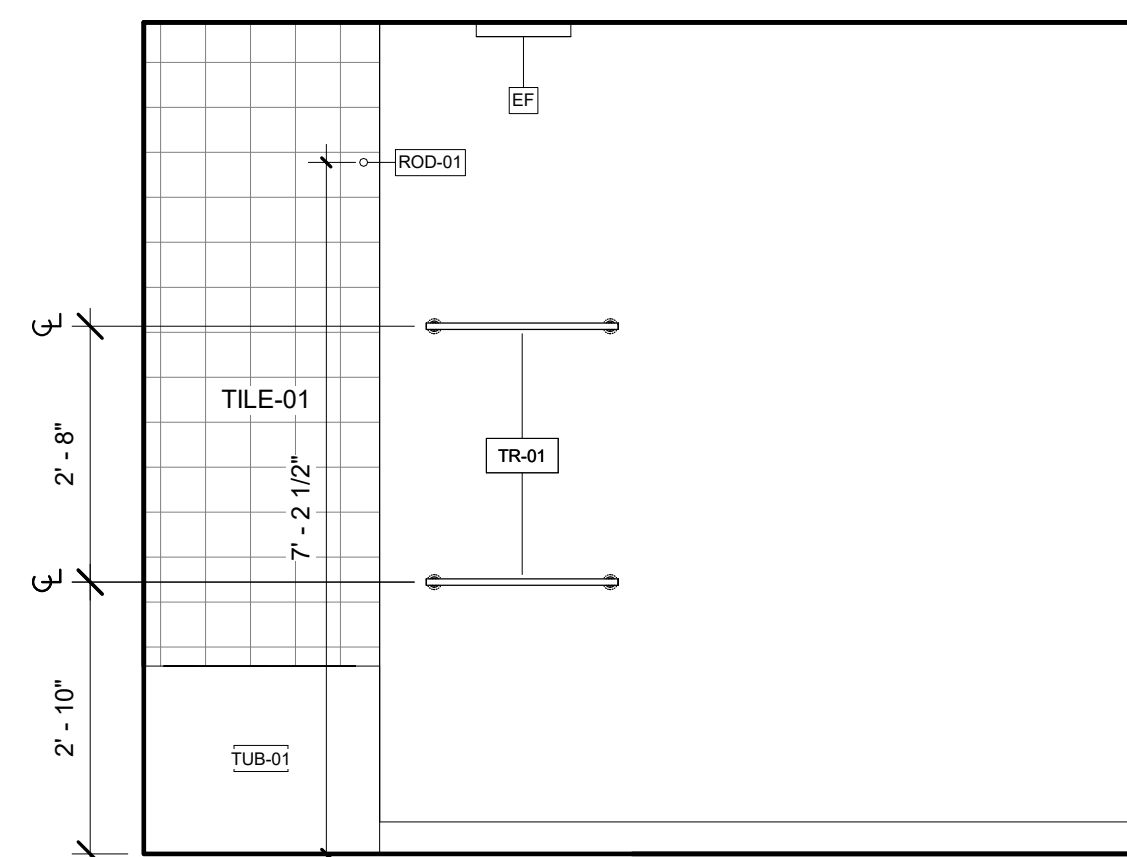
7 UNITS D, E, G, H, I BATHROOM 2 INTERIOR ELEVATION 01  
1/2" = 1'-0"



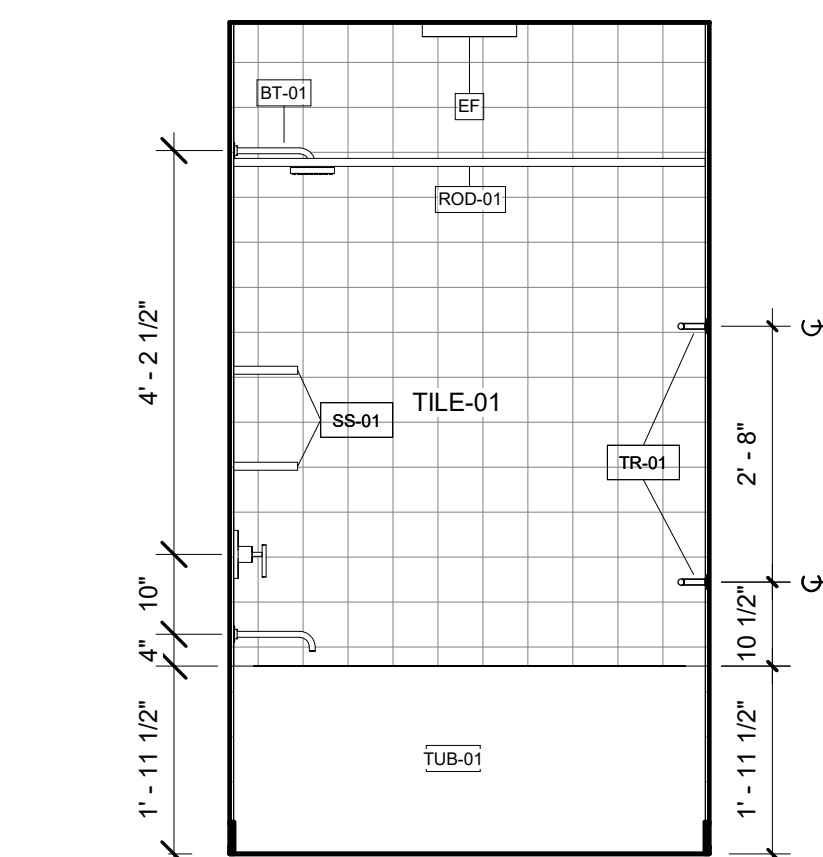
6 BATHROOM 2, UNITS D, E, G, H, I  
1/2" = 1'-0"



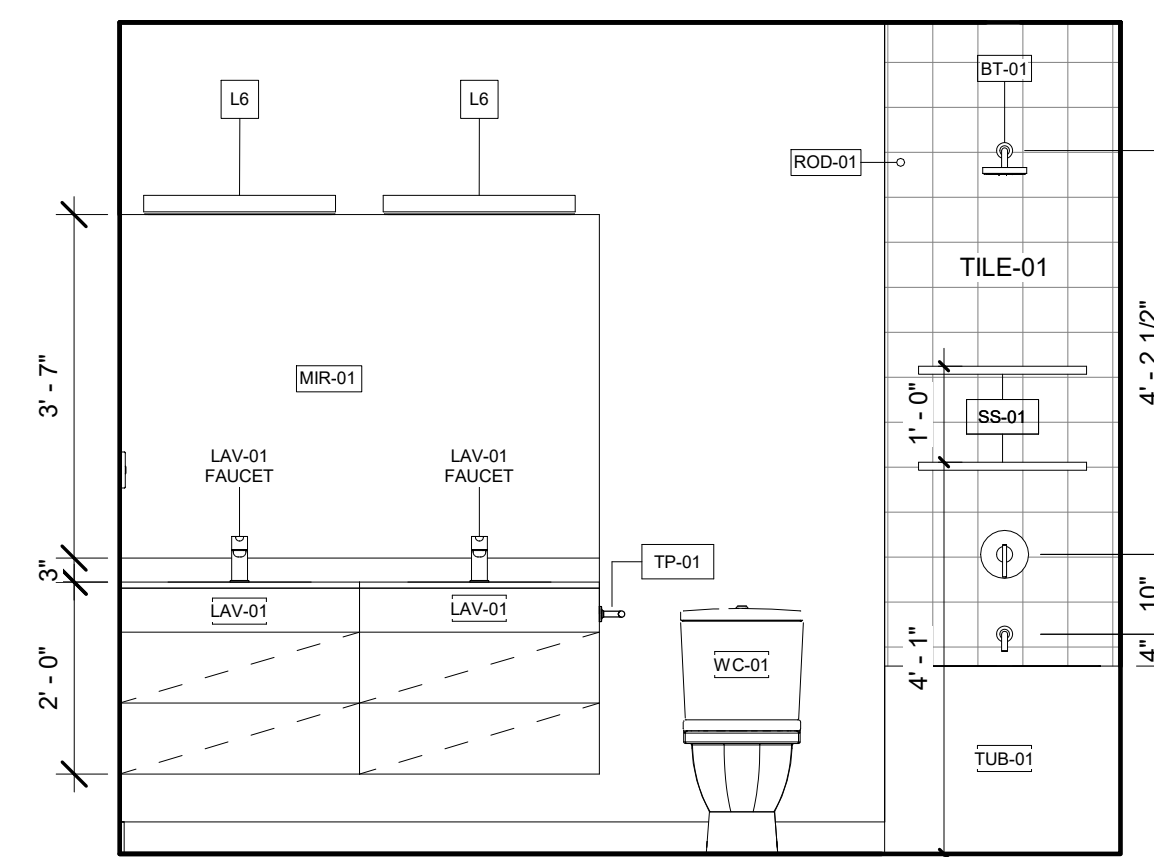
5 UNIT D BATHROOM 1 INTERIOR ELEVATION 04  
1/2" = 1'-0"



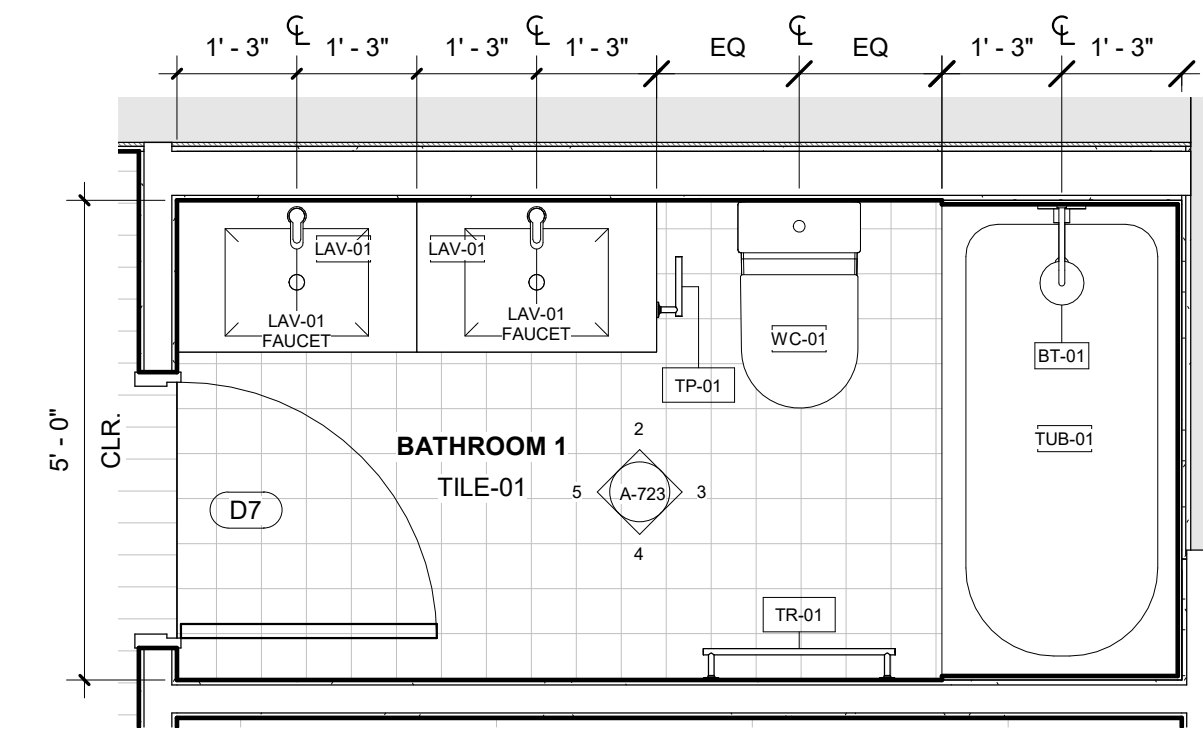
4 UNIT D BATHROOM 1 INTERIOR ELEVATION 03  
1/2" = 1'-0"



3 UNIT D BATHROOM 1 INTERIOR ELEVATION 02  
1/2" = 1'-0"



2 UNIT D BATHROOM 1 INTERIOR ELEVATION 01  
1/2" = 1'-0"



1 BATHROOM 1, UNIT D  
1/2" = 1'-0"

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1502 WOODWARD AVE.  
DETROIT, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0265

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LYONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**CODE CONSULTANT**

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/2" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

**BATHROOMS, UNITS D, E, G, H, I**

SHEET NO.

**A-723**

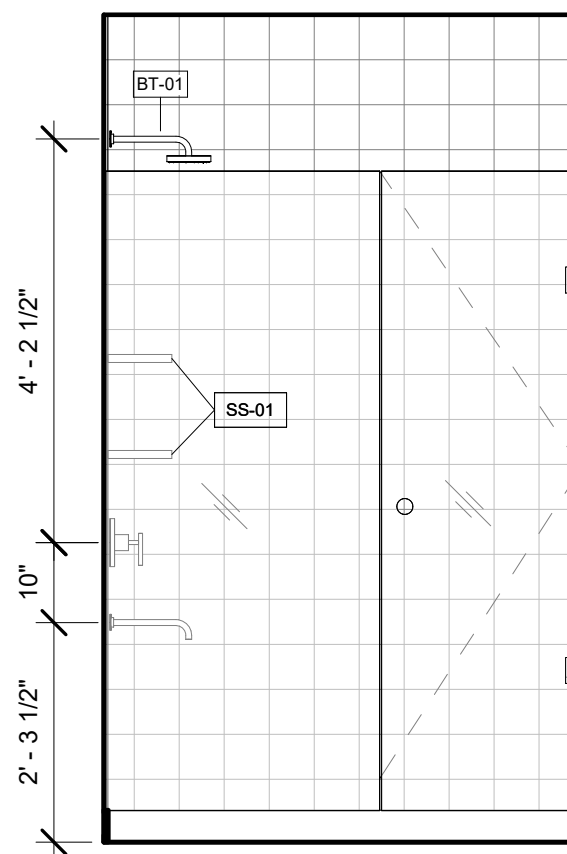
100% CD/ PERMIT SET



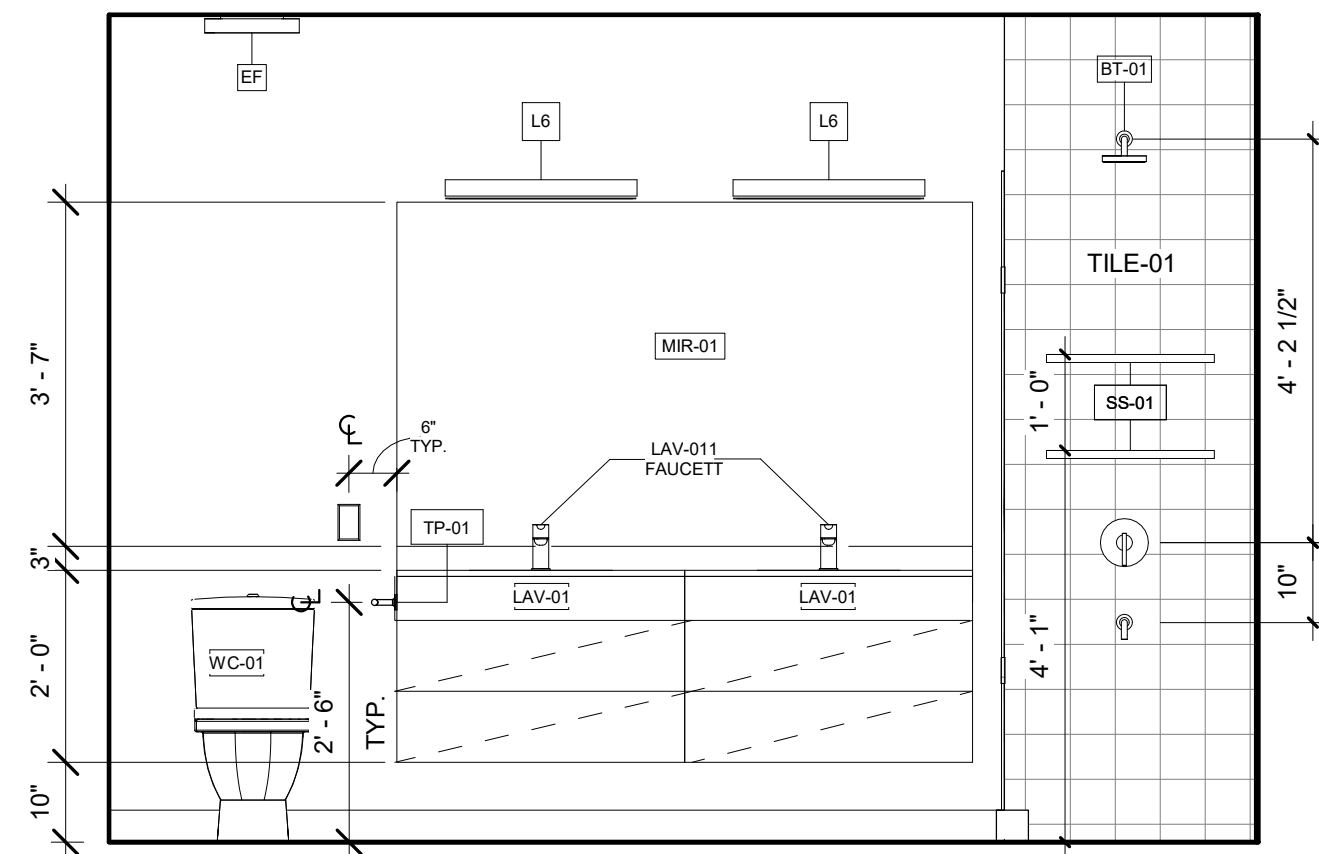
PLUMBING LEGEND	
Type Mark	Description
BT-01	Bath and Shower Trim
BT-02	Handshower Kit
LAV-01	Sink
LAV-01 FAUCET	Faucet
LAV-02	Mop Service Basin
LAV-02 FAUCET	Wall Mounted Service Sink Faucet
SC-1	Box Roof Drainage Scupper
SC-2	Roof Drainage Scupper
SH-01	Provide with Linear Drain
SK-01	Sink
SK-01 FAUCET	Sink
TUB-01	Tub - Regular
TUB-02	Tub - Long
WC-01	Toilet

ACCESSORIES & EQUIPMENT LEGEND	
Type Mark	Description
GB-01	Components Grab Bar
GB-02	Components Grab Bar
MAIL	Mailboxes
ROD-01	Shower Rod
ROD-02	Shelf & Heavy Duty Rod
SS-01	Choreograph Floating Shower Shelf
STO-01	Welded Wire Tenant Storage Units, 2 stacked
STO-02	Welded Wire Tenant Storage Units, 2 stacked
TP-01	Composed Pivoting Toilet Tissue Holder
TR-01	Components Towel Bar
TR-02	Components Towel Arm
TRASH	Trash Receptacle

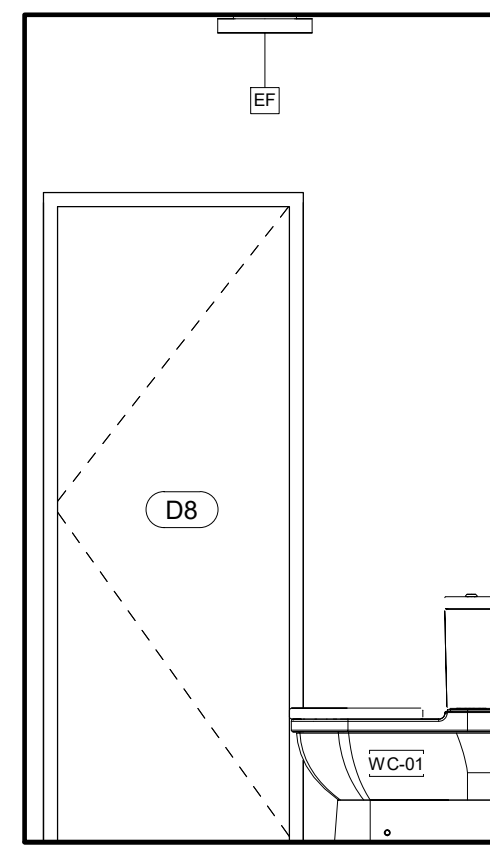
- BATHROOM GENERAL NOTES**
- DIMENSIONS ARE TO FINISH FACE U.O.N.
  - LAY TILES IN PATTERN DIRECTION AS INDICATED ON DRAWINGS. CENTER TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA. U.O.N. PROVIDE UNIFORM JOINT WIDTHS. U.O.N. PROVIDE SOLID WOOD BLOCKING FOR AND COORDINATE LOCATIONS OF ALL ACCESSORY ITEMS INCLUDING, BUT NOT LIMITED TO: TOWEL RACKS, SHELVEING, AND ROD.
  - VERIFY ROUGH OPENING REQUIREMENTS AT BATHTUB AND SHOWER WITH APPROVED MANUFACTURER.
  - REFER TO ENLARGED PLANS FOR ORIENTATION OF BATHROOM LAYOUT.



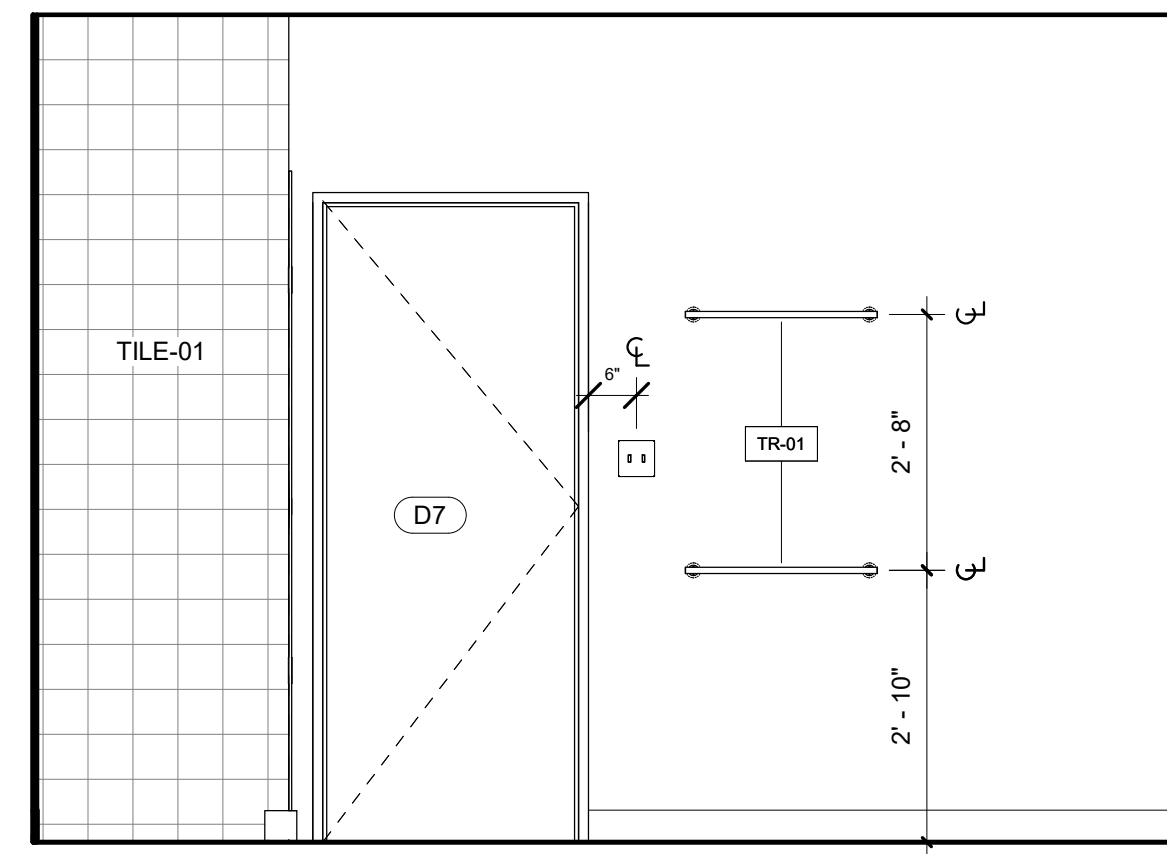
10 UNIT F BATHROOM 1 INTERIOR ELEVATION 04  
1/2" = 1'-0"



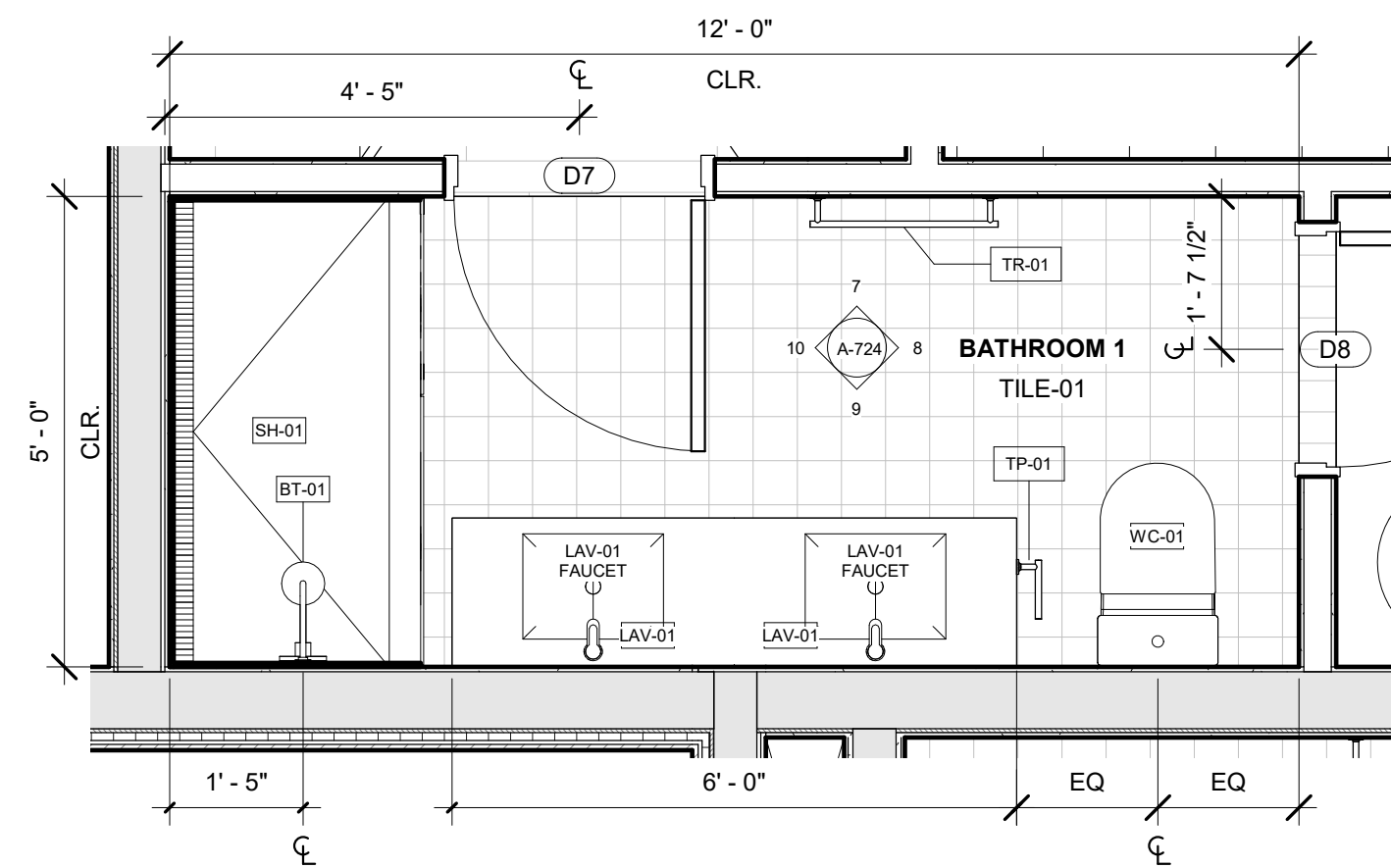
9 UNIT F BATHROOM 1 INTERIOR ELEVATION 03  
1/2" = 1'-0"



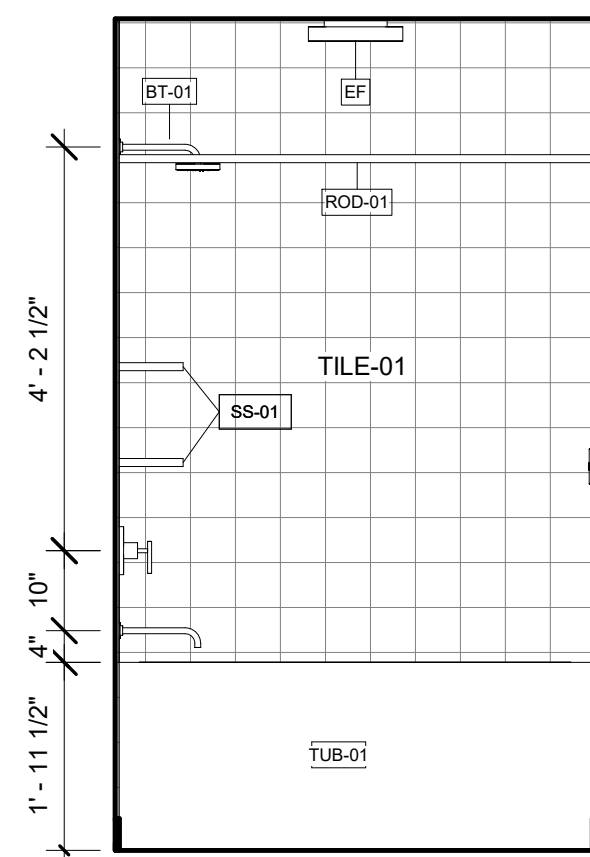
8 UNIT F BATHROOM 1 INTERIOR ELEVATION 02  
1/2" = 1'-0"



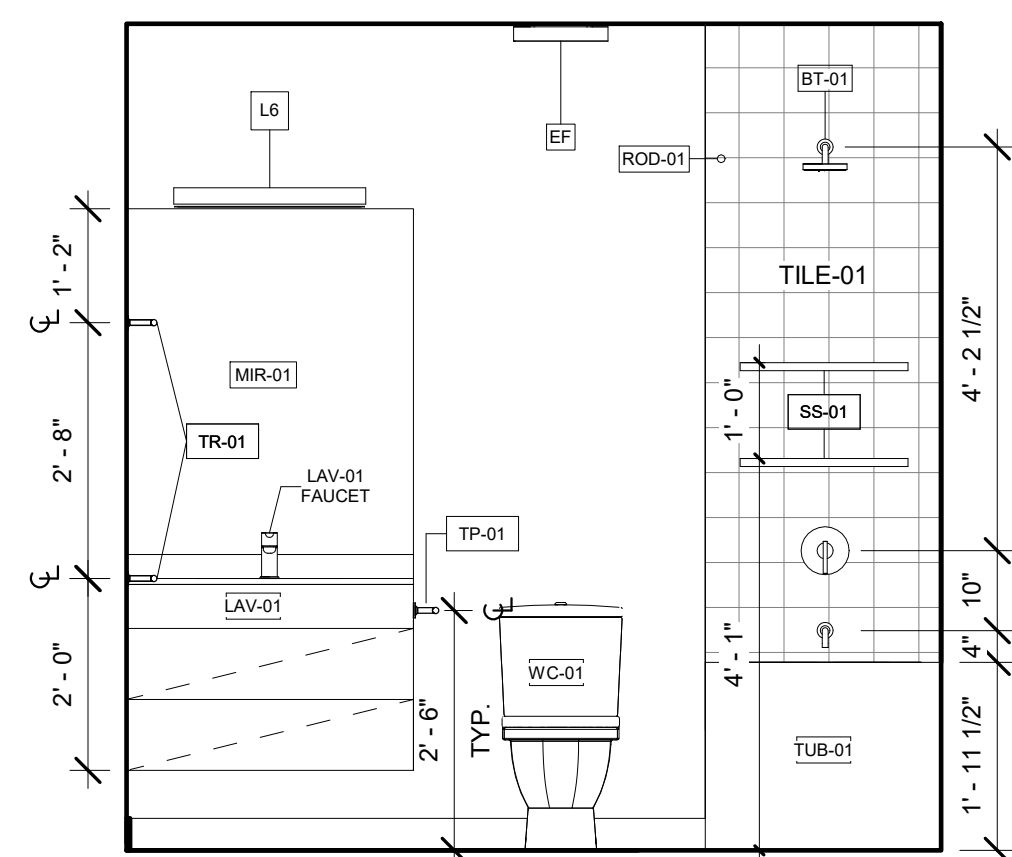
7 UNIT F BATHROOM 1 INTERIOR ELEVATION 01  
1/2" = 1'-0"



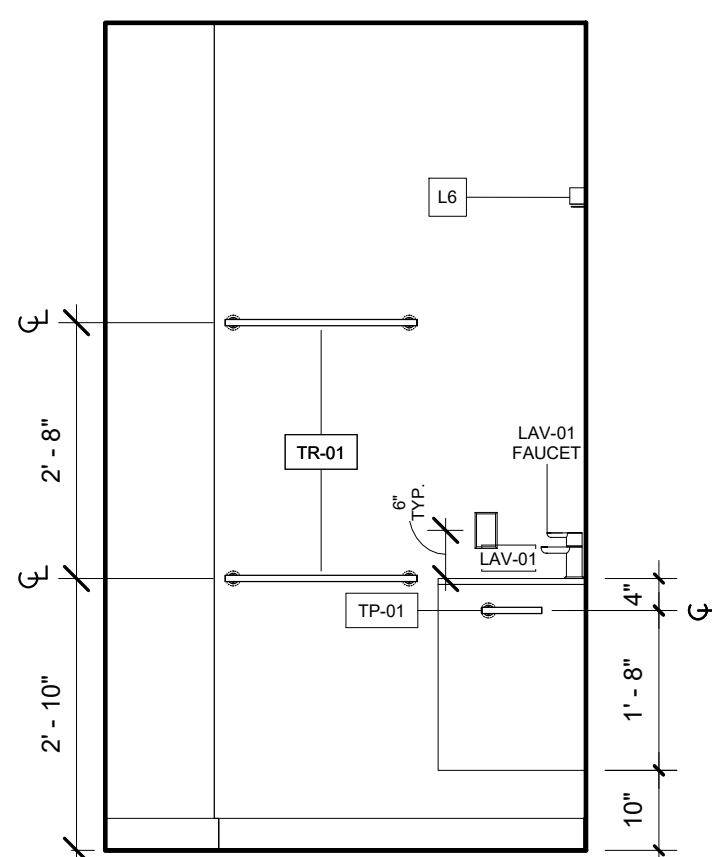
6 BATHROOM 1, UNIT F  
1/2" = 1'-0"



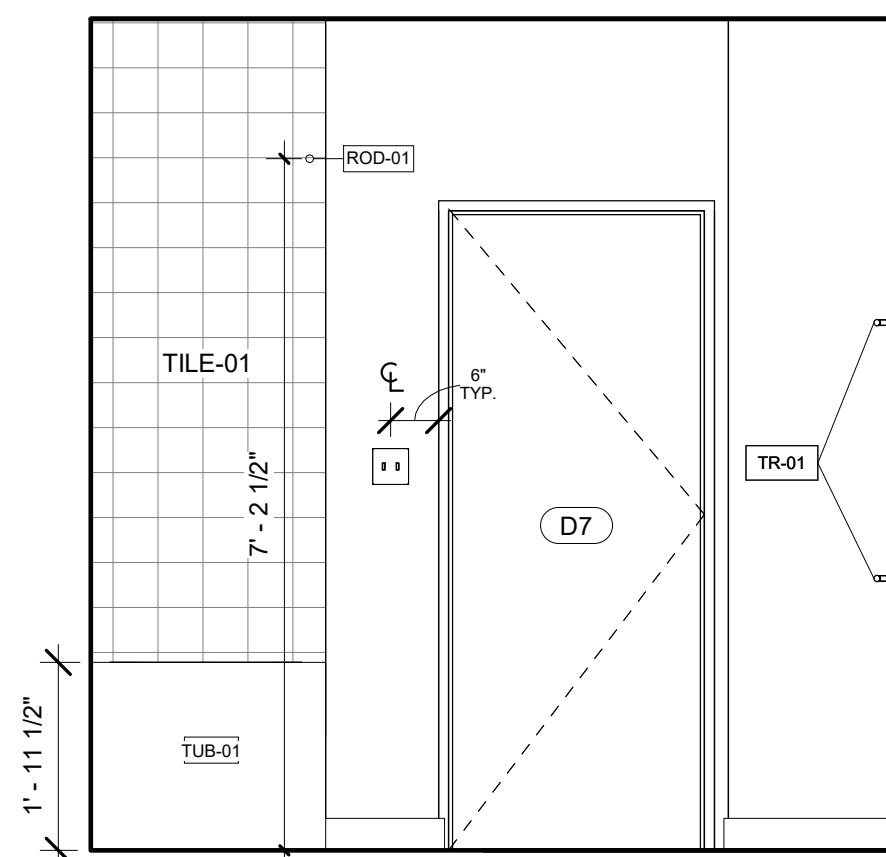
5 UNIT F BATHROOM 2 INTERIOR ELEVATION 04  
1/2" = 1'-0"



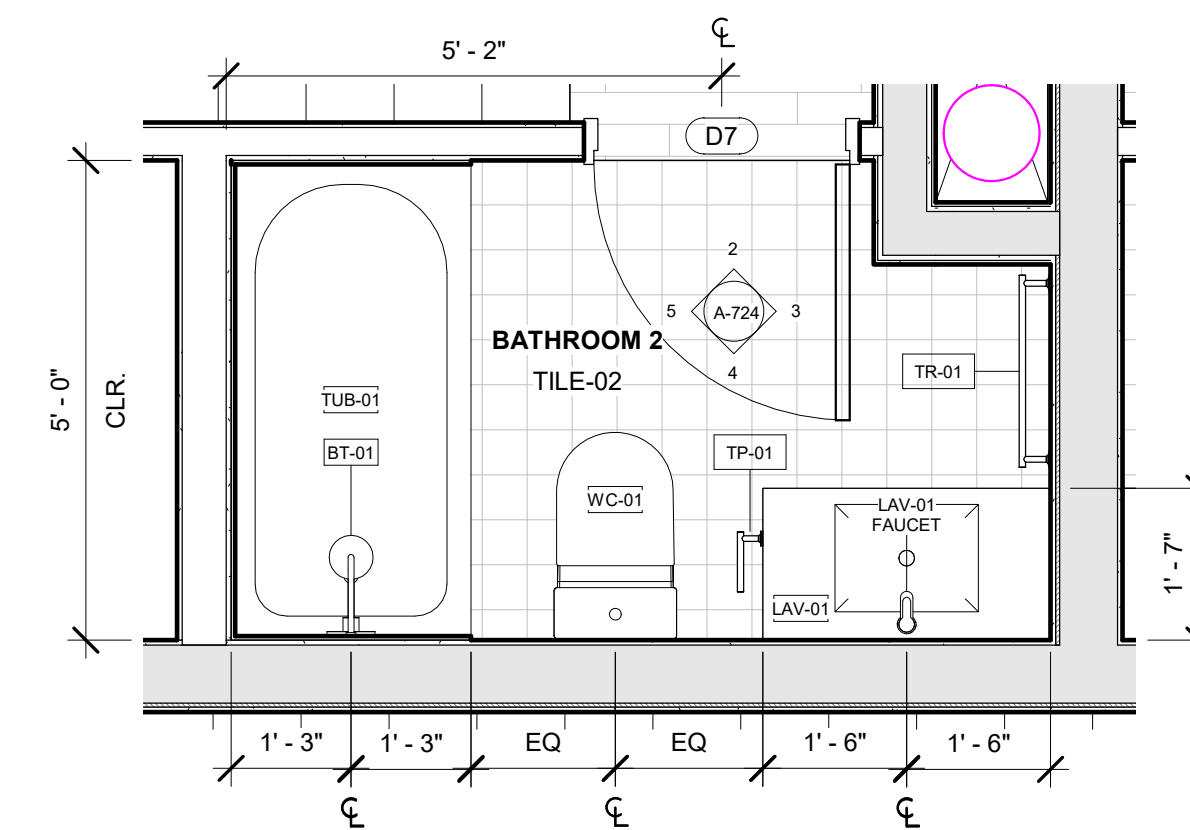
4 UNIT F BATHROOM 2 INTERIOR ELEVATION 03  
1/2" = 1'-0"



3 UNIT F BATHROOM 2 INTERIOR ELEVATION 02  
1/2" = 1'-0"



2 UNIT F BATHROOM 2 INTERIOR ELEVATION 01  
1/2" = 1'-0"



1 BATHROOM 2, UNIT F  
1/2" = 1'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LYONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/2" = 1'-0"

DATE: 05/15/2020

DRAWING TITLE

**BATHROOMS, UNIT F**

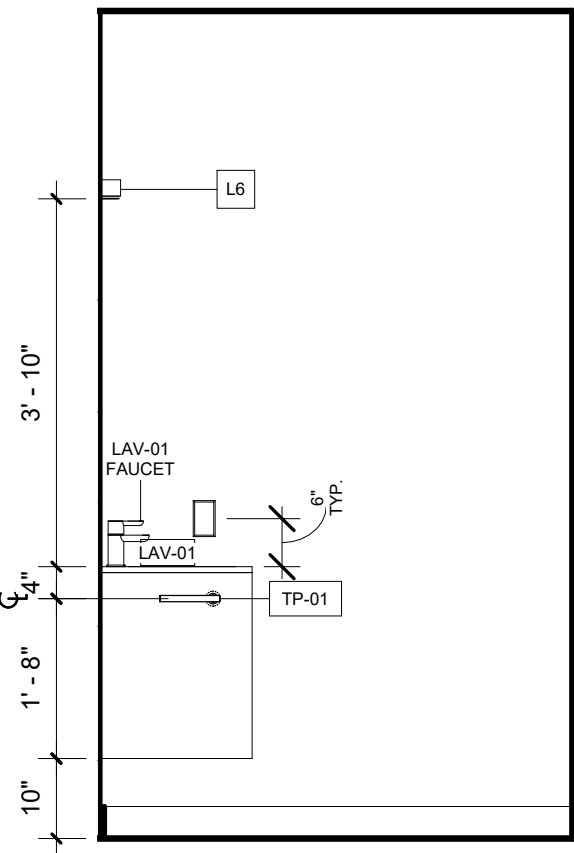
SHEET NO.

**A-724**

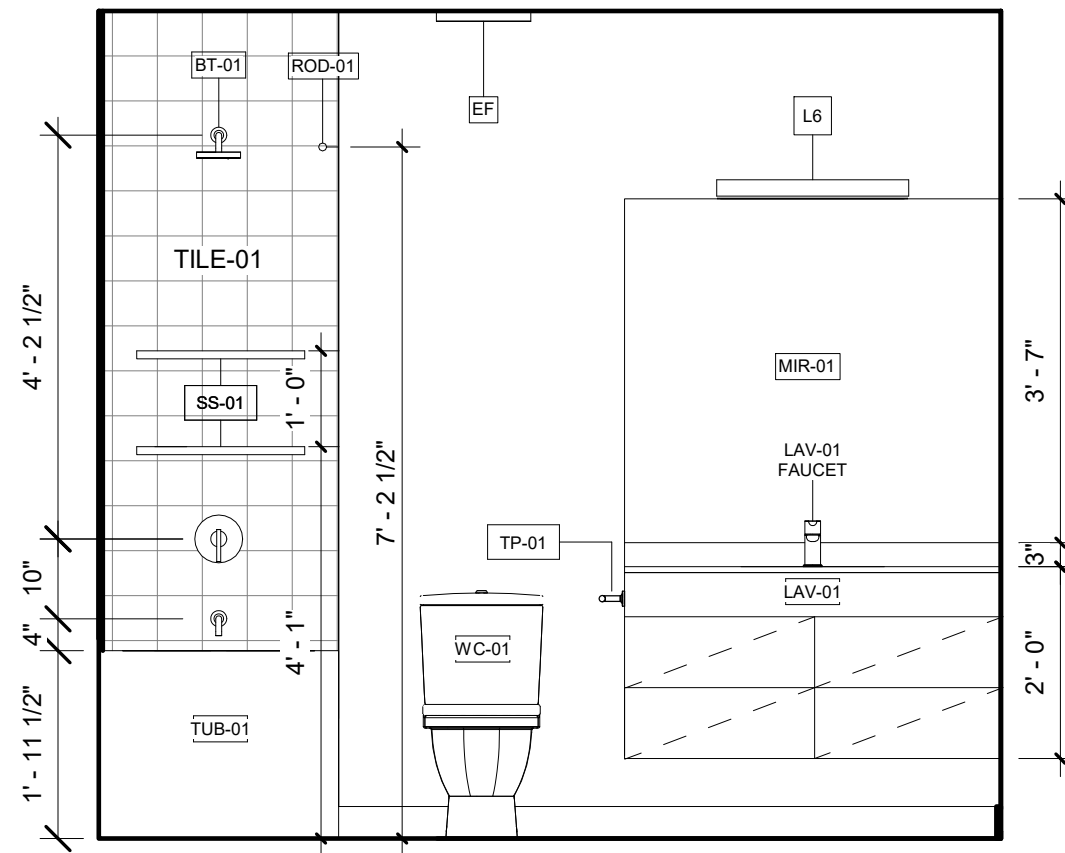
100% CD/ PERMIT SET



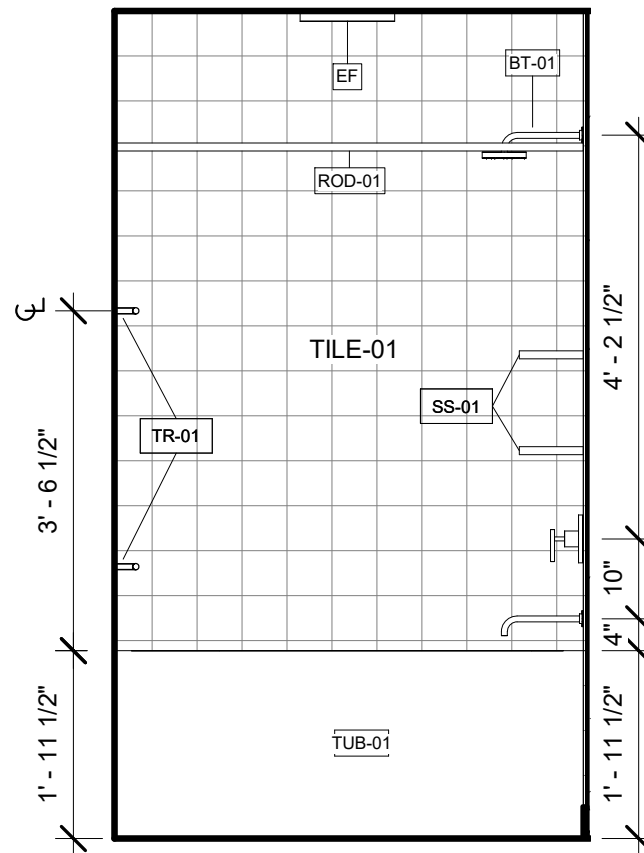
NOTE: REFERENCE A-720 FOR PLUMBING, ACCESSORY LEGENDS AND GENERAL NOTES



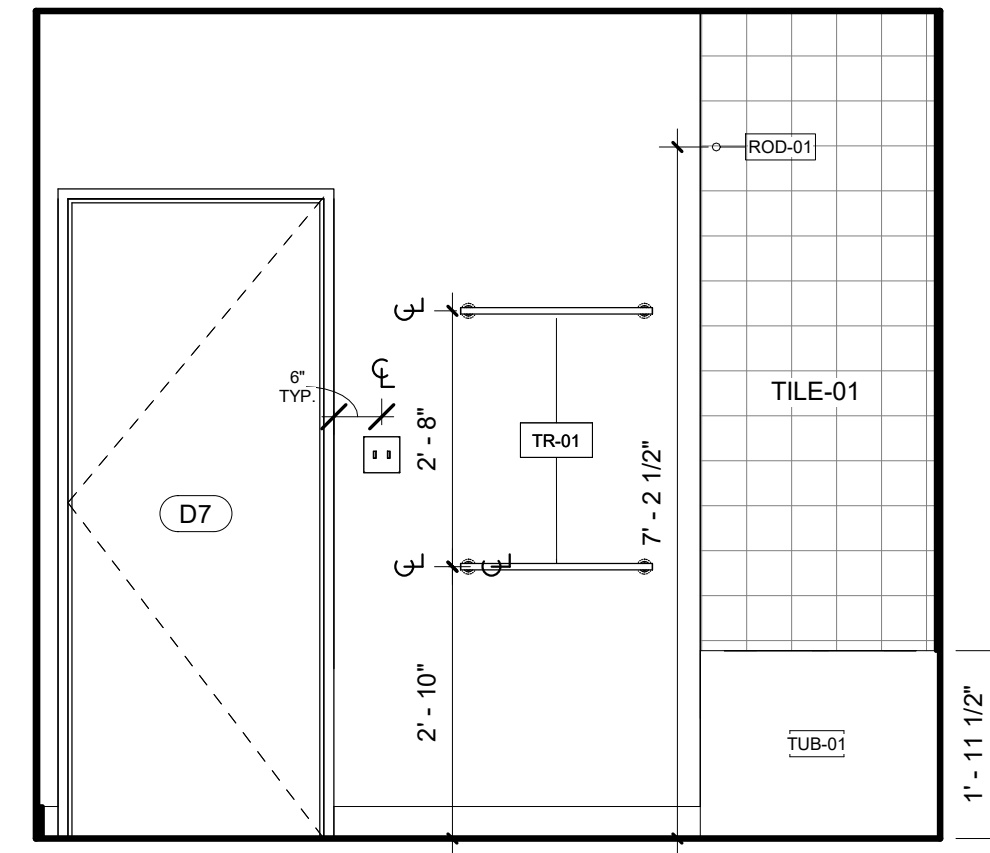
15 UNIT G BATHROOM 3 INTERIOR ELEVATION 04  
1/2" = 1'-0"



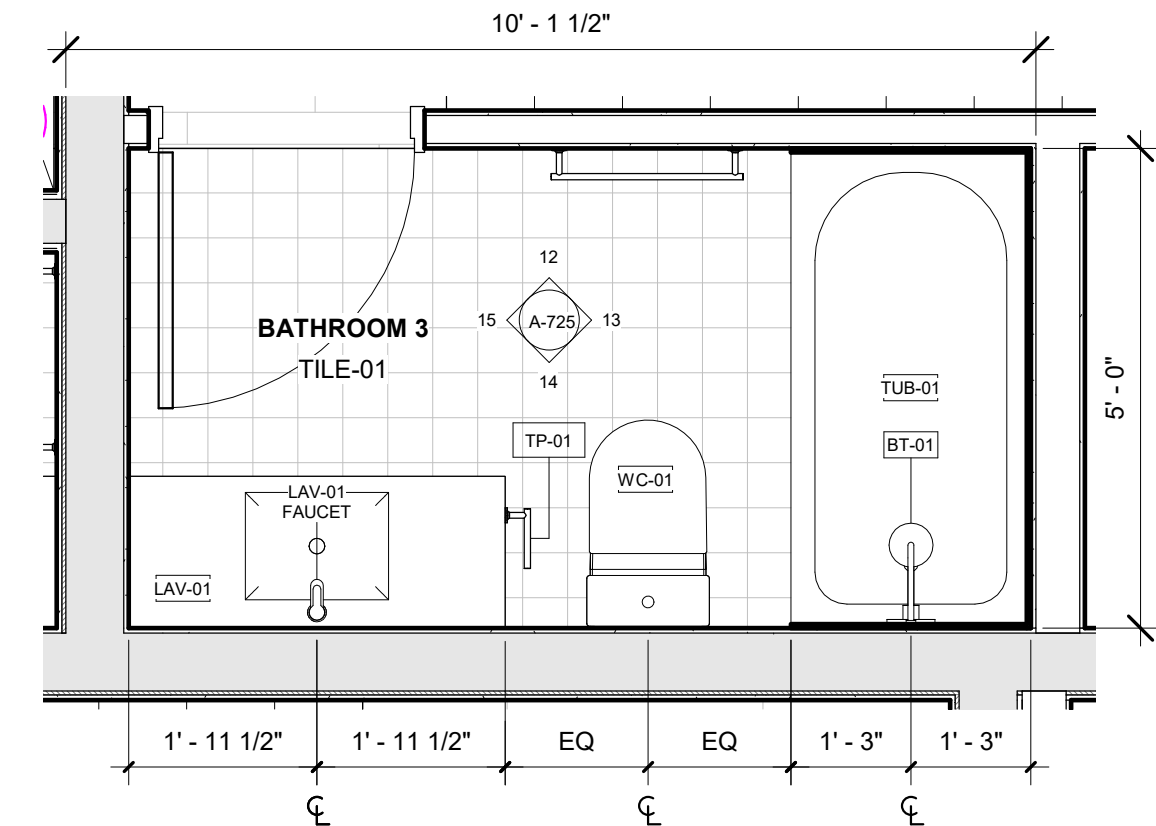
14 UNIT G BATHROOM 3 INTERIOR ELEVATION 03  
1/2" = 1'-0"



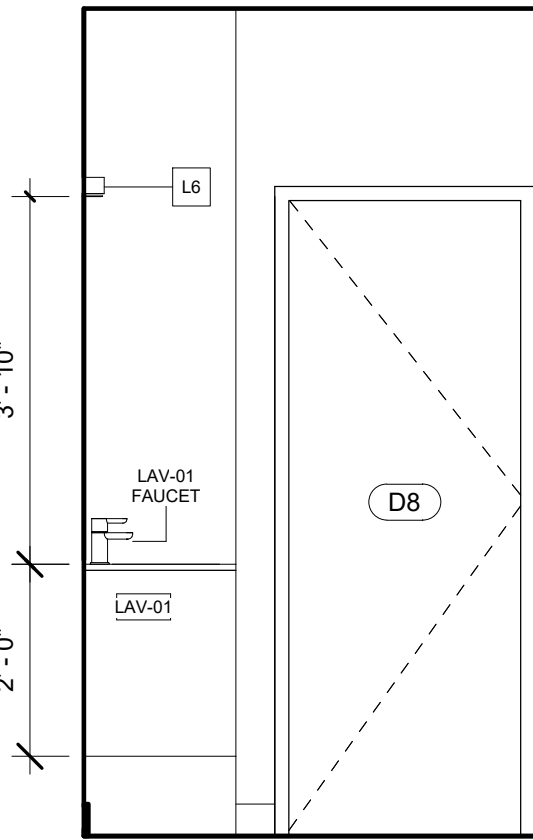
13 UNIT G BATHROOM 3 INTERIOR ELEVATION 02  
1/2" = 1'-0"



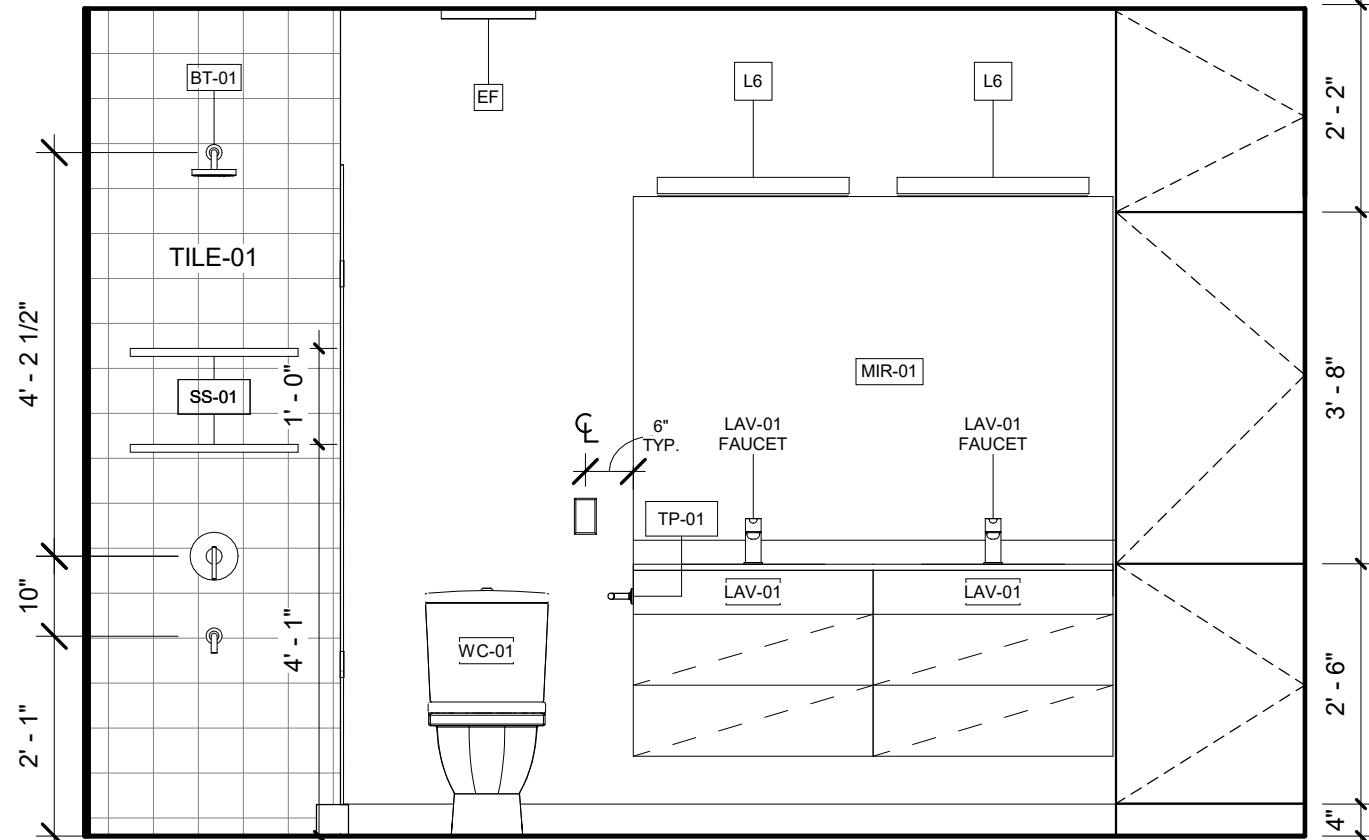
12 UNIT G BATHROOM 3 INTERIOR ELEVATION 01  
1/2" = 1'-0"



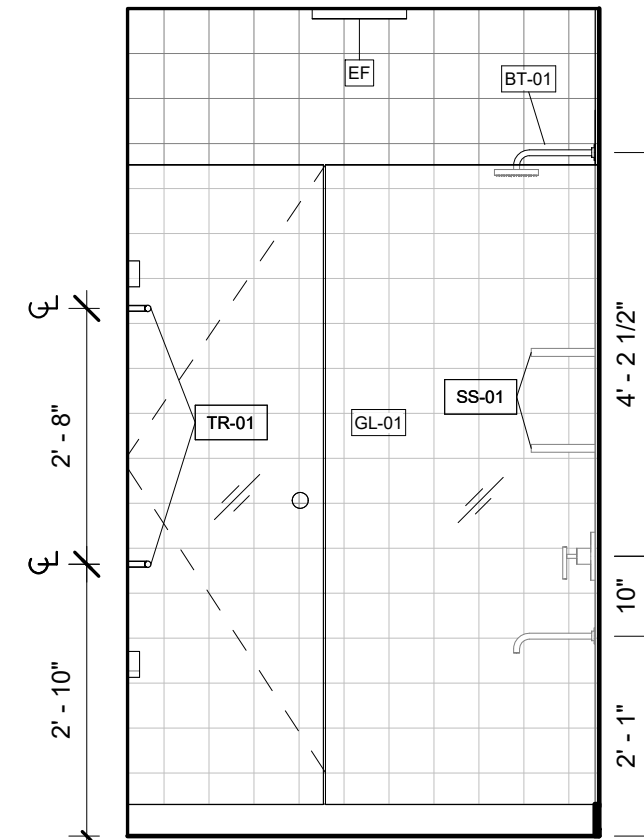
11 BATHROOM 3, UNIT G ENLARGED PLAN  
1/2" = 1'-0"



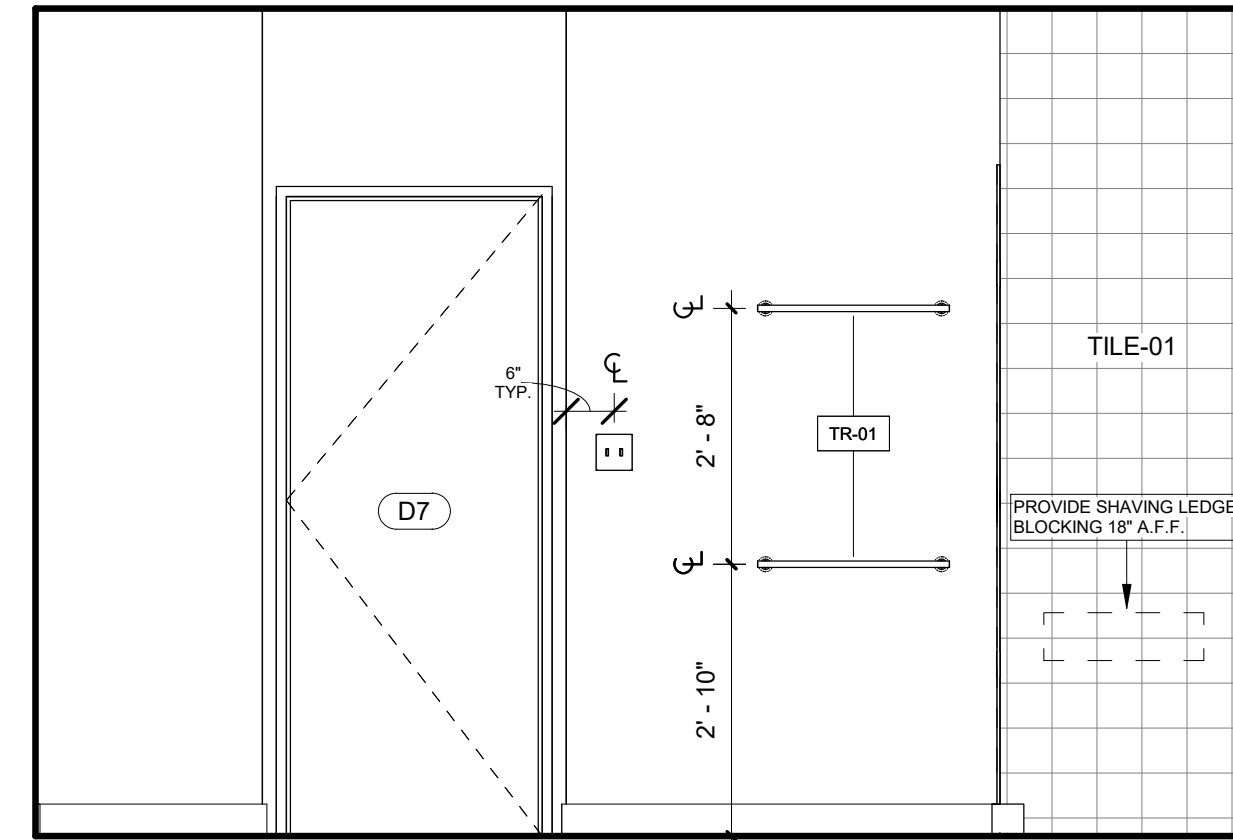
10 UNIT G BATHROOM 1 INTERIOR ELEVATION 04  
1/2" = 1'-0"



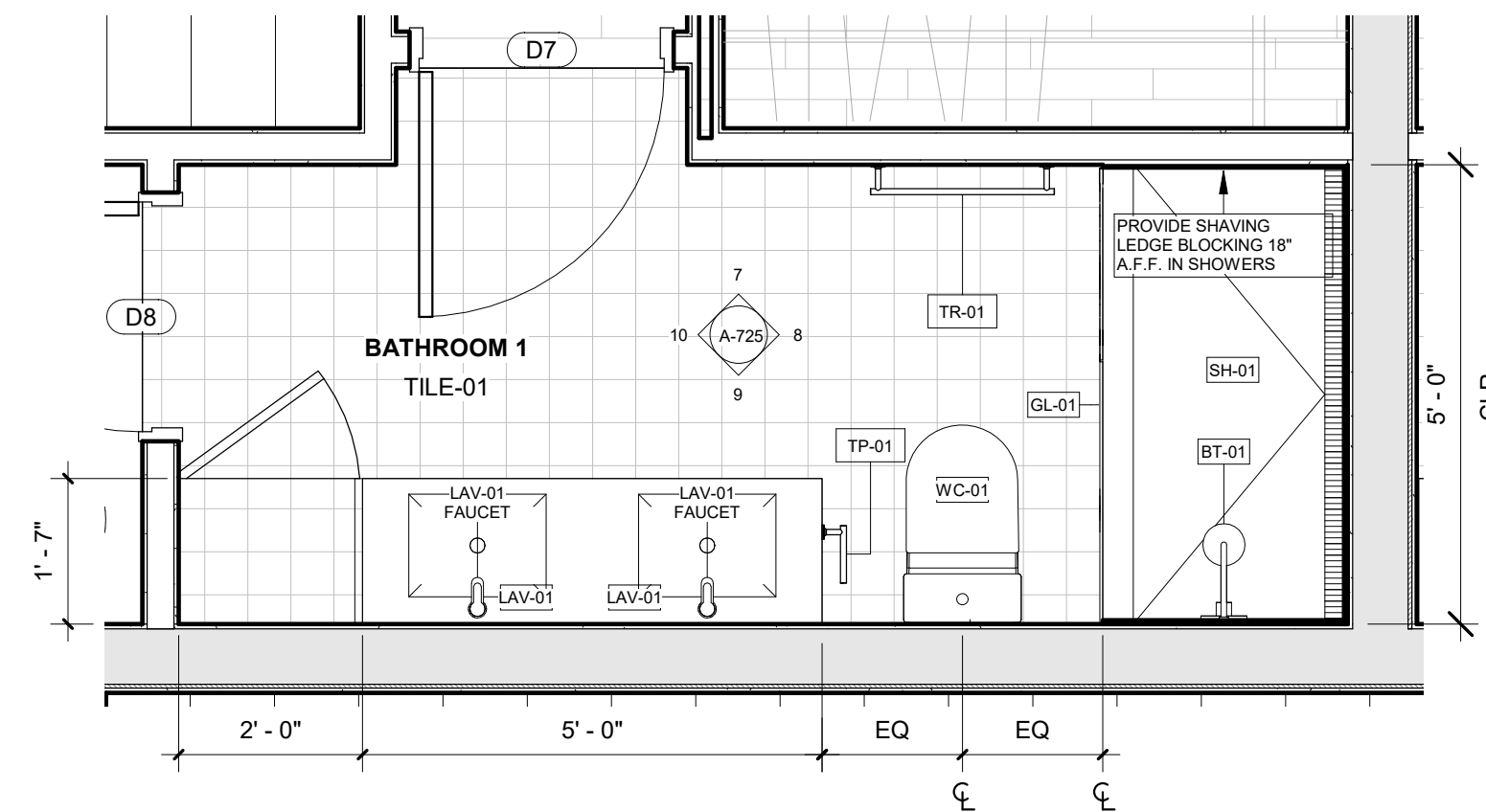
9 UNIT G BATHROOM 1 INTERIOR ELEVATION 03  
1/2" = 1'-0"



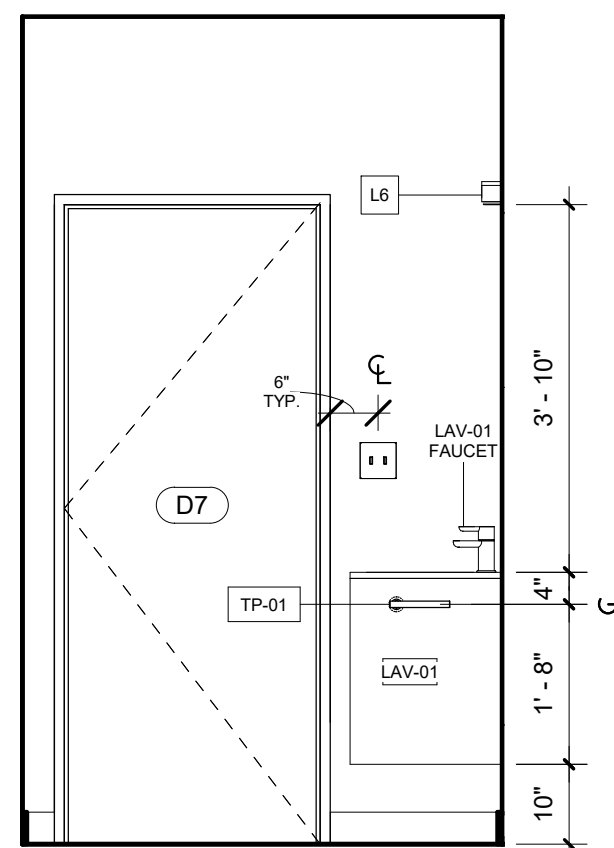
8 UNIT G BATHROOM 1 INTERIOR ELEVATION 02  
1/2" = 1'-0"



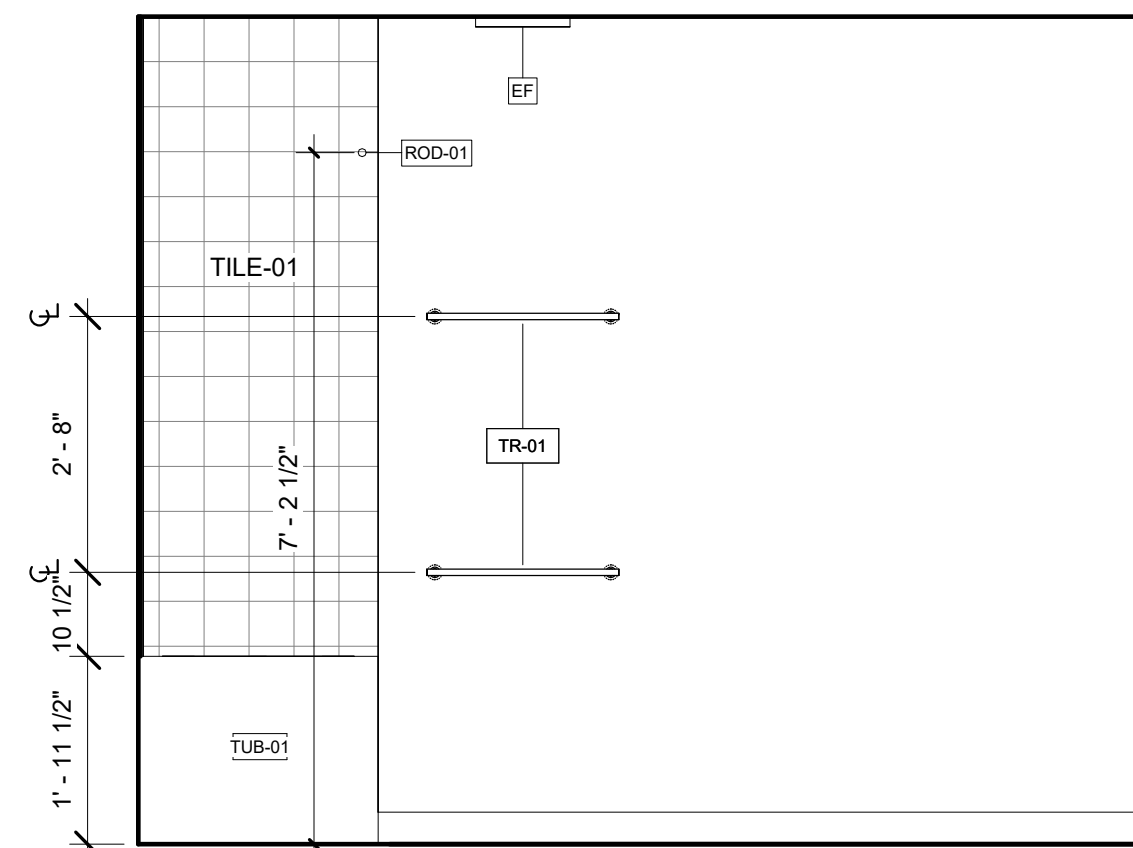
7 UNIT G BATHROOM 1 INTERIOR ELEVATION 01  
1/2" = 1'-0"



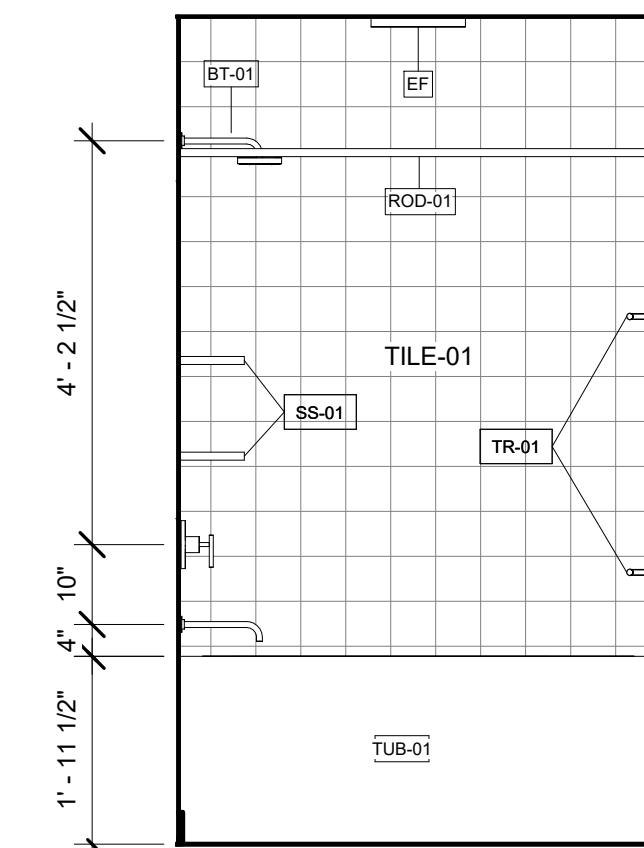
6 BATHROOM 1, UNIT G  
1/2" = 1'-0"



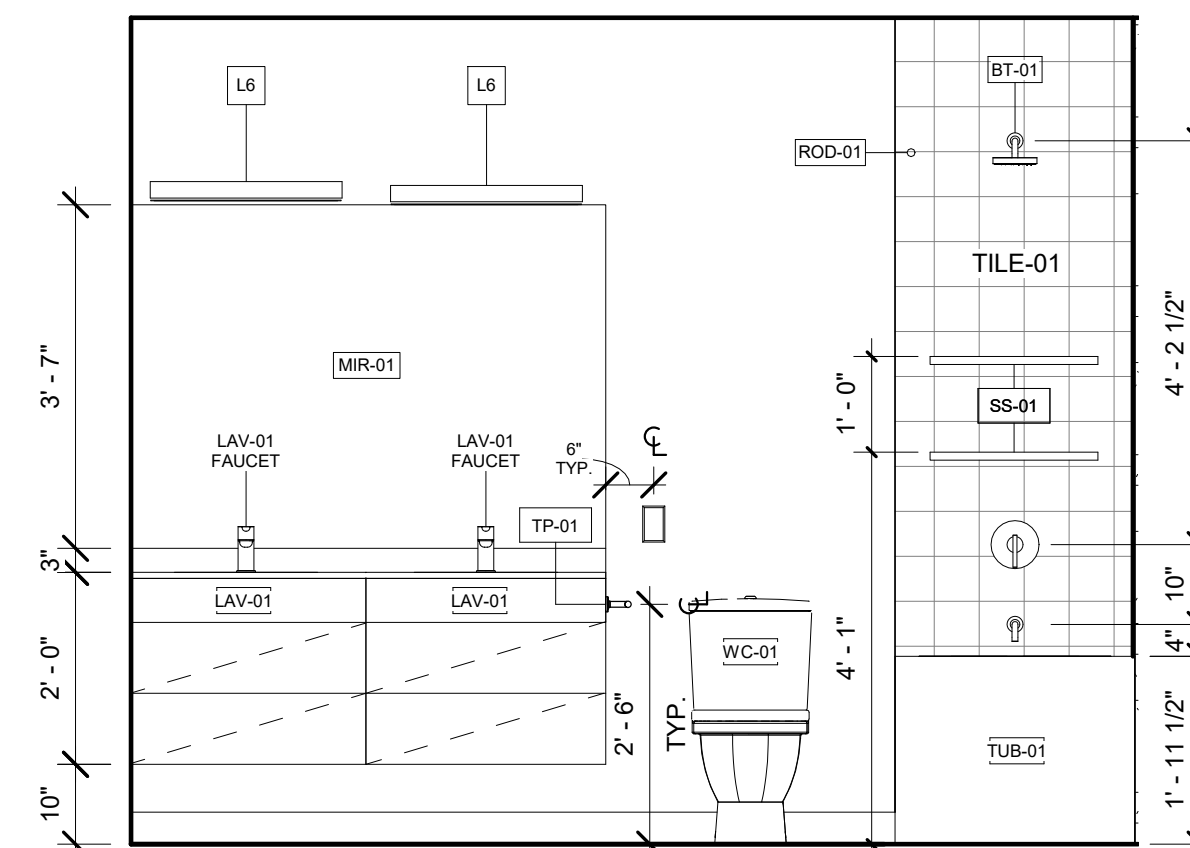
5 UNIT I BATHROOM 1 INTERIOR ELEVATION 04  
1/2" = 1'-0"



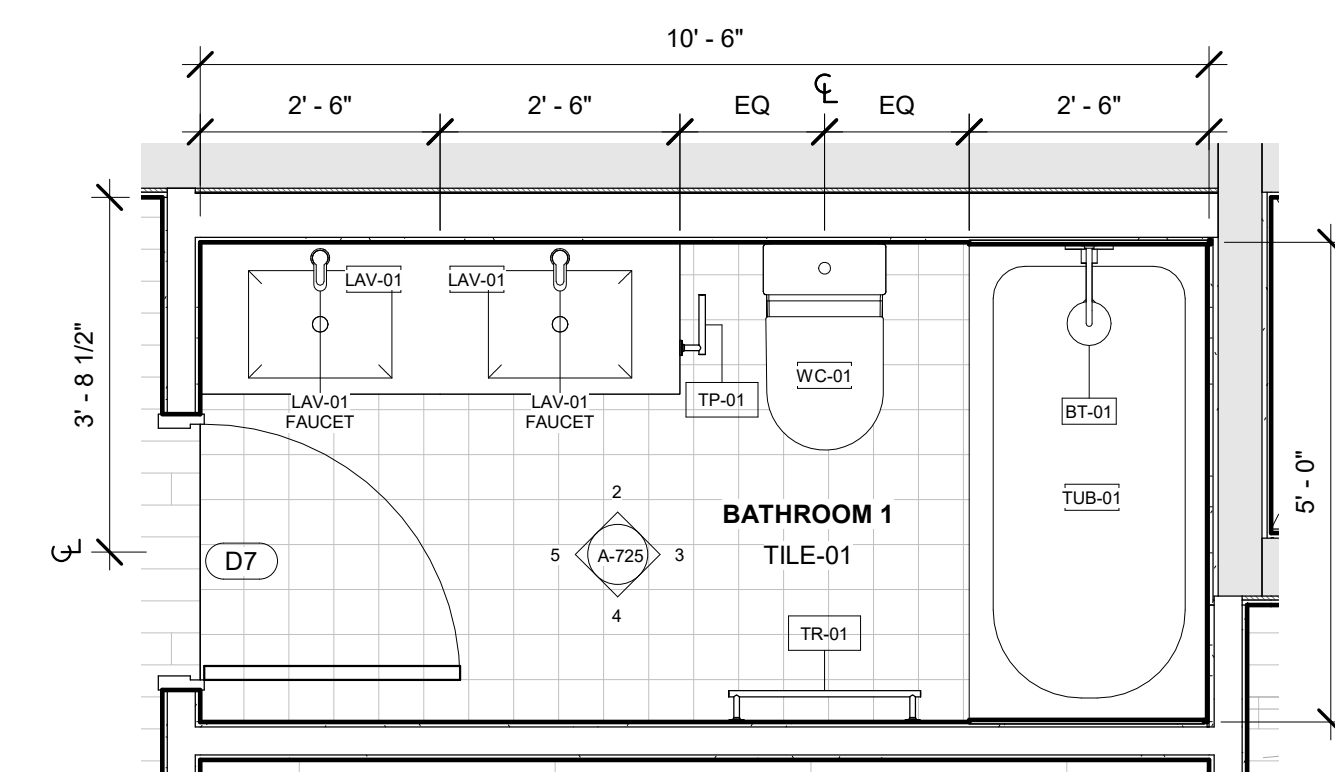
4 UNIT I BATHROOM 1 INTERIOR ELEVATION 03  
1/2" = 1'-0"



3 UNIT I BATHROOM 1 INTERIOR ELEVATION 02  
1/2" = 1'-0"



2 UNIT I BATHROOM 1 INTERIOR ELEVATION 01  
1/2" = 1'-0"



1 BATHROOM 1, UNIT I  
1/2" = 1'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1392 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
1821 FARMINGTON ROAD, LYONIA, IL 60152  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LYONIA, IL 60152  
T: 248-482-0045 F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 250  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/2" = 1'-0"

DATE: 02/07/20

DRAWING TITLE

**BATHROOMS, UNIT G, I**

SHEET NO.

**A-725**

100% CD / PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LYONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1/2" = 1'-0"

DATE: 05/15/20

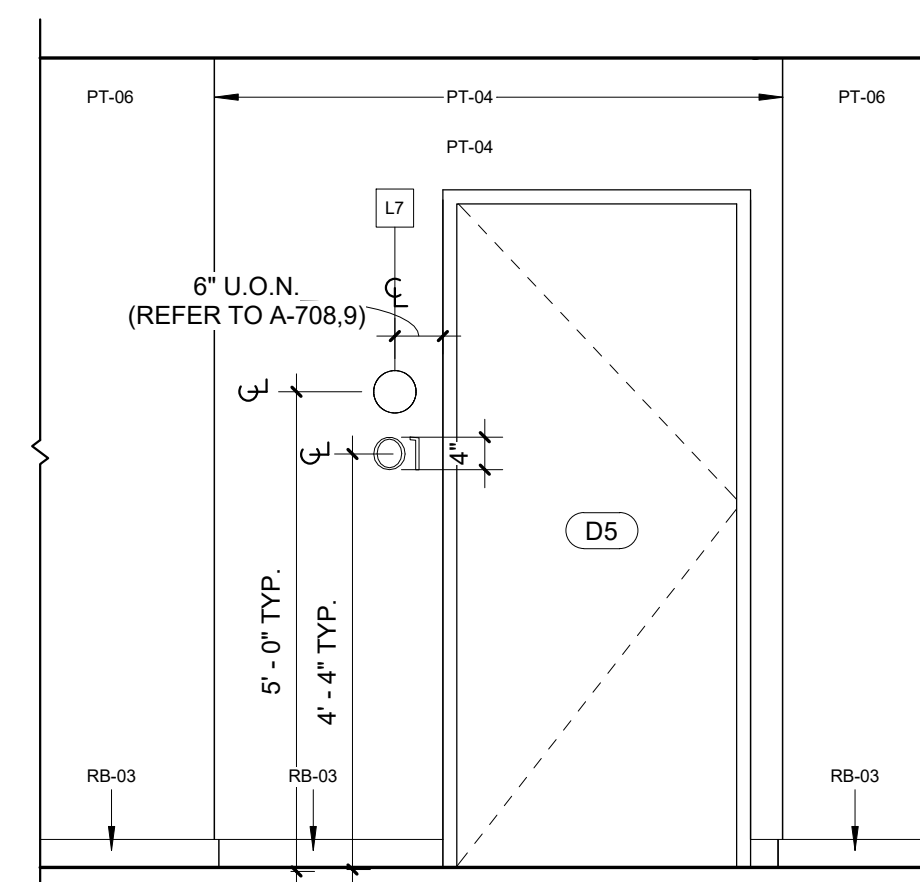
DRAWING TITLE

ENLARGED ELEVATIONS

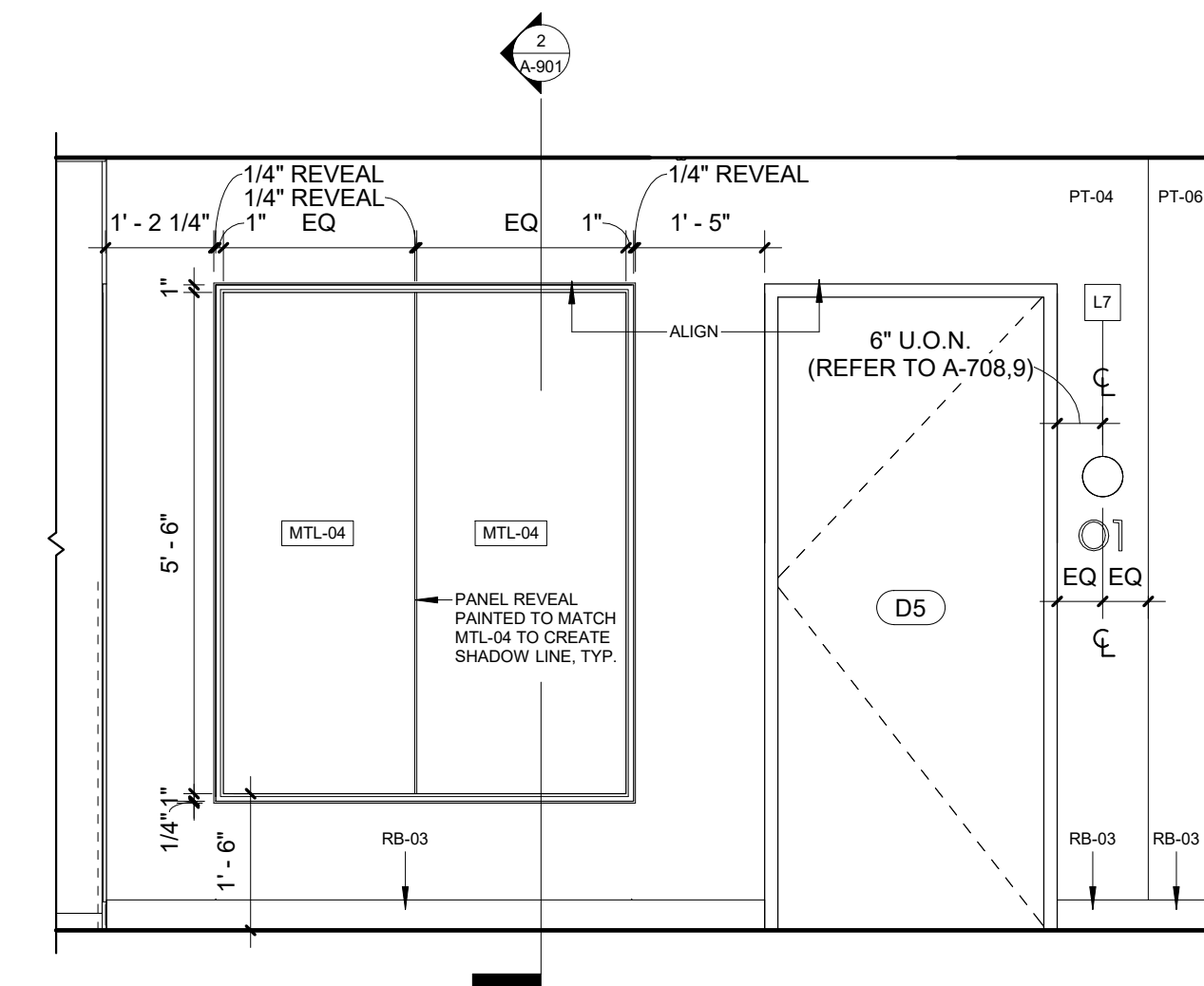
SHEET NO.

**A-730**

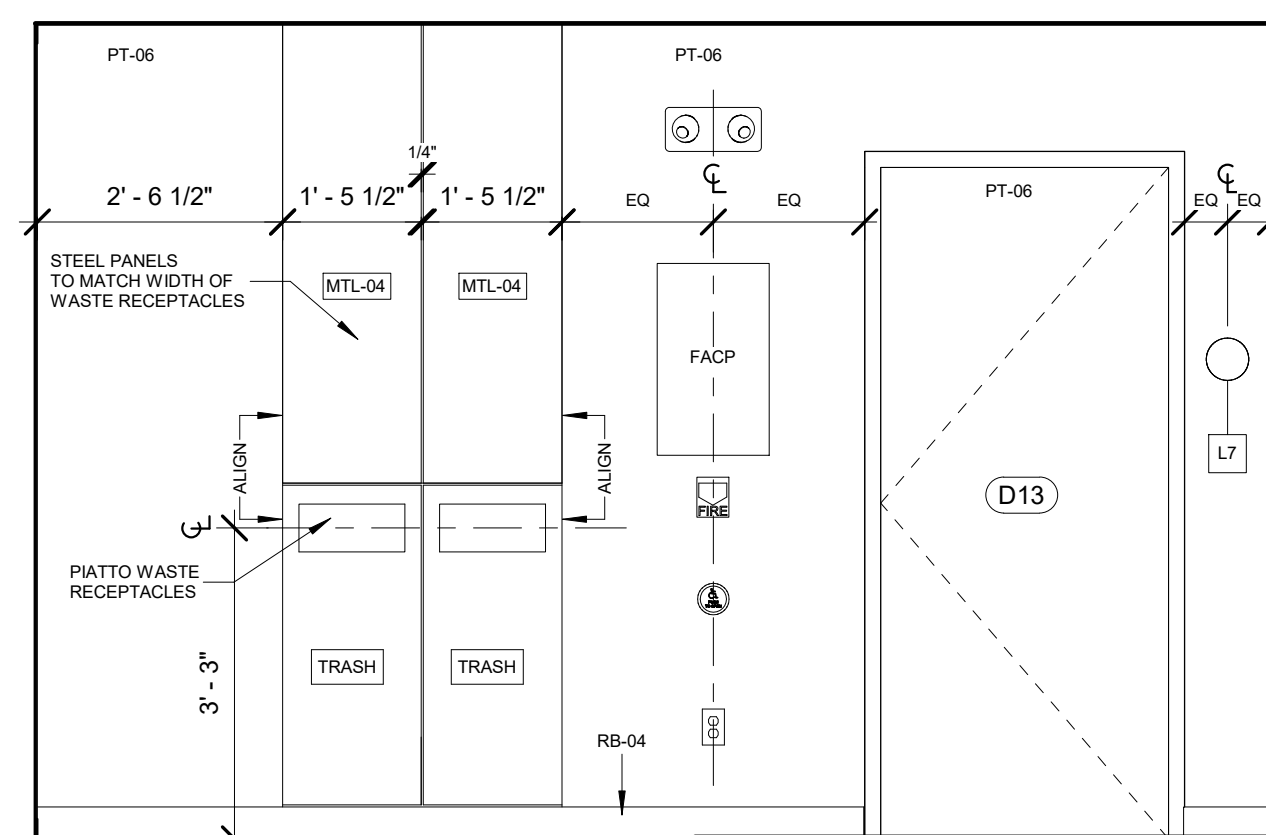
100% CD/ PERMIT SET



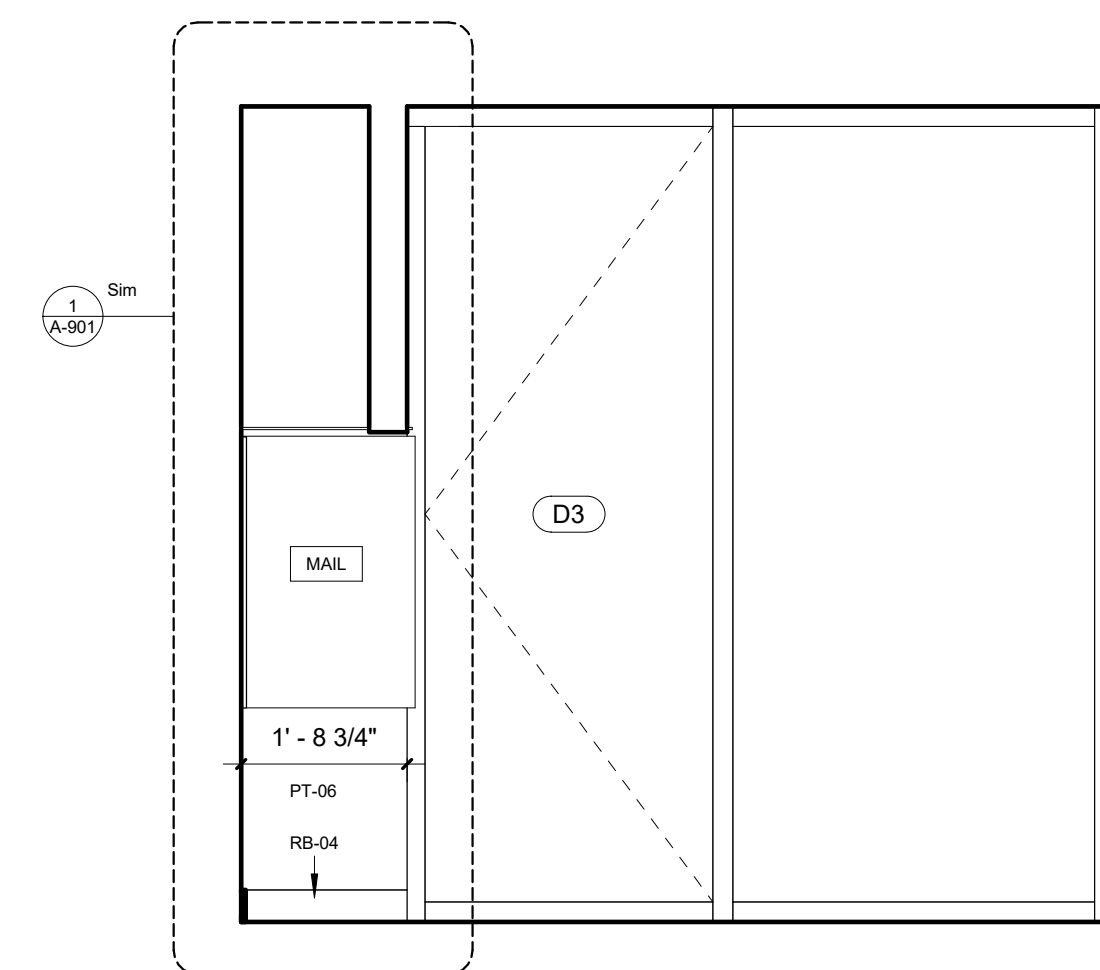
9 UNIT ENTRY, TYP. INTERIOR ELEVATION 01  
1/2" = 1'-0"



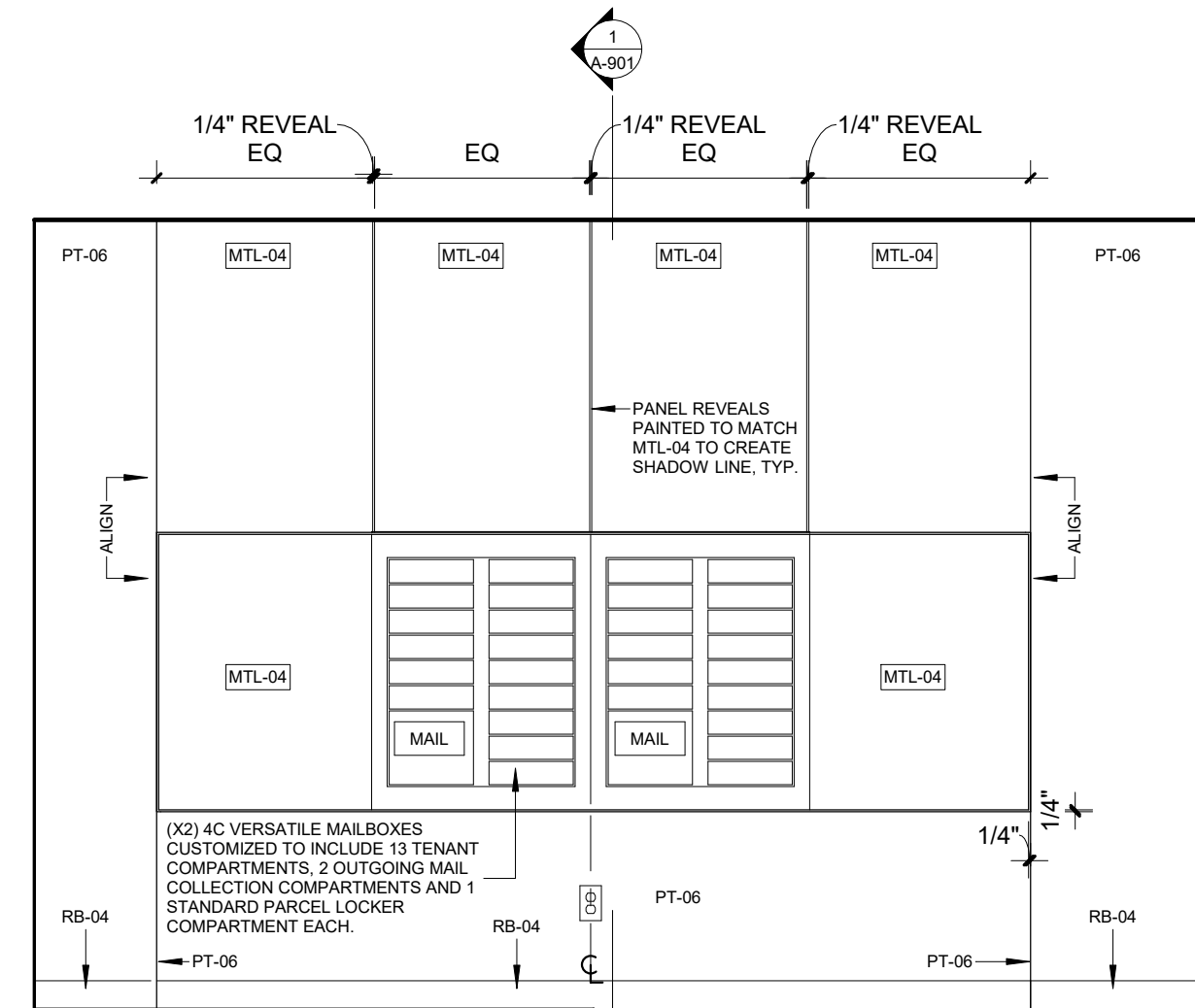
8 SEATING NOOK INTERIOR ELEVATION 01  
1/2" = 1'-0"



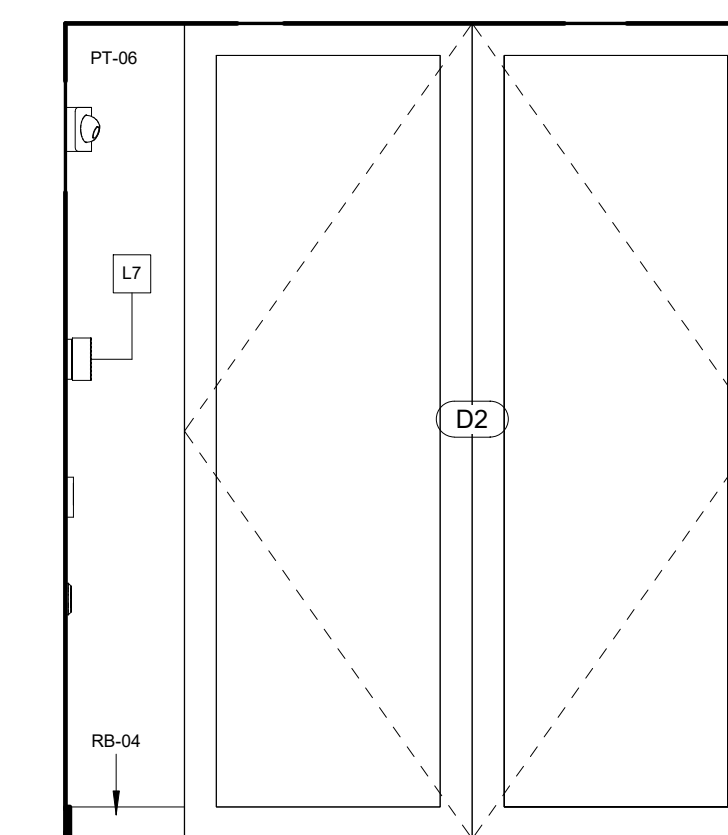
7 LOBBY INTERIOR ELEVATION 04  
1/2" = 1'-0"



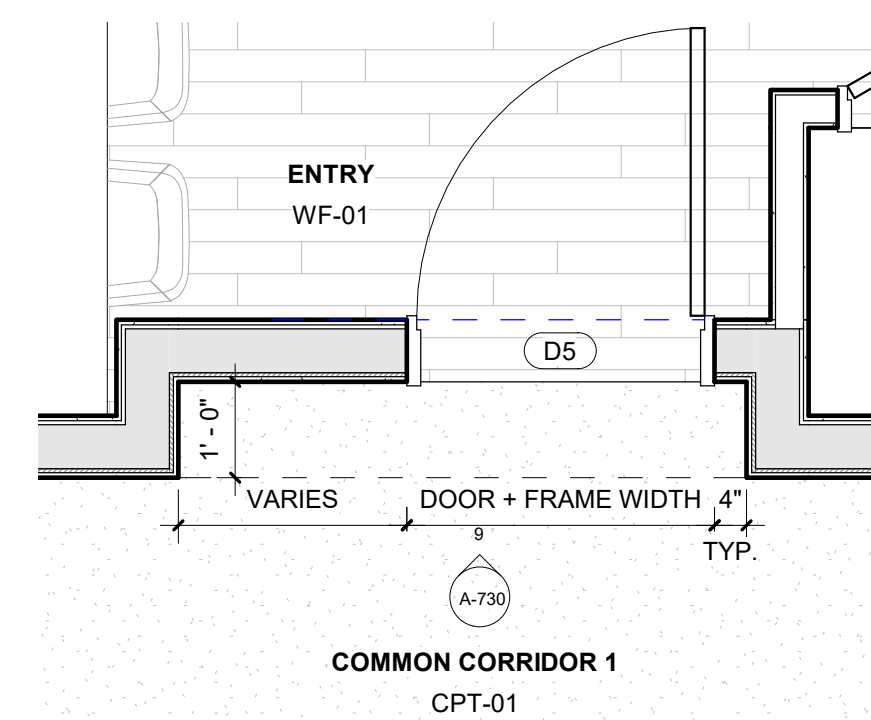
6 LOBBY INTERIOR ELEVATION 03  
1/2" = 1'-0"



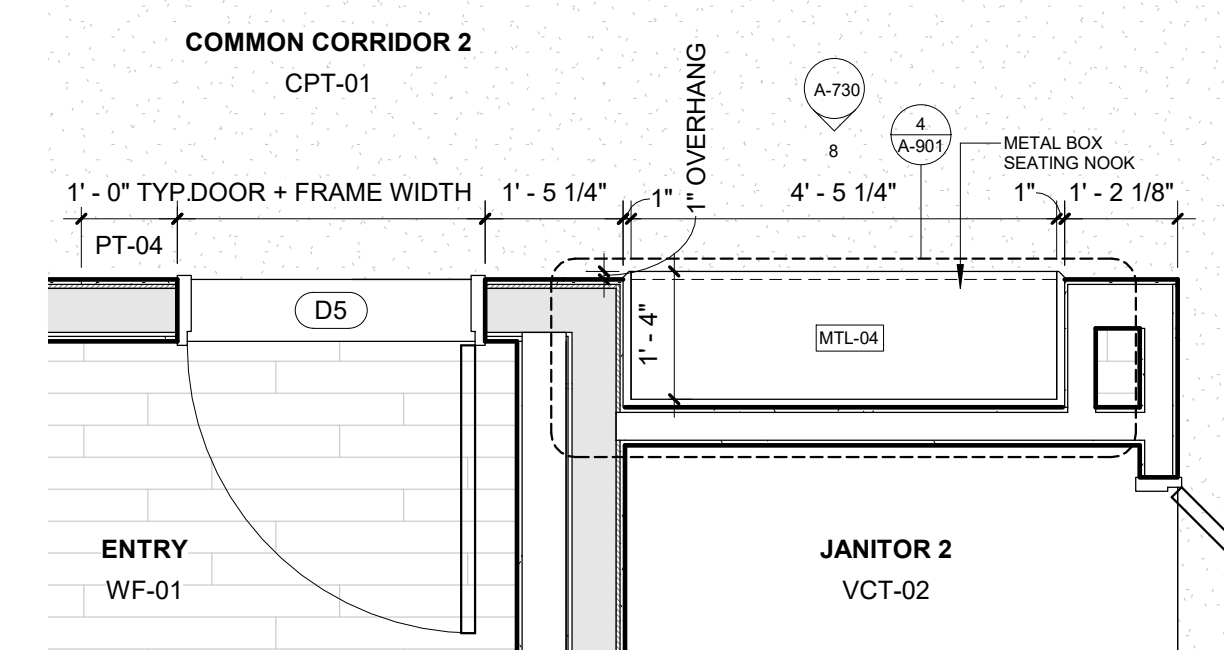
5 LOBBY INTERIOR ELEVATION 02  
1/2" = 1'-0"



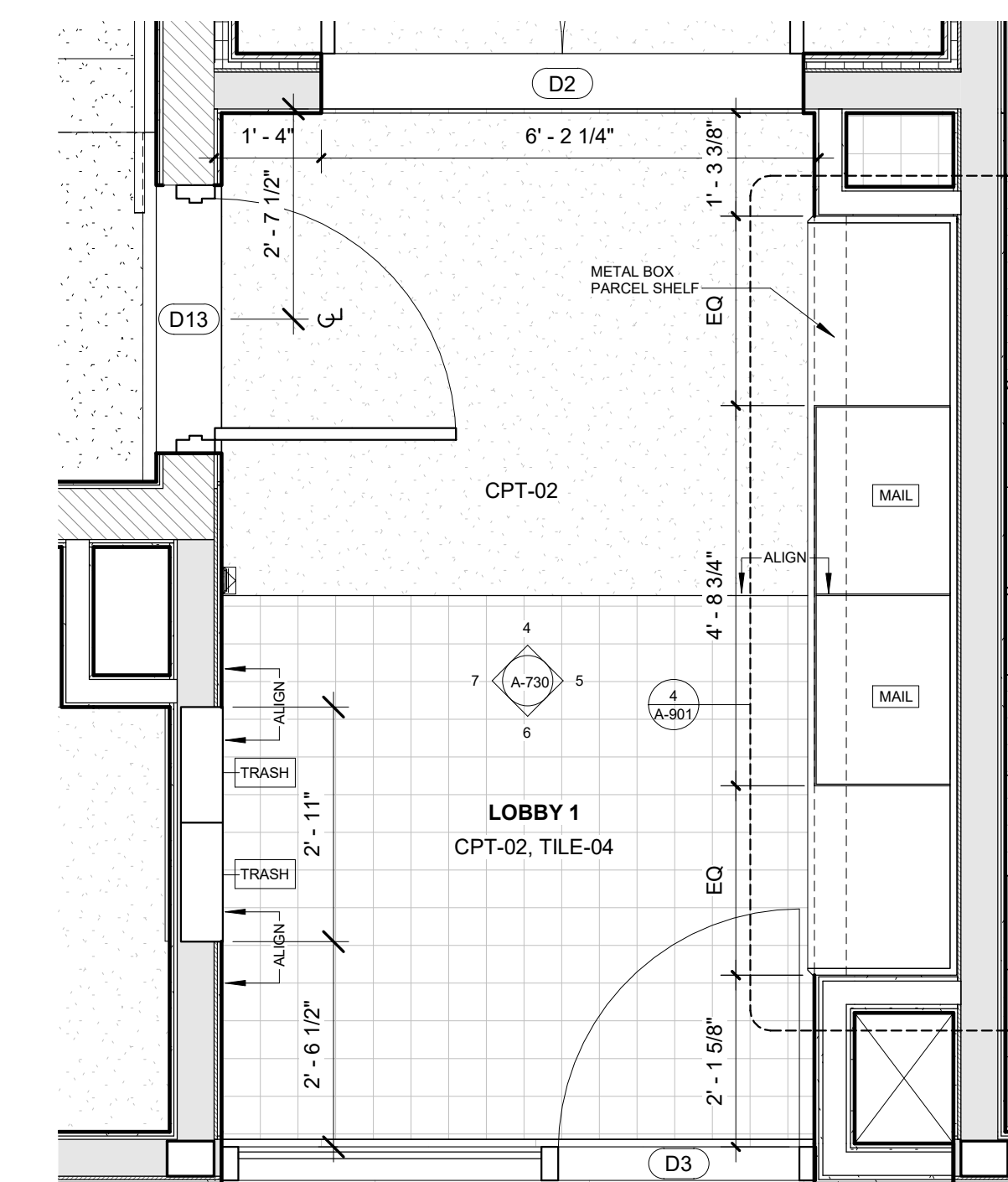
4 LOBBY INTERIOR ELEVATION 01  
1/2" = 1'-0"



3 RECESSED UNIT ENTRY, TYP. ENLARGED PLAN  
1/2" = 1'-0"



2 LOBBY 2,3 ENLARGED PLAN  
1/2" = 1'-0"



1 LOBBY ENLARGED PLAN  
1/2" = 1'-0"







REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1592 WOODWARD AVE.  
 DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617 675 0265

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49418  
 T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARRINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0045  
 F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 P.O. BOX 1166 ROYAL OAK, MI 48068  
 418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
 154 TURNPIKE ROAD, SUITE 200  
 SOUTH-BOROUGH MA, 01772

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

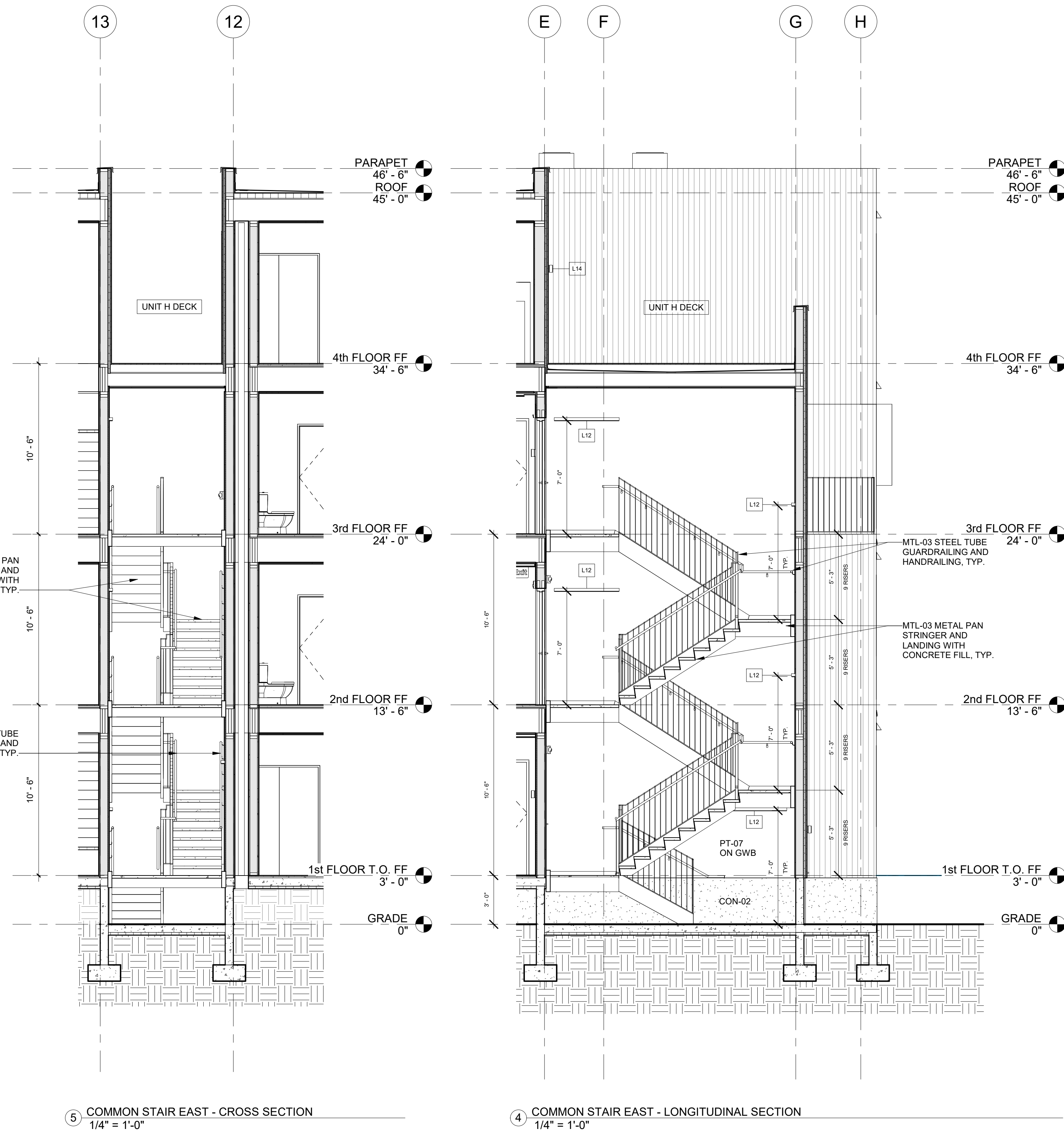
JOB NO.: 18284  
 SCALE: 1/4" = 1'-0"  
 DATE: 02/05/20

DRAWING TITLE  
**COMMON STAIR 2**

SHEET NO.

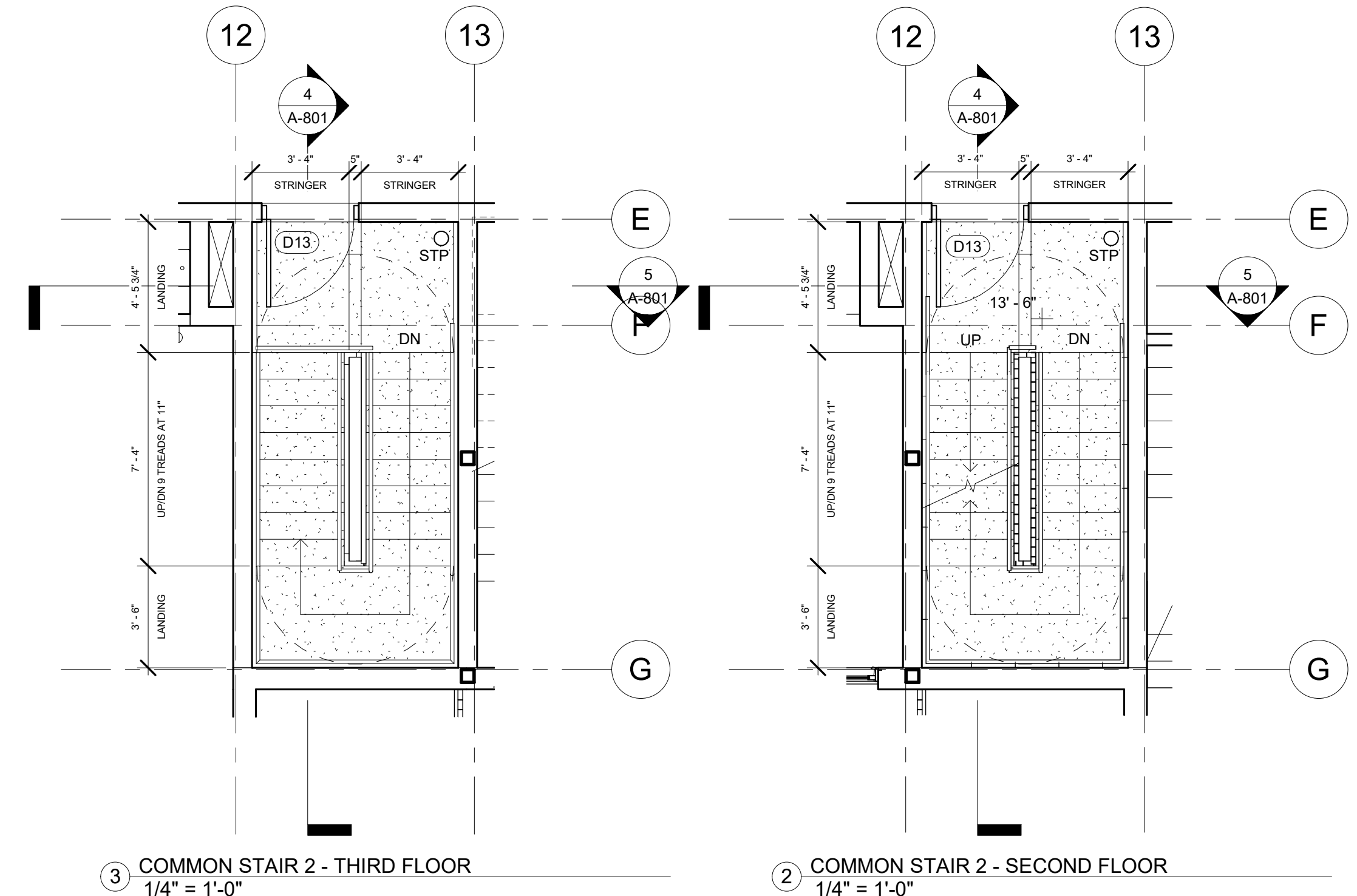
**A-801**

100% CD / PERMIT SET



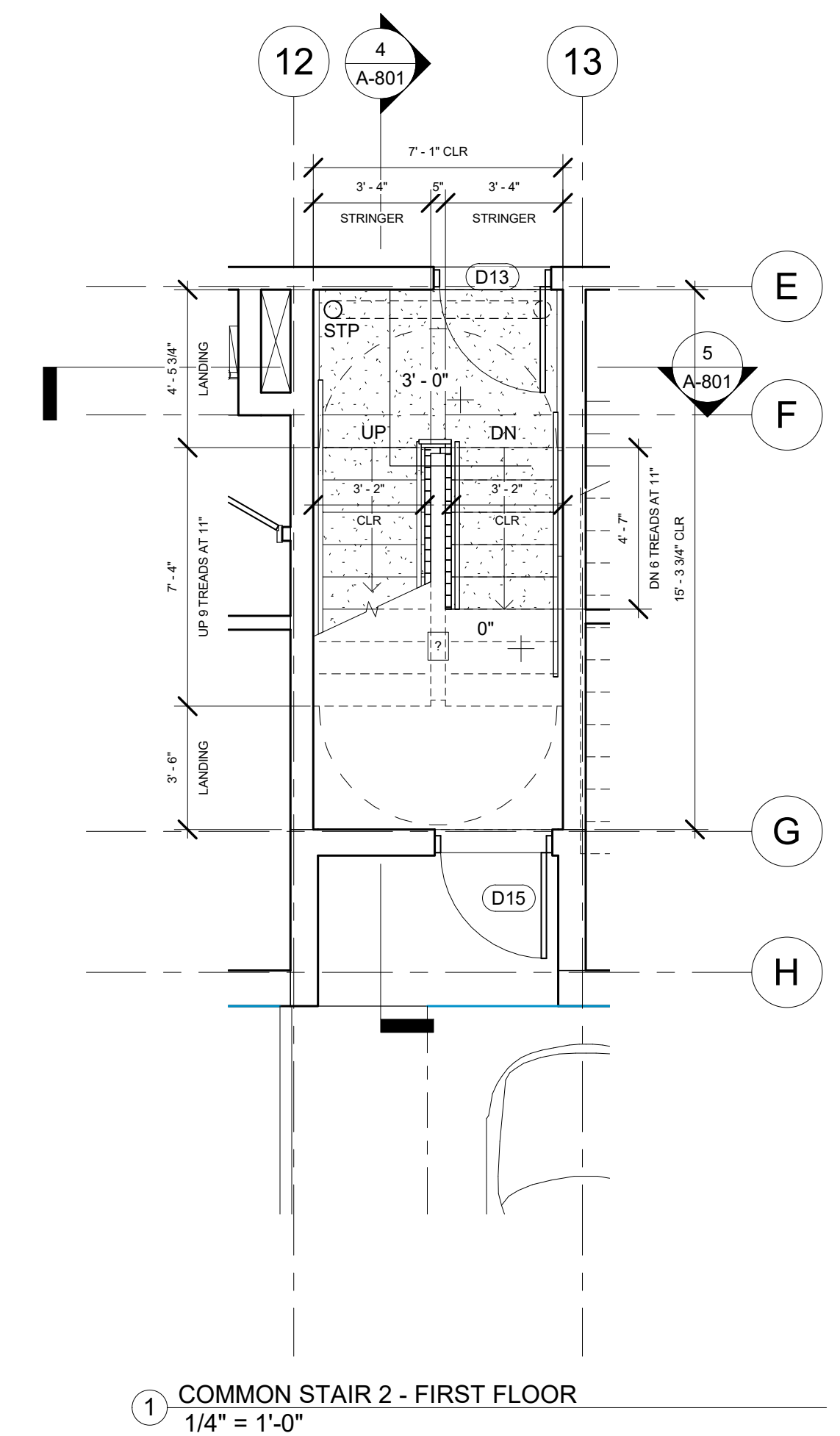
5 COMMON STAIR EAST - CROSS SECTION  
 1/4" = 1'-0"

4 COMMON STAIR EAST - LONGITUDINAL SECTION  
 1/4" = 1'-0"



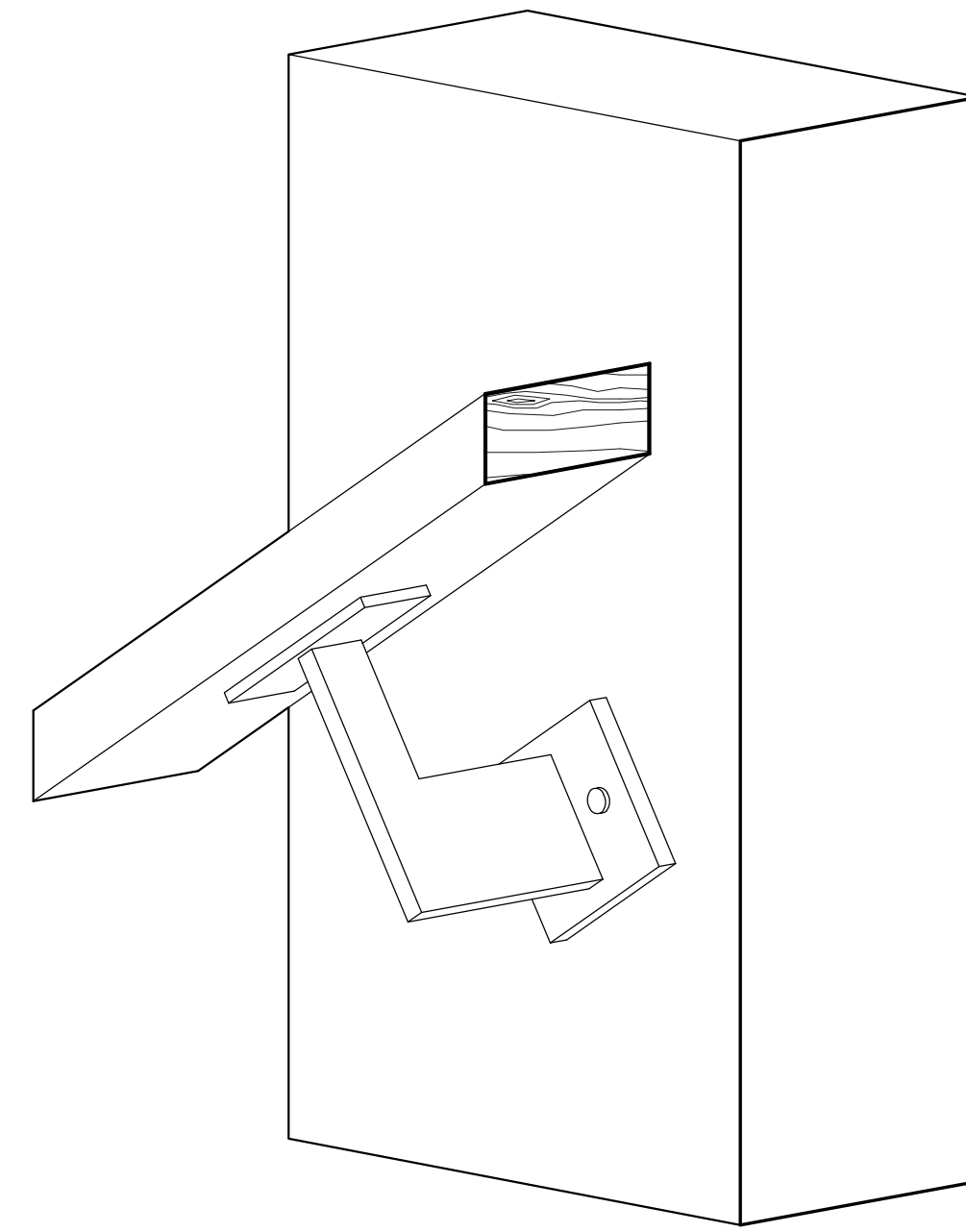
3 COMMON STAIR 2 - THIRD FLOOR  
 1/4" = 1'-0"

2 COMMON STAIR 2 - SECOND FLOOR  
 1/4" = 1'-0"

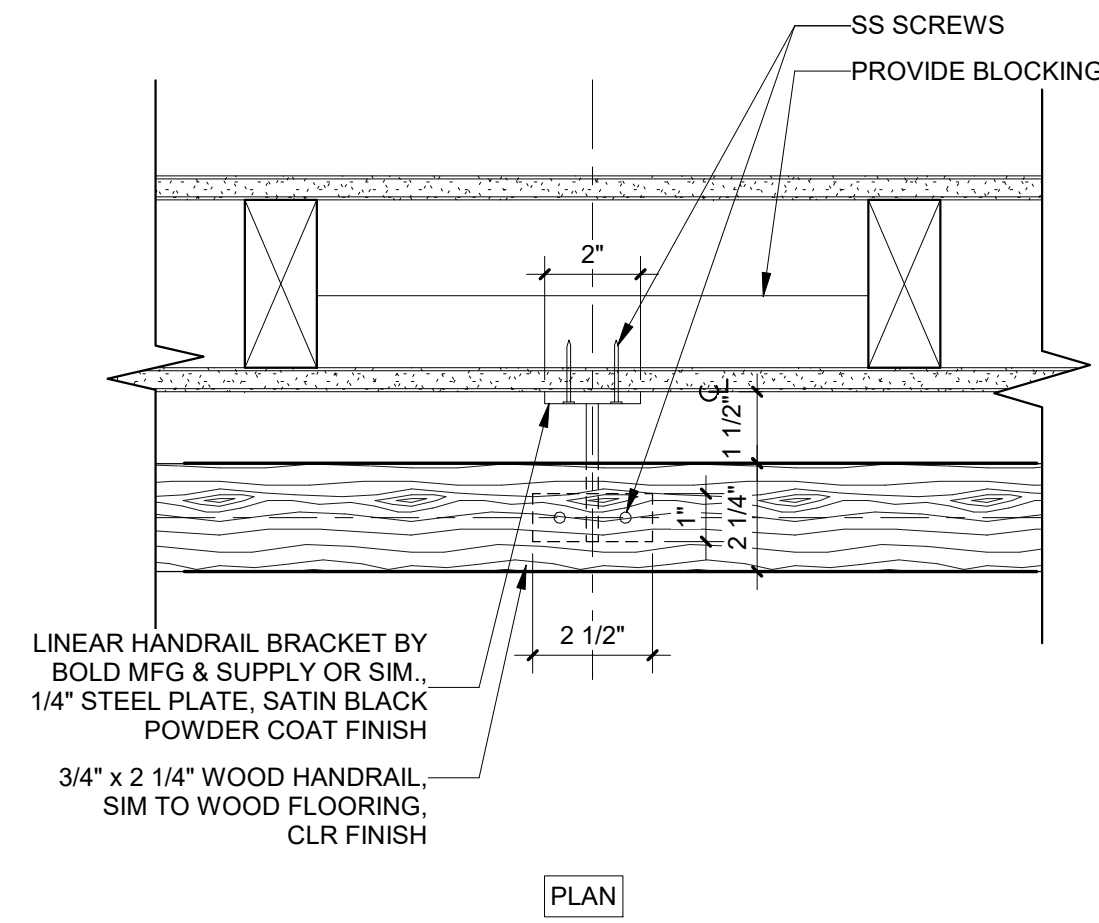


1 COMMON STAIR 2 - FIRST FLOOR  
 1/4" = 1'-0"

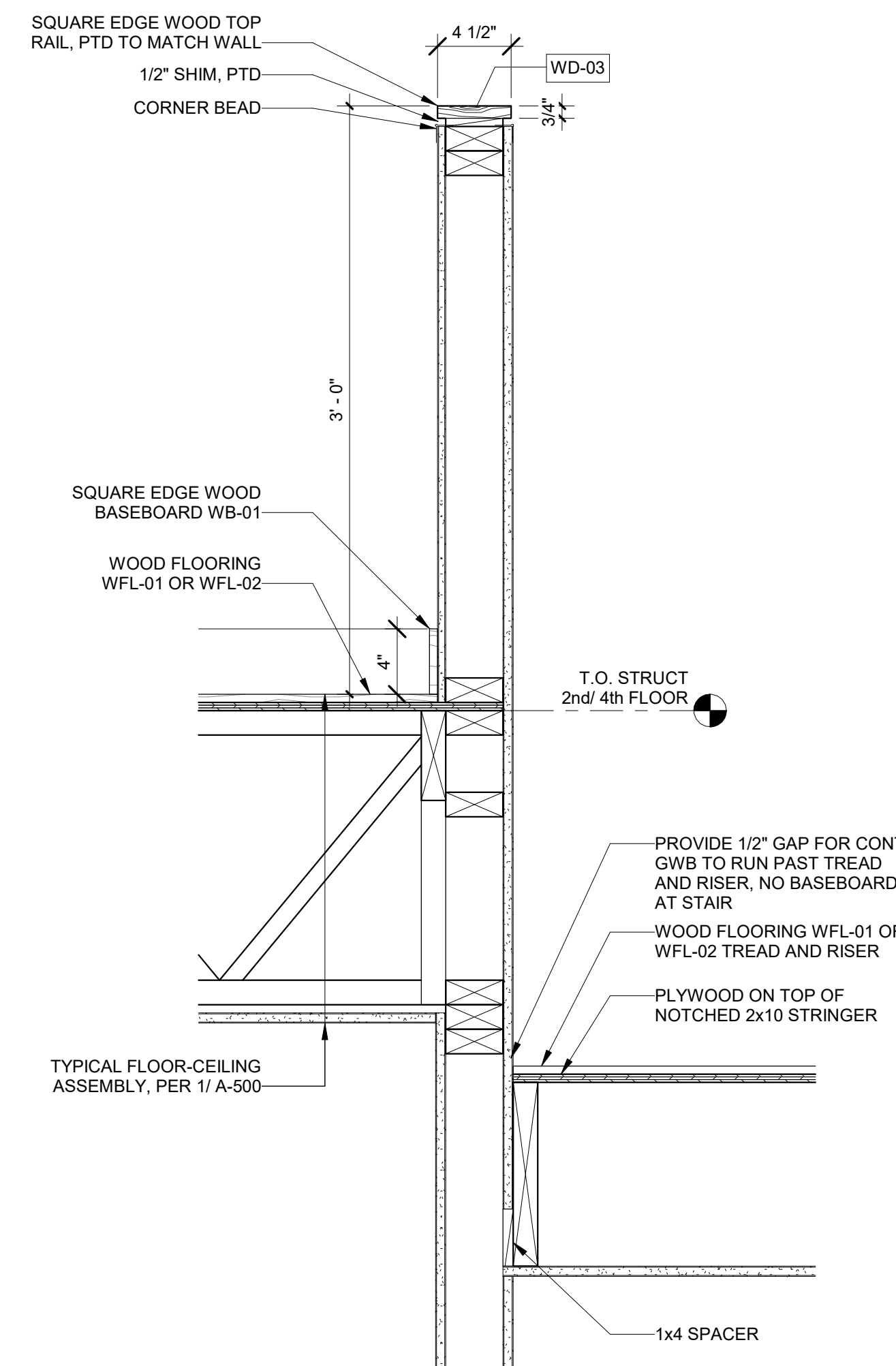
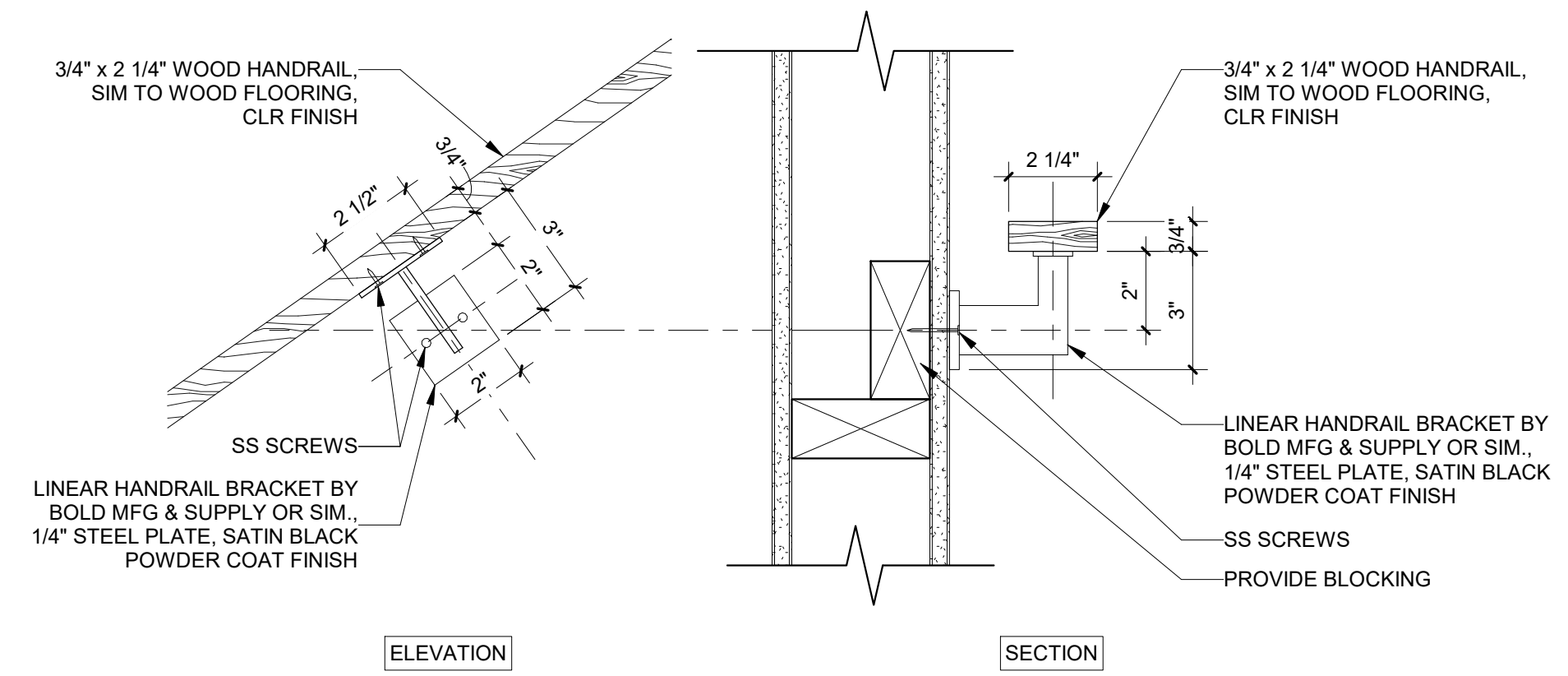




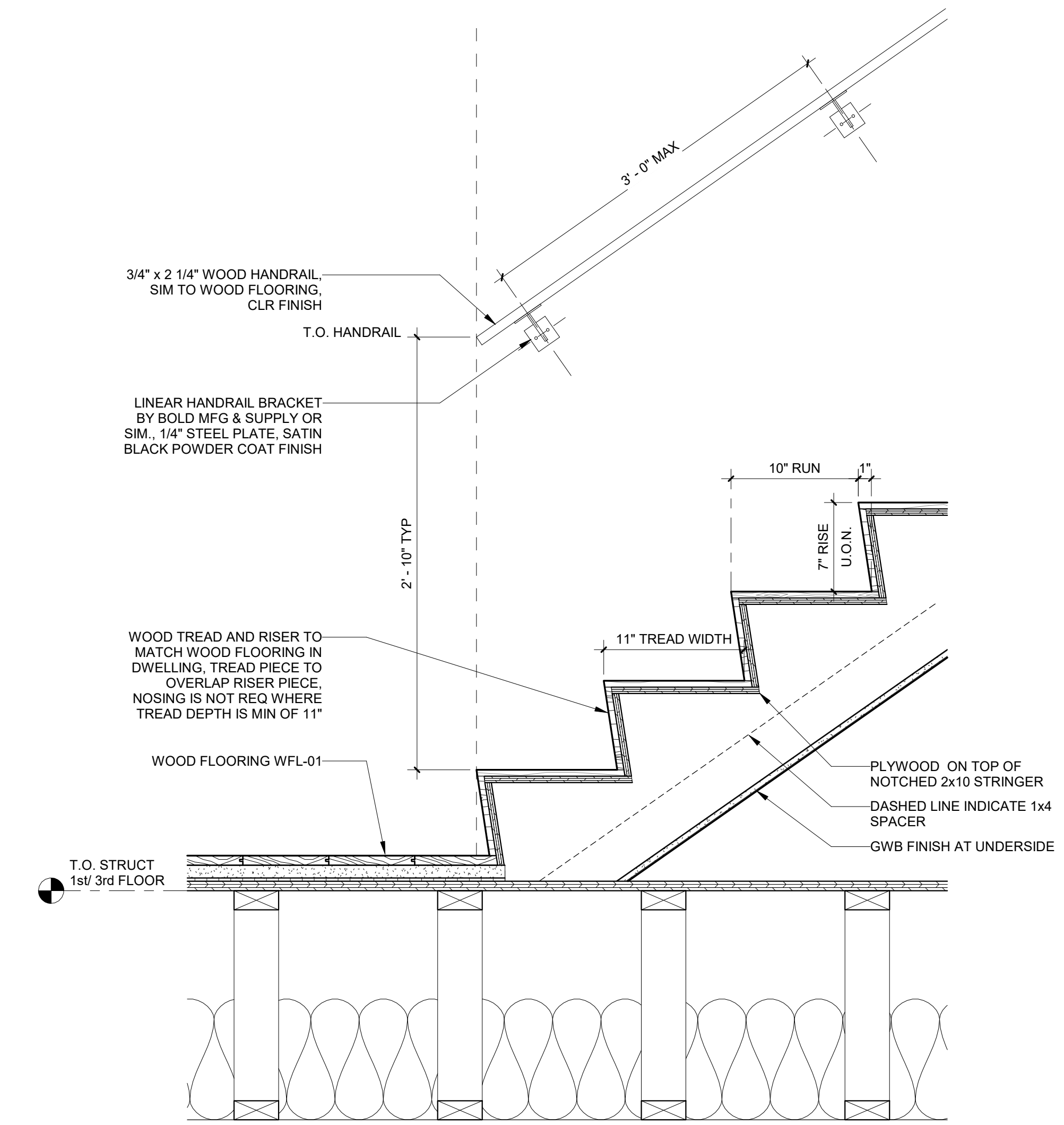
④ IN-UNIT AXON - HANDRAIL BRACKET  
6" = 1'-0"



③ IN-UNIT STAIR DETAIL - HANDRAIL BRACKET  
3" = 1'-0"



② IN-UNIT STAIR DETAIL - KNEE WALL  
1 1/2" = 1'-0"



① IN-UNIT STAIR DETAIL - TREAD AND RISER TYP.  
1 1/2" = 1'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0052

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 02/07/20

DRAWING TITLE

STAIR DETAILS

SHEET NO.

**A-900**

100% CD/ PERMIT SET



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-675-0260

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARRINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0552

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20; 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: 1 1/2" = 1'-0"

DATE: 05/15/20

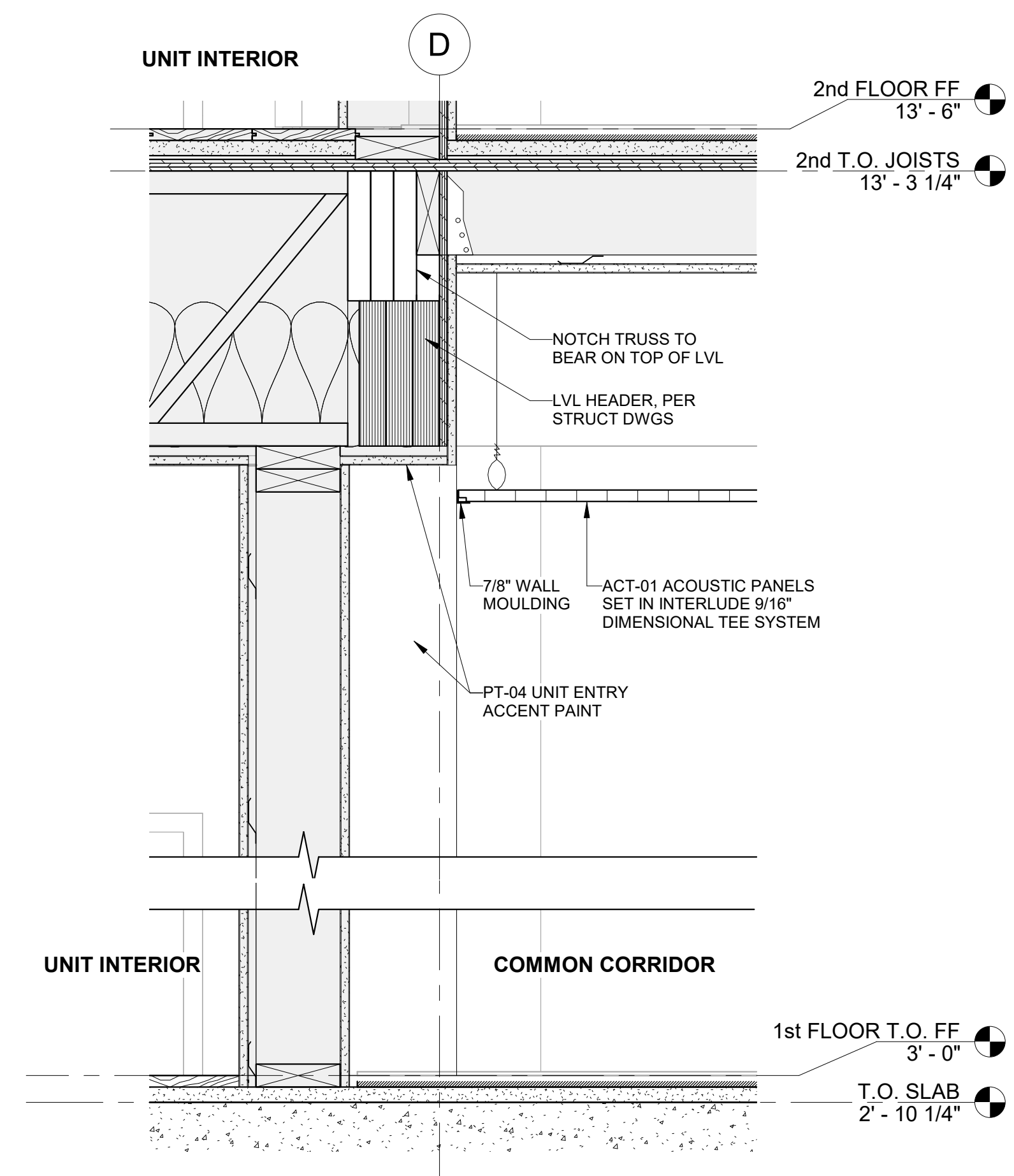
DRAWING TITLE

INTERIOR DETAILS

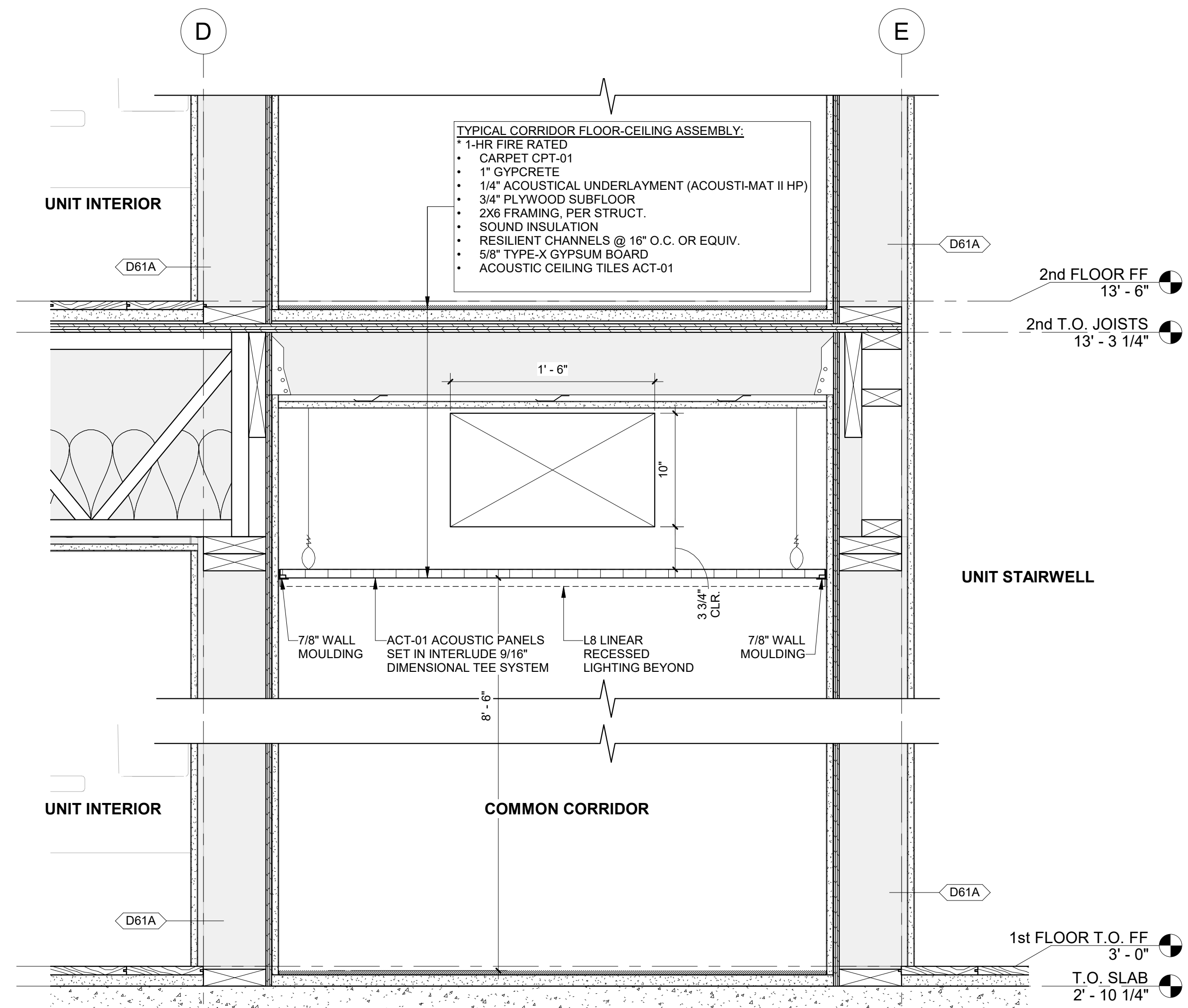
SHEET NO.

**A-901**

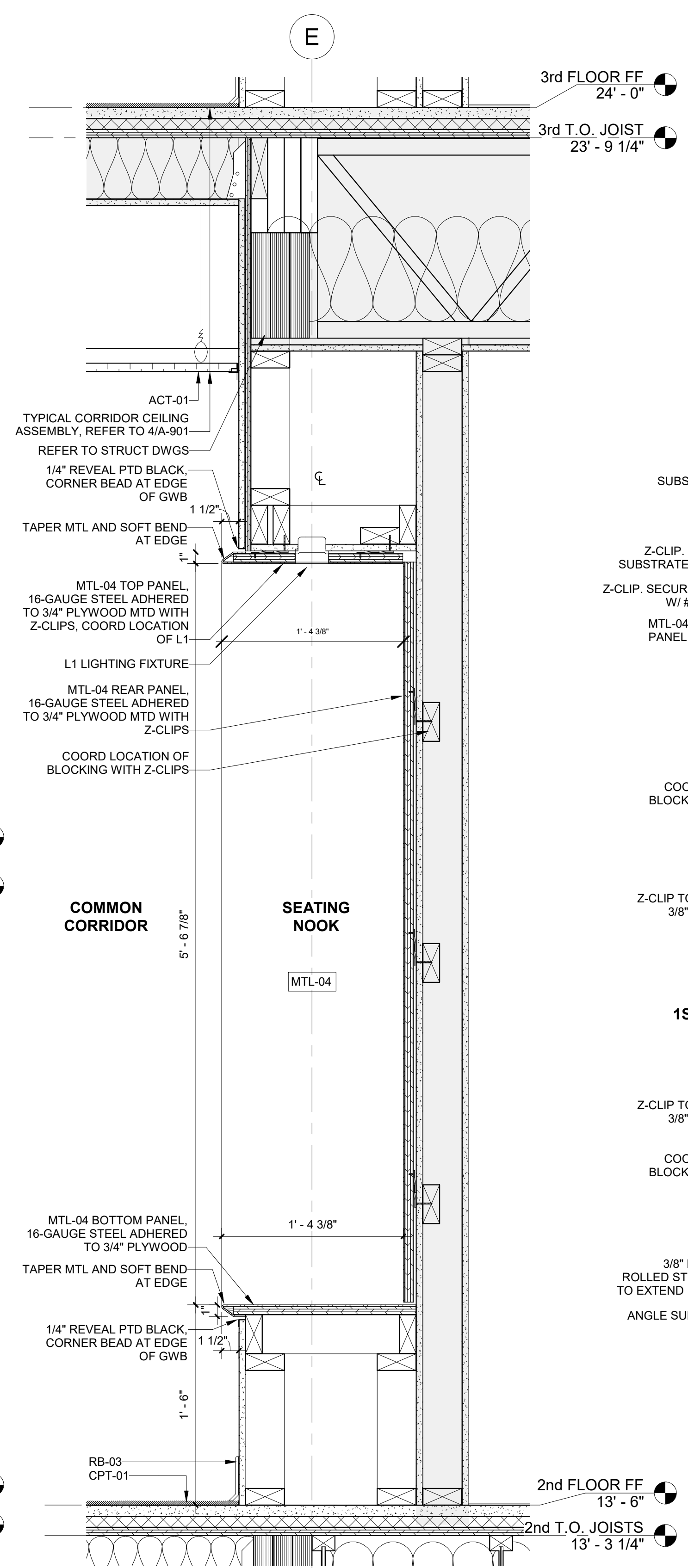
100% CD/ PERMIT SET



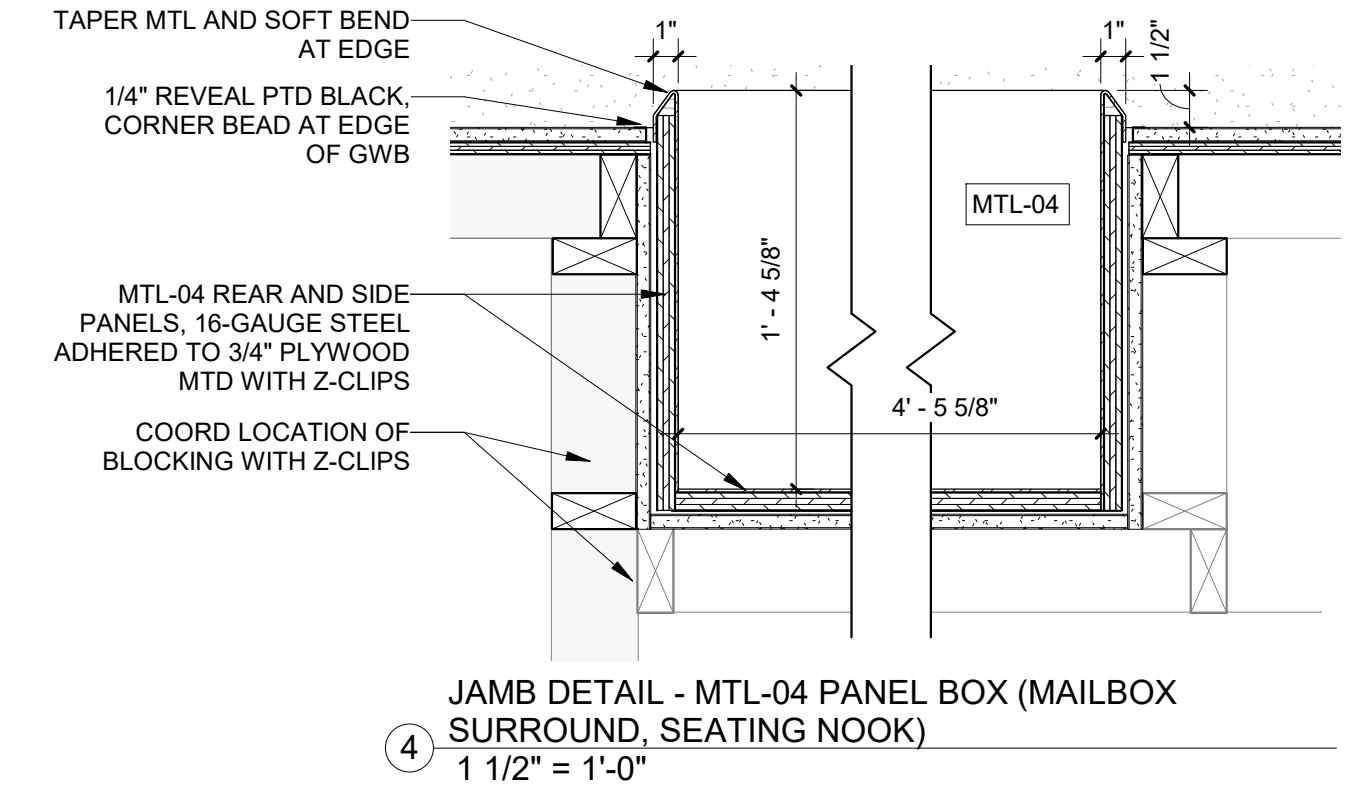
5 INTERIOR SECTION DETAIL - CORRIDOR FRAMING  
1 1/2" = 1'-0"



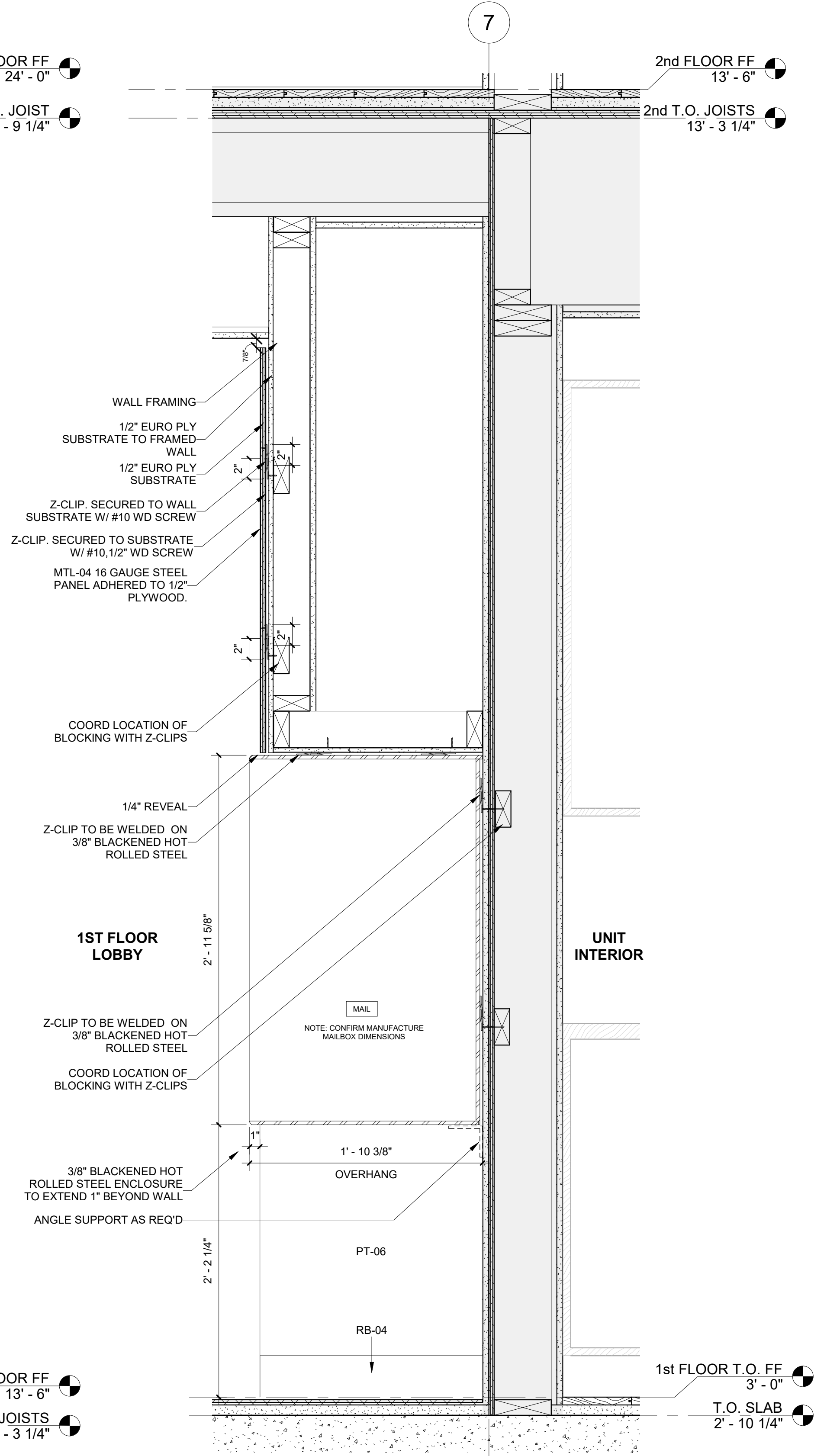
3 INTERIOR SECTION DETAIL - CORRIDOR FRAMING  
1 1/2" = 1'-0"



2 INTERIOR DETAIL SECTION - SEATING NOOK  
1 1/2" = 1'-0"

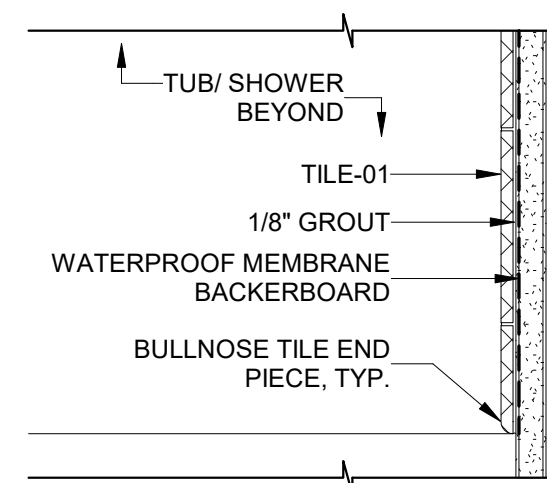


4 JAMB DETAIL - MTL-04 PANEL BOX (MAILBOX SURROUND, SEATING NOOK)  
1 1/2" = 1'-0"

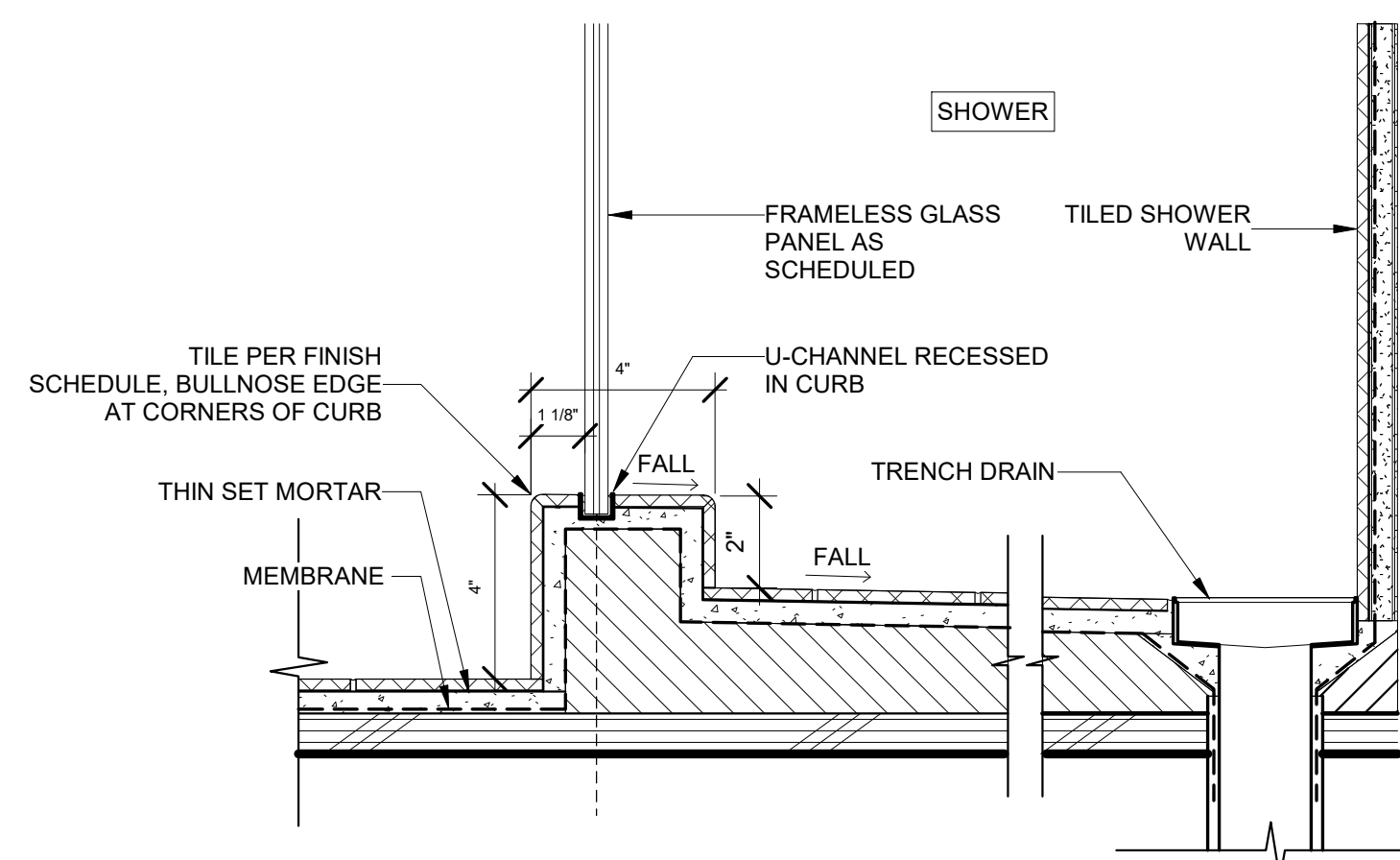


1 INTERIOR DETAIL - SECTION THROUGH MAILBOXES  
1 1/2" = 1'-0"

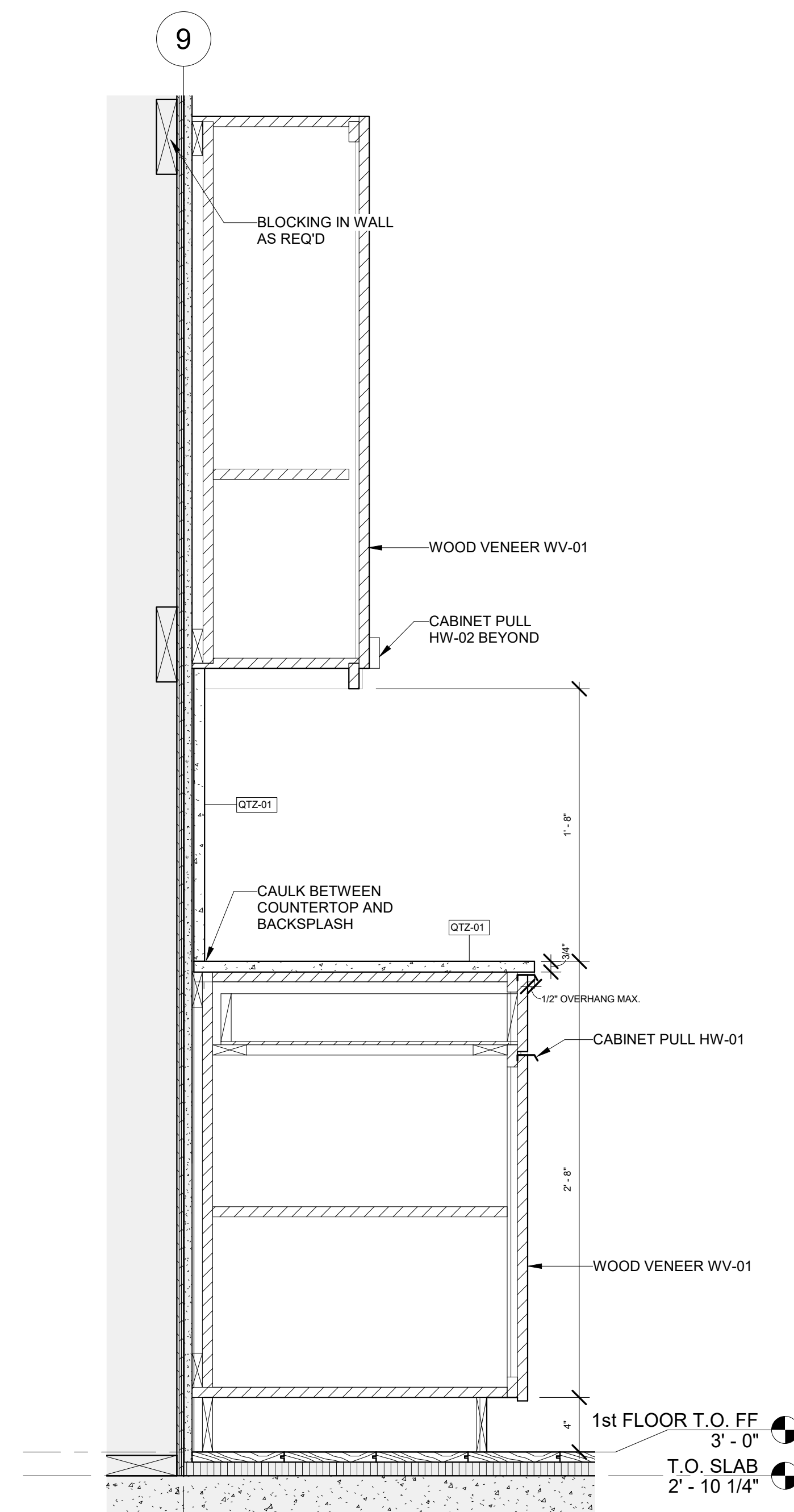




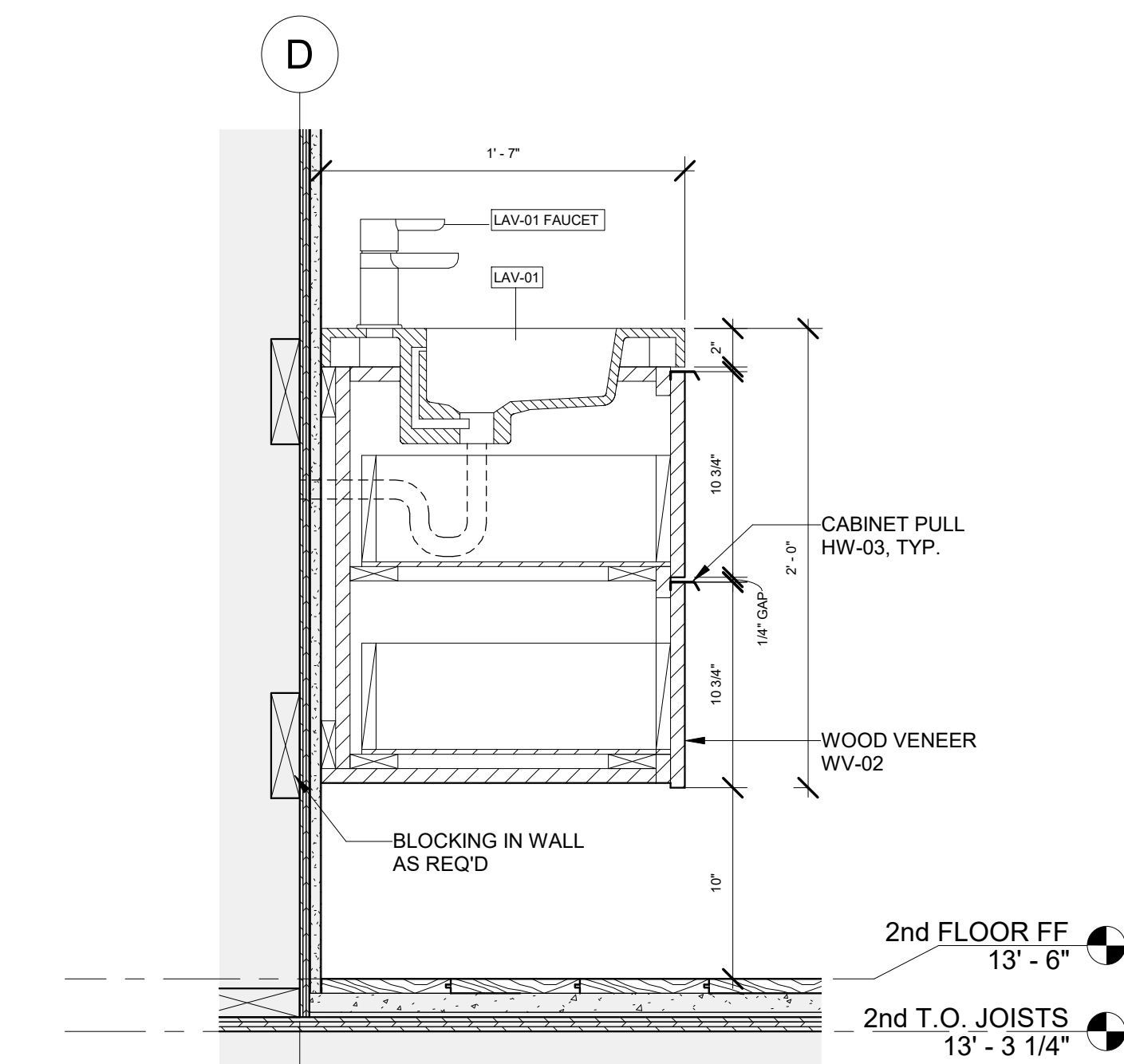
4 PLAN DETAIL - SHOWER TILE TERMINATION  
3" = 1'-0"



3 SECTION DETAIL - SHOWER CURB  
3" = 1'-0"



2 INTERIOR DETAIL - KITCHEN CABINETRY  
1 1/2" = 1'-0"



1 INTERIOR SECTION DETAIL - BATHROOM VANITY  
1 1/2" = 1'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1392 WOODWARD AVE.  
DETROIT, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617 675 0269

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC.  
632 BARRY STREET SW  
GRANDVILLE, MI 49418  
T: 616-667-3650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD, LYONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0052

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
418-12 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

CODE CONSULTANT

CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA, 01772

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/20: 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: As indicated

DATE: 02/06/20

DRAWING TITLE

INTERIOR DETAILS

SHEET NO.

**A-902**

100% CD/ PERMIT SET



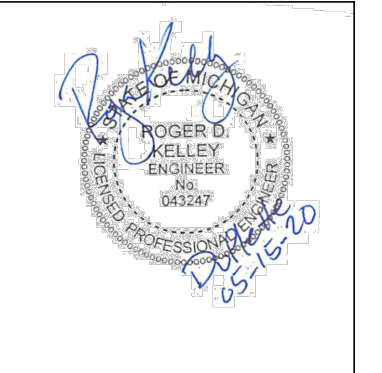
PROPERTIES OF SOILS CLASSIFIED ACCORDING THE THE UNIFIED SOIL CLASSIFICATION SYSTEM	
GW	WELL GRADED GRAVELS, GRAVELSAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND MIXTURES, LITTLE OR NO FINES
SW	WELL GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES

FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F4.0	4'-0" x 4'-0" x 10"	(5) #4 EACH WAY

GENERAL FOUNDATION NOTES -

1. TYPICAL SLAB ON GRADE TO BE 4" CONCRETE SLAB WITH ONE LAYER 6x6 W2.1 x W2.1 WWM ON COMPACTED GRANULAR FILL. PROVIDE CONTRACTION / CONSTRUCTION JOINTS @ 10'-0" O.C. MAXIMUM. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL NOTES / REQUIREMENTS. ALSO REFER TO 1,2,3F-201.
2. FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING CAPACITY OF 3000 PSF. THIS SHALL BE VERIFIED WITH A GEOTECHNICAL REPORT PREPARED BY A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF MICHIGAN.
3. IF SITE SOILS ARE CLAY NOTIFY ENGINEERED STRUCTURES, LLC. FOUNDATIONS MAY REQUIRE REVISION.
4. DO NOT BACKFILL WALLS UNTIL LOWER LEVEL SLAB AND MAIN FLOOR JOISTS AND SHEATHING ARE INSTALLED. CLAY IS NOT AN ACCEPTABLE BACKFILL MATERIAL. ALL BACKFILL IS TO BE FREE DRAINING GRANULAR MATERIAL GW, GP, SW OR SP PER THE SOIL CLASSIFICATION CHART.
5. 6. U.N.O. - UNLESS NOTED OTHERWISE.
7. BFF - BELOW FINISH FLOOR.
8. PORCH SLAB ADJACENT TO BUILDING WILL BE PLACED ONTO DISTURBED FILL. THIS HAS THE POTENTIAL TO SETTLE OVER TIME AS THE FILL COMPACTS. ADD 2" LEDGE ALONG WALL FOR SLAB SUPPORT AT THE DISCRETION OF THE BUILDER.

REGISTRATION



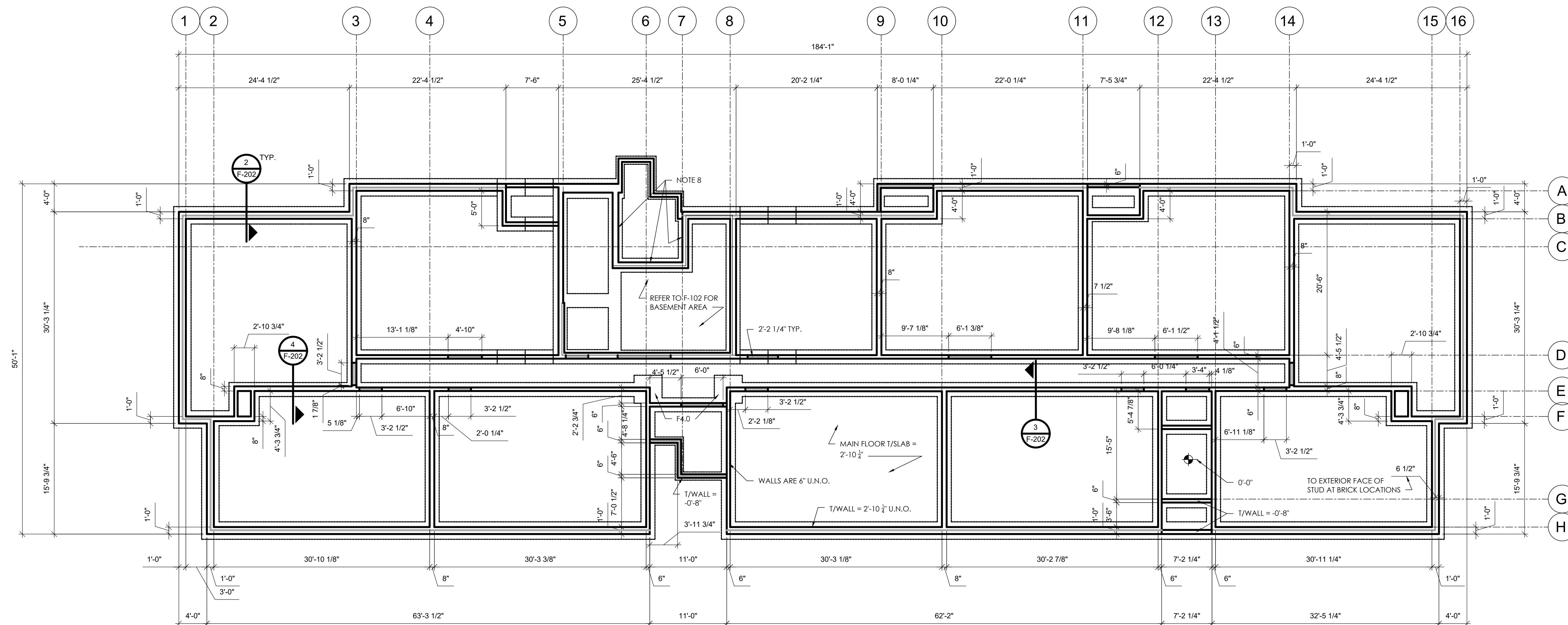
**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1, LLC  
1092 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
316 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0262

**STRUCTURAL ENGINEER**



ENGINEERED STRUCTURES, LLC  
T: 616.857.9620  
es2@comcast.net



MERGE ARCHITECTS INC

**Brush Park DuPlette**  
One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:  
SCALE: 1/8" = 1'-0"  
DATE: 05/15/20

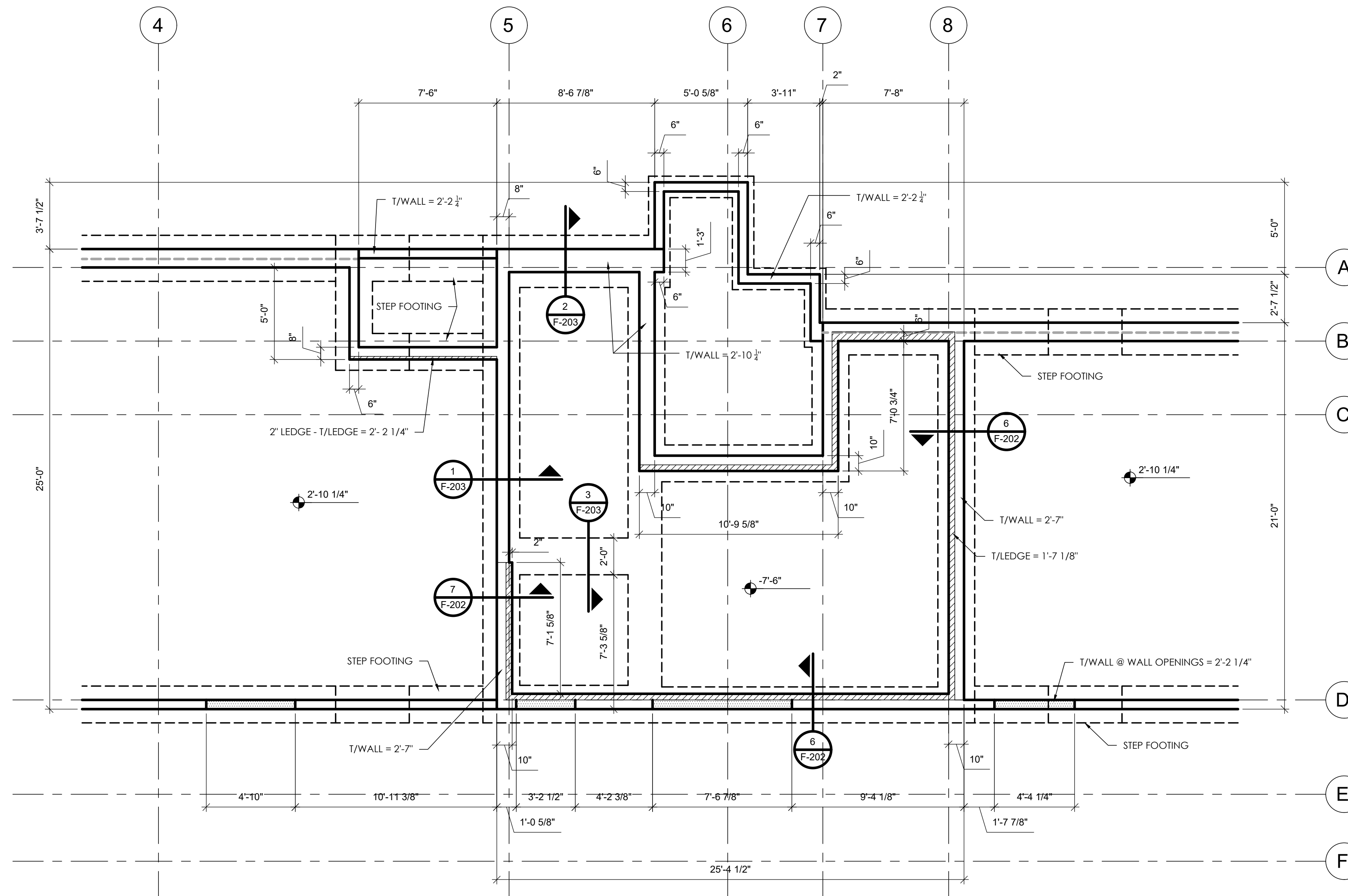
DRAWING TITLE  
**FOUNDATION PLAN**

SHEET NO.

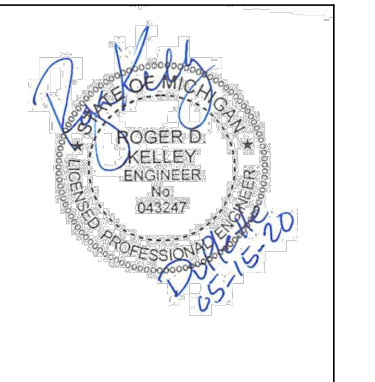
**F-101**

100% CD / PERMIT SET





REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1, LLC  
 1092 Woodward Ave.  
 Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617.870.0265

STRUCTURAL ENGINEER



ENGINEERED STRUCTURES, LLC  
 T: 616.887.9620  
 es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park DuPlette**

One Edmund Place, between Brust St.  
 and John R. St.  
 Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:

SCALE: 1/4" = 1'-0"

DATE: 05/15/20

DRAWING TITLE

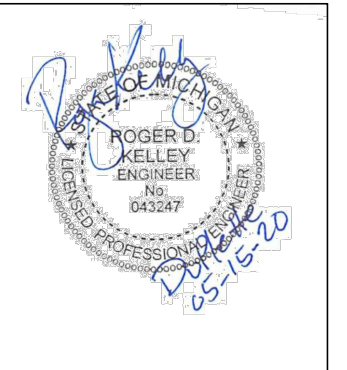
**BASEMENT FOUNDATION PLAN**

SHEET NO.

**F-102**

100% CD / PERMIT SET



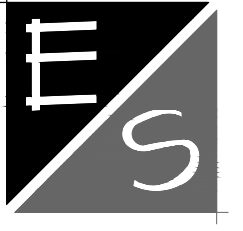


**OWNER**  
LAFAYETTE PARK LANDOWNERS LLC.

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0265

**STRUCTURAL ENGINEER**



ENGINEERED STRUCTURES, LLC  
T: 616.887.9820  
es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park Duplette**  
One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

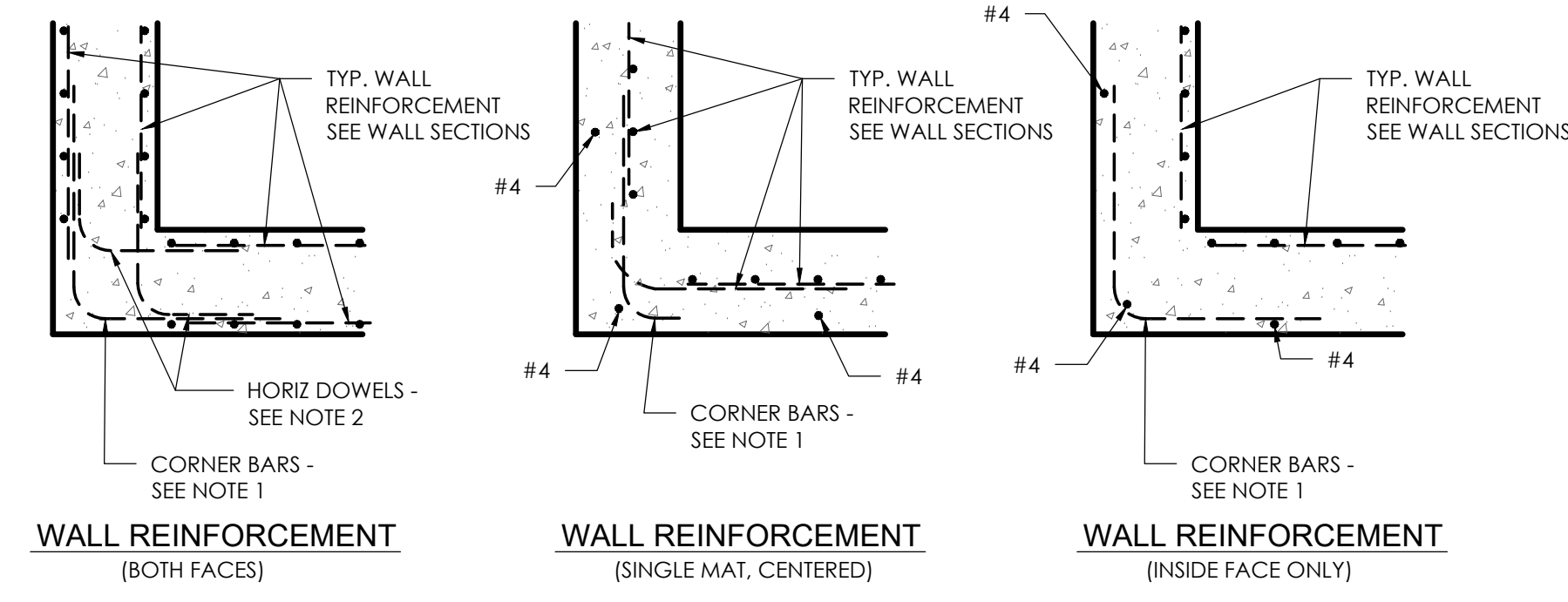
JOB NO.:  
SCALE: **3/4" = 1'-0"**  
DATE: **05/15/20**

DRAWING TITLE  
**FOUNDATION DETAILS**

SHEET NO.

**F-201**

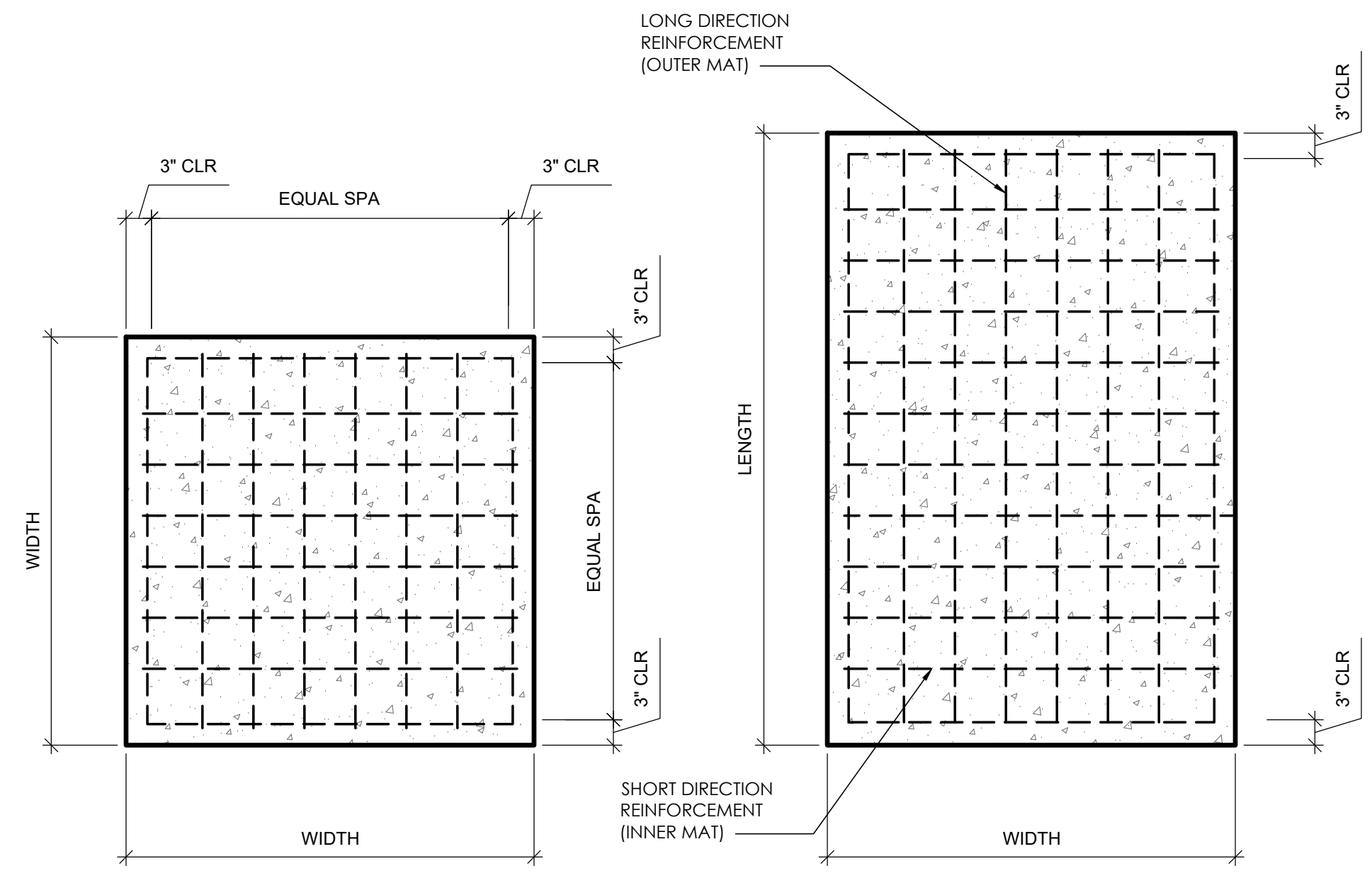
100% CD / PERMIT SET



**PLAN VIEWS**

- NOTES:
1. PROVIDE CORNER BARS AS SHOWN. MATCH HORIZONTAL WALL REINFORCEMENT SIZE AND SPACING.
  2. PROVIDE HORIZONTAL DOWELS AS SHOWN. OR STANDARD 90 DEGREE END HOOK ON HORIZONTAL BARS.
  3. PROVIDE LAP SPLICES PER LAP SPICE TABLE.
  4. SEE APPLICABLE SECTIONS FOR REINFORCING STEEL CLEARANCES.
  5. TERMINATE HORIZONTAL WALL REINFORCEMENT 2" CLEAR FROM END OF WALL.
  6. GRADE BEAMS: PROVIDE CORNER BARS FOR LONGITUDINAL REINFORCEMENT AT GRADE BEAM CORNERS WITHOUT A SUPPORTING CONCRETE PIER, AS SHOWN IN "WALL REINFORCEMENT - BOTH FACES".

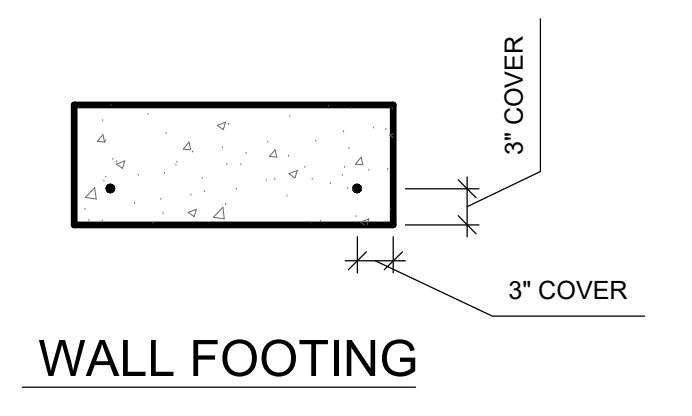
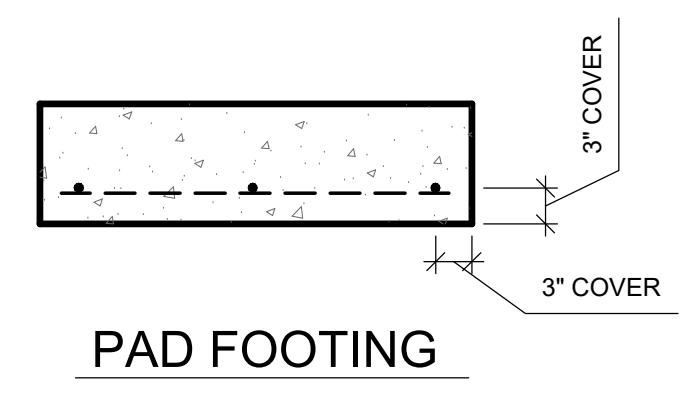
**9 TYPICAL CONCRETE WALL AND GRADE BEAM CORNERS**  
F-201 SCALE: 3/4"=1'-0"



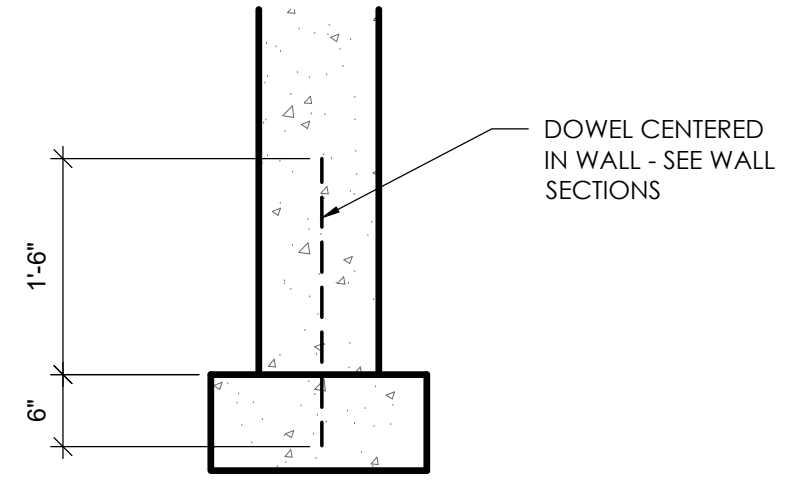
**SQUARE COLUMN FOOTING**      **RECTANGULAR COLUMN FOOTING**

- FOOTING SCHEDULE NOTES:
1. THE GEOTECHNICAL TESTING FIRM SHALL VERIFY THAT THE SOIL BEARING CAPACITY IS ACCEPTABLE AT EACH COLUMN FOOTING AND AT 8'-0" INTERVALS ALONG WALL FOOTINGS AT THE INDICATED BEARING ELEVATIONS.
  2. CENTER COLUMN AND WALL FOOTINGS UNDER THE COLUMN OR WALL ABOVE UNLESS OTHERWISE INDICATED.
  3. PLACE FOOTINGS IN WOOD FORMS UNLESS OTHERWISE APPROVED BY THE ENGINEER.
  4. SEE CONCRETE SCHEDULE AND GENERAL NOTES PERTAINING TO FOUNDATIONS, CONCRETE AND REINFORCING STEEL FOR INFORMATION RELATED TO FOUNDATION CONSTRUCTION.

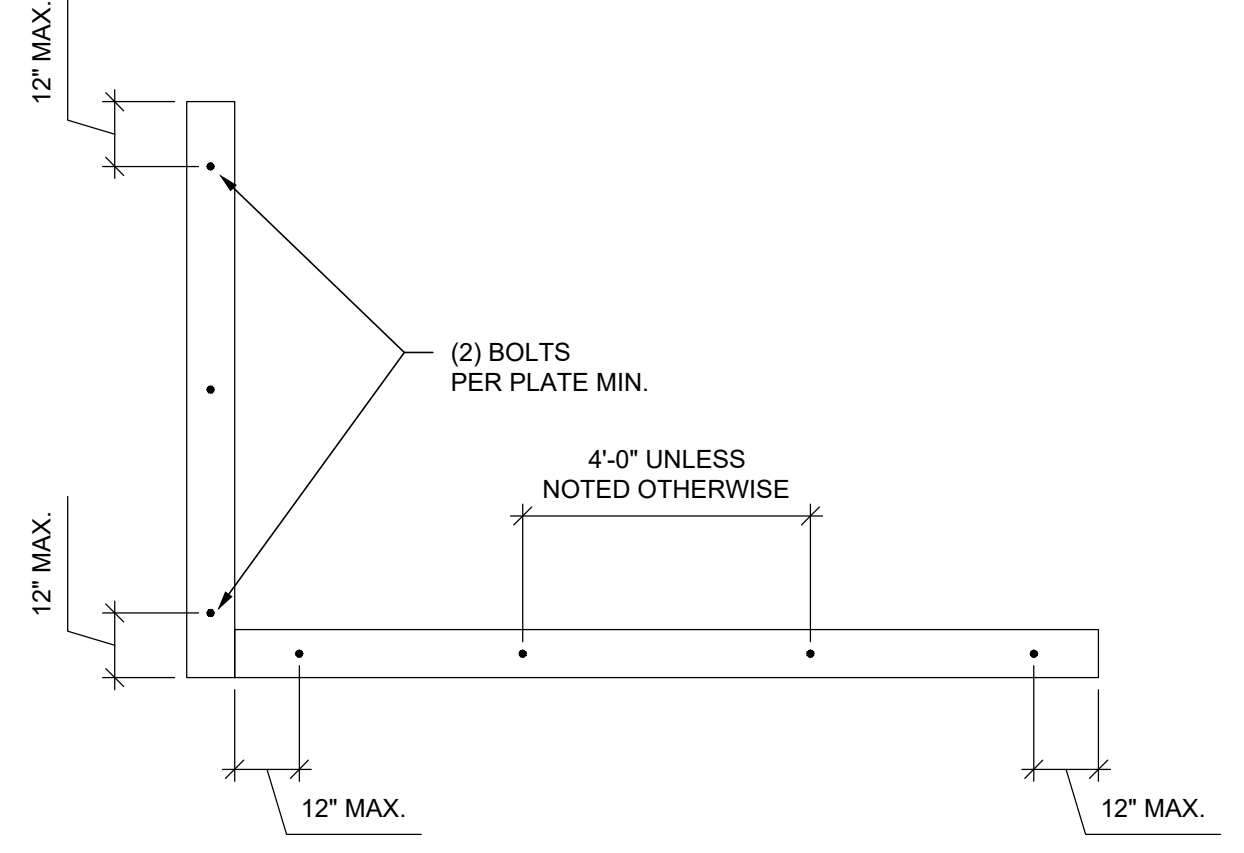
**8 FOOTING SCHEDULE**  
F-201 SCALE: 3/4"=1'-0"



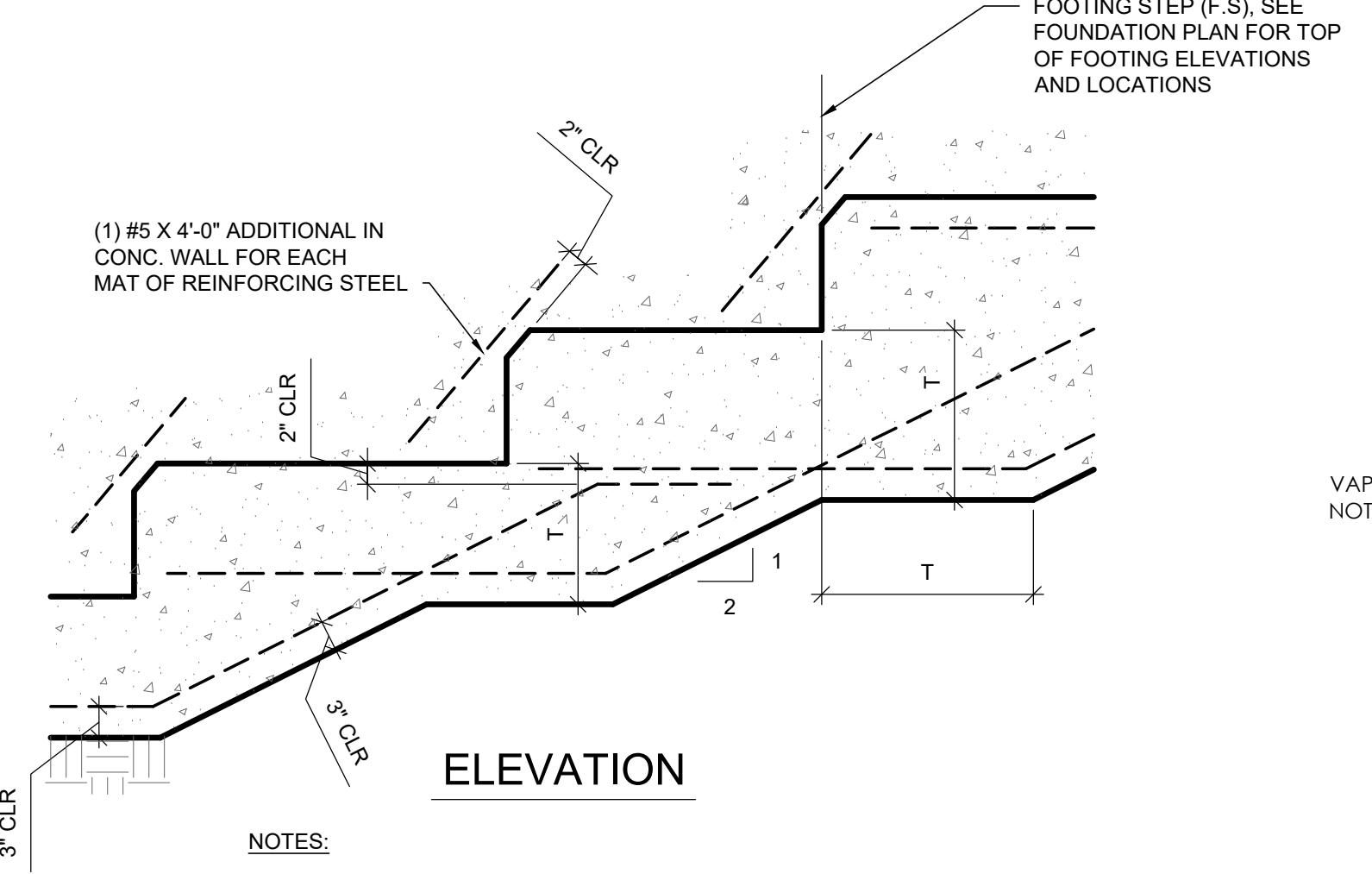
**7 TYP. FOOTING REBAR LOCATION**  
F-201 SCALE: 3/4"=1'-0"



**6 TYP. WALL DOWEL INSTALLATION**  
F-201 SCALE: 3/4"=1'-0"

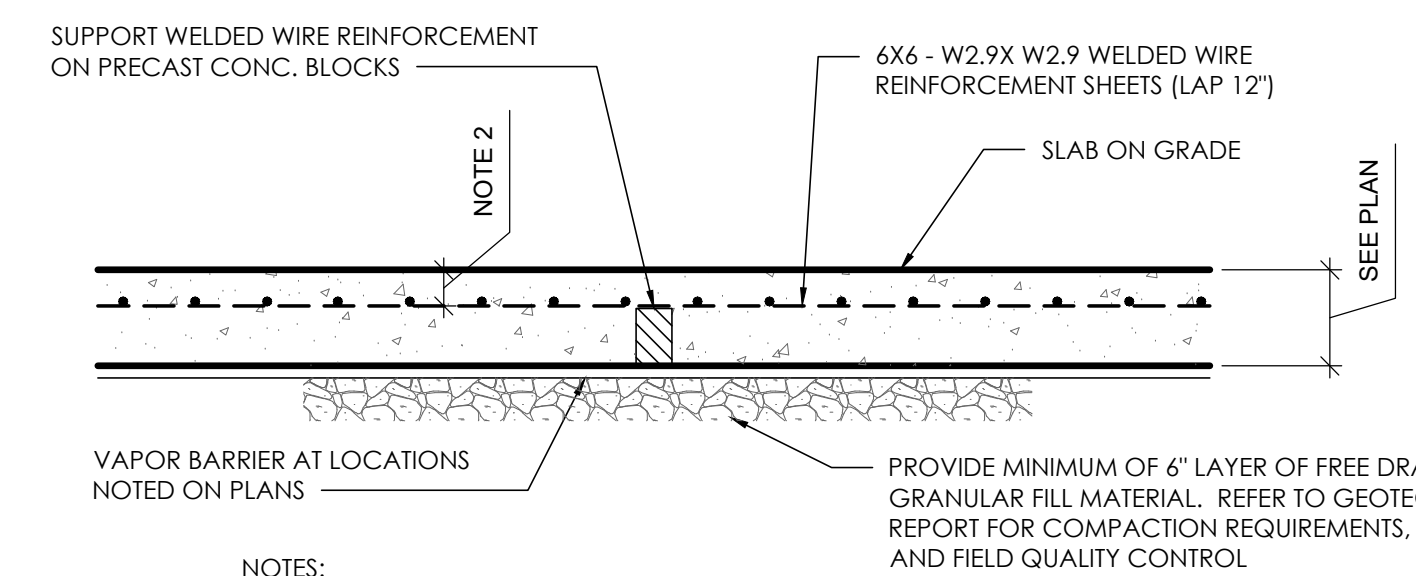


**5 SILL PLATE ANCHORAGE**  
F-201 SCALE: 3/4"=1'-0"



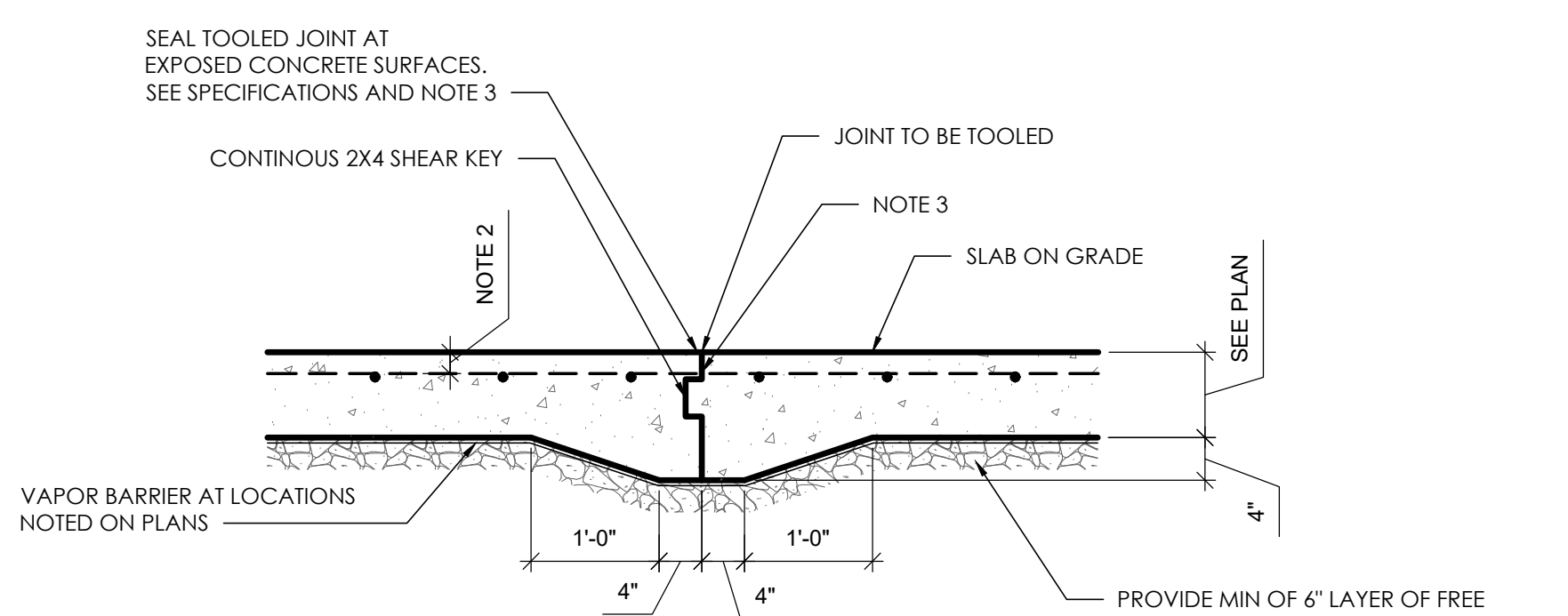
- NOTES:
1. SEE FOUNDATIONS SECTION OF THE GENERAL NOTES FOR PREPARATION REQUIREMENTS FOR EARTH BEARING MATERIALS.

**4 TYPICAL STEP FOOTING**  
F-201 SCALE: 3/4"=1'-0"



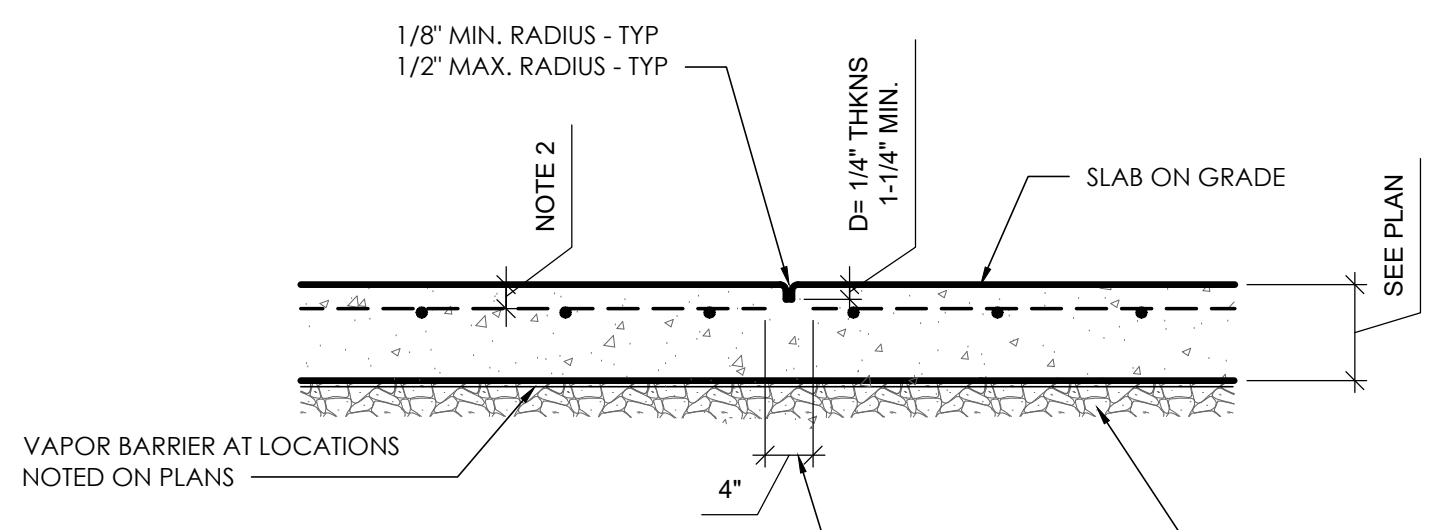
- NOTES:
1. SEE CONCRETE GENERAL NOTES FOR SLAB FINISHING AND CURING REQUIREMENTS.
  2. CLEAR COVER TO BE 2" AT CONC. EXPOSED TO THE ELEMENTS (PARKING AND EXTERIOR DRIVES) AND 1" AT INTERIOR SPACES TYPICAL.

**3 TYPICAL SLAB ON GRADE CONSTRUCTION**  
F-201 SCALE: 3/4"=1'-0"



- NOTES:
1. LOCATE CONSTRUCTION JOINTS AT CONTROL JOINT LOCATIONS.
  2. CLEAR COVER TO BE 2" AT CONCRETE EXPOSED TO THE ELEMENTS AND 1" AT INTERIOR SPACES TYP.
  3. APPLY LIQUID BONDBREAKER TO FULL DEPTH OF CONSTRUCTION JOINT.
  4. PRIOR TO SEALING JOINT, PREPARE JOINT PER SEALANT MFR. RECOMMENDATIONS.
  5. TERMINATE END OF WELDED WIRE REINFORCEMENT 3" SHORT OF CONSTRUCTION JOINT.

**2 TYPICAL SLAB ON GRADE CONSTR. JOINT**  
F-201 SCALE: 3/4"=1'-0"

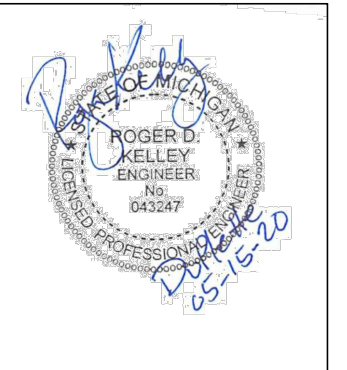


- NOTES:
1. ALL JOINTS SHALL BE HAND-TOOLED
  2. CLEAR COVER TO BE 2" AT CONC. EXPOSED TO THE ELEMENTS AND 1" AT INTERIOR SPACES TYP.
  3. SEAL JOINTS AT ALL EXPOSED CONC. SURFACES [SEE SPECIFICATIONS]. PRIOR TO SEALING JOINT, PREPARE JOINT PER SEALANT MFR'S RECOMMENDATIONS.

**1 TYPICAL SLAB ON GRADE CONTROL JOINT**  
F-201 SCALE: 3/4"=1'-0"



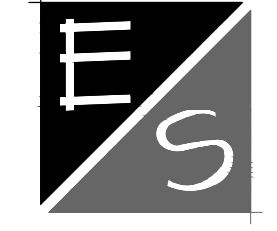
REGISTRATION



**OWNER**  
LAFAYETTE PARK LANDOWNERS LLC.

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
333 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0262

**STRUCTURAL ENGINEER**



ENGINEERED STRUCTURES, LLC  
T: 616.887.9820  
es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park Duplette**  
One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

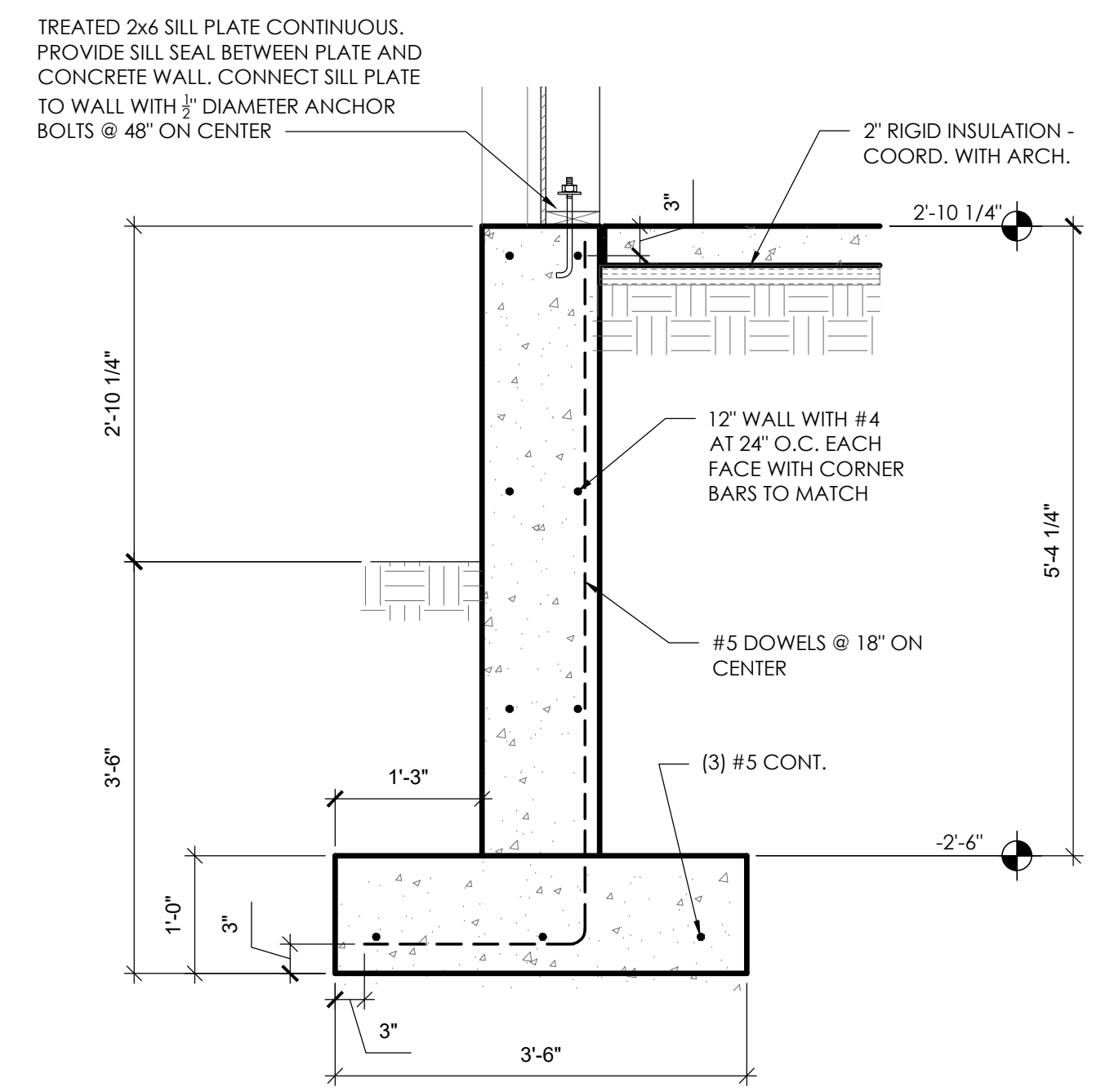
JOB NO.:  
SCALE: 3/4" = 1'-0"  
DATE: 05/15/20

DRAWING TITLE  
**FOUNDATION DETAILS**

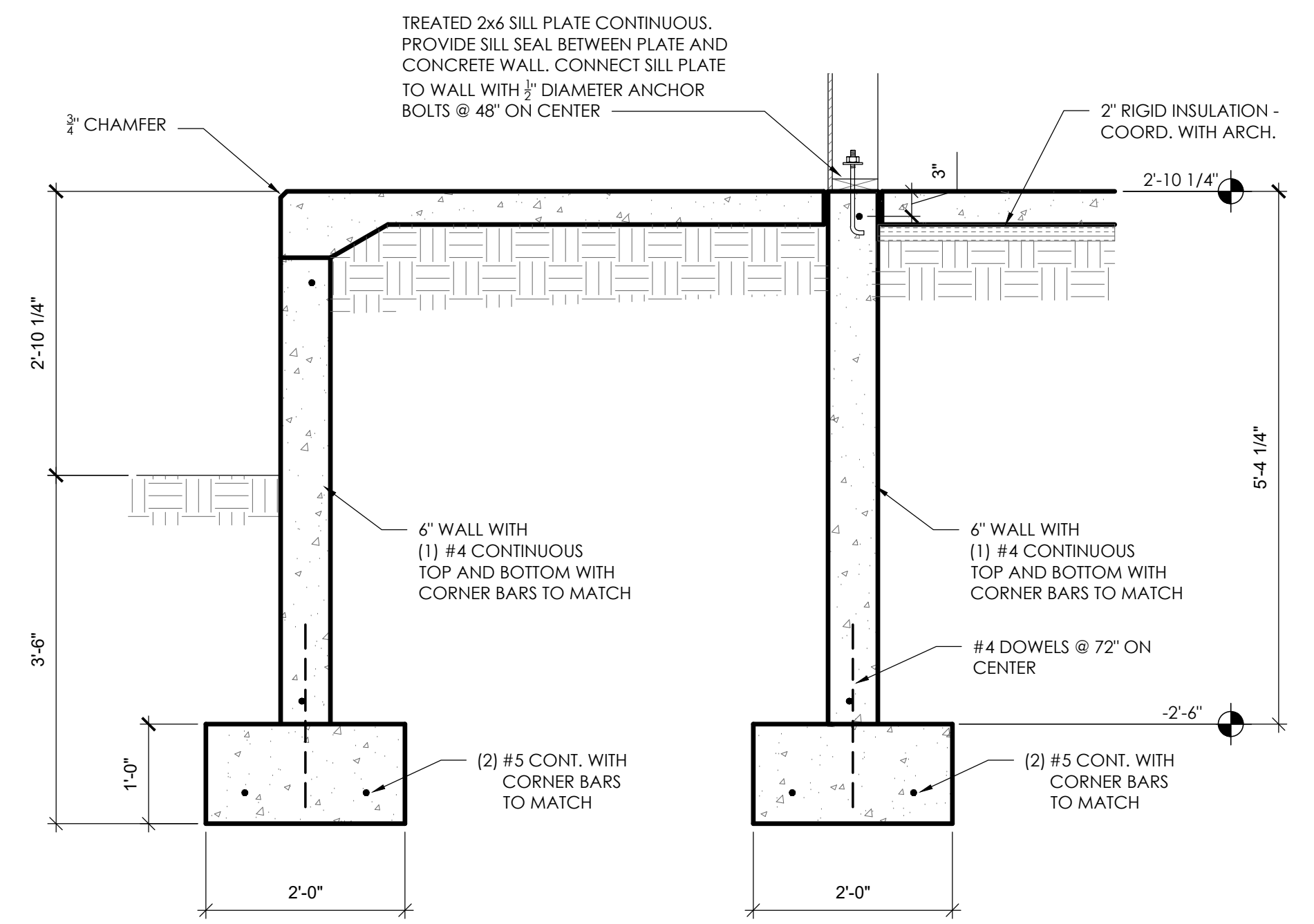
SHEET NO.

**F-202**

100% CD / PERMIT SET



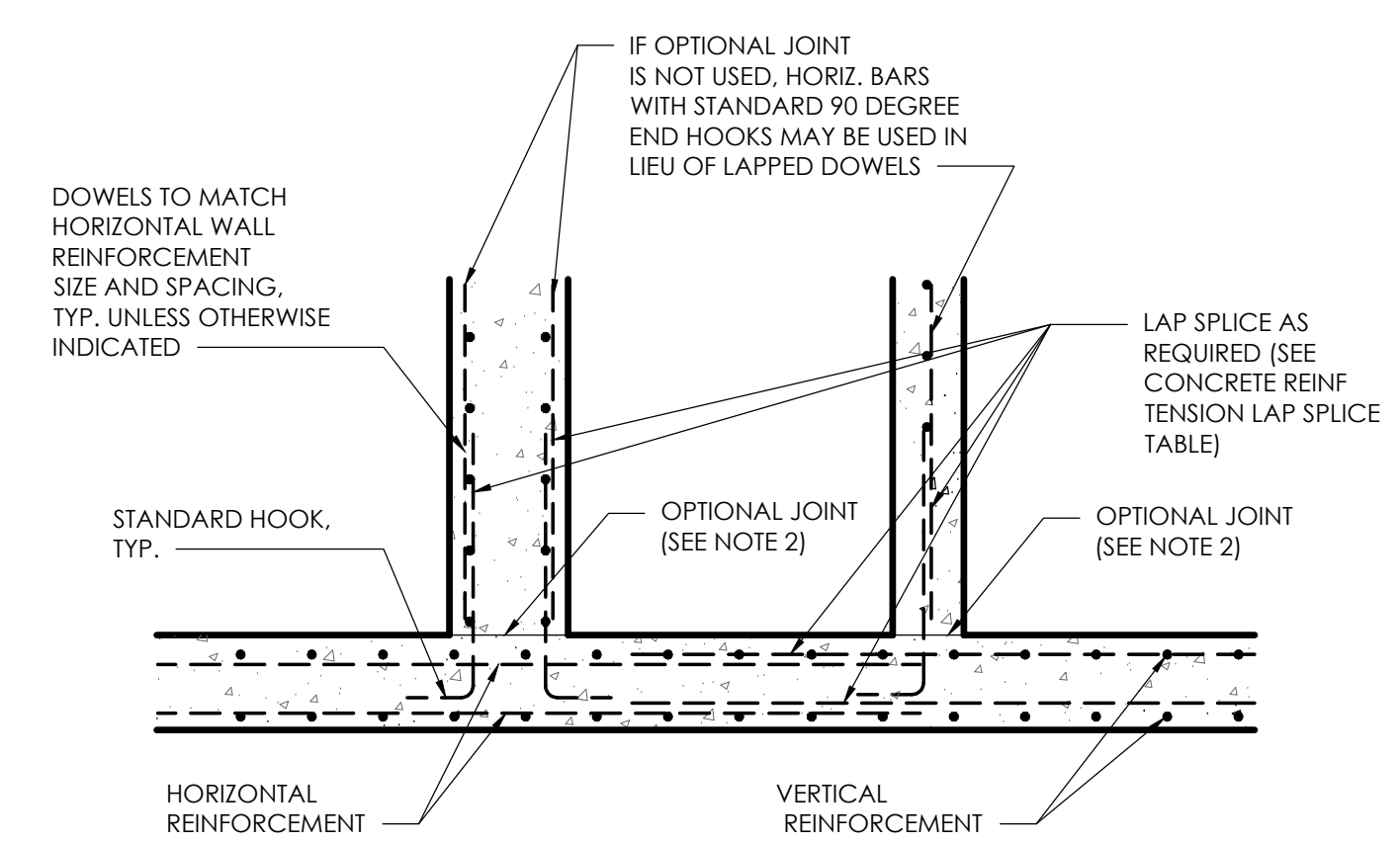
**2** TYPICAL PERIMETER  
F-202 SCALE: 3/4"=1'-0"



**5** TYPICAL PERIMETER  
F-202 SCALE: 3/4"=1'-0"

**TENSION LAP SPLICE TABLE**  
(LAP LENGTH IN INCHES)

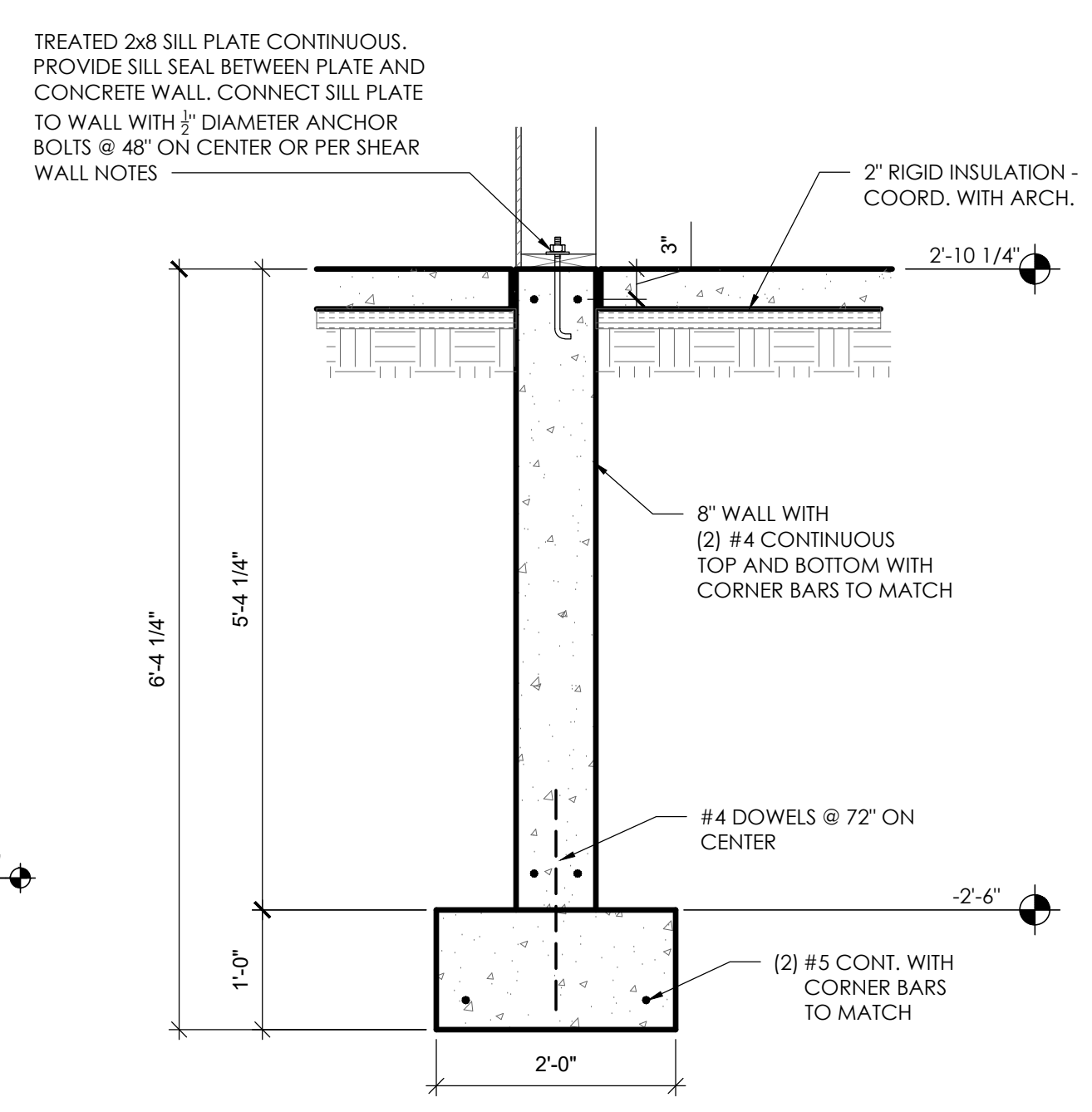
BAR	F'c = 3000 PSI	F'c = 4000 PSI
#3	18	16
#4	24	20
#5	34	29
#6	40	35
#7	55	48
#8	70	61



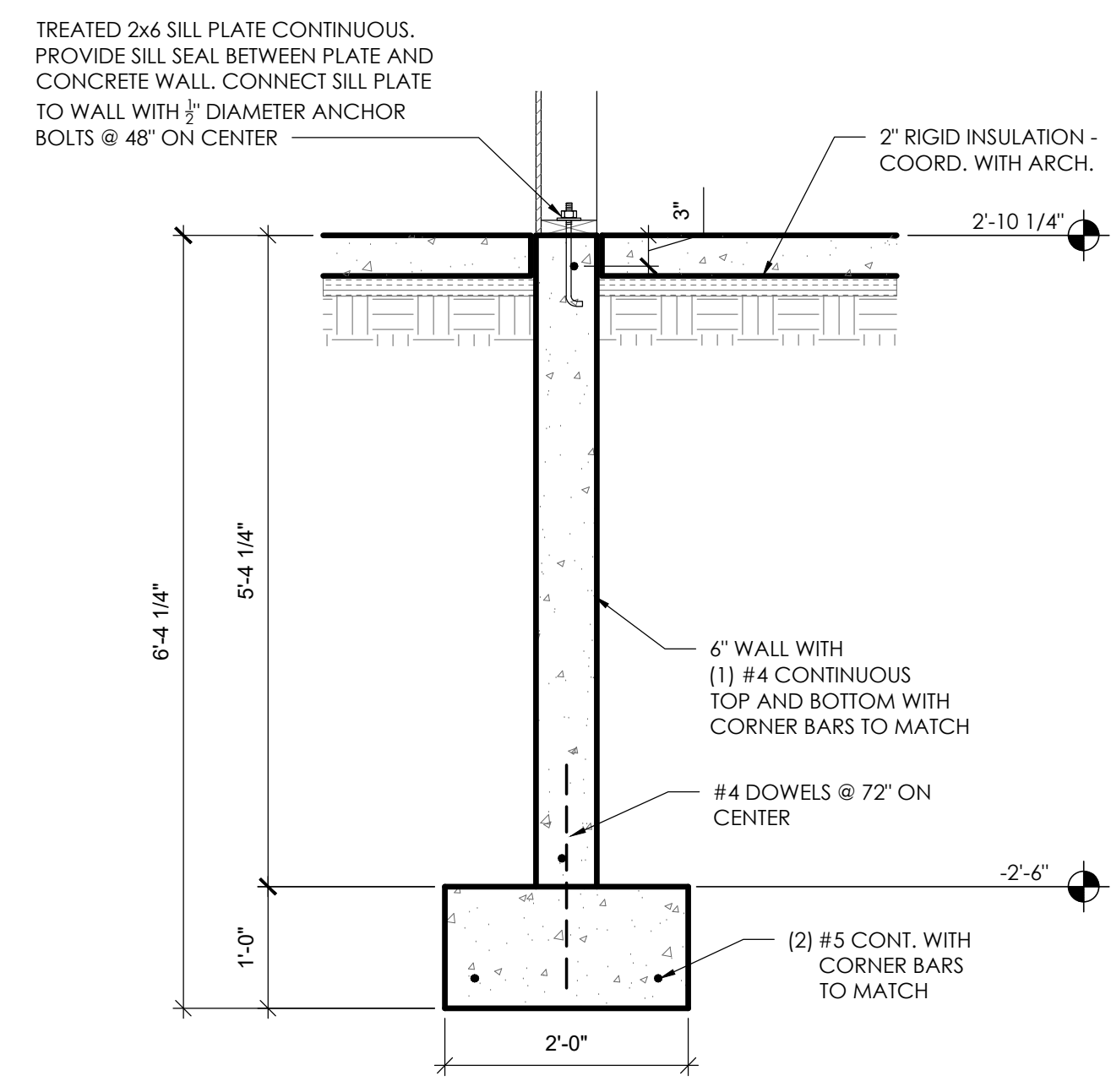
PLAN VIEW

- NOTES:
- SEE APPLICABLE SECTIONS FOR WALL REINFORCEMENT AND REINFORCING STEEL CLEARANCES.
  - DOWEL BAR SUBSTITUTES MAY BE PROVIDED AT INTERSECTING WALL CONSTRUCTION JOINTS, AT CONTRACTOR'S OPTION.

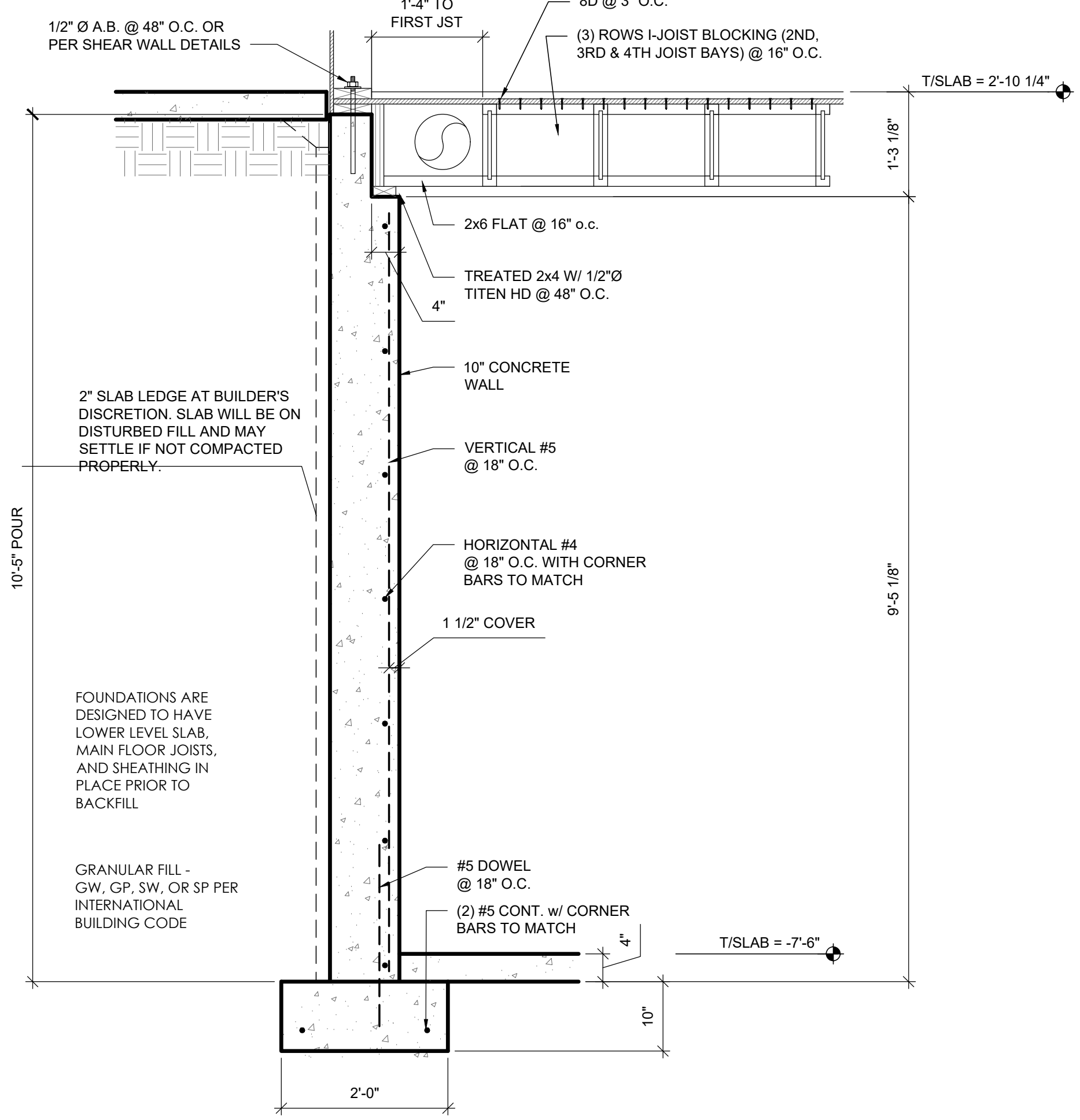
**1** TYPICAL CONCRETE WALL INTERSECTIONS  
F-202 SCALE: 3/4"=1'-0"



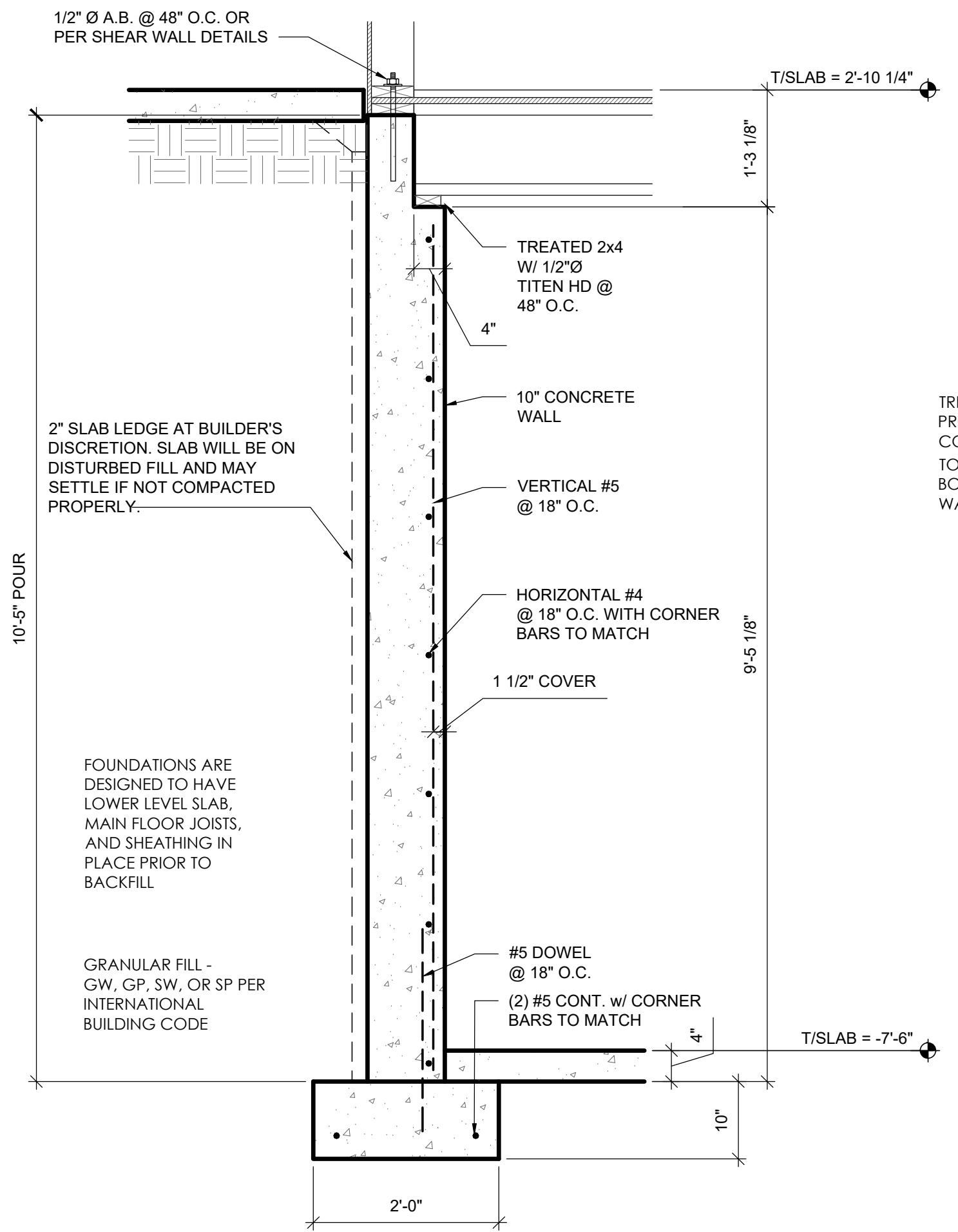
**4** SECTION  
F-202 SCALE: 3/4"=1'-0"



**3** SECTION  
F-202 SCALE: 3/4"=1'-0"



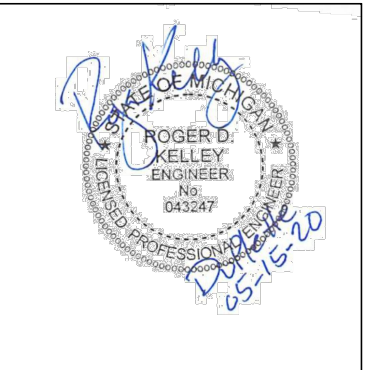
**7** SECTION  
F-202 SCALE: 3/4"=1'-0"



**6** SECTION  
F-202 SCALE: 3/4"=1'-0"



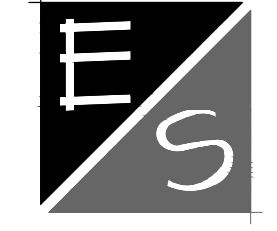
REGISTRATION



**OWNER**  
LAFAYETTE PARK LANDOWNERS LLC.

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0265

**STRUCTURAL ENGINEER**



ENGINEERED STRUCTURES, LLC  
T: 616.887.9620  
es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park Duplette**  
One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

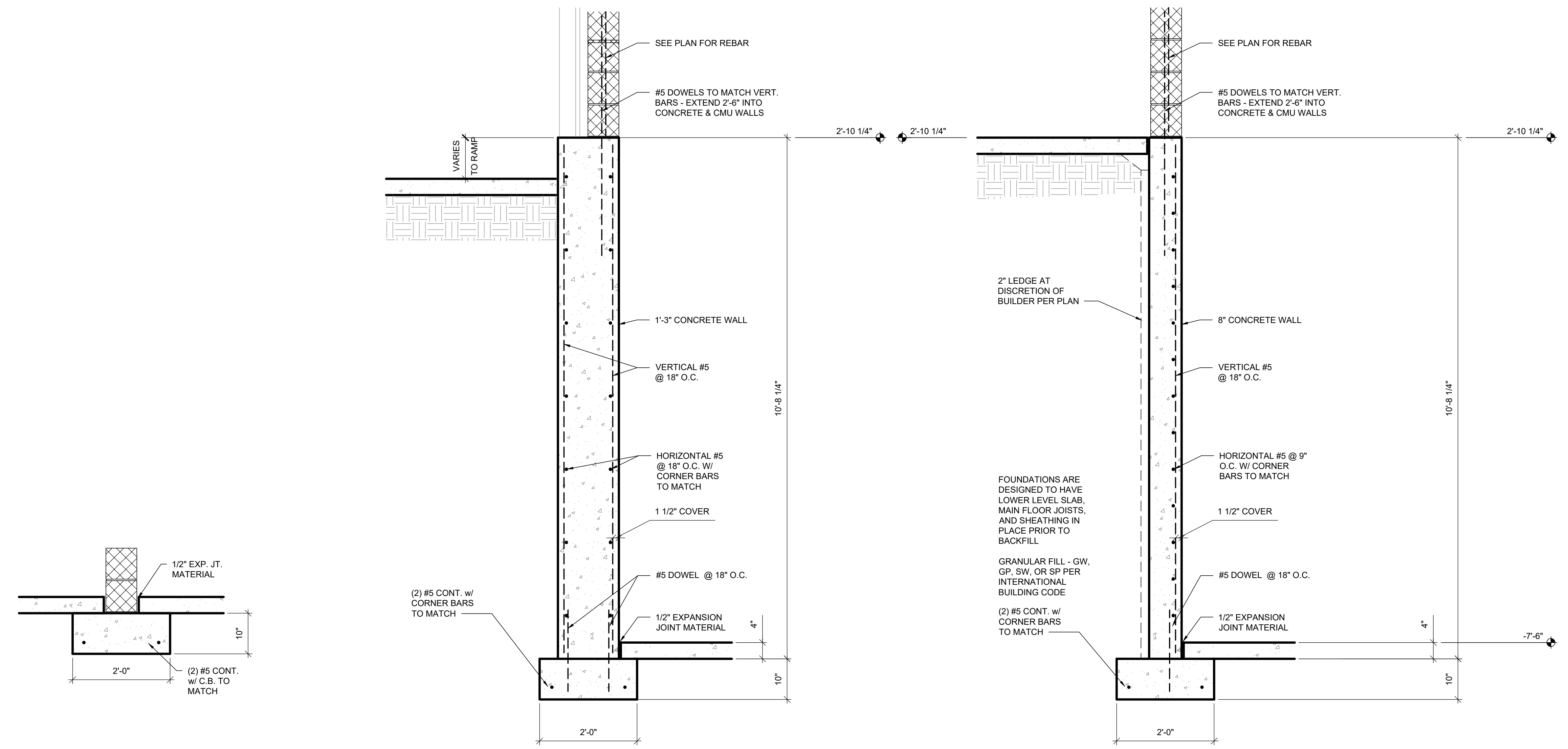
THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:  
SCALE: **3/4" = 1'-0"**  
DATE: **05/15/20**

DRAWING TITLE  
**FOUNDATION DETAILS**

SHEET NO.  
**F-203**

100% CD / PERMIT SET



**3** DETAIL  
F-203 SCALE: 3/4" = 1'-0"

**2** SECTION  
F-203 SCALE: 3/4" = 1'-0"

**1** SECTION  
F-203 SCALE: 3/4" = 1'-0"

GENERAL NOTES -

1. TYPICAL FLOOR CONSTRUCTION TO BE 1" GYPCRETE TOPPING SLAB ON 3/4" T&G APA RATED EXPOSURE 1 SHEATHING GLUED AND SCREWED (OR NAILED) TO 11-7/8" I-JOISTS @ 16" O.C. UNLESS NOTED OTHERWISE.
2. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL INFORMATION / REQUIREMENTS.
3. L-1 - 8" x 16" CMU LINTEL WITH (2) #4 LOCATED AT 2" COVER FROM BOTTOM.

FLOOR JOIST SYSTEM DESIGN:

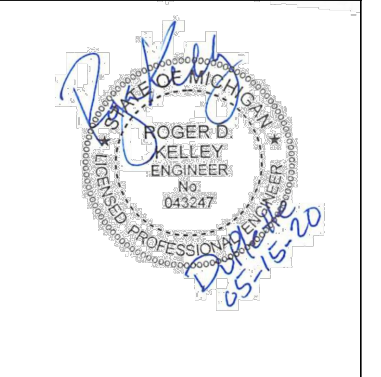
ACCEPTABLE FLOOR JOIST PERFORMANCE IS HIGHLY DEPENDANT ON THE OCCUPANT'S EXPECTATIONS. THEREFORE, FLOOR JOIST SYSTEM SHALL BE DESIGNED AS FOLLOWS:

DESIGN LOADS ARE NOTED ON THE DRAWINGS. CODE REQUIRED LIVE LOAD DEFLECTION REQUIREMENTS ARE SPAN LENGTH DIVIDED BY 360. "ACCEPTED" REQUIREMENTS FOR A "GOOD FEELING" FLOOR HAVE BEEN SET AT SPAN LENGTH DIVIDED BY 480.

THE FLOOR TRUSS SUPPLIER SHALL WORK WITH THE DEVELOPER TO DETERMINE THE APPROPRIATE FLOOR SYSTEM BASED ON THEIR BUDGET AND EXPECTATIONS OF FLOOR PERFORMANCE. THE SYSTEM WILL BE DESIGNED FOR THE MORE STRINGENT OF THE FOLLOWING:

MAXIMUM DEFLECTION OF JOISTS UNDER LIVE LOAD SHALL BE SPAN LENGTH DIVIDED BY 480. JOISTS SHALL BE DESIGNED FOR A PERFORMANCE RATING MEETING THE DEVELOPER'S EXPECTATIONS. MAXIMUM TOTAL LOAD DEFLECTION TO BE LESS THAN 0.625". (BASED ON JUDGEMENT OF BUILDER FOR AESTHETICS).

REGISTRATION



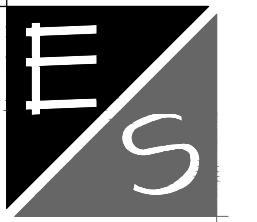
OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1, LLC  
1092 Woodward Ave.  
Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
232 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0265

STRUCTURAL ENGINEER



ENGINEERED STRUCTURES, LLC  
T: 616.887.9620  
es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park DuPlette**

One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:

SCALE: 1/4" = 1'-0"

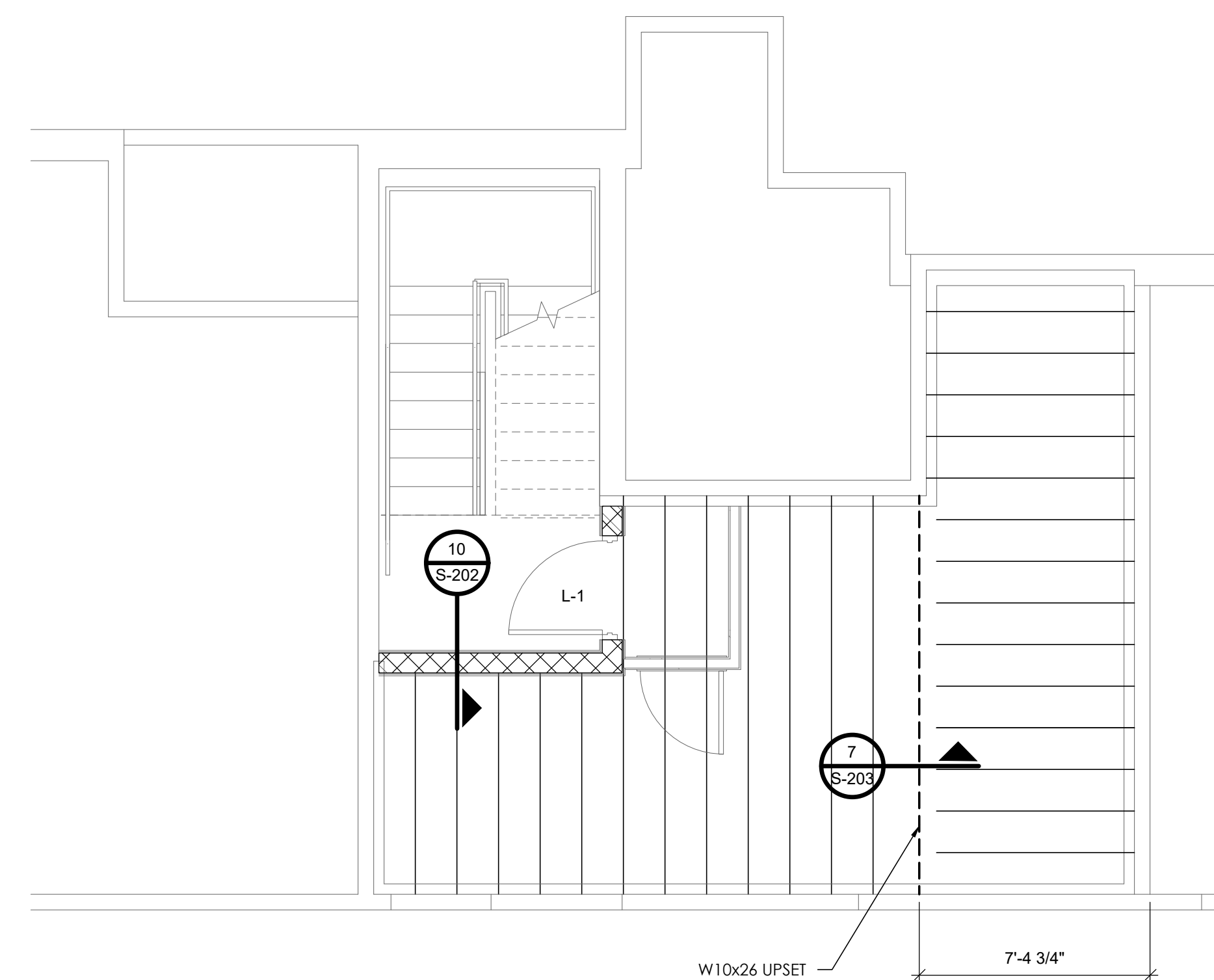
DATE: 05/15/20

DRAWING TITLE  
**MAIN FLOOR  
FRAMING PLAN**

SHEET NO.

**S-101**

100% CD / PERMIT SET





**BUILDING MOVEMENT CONSIDERATIONS:**

THE ANTICIPATED DIFFERENTIAL MOVEMENT BETWEEN THE BRICK VENEER AND THE WOOD BACK-UP SYSTEM AT THIS LEVEL IS APPROXIMATELY 0.3". THIS IS THE DIFFERENCE BETWEEN BRICK GROWTH AND WOOD SHRINKAGE.

ARCHITECTURAL ITEMS MUST BE COORDINATED AND DETAILED TO ACCOMMODATE THIS MOVEMENT. THIS INCLUDES BUT MAY NOT BE LIMITED TO WINDOW PLACEMENT AND DETAILING.

HEADER SCHEDULE				
MARK	SIZE	BEARING STUDS	KING STUDS	CENTER STUDS
H-1	(2) 2x6	1	1	N/A
H-2	(2) 2x10	2	1	N/A
H-3	(2) 1-3/4 x 5-1/2 LVL	1	1	N/A
H-4	(2) 1-3/4 x 5-1/2 LVL	2	1	N/A
H-5	(2) 1-3/4 x 9-1/2 LVL	2	2	N/A
H-6	(2) 1-3/4 x 5-1/2 LVL	2	1	N/A
H-7	(3) 1-3/4 x 5-1/2 LVL	2	1	N/A
H-8	(3) 1-3/4 x 9-1/2 LVL	3	1	N/A
H-9	(3) 1-3/4 x 9-1/2 LVL	4	1	N/A

**GENERAL NOTES -**

- TYPICAL FLOOR CONSTRUCTION TO BE 1" GYPCRETE TOPPING ON 3/4" T&G APA RATED EXPOSURE 1 SHEATHING GLUED AND SCREWED (OR NAILED) TO 18" DEEP PRE-ENGINEERED WOOD FLOOR TRUSSES @ 16" O.C. UNLESS NOTED OTHERWISE.
- TYPICAL EXTERIOR WALL TO BE 7/16" APA RATED EXPOSURE 1 SHEATHING ON 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. BLOCK BETWEEN STUDS AT ALL SHEET EDGES. NAIL ALL SHEET EDGES WITH 8d @ 6" O.C. UNLESS NOTED OTHERWISE. WALL STUD LAYOUT TO COORD. w/ FLOOR SYSTEM LAYOUT TO STACK FULL HEIGHT OF STRUCTURE.
- REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL INFORMATION / REQUIREMENTS.
- TYPICAL CORRIDOR FRAMING TO BE 2x6 SPF #2 @ 16" O.C. U.N.O. WALL STUD LAYOUT TO COORD. w/ FLOOR SYSTEM LAYOUT TO STACK FULL HEIGHT OF STRUCTURE.
- TYPICAL CORRIDOR WALL TO BE DRYWALL BOTH SIDES OF 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. WALL STUD LAYOUT TO COORD. w/ FLOOR SYSTEM LAYOUT TO STACK FULL HEIGHT OF STRUCTURE.
- DOUBLE TOP PLATE ON MAIN LEVEL IS TO BE LSL MATERIAL TO HELP CONTROL SHRINKAGE.
- L-1 - 8" x 16" CMU LINTEL WITH (2) #4 LOCATED AT 2" COVER FROM BOTTOM.
- SHEATH CORRIDOR WALLS. REFER TO SHEAR WALL ELEVATIONS.
- SIMPSON HGUM5.25-SDS x 11" TALL. GROUT 16" WIDE SECTION OF WALL SOLID FROM (2) COURSES ABOVE TO FOUNDATION.
- SIMPSON HUC616 (MAX). PROVIDE (26) 1/2" x 2 3/8" TITEN 2 ANCHORS TO CMU AND (12) 0.162 x 3-1/2" NAILS TO LVL. GROUT 16" WIDE SECTION OF WALL SOLID FROM (2) COURSES ABOVE TO (3) COURSES BELOW.
- (3) VERTICAL #5 AT CORNERS AS SHOWN FULL HEIGHT. AT SE CORNER ONLY AT CORNER CELL. PROVIDE VERTICAL #5 @ 48" O.C. BETWEEN TYPICAL ALL WALLS.
- 3/4" T&G SHEATHING ON 9-1/2" LVL JOISTS 16" O.C.

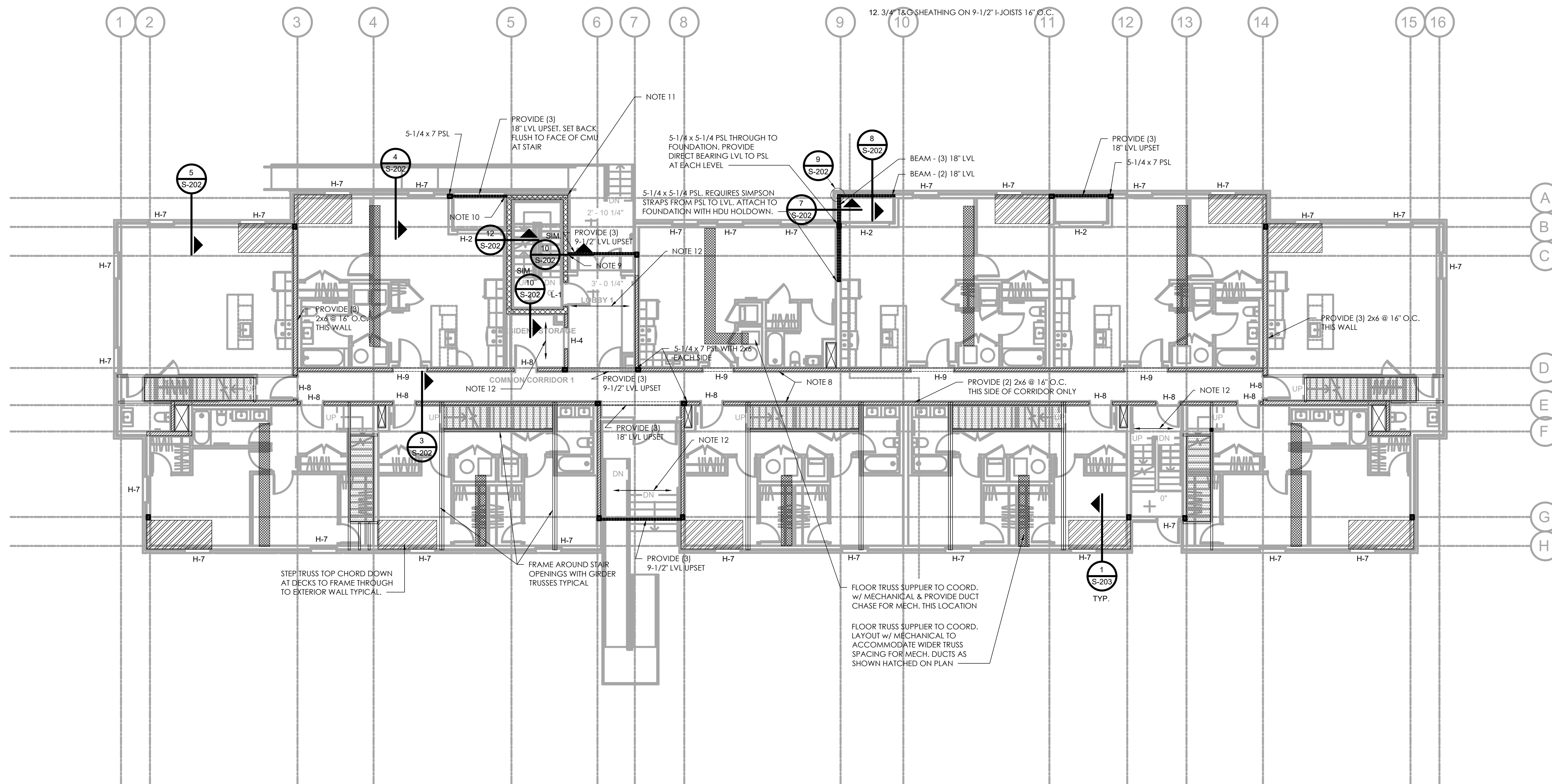
**FLOOR JOIST SYSTEM DESIGN:**

ACCEPTABLE FLOOR JOIST PERFORMANCE IS HIGHLY DEPENDANT ON THE OCCUPANT'S EXPECTATIONS. THEREFORE, FLOOR JOIST SYSTEM SHALL BE DESIGNED AS FOLLOWS:

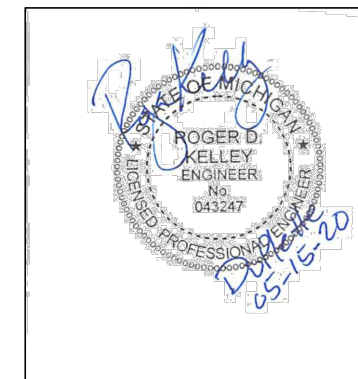
DESIGN LOADS ARE NOTED ON THE DRAWINGS. CODE REQUIRED LIVE LOAD DEFLECTION REQUIREMENTS ARE SPAN LENGTH DIVIDED BY 360. "ACCEPTED" REQUIREMENTS FOR A "GOOD FEELING" FLOOR HAVE BEEN SET AT SPAN LENGTH DIVIDED BY 480.

THE FLOOR TRUSS SUPPLIER SHALL WORK WITH THE DEVELOPER TO DETERMINE THE APPROPRIATE FLOOR SYSTEM BASED ON THEIR BUDGET AND EXPECTATIONS OF FLOOR PERFORMANCE. THE SYSTEM WILL BE DESIGNED FOR THE MORE STRINGENT OF THE FOLLOWING:

MAXIMUM DEFLECTION OF JOISTS UNDER LIVE LOAD SHALL BE SPAN LENGTH DIVIDED BY 480. JOISTS SHALL BE DESIGNED FOR A PERFORMANCE RATING MEETING THE DEVELOPER'S EXPECTATIONS. MAXIMUM TOTAL LOAD DEFLECTION TO BE LESS THAN 0.625". (BASED ON JUDGEMENT OF BUILDER FOR AESTHETICS).



**REGISTRATION**



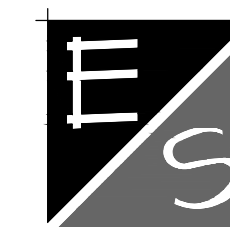
**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1, LLC  
1092 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
333 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0265

**STRUCTURAL ENGINEER**



ENGINEERED STRUCTURES, LLC  
T: 616.887.9620  
es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park DuPlette**

One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:  
SCALE: 1/8" = 1'-0"  
DATE: 05/15/20

DRAWING TITLE  
**SECOND FLOOR FRAMING PLAN**

SHEET NO.

**S-102**

100% CD / PERMIT SET



**BUILDING MOVEMENT CONSIDERATIONS:**

THE ANTICIPATED DIFFERENTIAL MOVEMENT BETWEEN THE BRICK VENEER AND THE WOOD BACK-UP SYSTEM AT THIS LEVEL IS APPROXIMATELY 0.6". THIS IS THE DIFFERENCE BETWEEN BRICK GROWTH AND WOOD SHRINKAGE.

ARCHITECTURAL ITEMS MUST BE COORDINATED AND DETAILED TO ACCOMMODATE THIS MOVEMENT. THIS INCLUDES BUT MAY NOT BE LIMITED TO WINDOW PLACEMENT AND DETAILING.

**GENERAL NOTES -**

1. TYPICAL FLOOR CONSTRUCTION TO BE 1" GYPCRETE TOPPING ON 3/4" T&G APA RATED EXPOSURE 1 SHEATHING GLUED AND SCREWED (OR NAILED) TO 18" DEEP PRE-ENGINEERED WOOD FLOOR TRUSSES @ 16" O.C. UNLESS NOTED OTHERWISE.
2. TYPICAL EXTERIOR WALL TO BE 7/16" APA RATED EXPOSURE 1 SHEATHING ON 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. BLOCK BETWEEN STUDS AT ALL SHEET EDGES. NAIL ALL SHEET EDGES WITH #4 @ 6" O.C. UNLESS NOTED OTHERWISE. WALL STUD LAYOUT TO COORD. W/ FLOOR SYSTEM LAYOUT TO STACK FULL HEIGHT OF STRUCTURE.
3. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL INFORMATION / REQUIREMENTS.
4. TYPICAL CORRIDOR FRAMING TO BE 2x10 SPF #2 @ 16" O.C.
5. TYPICAL CORRIDOR WALL TO BE DRYWALL BOTH SIDES OF 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. WALL STUD LAYOUT TO COORD. W/ FLOOR SYSTEM LAYOUT TO STACK FULL HEIGHT OF STRUCTURE.
6. WALL DOUBLE TOP PLATE AND BOTTOM SOLE PLATE TO BE LSL MATERIAL THIS LEVEL TO HELP CONTROL SHRINKAGE.
7. L-1 - 8" x 16" CMU LINTEL WITH (2) #4 LOCATED AT 2" COVER FROM BOTTOM.
8. 3/4" T&G SHEATHING ON 9-1/2" I-JOISTS 16" O.C.

**FLOOR JOIST SYSTEM DESIGN:**

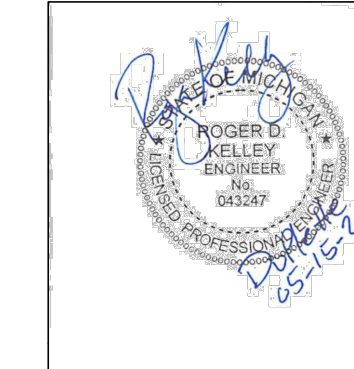
ACCEPTABLE FLOOR JOIST PERFORMANCE IS HIGHLY DEPENDANT ON THE OCCUPANT'S EXPECTATIONS. THEREFORE, FLOOR JOIST SYSTEM SHALL BE DESIGNED AS FOLLOWS:

DESIGN LOADS ARE NOTED ON THE DRAWINGS. CODE REQUIRED LIVE LOAD DEFLECTION REQUIREMENTS ARE SPAN LENGTH DIVIDED BY 360. "ACCEPTED" REQUIREMENTS FOR A "GOOD FEELING" FLOOR HAVE BEEN SET AT SPAN LENGTH DIVIDED BY 480.

THE FLOOR TRUSS SUPPLIER SHALL WORK WITH THE DEVELOPER TO DETERMINE THE APPROPRIATE FLOOR SYSTEM BASED ON THEIR BUDGET AND EXPECTATIONS OF FLOOR PERFORMANCE. THE SYSTEM WILL BE DESIGNED FOR THE MORE STRINGENT OF THE FOLLOWING:

MAXIMUM DEFLECTION OF JOISTS UNDER LIVE LOAD SHALL BE SPAN LENGTH DIVIDED BY 480. JOISTS SHALL BE DESIGNED FOR A PERFORMANCE RATING MEETING THE DEVELOPER'S EXPECTATIONS. MAXIMUM TOTAL LOAD DEFLECTION TO BE LESS THAN 0.625". (BASED ON JUDGEMENT OF BUILDER FOR AESTHETICS).

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1, LLC  
1092 Woodward Ave.  
Detroit, MI 48226

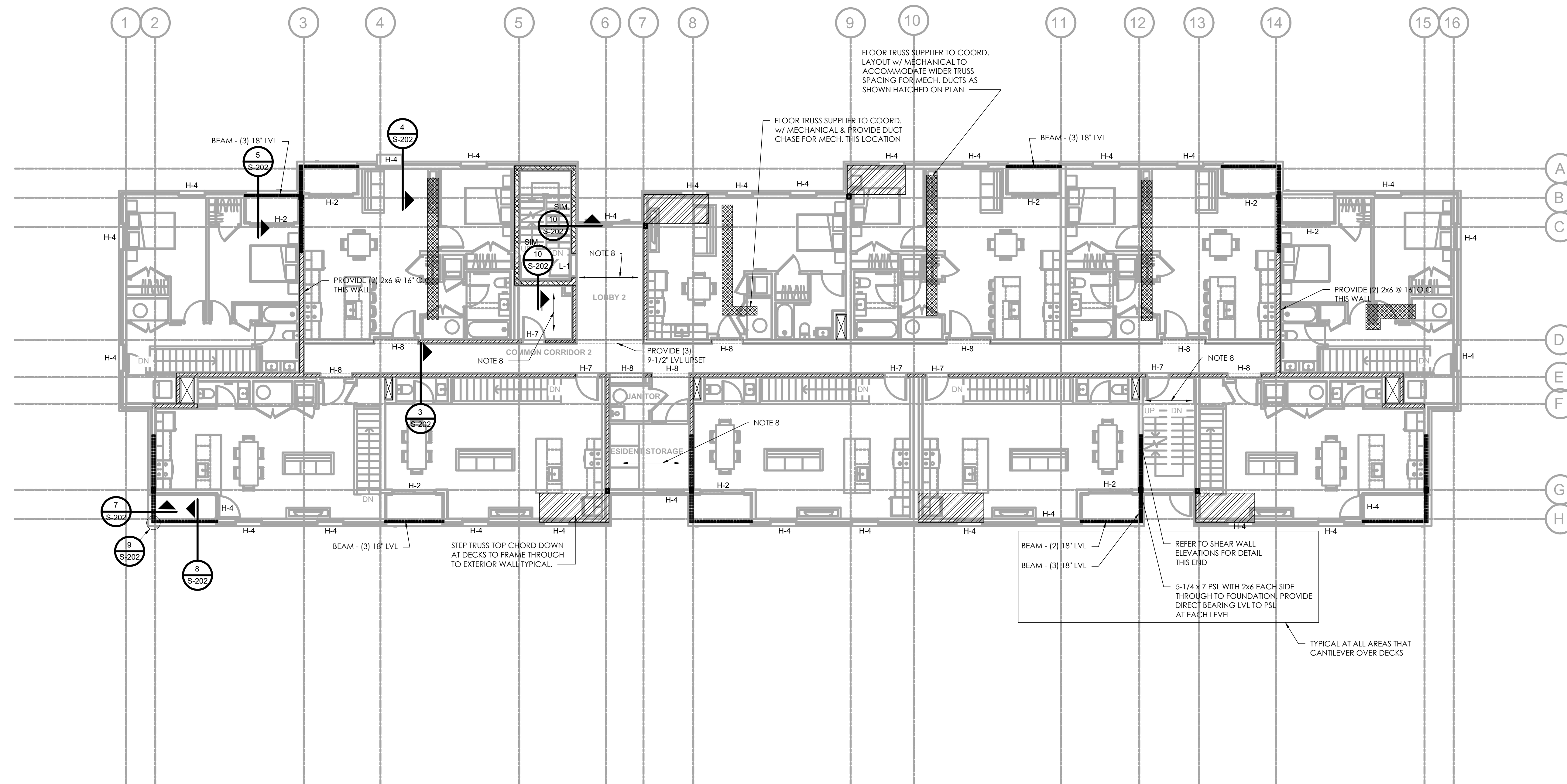
**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0262

**STRUCTURAL ENGINEER**



ENGINEERED STRUCTURES, LLC  
T: 616.887.9620  
es2@comcast.net



MERGE ARCHITECTS INC

**Brush Park DuPlette**  
One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:  
SCALE: 1/8" = 1'-0"  
DATE: 05/15/20

DRAWING TITLE  
**THIRD FLOOR FRAMING PLAN**

SHEET NO.

**S-103**

100% CD / PERMIT SET



**BUILDING MOVEMENT CONSIDERATIONS:**

THE ANTICIPATED DIFFERENTIAL MOVEMENT BETWEEN THE BRICK VENEER AND THE WOOD BACK-UP SYSTEM AT THIS LEVEL IS APPROXIMATELY 0.9". THIS IS THE DIFFERENCE BETWEEN BRICK GROWTH AND WOOD SHRINKAGE.

ARCHITECTURAL ITEMS MUST BE COORDINATED AND DETAILED TO ACCOMMODATE THIS MOVEMENT. THIS INCLUDES BUT MAY NOT BE LIMITED TO WINDOW PLACEMENT AND DETAILING.

**GENERAL NOTES -**

1. TYPICAL FLOOR CONSTRUCTION TO BE 1" GYPCRETE TOPPING ON 3/4" T&G APA RATED EXPOSURE 1 SHEATHING GLUED AND SCREWED (OR NAILED) TO 18" DEEP PRE-ENGINEERED WOOD FLOOR TRUSSES @ 16" O.C. UNLESS NOTED OTHERWISE.
2. TYPICAL EXTERIOR WALL TO BE 7/16" APA RATED EXPOSURE 1 SHEATHING ON 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. BLOCK BETWEEN STUDS AT ALL SHEET EDGES. NAIL ALL SHEET EDGES WITH 8d @ 6" O.C. UNLESS NOTED OTHERWISE. WALL STUD LAYOUT TO COORD. w/ FLOOR SYSTEM LAYOUT TO STACK FULL HEIGHT OF STRUCTURE.
3. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL INFORMATION / REQUIREMENTS.
4. TYPICAL ROOF CONSTRUCTION TO BE 5/8" APA RATED EXPOSURE 1 SHEATHING WITH CLIPS ON PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" O.C. UNLESS NOTED OTHERWISE.
5. FRAME AROUND DECK WITH GIRDER TRUSSES. ALSO DESIGN GIRDER TRUSS TO SUPPORT ROOF ABOVE.
6. 12'-0" LONG LVL AT CANTILEVERS. PROVIDE HOLDOWN AT BACKSPAN END AT EACH.
7. TYPICAL CORRIDOR FRAMING TO BE 2x10 SPF #2 @ 16" O.C. WALL STUD LAYOUT TO COORD. w/ FLOOR SYSTEM LAYOUT TO STACK FULL HEIGHT OF STRUCTURE.
8. TYPICAL CORRIDOR WALL TO BE DRYWALL BOTH SIDES OF 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE.
9. L-1 - 8" x 16" CMU LINTEL WITH (2) #4 LOCATED AT 2" COVER FROM BOTTOM.
10. 3/4" T&G SHEATHING ON 9-1/2" I-JOISTS 16" O.C.; T/SHEATHING = 33'-10 3/4"
11. REFER TO 8/S203 FOR TOP RAIL CONNX. TO CMU
12. 3/4" T&G SHEATHING ON 9-1/2" I-JOISTS 16" O.C. AT TYPICAL FLOOR ELEVATION

**FLOOR JOIST SYSTEM DESIGN:**

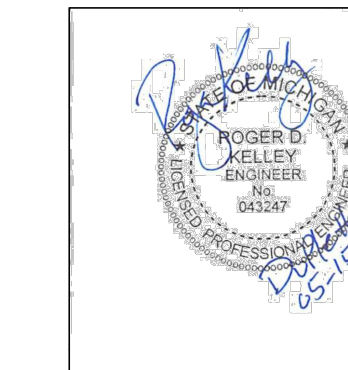
ACCEPTABLE FLOOR JOIST PERFORMANCE IS HIGHLY DEPENDANT ON THE OCCUPANT'S EXPECTATIONS. THEREFORE, FLOOR JOIST SYSTEM SHALL BE DESIGNED AS FOLLOWS:

DESIGN LOADS ARE NOTED ON THE DRAWINGS. CODE REQUIRED LIVE LOAD DEFLECTION REQUIREMENTS ARE SPAN LENGTH DIVIDED BY 360. "ACCEPTED" REQUIREMENTS FOR A "GOOD FEELING" FLOOR HAVE BEEN SET AT SPAN LENGTH DIVIDED BY 480.

THE FLOOR TRUSS SUPPLIER SHALL WORK WITH THE DEVELOPER TO DETERMINE THE APPROPRIATE FLOOR SYSTEM BASED ON THEIR BUDGET AND EXPECTATIONS OF FLOOR PERFORMANCE. THE SYSTEM WILL BE DESIGNED FOR THE MORE STRINGENT OF THE FOLLOWING:

MAXIMUM DEFLECTION OF JOISTS UNDER LIVE LOAD SHALL BE SPAN LENGTH DIVIDED BY 480. JOISTS SHALL BE DESIGNED FOR A PERFORMANCE RATING MEETING THE DEVELOPER'S EXPECTATIONS. MAXIMUM TOTAL LOAD DEFLECTION TO BE LESS THAN 0.625". (BASED ON JUDGEMENT OF BUILDER FOR AESTHETICS).

**REGISTRATION**



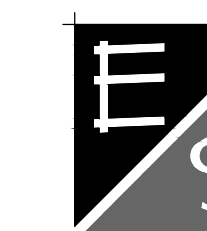
**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1, LLC  
1092 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
333 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0285

**STRUCTURAL ENGINEER**



ENGINEERED STRUCTURES, LLC  
T: 616.887.9650  
es2@comcast.net

MERGE ARCHITECTS INC

Brush Park DuPlette

One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

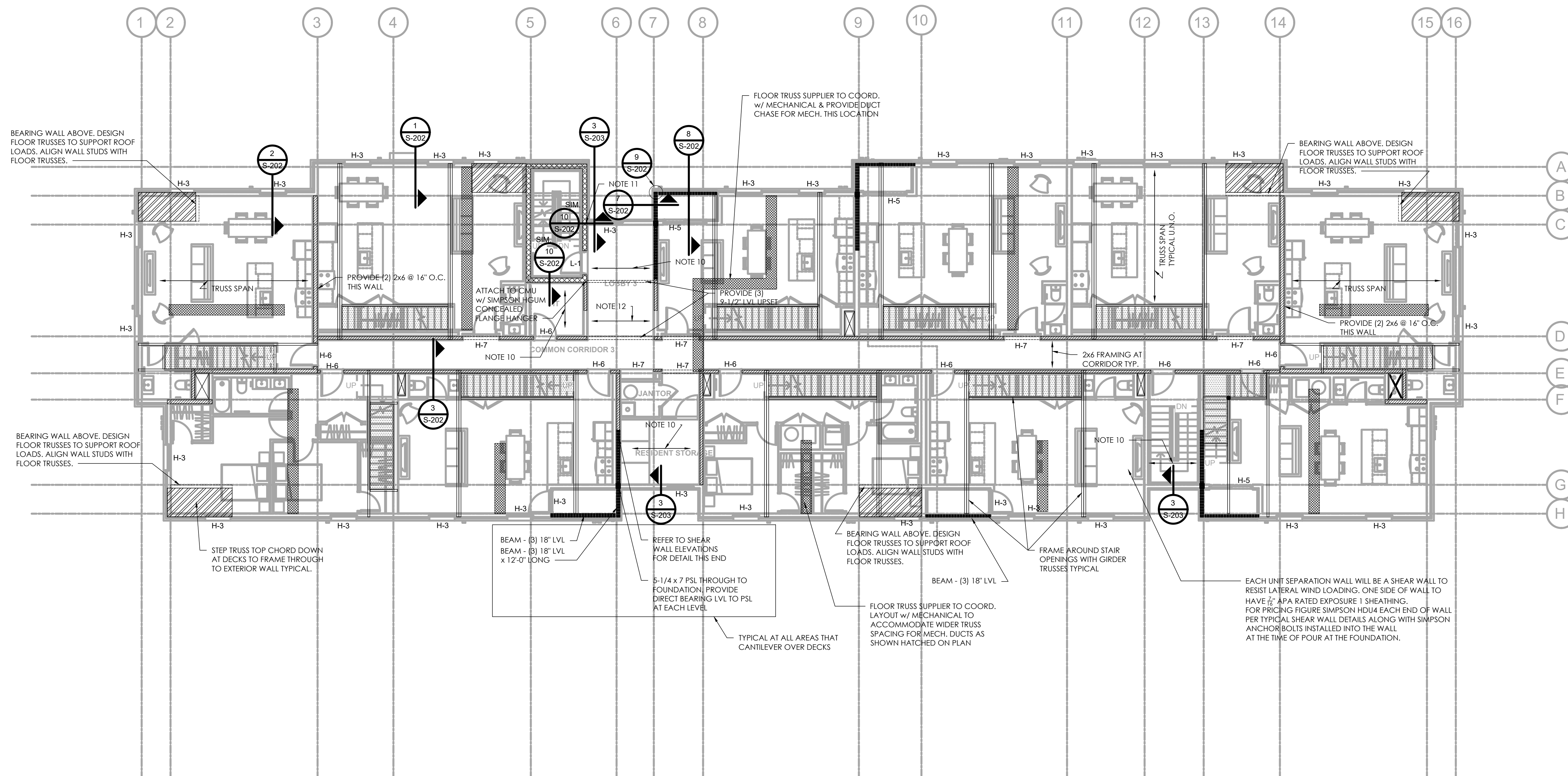
JOB NO.:  
SCALE: 1/8" = 1'-0"  
DATE: 05/15/20

DRAWING TITLE  
**FOURTH FLOOR FRAMING PLAN**

SHEET NO.

**S-104**

100% CD / PERMIT SET



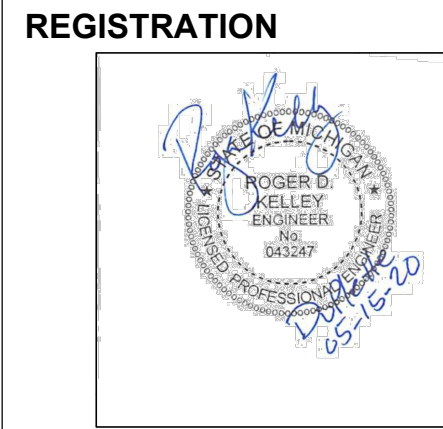


**BUILDING MOVEMENT CONSIDERATIONS:**

THE ANTICIPATED DIFFERENTIAL MOVEMENT BETWEEN THE BRICK VENEER AND THE WOOD BACK-UP SYSTEM AT THIS LEVEL IS APPROXIMATELY 1.2". THIS IS THE DIFFERENCE BETWEEN BRICK GROWTH AND WOOD SHRINKAGE.

ARCHITECTURAL ITEMS MUST BE COORDINATED AND DETAILED TO ACCOMMODATE THIS MOVEMENT. THIS INCLUDES BUT MAY NOT BE LIMITED TO WINDOW PLACEMENT AND DETAILING.

- GENERAL NOTES -**
1. TYPICAL EXTERIOR WALL TO BE 7/16" APA RATED EXPOSURE 1 SHEATHING ON 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. BLOCK BETWEEN STUDS AT ALL SHEET EDGES. NAIL ALL SHEET EDGES WITH 9d @ 6" O.C. UNLESS NOTED OTHERWISE. WALL STUD LAYOUT TO COORD. w/ FLOOR SYSTEM LAYOUT TO STACK FULL HEIGHT OF STRUCTURE.
  2. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL INFORMATION / REQUIREMENTS.
  3. TYPICAL ROOF CONSTRUCTION TO BE 5/8" APA RATED EXPOSURE 1 SHEATHING ON 20" DEEP PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" O.C. UNLESS NOTED OTHERWISE. LUMBER SUPPLIER TO VERIFY TRUSS DEPTH AND COORDINATE WITH ENGINEERED STRUCTURES, LLC WITH ANY REQUIRED REVISIONS.
  4. TYPICAL CORRIDOR WALL TO BE DRYWALL BOTH SIDES OF 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. WALL STUD LAYOUT TO COORD. w/ FLOOR SYSTEM LAYOUT TO STACK FULL HEIGHT OF STRUCTURE.

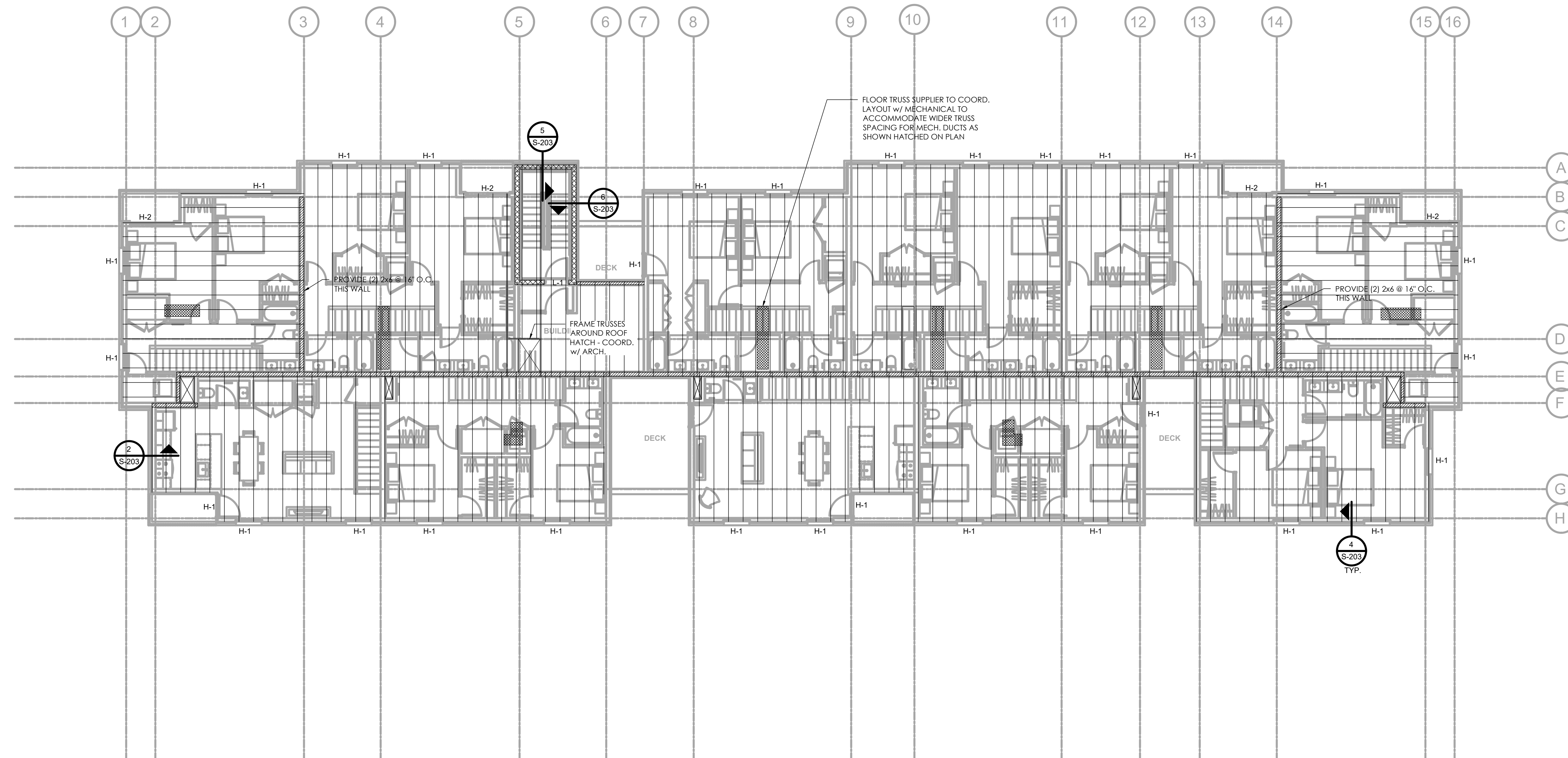


**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1, LLC  
1092 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
333 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.870.0263

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC  
T: 616.857.9620  
es2@comcast.net



MERGE ARCHITECTS INC

**Brush Park DuPlette**  
One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:  
SCALE: 1/8" = 1'-0"  
DATE: 05/15/20

DRAWING TITLE  
**ROOF FRAMING PLAN**

SHEET NO.  
**S-105**

100% CD / PERMIT SET



**STRUCTURAL LUMBER:**

- 1. ALLWOOD CONSTRUCTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION LATEST EDITION AND THE CURRENT MICHIGAN BUILDING CODE AND/OR LATEST MICHIGAN RESIDENTIAL CODE.
2. STRUCTURAL FRAMING MEMBERS ARE SHOWN AS A GENERAL LAYOUT ONLY. EXACT PLACEMENT SHALL BE VERIFIED IN THE FIELD. HOWEVER, FRAMING PLACEMENT SHALL NOT EXCEED THE SPACING SHOWN ON THE DRAWINGS.
3. ALL ROOF SHEATHING SHALL BE APA RATED SHEATHING, EXPOSURE 1 WITH A MINIMUM THICKNESS OF 3/4" WITH CLIPS UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS AND A SPAN RATING MEETING OR EXCEEDING THAT REQUIRED FOR THE DESIGN LOADS AND SPACING OF SUPPORTS.
4. ALL SHEATHING SHALL BE INSTALLED CONTINUOUS OVER TWO OR MORE SPANS WITH FACE GRAIN ACROSS SUPPORTS, UNLESS OTHERWISE INDICATED. SHEATHING SHALL BE NAILED AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ON CENTER ALONG INTERMEDIATE SUPPORTS IN THE FIELD OF THE PANEL WITH 8d RING SHANK NAILS, ALLOW 3/4" GAP AT PANEL EDGES AND ENDS.
5. NO MEMBER MAY BE MODIFIED WITHOUT WRITTEN APPROVAL FROM ENGINEERED STRUCTURES, LLC.
6. STRUCTURAL FRAMING MEMBERS SHALL BE ADEQUATELY BRIDGED TO ENSURE BEAM STABILITY AS CALLED FOR IN SECTION 4.4.1 OF THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
7. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ENGINEERED STRUCTURES, LLC FOR ENGINEERED LUMBER PRODUCTS. SHOP DRAWINGS SHALL INCLUDE A DIMENSIONED ERECTION PLAN WITH PIECE MARKS AND SCHEDULES SHOWING PIECES MARK, SIZE AND LENGTH FOR ENGINEERED LUMBER MEMBERS. IF PRODUCT MANUFACTURER SUBSTITUTIONS HAVE BEEN MADE, ENGINEERED STRUCTURES, LLC RESERVES THE RIGHT TO BILL FOR ENGINEERING TIME REQUIRED TO VERIFY THE SUBSTITUTIONS.
8. AT SOLID SAWN MULTI-PLY HEADERS, BEAMS AND STUD ASSEMBLIES, GLUE PLYS WITH CONSTRUCTION ADHESIVE AND NAIL WITH 8d NAILS AT 6" ON CENTER LOCATED 2" FROM BOTH EDGES. STAGGER NAILS ON BOTH SIDES OF THE MEMBER.
9. AT MULTI-PLY ENGINEERED LUMBER MEMBERS, FOLLOW SUPPLIER'S RECOMMENDATIONS FOR ASSEMBLY.
10. ALL HEADERS AND BEAMS SHALL BEAR ON A MINIMUM OF (2) STUDS UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS.
11. AT MULTI-PLY FRAMING MEMBERS AND TRUSSES, PROVIDE AT LEAST ONE SUPPORTING STUD PER PLY. PROVIDE BLOCKING THROUGH FLOOR FRAMING TO TRANSFER LOAD TO FOUNDATION.
12. THE FOLLOWING SCHEDULE IS A MINIMUM CONNECTION REQUIREMENT. SEE DRAWINGS FOR POSSIBLE HIGHER REQUIREMENTS.
A. SILL PLATE TO FOUNDATION WALL 3/4" DIAMETER ANCHOR BOLTS @ 48" O.C. U.N.O.
B. WOOD NAILER TO STEEL BEAM 3/4" DIAMETER BOLTS @ 24" O.C. U.N.O. OR (2) 1/2" DIA. SIMPSON SDSx1.5 @ 12" O.C. U.N.O. SIMPSON H2.5 U.N.O.
C. ROOF TRUSS TO WALL TOP PLATE (2) SIMPSON H2.5 U.N.O.
D. ROOF GIRDER TRUSS TO PLY TOP PLATE (2) SIMPSON H2.5 U.N.O.
13. MINIMUM NAILED CONNECTIONS FOR WOOD FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE NAILING SCHEDULE GIVEN IN SECTION 2304.9.1 "CONNECTIONS AND FASTENERS" OF THE CURRENT BUILDING CODE IF NO OTHER CRITERIA IS GIVEN.
14. WHEN OPENING SIZES REQUIRED SPACING OF FRAMING GREATER THAT THAT SHOWN ON THE DRAWINGS, CONSULT ARCHITECT AND ENGINEER.
15. ALL WOOD EXPOSED TO EXTERIOR SHALL BE PRESERVATIVE PRESSURE TREATED. ALL FASTENERS IN TREATED WOOD SHALL BE PROPER TO THE PRESERVATIVE TREATMENT USED. CONSULT WITH LUMBER SUPPLIER AND FASTENER SUPPLIER.
16. STANDARD CUT WASHERS SHALL BE PLACED BETWEEN BOLT HEAD, NUTS AND WOOD MEMBER.
17. IN ORDER TO REDUCE THE POTENTIAL FOR SHEATHING DEFLECTION, IT IS RECOMMENDED TO PROVIDE DOUBLE JOISTS BENEATH WALL OR LADDER FRAME BETWEEN JOISTS EVERY 48" AT ALL NON-BEARING WALLS ABOVE THAT ARE PARALLEL TO FLOOR JOISTS.
18. PROVIDE FULL DEPTH BLOCKING HANGERED BETWEEN JOISTS BENEATH ALL BEARING WALLS SUPPORTED BY AND PERPENDICULAR TO JOISTS.
19. IT IS RECOMMENDED THAT FLOOR JOISTS BE DOUBLED UP BENEATH CABINETS, KITCHEN ISLANDS, AND FIREPLACES. CONSULT ENGINEERED STRUCTURES, LLC FOR SPECIFIC CONDITIONS WHERE THIS IS NOT NECESSARY.
20. PROVIDE SQUASH BLOCKS TO MATCH UPPER WALL STUDS IN FLOOR SYSTEM AT WALLS WHERE JOISTS ARE PARALLEL TO A BEARING WALL ABOVE. LIKEWISE AT STACKED INTERIOR BEARING WALLS WHERE JOISTS ARE PARALLEL OR PERPENDICULAR.
21. LUMBER MATERIAL PROPERTIES:

ALL PROPERTIES TYPICAL UNLESS NOTED OTHERWISE ON DRAWINGS.

Table with 2 columns: DIMENSIONAL LUMBER and Properties (Fb, Fv, E, Fc(perp), Fc(parallel)).

Table with 4 columns: NAIL SIZE, DIAMETER, LENGTH, SCHEDULE. Includes SHEATHING SCHEDULE with Thickness Specified and Thickness to be Supplied.

AS AN EXAMPLE, PROVIDING 7/16" SHEATHING WHEN 1/2" SHEATHING IS SPECIFIED, IS NOT ACCEPTABLE.

**METAL PLATE CONNECTED WOOD TRUSS:**

- 1. METAL PLATE CONNECTED WOOD TRUSSES SHALL CONFORM TO THE SPECIFICATIONS OF THE TRUSS PLATE INSTITUTE (TPI), AMERICAN FOREST PRODUCTS ASSOCIATION (AFPA), WOOD TRUSS COUNCIL OF AMERICA (WTCA), AND NATIONAL DESIGN STANDARD (NDS) SPECIFICATIONS. ALL CONNECTOR PLATES SHALL BE GALVANIZED.
2. TRUSSES AND CONNECTIONS SHALL BE DESIGNED BY A LICENSED ENGINEER IN THE STATE OF MICHIGAN TO SUPPORT THE LOADS AS INDICATED ON THE CONSTRUCTION DOCUMENTS WITH A MAXIMUM LIVE LOAD DEFLECTION OF L/360 OR 1" MAXIMUM AND A TOTAL DEFLECTION OF L/240. HORIZONTAL DEFLECTIONS IN SCISSOR TRUSSES ARE TO BE HELD TO A LIVE LOAD DEFLECTION OF 1/2" MAXIMUM. VERTICAL DEFLECTION LIMITS MAY BE MORE STRICT FOR FINISHING. CONSULT WITH BUILDER.
3. METAL PLATE CONNECTED WOOD TRUSSES ARE PROPRIETARY AND REQUIRE DESIGN BY A MANUFACTURER. THE MANUFACTURER SHALL ENGAGE A QUALIFIED ENGINEER, LICENSED IN THE STATE OF THE PROJECT, AND EXPERIENCED IN THE DESIGN OF WOOD STRUCTURES. THE ENGINEER SHALL COMPLETE THE DESIGN OF THE TRUSS ROOF STRUCTURE, AS REQUIRED TO PROVIDE THE ROOF STRUCTURE DESCRIBED BY THE CONSTRUCTION DOCUMENTS.
4. THE CONSTRUCTION DOCUMENTS SHOW ONE POSSIBLE ROOF STRUCTURE WITH THE SUPPORTING ELEMENTS DESIGNED ACCORDINGLY. IT IS ASSUMED THAT THE MANUFACTURER'S ENGINEER WILL CLOSELY FOLLOW THIS DESIGN INTENT. SHOULD IT BE DETERMINED BY THE MANUFACTURER'S ENGINEER THAT ANOTHER POSSIBLE DESIGN IS MORE ECONOMICAL, THE PROPOSED REVISIONS SHALL BE GONE OVER WITH ENGINEERED STRUCTURES, LLC. AT THIS TIME, IT SHALL BE DETERMINED WHETHER THE PROPOSED REVISIONS REQUIRE CHANGES TO THE CONSTRUCTION DOCUMENTS AND WHAT FEE (IF ANY) WILL BE REQUIRED TO DO SO. THE PROPOSED FEES FOR ADDITIONAL SERVICES (IF ANY) WILL BE SUBMITTED TO THE CONTRACTOR AND OWNER FOR APPROVAL. WRITTEN APPROVAL OF THE ADDITIONAL FEES MUST BE RECEIVED PRIOR TO MAKING THE CHANGES.
5. WOOD FRAMING CONNECTIONS SHALL BE SEATED CONNECTIONS, UNLESS OTHERWISE NOTED. DO NOT COPE ANY MEMBER. DO NOT USE TOE NAILING TO SUPPORT VERTICAL LOADS. PROVIDE STANDARD PREFABRICATED, GALVANIZED, MANUFACTURED FRAMING DEVICES PER ASTM D1761 AND IBC, DESIGNED TO SUPPORT THE MEMBER SIZE.
6. TEMPORARY BRACING FOR TRUSS MEMBER SLENDERNESS AND STABILITY SHALL BE DESIGNED, AND SPECIFIED BY THE METAL PLATE CONNECTED WOOD TRUSS MANUFACTURER'S LICENSED ENGINEER AND BE IN COMPLIANCE WITH BUILDING COMPONENT SAFETY INFORMATION (BCSI) 1-03.
7. TEMPORARY BRACING FOR TRUSS AND BUILDING STABILITY SHALL BE INSTALLED IN SUCH A MANNER SO AS TO ALLOW FOR INSTALLATION OF SUBSEQUENT WORK WITHOUT THE NEED TO DISRUPT THE TEMPORARY BRACING UNTIL SUCH TIME AS IT MAY BE REMOVED.
8. PERMANENT BRACING FOR OVERALL BUILDING STABILITY IS COMPLETE WHEN ROOF SHEATHING AND WALL SHEATHING IS COMPLETE WITH FASTENING. PROVIDE TEMPORARY BRACING UNTIL ROOF AND WALL SHEATHING IS COMPLETE. PERMANENT BRACING WILL BE DESIGNED BY ENGINEERED STRUCTURES, LLC AS OUTLINED IN THEIR PROJECT CONTRACT. ANY DRAWINGS REQUIRED FOR THIS BRACING WILL BE REDMARKED ON THE TRUSS LAYOUT PLAN. A PRE-CONSTRUCTION MEETING IS REQUIRED TO REVIEW THE TRUSS BRACING REQUIREMENTS. PARTIES TO BE PRESENT AT THIS MEETING ARE ENGINEERED STRUCTURES, LLC, TRUSS INSTALLER, TRUSS SUPPLIER'S REPRESENTATIVE AND ANY OTHER PARTIES REQUESTING TO BE PRESENT.
9. WHEN PIGGYBACK TRUSSES ARE REQUIRED, THE TOP CHORD OF THE MAIN TRUSSES SHALL BE SHEATHED WITH 3/4" APA RATED SHEATHING IN LIEU OF LINEAL 2x FRAMING. REFER TO STRUCTURAL DETAILS FOR MAIN TRUSS TO CAP TRUSS CONNECTION.
10. COMPLY WITH AITC TIMBER CONSTRUCTION MANUAL FOR WOOD CONSTRUCTION.
11. REFER TO DETAIL SHEETS FOR POSSIBLE REQUIREMENTS FOR TRUSS SUPPORT BLOCKING BETWEEN WALL STUDS.
12. NOTE BCSI REQUIREMENT OF DIAGONAL BRACING WHERE HORIZONTAL WEB BRACING IS SHOWN. DIAGONAL BRACING SHOULD OCCUR EVERY 20'-0" AND MAY BE APPLIED IN SECTIONS BETWEEN HORIZONTALS. IT SHOULD BE INSTALLED NO MORE THAN 45 DEGREES FROM HORIZONTAL. AT LEAST ONE HORIZONTAL BRACE SHOULD BE PROVIDED FOR EVERY "SET" OF TRUSSES WITH IDENTICAL WEB LAYOUTS. IF NOT MORE THAN 3 TRUSSES ARE IDENTICAL, BRACE WEBS FOR SLENDERNESS WITH 2x6 STRONGBACK.
13. IT IS VERY IMPORTANT TO ENSURE THAT TRUSSES HAVE ADEQUATELY DRIED (BELOW 16% MOISTURE CONTENT) PRIOR TO CLOSING THE STRUCTURE IN. SHRINKING AND ARCHING ISSUES MAY OCCUR IF THIS IS NOT DONE.
14. GENERAL CONTRACTOR SHALL SUBMIT ROOF TRUSS SHOP DRAWINGS TO ARCHITECT AND ENGINEER FOR REVIEW AND DESIGN OF REQUIRED UPLIFT CONNECTIONS PRIOR TO FABRICATION.
15. MANUFACTURER SHALL PROVIDE ERECTION DRAWINGS INDICATING ALL BRIDGING AND BRACING REQUIRED BY DESIGN AND ALL MECHANICAL TRUSS TO TRUSS CONNECTIONS.
16. WOOD TRUSSES ARE SHOWN AS A GENERAL LAYOUT ONLY. EXACT PLACEMENT SHALL BE DETERMINED BY MANUFACTURER.

STRUCTURAL DESIGN LOADS table with columns for Category and Load. Includes sections for Roof Live Load, Floor Live Load, Wind Loads, Roof Truss Loads, and Dead Loads.

**CONCRETE:**

- 1. MATERIAL AND WORKMANSHIP FOR ALL CONCRETE AND REINFORCING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT ACI MANUAL OF STANDARD PRACTICE, THE MOST CURRENT EDITION OF THE MICHIGAN BUILDING CODE AND/OR RESIDENTIAL CODE AND THE MOST CURRENT ACI BUILDING CODE REQUIREMENTS.
2. PROVIDE ENTRAINED AIR IN ALL EXPOSED EXTERIOR CONCRETE.
3. OTHER CONCRETE ADMIXTURES MAY BE USED AS NECESSARY, INCLUDING THE USE OF A PLASTICIZER TO IMPROVE WORKABILITY. HOWEVER, EXTRA WATER SHALL NOT BE ADDED BEYOND THAT WHICH IS REQUIRED FOR PROPER HYDRATION OF THE MIX DESIGN BEING USED. CHLORINE IS NOT AN ACCEPTABLE ADMIXTURE AND SHALL NOT BE USED.
4. APPROPRIATE CURING MEASURES SHALL BE TAKEN FOR NEW CONCRETE.
5. COLD WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF ACI 305. WARM WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF ACI 306.
6. SPECIAL INSPECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1704.4 OF THE MICHIGAN BUILDING CODE.
7. GENERAL CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL OPENINGS, SLEEVES, ANCHORS, HANGERS, INSERTS, SLAB DEPRESSIONS AND OTHER ITEMS RELATED TO THE CONCRETE WORK WITH ALL SUBCONTRACTORS AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR PROPER LOCATION BEFORE PLACING CONCRETE. PITCH CONCRETE SLABS AS REQUIRED TO ALL FLOOR DRAINS. ITEMS THAT ARE NOT NOTED ON THE STRUCTURAL DRAWINGS SHALL BE REVIEWED AND APPROVED BY ENGINEERED STRUCTURES, LLC PRIOR TO FABRICATION AND CONSTRUCTION.
8. CONCRETE SLUMP SHALL CONFORM TO ASTM C 143. SUBMIT MIX DESIGN AND MIX HISTORY TO ARCHITECT AND ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
9. CONCRETE SLABS SUPPORTED DIRECTLY ON THE GROUND SHALL BE A MINIMUM OF 4" THICK AND REINFORCED WITH A MINIMUM OF 6x6 W1.4xW1.4 W.W.M. CONFORMING TO ASTM A185 UNLESS NOTED OTHERWISE ON PLANS. INTERIOR SLABS SHALL BE INSTALLED OVER 10-MIL. POLYETHYLENE VAPOR RETARDER WITH EDGES LAPPED NOT LESS THAN 6" IN ALL DIRECTIONS. PROVIDE CONTRACTION / CONSTRUCTION JOINTS IN ALL SLABS ON GRADE AT A MAXIMUM OF 2.5 TIMES THE SLAB THICKNESS ON CENTER. FOR EXAMPLE, 4" SLAB IS A MAXIMUM OF 10'-0" (4 x 2.5) ON CENTER. MAINTAIN WIDTH TO LENGTH RATIO OF NO MORE THAN 1.5. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS SUCH AS FINISHES.
10. PROVIDE CONCRETE COVER OVER REINFORCING BARS AS FOLLOWS (AND IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318) UNLESS NOTED OTHERWISE ON PLANS:
A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH - 3".
B. PERMANENTLY EXPOSED TO EARTH OR WEATHER: #5 AND SMALLER - 1.5" #6 AND LARGER - 2"
C. NOT EXPOSED TO EARTH OR WEATHER: WALLS AND SLABS - 0.75" BEAMS AND COLUMNS - 1.5" CORROSIVE ENVIRONMENT - 2"
11. PROVIDE CONCRETE MIXTURES AS FOLLOWS UNLESS NOTED OTHERWISE ON PLANS:
A. 3,000 psi FOUNDATION WALLS, FOOTINGS, GRADE BEAMS, CONCRETE BEAMS, PIERS, RETAINING WALLS
B. 3,500 psi INTERIOR CONCRETE SLABS ON GRADE, TOPPING SLABS
C. 4,000 psi EXTERIOR CONCRETE
D. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED 6% MINIMUM.
12. ALL EXPOSED EDGES OF CONCRETE PIERS, BEAMS, AND WALLS SHALL BE CHAMFERED 0.75" BY 45 DEGREES.
FOUNDATIONS:
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS AND CONSTRUCTION DOCUMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THERE SHALL BE A MINIMUM OF 6" OF CLEAN GRANULAR SOIL BENEATH ALL SLABS ON GRADE. ALL FILL BENEATH SLABS AND ADJACENT TO FOUNDATION WALLS SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR.
3. UNLESS NOTED OTHERWISE, A 10 MIL VAPOR RETARDER SHALL BE PLACED UNDER ALL SLABS ON GRADE AFTER ALL UNDERGROUND WORK AND COMPACTION IS COMPLETE. SEAL ALL LAPS.
4. EXERCISE CARE WHEN BACKFILLING WALLS. EXCEPT FOR WALLS WITH EQUAL FILL ON BOTH SIDES, NO BACKFILLING OF WALLS SHALL BE DONE UNTIL THE WALL HAS ATTAINED ITS FULL STRENGTH AND HAS BEEN PROPERLY SUPPORTED BY BRACING OR BY A COMPLETED FLOOR OR ROOF STRUCTURE. ALTERNATE FILL WHEN BACKFILLING WALLS WITH FILL N BOTH SIDES.
5. ALL SLABS ON GRADE TO HAVE CONTRACTION / CONSTRUCTION JOINTS AT A MAXIMUM OF 2.5 TIMES THE SLAB THICKNESS ON CENTER. FOR EXAMPLE 4" SLAB IS A MAXIMUM OF 10'-0" (4 x 2.5) ON CENTER. MAINTAIN WIDTH TO LENGTH RATIO OF NO MORE THAN 1.5. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS SUCH AS FINISHES.
6. LAP ALL REINFORCING AS SHOWN IN FOUNDATION DETAILS. PROVIDE CORNER BARS TO MATCH ALL HORIZONTAL REINFORCING. PROVIDE DOWELS FROM FOOTING INTO WALL EQUAL IN SIZE AND NUMBER TO VERTICAL WALL AND PIER REINFORCING. PROVIDE 6" HOOK ON END OF DOWELS UNLESS NOTED OTHERWISE.
7. REFER TO CONCRETE SECTION FOR REINFORCING COVER REQUIREMENTS.
8. PROVIDE BEAM POCKETS IN WALLS AS REQUIRED. FILL POCKET IN WITH CONCRETE ONCE BEAM IS IN PLACE.
9. COORDINATE PLACEMENT OF ANCHOR BOLTS WITH FOUNDATION REINFORCING. ALL ANCHOR BOLTS WILL BE FURNISHED BY THE STEEL FABRICATOR AND INSTALLED BY THE FOUNDATION CONTRACTOR USING TEMPLATES AND SETTINGS DRAWINGS. NO TILTED OR MISPLACED BOLTS WILL BE ACCEPTED. NOTIFY ARCHITECT AND ENGINEERED STRUCTURES, LLC FOR APPROVAL ON ANY CORRECTIVE ACTION. TOLERANCES FOR THE INSTALLATION OF THE ANCHOR BOLTS SHALL BE IN ACCORDANCE WITH AISC "CODE OF STANDARD PRACTICE" GUIDELINES.
10. SPECIAL INSPECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1704.4 OF THE MICHIGAN BUILDING CODE.
11. FOOTINGS SHALL BEAR AT LEAST 3'-6" BELOW FINISH GRADE REGARDLESS OF DIMENSIONS SHOWN ON CONSTRUCTION DOCUMENTS. FOOTINGS MUST ALSO BEAR ON SOIL COMPACTED PER RECOMMENDATIONS OF GEOTECHNICAL ENGINEER.
12. FOUNDATION WALLS AND GRADE BEAMS SHALL HAVE A MINIMUM OF TWO (2) #5 BARS CONTINUOUS TOP AND BOTTOM OF WALL TYPICAL UNLESS NOTED OTHERWISE ON PLANS.
13. PROVIDE DIAGONAL CONCRETE REINFORCING AROUND OPENINGS IN SLABS AND WALLS OF ONE #5 BAR BY 40" LONG FOR EACH 4" OF THICKNESS. LAP ALL SPLICES IN CONCRETE REINFORCING MINIMUM 24 BAR DIAMETERS.
14. PROVIDE CORNER BARS FOR ALL HORIZONTAL CONCRETE REINFORCING WITH LEG LENGTHS OF 48 BAR DIAMETERS MINIMUM.
15. PROVIDE DOWELS FROM FOOTING INTO WALLS EQUAL IN SIZE AND NUMBER TO MATCH VERTICAL WALL OR PIER REINFORCING UNLESS NOTED OTHERWISE ON PLANS.

**GENERAL REQUIREMENTS:**

- 1. CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE MICHIGAN BUILDING CODE, LATEST EDITION OF THE MICHIGAN RESIDENTIAL CODE, AND THE LATEST EDITION OF NFPA 90A. DETAILS OF CONSTRUCTION NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITIONS. ANY UNCLEAR CONDITIONS SHALL BE VERIFIED WITH THE ARCHITECT AND/OR ENGINEER PRIOR TO CONSTRUCTION.
2. THESE DOCUMENTS ARE INTENDED FOR THE WORK SHOWN ON THIS PROJECT ONLY AND ARE NOT TO BE USED FOR ADDITION(S) TO THIS PROJECT OR OTHER NEW PROJECTS.
3. SHOP DRAWINGS ARE REQUIRED FOR ALL MATERIALS AS OUTLINED IN THESE NOTES. WAIVER OF SHOP DRAWING SUBMITTAL BY THE ARCHITECT DOES NOT RELIEVE THE CONTRACTOR OR MANUFACTURER FROM THE RESPONSIBILITY OF SUPPLYING OR INSTALLING ALL NECESSARY COMPONENTS FOR A COMPLETE SYSTEM.
4. SPECIAL INSPECTIONS SHALL BE PROVIDED AS NOTED IN THE ARCHITECTURAL SPECIFICATIONS, IF ANY, AND IN ACCORDANCE WITH SECTION 1704 OF THE MICHIGAN BUILDING CODE. THE BUILDING OWNER IS SOLELY RESPONSIBLE FOR EMPLOYING THE SPECIAL INSPECTORS.
5. IF ANY NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, NOTIFY ARCHITECT AND ENGINEER FOR CLARIFICATION.
6. THE STRUCTURAL DRAWINGS ARE FOR THE PLACEMENT AND SIZE OF STRUCTURAL COMPONENTS ONLY. OSHA, DNR AND SAFETY CODE REQUIREMENTS ARE DETERMINED AND PROVIDED BY OTHERS. ENGINEERED STRUCTURES, LLC IS NOT RESPONSIBLE FOR JOBSITE SAFETY, CONSTRUCTION SEQUENCE, OR ERECTION PROCEDURES.
7. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION, THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS IF NECESSARY. THIS ALSO INCLUDES BRACING EXCAVATIONS TO PREVENT CAVE IN. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.
8. USE OF THE STRUCTURAL CONSTRUCTION DOCUMENTS AS ERECTION DRAWINGS BY THE CONTRACTOR IS STRICTLY PROHIBITED.
9. ANY QUESTIONABLY PLACED ITEMS SUCH AS MISALIGNED ANCHOR BOLTS, OFF CENTER BEARING PLATES, ETCETERA SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY FOR REVIEW.
10. ALTHOUGH EVERY ATTEMPT HAS BEEN MADE TO COVER ALL POSSIBLE CONDITIONS, THERE MAY BE CONDITIONS THAT WERE NOT DETAILED. SUCH CONDITIONS ARE TO BE OF THE SAME NATURE AS SIMILAR CONDITIONS. IF THERE IS ANY QUESTION, NOTIFY THE ENGINEER IMMEDIATELY BEFORE PROCEEDING WITH CONSTRUCTION.
11. ANY DIMENSIONS THAT ARE NOTED AS "FIELD VERIFY" ON THE CONSTRUCTION DOCUMENTS AS WELL AS EXISTING CONDITIONS AND THEIR RELATED DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND SUBMITTED TO THE ARCHITECT AND ENGINEER FOR REVIEW PRIOR TO FABRICATION, ERECTION, AND COMMENCEMENT OF CONSTRUCTION. WORK MAY CONTINUE ONCE APPROVAL AND/OR ANY REVISIONS ARE RETURNED TO THE CONTRACTOR.
12. THE STRUCTURAL DRAWINGS HAVE BEEN DRAWN TO SHOW THE REQUIRED SIZES, MATERIAL PROPERTIES, METHODS OF CONNECTION, ETC TO WITHSTAND THE PROPER GRAVITY AND LATERAL LOADS AS OUTLINED IN THESE NOTES. ANY DEVIATION FROM OR ALTERATION TO THESE, WITHOUT WRITTEN CONSENT FROM ENGINEERED STRUCTURES, LLC, RESOLVES ENGINEERED STRUCTURES, LLC FROM ANY RESPONSIBILITY. ANY REVISIONS OR ALTERATIONS MUST BE APPROVED BY ENGINEERED STRUCTURES, LLC PRIOR TO COMMENCING WITH THE PROPOSED WORK.
13. ENGINEERED STRUCTURES, LLC MUST APPROVE ANY MODIFICATIONS, SUCH AS OPENINGS OR PENETRATIONS, TO STRUCTURAL MEMBERS THAT ARE NOT SHOWN ON THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

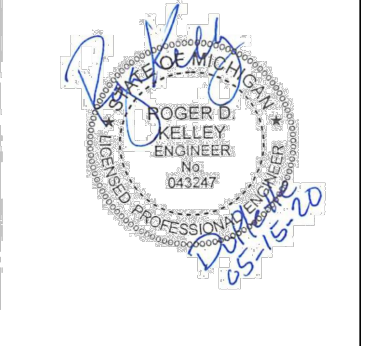
**SITE WORK:**

- 1. FOUNDATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY McDOWELL & ASSOCIATES DATED DECEMBER 21, 2017.
2. ANY FROZEN SOIL, SOFT SOIL, AND/OR FILL ZONES ENCOUNTERED AT THE BEARING LEVELS OF THE FOUNDATIONS SHALL BE REMOVED AND REWORKED, UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER, TO PROVIDE SUITABLE BEARING MATERIAL.
3. FOUNDATIONS SHALL BE INSPECTED AS REQUIRED BY SECTION 1704.3 OF THE MICHIGAN BUILDING CODE.
4. STRUCTURAL STEEL SHALL BE INSPECTED AS REQUIRED BY SECTION 1704.3 OF THE MICHIGAN BUILDING CODE.
5. ALL SHOP AND FIELD WELDING SHALL BE MADE IN ACCORDANCE WITH A.W.S. D1.1 "STRUCTURAL WELDING CODE" AND SHALL BE MADE BY QUALIFIED "CERTIFIED" WELDERS. TYPICAL ELECTRODE USED SHALL BE E70XX UNLESS NOTED OTHERWISE.
6. FABRICATOR SHALL BE RESPONSIBLE FOR THE DESIGN AND ADEQUACY OF ALL CONNECTIONS THAT ARE NOT DESIGNED OR FULLY DETAILED ON THE DRAWINGS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR REVIEW PRIOR TO STEEL FABRICATION.
7. TYPICAL BEAM CONNECTIONS SHALL BE STANDARD AISC FRAMED BEAM CONNECTIONS, TYPICAL UNLESS NOTED OTHERWISE. ALL FIELD CONNECTIONS, EXCEPT WHERE SHOWN WELDED, SHALL BE BOLTED WITH 3/4" DIAMETER ASTM A325N HIGH STRENGTH BOLTS TYPICAL UNLESS NOTED OTHERWISE.
8. ALL COPED BEAMS TO BE DESIGNED IN ACCORDANCE WITH THE AISC STEEL CONSTRUCTION MANUAL LATEST EDITION. PROVIDE WEB REINFORCING AS REQUIRED. ALL RE-ENTRANT CORNERS TO BE SHAPED, NOTCH FREE, WITH A 1/2" RADIUS MINIMUM.
9. STRUCTURAL STEEL SHALL MEET THE FOLLOWING MINIMUM YIELD STRENGTHS AND SPECIFICATIONS:
A. WIDE FLANGE BEAMS 50 ksi ASTM A992
B. STRUCTURAL STEEL TUBING (HSS) 46 ksi ASTM A500 GRADE B
C. ANCHOR RODS 36 ksi ASTM A307
D. HEADED STUD ANCHORS 50 ksi ASTM A108 (GRADES 1010-1020)
E. STRUCTURAL BOLTS ASTM A325N
F. BARS AND PLATES 36 ksi ASTM A36

**STRUCTURAL STEEL:**

- 1. STEEL DESIGN, FABRICATION AND ERECTION IS TO BE IN ACCORDANCE WITH THE LATES AISC SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS.
2. BEAMS WITHOUT A SPECIFIED CAMBER SHALL BE ORIENTED SUCH THAT ANY INCIDENTAL CAMBER IS UPWARD. TOLERANCE FROM NOTED CAMBER SHALL BE +0 TO -3/8".
3. BOLTED CONNECTIONS NOT SPECIFIED AS SLIP CRITICAL (SC) SHALL BE TIGHTENED SNUG TIGHT.
4. STRUCTURAL STEEL SHALL BE INSPECTED AS REQUIRED BY SECTION 1704.3 OF THE MICHIGAN BUILDING CODE.
5. ALL SHOP AND FIELD WELDING SHALL BE MADE IN ACCORDANCE WITH A.W.S. D1.1 "STRUCTURAL WELDING CODE" AND SHALL BE MADE BY QUALIFIED "CERTIFIED" WELDERS. TYPICAL ELECTRODE USED SHALL BE E70XX UNLESS NOTED OTHERWISE.
6. FABRICATOR SHALL BE RESPONSIBLE FOR THE DESIGN AND ADEQUACY OF ALL CONNECTIONS THAT ARE NOT DESIGNED OR FULLY DETAILED ON THE DRAWINGS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR REVIEW PRIOR TO STEEL FABRICATION.
7. TYPICAL BEAM CONNECTIONS SHALL BE STANDARD AISC FRAMED BEAM CONNECTIONS, TYPICAL UNLESS NOTED OTHERWISE. ALL FIELD CONNECTIONS, EXCEPT WHERE SHOWN WELDED, SHALL BE BOLTED WITH 3/4" DIAMETER ASTM A325N HIGH STRENGTH BOLTS TYPICAL UNLESS NOTED OTHERWISE.
8. ALL COPED BEAMS TO BE DESIGNED IN ACCORDANCE WITH THE AISC STEEL CONSTRUCTION MANUAL LATEST EDITION. PROVIDE WEB REINFORCING AS REQUIRED. ALL RE-ENTRANT CORNERS TO BE SHAPED, NOTCH FREE, WITH A 1/2" RADIUS MINIMUM.
9. STRUCTURAL STEEL SHALL MEET THE FOLLOWING MINIMUM YIELD STRENGTHS AND SPECIFICATIONS:
A. WIDE FLANGE BEAMS 50 ksi ASTM A992
B. STRUCTURAL STEEL TUBING (HSS) 46 ksi ASTM A500 GRADE B
C. ANCHOR RODS 36 ksi ASTM A307
D. HEADED STUD ANCHORS 50 ksi ASTM A108 (GRADES 1010-1020)
E. STRUCTURAL BOLTS ASTM A325N
F. BARS AND PLATES 36 ksi ASTM A36

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY
PHASE 1 LLC
1092 Woodward Ave.
Detroit, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.
333 CONGRESS ST. FLOOR 6
BOSTON, MA 02210
P: 617.677.0282

**STRUCTURAL ENGINEER**



ENGINEERED STRUCTURES, LLC
P: 616.887.9820
e: ds2@geomast.net

MERGE ARCHITECTS, INC.

Brush Park DuPlette

One Edmund Place, between Brust St. and John R. St. Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:
SCALE: 1/8" = 1'-0"
DATE: 05/15/20

DRAWING TITLE
STRUCTURAL NOTES AND LOADING

SHEET NO.

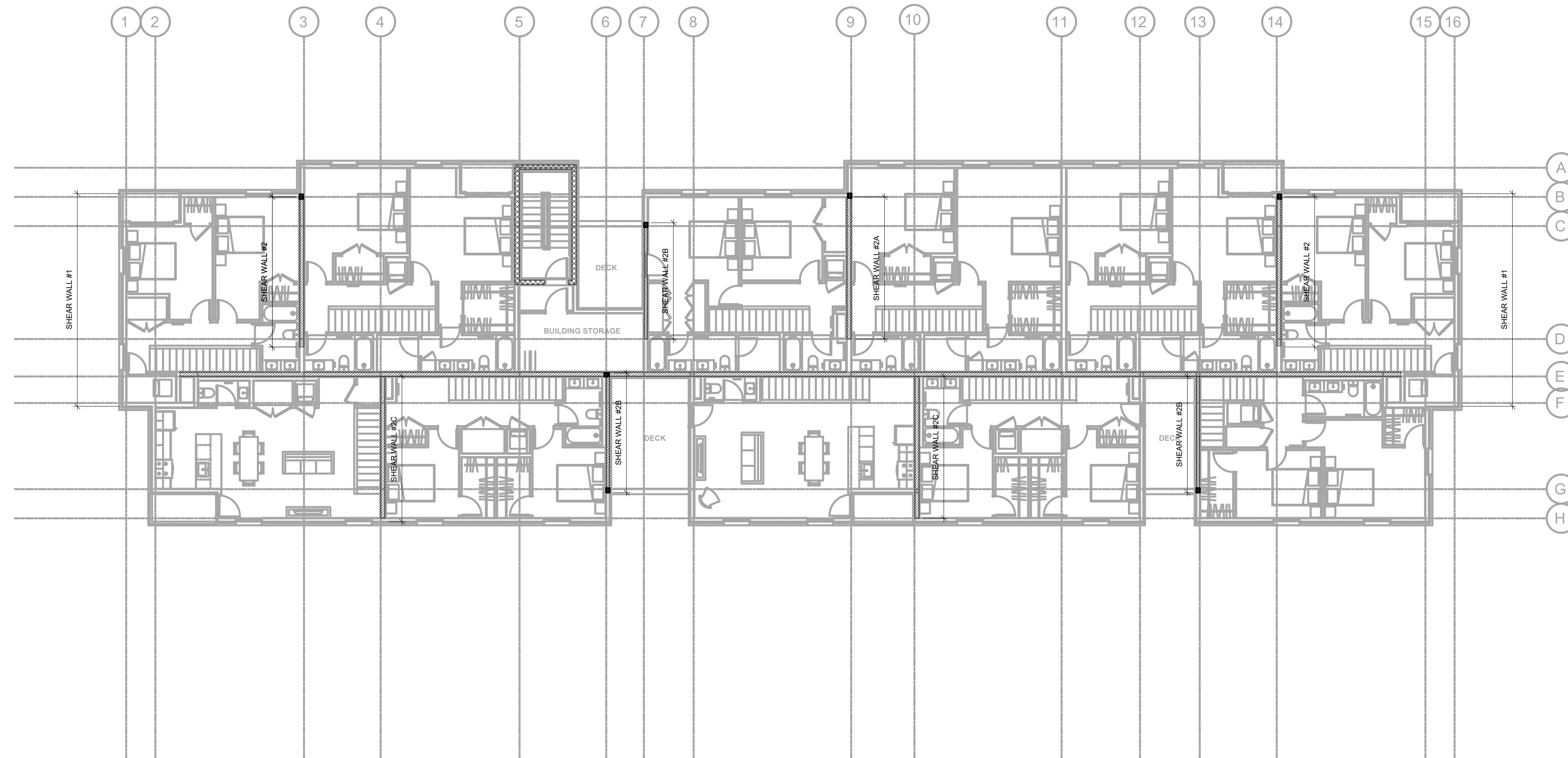
S-106

100% CD / PERMIT SET

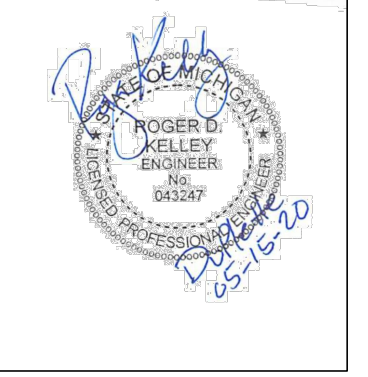


GENERAL SHEAR WALL NOTES -

1.  $\frac{3}{4}$ " APA RATED EXPOSURE 1 SHEATHING ONE SIDE OF WALL AS SHOWN UNLESS NOTED OTHERWISE. BLOCK BETWEEN STUDS AT ALL SHEET EDGES. NAIL ALL SHEET EDGES WITH #4 @ 3" O.C. UNLESS NOTED OTHERWISE ON ELEVATIONS.
2.  $\frac{3}{4}$ " DIAMETER ANCHOR BOLTS @ 48" O.C. UNLESS NOTED OTHERWISE.
3. TYPICAL EPOXY ANCHOR TO BE  $\frac{3}{4}$ " DIAMETER F1554 GRADE 36 THREADED ROD EPOXIED WITH 6" EMBEDMENT INTO A CLEAN - DRY HOLE USING HILTI HIT HY200 ADHESIVE FOLLOWING HILTI'S WRITTEN INSTALLATION INSTRUCTIONS.



REGISTRATION



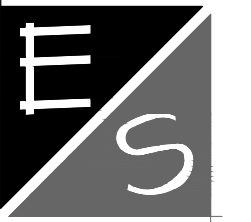
OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1, LLC  
 1092 Woodward Ave.  
 Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617.870.0285

STRUCTURAL ENGINEER



ENGINEERED STRUCTURES, LLC  
 T: 616.887.9620  
 es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park DuPlette**

One Edmund Place, between Brust St.  
 and John R. St.  
 Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:

SCALE: 1/8" = 1'-0"

DATE: 05/15/20

DRAWING TITLE

**SHEAR WALL LOCATION  
 PLAN 4TH FLOOR**

SHEET NO.

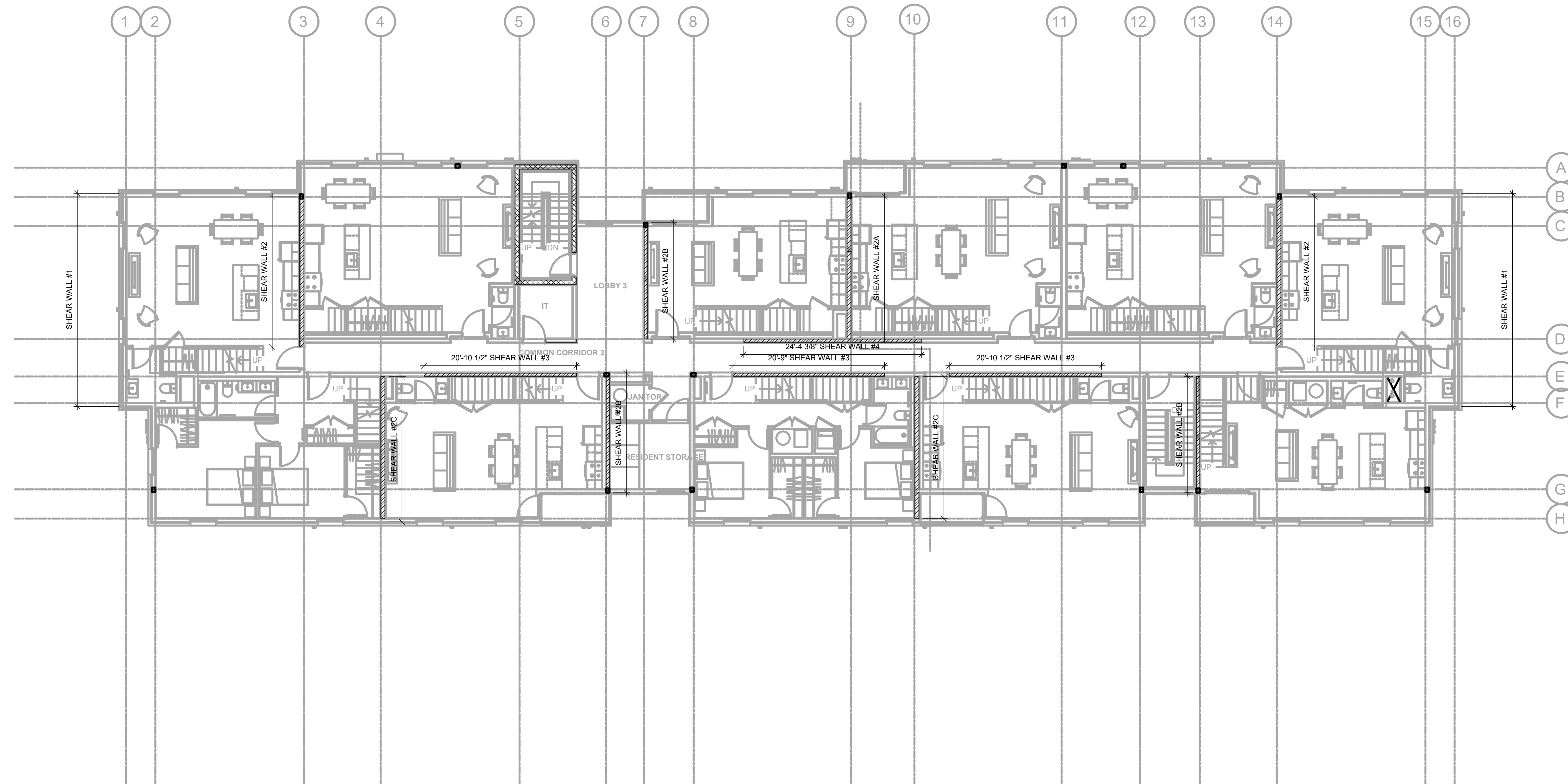
**S-107**

100% CD / PERMIT SET

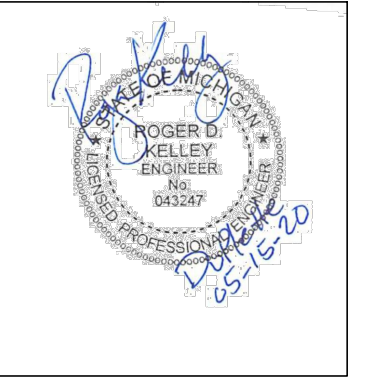


GENERAL SHEAR WALL NOTES -

1.  $\frac{3}{4}$ " APA RATED EXPOSURE 1 SHEATHING ONE SIDE OF WALL AS SHOWN UNLESS NOTED OTHERWISE. BLOCK BETWEEN STUDS AT ALL SHEET EDGES. NAIL ALL SHEET EDGES WITH 8d @ 6" O.C. UNLESS NOTED OTHERWISE ON ELEVATIONS.
2.  $\frac{3}{4}$ " DIAMETER ANCHOR BOLTS @ 48" O.C. UNLESS NOTED OTHERWISE.
3. TYPICAL EPOXY ANCHOR TO BE  $\frac{3}{4}$ " DIAMETER F1554 GRADE 36 THREADED ROD EPOXIED WITH 6" EMBEDMENT INTO A CLEAN - DRY HOLE USING HILTI HIT HY200 ADHESIVE FOLLOWING HILTI'S WRITTEN INSTALLATION INSTRUCTIONS.



REGISTRATION



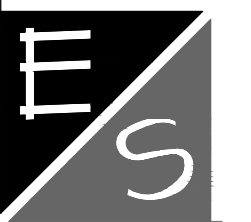
OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1, LLC  
 1092 Woodward Ave.  
 Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617.870.0265

STRUCTURAL ENGINEER



ENGINEERED STRUCTURES, LLC  
 T: 616.887.9620  
 es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park DuPlette**  
 One Edmund Place, between Brust St.  
 and John R. St.  
 Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:

SCALE: 1/8" = 1'-0"

DATE: 05/15/20

DRAWING TITLE

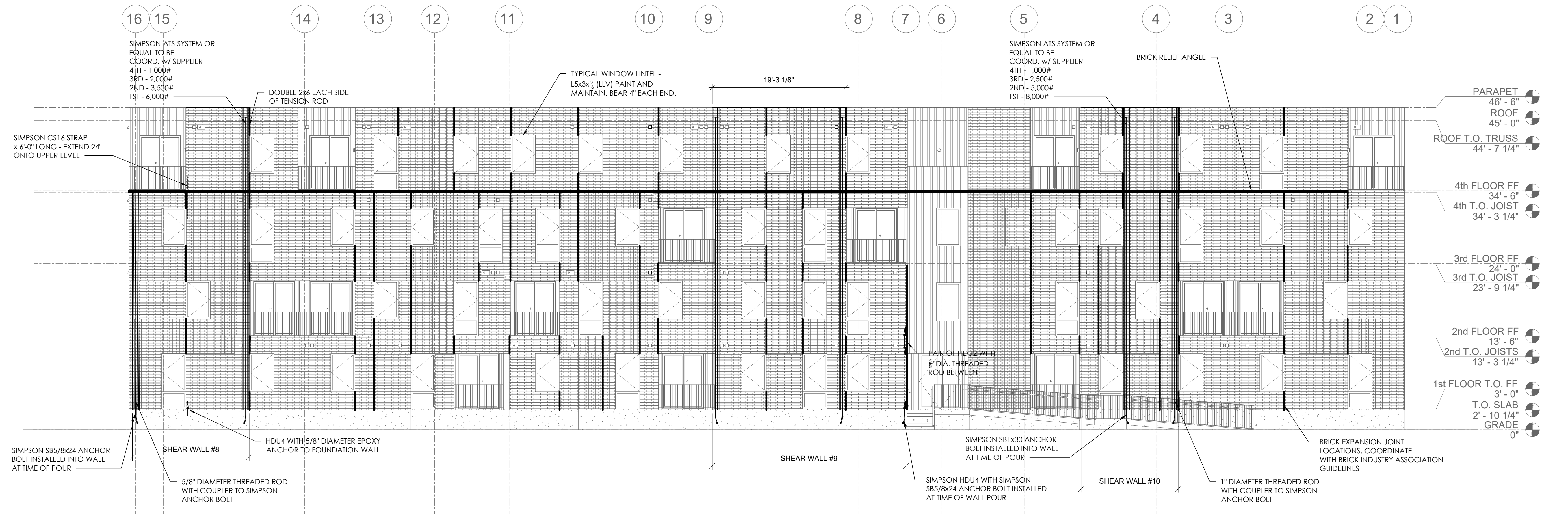
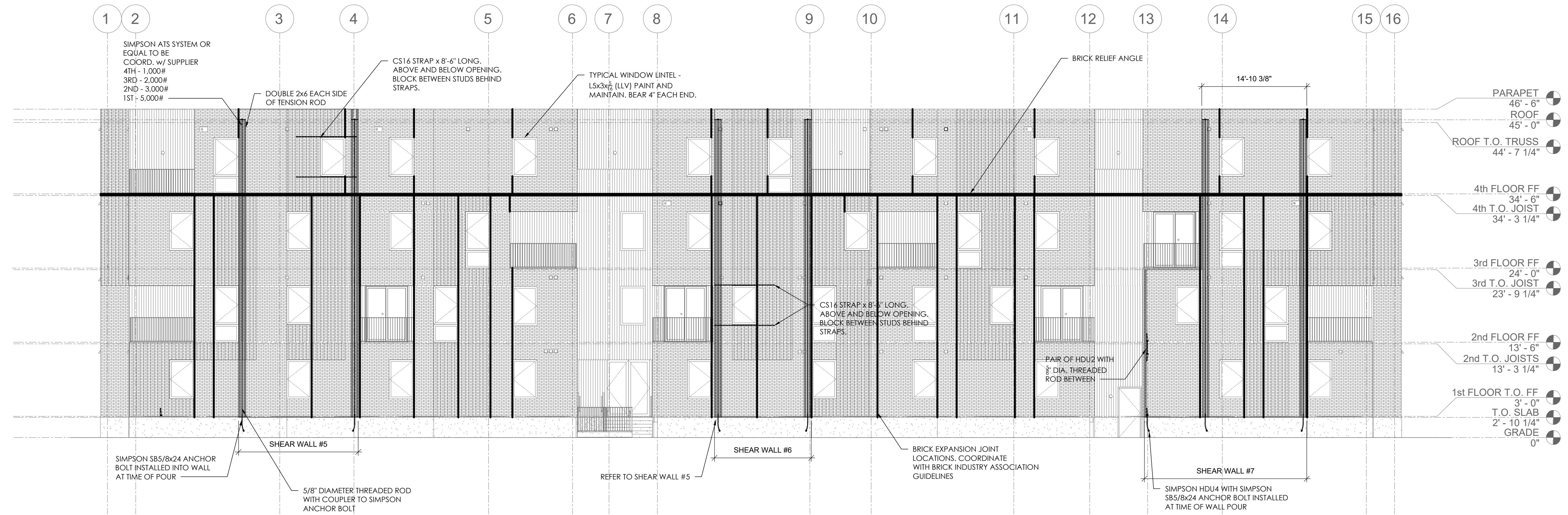
**SHEAR WALL LOCATION  
 PLAN FLOORS 1, 2, 3**

SHEET NO.

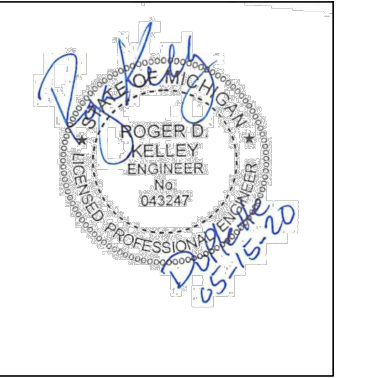
**S-108**

100% CD / PERMIT SET





REGISTRATION



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1, LLC  
1092 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0263

**STRUCTURAL ENGINEER**



ENGINEERED STRUCTURES, LLC  
T: 616.887.9650  
es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park DuPlette**

One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:  
SCALE: 1/8" = 1'-0"  
DATE: 05/15/20

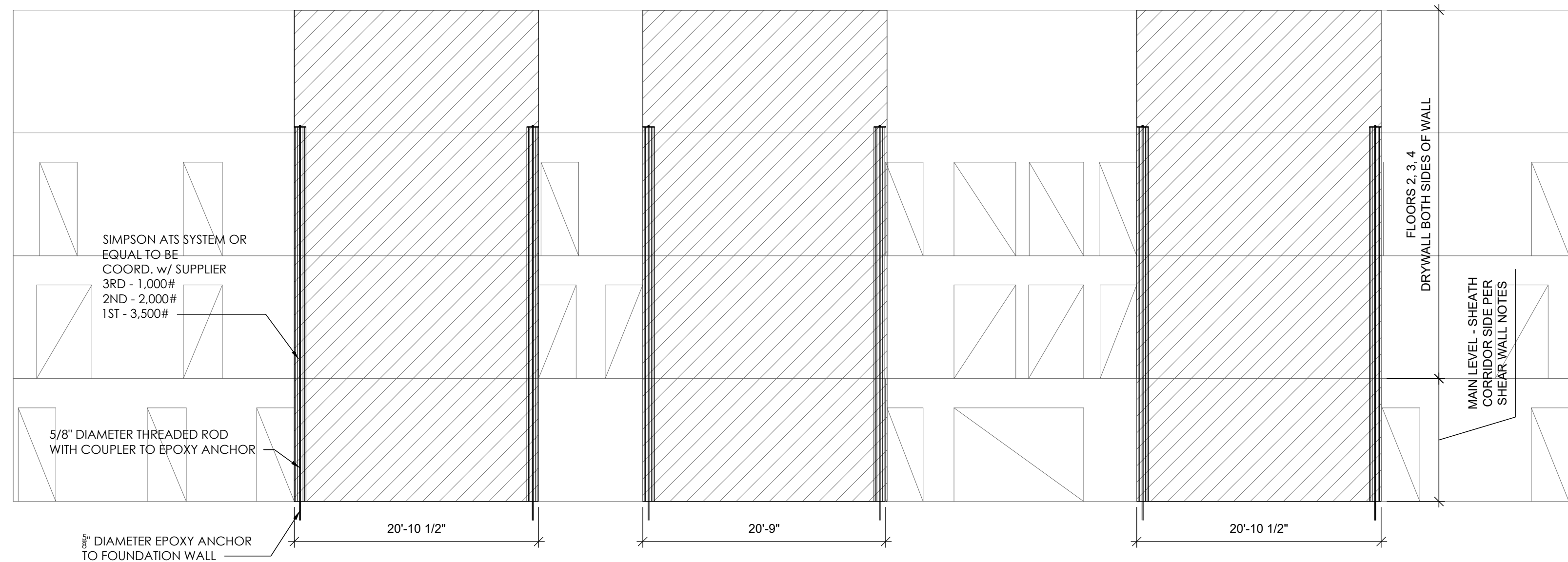
DRAWING TITLE  
**SHEAR WALL AND LINTEL ELEVATIONS**

SHEET NO.

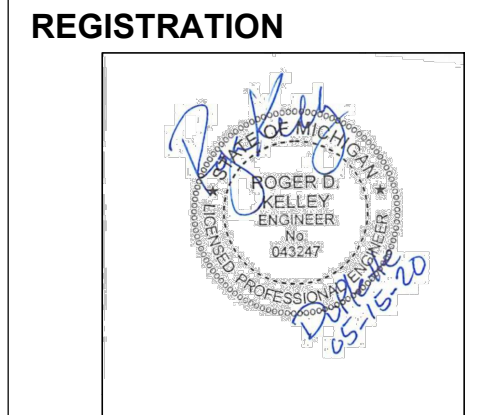
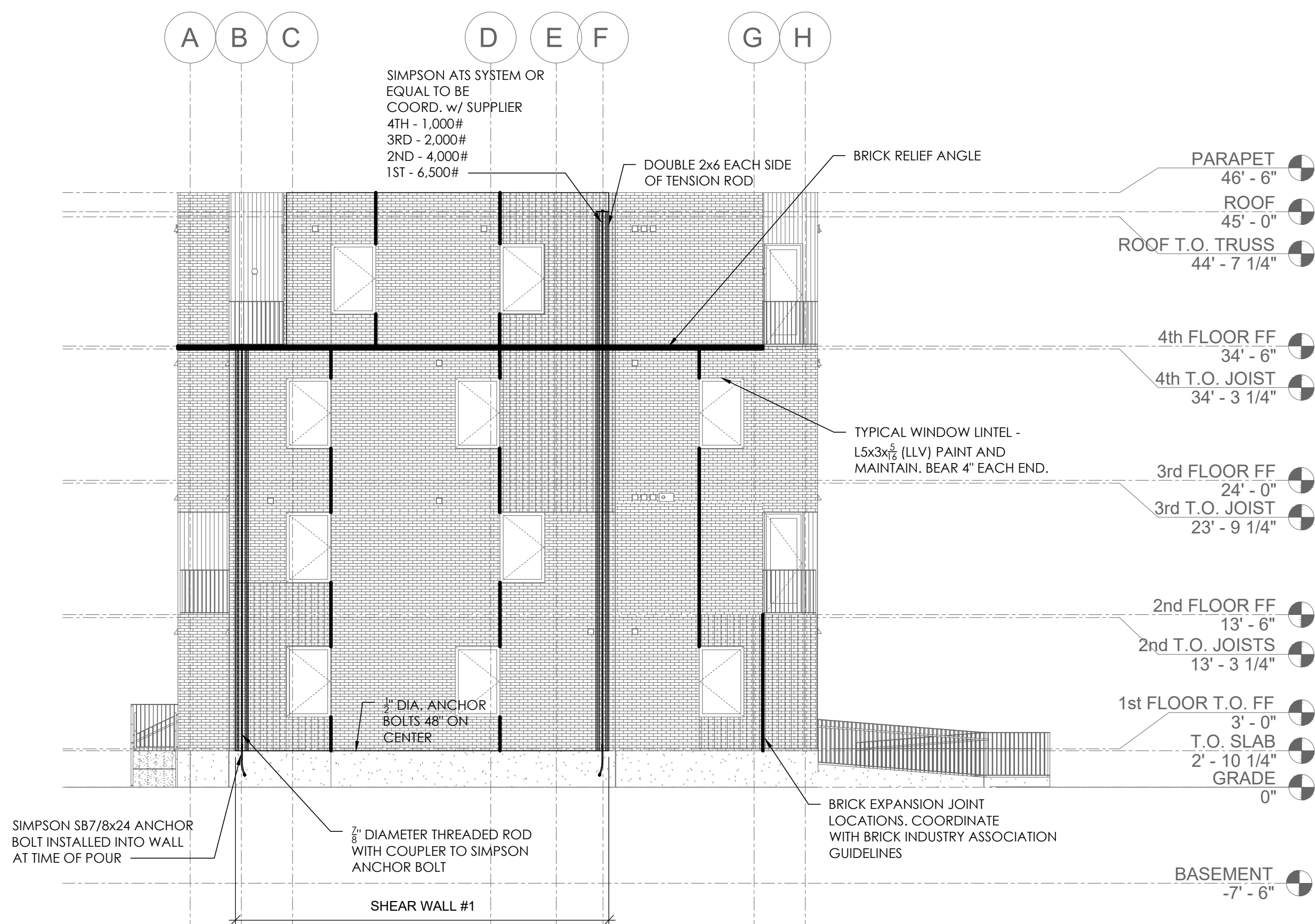
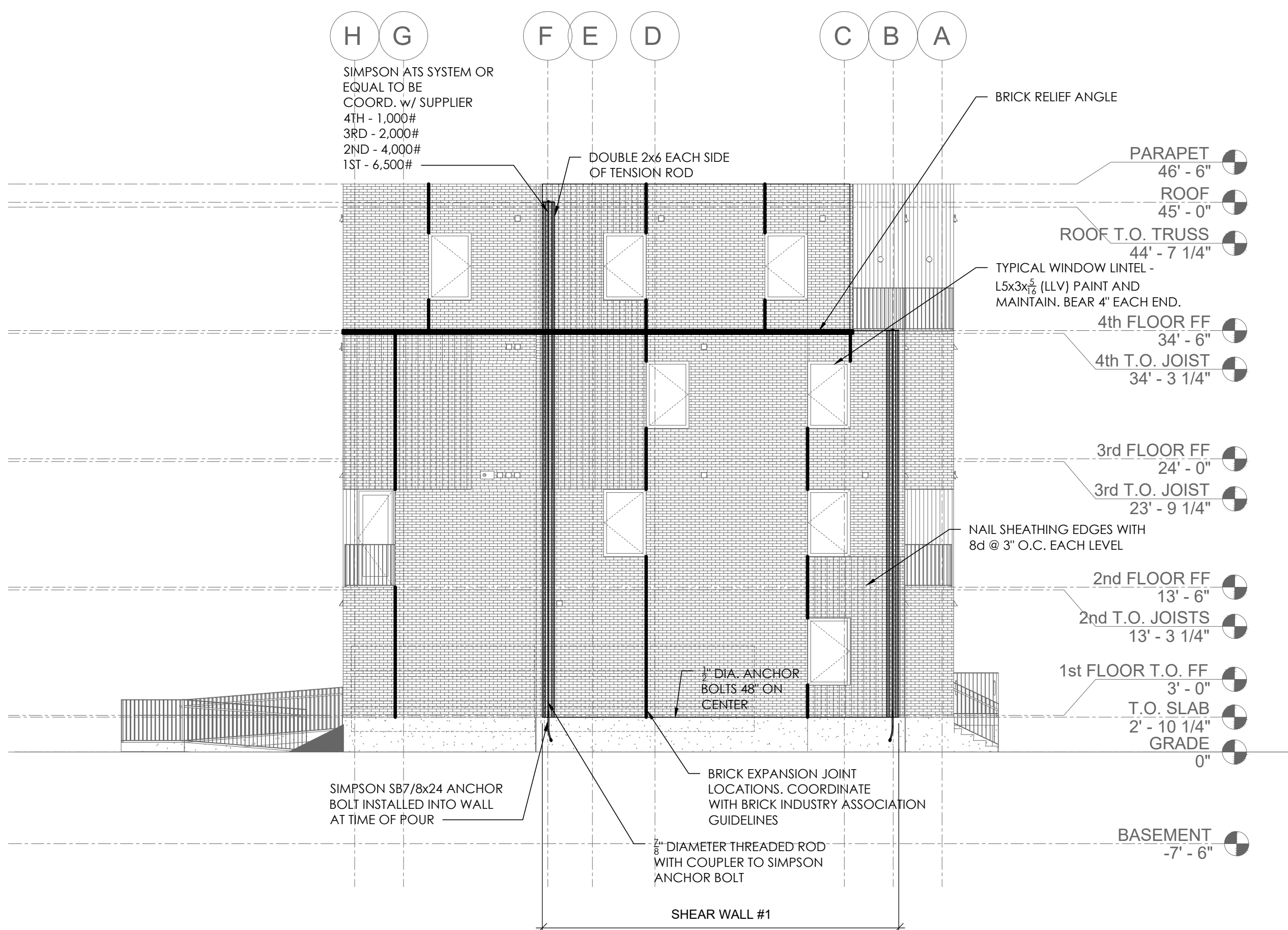
**S-109**

100% CD / PERMIT SET



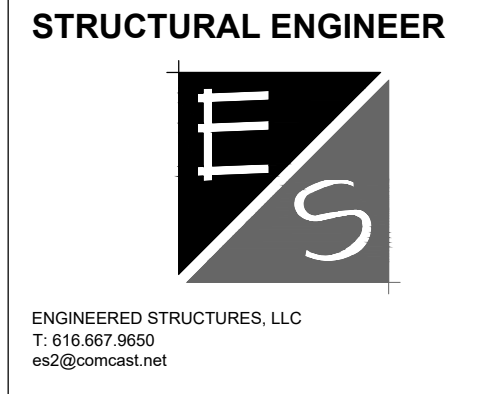


**Shear Wall #3 Elevation Looking South**



**OWNER**  
 BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1, LLC  
 1092 Woodward Ave.  
 Detroit, MI 48226

**ARCHITECT**  
 MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617.870.0265



MERGE ARCHITECTS INC

**Brush Park DuPlette**  
 One Edmund Place, between Brust St.  
 and John R. St.  
 Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:  
 SCALE: 1/8" = 1'-0"  
 DATE: 05/15/20

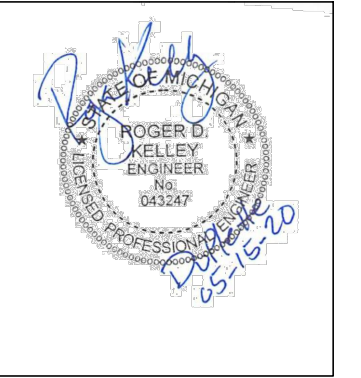
DRAWING TITLE  
**SHEAR WALL AND LINTEL ELEVATIONS**

SHEET NO.  
**S-110**

100% CD / PERMIT SET



REGISTRATION



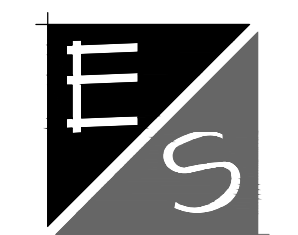
OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1, LLC  
 1092 Woodward Ave.  
 Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617.670.0265

STRUCTURAL ENGINEER



ENGINEERED STRUCTURES, LLC  
 T: 616.887.9620  
 es2@comcast.net

MERGE ARCHITECTS INC

Brush Park DuPlette

One Edmund Place, between Brust St.  
 and John R. St.  
 Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

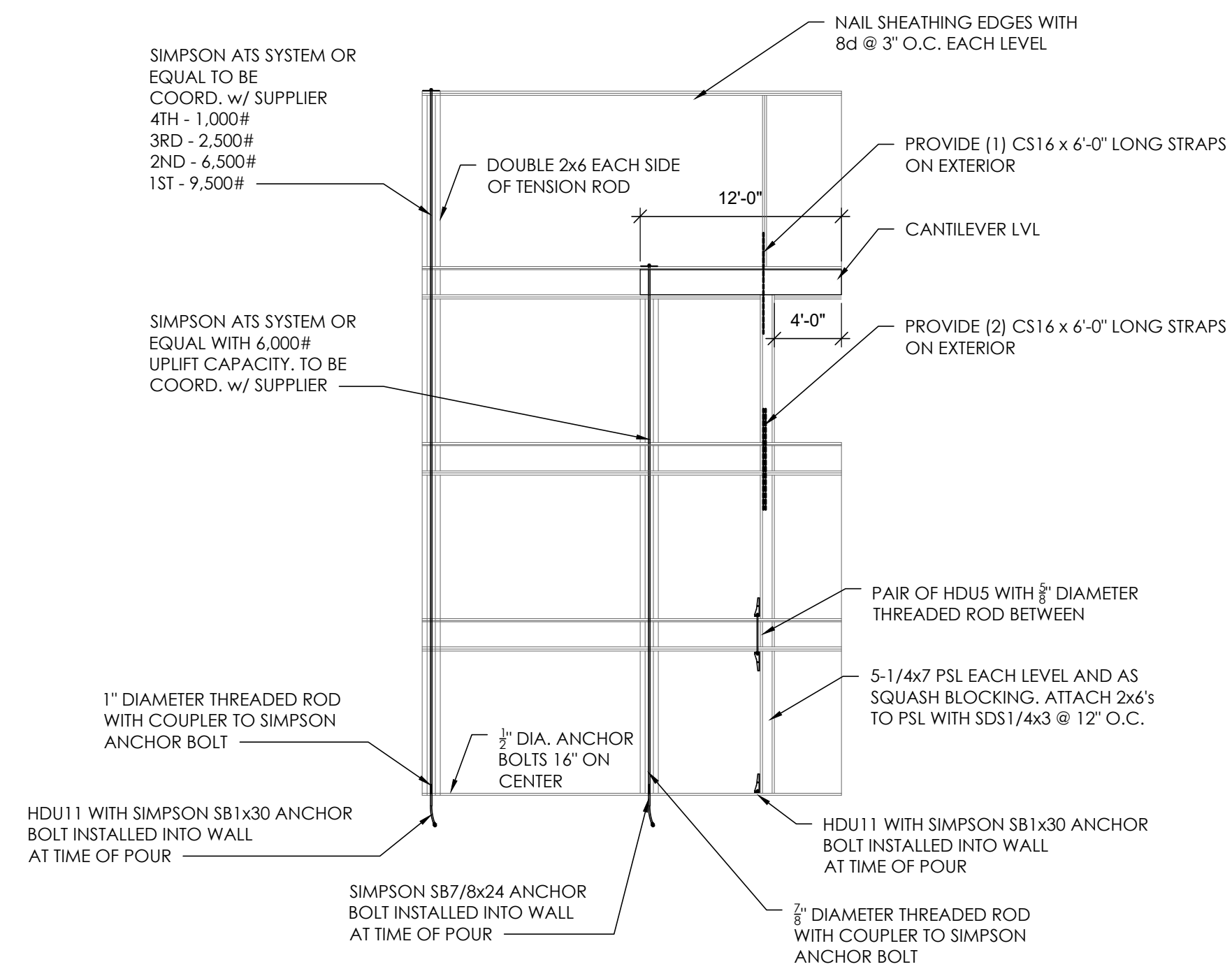
JOB NO.:  
 SCALE: 1/8" = 1'-0"  
 DATE: 05/15/20

DRAWING TITLE  
**SHEAR WALL ELEVATIONS**

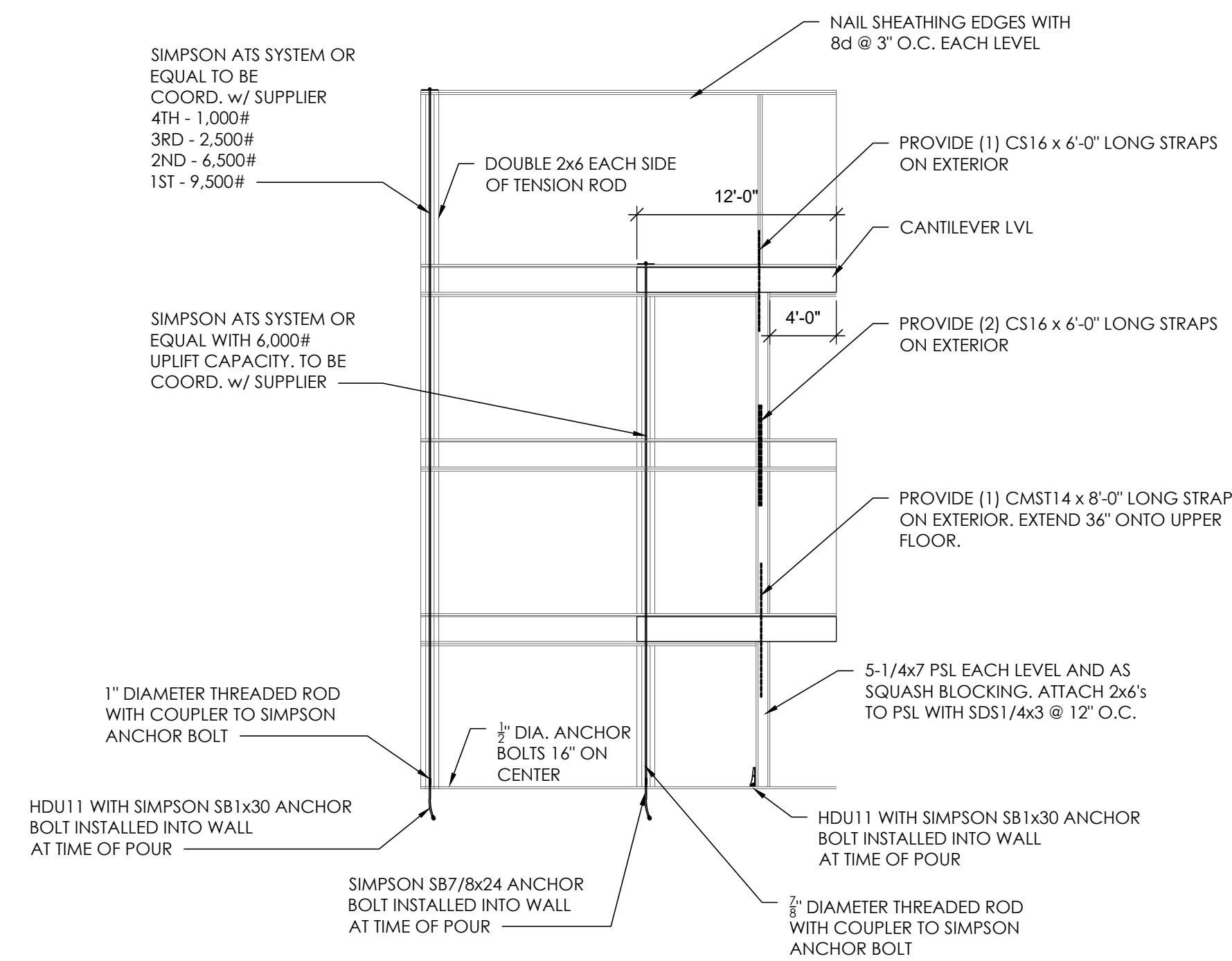
SHEET NO.

**S-111**

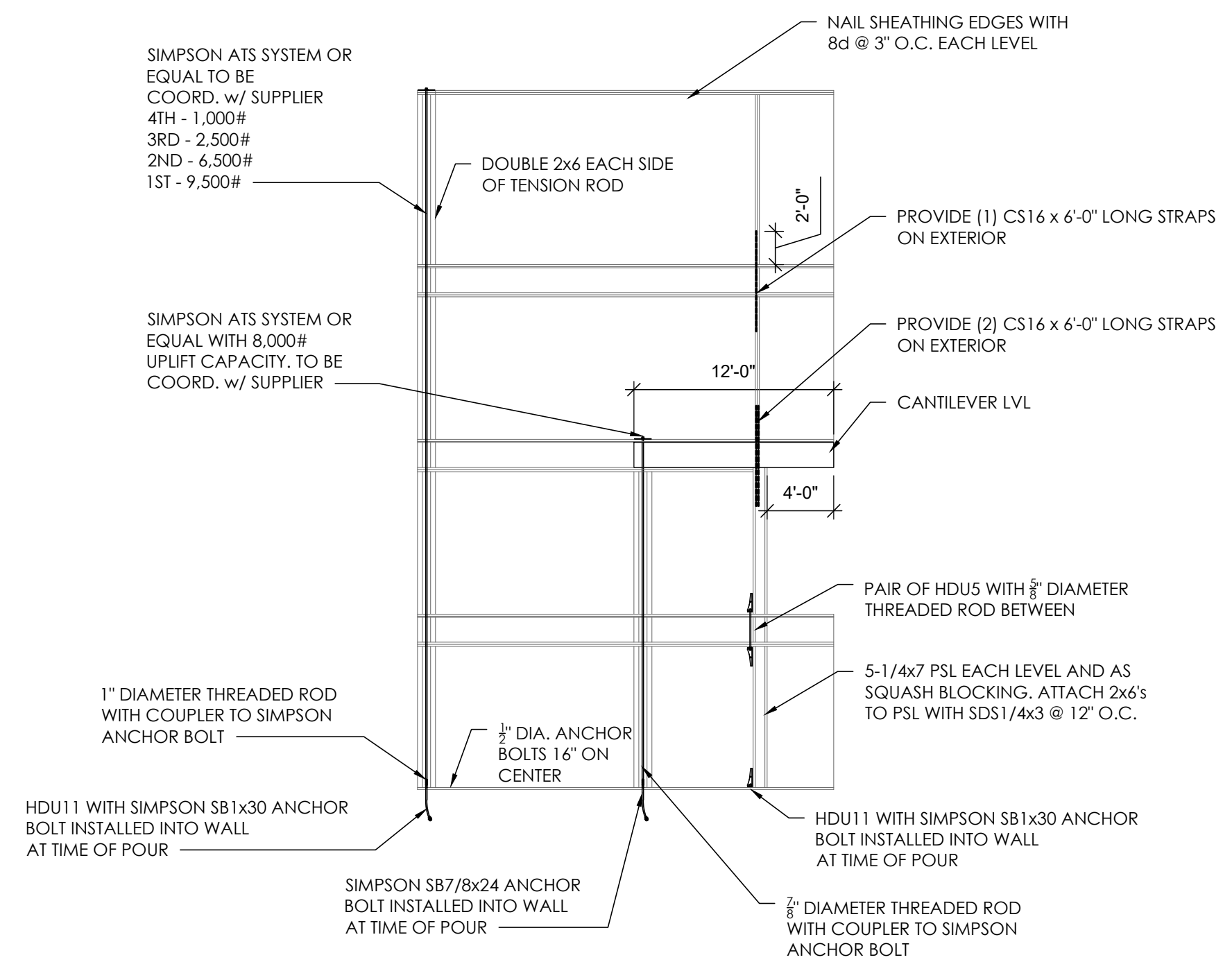
100% CD / PERMIT SET



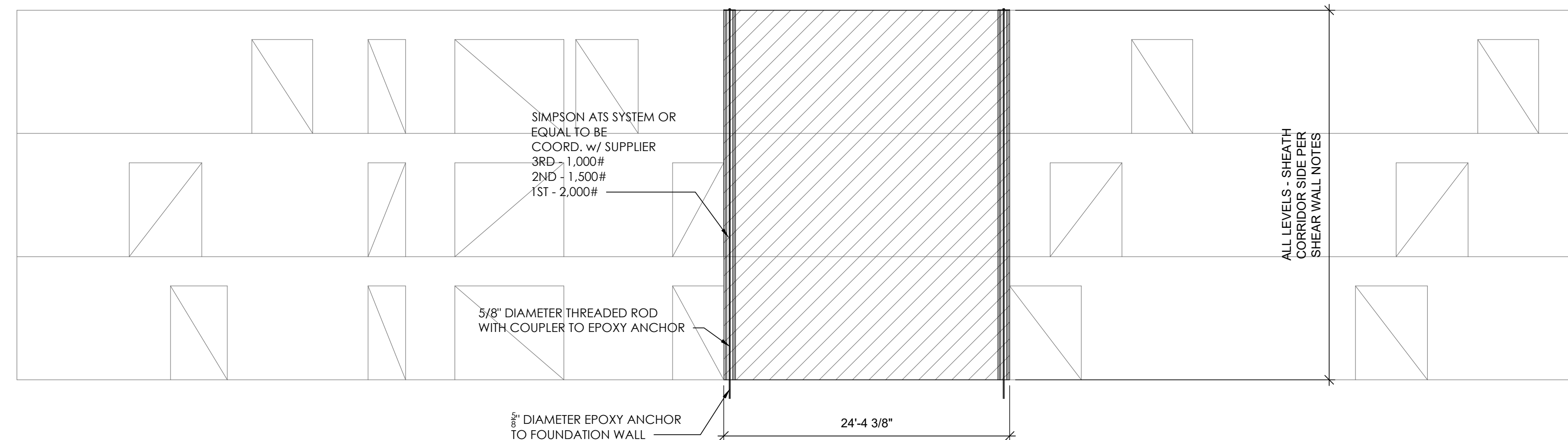
**SHEAR WALL #2B ELEVATION**



**SHEAR WALL #2A ELEVATION**



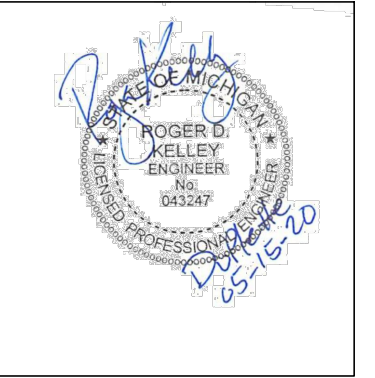
**SHEAR WALL #2 ELEVATION**



**SHEAR WALL #4 ELEVATION LOOKING NORTH**



**REGISTRATION**



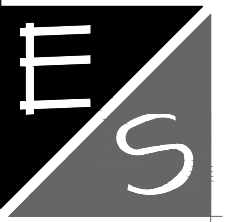
**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1, LLC  
 1092 Woodward Ave.  
 Detroit, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
 232 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617.870.0265

**STRUCTURAL ENGINEER**

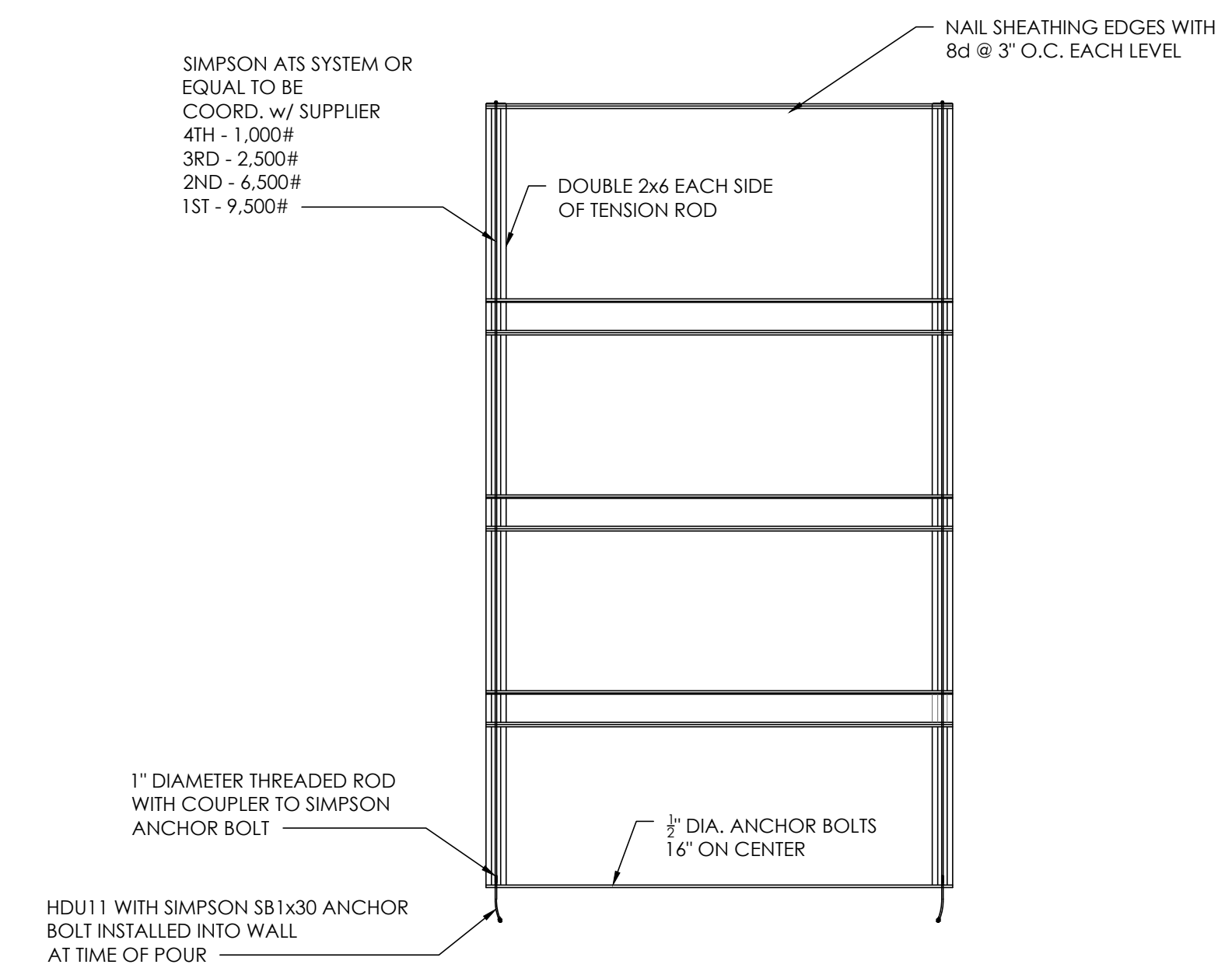


ENGINEERED STRUCTURES, LLC  
 T: 616.887.9650  
 es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park DuPlette**

One Edmund Place, between Brust St.  
 and John R. St.  
 Detroit, MI 48201



**SHEAR WALL #2C ELEVATION**

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:	
SCALE:	1/8" = 1'-0"
DATE:	05/15/20

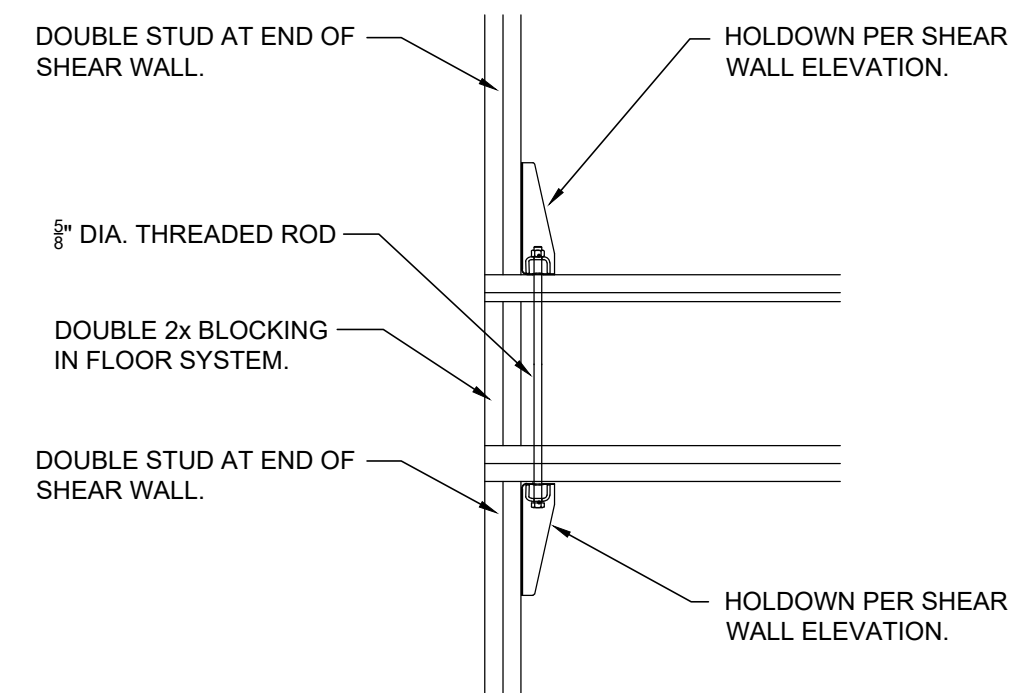
DRAWING TITLE  
**SHEAR WALL ELEVATIONS**

SHEET NO.

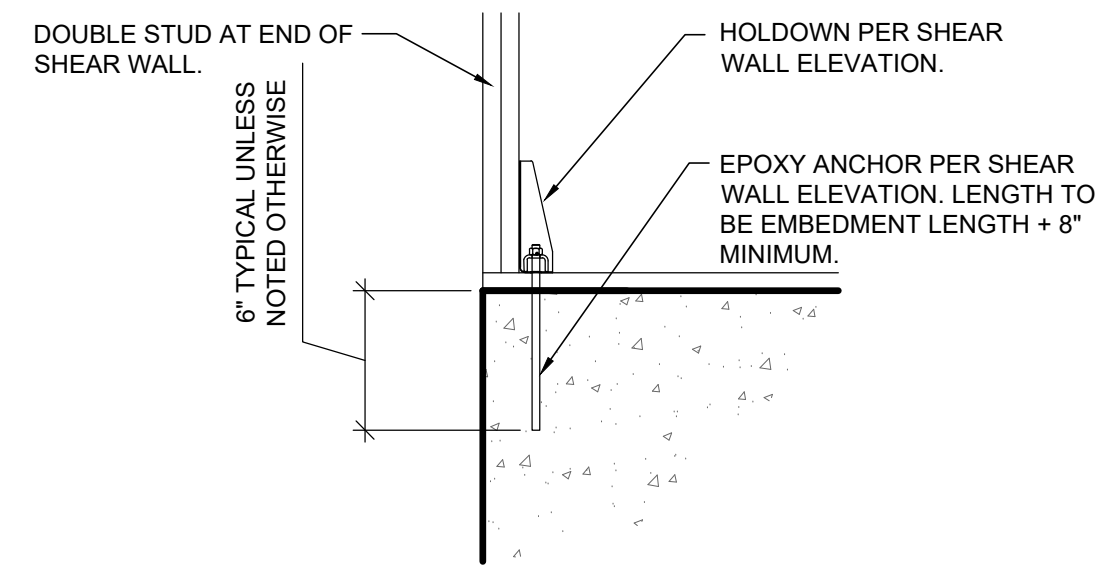
**S-112**

100% CD / PERMIT SET

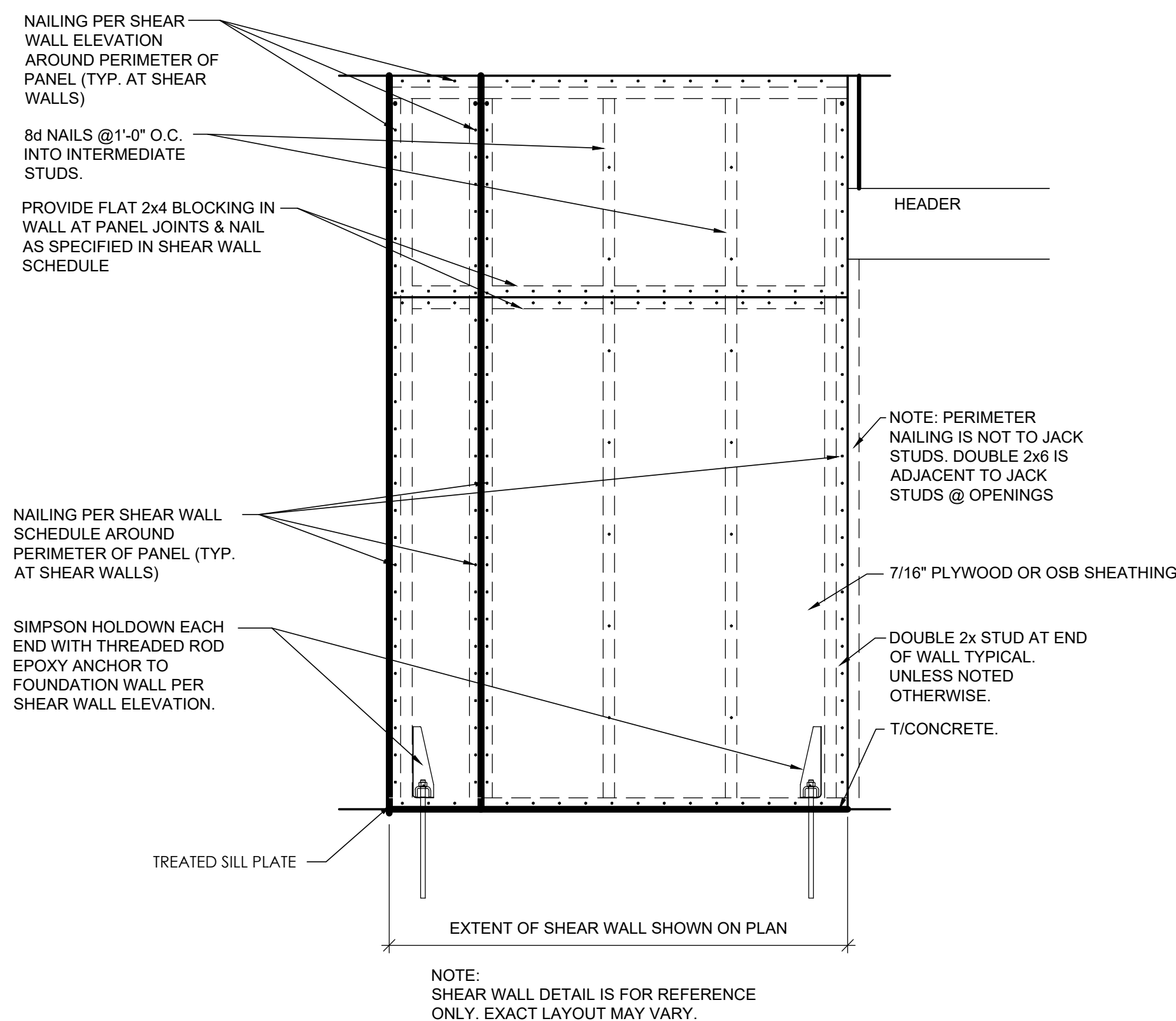




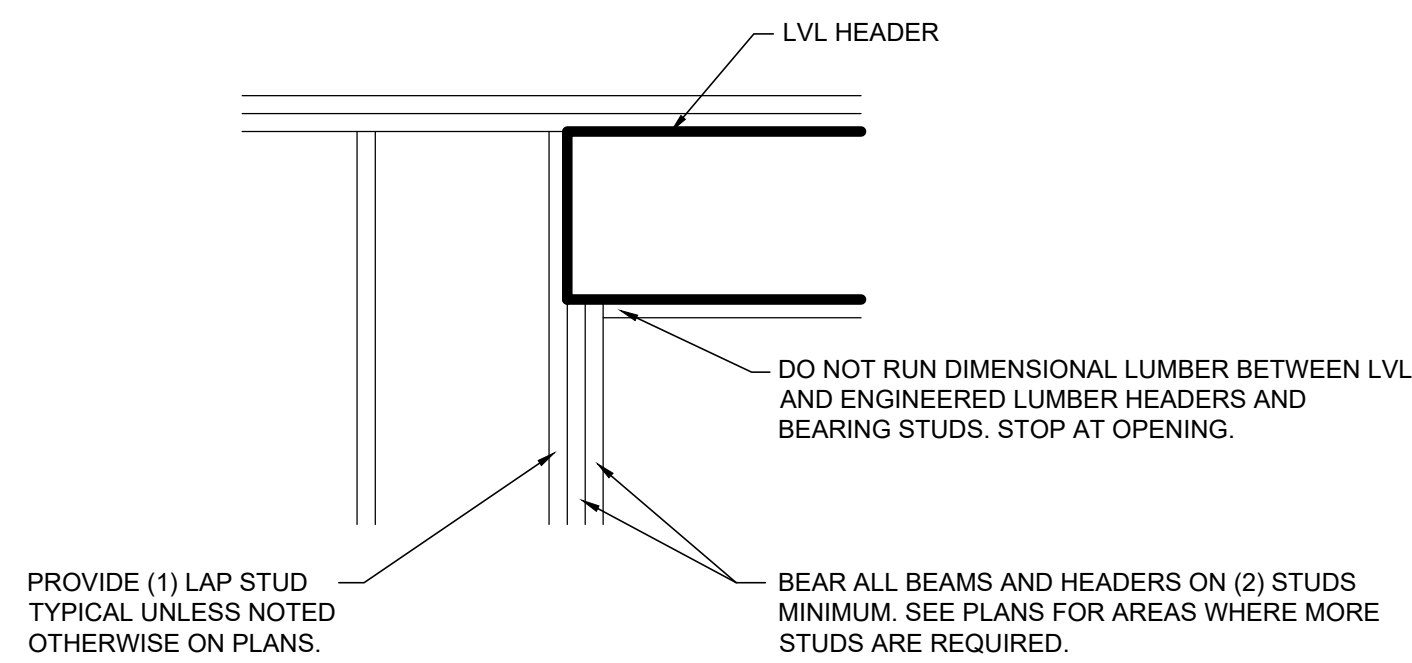
**8 SECTION AT FLOOR TO FLOOR HOLDOWN**  
S-201 SCALE: 3/4"=1'-0"



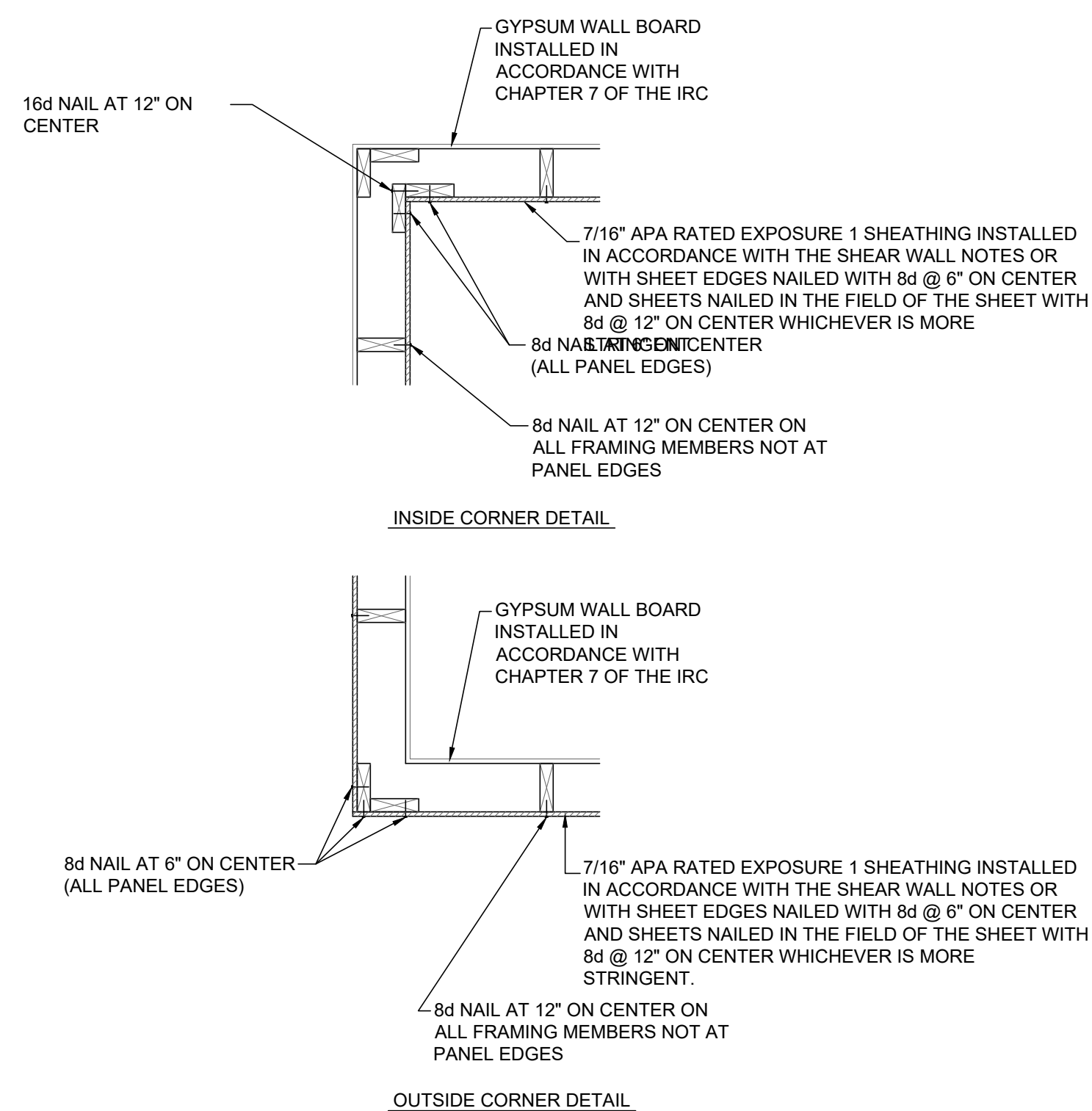
**7 SECTION AT HOLDOWN TO FOUNDATION**  
S-201 SCALE: 3/4"=1'-0"



**6 GENERIC SHEAR WALL ELEVATION**  
S-201 SCALE: 3/4"=1'-0"

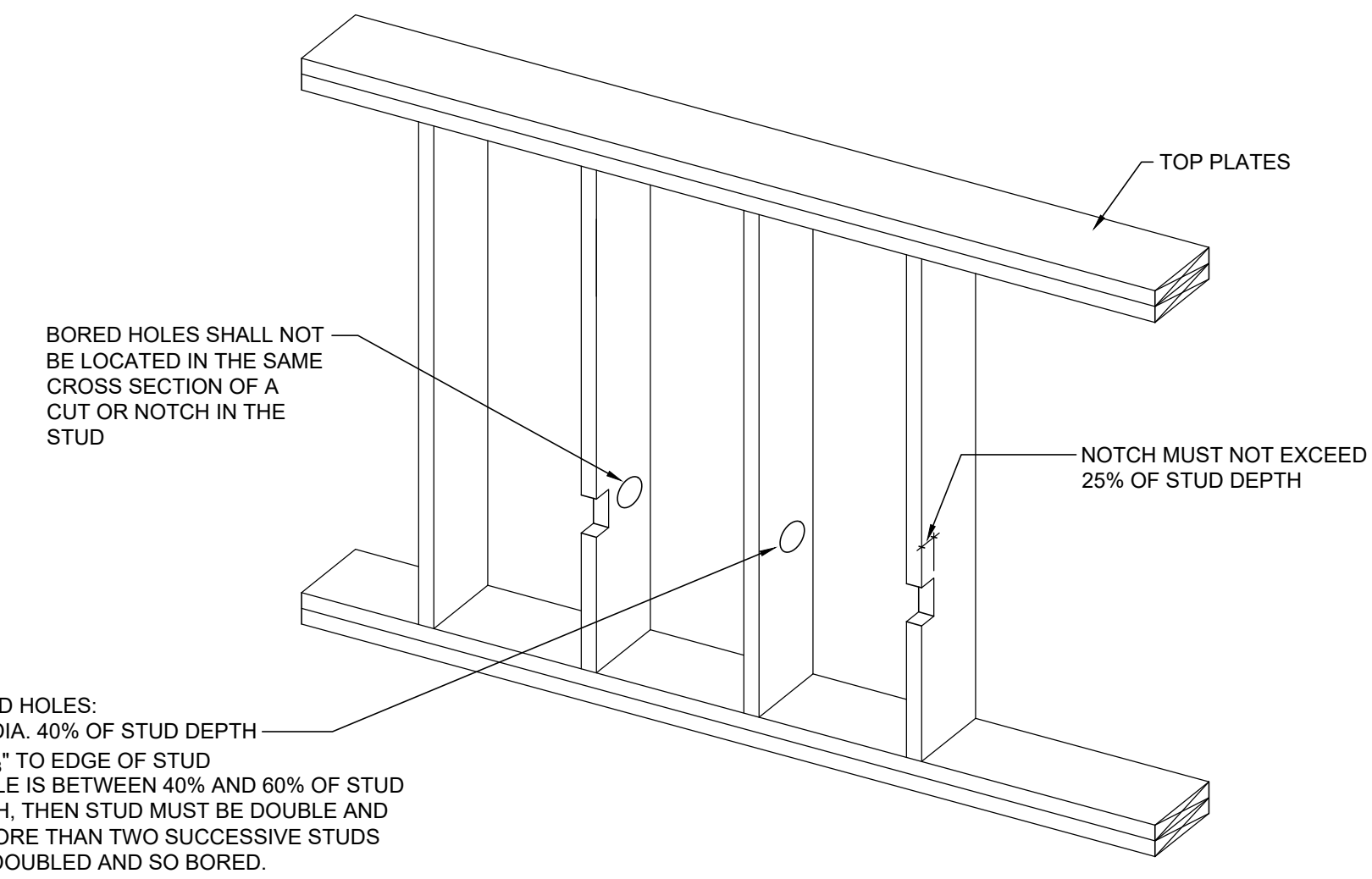


**5 LVL BEARING**  
S-201 SCALE: 3/4"=1'-0"

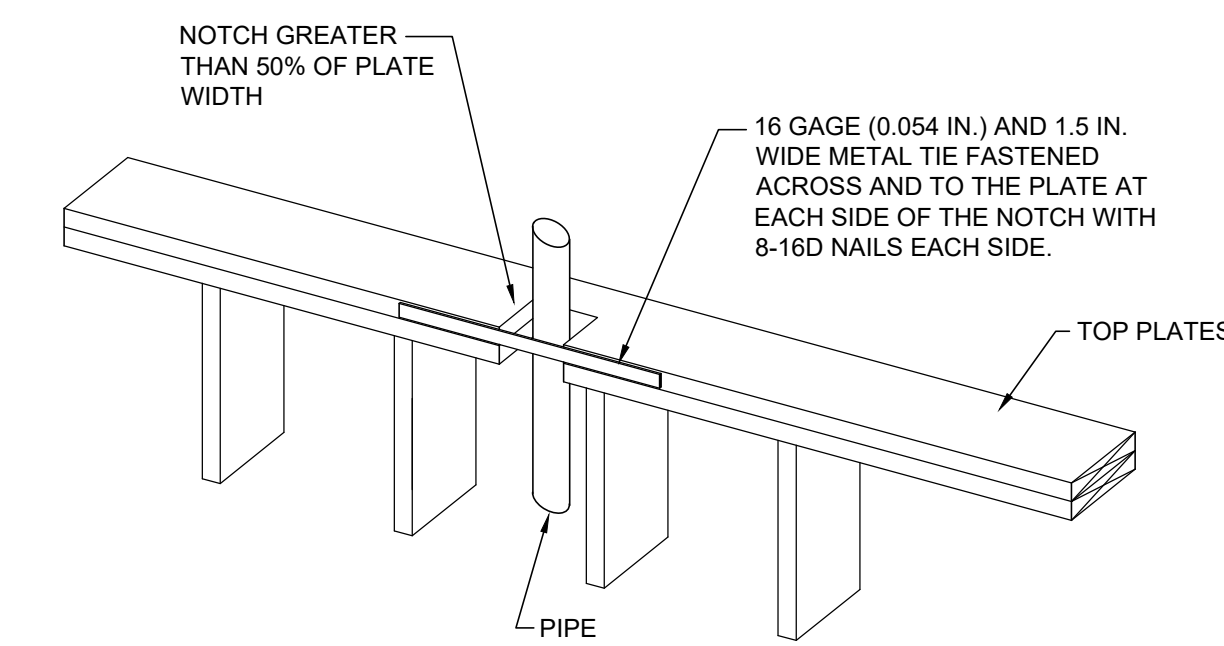


- GENERAL NOTES:
1. PROVIDE 7/16" APA RATED EXPOSURE 1 SHEATHING ONE SIDE OF WALL. PLACE ON SAME SIDE AS EXTERIOR SHEATHING WHEN WALL LINE IS INTERIOR AND EXTERIOR.
  2. NAIL ALL SHEET EDGES WITH 8d @ 6" ON CENTER.
  3. PROVIDE SHEATHING ON ENTIRE SURFACE OF THE WALL INCLUDING ABOVE AND BELOW OPENINGS.
  4. CONSULT ENGINEER FOR HEADERING OF ALL ENGINEERED LUMBER.

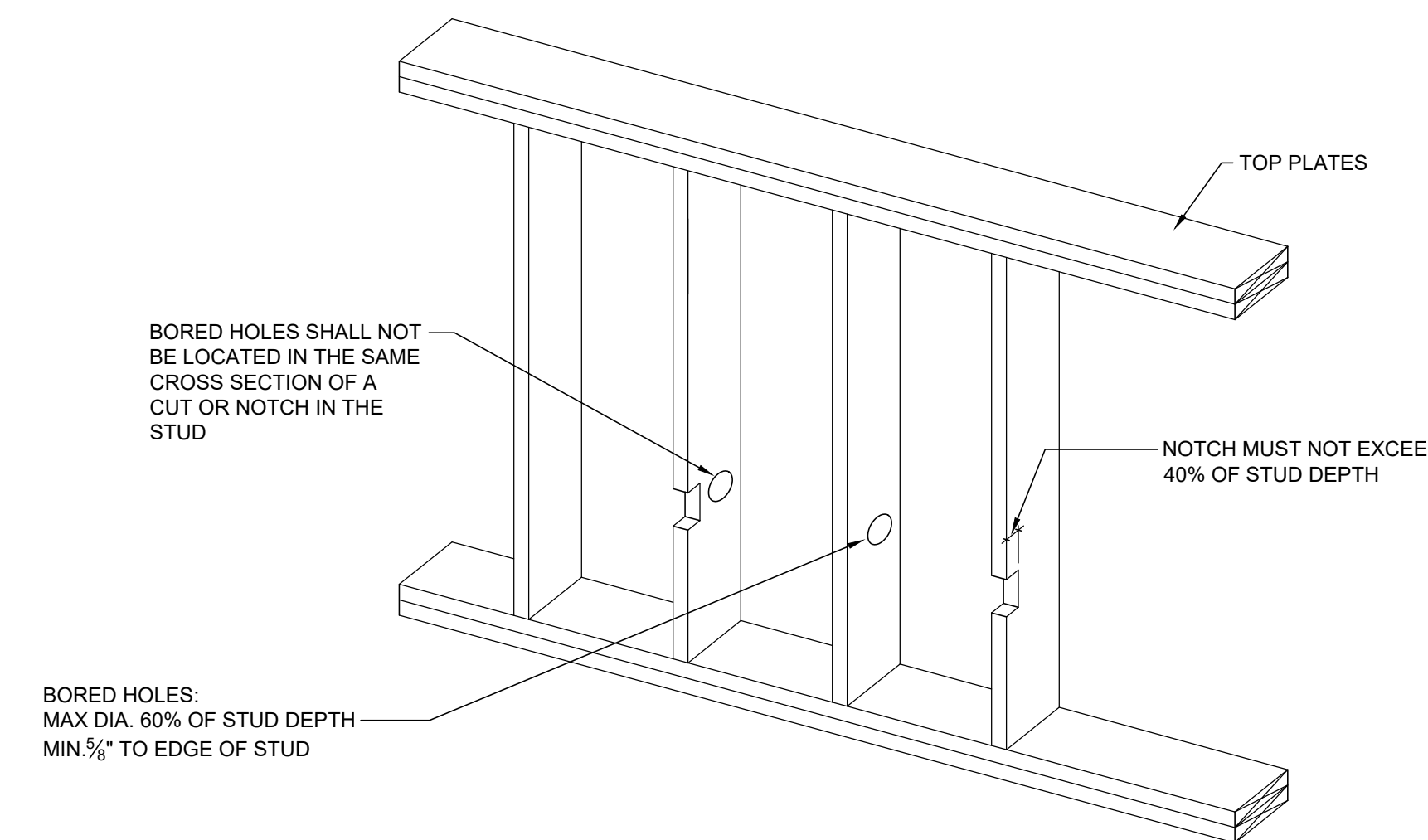
**4 EXTERIOR WALL CORNERS**  
S-201 SCALE: 3/4"=1'-0"



**3 NOTCHING AND HOLES - R602.6(1) EXTERIOR WALLS AND BEARING WALLS**  
S-201 SCALE: 3/4"=1'-0"

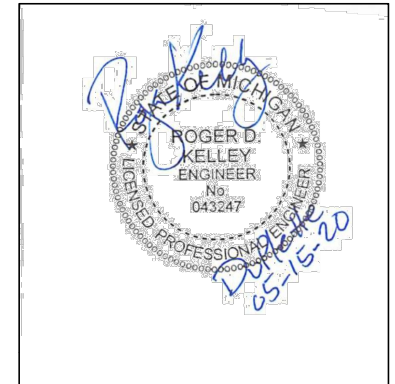


**2 TOP PLATE PIPING ACCOMODATION R602.6.1**  
S-201 SCALE: 3/4"=1'-0"



**1 NOTCHING AND HOLES - R602.6(2) INTERIOR NON-BEARING WALLS**  
S-201 SCALE: 3/4"=1'-0"

REGISTRATION

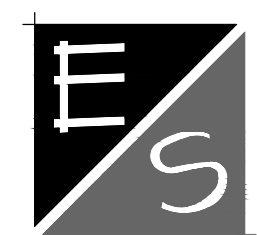


OWNER  
LAFAYETTE PARK LANDOWNERS LLC.

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0265

STRUCTURAL ENGINEER



ENGINEERED STRUCTURES, LLC  
T: 616.887.9620  
es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park Duplette**  
One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:  
SCALE: 3/4" = 1'-0"  
DATE: 05/15/20

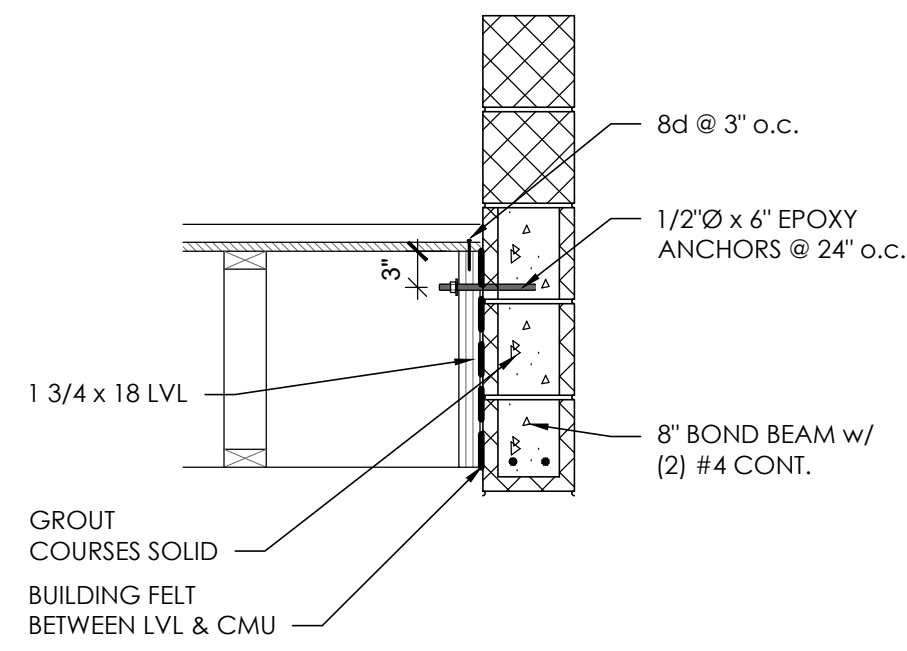
DRAWING TITLE  
**FRAMING DETAILS**

SHEET NO.

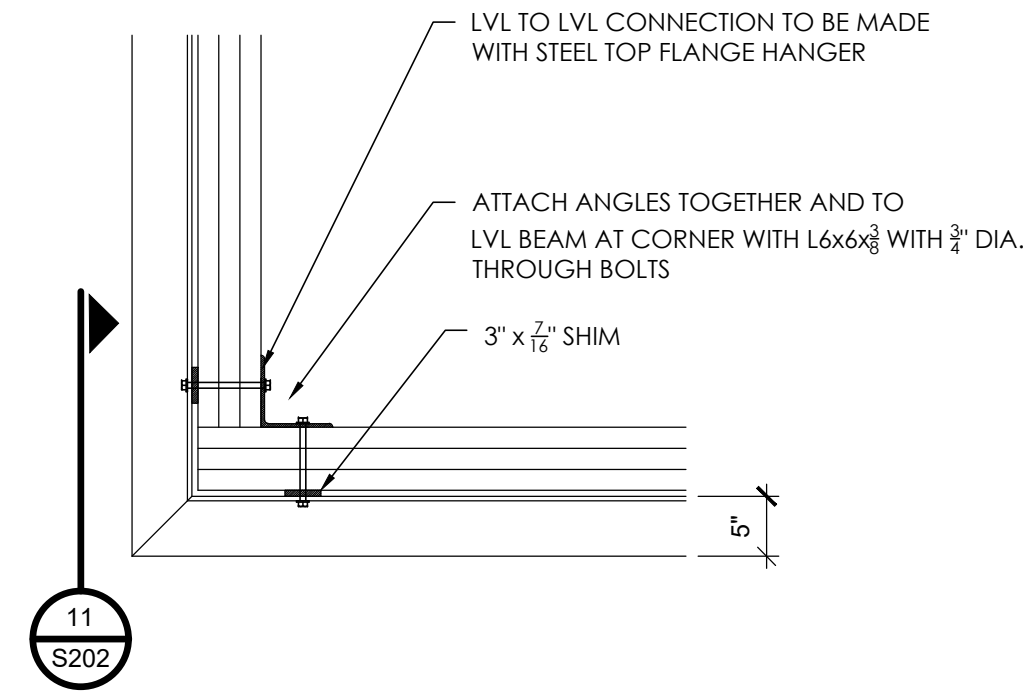
**S-201**

100% CD / PERMIT SET

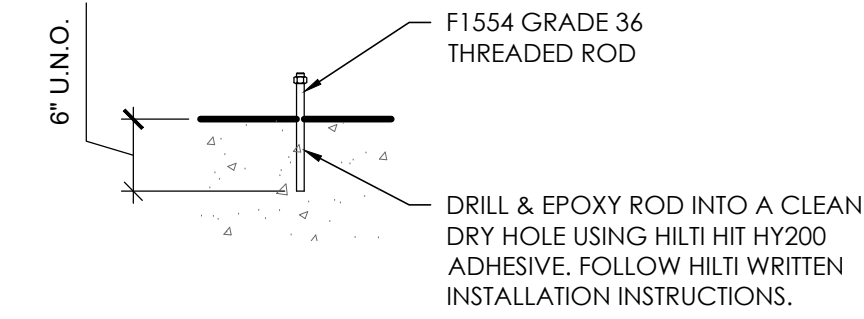




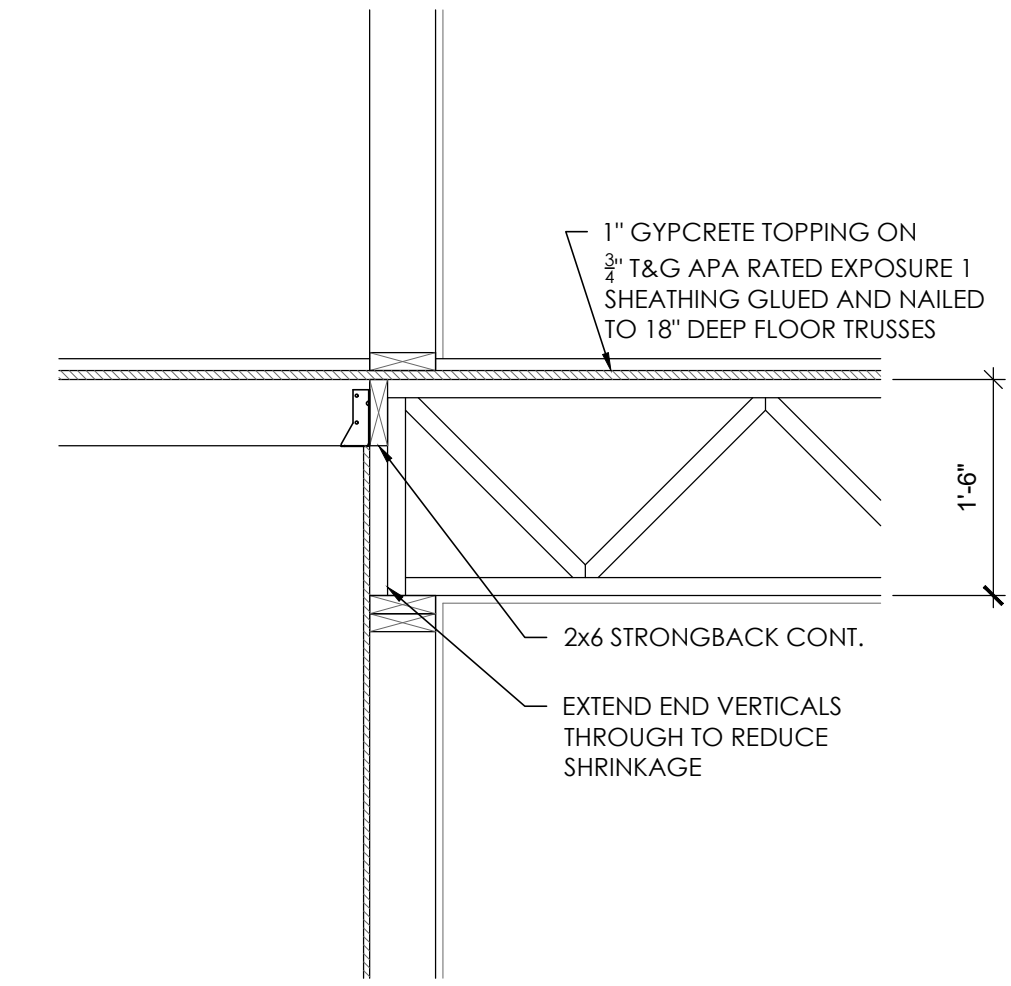
**12 SECTION**  
S-202 SCALE: 3/4"=1'-0"



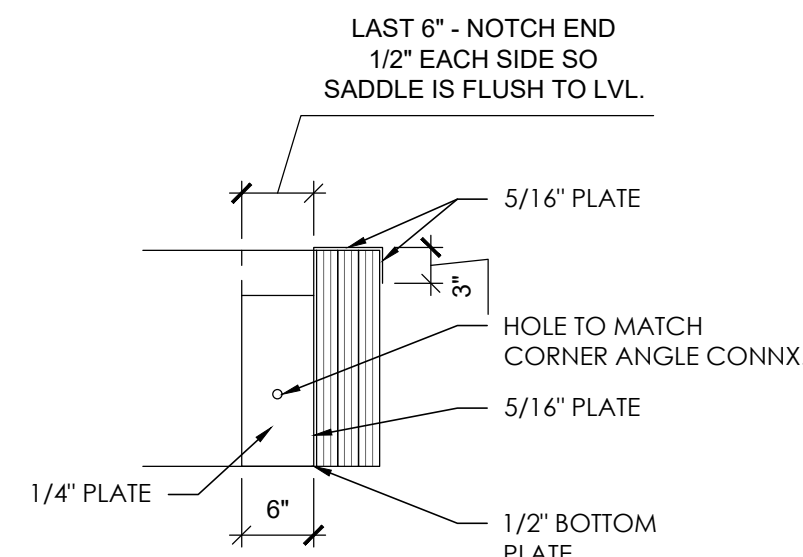
**9 SECTION**  
S-202 SCALE: 3/4"=1'-0"



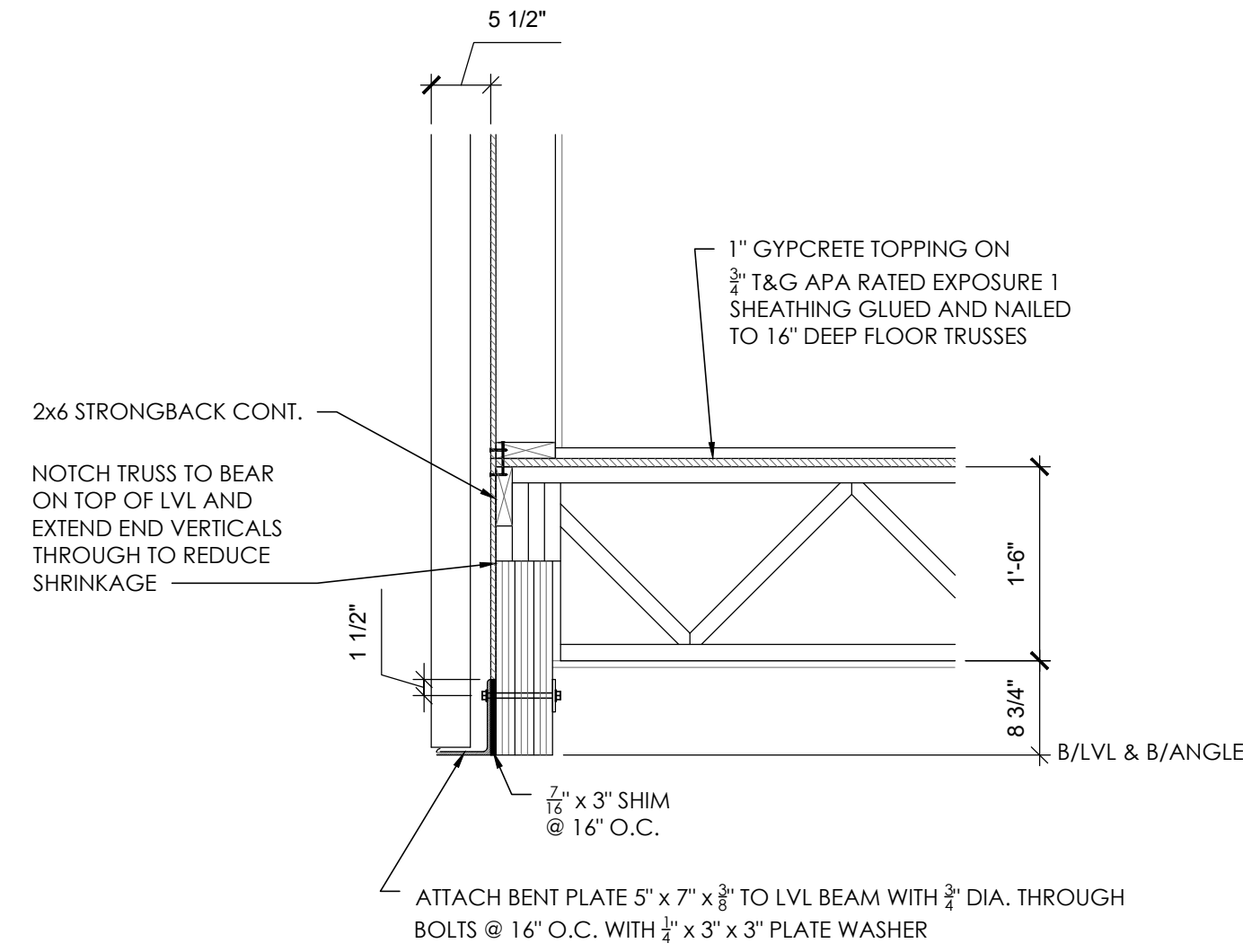
**6 TYPICAL EPOXY ANCHOR DETAIL**  
S-202 SCALE: 3/4"=1'-0"



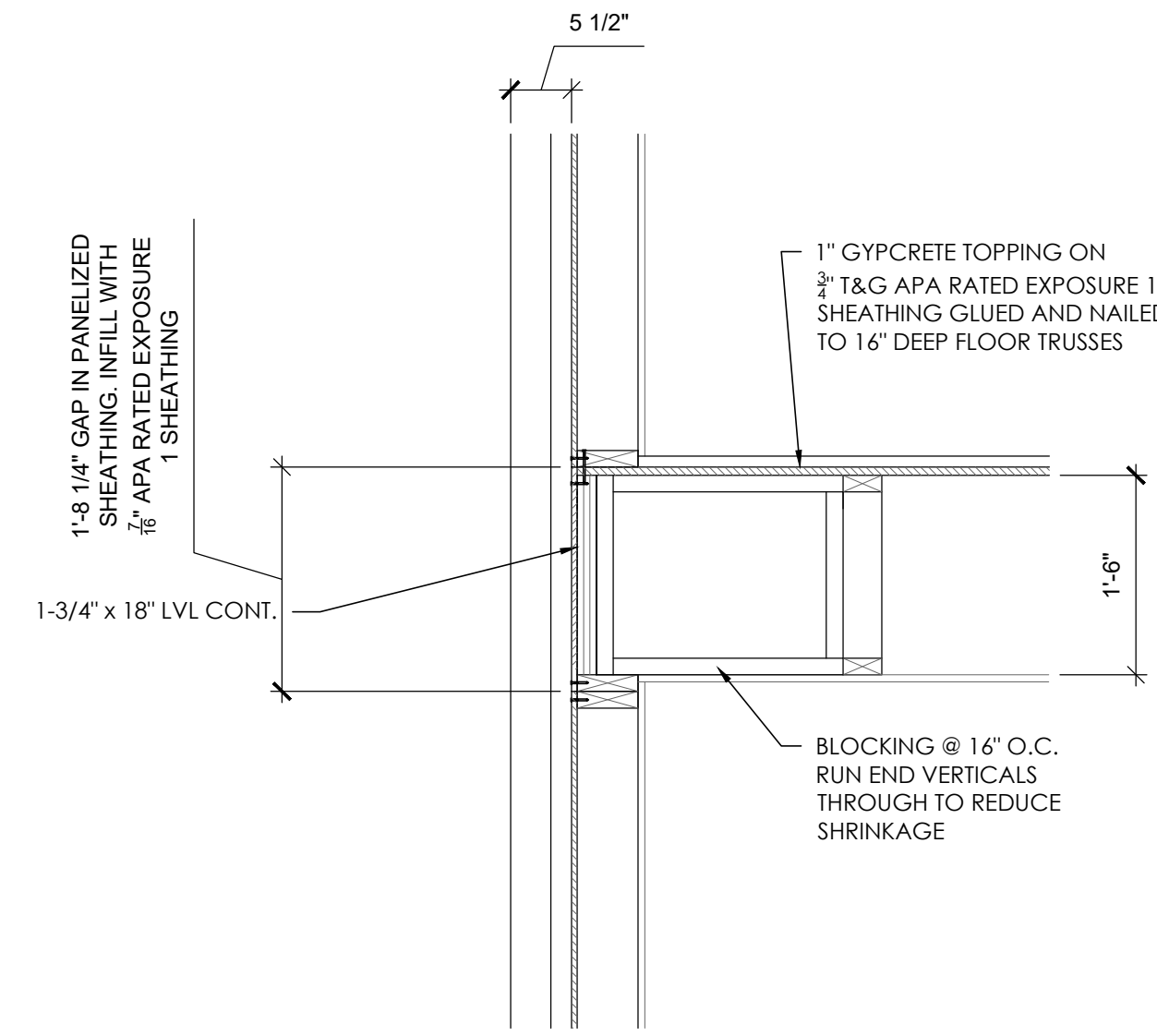
**3 SECTION**  
S-202 SCALE: 3/4"=1'-0"



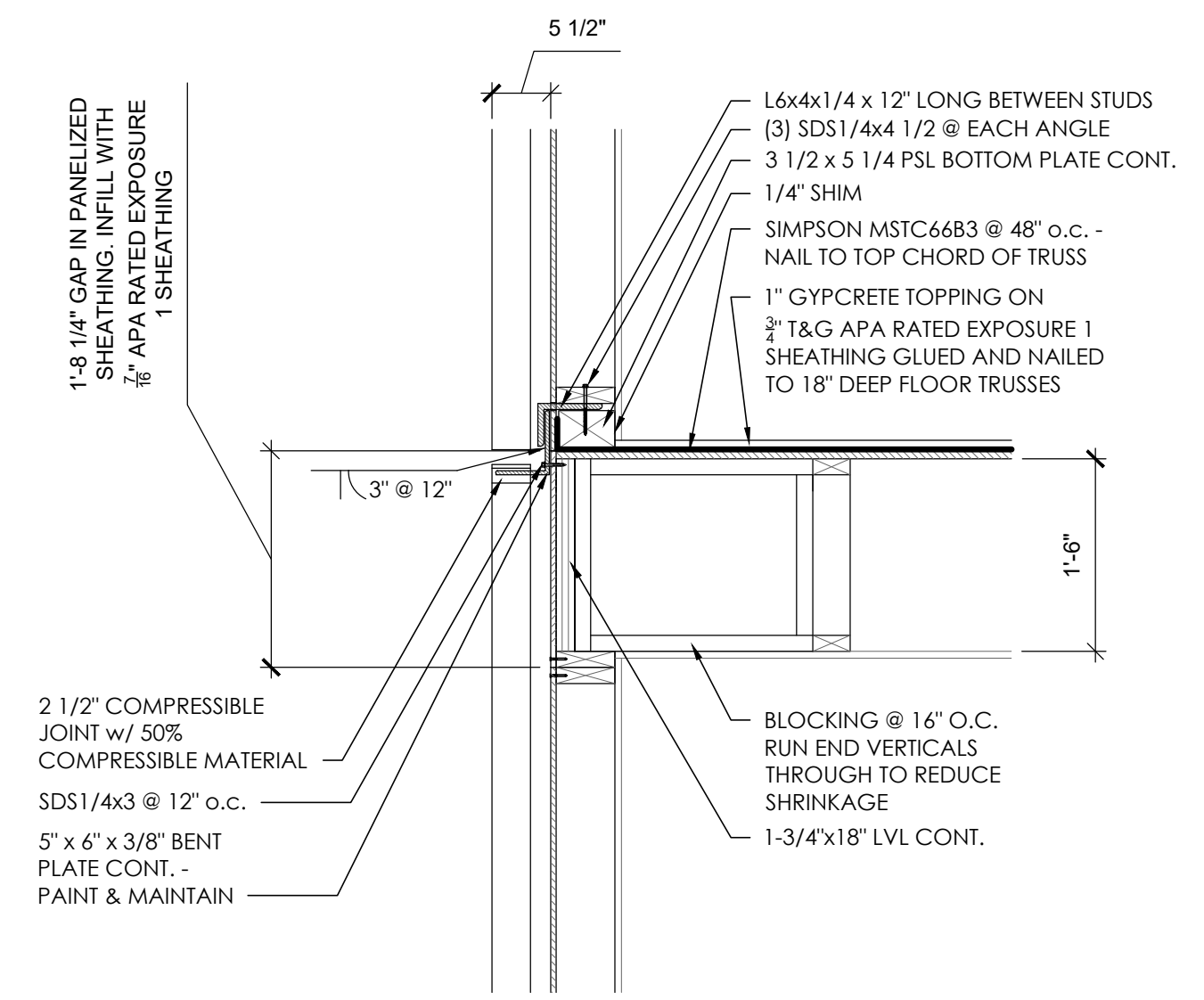
**11 SECTION**  
S-202 SCALE: 3/4"=1'-0"



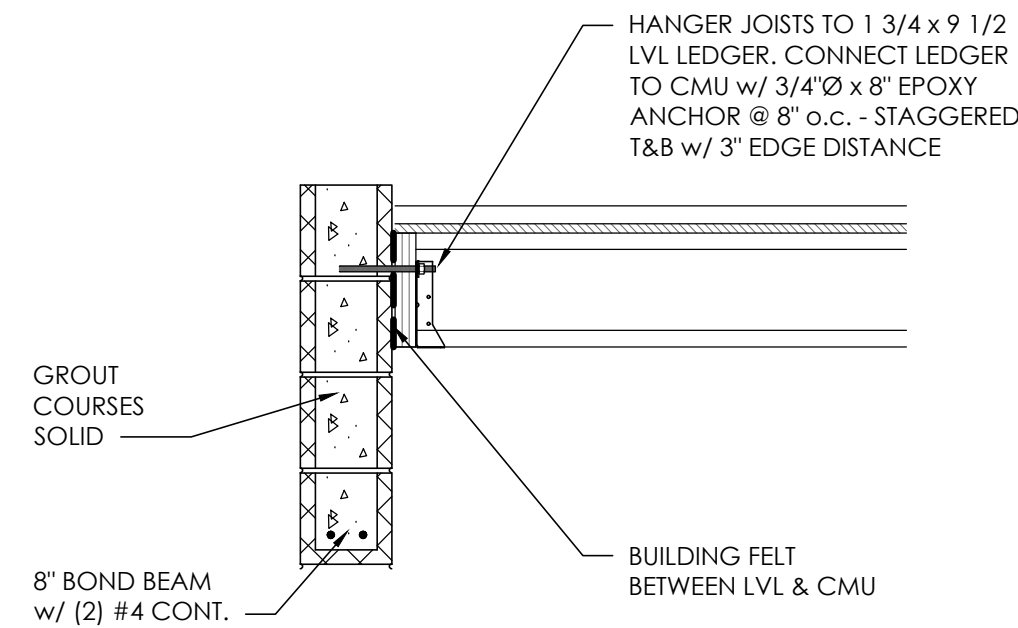
**8 SECTION**  
S-202 SCALE: 3/4"=1'-0"



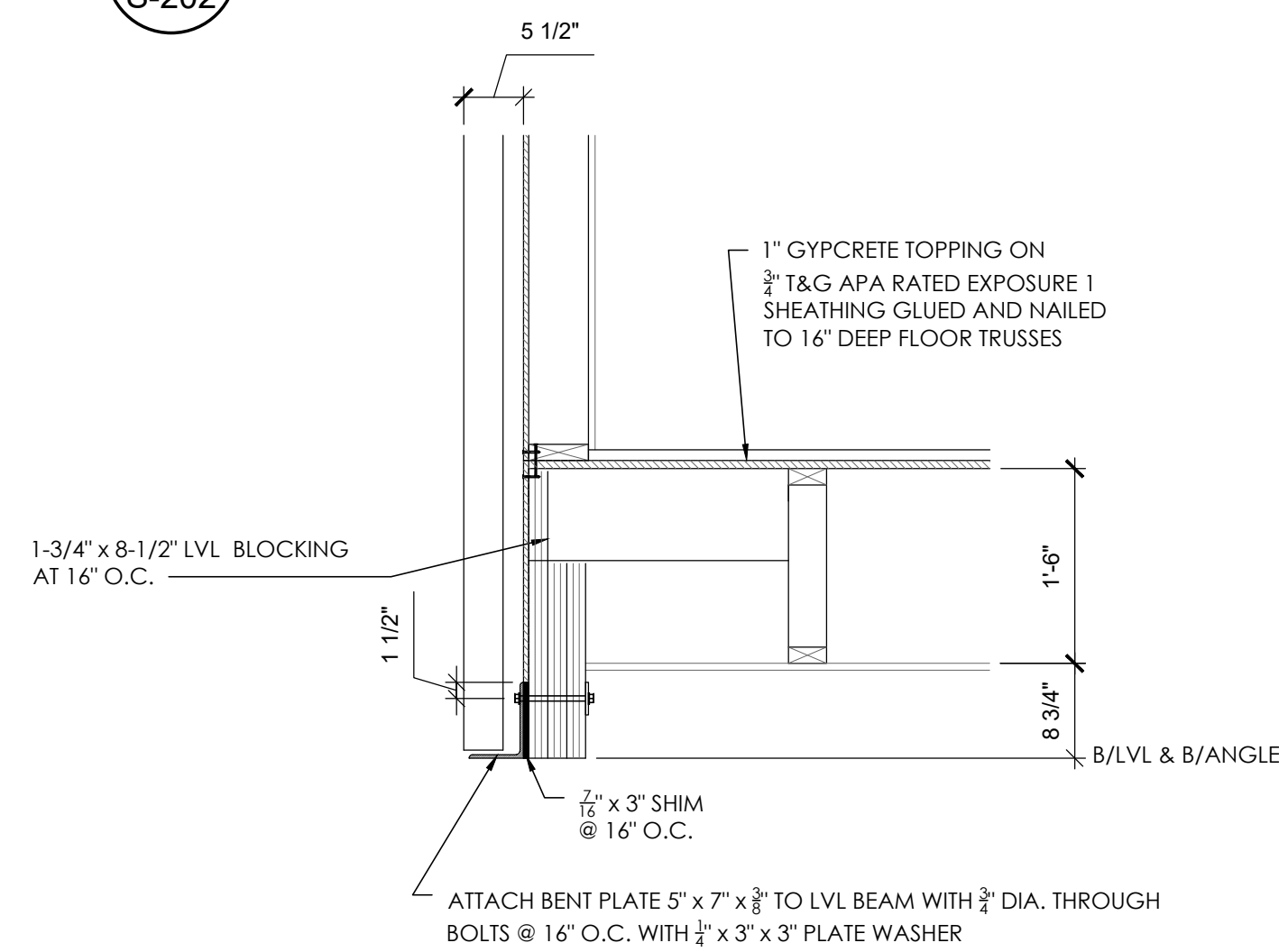
**5 SECTION**  
S-202 SCALE: 3/4"=1'-0"



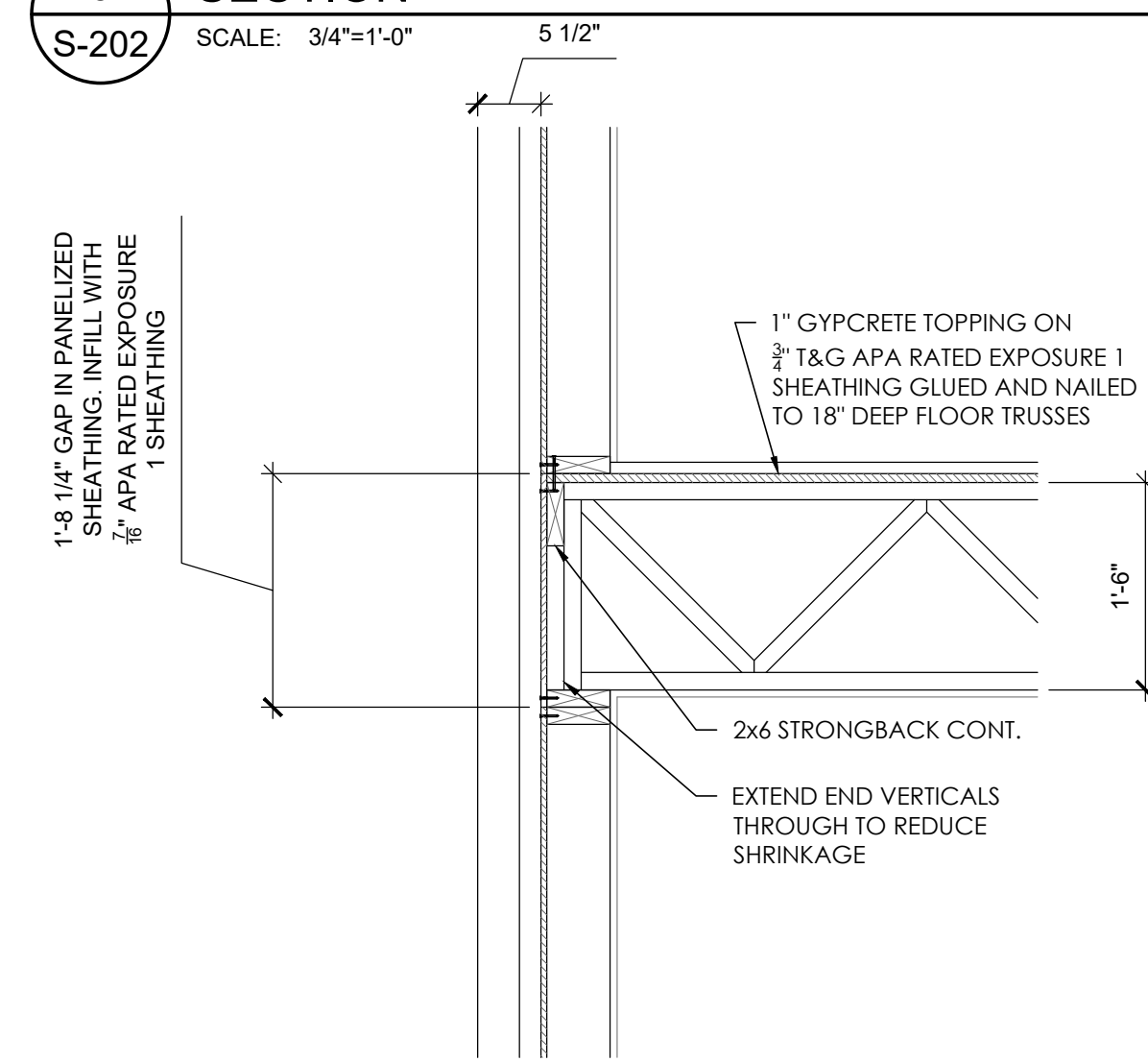
**3 SECTION**  
S-202 SCALE: 3/4"=1'-0"



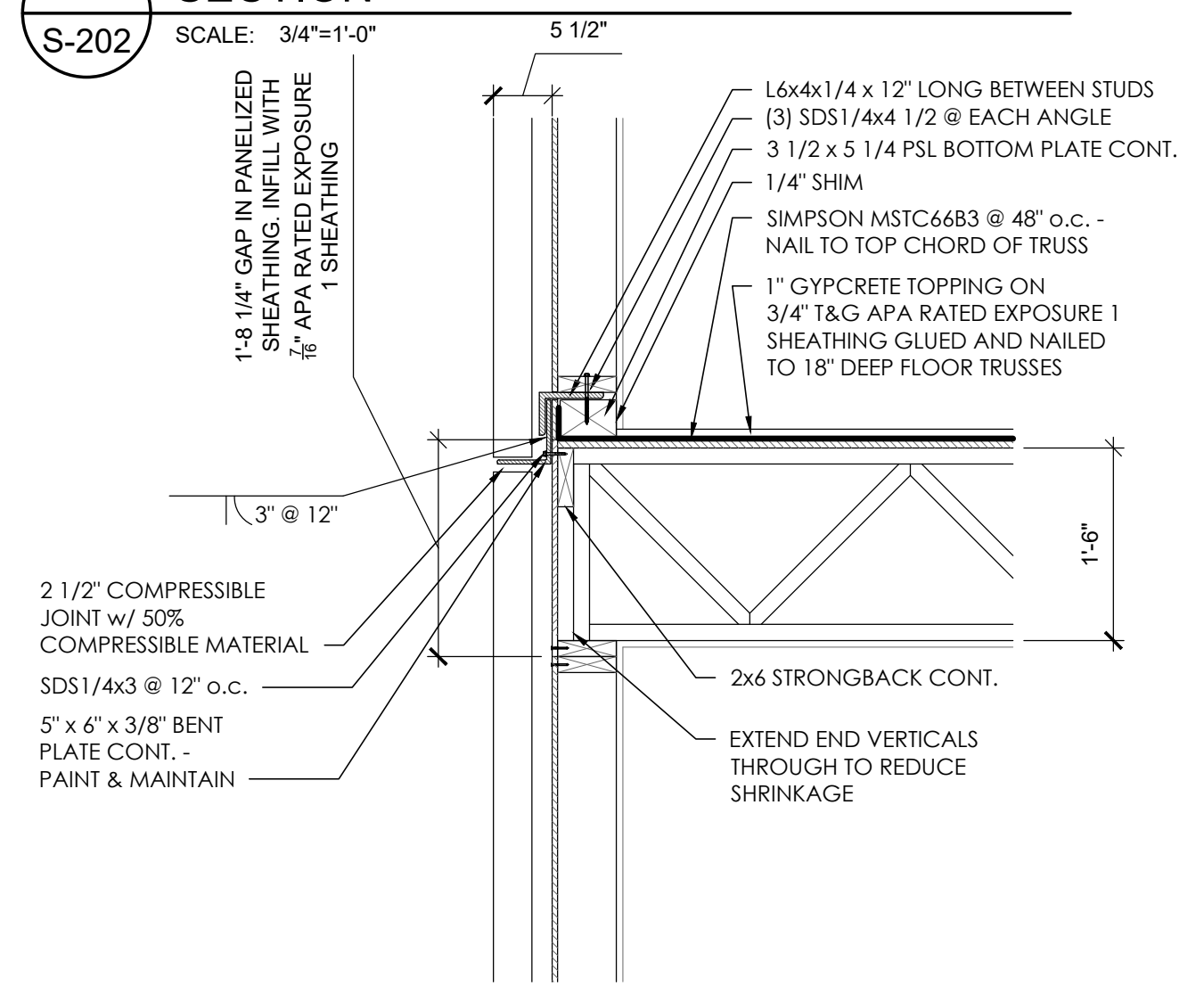
**10 SECTION**  
S-202 SCALE: 3/4"=1'-0"



**7 SECTION**  
S-202 SCALE: 3/4"=1'-0"

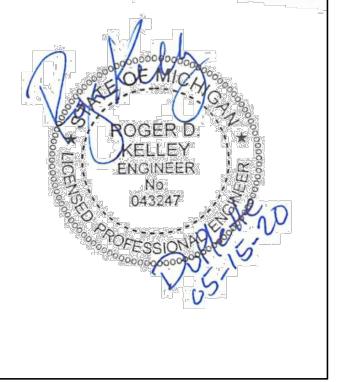


**5 SECTION**  
S-202 SCALE: 3/4"=1'-0"



**2 SECTION**  
S-202 SCALE: 3/4"=1'-0"

**REGISTRATION**

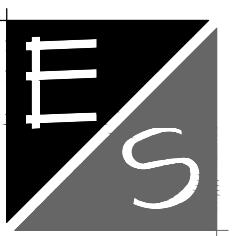


**OWNER**  
LAFAYETTE PARK LANDOWNERS LLC.

**ARCHITECT**

MERGE ARCHITECTS, INC.  
333 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0265

**STRUCTURAL ENGINEER**



ENGINEERED STRUCTURES, LLC  
T: 616.887.9620  
es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park Duplette**  
One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:  
SCALE: **3/4" = 1'-0"**  
DATE: **05/15/20**

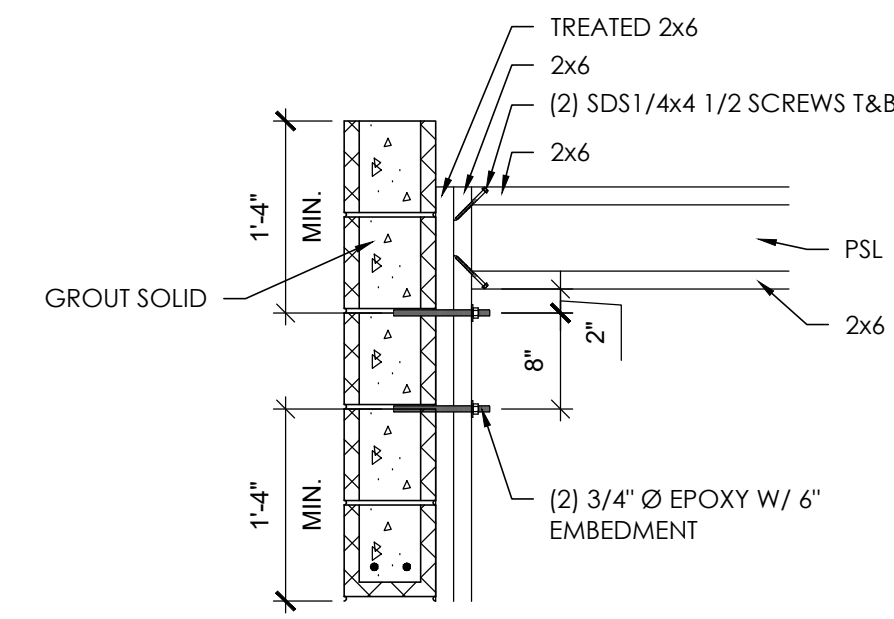
DRAWING TITLE  
**FRAMING DETAILS**

SHEET NO.

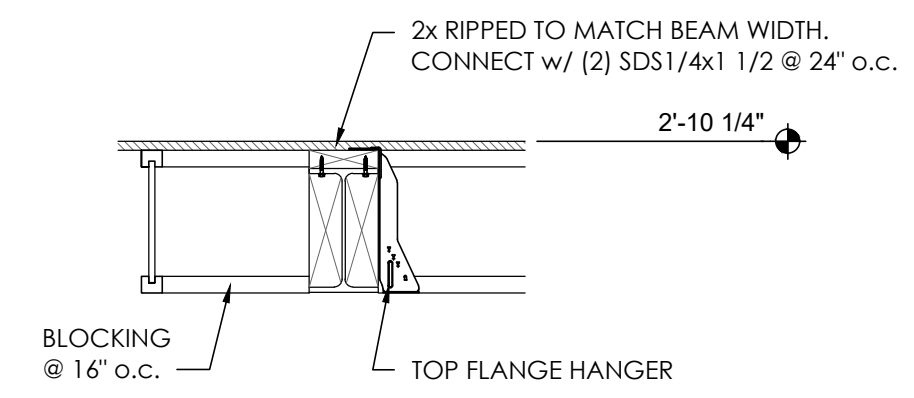
**S-202**

100% CD / PERMIT SET

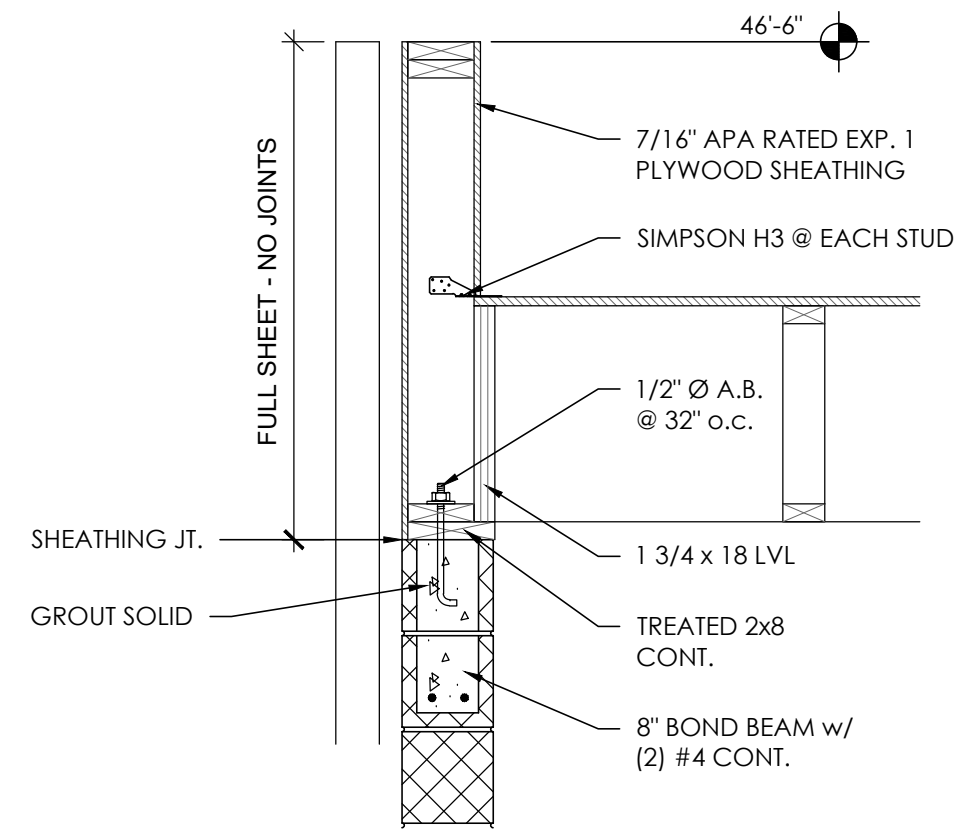




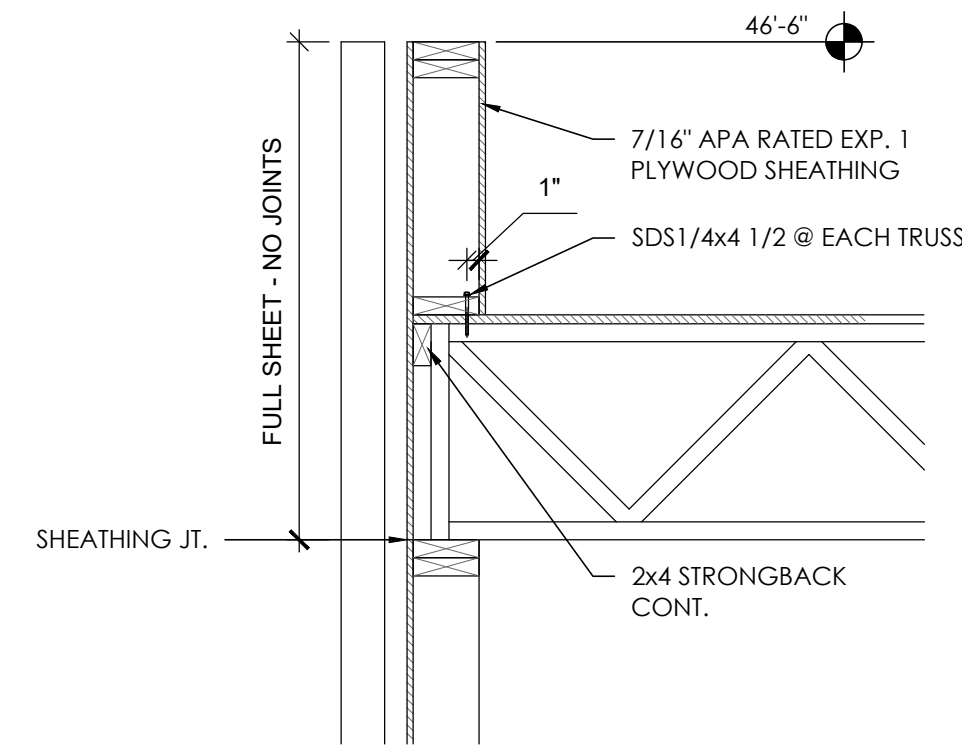
**8 SECTION**  
S-203 SCALE: 3/4" = 1'-0"



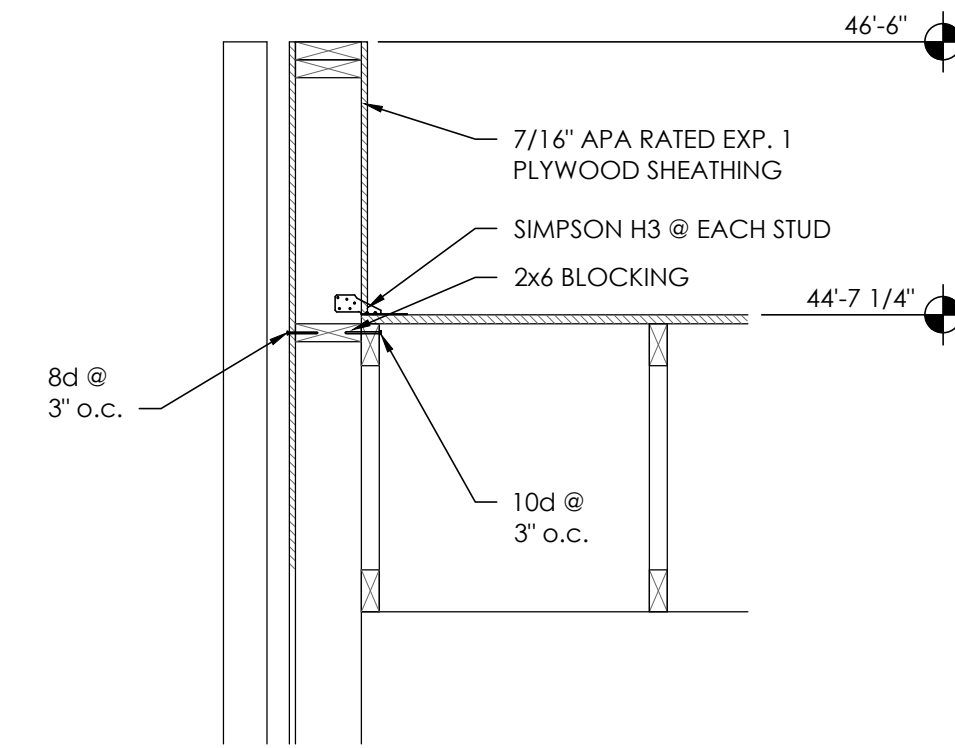
**7 SECTION**  
S-203 SCALE: 3/4" = 1'-0"



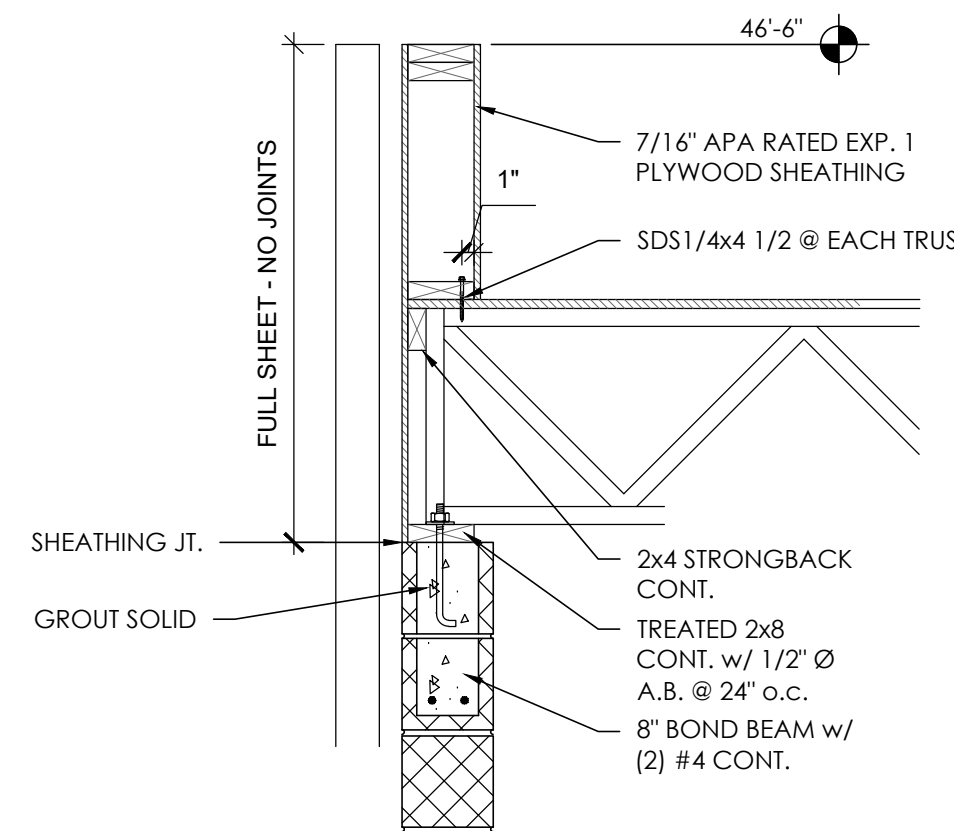
**6 SECTION**  
S-203 SCALE: 3/4" = 1'-0"



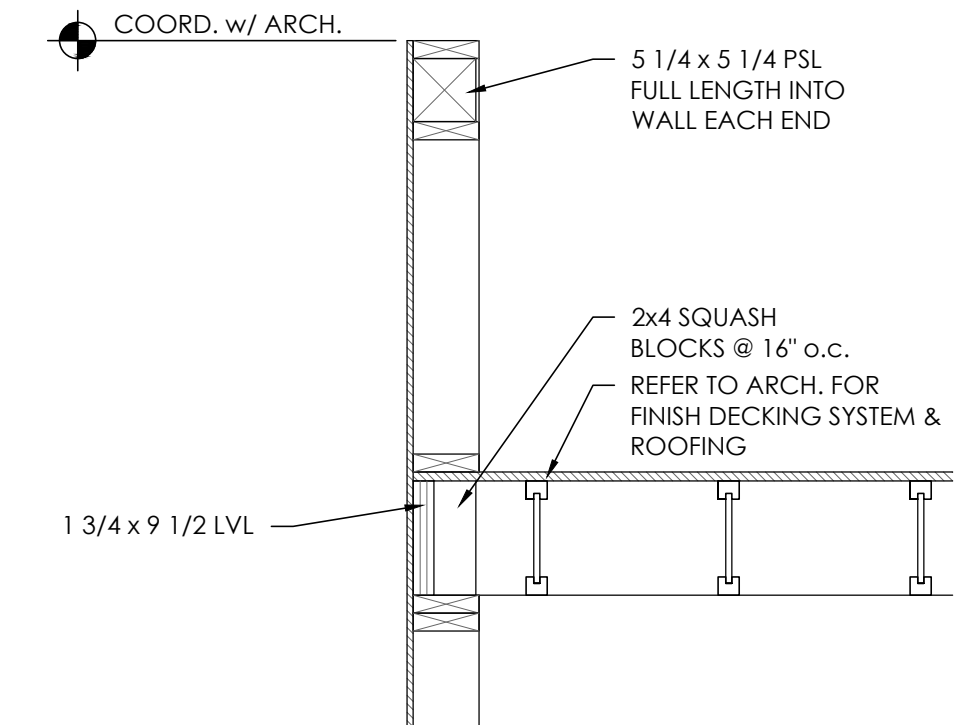
**4 SECTION**  
S-203 SCALE: 3/4" = 1'-0"



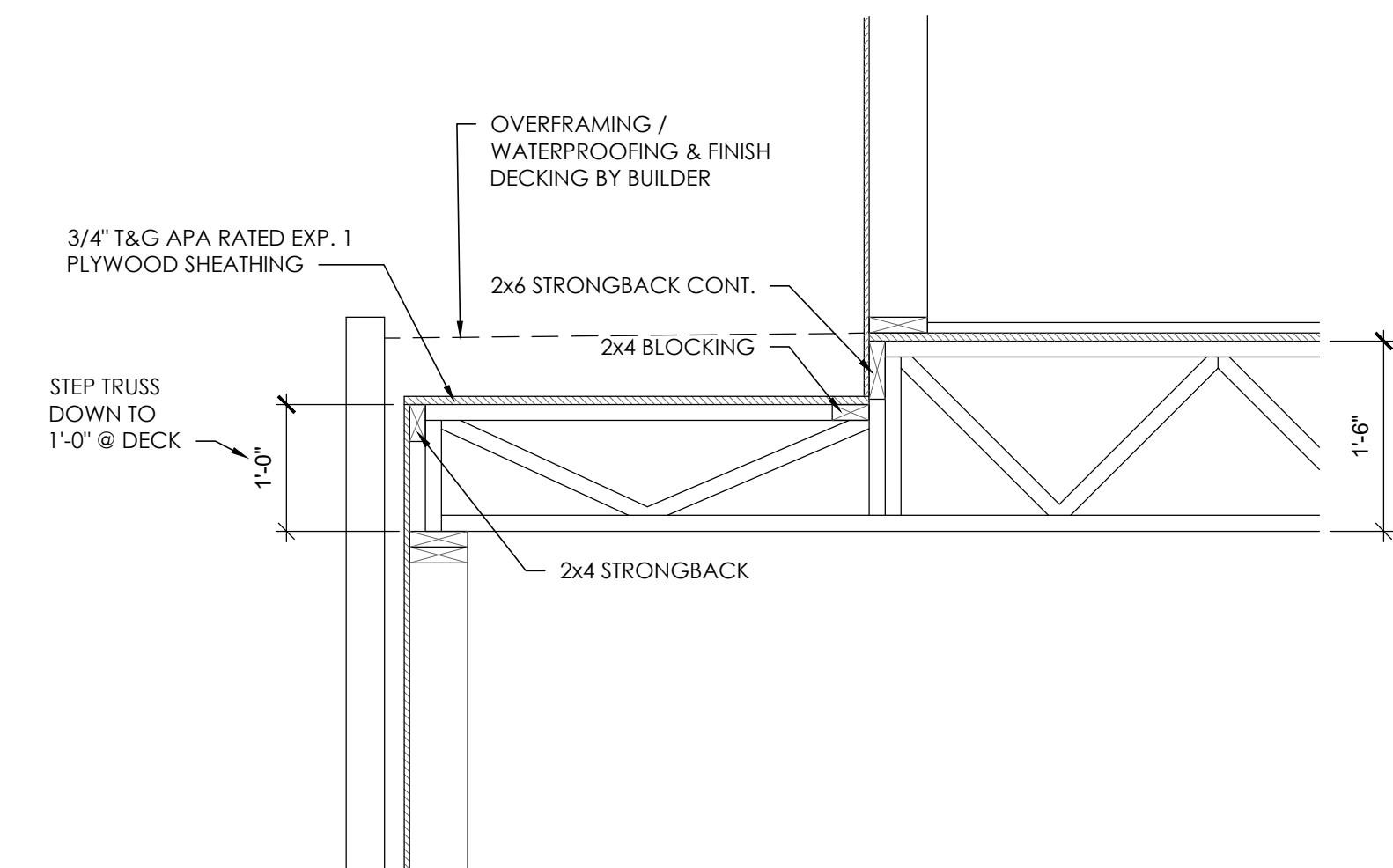
**2 SECTION**  
S-203 SCALE: 3/4" = 1'-0"



**5 SECTION**  
S-203 SCALE: 3/4" = 1'-0"

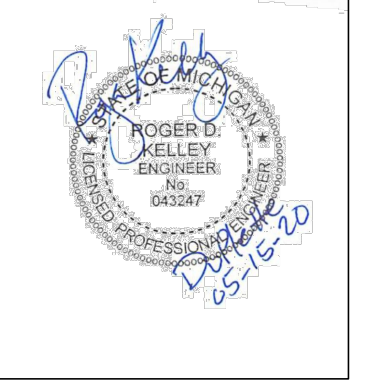


**3 SECTION**  
S-203 SCALE: 3/4" = 1'-0"



**1 SECTION**  
S-203 SCALE: 3/4" = 1'-0"

**REGISTRATION**



**OWNER**

LAFAYETTE PARK LANDOWNERS LLC.

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0265

**STRUCTURAL ENGINEER**



ENGINEERED STRUCTURES, LLC  
T: 616.887.9620  
es2@comcast.net

MERGE ARCHITECTS INC

**Brush Park Duplette**  
One Edmund Place, between Brust St.  
and John R. St.  
Detroit, MI 48201

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:  
SCALE: 3/4" = 1'-0"  
DATE: 05/15/20

DRAWING TITLE  
**FRAMING DETAILS**

SHEET NO.

**S-203**

100% CD / PERMIT SET

# MECHANICAL ABBREVIATIONS

ABBREVIATIONS USED ON DRAWINGS IN GENERAL ARE LISTED BELOW. REFER TO CSI DOCUMENT TD 2-4 DATED NOVEMBER 1986 FOR ANY ABBREVIATION USED ON THE DRAWINGS BUT ARE NOT LISTED BELOW.

AC	AIR CONDITIONING	HP	HORSEPOWER
ACCU	AIR COOLED CONDENSING UNIT	HPR	HIGH PRESSURE STEAM RETURN
ACU	AIR CONDITIONING UNIT	HPS	HIGH PRESSURE STEAM SUPPLY
AF	ABOVE FINISHED FLOOR	HRT	HEAT RECOVERY UNIT
AFMS	AIR FLOW MEASURING STATION	HTR	HEATER
AHU	AIR HANDLING UNIT	HVAC	HEATING/VENTILATING/AIR CONDITIONING
A.L.	2" THICK ACOUSTIC DUCT LINER	HW	HOT WATER (DOMESTIC)
ALT	ALTERNATIVE	ID	INSIDE DIAMETER
AMB	AMBIENT	INCIN	INCINERATOR
AP	ACCESS PANEL	INSUL	INSULATION/INSULATE
APPROX	APPROXIMATE	IV	INTAKE VENT
AR	ACID RESISTANT	INTR	INTERIOR
ARCH	ARCHITECT(URAL)	INV	INVERT
ARV	AIR RELIEF VALVE	KIT	KITCHEN
AT	AIR TRANSFER	KW	KILOWATT
ATR	AIR TEMPERATURE RISE	L	LENGTH/LONG
ATV	AIR TURNING VANES	LAV	LAVATORY
AUTO	AUTOMATIC	LP	LIQUID PETROLEUM
AVE	AIR VOLUME EXTRACTOR	LPR	LOW PRESSURE STEAM RETURN
B-#	BOILER	LPS	LOW PRESSURE STEAM SUPPLY
BD	BAROMETRIC DAMPER	LVR	LOUVER
BDD	BACKDRAFT DAMPER	M	METER
BHP	BREAK HORSEPOWER	MAX	MAXIMUM
BLDG	BUILDING	MECH	MECHANICAL
BOD	BOTTOM OF DUCT	MFR	MANUFACTURER
BOT	BOTTOM	MH	MANHOLE
C	CONVECTOR	MIN	MINIMUM
CAB	CABINET	MISC	MISCELLANEOUS
CD-#	CEILING DIFFUSER	MPR	MEDIUM PRESSURE STEAM RETURN
CIA	COMBUSTION INTAKE AIR	MPS	MEDIUM PRESSURE STEAM SUPPLY
CFM	CUBIC FEET PER MINUTE	MTD	MOUNTED
CHWR	CHILLED WATER RETURN	NIC	NOT IN CONTRACT
CHWS	CHILLED WATER SUPPLY	NO/#	NUMBER
CHWP	CHILLED WATER PUMP	NOM	NOMINAL
CL	CENTERLINE	NTS	NOT TO SCALE
CLG	CEILING	OA	OUTSIDE AIR
CMP	CORRUGATED METAL PIPE	OC	ON CENTER
C.O.	CLEAN OUT	OD	OUTSIDE DIAMETER
COL	COLUMN	OPNG	OPENING
CONC	CONCRETE	ORD-#	OVERFLOW ROOF DRAIN
COND	CONDENSER(ATE)	OS	OIL SUPPLY
CRTN	LOW PRESSURE STEAM CONDENSATE	OSD	OPEN SITE DRAIN
CONSTR	CONSTRUCTION	PE	PNEUMATIC/ELECTRIC
CONTR	CONTRACTOR	PREFAB	PREFABRICATED
CPD	CONDENSATE PUMP DISCHARGE	PRV	PRESSURE REDUCING VALVE
CP	CIRC PUMP	PSF	POUNDS PER SQUARE FOOT
CT-#	COOLING TOWER	PSI	POUNDS PER SQUARE INCH
CUH-#	CABINET UNIT HEATER	PTAC	PACKAGE TERMINAL AIR CONDITIONING UNIT
CW	COLD WATER (DOMESTIC)	PVC	POLYVINYL CHLORIDE
CWP	CONDENSER WATER PUMP	R/RAD	RADIUS
CWR	CONDENSER WATER RETURN	RA	RETURN AIR
CWS	CONDENSER WATER SUPPLY	RACU	ROOM AIR CONDITIONING UNIT
D	DEPTH/DEEP	RADN	RADIATION
DB	DRY BULB TEMPERATURE	RG-#	RETURN AIR GRILLE
DIA/ø	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DIFF	DIFFUSER	RD-#	ROOF DRAIN
DISCH	DISCHARGE	REG	REGISTER
DLR	DOUBLE LOUVER REGISTER	REQ'D	REQUIRED
DWG	DRAWING	RHW	RECIRCULATED HOT WATER (DOMESTIC)
DUC	DOOR UNDER CUT	RL	REFRIGERANT LIQUID
EF-#	EXHAUST FAN	RL48	RETURN LINEAR SLOT DIFFUSER (48" LONG)
EFF	EFFICIENCY	RM	ROOM
EG-#	EXHAUST GRILLE	RP	RADIANT PANEL
EL	ELEVATION	RPM	REVOLUTIONS PER MINUTE
ELEC	ELECTRIC(AL)	RS	REFRIGERANT SUCTION
ELEV	ELEVATOR	RSD	ROUND SUPPLY DIFFUSER
EMD	END OF MAIN DRIP	SA	SUPPLY AIR
EMER	EMERGENCY	SCHED	SCHEDULE
EP	ELECTRIC/PNEUMATIC	SD-#	SUPPLY DIFFUSER
EQUIP	EQUIPMENT	SG-#	SUPPLY AIR GRILLE
EXH	EXHAUST	SHT	SHEET
EXIST	EXISTING	SIM	SIMILAR
EXP	EXPANSION	SL48	SUPPLY LINEAR SLOT DIFFUSER (48" LONG)
EXT	EXTERIOR	SP	STATIC PRESSURE
EXTN	EXTENSION	SPEC(S)	SPECIFICATION(S)
F&TT	FLOAT AND THERMOSTATIC TRAP	STD	STANDARD
FCU-#	FAN COIL UNIT	T.A.D.	TRANSFER AIR DUCT
F/SD	COMBINATION FIRE/SMOKE DAMPER	TC	TEMPERATURE CONTROL
FD	FLOOR DRAIN	TCC	TEMPERATURE CONTROL CONTRACTOR
FD1	FIRE DAMPER TYPE	TD	TEMPERATURE DIFFERENCE
FEV	FLUE EXHAUST VENT	TEMP	TEMPERATURE
FIN FL/FF	FINISH FLOOR	TXV	THERMAL EXPANSION VALVE
FLR	FLOOR	TYP	TYPICAL
FA	FRESH AIR	UH-#	UNIT HEATER
FP	FIRE PROTECTION	UON	UNLESS OTHERWISE NOTED
FPM	FEET PER MINUTE	UV	UNIT VENTILATOR
FT	FEET	V	VENT
FUR-#	FURNACE	VAC	VACUUM
G	GAS (NATURAL)	VAV	VARIABLE AIR VOLUME
GA	GAUGE	VB	VACUUM BREAKER
GAL	GALLON	VD	VOLUME DAMPER
GALV	GALVANIZE(D)	VTR	VENT-THRU-ROOF
GPM	GALLONS PER MINUTE	VVB	VARIABLE VOLUME BOX
H	HEIGHT/HIGH	W/	WITH
HHWR	HEATING HOT WATER RETURN	W/O	WITHOUT
HHWS	HEATING HOT WATER SUPPLY	WB	WET BULB TEMPERATURE
HHWP	HEATING HOT WATER PUMP	WC-#	WATER CLOSET
		W.C.O.	WALL CLEANOUT
		WH-#	WATER HEATER

# MECHANICAL SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	RETURN AIR GRILLE		GATE VALVE
	SUPPLY AIR DIFFUSER		GLOBE VALVE
	HORIZONTAL FIRE DAMPER		BALL VALVE
	VERTICAL FIRE DAMPER		CHECK VALVE
	VOLUME DAMPER		BALANCING VALVE
	TEMPERATURE SENSOR		COMBINATION BALANCE VALVE & FLOW METER
	THERMOSTAT OR SENSOR		SOLENOID VALVE
	DAMPER MOTOR		MOTOR OPERATED VALVE
	STATIC PRESSURE PROBE		PLUG VALVE
	COMBINATION FIRE / SMOKE DAMPER		THREE WAY CONTROL VALVE
	COMBINATION FIRE / SMOKE DAMPER		CONTROL VALVE
	SUPPLY AIR ELBOW UP DIMENSION DESCRIPTION: 1ST FIGURE = SIDE SHOWN 2ND FIGURE = SIDE NOT SHOWN ALL SIZES IN INCHES		BUTTERFLY VALVE
	SUPPLY AIR ELBOW DOWN		PRESSURE REGULATOR VALVE
	EXHAUST/RETURN AIR ELBOW UP		PRESSURE RELIEF VALVE
	EXHAUST/RETURN AIR ELBOW DOWN		THERMOMETER
	DOUBLE SIDE TRANSITION TRANSITION SLOPE SPECIFICATION: MINIMUM SLOPE = 15° MAXIMUM SLOPE = 45° ALL SIZES IN INCHES		STRAINER
	TOP TRANSITION (SLOPE ON TOP)		UNION
	BOTTOM TRANSITION (SLOPE ON BOTTOM)		PRESSURE GAGE WITH COCK
	RECTANGULAR TO ROUND TRANSITION		FLEXIBLE CONNECTOR
	ELBOW UP DIMENSION DESCRIPTION: 14" ø = ROUND DUCT 24"x12" FO = FLAT OVAL DUCT		CAP OFF EXISTING
	ELBOW DOWN		CONNECT TO EXISTING
	ELBOW - RADIUS (R) = 1.5 TIMES DIAMETER OF DUCT		PIPE TURNED UP
	HIGH EFFICIENCY TAKEOFF W/DAMPER. TYPICAL FOR ALL FLEX AND RIGID DUCT TAKEOFFS.		PIPE TURNED DOWN
	FLEXIBLE DUCTWORK MAX. 5' IN LENGTH		PIPE OUT TOP
	CEILING DIFFUSER		PIPE OUT BOTTOM

NOTE: ALL SYMBOLS MAY NOT BE USED ON THIS PROJECT.

# MECHANICAL DRAWING INDEX

SHT No.	SHEET TITLE	SCALE
M-000	MECHANICAL LEGEND, SYMBOLS, AND ABBREVIATIONS	NO SCALE
M-101	MECHANICAL BASEMENT PLAN	1/8"=1'-0"
M-102	MECHANICAL FIRST FLOOR PLAN	1/8"=1'-0"
M-103	MECHANICAL SECOND FLOOR PLAN	1/8"=1'-0"
M-104	MECHANICAL THIRD FLOOR PLAN	1/8"=1'-0"
M-105	MECHANICAL FOURTH FLOOR PLAN	1/8"=1'-0"
M-106	MECHANICAL ROOF PLAN	1/8"=1'-0"
M-300	TEMPERATURE CONTROLS	NO SCALE
M-400	MECHANICAL DETAILS	NO SCALE
M-401	MECHANICAL DETAILS	NO SCALE
M-500	MECHANICAL SCHEDULES	NO SCALE
M-501	MECHANICAL SCHEDULES	NO SCALE

# MECHANICAL GENERAL NOTES:

- COORDINATE NEW DUCTWORK & PIPING WITH EXISTING SITE CONDITIONS, EQUIPMENT MANUFACTURERS, AND ALL OTHER TRADES TO AVOID INTERFERENCES.
- PROVIDE ACCESS AROUND ALL NEW EQUIPMENT PER MANUFACTURERS RECOMMENDATIONS.
- ALL CORING THROUGH FLOORS SHALL BE BY MECHANICAL CONTRACTOR.
- ALL DUCTWORK & PIPING SHALL BE ROUTED AS HIGH AS POSSIBLE, UNLESS OTHERWISE NOTED. COORDINATE ROUTING WITH OTHER TRADES TO AVOID INTERFERENCES. ISOLATION VALVES, BALANCING VALVES, AND CONTROL VALVES SHALL BE NO MORE THAN 3'-6" ABOVE FINISHED CEILING.
- BALANCE AIR SYSTEMS TO INDICATED FLOW RATES.
- DUCT SIZES TO DIFFUSERS SHALL MATCH NECK SIZE OF EACH. REFER TO SCHEDULE SHEET M-500.
- ALL PIPING AND DUCTWORK SHALL BE CONCEALED IN WALLS AND/OR CEILING SPACE UNLESS OTHERWISE INDICATED.
- SEAL ALL PENETRATIONS THROUGH WALLS PER SPECIFICATIONS.
- COORDINATE EXACT LOCATIONS OF DIFFUSERS AND RETURN/EXHAUST GRILLES WITH ARCHITECTURAL AND ELECTRICAL REFLECTED CEILING PLAN.
- COORDINATE ROOM SENSOR(S) & T-STAT(S) LOCATIONS WITH ARCHITECT.
- ALL FIRE DAMPERS SHALL BE DYNAMIC UNLESS OTHERWISE NOTED.
- ALL FLEXIBLE DUCTWORK SHALL BE LIMITED TO 5'-0" MAXIMUM LENGTH FROM HARD DUCT CONNECTION TO ROUND NECK SUPPLY AIR DIFFUSERS.

# REGISTRATION



# OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1000 Woodward Ave.  
Detroit, MI 48226

# ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
TEL: 617.670.0292

# STRUCTURAL ENGINEER

# MECHANICAL ENGINEER

SELLINGER ASSOCIATES, INC.  
1825 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

# ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

# CIVIL ENGINEER

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
**On Edmund Place**  
**Between Brush St. and John R. St.**  
**Detroit MI, 48201**

# 05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

DATE: 05/15/2020

DRAWING TITLE  
**MECHANICAL LEGEND,  
SYMBOLS, AND  
ABBREVIATIONS**

SHEET NO.

# M-000

100% CD/ PERMIT SET

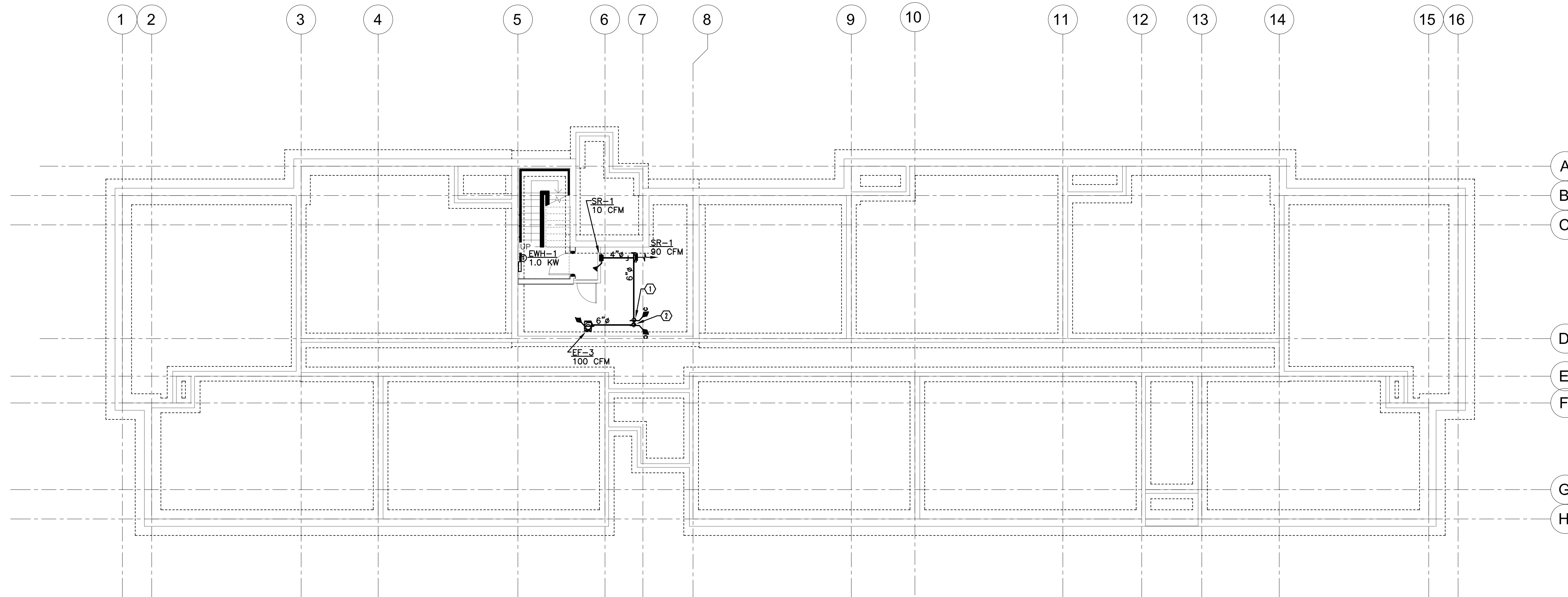


**NOTE: SEE M-000 FOR MECHANICAL GENERAL NOTES**

PROVIDE COMBINATION FIRE SMOKE DAMPER GREENHECK MODEL FSDR-512. COORDINATE EXACT SIZE IN FIELD PRIOR TO ORDERING. 120 VOLT DAMPER ACTUATOR, DAMPER BY MECHANICAL TRADES, DETECTION DEVICE AND ALL WIRING BY ELECTRICAL. COORDINATE WITH ELECTRICIAN.

**KEYED NOTES:**

- ① 6" SUPPLY DUCT WITH COMBINATION F/S DAMPER UP THRU FLOOR.
- ② 6" EXHAUST DUCT WITH COMBINATION F/S DAMPER UP THRU FLOOR.



**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1502 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.671.0262

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

**05/15/2020 100% CD / PERMIT SET**

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

DATE: 05/15/2020

DRAWING TITLE  
**MECHANICAL BASEMENT PLAN**

SHEET NO.

**M-101**

100% CD/ PERMIT SET



**MECHANICAL BASEMENT PLAN**

SCALE: 1/8" = 1' - 0"

NOTE: SEE M-000 FOR MECHANICAL GENERAL NOTES

MECHANICAL CONTRACTOR TO COORDINATE EXACT LOCATION OF SIDE WALL PENETRATIONS WITH ARCHITECTURAL ELEVATIONS - REFER TO ARCHITECTURAL DRAWINGS. OA INTAKE MUST BE 10 FEET AWAY FROM FLUE OR EXHAUST PER CODE.

PROVIDE COMBINATION FIRE SMOKE DAMPER GREENHECK MODEL FSDR-512. COORDINATE EXACT SIZE IN FIELD PRIOR TO ORDERING. 120 VOLT DAMPER ACTUATOR. DAMPER BY MECHANICAL TRADES, DETECTION DEVICE AND ALL WIRING BY ELECTRICAL. COORDINATE WITH ELECTRICIAN.

**KEYED NOTES:**

- ① 6" TOILET EXHAUST WITH EXHAUST WC-2.
- ② 4" DRYER EXHAUST DUCT WITH WC-1 AND BACKDRAFT DAMPER.
- ③ 6" OUTSIDE AIR DUCT WITH EXTERNAL INSULATION.
- ④ REF'G PIPING (SIZED BY FUR/ACCU MANU)
- ⑤ 6" SUPPLY DUCT DOWN THRU FLOOR WITH COMB F/S DAMPER
- ⑥ 6" EXHAUST DUCT DOWN THRU FLOOR WITH COMB F/S DAMPER
- ⑦ 12" SUPPLY DUCT UP THRU FLOOR ABOVE
- ⑧ 12" SUPPLY DUCT FROM SHAFT WITH COMB F/S DAMPER.
- ⑨ 6" KITCHEN EXHAUST WITH WC-2.
- ⑩ NOT USED
- ⑪ PROVIDE CONCENTRIC WALL VENT KIT/TERMINAL.
- ⑫ 6" EXHAUST WITH EXHAUST WC-2.
- ⑬ PROVIDE 1" ACOUSTICAL LINER ON THE FIRST 10 FEET OF RETURN DUCT.
- ⑭ TEXTURED BRICK AREA - AVOID ANY MECHANICAL WALL PENETRATIONS IN THIS AREA. COORDINATE WITH ARCHITECT.

REGISTRATION



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1000 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0292

**STRUCTURAL ENGINEER**

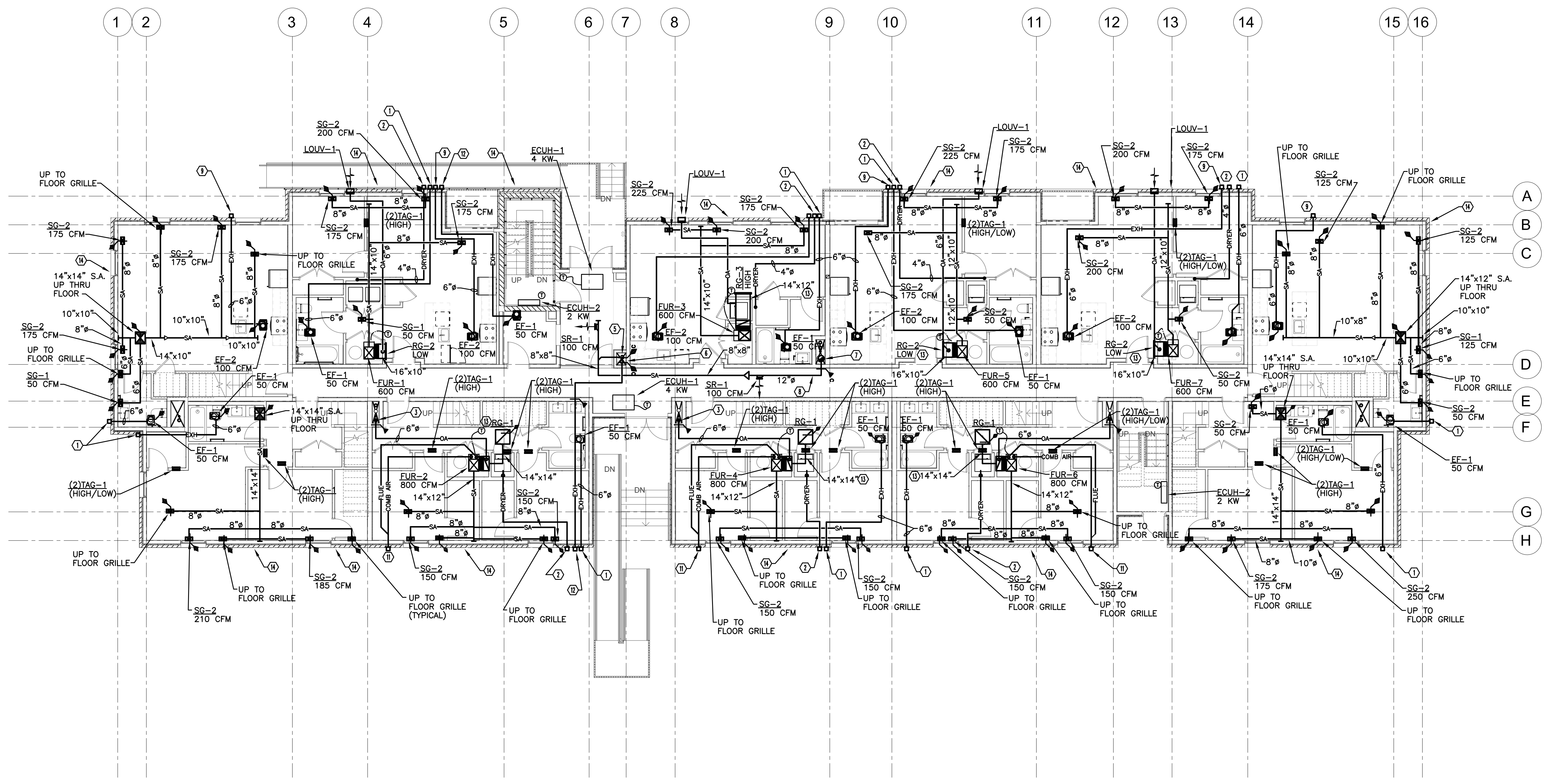
**MECHANICAL ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
418-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201



**MECHANICAL FIRST FLOOR PLAN**  
SCALE: 1/8" = 1' - 0"

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: AS NOTED  
DATE: 05/15/2020

DRAWING TITLE  
**MECHANICAL FIRST FLOOR PLAN**

SHEET NO.

**M-102**

100% CD/ PERMIT SET



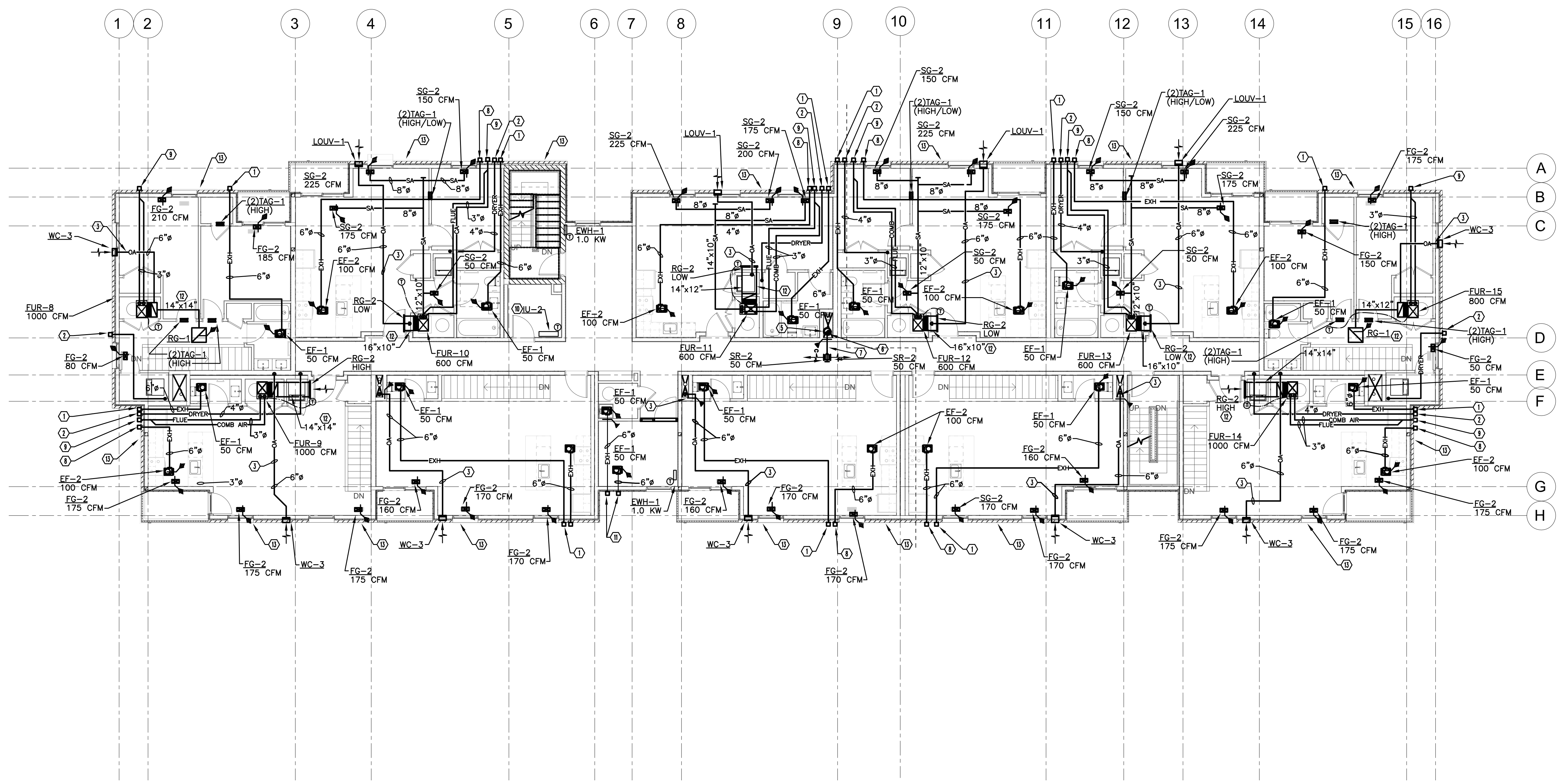
NOTE: SEE M-000 FOR MECHANICAL GENERAL NOTES

**KEYED NOTES:**

- ① 6" TOILET EXHAUST WITH EXHAUST WC-2.
- ② 4" DRYER EXHAUST DUCT WITH WC-1 AND BACKDRAFT DAMPER.
- ③ 6" OUTSIDE AIR DUCT WITH EXTERNAL INSULATION.
- ④ REF'G PIPING (SIZED BY FUR/ACCU MANU)
- ⑤ 12" SUPPLY DUCT DOWN THRU FLOOR
- ⑥ 12" SUPPLY DUCT DOWN UP FLOOR ABOVE
- ⑦ 6" SUPPLY DUCT FROM SHAFT WITH COMB F/S DAMPER
- ⑧ 6" KITCHEN EXHAUST WITH EXHAUST WC-2.
- ⑨ PROVIDE CONCENTRIC WALL VENT KIT/TERMINAL.
- ⑩ ROUTE REFRIGERANT PIPING UP TO ASSIGNED OU-2 (ON ROOF). SIZE AND INSTALL PER MANUFACTURER INSTRUCTION. ROUTE PUMPED CONDENSATE TO NEAREST FLOOR DRAIN, FLOOR SINK AND SPILL INDIRECTLY.
- ⑪ 6" EXHAUST WITH EXHAUST WC-2.
- ⑫ PROVIDE 1" ACOUSTICAL LINER ON THE FIRST 10 FEET OF RETURN DUCT.
- ⑬ TEXTURED BRICK AREA - AVOID ANY MECHANICAL WALL PENETRATIONS IN THIS AREA. COORDINATE WITH ARCHITECT.

MECHANICAL CONTRACTOR TO COORDINATE EXACT LOCATION OF SIDE WALL PENETRATIONS WITH ARCHITECTURAL ELEVATIONS - REFER TO ARCHITECTURAL DRAWINGS. OA INTAKE MUST BE 10 FEET AWAY FROM FLUE OR EXHAUST PER CODE.

PROVIDE COMBINATION FIRE SMOKE DAMPER GREENHECK MODEL FSDR-512. COORDINATE EXACT SIZE IN FIELD PRIOR TO ORDERING. 120 VOLT DAMPER ACTUATOR. DAMPER BY MECHANICAL TRADES, DETECTION DEVICE AND ALL WIRING BY ELECTRICAL. COORDINATE WITH ELECTRICIAN.



NORTH  
**MECHANICAL SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1' - 0"

REGISTRATION



**OWNER**  
 BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1000 Woodward Ave.  
 Detroit, MI 48226

**ARCHITECT**  
 MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617.670.0292

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**  
 SELLINGER ASSOCIATES, INC.  
 1821 FARMINGTON ROAD  
 LYONNA, MI 48152  
 T: 248.482.0045

**ELECTRICAL ENGINEER**  
 ETS ENGINEERING, INC.  
 415-1/2 S. WASHINGTON BLVD.  
 ROYAL OAK, MI 48067  
 T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:	18284
SCALE:	AS NOTED
DATE:	05/15/2020

DRAWING TITLE  
**MECHANICAL SECOND FLOOR PLAN**

SHEET NO.

**M-103**

100% CD/ PERMIT SET

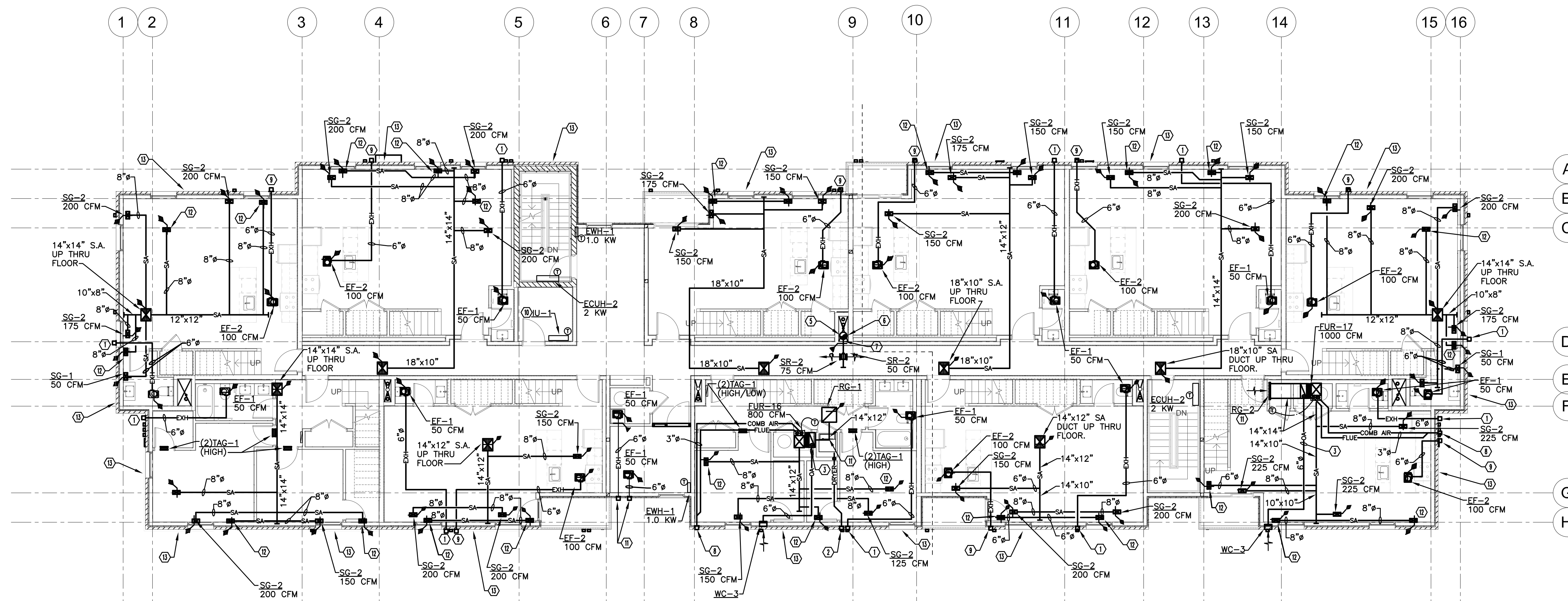
NOTE: SEE M-000 FOR MECHANICAL GENERAL NOTES

**KEYED NOTES:**

- ① 6" TOILET EXHAUST WITH EXHAUST WC-2.
- ② 4" DRYER EXHAUST DUCT WITH WC-1 AND BACKDRAFT DAMPER.
- ③ 6" OUTSIDE AIR DUCT WITH EXTERNAL INSULATION.
- ④ REF'G PIPING (SIZED BY FUR/ACCU MANU)
- ⑤ 12" SUPPLY DUCT DOWN THRU FLOOR
- ⑥ 12" SUPPLY DUCT UP THRU FLOOR
- ⑦ 6" SUPPLY DUCT FROM SHAFT WITH COMB F/S DAMPER
- ⑧ PROVIDE CONCENTRIC WALL VENT KIT/TERMINAL.
- ⑨ 6" KITCHEN EXHAUST WITH EXHAUST WC-2.
- ⑩ ROUTE REFRIGERANT PIPING UP TO ASSIGNED QU-1 (ON ROOF). SIZE AND INSTALL PER MANUFACTURER INSTRUCTION. ROUTE PUMPED CONDENSATE TO NEAREST FLOOR DRAIN, FLOOR SINK AND SPILL INDIRECTLY.
- ⑪ PROVIDE 1" ACOUSTICAL LINER ON THE FIRST 10 FEET OF RETURN DUCT.
- ⑫ UP TO FLOOR GRILLE.
- ⑬ TEXTURED BRICK AREA - AVOID ANY MECHANICAL WALL PENETRATIONS IN THIS AREA. COORDINATE WITH ARCHITECT.

MECHANICAL CONTRACTOR TO COORDINATE EXACT LOCATION OF SIDE WALL PENETRATIONS WITH ARCHITECTURAL ELEVATIONS - REFER TO ARCHITECTURAL DRAWINGS. OA INTAKE MUST BE 10 FEET AWAY FROM FLUE OR EXHAUST PER CODE.

PROVIDE COMBINATION FIRE SMOKE DAMPER GREENHECK MODEL FSDR-512. COORDINATE EXACT SIZE IN FIELD PRIOR TO ORDERING. 120 VOLT DAMPER ACTUATOR. DAMPER BY MECHANICAL TRADES, DETECTION DEVICE AND ALL WIRING BY ELECTRICAL. COORDINATE WITH ELECTRICIAN.



NORTH  
**MECHANICAL THIRD FLOOR PLAN**  
 SCALE: 1/8" = 1' - 0"

REGISTRATION



**OWNER**  
 BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1000 Woodward Ave.  
 Detroit, MI 48226

**ARCHITECT**  
 MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617.670.0292

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**

SELLINGER ASSOCIATES, INC.  
 1821 FARMINGTON ROAD  
 LYONNA, MI 48152  
 T: 248.482.0045

**ELECTRICAL ENGINEER**  
 ETS ENGINEERING, INC.  
 415-1/2 S. WASHINGTON BLVD.  
 ROYAL OAK, MI 48067  
 T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
 SCALE: AS NOTED  
 DATE: 05/15/2020

DRAWING TITLE  
**MECHANICAL THIRD FLOOR PLAN**

SHEET NO.  
**M-104**

100% CD/ PERMIT SET



NOTE: SEE M-000 FOR MECHANICAL GENERAL NOTES

MECHANICAL CONTRACTOR TO COORDINATE EXACT LOCATION OF SIDE WALL PENETRATIONS WITH ARCHITECTURAL ELEVATIONS - REFER TO ARCHITECTURAL DRAWINGS. OA INTAKE MUST BE 10 FEET AWAY FROM FLUE OR EXHAUST PER CODE.

PROVIDE COMBINATION FIRE SMOKE DAMPER GREENHECK MODEL FSDR-512. COORDINATE EXACT SIZE IN FIELD PRIOR TO ORDERING. 120 VOLT DAMPER ACTUATOR, DAMPER BY MECHANICAL TRADES, DETECTION DEVICE AND ALL WIRING BY ELECTRICAL. COORDINATE WITH ELECTRICIAN.

**KEYED NOTES:**

- ① 6" TOILET EXHAUST WITH EXHAUST WC-2.
- ② 4" DRYER EXHAUST DUCT WITH WC-1 AND BACKDRAFT DAMPER.
- ③ 6" OUTSIDE AIR DUCT WITH EXTERNAL INSULATION.
- ④ REF'G PIPING (SIZED BY FUR/ACCU MANU)
- ⑤ 12" SUPPLY DUCT UP AND DOWN THRU FLOOR IN SHAFT
- ⑥ PROVIDE CONCENTRIC WALL VENT KIT/TERMINAL.
- ⑦ 6" KITCHEN EXHAUST WITH EXHAUST WC-2.
- ⑧ 3" INSULATED DUCT WITH 24 VOLT MOTORIZED DAMPER INTERLOCKED WITH EXHAUST FAN SERVING THIS ROOM.
- ⑨ TEXTURED BRICK AREA - AVOID ANY MECHANICAL WALL PENETRATIONS IN THIS AREA. COORDINATE WITH ARCHITECT.

REGISTRATION



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1002 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.671.0202

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

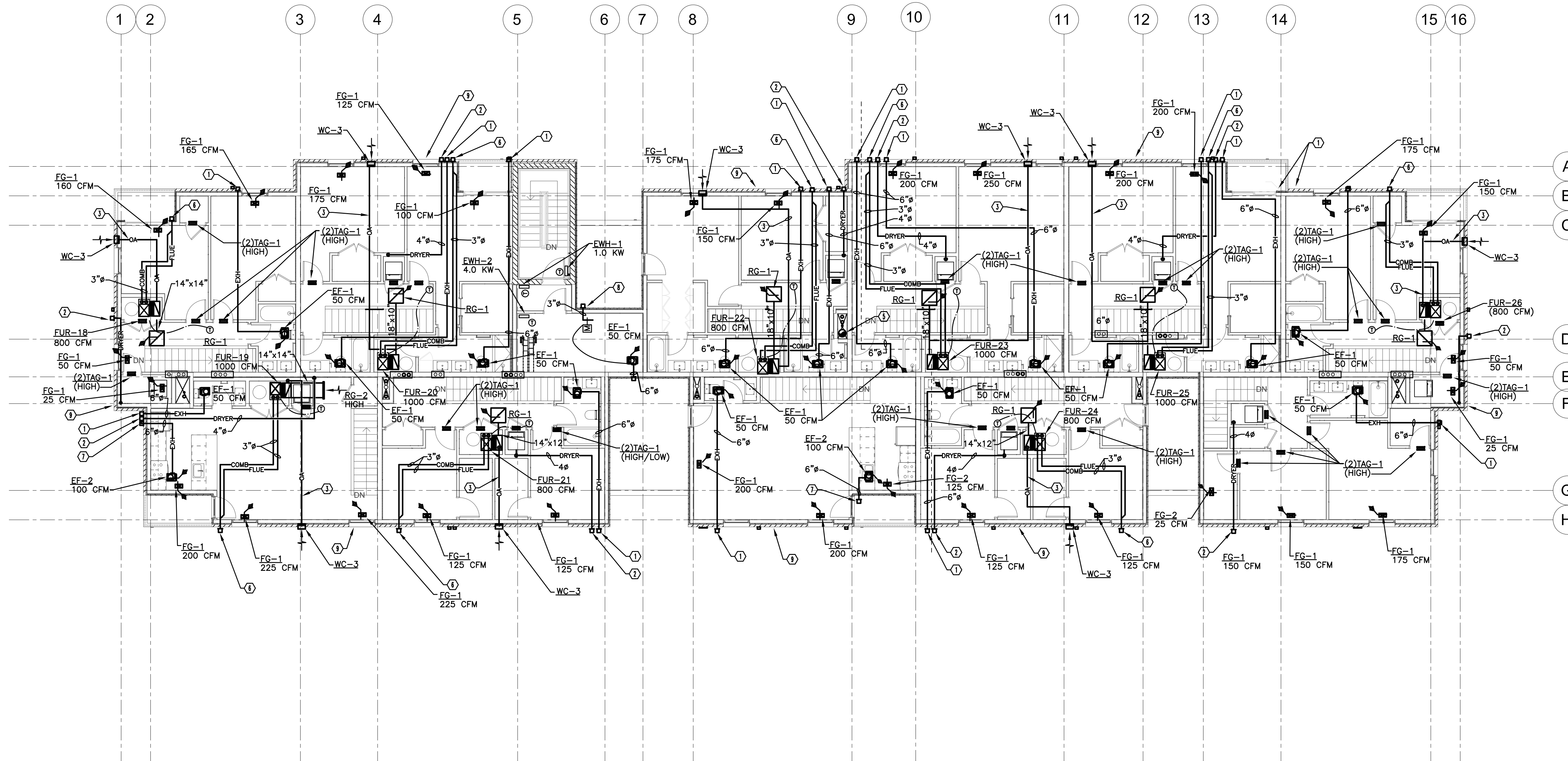
DATE: 05/15/2020

DRAWING TITLE  
**MECHANICAL FOURTH FLOOR PLAN**

SHEET NO.

**M-105**

100% CD/ PERMIT SET

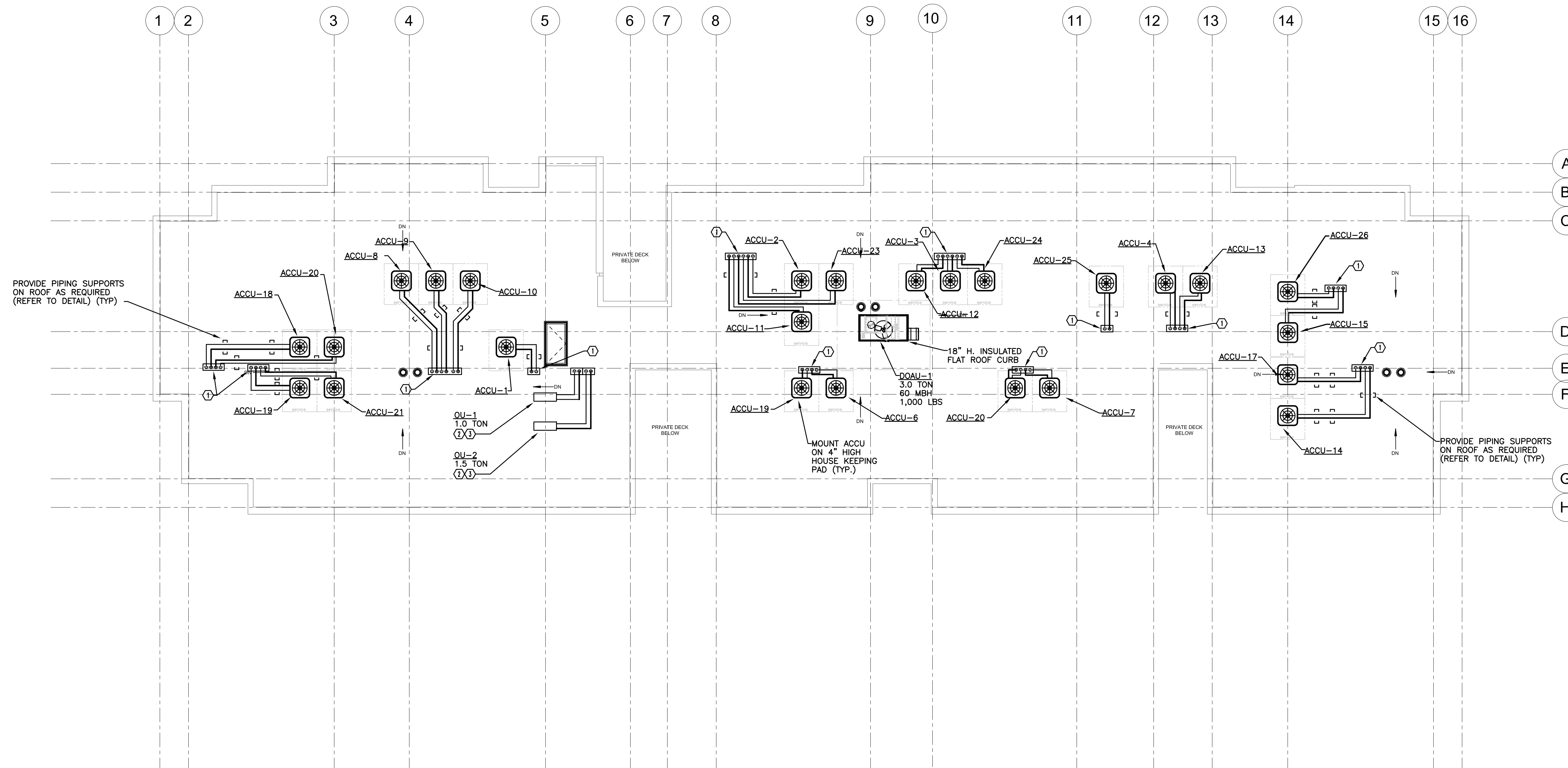


NORTH  
**MECHANICAL FOURTH FLOOR PLAN**  
SCALE: 1/8" = 1' - 0"

**NOTE: SEE M-000 FOR MECHANICAL GENERAL NOTES**

**KEYED NOTES:**

- ① REF'G PIPING DOWN THRU ROOF (SIZED BY FUR/ACCU MANU) PROVIDE PATTE PIPE CURB SEAL - REFER TO DETAIL.
- ② ROUTE/SIZE REFRIGERANT PIPING TO IU-X PER MANUFACTURER INSTRUCTION. PROVIDE PATTE PIPE CURB SEAL - REFER TO DETAIL.
- ③ PROVIDE CONDENSING UNIT 24" HIGH SUPPORT- REFER TO DETAIL.



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1002 Woodward Ave.  
Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.671.0262

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

CIVIL ENGINEER

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

DATE: 05/15/2020

DRAWING TITLE  
**MECHANICAL ROOF PLAN**

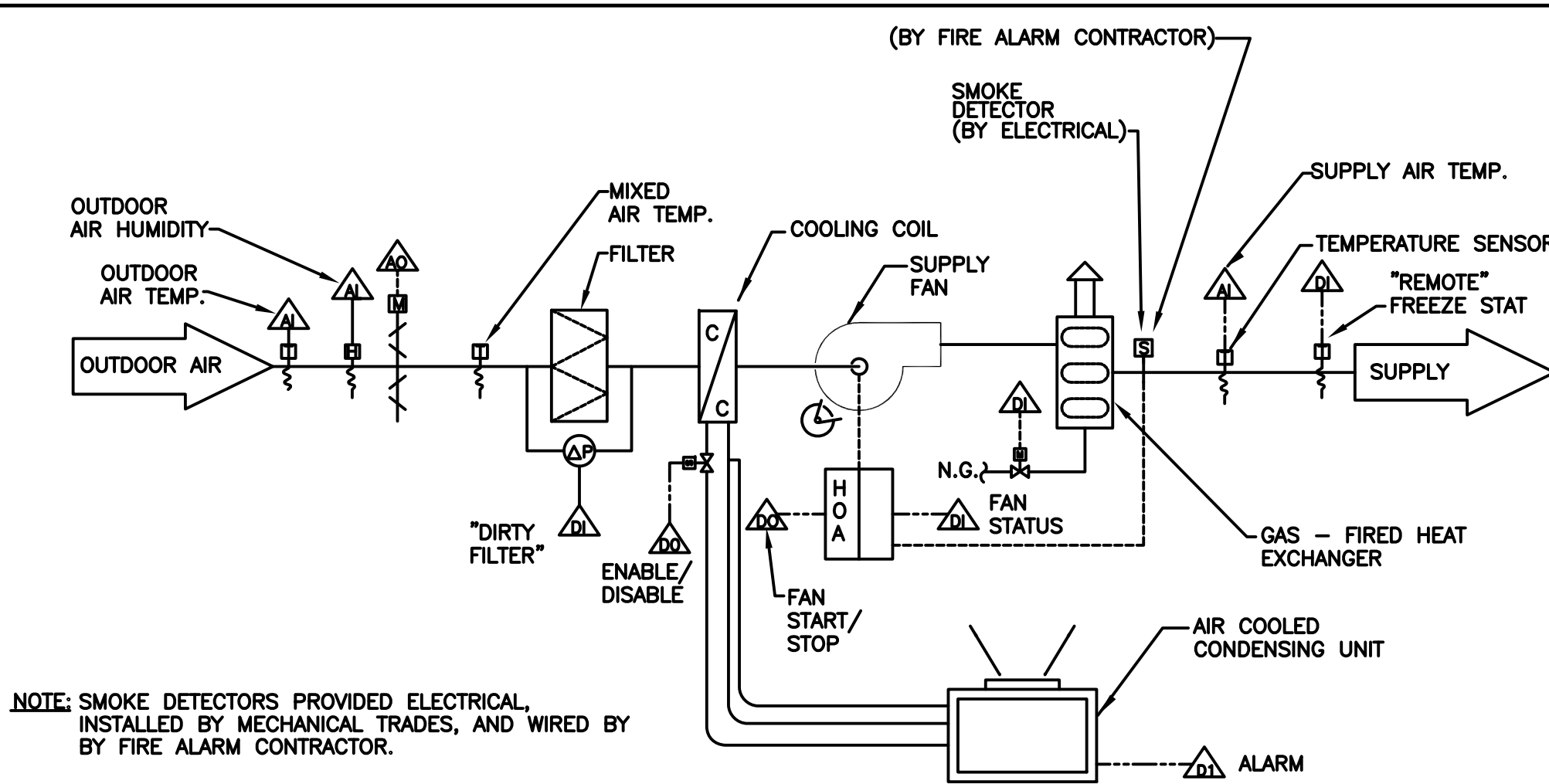
SHEET NO.

**M-106**

100% CD/ PERMIT SET

NORTH  
**MECHANICAL ROOF PLAN**  
SCALE: 1/8" = 1' - 0"





**DOAU-1 CONTROL DIAGRAM**  
NO SCALE

**SEQUENCE OF OPERATION, DOAU-1**

THIS UNIT IS CONSTANT VOLUME, 100% OA, SINGLE ZONE UNIT, WHICH WILL OPERATE CONTINUOUSLY WHENEVER THE BUILDING IS OCCUPIED (24/7). THE UNIT SHALL BE PROVIDED WITH PROPRIETARY DDC CONTROLS TO ACCOMPLISH THE FOLLOWING SEQUENCE.

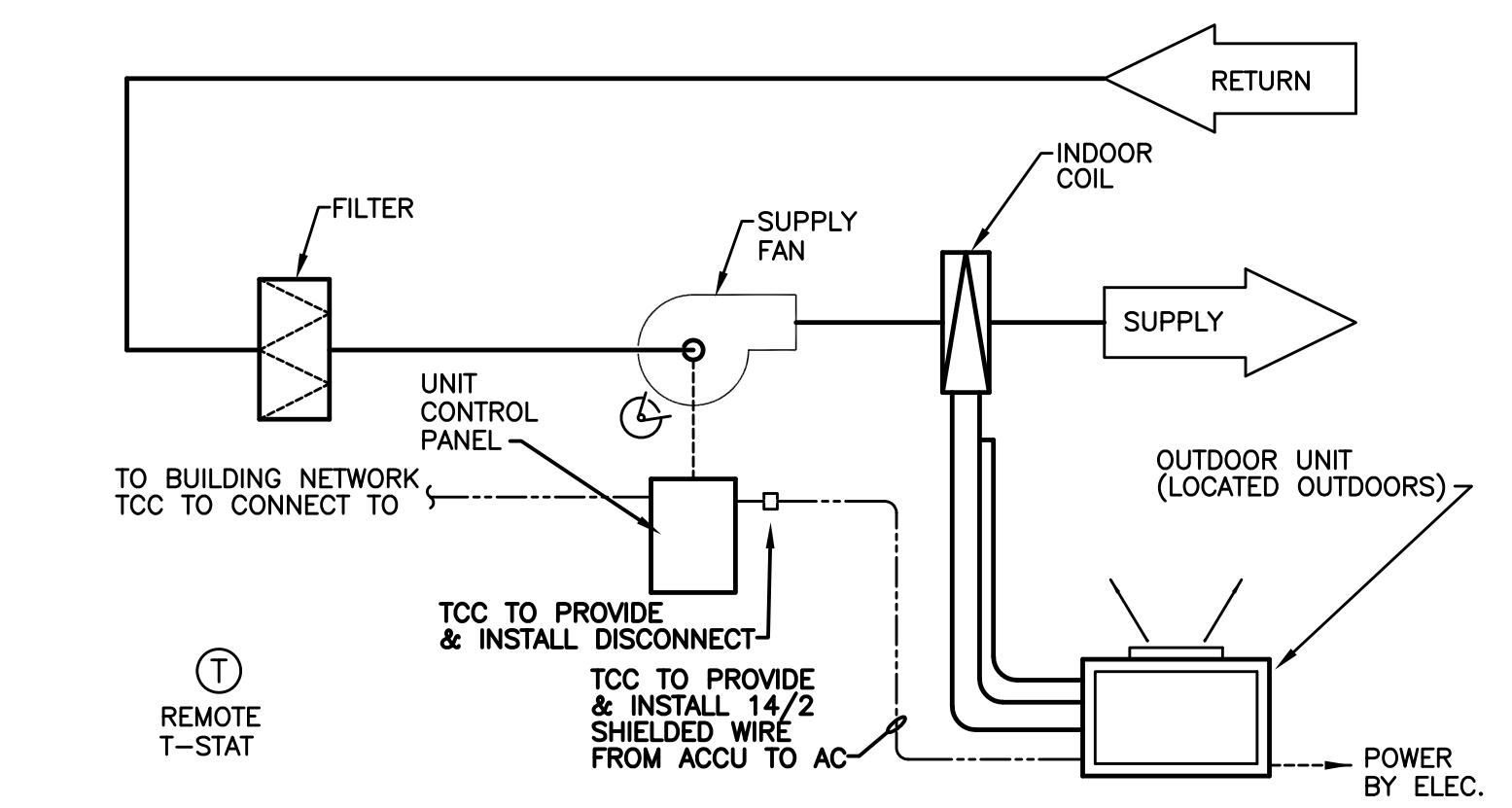
**FAN START** - SUPPLY FAN SHALL START ON A SIGNAL FROM THE PROGRAMMABLE T-STAT WHEN THE FAN "HAND-OFF-AUTO" (H-O-A) SWITCH IS IN THE "AUTO" POSITION. WHEN THE FAN STARTS, THE OUTDOOR AIR DAMPER MOVE TO MINIMUM OUTDOOR AIR POSITION.

**HEATING AND COOLING** - WHEN THE SUPPLY AIR TEMPERATURE SENSOR CANNOT MAINTAIN THE REQUIRED SUPPLY AIR OR SPACE TEMPERATURE, MECHANICAL HEATING AND COOLING WILL OCCUR.

**HEATING MODE:** IN THE HEATING MODE, A PRE-PURGE, POST-PURGE, FLAME SUPERVISION, PROOF OF IGNITION SHALL OCCUR. THE GAS VALVE SHALL MODULATE TO SATISFY SPACE SETPOINT.

**COOLING MODE:** WHEN THE SUPPLY AIR TEMPERATURE EXCEEDS ITS SETPOINT, MECHANICAL COOLING WILL OCCUR. THE REFRIGERANT SOLENOID VALVE WILL OPEN, ALLOWING REFRIGERANT TO THE COOLING COIL. IF AIRFLOW THROUGH THE AIR HANDLER IS PROVEN, AS INDICATED BY AN AIR FLOW SENSOR COMPRESSOR OPERATION WILL BE ENABLED. THE HIGHER PRESSURE IN THE SUCTION LINE WILL START THE COOLING COMPRESSORS. A SUPPLY AIR TEMPERATURE SENSOR IN THE SUPPLY AIR DUCT WILL CONTROL THE REFRIGERANT SOLENOID VALVE. A HOT GAS BYPASS VALVE WILL ALLOW THE REFRIGERATION SYSTEM TO OPERATE AT LOW COOLING LOADS.

**SAFETIES** - A REMOTE FREEZESTAT (LOCATED IN DUCT INSIDE BLDG) WILL TRIP THE SUPPLY FAN WHEN ITS SETPOINT IS REACHED.



**INDOOR & OUTDOOR HEAT PUMP UNIT CONTROL DIAGRAM**  
NO SCALE

**SEQUENCE OF OPERATION, (IU-1 & OU-1)**

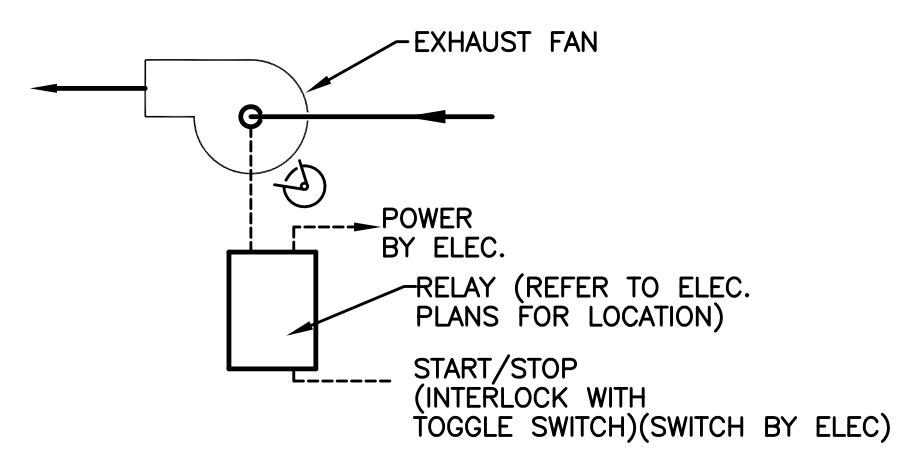
THESE UNIT ARE CONSTANT VOLUME, SINGLE ZONE UNIT, WHICH WILL OPERATE BASED ON TIME CLOCK (INTERNALLY TO UNIT). THE T-STAT SHALL HAVE A 24-HOUR TIME CLOCK ENABLING ONE ON/OFF TIME TO BE SET IN A 24-HOUR PERIOD. (UNITS TO RUN 24/7)

**FAN START** - SUPPLY FAN SHALL START ON A SIGNAL FROM THE T-STAT.

**COOLING** - WHEN THE SPACE TEMPERATURE SENSOR CANNOT MAINTAIN THE REQUIRED SPACE TEMPERATURE SETPOINT, MECHANICAL COOLING WILL OCCUR.

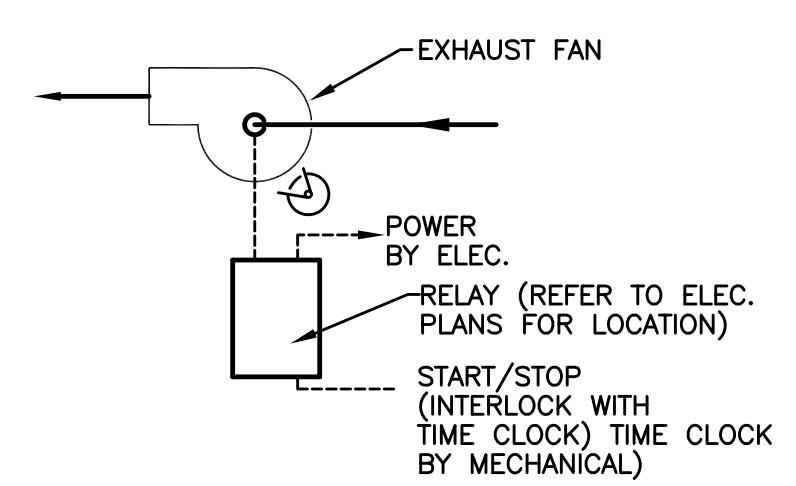
**COOLING MODE:** WHEN THE SPACE TEMPERATURE EXCEEDS ITS SETPOINT, MECHANICAL COOLING WILL OCCUR. THE OUTDOOR UNIT SHALL BE ACTIVATED AND ALLOW REFRIGERANT TO FLOW TO THE COOLING COIL.

**HEATING MODE:** WHEN THE SPACE TEMPERATURE DROPS BELOW ITS SETPOINT, MECHANICAL HEATING WILL OCCUR. THE OUTDOOR UNIT SHALL BE ACTIVATED AND ALLOW REFRIGERANT TO FLOW TO THE HEATING COIL.



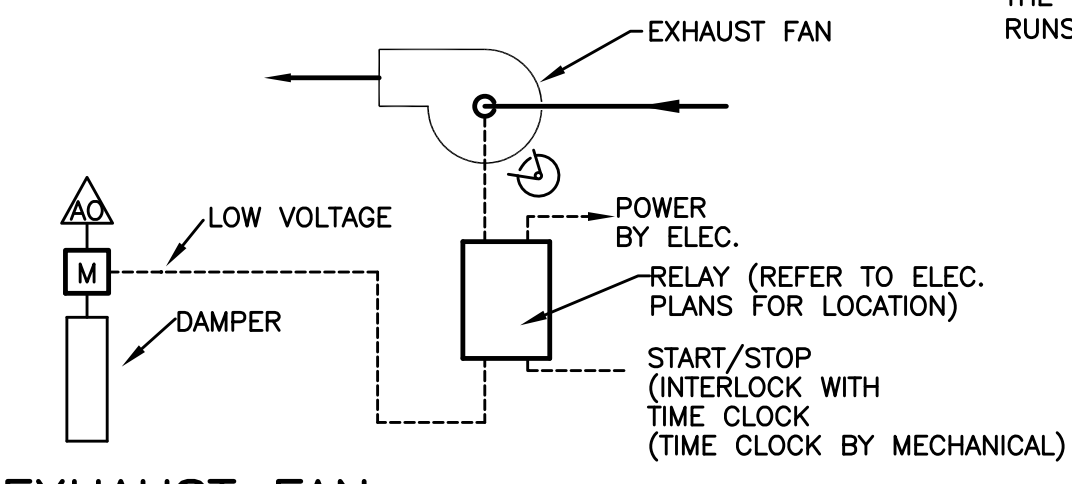
**EXHAUST FAN CONTROL DIAGRAM**  
NO SCALE

**SEQUENCE OF OPERATION (EF-X) RESIDENT TOILET ROOM / KITCHEN:**  
THE FAN SHALL BE STARTED/STOPPED BY TOGGLE SWITCH (BY SWITCH BY ELECTRICAL)



**EXHAUST FAN, EF-X STORAGE ROOMS AND JC CLOSETS CONTROL DIAGRAM**  
NO SCALE

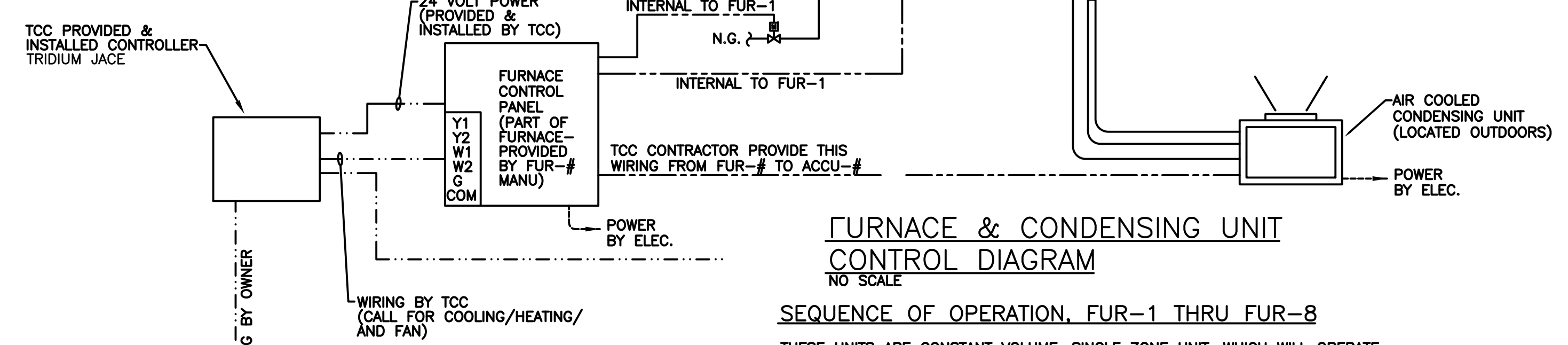
**SEQUENCE OF OPERATION:**  
THE FAN SHALL BE STARTED/STOPPED BY TIME CLOCK (BY MECH) RUNS 24/7.



**EXHAUST FAN CONTROL DIAGRAM**  
NO SCALE

**SEQUENCE OF OPERATION (EF-X) 4TH FLOOR STORAGE ROOM:**  
THE FAN SHALL RUN 24/7.

AN INTERLOCKING END SWITCH SHALL OPEN DAMPER WHEN ASSOCIATED FAN IS RUNNING.



**FURNACE & CONDENSING UNIT CONTROL DIAGRAM**  
NO SCALE

**SEQUENCE OF OPERATION, FUR-1 THRU FUR-8**

THESE UNITS ARE CONSTANT VOLUME, SINGLE ZONE UNIT, WHICH WILL OPERATE WHEN BUILDING IS OCCUPIED & CALL FOR HEATING OR COOLING IS REQUIRED. THE UNIT SHALL BE PROVIDED WITH STANDARD CONTROLS WITH TERMINAL STRIP FOR Y1,Y2,W1,W2,G AND COMMON (BY FURNACE MANUFACTURER) TO ACCOMPLISH THE FOLLOWING SEQUENCE.

**FAN START** - SUPPLY FAN SHALL START ON A SIGNAL FROM THE TCC PROVIDED BAS SYSTEM. WHEN THE FAN STARTS, THE OUTDOOR AIR DAMPER SHALL OPEN.

**HEATING AND COOLING** - WHEN THE SPACE TEMPERATURE SENSOR CANNOT MAINTAIN THE REQUIRED SPACE TEMPERATURE SETPOINT, MECHANICAL HEATING OR COOLING WILL OCCUR.

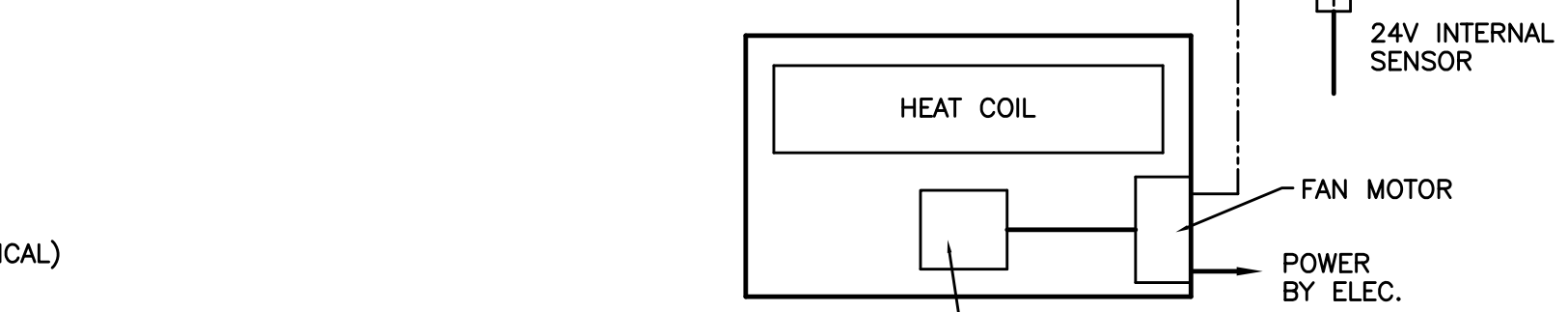
**HEATING MODE:** IN THE HEATING MODE, A PRE-PURGE, POST-PURGE, FLAME SUPERVISION, PROOF OF IGNITION SHALL OCCUR. THE GAS VALVE SHALL OPEN TO SATISFY SPACE SETPOINT.

**COOLING MODE:** WHEN THE SPACE TEMPERATURE EXCEEDS ITS SETPOINT, MECHANICAL COOLING WILL OCCUR. THE AIR-COOLED CONDENSING UNIT SHALL BE ACTIVATED AND ALLOW REFRIGERANT TO FLOW TO THE COOLING COIL.

**SAFETIES** - TCC SHALL PROVIDE CURRENT SENSOR ON FAN WIRING AND ALARM AT THE BAS WITH FAN IS COMMAND ON AND CURRENT IS OUT OF STANDARD RANGE. NO ALARM SHALL BE GENERATED WITH FAN IS COMMAND OFF AND CURRENT SENSOR SENSES NO CURRENT.

**ELECTRIC WALL HEATER CONTROL DIAGRAM**  
NO SCALE

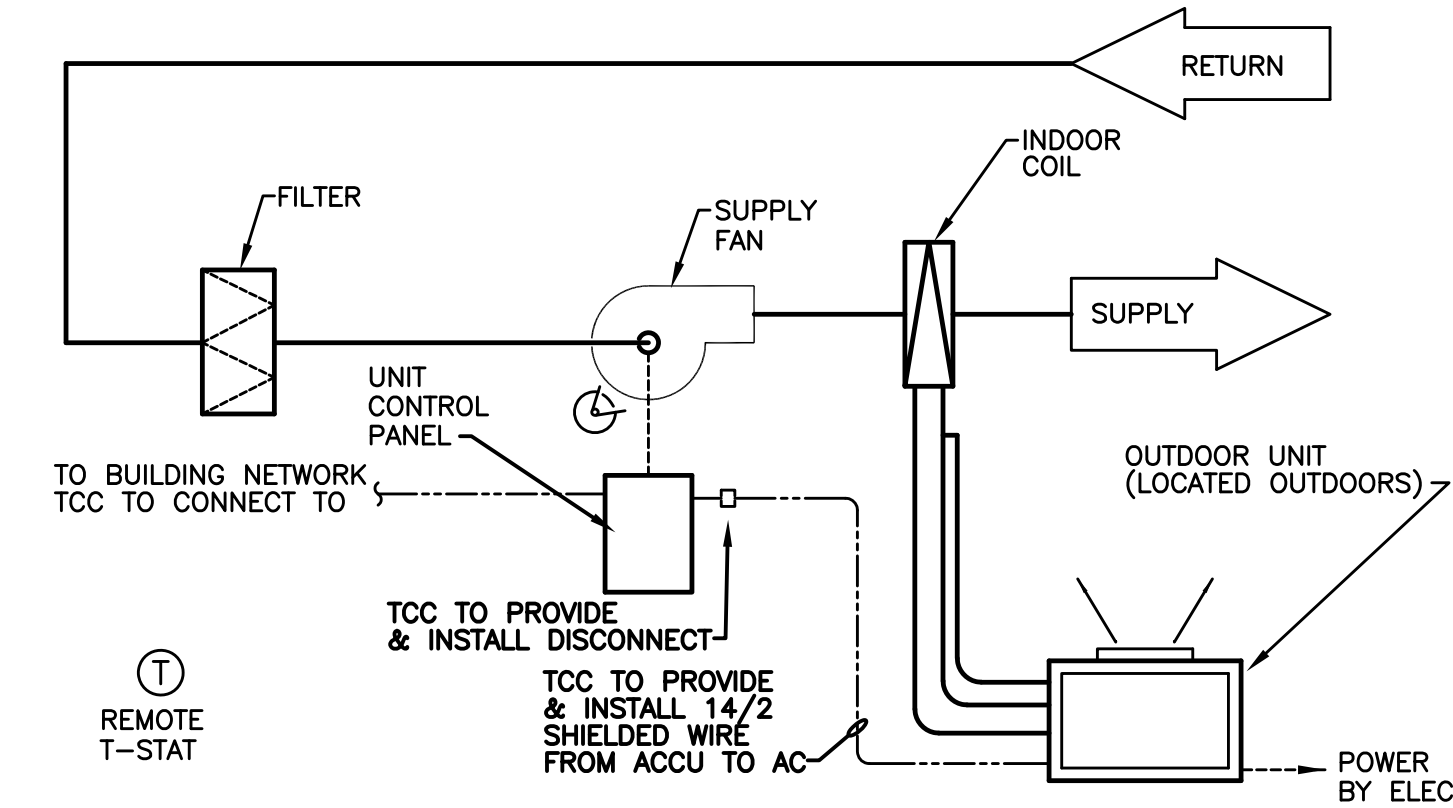
**SEQUENCE OF OPERATION**  
ELECTRIC T-STAT SHALL CYCLE FAN ON/OFF AND STAGE ELEC. HEAT AS REQUIRED TO MAINTAIN SETPOINT.



**ELECTRIC CABINET UNIT HEATER CONTROL DIAGRAM**  
NO SCALE

**SEQUENCE OF OPERATION**

WHEN THE SPACE TEMPERATURE FALLS BELOW SETPOINT, AS SENSED BY THE TEMPERATURE SENSOR, THE SUPPLY FAN(S) AND ELECTRIC HEATING COIL SHALL START THROUGH A CONTROL RELAY. WHEN SPACE IS SATISFIED, FAN AND COIL SHALL STOP.



**INDOOR & OUTDOOR HEAT PUMP UNIT CONTROL DIAGRAM**  
NO SCALE

**SEQUENCE OF OPERATION, (IU-1 & OU-1)**

THESE UNIT ARE CONSTANT VOLUME, SINGLE ZONE UNIT, WHICH WILL OPERATE BASED ON TIME CLOCK (INTERNALLY TO UNIT). THE T-STAT SHALL HAVE A 24-HOUR TIME CLOCK ENABLING ONE ON/OFF TIME TO BE SET IN A 24-HOUR PERIOD. (UNITS TO RUN 24/7)

**FAN START** - SUPPLY FAN SHALL START ON A SIGNAL FROM THE T-STAT.

**COOLING** - WHEN THE SPACE TEMPERATURE SENSOR CANNOT MAINTAIN THE REQUIRED SPACE TEMPERATURE SETPOINT, MECHANICAL COOLING WILL OCCUR.

**COOLING MODE:** WHEN THE SPACE TEMPERATURE EXCEEDS ITS SETPOINT, MECHANICAL COOLING WILL OCCUR. THE OUTDOOR UNIT SHALL BE ACTIVATED AND ALLOW REFRIGERANT TO FLOW TO THE COOLING COIL.

**HEATING MODE:** WHEN THE SPACE TEMPERATURE DROPS BELOW ITS SETPOINT, MECHANICAL HEATING WILL OCCUR. THE OUTDOOR UNIT SHALL BE ACTIVATED AND ALLOW REFRIGERANT TO FLOW TO THE HEATING COIL.

**REGISTRATION**

**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1002 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST, FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0292

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1802 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

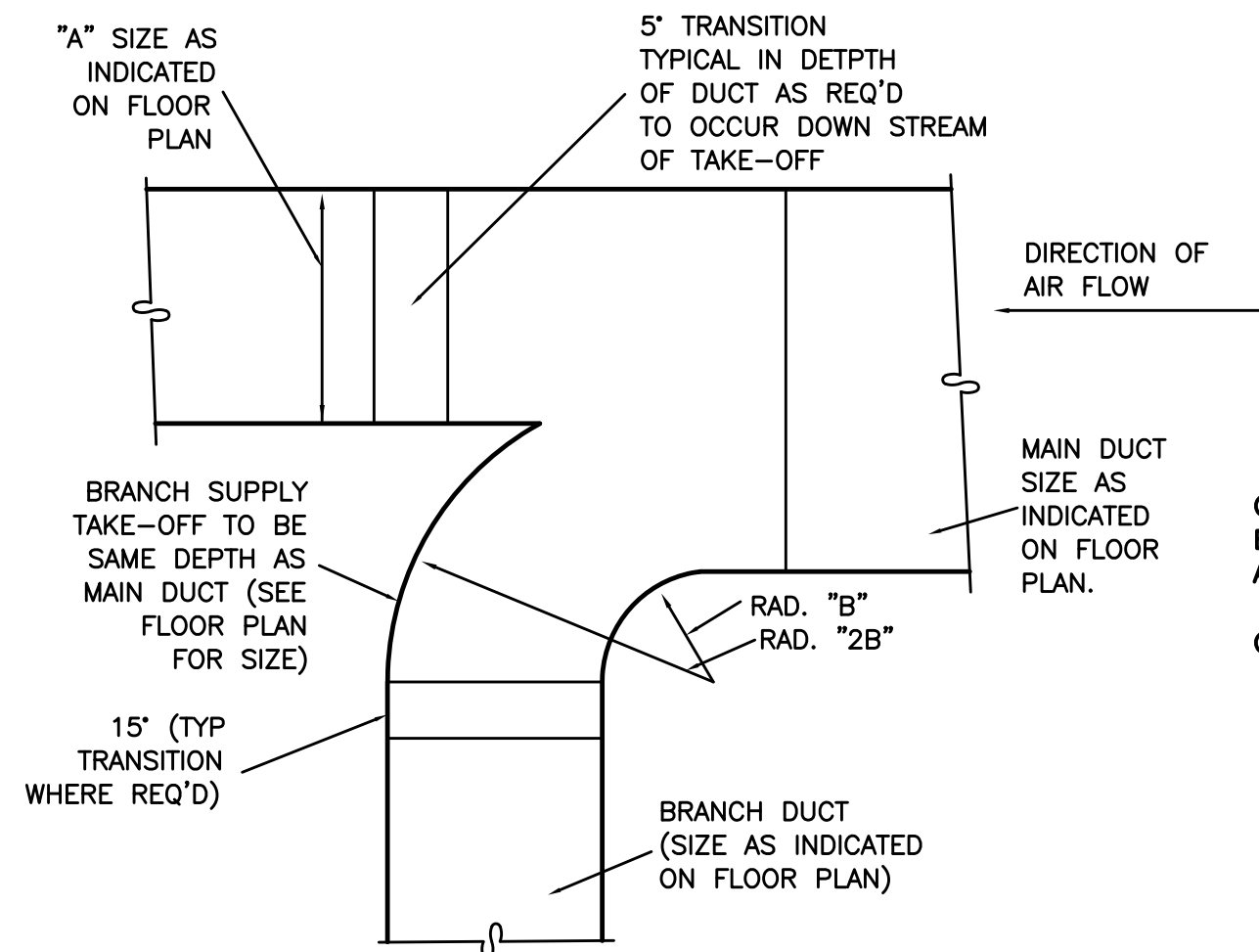
THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: AS NOTED  
DATE: 05/15/2020

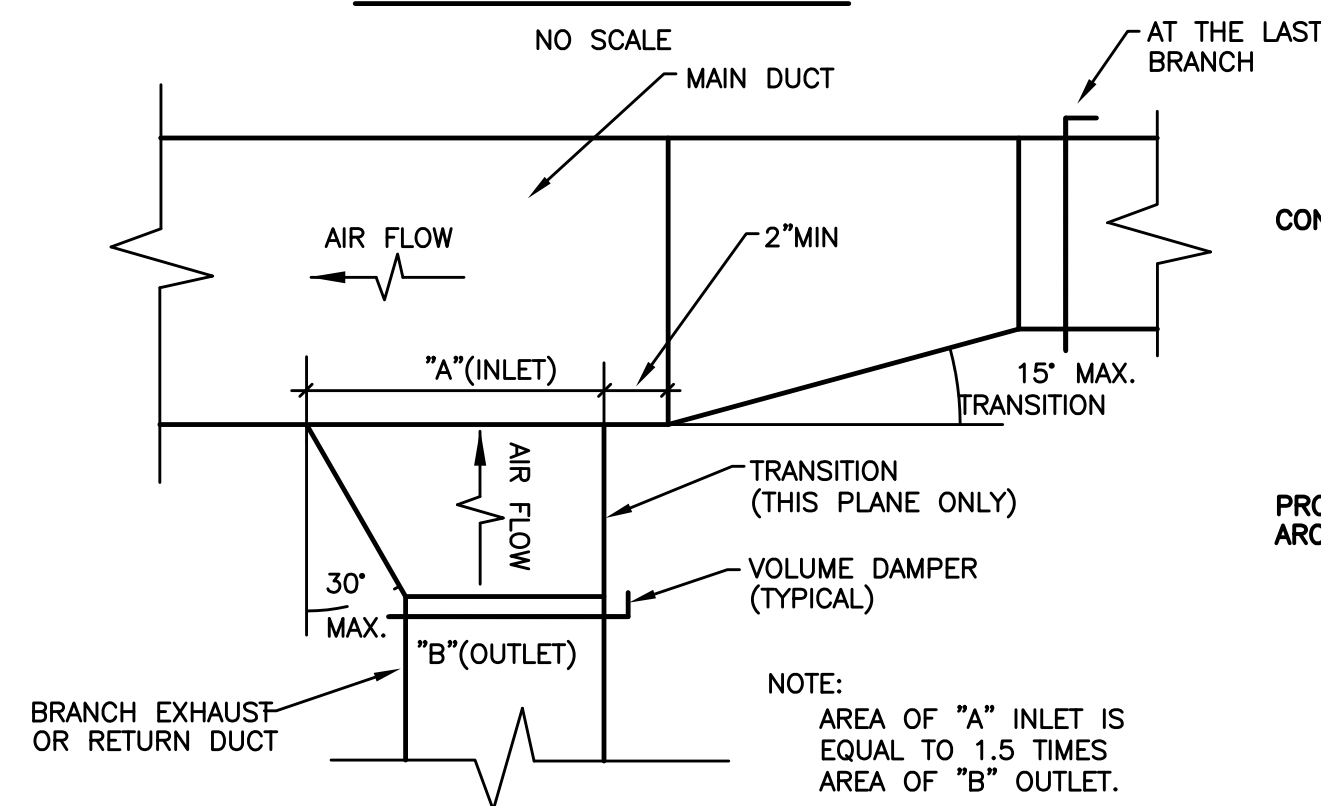
DRAWING TITLE  
**TEMPERATURE CONTROLS**

SHEET NO.  
**M-300**

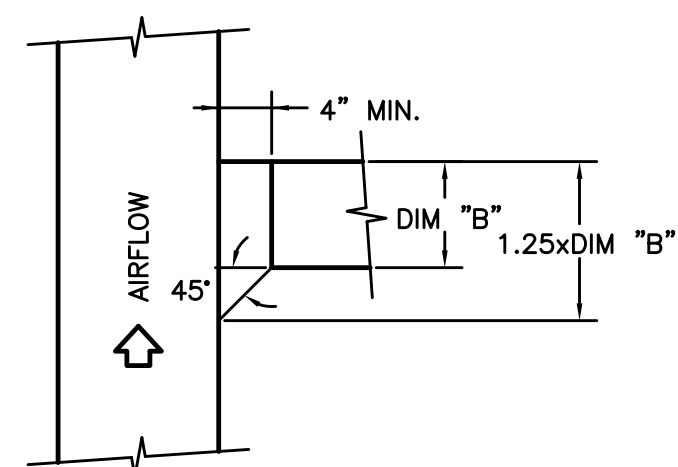
100% CD / PERMIT SET



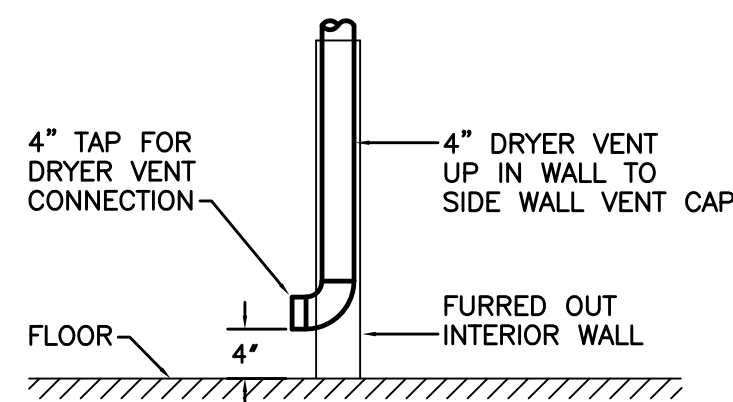
**TYPICAL RADIUS TURN ON SUPPLY AIR DUCT**  
NO SCALE



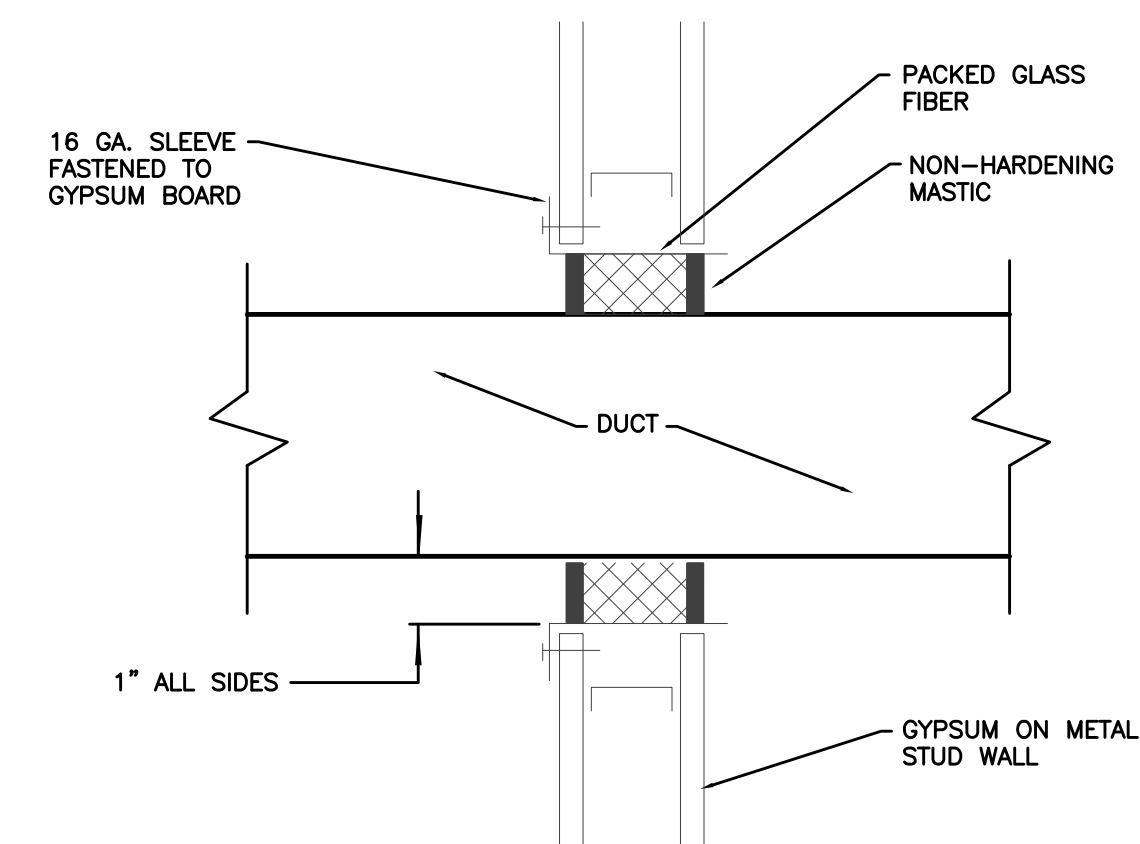
**TYPICAL RETURN OR EXHAUST DUCT CONNECTION DETAIL**  
NO SCALE



**TYPICAL SUPPLY DUCT CONNECTION DETAIL**  
NO SCALE

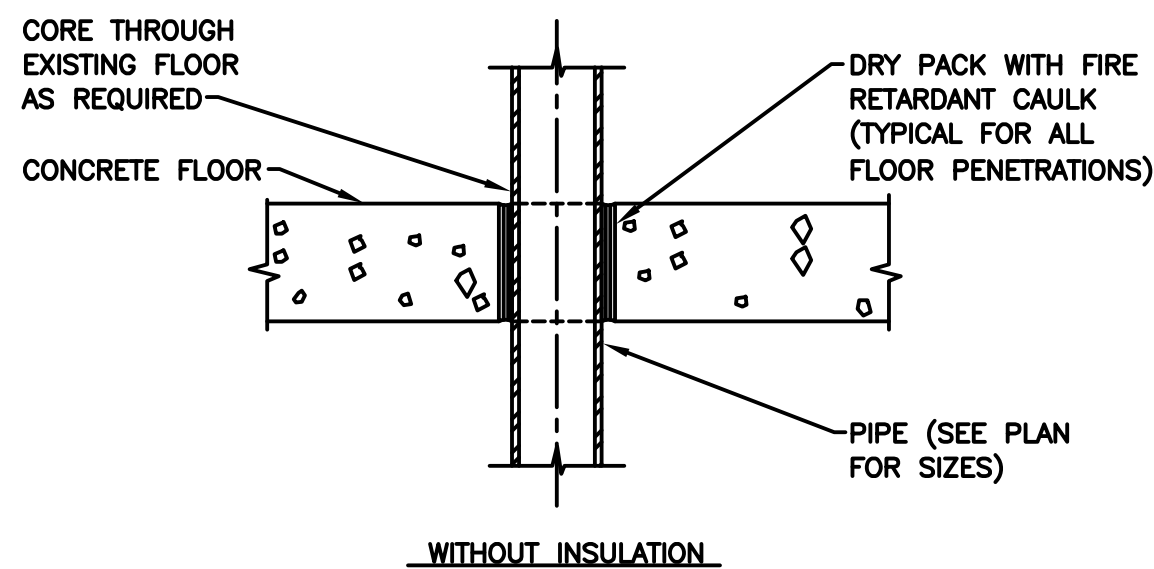


**DRYER VENT IN WALL DETAIL**  
NO SCALE

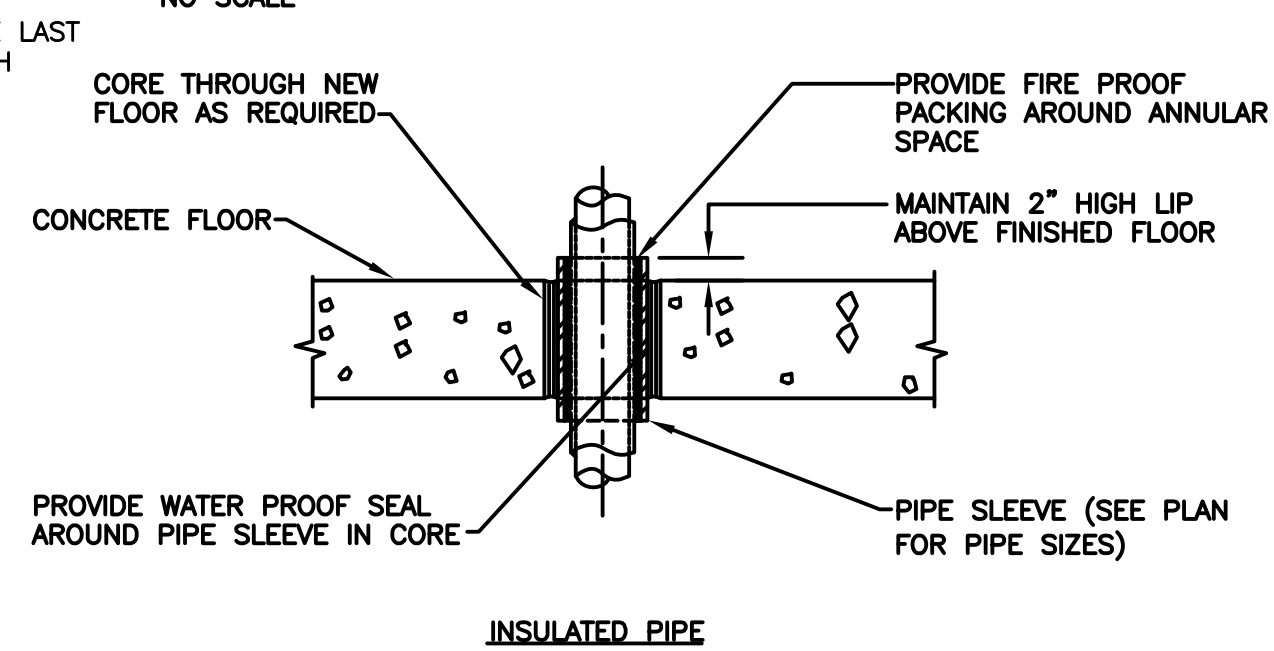


**DUCT SEAL AT NON RATED WALLS**  
NO SCALE

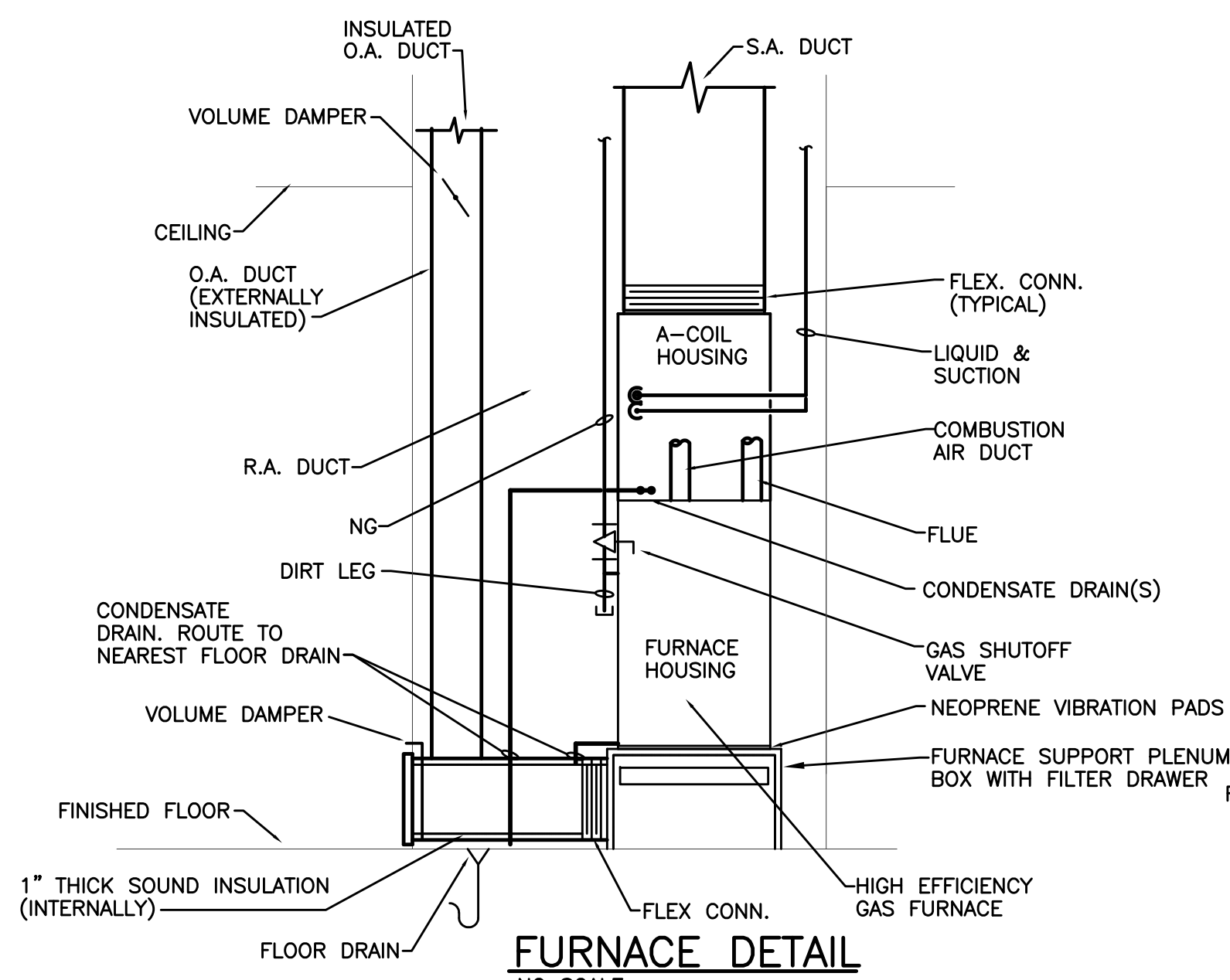
NOTE:  
1. COORDINATE WITH ARCH TRADES TO FRAME WALL OPENINGS LARGER THAN 14 INCHES WIDE OR WHERE METAL STUD MUST BE CUT TO INSTALL DUCT.



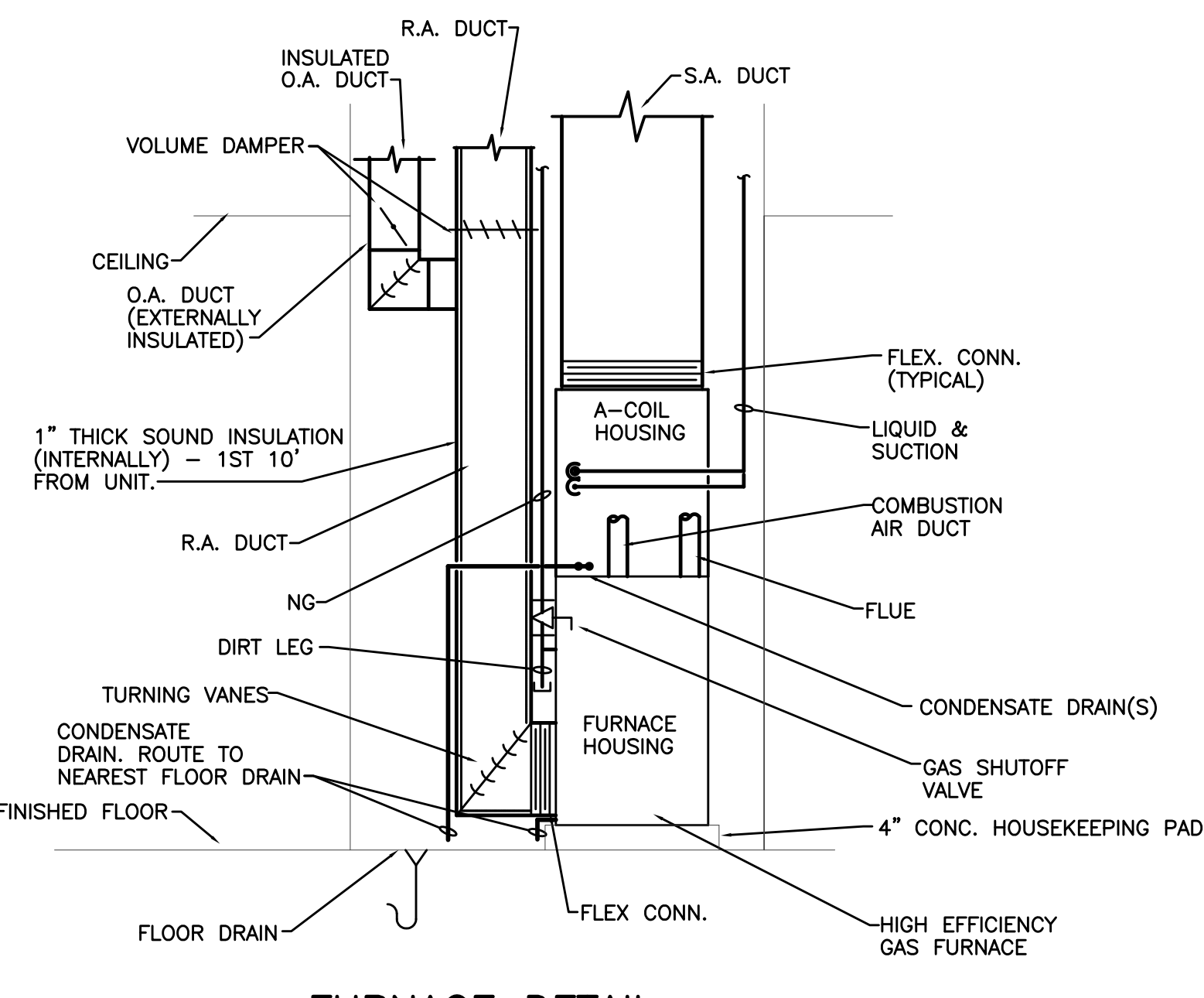
**PIPE SLEEVE THROUGH FLOOR DETAIL**  
NO SCALE



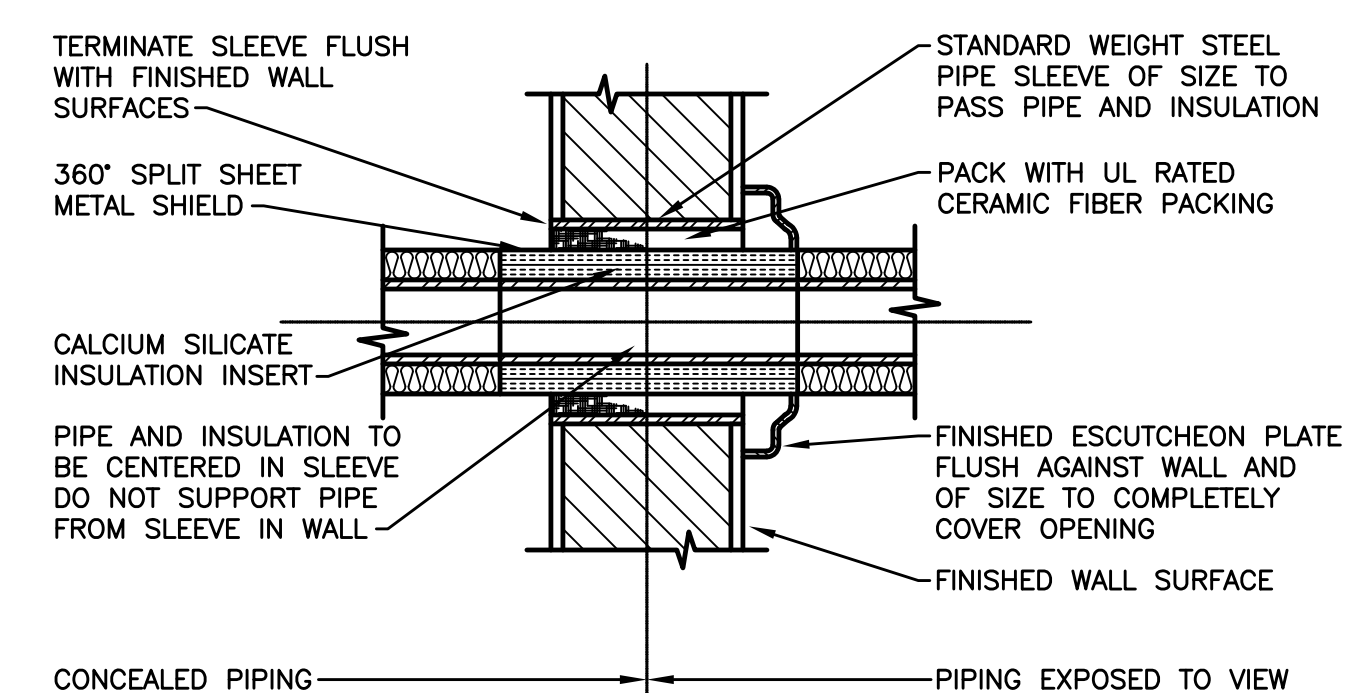
**PIPE SLEEVE THROUGH FLOOR DETAIL**  
NO SCALE



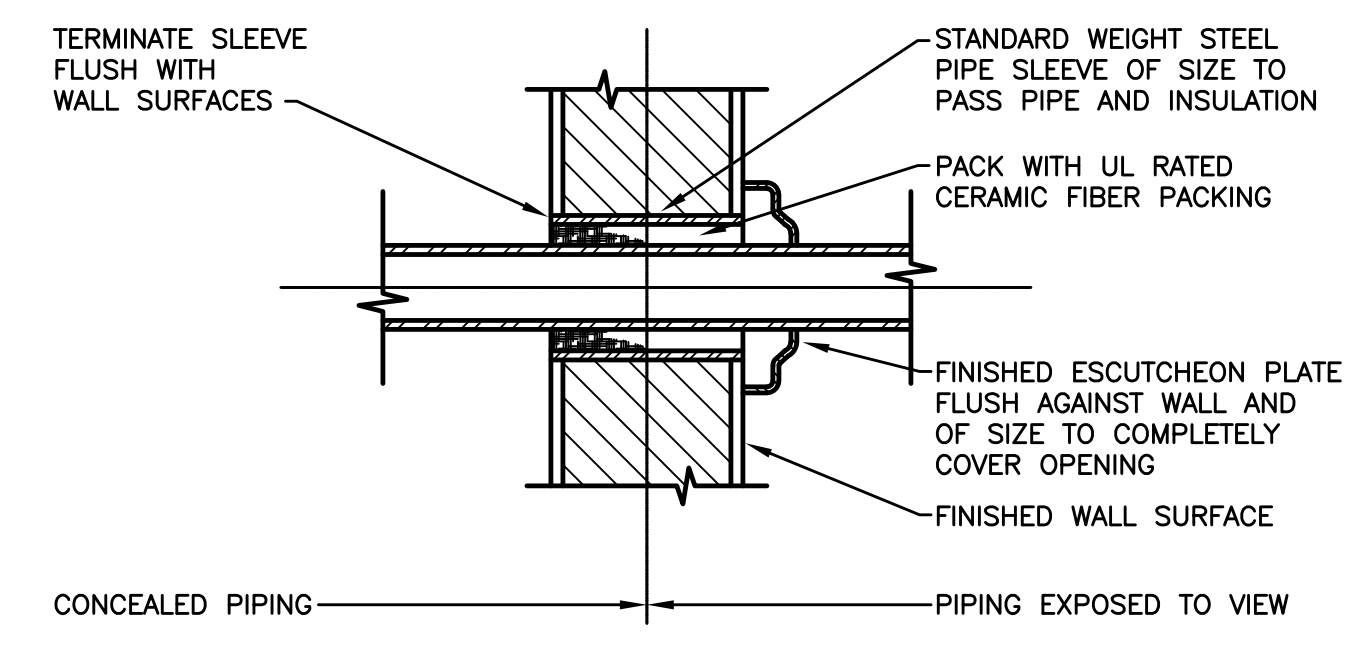
**FURNACE DETAIL**  
NO SCALE



**FURNACE DETAIL**  
NO SCALE

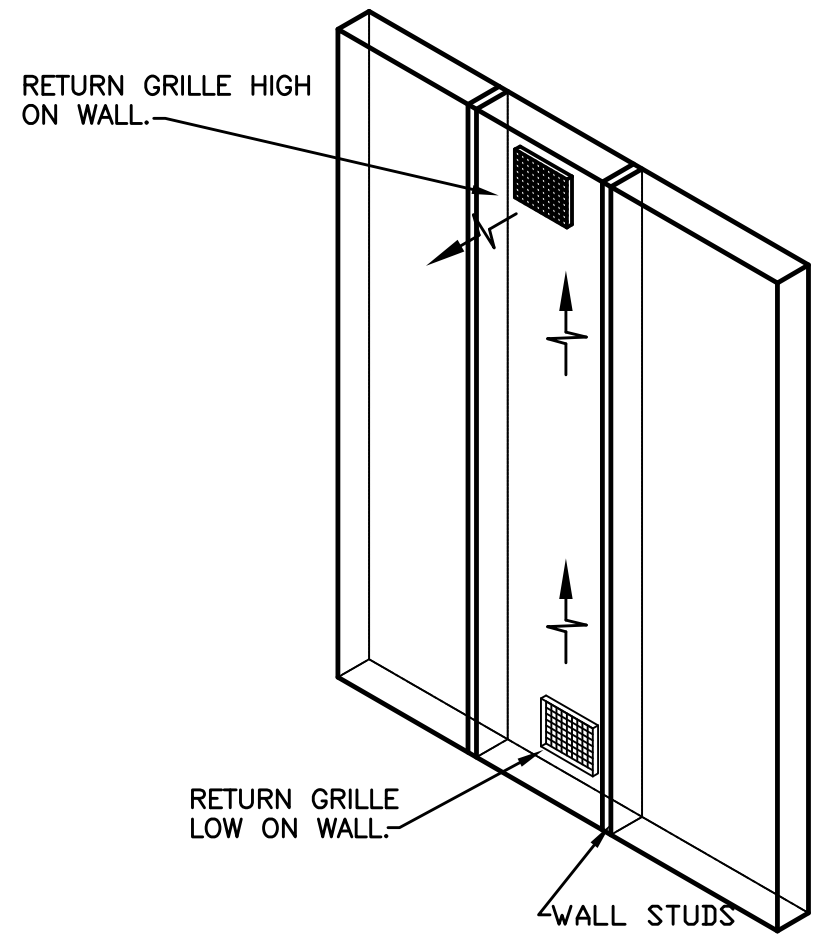


**WITH INSULATION**

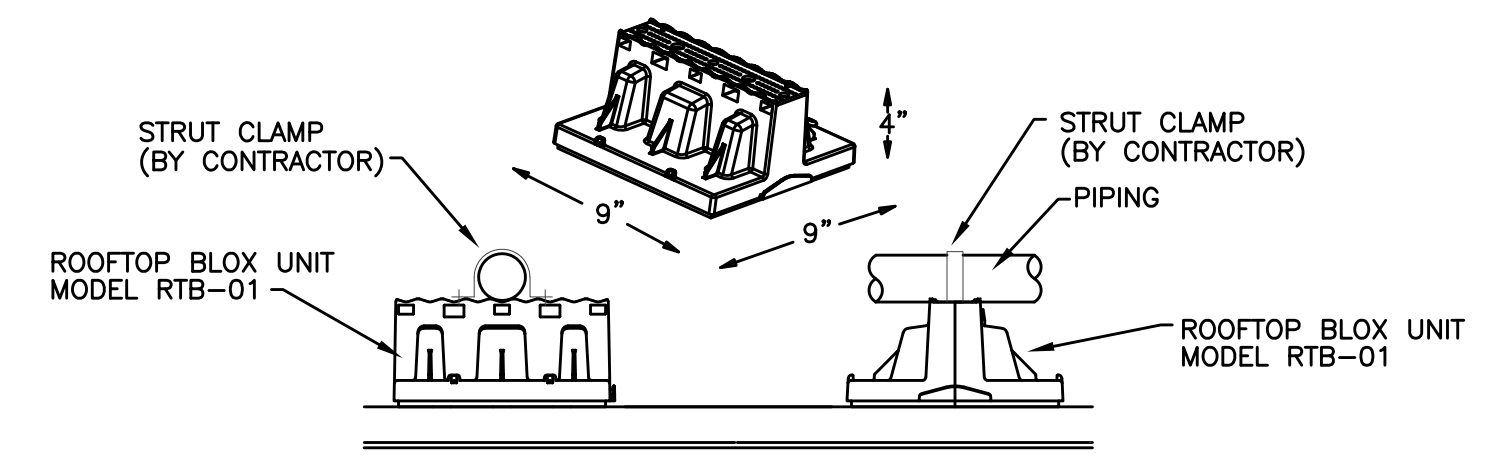


**WITHOUT INSULATION**

**TYPICAL DETAIL OF PIPE THRU INTERIOR WALLS**  
NO SCALE

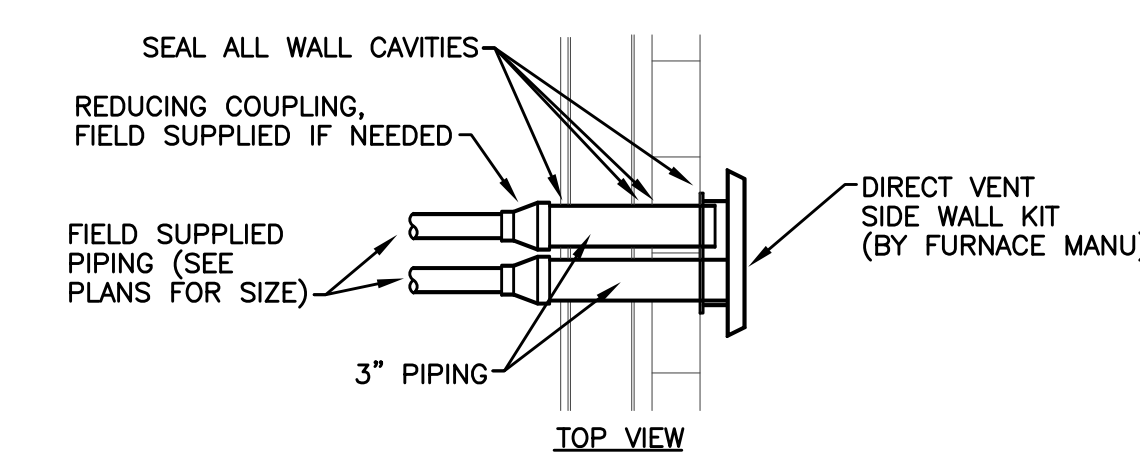


**TYPICAL LOW-HIGH TRANSFER AIR DETAIL**  
NO SCALE

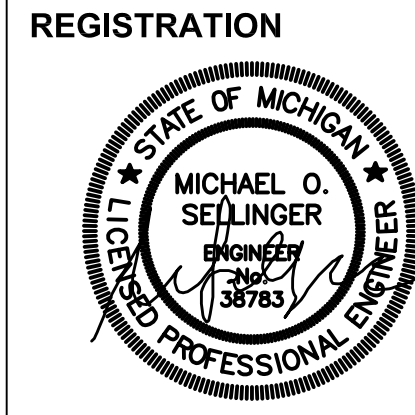


NOTES:  
1. THE MAXIMUM LOAD IS 450 LBS.  
2. THE LOAD MUST BE CENTERED ON THE ROOFTOP BLOX UNIT.  
3. THE PIPING SHALL BE ATTACHED USING STANDARD STRUT CLAMPS.

**PIPE SUPPORT ON ROOF**  
NO SCALE



**DIRECT VENT FURNACE SIDE WALL KIT DETAIL**  
NO SCALE



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1002 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0292

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1982 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

DATE: 05/15/2020

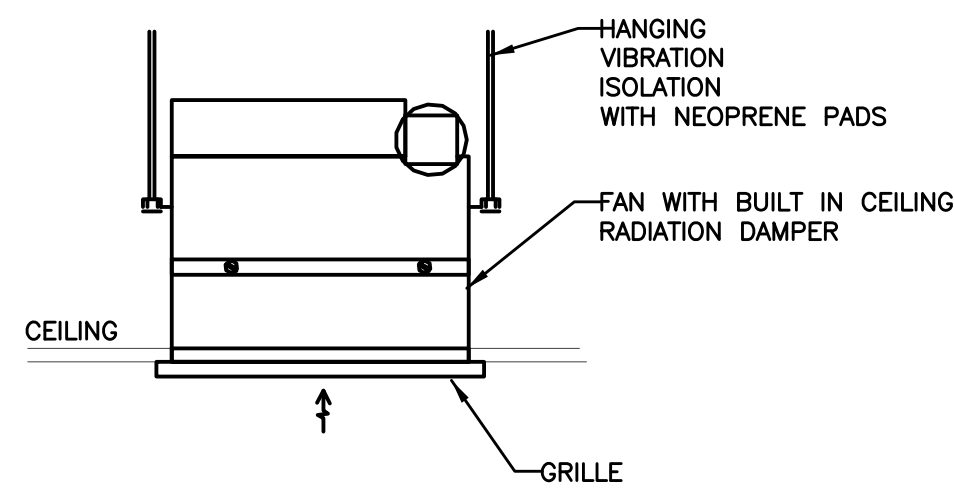
DRAWING TITLE  
**MECHANICAL DETAILS**

SHEET NO.

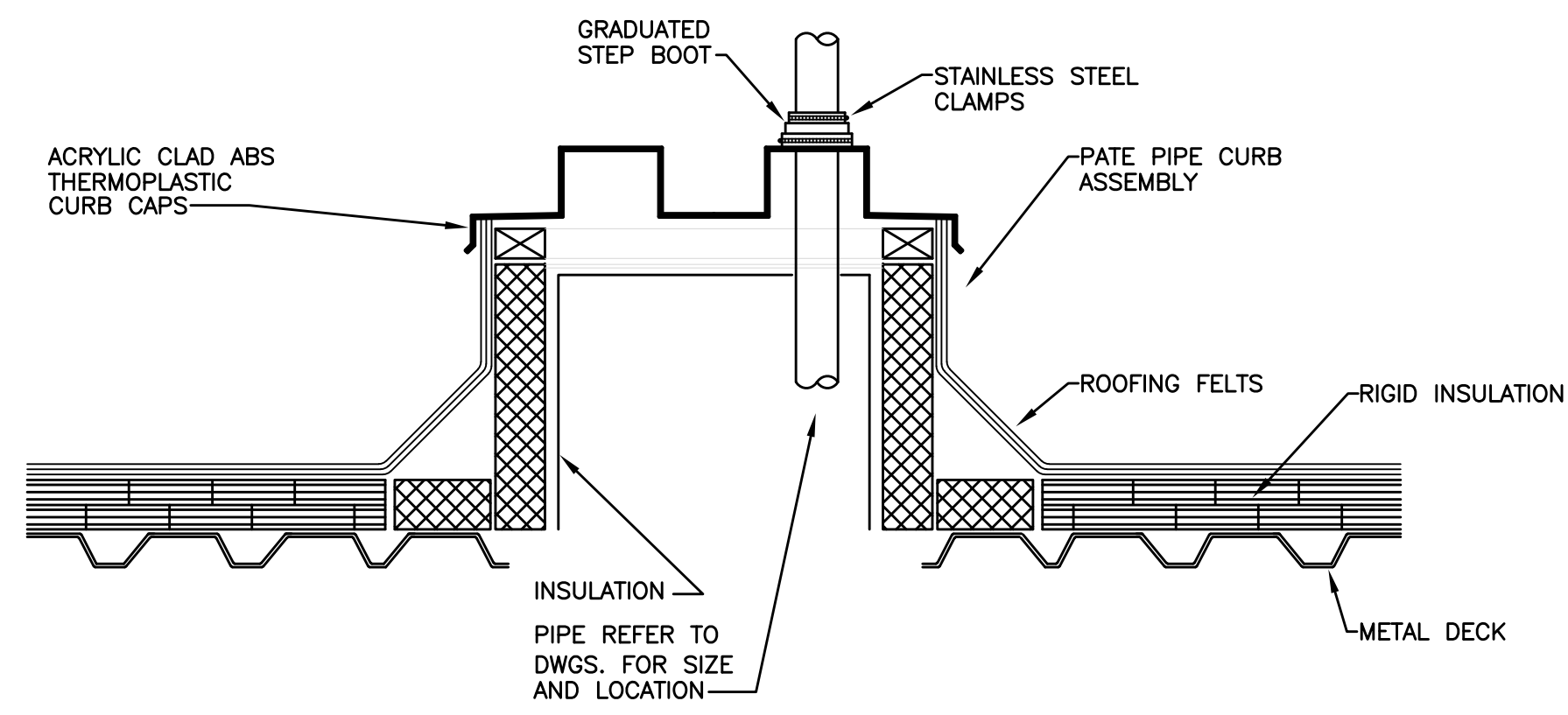
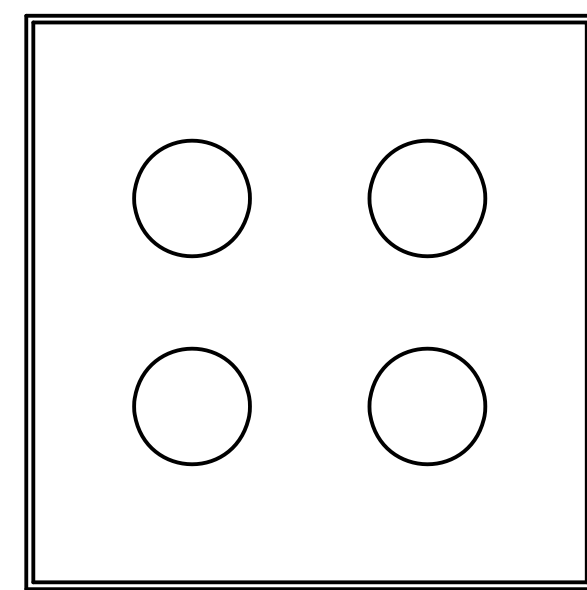
**M-400**

100% CD/ PERMIT SET



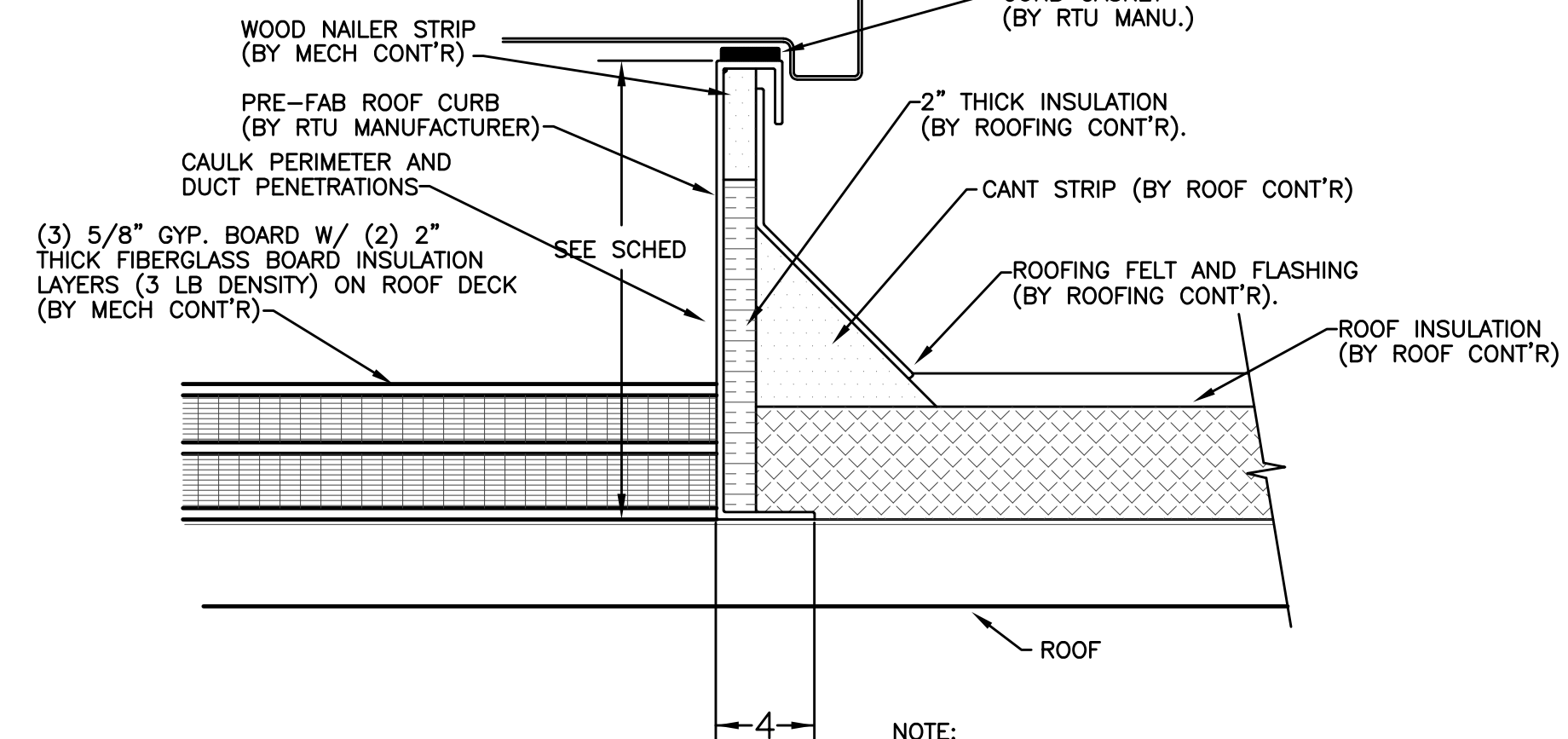


**EXHAUST FAN DETAIL**  
NO SCALE

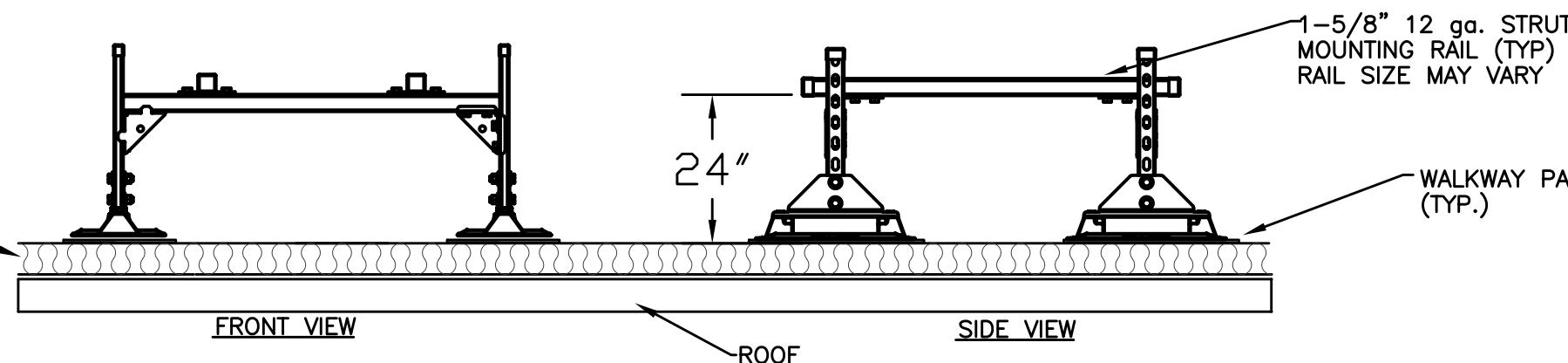
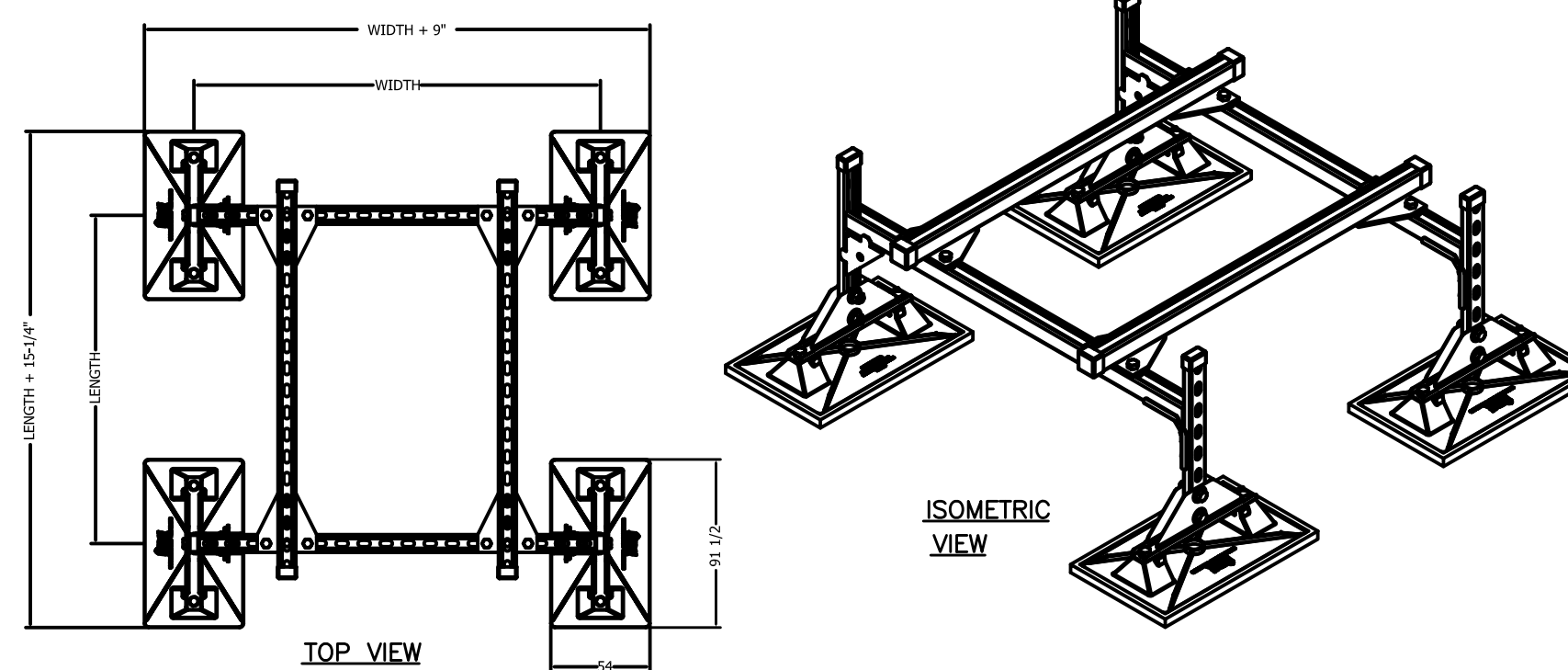


**PATE PIPE CURB ASSEMBLY DETAIL**  
NO SCALE

NOTE:  
ALL CONDUITS AND PIPING THAT PENETRATE ROOF CURB AND INSULATIONS SHALL BE COMPLETELY SEALED.



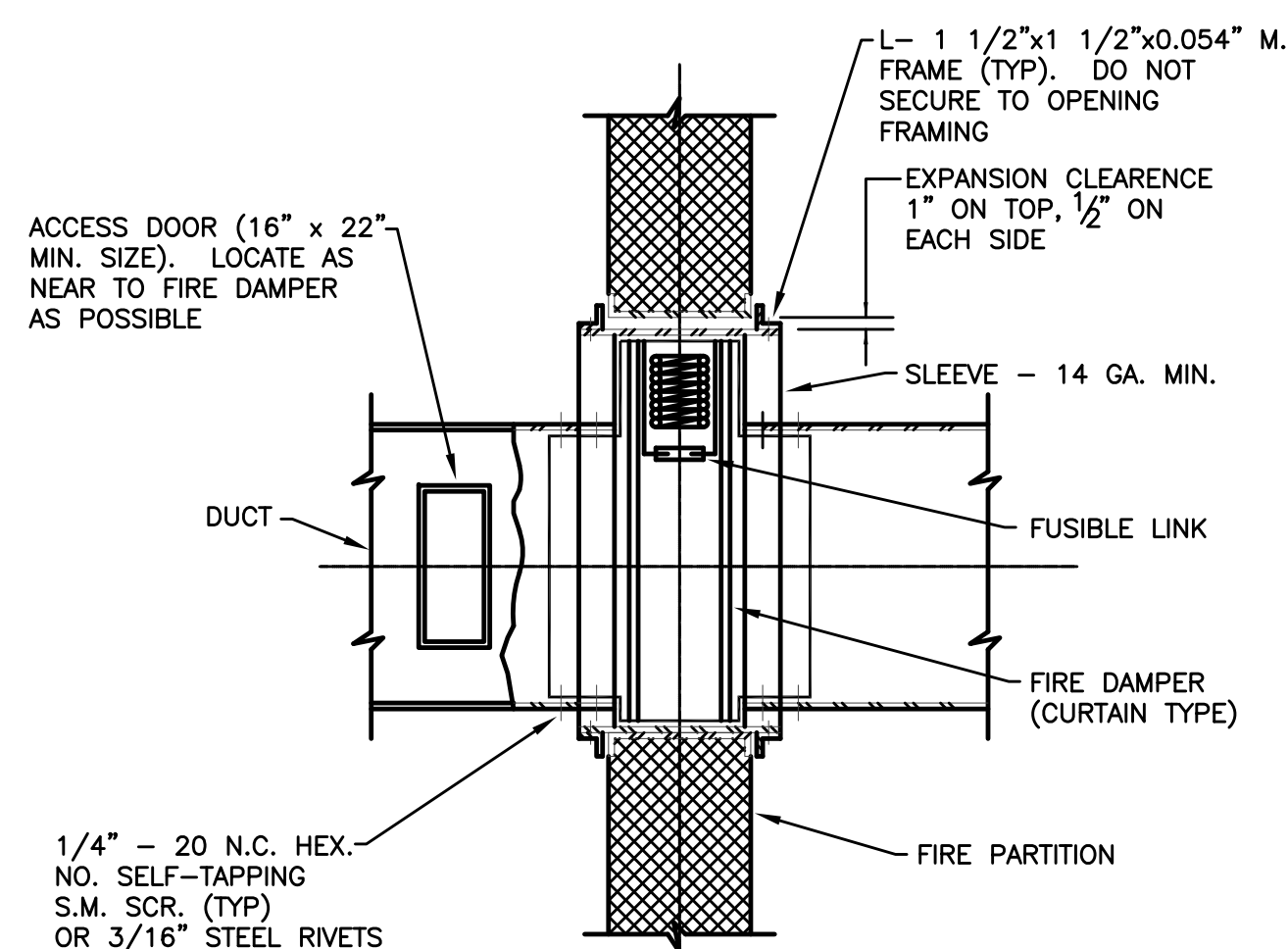
**DOAU CURB DETAIL**  
NO SCALE



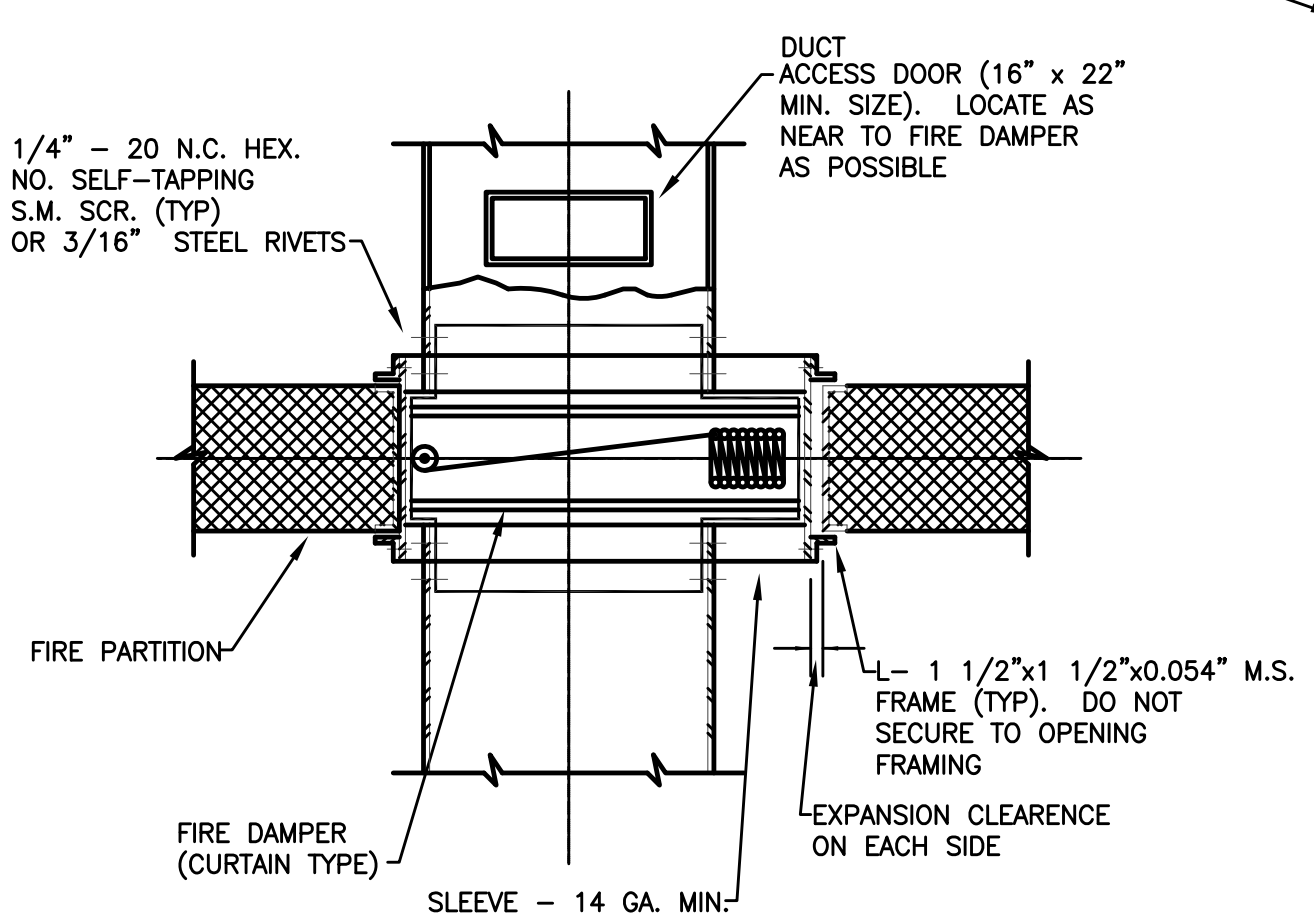
NOTES:  
1. THE MAXIMUM LOAD PER MANUFACTURER. (APPROX. 300 LBS PER BASE)  
2. COORDINATE FINAL SIZE WITH APPROVED SHOP DRAWING OF UNIT SUPPORTING.  
3. THE LOAD MUST BE CENTERED ON THE MIRO 6-HD(R)  
4. SUPPORT IS DESIGNED TO NOT EXCEED 3.0 PSI TO THE FINISHED ROOF SURFACE UNDER EACH BASE.

**CONDENSING UNIT SUPPORT ON ROOF**  
NO SCALE

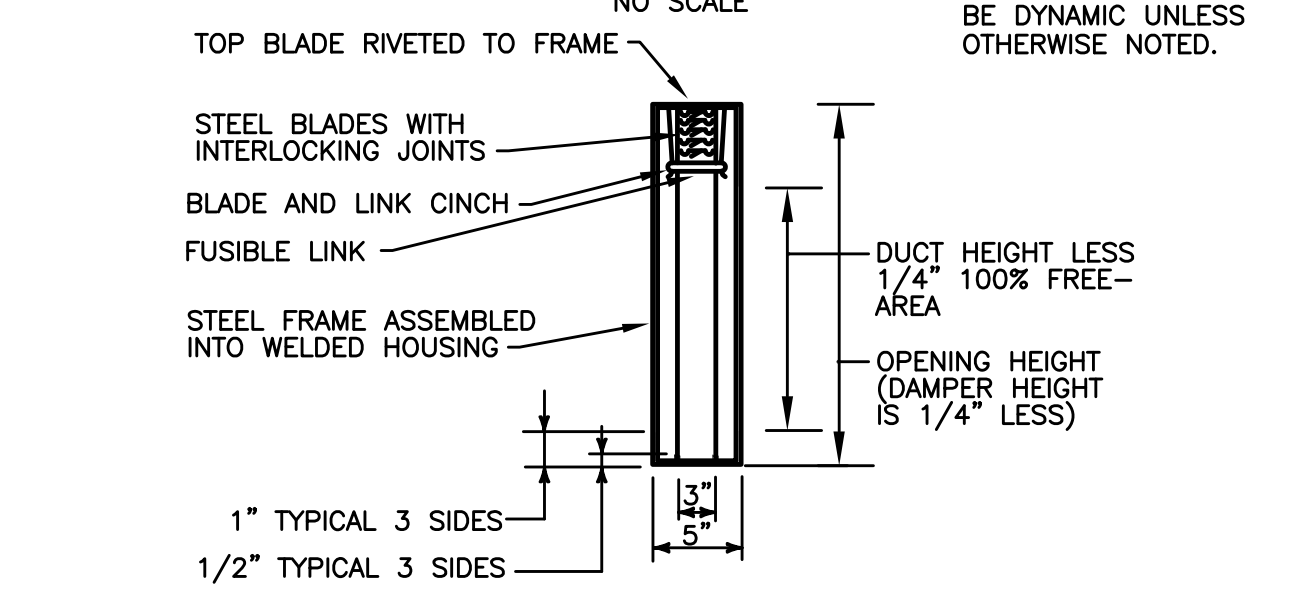
- KEY INFORMATION**
- Designed to support mechanical units, cabinets and other devices.
  - Designed to meet project specific dimensions with adjustability as specified.
  - 1-5/8" 12 ga. strut rails for anchoring equipment to the support. Capacity of rail to be verified based on unit weight.
  - Support is designed to not exceed 3.0 psi to the finished roof surface under each base.
  - Base Material: Polycarbonate
  - All metal parts are either stainless steel, hot-dip galvanized or pre-galvanized.
  - Non-Anchored supports do not provide significant resistance to wind or seismic loading. Contact MIRO Industries for wind and seismic solutions.
  - Manufacturer suggested loading is not to exceed 300 lbs to each base. Contractor to ensure load distribution to each base does not exceed suggested loading to each base.



**CURTAIN TYPE FIRE DAMPER DETAIL - DUCT THRU WALL**  
NO SCALE

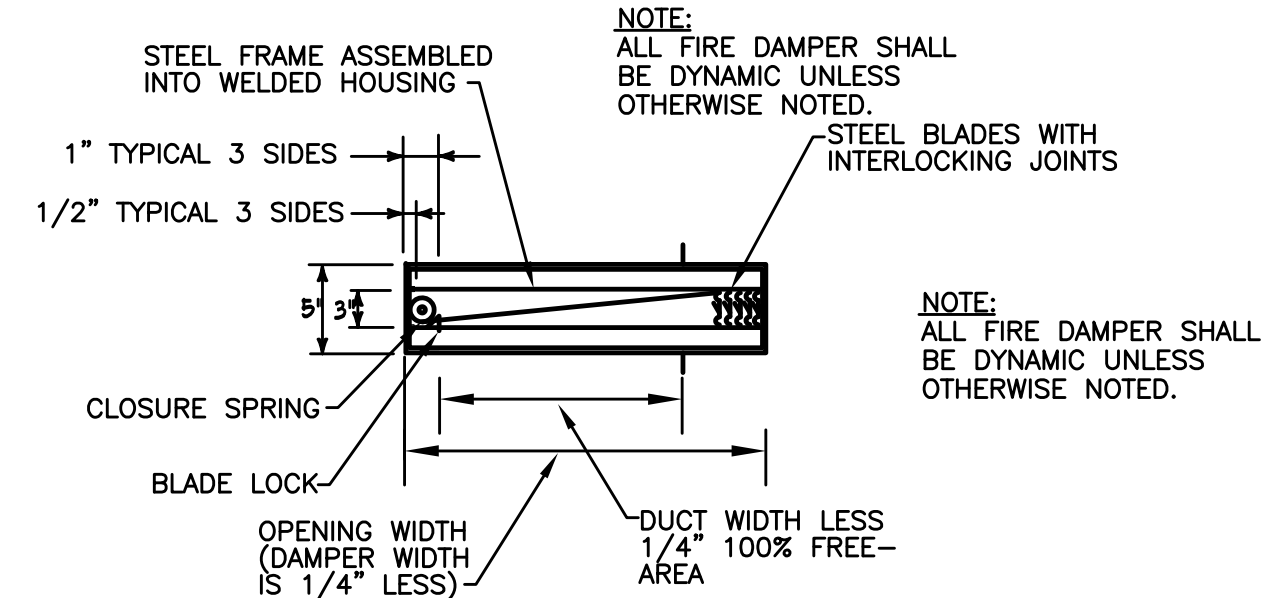


**CURTAIN TYPE FIRE DAMPER DETAIL - DUCT THRU FLOOR**  
NO SCALE



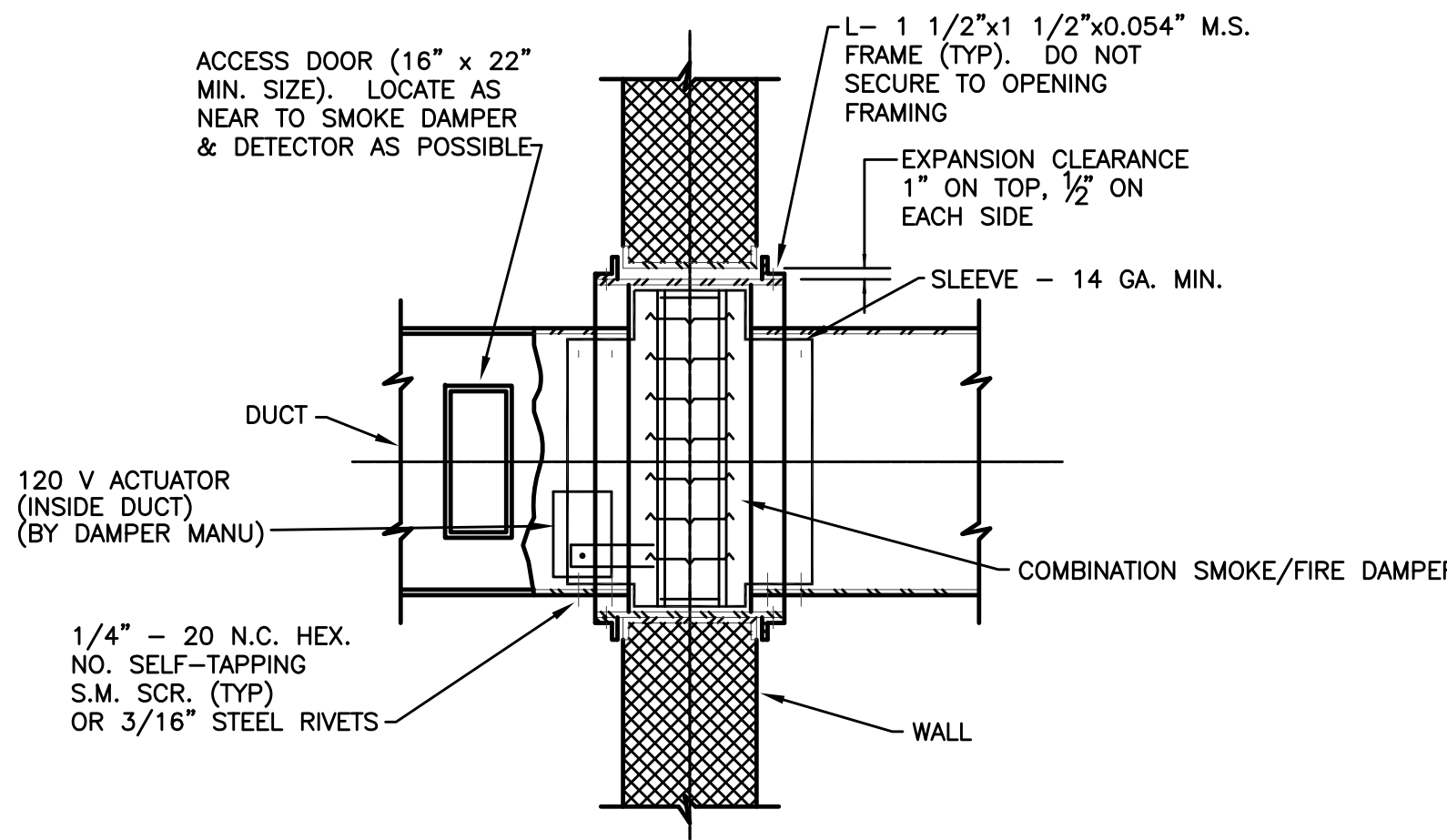
**VERTICAL FIRE DAMPERS**  
SCALE: NONE (WHERE APPLICABLE)

UNDERWRITERS LABORATORIES INC. CLASSIFIED FIRE DAMPERS TO BE CONSTRUCTED AND HAVE A FIRE RESISTANCE RATING EQUAL TO THE BUILDING STRUCTURE IT SERVES, OR GREATER, IF LOCAL AUTHORITATIVE CODE DICTATES.

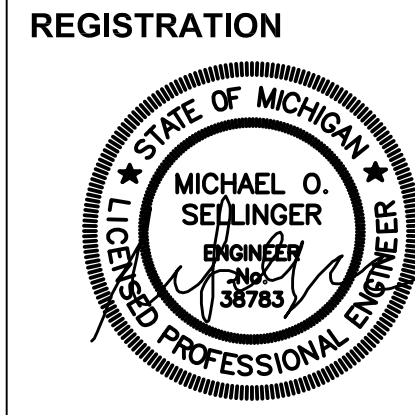


**HORIZONTAL (FLOOR/ROOF) FIRE DAMPERS**  
NO SCALE

UNDERWRITERS LABORATORIES INC. CLASSIFIED FIRE DAMPERS TO BE CONSTRUCTED AND HAVE A FIRE RESISTANCE RATING EQUAL TO THE BUILDING STRUCTURE IT SERVES, OR GREATER, IF LOCAL AUTHORITATIVE CODE DICTATES.



**COMBINATION SMOKE/FIRE DAMPER DETAIL - DUCT THRU WALL**  
NO SCALE



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1002 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.617.0292

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

DATE: 05/15/2020

DRAWING TITLE  
**MECHANICAL DETAILS**

SHEET NO.

**M-401**

100% CD/ PERMIT SET





WALL CAP SCHEDULE						
MARK	UNIT SERVING	USE	SIZE	MANUFACTURER & MODEL NO.	BACK DRAFT DAMPER	BIRD SCREEN
WC-1	SEE DWGS	DRYER	4"	LUXURY METALS	YES	NO
WC-2	SEE DWGS	EXH	6"	LUXURY METALS	YES	YES
WC-3	SEE DWGS	INT	6"	LUXURY METALS	NO	YES

NOTE: COLOR SELECTED BY ARCHITECT FROM STANDARD COLOR CHART - STAINLESS STEEL.

LOUVER SCHEDULE													
MARK	UNIT SERVING	USE	CFM	LENGTH (IN.)	HEIGHT (IN.)	DEPTH (IN.)	FACE AREA (SF)	FREE AREA (SF)	FACE VELOCITY (FPM)	FREE VELOCITY (FPM)	PRESSURE DROP (IN. OF WC)	MANUFACTURER & MODEL NO.	BIRD SCREEN
LOUV-1	SEE DWGS	INT	35-75	8.125"	4.75"	4	0.27	0.08	277	937	0.08	GREENHECK -- BVE	YES

NOTE: COLOR SELECTED BY ARCHITECT FROM STANDARD COLOR CHART - CLASSIC BRONZE.

GRILLE, REGISTER AND DIFFUSER SCHEDULE								
MARK	NECK SIZE	MODULE SIZE	CFM	FINISH	MOUNTING TYPE	CONST.	MANUFACTURER & MODEL No.	REMARKS
SG-1	10"x6"	11.75"x7.75"	SEE DRAWING	WHITE	SURFACE	STEEL	METAL FAB -- MFASC_W2	PROVIDE W/ O.B.D.
SG-2	14"x6"	15.75"x7.75"	SEE DRAWING	WHITE	SURFACE	STEEL	METAL FAB -- MFASC_W2	PROVIDE W/ O.B.D.
RG-1	20"x25"	21.75"x26.75"	SEE DRAWING	WHITE	SURFACE	STEEL	METAL FAB -- MFRG	PROVIDE W/ O.B.D.
RG-2	18"x30"	19.75"x31.75"	SEE DRAWING	WHITE	SURFACE	STEEL	METAL FAB -- MFRG	PROVIDE W/ O.B.D.
RG-3	26"x18"	27.75"x19.75"	SEE DRAWING	WHITE	SURFACE	STEEL	METAL FAB -- MFRG	PROVIDE W/ O.B.D.
TAG-1	14"x6"	15.75"x7.75"	SEE DRAWING	WHITE	SURFACE	STEEL	METAL FAB -- MFRG	-
FG-1	14"x6"	15.5"x7.5"	SEE DRAWING	WHITE	FLOOR	STEEL	METAL FAB -- MFFR	PROVIDE W/ O.B.D.
FG-2	8"x6"	9.5"x7.5"	SEE DRAWING	WHITE	FLOOR	STEEL	METAL FAB -- MFFR	PROVIDE W/ O.B.D.
SG-1	10"x6"	11.75"x7.75"	SEE DRAWING	WHITE	SURFACE	ALUMINUM	PRICE -- 620D	PROVIDE W/ O.B.D.
SG-2	8"x6"	9.75"x7.75"	SEE DRAWING	WHITE	SURFACE	ALUMINUM	PRICE -- 620D	PROVIDE W/ O.B.D.

ELECTRIC WALL HEATER SCHEDULE									
MARK	LOCATION	TYPE	KW	VOLTS/PHASE	AMPS	FAN		MOTOR HP	MARKEL MODEL NO.
						R.P.M.	CFM		
EW-1	SEE PLANS	WALL	1.0	120/1	8.3	600	175	PER MFG	E3383DP-RP
EW-2	SEE PLANS	WALL	4.0	208/3	11.1	600	245	PER MFG	J3424T

- NOTES:
- PROVIDE ALL ACCESSORIES FOR MOUNTING.
  - PROVIDE UNIT WITH FACTORY INSTALLED DISCONNECT SWITCH AND INTERNAL THERMOSTAT.
  - UNIT SHALL BE U.L. LISTED.
  - COORDINATE COLOR WITH ARCHITECTURAL DRAWINGS/ARCHITECT.

MMC 2015 VENTILATION RATES - AC/HR						
UNIT TYPE	UNIT	AREA (SQUARE FT)	CEILING HEIGHT	AC/HR RATE	AC/HR CFM	DESIGN CFM
1 BEDROOM	A	672	8.5	0.35	33.32	35
1 BEDROOM	B	672	8.5	0.35	33.32	35
2 BEDROOM	C	1229	8.5	0.35	60.93792	65
2 BEDROOM	D	1333	8.5	0.35	66.09458	70
2 BEDROOM	E	1188	8.5	0.35	58.905	60
2 BEDROOM	F	1180	8.5	0.35	58.50833	60
2 BEDROOM	G	1477	8.5	0.35	73.23458	75
2 BEDROOM	H	1157	8.5	0.35	57.36792	60
2 BEDROOM	I	1426	8.5	0.35	70.70583	70

Zone Identification		Standard Case: MMC 2015											Design Case			SA	% OA	OA
Zone	Occupancy Category	Area	People Outdoor Air Rate	Area Outdoor Air Rate	Occupant Density	Breathing Zone Outdoor Airflow Vbz/ (CFM)	Table 6-2 Zone Air Distribution Effectiveness Ez	Zone Outdoor Air Flow Voz/ (CFM)	Table 6-3 System Ventilation Efficiency Ev	Outdoor Air Intake Flow Vot/ (CFM)	Outdoor Air Intake Flow (CFM)	Zone Primary Air Flow Fraction Vpz/ (CFM)	Primary Outdoor Air Fraction Zp=Voz/Vpz	Meets Standard				
Basement	Storage	503	0	0.12	0	60.4	0.8	75.5	1	75.5	100	100	0.75	YES	100	100.0%	100	
1st Floor Lobby	Lobby	151	7.5	0.06	30	43.0	0.8	53.8	1	53.8	100	100	0.54	YES	100	100.0%	100	
1st Floor Corridor	Corridor	558	0	0.06	0	33.5	0.8	41.9	1	41.9	100	100	0.42	YES	100	100.0%	100	
2nd Floor Corridor	Corridor	856	0	0.06	0	52.0	0.8	65.0	1	65.0	100	100	0.65	YES	100	100.0%	100	
3rd Floor Corridor	Corridor	870	0	0.06	0	52.2	0.8	65.3	1	65.3	100	100	0.65	YES	100	100.0%	100	
4th Floor Corridor	Corridor	0	0	0.06	0	0.0	0.8	0.0	1	0.0	0	0	-	NO	0	-	0	

INDOOR UNIT - HEAT PUMP SCHEDULE																
MARK	AREA SERVED	SUPPLY FAN CFM HI/MED/LOW	EVAPORATOR SECTION (DX) BASED ON 95°F AMBIENT						HEATING SECTION							
			COOLING MBH	EAT (°F) DB	WB	MOISTURE REMOVAL	DISCHARGE PER MFG	REF'G R-410A	FILTERS WASHABLE	ENTERING DB (°F)	TOTAL CAP. (BTUH)	WEIGHT LBS.	ELECTRICAL MOP	VOLTS PHASE	dBA @ HI	MANUFACTURER & MODEL NUMBER
IU-1	IT CLOSET	459/317/194	12.6	80	67	2.7 PT/HR	PER MFG	R-410A	WASHABLE	70.0	11.1	30	SEE ACCU	SEE OU	41	LG-LSN090HSV5
IU-2	IT CLOSET	706/547/494	18.0	80	67	5.5 PT/HR	PER MFG	R-410A	WASHABLE	70.0	21.6	35	SEE ACCU	SEE OU	45	LG-LSN180HSV5

- NOTES:
- PROVIDE WITH MANUFACTURER'S CRC1 BAGNET CONTROLLER, STARTER, AND CONDENSATE PUMP.
  - MECHANICAL CONTRACTOR / TEMPERATURE CONTROLS CONTRACTOR TO PROVIDE 14GA/2 SHIELDED WIRE BETWEEN IU AND OU (IU-1 --& IU-2).
  - MECHANICAL CONTRACTOR / TEMPERATURE CONTROLS CONTRACTOR TO PROVIDE UNIT DISCONNECT.
  - LOW AMBIENT

OUTDOOR UNIT - HEAT PUMP SCHEDULE (105 F AMBIENT)															
MARK	ROOMS SERVING	UNIT SERVED	CAP. MBH	COMPRESSORS		FANS		ELECTRICAL CHARACTERISTICS					NOMINAL TONS	WEIGHT LBS	MANUFACTURER & MODEL NUMBER
				NUMBER	RLA	W	CFM	VOLTS	PHASE	Hz	SEER	MCA			
OU-1	IT CLOSET	IU-1	12.6	1	7	PER MFG	208	1	60	23.5	10	15	1.0	90	LG-LSU090HSV5
OU-2	IT CLOSET	IU-1	18.0	1	9.6	PER MFG	208	1	60	23.5	13	20	1.5	130	LG-LSU180HSV5

- NOTES:
- PROVIDE W/ BEAR FOOT ROOF STANDS (FOR OU-1)
  - PROVIDE W/ MANUFACTURER'S CRC1 BAGNET CONTROLLER, STARTER, UNIT DISCONNECT, AND OUTDOOR MOUNTING APPLICATION.
  - PROVIDE W/ LOW AMBIENT (OF) - WIND BAFFLE.

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1092 Woodward Ave.  
Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.671.0292

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

SELLINGER ASSOCIATES, INC.  
1862 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
418-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

CIVIL ENGINEER

MERGE ARCHITECTS INC

Brush Park Duplette D-2  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

DATE: 05/15/2020

DRAWING TITLE  
MECHANICAL SCHEDULES

SHEET NO.

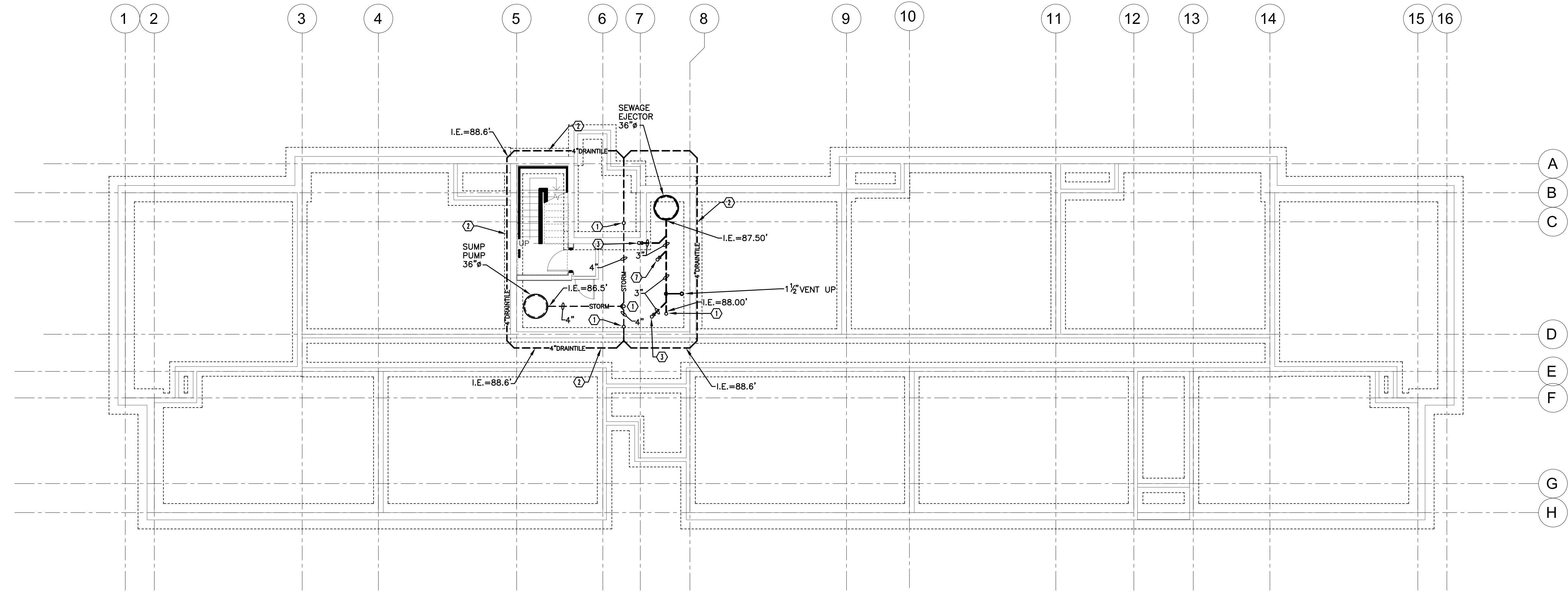
M-501

100% CD/ PERMIT SET





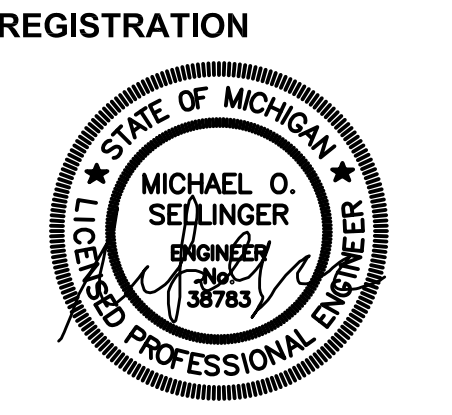
**NOTE: SEE P-000 FOR PLUMBING GENERAL NOTES**



**KEYED NOTES:**

- ① FLOOR CLEANOUT, FULL LINE SIZE BELOW 4" AND 4" SIZE ON PIPES 4" AND LARGER. COORDINATE COVER TYPE WITH ARCHITECTURAL ROOM FINISH SCHEDULE.
- ② 4" DRAIN TILE (BY PLUMBER) AROUND FOOTING AT BASEMENT FOOTING (REFER TO ARCHITECTURAL/STRUCTURAL FOR SECTION)
- ③ 3" WASTE UP TO FD.

NORTH  
**PLUMBING UNDERGROUND PLAN**  
 SCALE: 1/8" = 1' - 0"  
 ASSUMED FINISHED FLOOR ELEV.=89.50"  
 BASEMENT ASSUMED FINISHED FLOOR ELEV.=100.00"



**OWNER**  
 BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1002 Woodward Ave.  
 Detroit, MI 48226

**ARCHITECT**  
 MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617.676.0262

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**  
 SELLINGER ASSOCIATES, INC.  
 1862 FARMINGTON ROAD  
 LIVONIA, MI 48152  
 T: 248.482.0045

**ELECTRICAL ENGINEER**  
 ETS ENGINEERING, INC.  
 415-1/2 S. WASHINGTON BLVD.  
 ROYAL OAK, MI 48067  
 T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

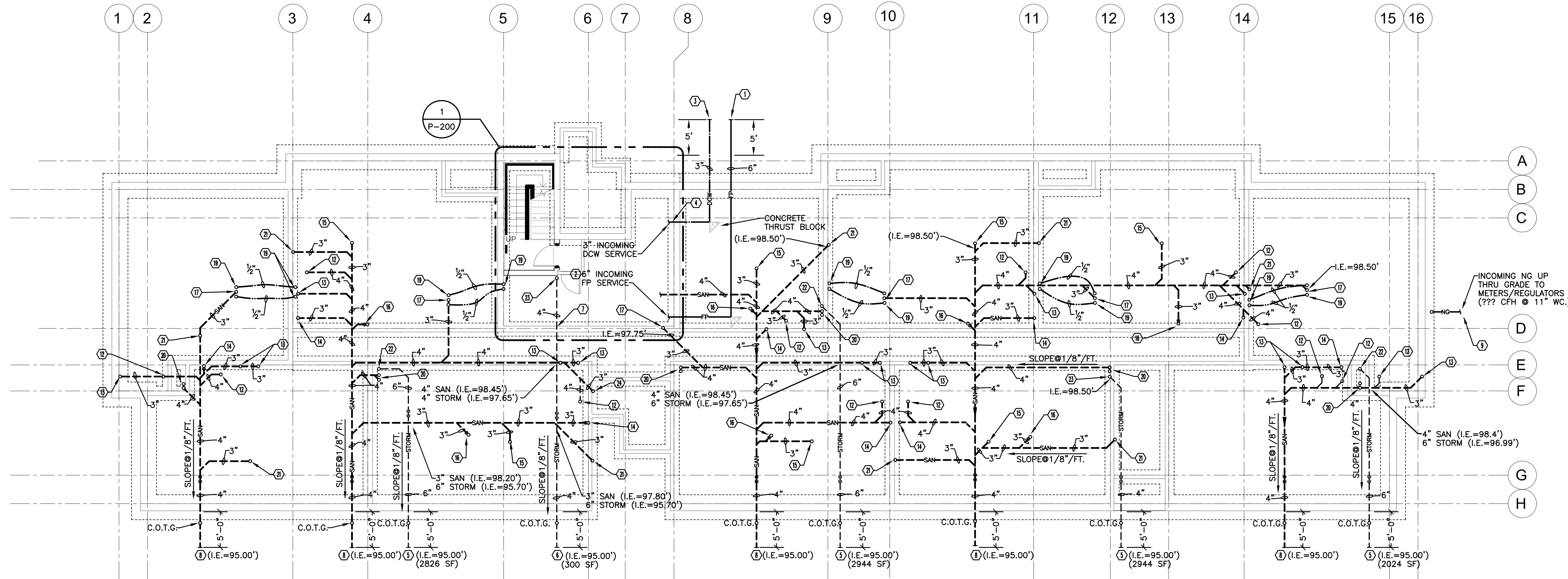
JOB NO.:	18284
SCALE:	AS NOTED
DATE:	05/15/2020

DRAWING TITLE  
**PLUMBING UNDERGROUND PLAN**

SHEET NO.  
**P-100**

100% CD/ PERMIT SET

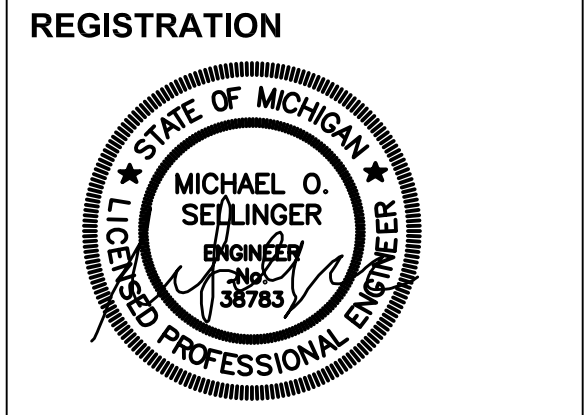
**NOTE: SEE P-000 FOR PLUMBING GENERAL NOTES**



**KEYED NOTES:**

- ① 6" UNDERGROUND DUCTILE IRON, CLASS 54, DOUBLE CEMENT LINED FIRE PROTECTION MAIN. COORDINATE EXACT LOCATION WITH CIVIL SITE UTILITIES PLAN AND MAINTAIN 5'-0" MINIMUM COVER OVER TOP OF PIPE.
- ② 6" FP THRU SIDEWALL WITH LINK SEAL.
- ③ 4" UNDERGROUND DUCTILE IRON, CLASS 54, DOUBLE CEMENT LINED DOMESTIC WATER SERVICE. COORDINATE EXACT LOCATION WITH CIVIL SITE UTILITIES PLAN AND MAINTAIN 5'-0" MINIMUM COVER OVER TOP OF PIPE.
- ④ 3" DCW THRU SIDEWALL WITH LINK SEAL.
- ⑤ 6" STORM TO 5'-0" FROM BUILDING. FINAL CONNECTION BY SITE CONTRACTOR. (I.E. & SF AS NOTED) PLUMBER TO PROVIDE (2)45° ELBOWS TO DROP ELEVATION AS NECESSARY TO MATCH SITE UTILITY LOCATION. COORD IN FIELD.
- ⑥ 4" STORM TO 5'-0" FROM BUILDING. FINAL CONNECTION BY SITE CONTRACTOR. (I.E. & SF AS NOTED) PLUMBER TO PROVIDE (2)45° ELBOWS TO DROP ELEVATION AS NECESSARY TO MATCH SITE UTILITY LOCATION. COORD IN FIELD.
- ⑦ 4" STORM THRU SIDEWALL WITH LINK SEAL.
- ⑧ 4" SANITARY SEWER TO 5'-0" FROM BLDG - FINAL CONNECTION BY SITE CONTRACTOR. (DFU AND I.E. AS NOTED). PLUMBER TO PROVIDE (2)45° ELBOWS TO DROP ELEVATION AS NECESSARY TO MATCH SITE UTILITY LOCATION. COORD IN FIELD.
- ⑨ UNDERGROUND NATURAL GAS SERVICE PIPING. PROVIDED BY LOCAL GAS PROVIDER.
- Ⓜ FLOOR CLEANOUT, FULL LINE SIZE BELOW 4" AND 4" SIZE ON PIPES 4" AND LARGER. COORDINATE COVER TYPE WITH ARCHITECTURAL ROOM FINISH SCHEDULE.
- Ⓝ 4" SANITARY THRU SIDEWALL WITH LINK SEAL.
- Ⓞ 4" WASTE UP TO WC.
- Ⓟ 2" WASTE UP TO LAV.
- Ⓠ 2" WASTE UP TO SH/BT.
- Ⓡ 2" WASTE UP TO WMO.
- Ⓢ 2" WASTE UP TO FD.
- Ⓣ 2" WASTE UP TO KS.
- Ⓤ 3" WASTE UP TO SS.
- Ⓥ 1/2" H. & CW UP
- Ⓦ 4" WASTE/2" VENT STACK
- Ⓧ 2" WASTE UP
- Ⓨ 6" RC UP
- Ⓩ 3" RC UP
- ⓐ 3" WASTE UP

**PLUMBING BASEMENT PLAN**  
 SCALE: 1/8" = 1' - 0"  
 BASEMENT ASSUMED FINISHED FLOOR ELEV.=100.00'



**OWNER**  
 BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1002 Woodward Ave.  
 Detroit, MI 48226

**ARCHITECT**  
 MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617.670.0202

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**  
 SELLINGER ASSOCIATES, INC.  
 1802 FARMINGTON ROAD  
 LIVONIA, MI 48152  
 T: 248.482.0045

**ELECTRICAL ENGINEER**  
 ETS ENGINEERING, INC.  
 415-1/2 S. WASHINGTON BLVD.  
 ROYAL OAK, MI 48067  
 T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
 SCALE: AS NOTED  
 DATE: 05/15/2020

DRAWING TITLE  
**PLUMBING BASEMENT PLAN**

SHEET NO.  
**P-101**

100% CD/ PERMIT SET



NOTE: SEE P-000 FOR PLUMBING GENERAL NOTES

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1002 Woodward Ave.  
Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.671.0292

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

CIVIL ENGINEER

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

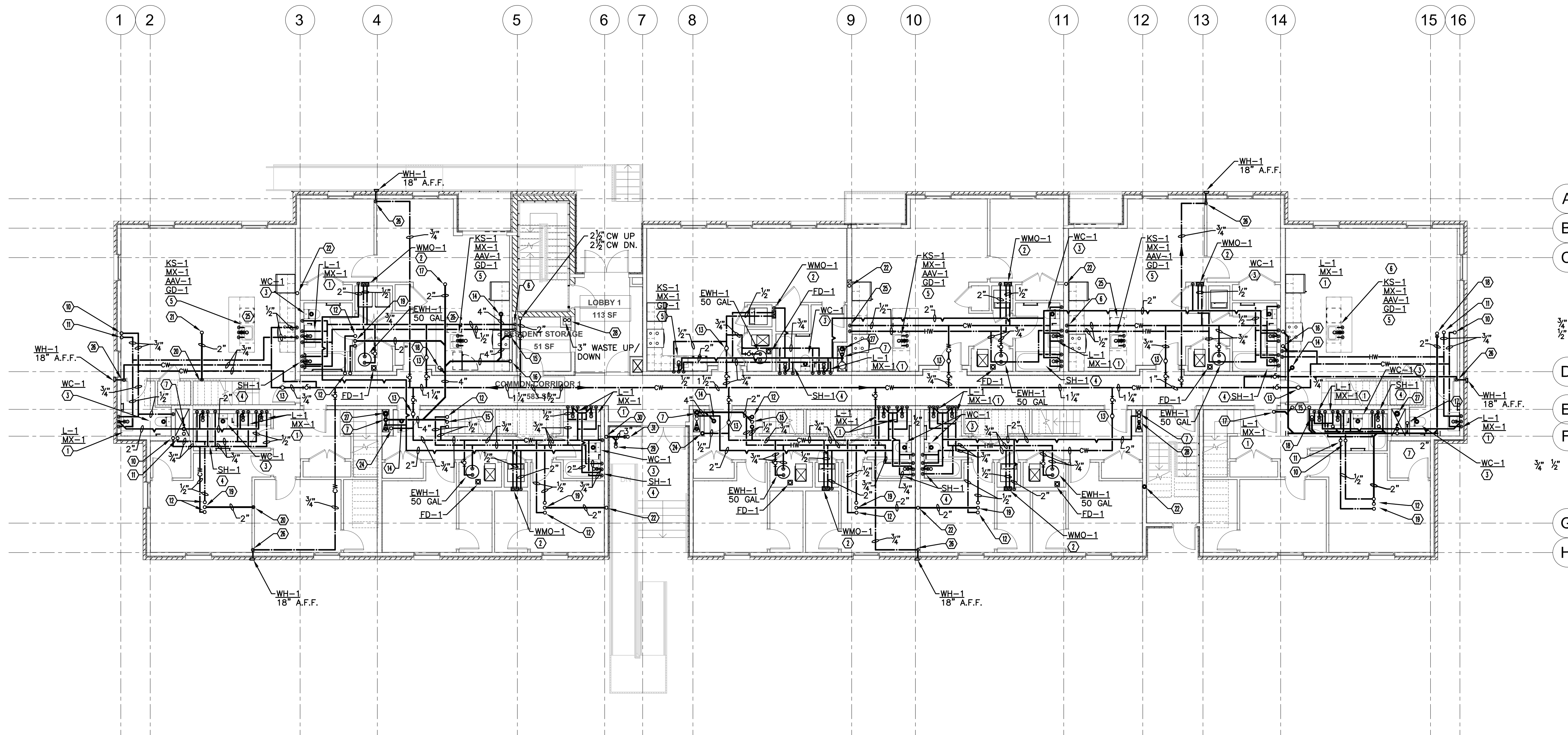
DATE: 05/15/2020

DRAWING TITLE  
**PLUMBING FIRST FLOOR PLAN**

SHEET NO.

**P-102**

100% CD/ PERMIT SET



**KEYED NOTES:**

- ① 1/2" HW/CW DOWN IN WALL TO ANGLE SUPPLY VALVES. 2" VENT UP AND 2" WASTE DOWN TO SANITARY. (FIXTURE AS NOTED)(PROVIDE MX-1).
- ② 1/2" HW & CW, AND 2" SANITARY WASTE AND VENT UP TO WMO-1.
- ③ 1/2" CW DN. IN WALL TO ANGLE SUPPLY VALVE SERVING TANK TYPE WATER CLOSET. 4" WASTE DOWN TO SANITARY. (FIXTURE AS NOTED).
- ④ 3/4" CW/HW DN. IN WALL TO SH-1/BI-1. 2" WASTE DOWN TO SANITARY.
- ⑤ 1/2" HW/CW UP FROM BELOW FLOOR TO ANGLE SUPPLY VALVES. 2" SANITARY DOWN TO SANITARY. (FIXTURE AS NOTED)(PROVIDE MX-1). PROVIDE WITH AAV-1.
- ⑥ 1/2" HOT AND COLD WATER DOWN IN WALL TO UNDERGROUND. ROUTE PIPING UNDERGROUND UP TO KS-1
- ⑦ 4" WASTE STACK AND 2" VENT STACK.
- ⑧ 3/4" CW DN
- ⑨ 3/4" HW DN
- ⑩ 3/4" CW UP
- ⑪ 3/4" HW UP
- ⑫ 1/2" H. & CW UP
- ⑬ DOMESTIC WATER SUB METER. SHOWN FOR CLARITY AT THIS LOCATION. INSTALL IN MECHANICAL CLOSET.
- ⑭ 4" WASTE UP TO WC.
- ⑮ 2" WASTE UP TO LAV.
- ⑯ 2" WASTE UP TO SH/BT.
- ⑰ 2" WASTE UP TO WMO.
- ⑱ 2" WASTE UP TO FD.
- ⑲ 2" WASTE UP TO KS.
- ⑳ 2" WASTE DN.
- ㉑ 2" WASTE UP.
- ㉒ 2" WASTE UP & DN.
- ㉓ 2" WASTE UP.
- ㉔ 1/2" CW UP.
- ㉕ PROVIDE 1/2" HW TO DISHWASHER. ROUTE WASTE TO GARBAGE DISPOSAL (REFER TO DETAIL)
- ㉖ 3/4" CW DN. IN WALL TO WALL WH-1.
- ㉗ 6" RC UP AND DN.
- ㉘ 3" RC UP AND DN.
- ㉙ 3" WASTE UP TO SS-1.
- ㉚ 3" WASTE UP & DN.
- ㉛ 3" WASTE UP TO FD.

NORTH  
**PLUMBING FIRST FLOOR PLAN**  
SCALE: 1/8" = 1' - 0"  
ASSUMED FINISHED FLOOR ELEV.=XXXX'

**NOTE: SEE P-000 FOR PLUMBING GENERAL NOTES**

REFER TO ARCHITECTURAL DRAWINGS FOR BALCONY SCUPPER LOCATIONS.

REGISTRATION



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1000 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0292

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**

On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

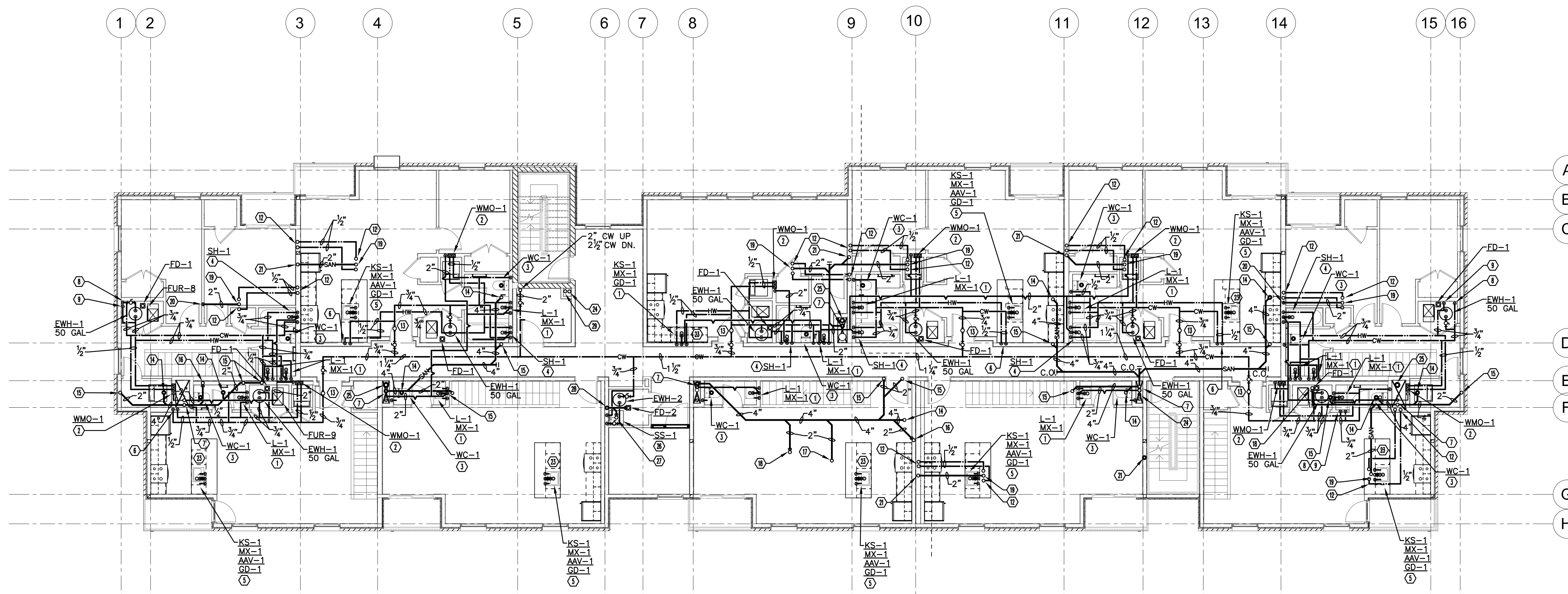
DATE: 05/15/2020

DRAWING TITLE  
**PLUMBING SECOND FLOOR PLAN**

SHEET NO.

**P-103**

100% CD/ PERMIT SET



**KEYED NOTES:**

- ① 1/2" HW/CW DOWN IN WALL TO ANGLE SUPPLY VALVES, 2" VENT UP AND 2" WASTE DOWN TO SANITARY. (FIXTURE AS NOTED)(PROVIDE MX-1).
- ② 1/2" HW & CW, AND 2" SANITARY WASTE AND VENT UP TO WMO-1.
- ③ 1/2" CW DN. IN WALL TO ANGLE SUPPLY VALVE SERVING TANK TYPE WATER CLOSET. 4" WASTE DOWN TO SANITARY. (FIXTURE AS NOTED).
- ④ 3/4" CW/HW DN. IN WALL TO SH-1/BT-1. 2" WASTE DOWN TO SANITARY.
- ⑤ 1/2" HW/CW UP FROM BELOW FLOOR TO ANGLE SUPPLY VALVES. 2" SANITARY DOWN TO SANITARY. (FIXTURE AS NOTED)(PROVIDE MX-1). PROVIDE WITH AAV-1.
- ⑥ 1/2" HOT AND COLD WATER DOWN IN WALL TO JOIST SPACE. ROUTE WITHIN JOIST SPACE UP TO KS-1.
- ⑦ 4" WASTE STACK AND 2" VENT STACK.
- ⑧ 3/4" CW DN
- ⑨ 3/4" HW DN
- ⑩ 3/4" CW UP

- ⑪ 4" WASTE DN.
- ⑫ 1/2" H. & CW UP
- ⑬ DOMESTIC WATER SUB METER, SHOWN FOR CLARITY AT THIS LOCATION, INSTALL IN MECHANICAL CLOSET.
- ⑭ 4" WASTE UP TO WC.
- ⑮ 2" WASTE UP TO LAV.
- ⑯ 2" WASTE UP TO SH/BT.
- ⑰ 2" WASTE UP TO WMO.
- ⑱ 2" WASTE UP TO FD.
- ⑲ 2" WASTE UP TO KS.
- ⑳ 2" WASTE DN.
- ㉑ 2" WASTE UP&DN.
- ㉒ 2" WASTE UP.
- ㉓ PROVIDE 1/2" HW TO DISHWASHER. ROUTE WASTE TO GARBAGE DISPOSAL (REFER TO DETAIL)
- ㉔ 3" RC UP AND DN.
- ㉕ 6" RC UP AND DN.
- ㉖ 3/4" HW/CW DN TO SERVICE SINK AND 3" WASTE DN TO SANITARY.
- ㉗ 3" WASTE UP TO SS.
- ㉘ 3" WASTE UP & DN.
- ㉙ 3" VENT UP & DN.



**PLUMBING SECOND FLOOR PLAN**

SCALE: 1/8" = 1' - 0"



NOTE: SEE P-000 FOR PLUMBING GENERAL NOTES

REFER TO ARCHITECTURAL DRAWINGS FOR BALCONY SCUPPER LOCATIONS.

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1000 Woodward Ave.  
Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.671.0292

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

CIVIL ENGINEER

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

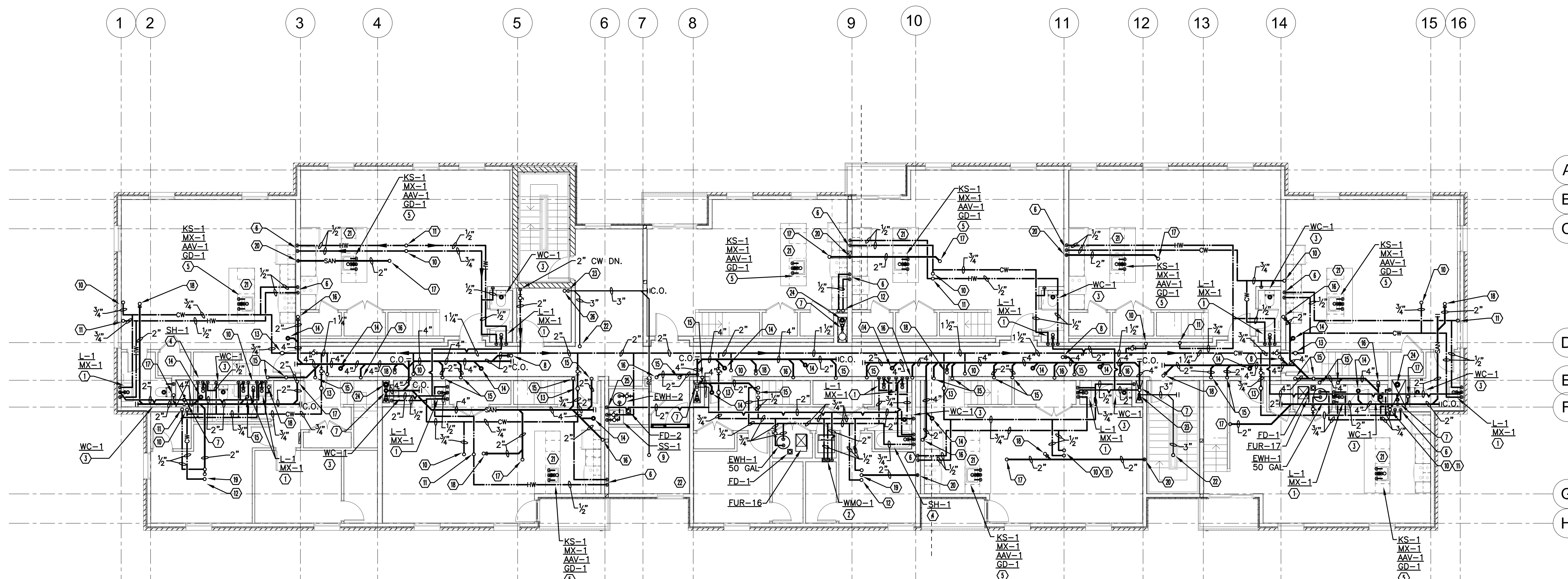
DATE: 05/15/2020

DRAWING TITLE  
**PLUMBING THIRD FLOOR PLAN**

SHEET NO.

**P-104**

100% CD/ PERMIT SET



**KEYED NOTES:**

- ① 1/2" HW/CW DN. IN WALL TO ANGLE SUPPLY VALVES, 2" VENT UP AND 2" WASTE DOWN TO SANITARY. (FIXTURE AS NOTED)(PROVIDE MX-1).
- ② 1/2" HW & CW, AND 2" SANITARY WASTE AND VENT UP TO WMO-1.
- ③ 1/2" CW DN. IN WALL TO ANGLE SUPPLY VALVE SERVING TANK TYPE WATER CLOSET. 4" WASTE DOWN TO SANITARY. (FIXTURE AS NOTED).
- ④ 3/4" CW/HW DN. IN WALL TO SH-1/BT-1. 2" WASTE DOWN TO SANITARY.
- ⑤ 1/2" HW/CW UP FROM BELOW FLOOR TO ANGLE SUPPLY VALVES. 2" SANITARY DOWN TO SANITARY. (FIXTURE AS NOTED)(PROVIDE MX-1). PROVIDE WITH AAV-1.
- ⑥ 1/2" HOT AND COLD WATER DOWN IN WALL TO JOIST SPACE. ROUTE WITHIN JOIST SPACE UP TO KS-1
- ⑦ 4" WASTE STACK AND 2" VENT STACK.
- ⑧ 2" WASTE UP TO SHOWER TRENCH DRAIN.
- ⑨ 3/4" HW/CW DN TO SERVICE SINK AND 3" WASTE DN TO SANITARY.
- ⑩ 3/4" CW UP
- Ⓜ 3/4" HW UP
- Ⓝ 1/2" H. & CW UP
- Ⓞ DOMESTIC WATER SUB METER, SHOWN FOR CLARITY AT THIS LOCATION, INSTALL IN MECHANICAL CLOSET.
- Ⓟ 4" WASTE UP TO WC.
- Ⓠ 2" WASTE UP TO LAV.
- Ⓡ 2" WASTE UP TO SH/BT.
- Ⓢ 2" WASTE UP TO WMO.
- Ⓣ 2" WASTE UP TO FD.
- Ⓤ 2" WASTE UP TO KS.
- Ⓥ 2" WASTE DN.
- Ⓦ PROVIDE 1/2" HW TO DISHWASHER. ROUTE WASTE TO GARBAGE DISPOSAL (REFER TO DETAIL)
- Ⓧ 3" RC UP TO AD
- Ⓨ 3" RC DOWN
- Ⓩ 6" RC UP AND DN.
- ⓐ 2" VENT DN.
- ⓑ 3" VENT UP & DN.

NORTH  
**PLUMBING THIRD FLOOR PLAN**  
SCALE: 1/8" = 1' - 0"

NOTE: SEE P-000 FOR PLUMBING GENERAL NOTES

REFER TO ARCHITECTURAL DRAWINGS FOR BALCONY SCUPPER LOCATIONS.

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1000 Woodward Ave.  
Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.671.0292

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

CIVIL ENGINEER

**MERGE ARCHITECTS** INC  
Brush Park Duplette D-2  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

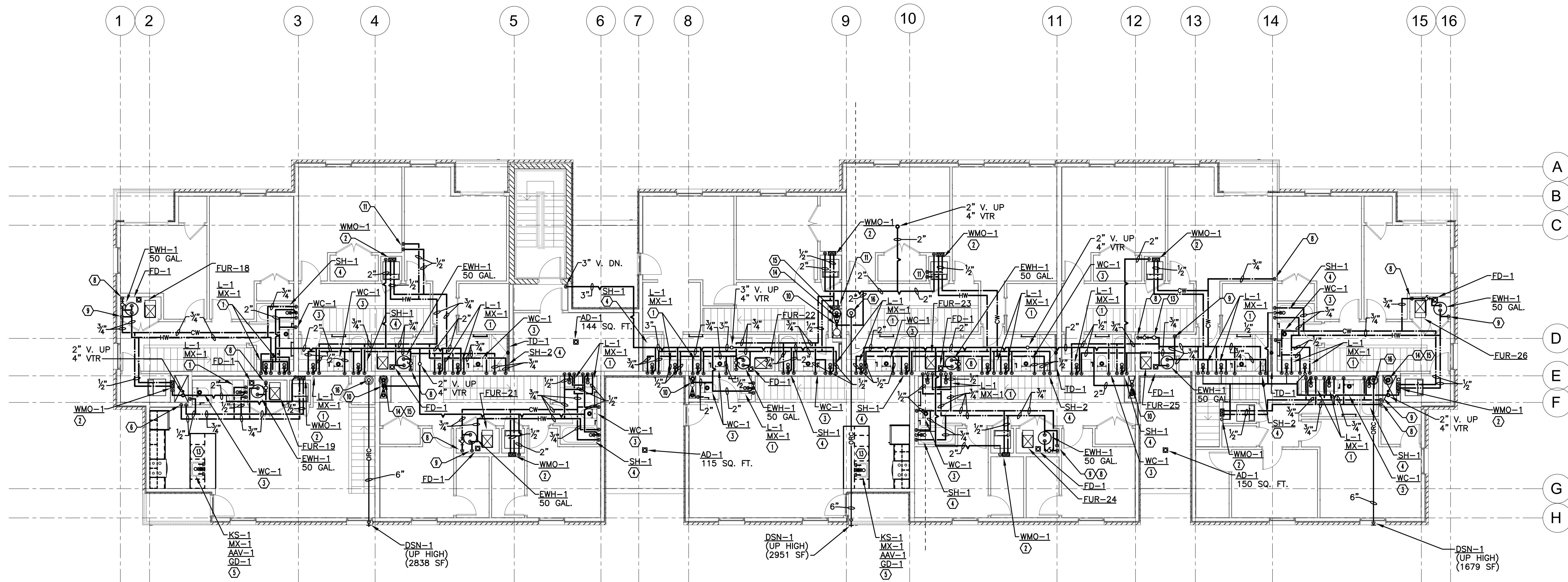
DATE: 05/15/2020

DRAWING TITLE  
**PLUMBING FOURTH FLOOR PLAN**

SHEET NO.

**P-105**

100% CD/ PERMIT SET



**KEYED NOTES:**

- ① 1/2" HW/CW DOWN IN WALL TO ANGLE SUPPLY VALVES, 2" VENT UP AND 2" WASTE DOWN TO SANITARY. (FIXTURE AS NOTED)(PROVIDE MX-1).
- ② 1/2" HW & CW, AND 2" SANITARY WASTE AND VENT UP TO WMO-1.
- ③ 1/2" CW DN. IN WALL TO ANGLE SUPPLY VALVE SERVING TANK TYPE WATER CLOSET. 4" WASTE DOWN TO SANITARY. (FIXTURE AS NOTED).
- ④ 3/4" CW/HW DN. IN WALL TO SH-1/BI-1. 2" WASTE DOWN TO SANITARY.
- ⑤ 1/2" HW/CW UP FROM BELOW FLOOR TO ANGLE SUPPLY VALVES. 2" SANITARY DOWN TO SANITARY. (FIXTURE AS NOTED)(PROVIDE MX-1). PROVIDE WITH AAV-1.
- ⑥ NOT USED
- ⑦ 4" WASTE STACK AND 2" VENT STACK.
- ⑧ 3/4" CW DN
- ⑨ 3/4" HW DN
- ⑩ 2" VENT DN.
- ⑪ 1/2" H. & CW DN.
- ⑫ DOMESTIC WATER SUB METER. SHOWN FOR CLARITY AT THIS LOCATION, INSTALL IN MECHANICAL CLOSET.
- ⑬ PROVIDE 1/2" HW TO DISHWASHER. ROUTE WASTE TO GARBAGE DISPOSAL (REFER TO DETAIL)
- ⑭ 6" RC DN.
- ⑮ 6" RC UP TO 6" RS
- ⑯ 6" ORC UP TO 6" ORS

NORTH  
**PLUMBING FOURTH FLOOR PLAN**  
SCALE: 1/8" = 1' - 0"



NOTE: SEE P-000 FOR PLUMBING GENERAL NOTES

**KEYED NOTES:**

① PROVIDE GAS PIPE, GAS SHUTOFF VALVE, UNION, AND DIRT LEG. PROVIDE PIPE REDUCER AS REQUIRED.

REGISTRATION



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
100 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.671.0262

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**

SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

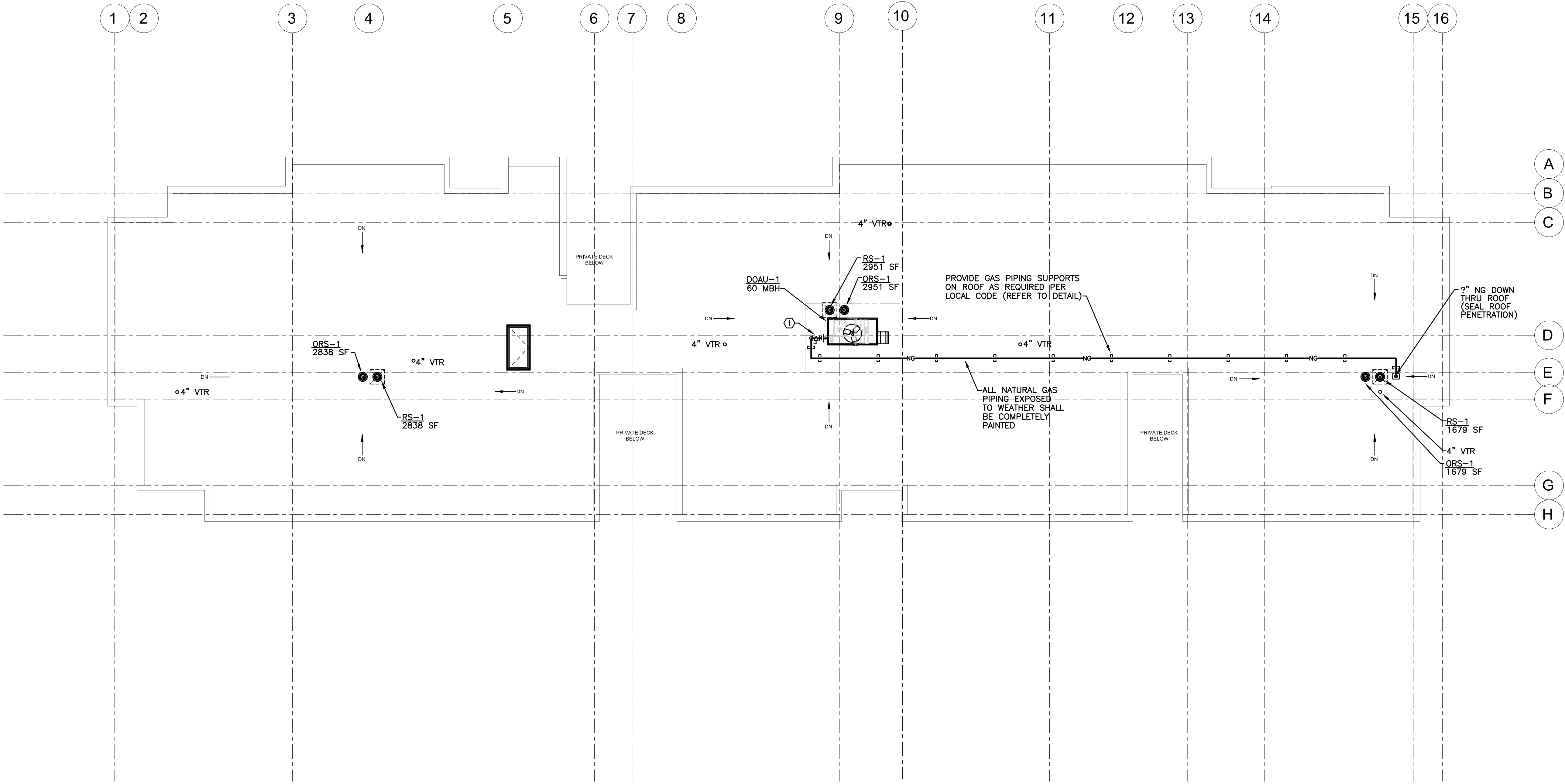
THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.:	18284
SCALE:	AS NOTED
DATE:	05/15/2020

DRAWING TITLE  
**PLUMBING ROOF PLAN**

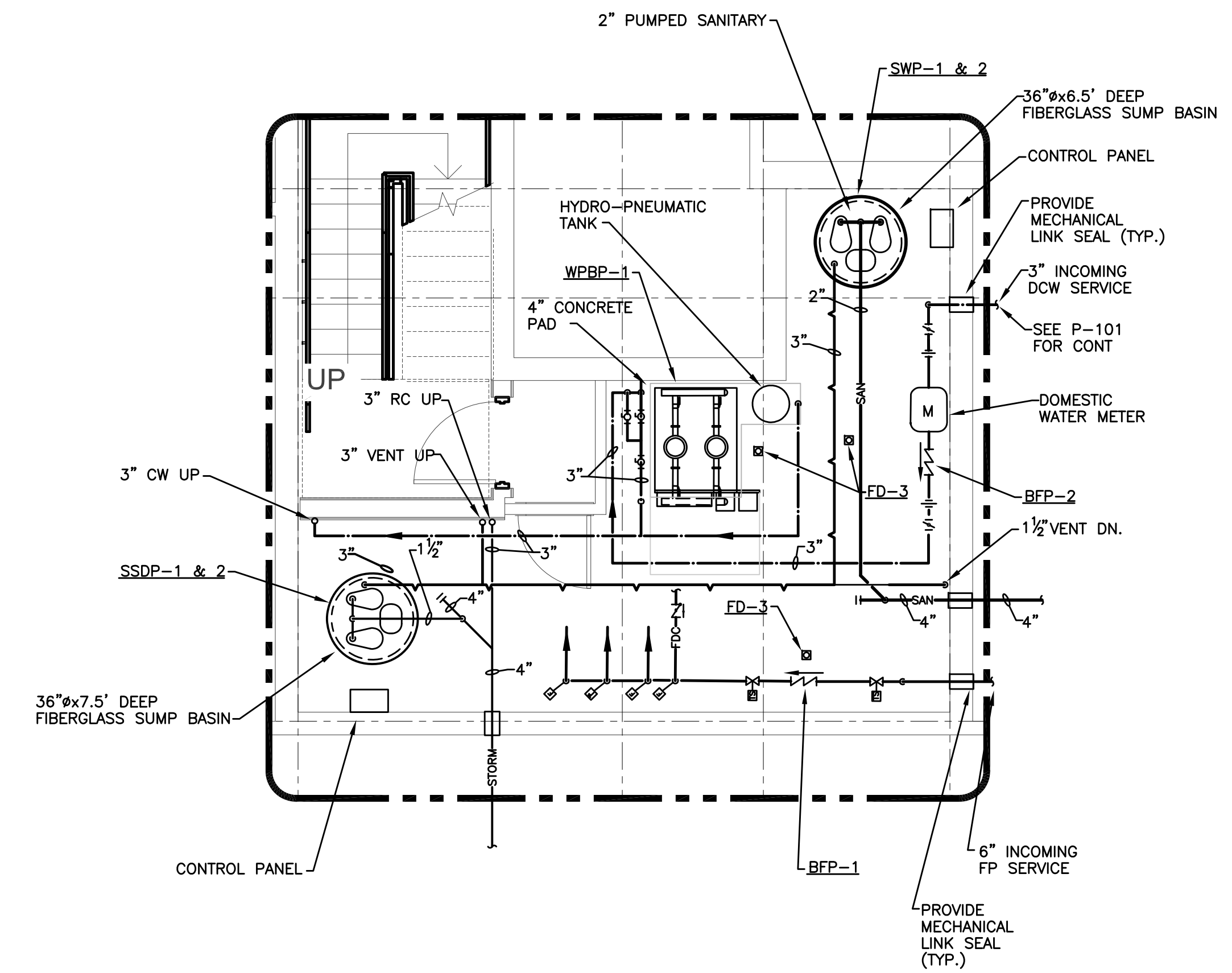
SHEET NO.  
**P-106**

100% CD/ PERMIT SET



**PLUMBING ROOF PLAN**

SCALE: 1/8" = 1' - 0"



REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1502 Woodward Ave.  
 Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
 232 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617.670.0202

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

SELLINGER ASSOCIATES, INC.  
 1821 FARMINGTON ROAD  
 LIVONIA, MI 48152  
 T: 248.482.0045

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
 415-1/2 S. WASHINGTON BLVD.  
 ROYAL OAK, MI 48067  
 T: 248.744.0360

CIVIL ENGINEER

**MERGE ARCHITECTS** INC

**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

DATE: 05/15/2020

DRAWING TITLE

**ENLARGED PLAN**

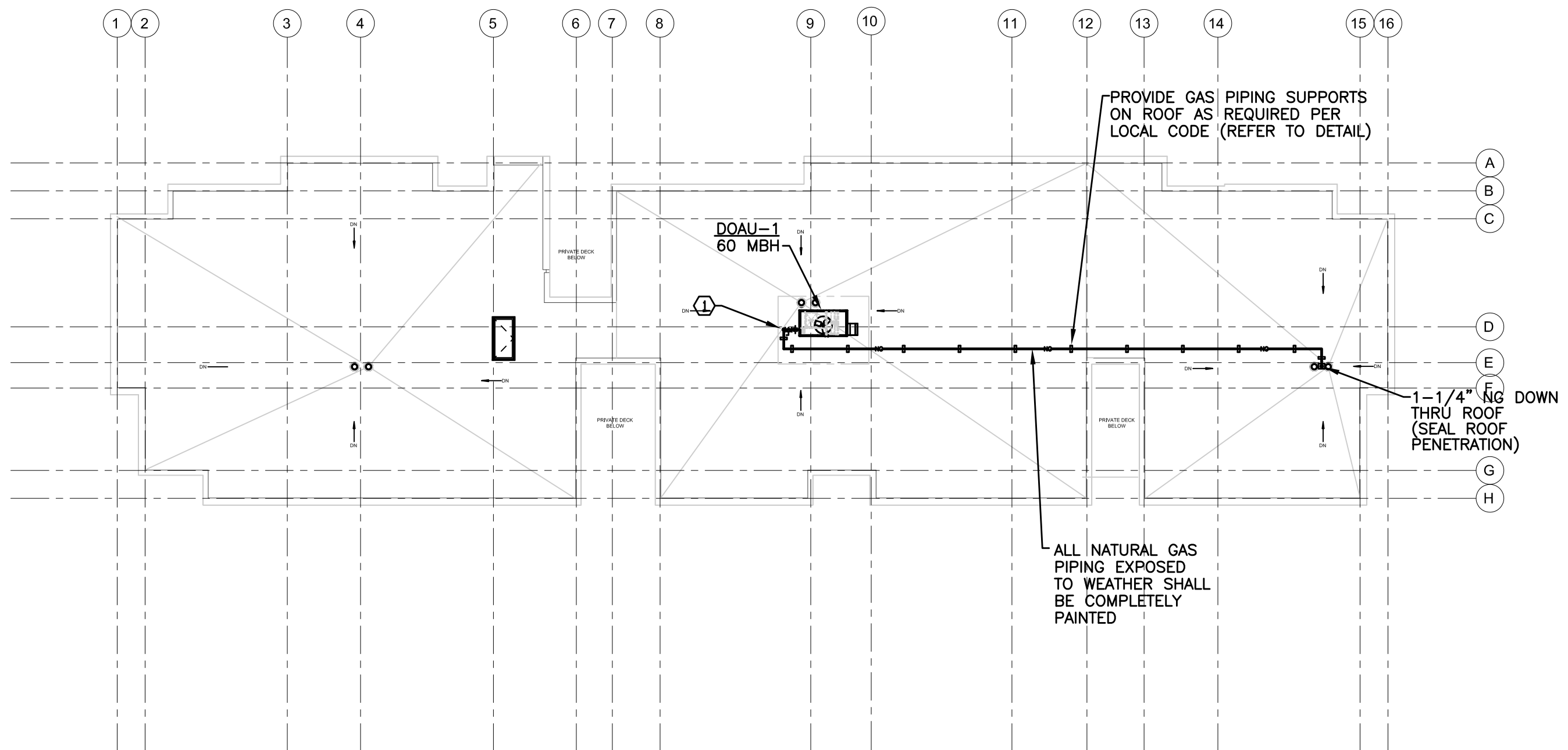
SHEET NO.

**P-200**

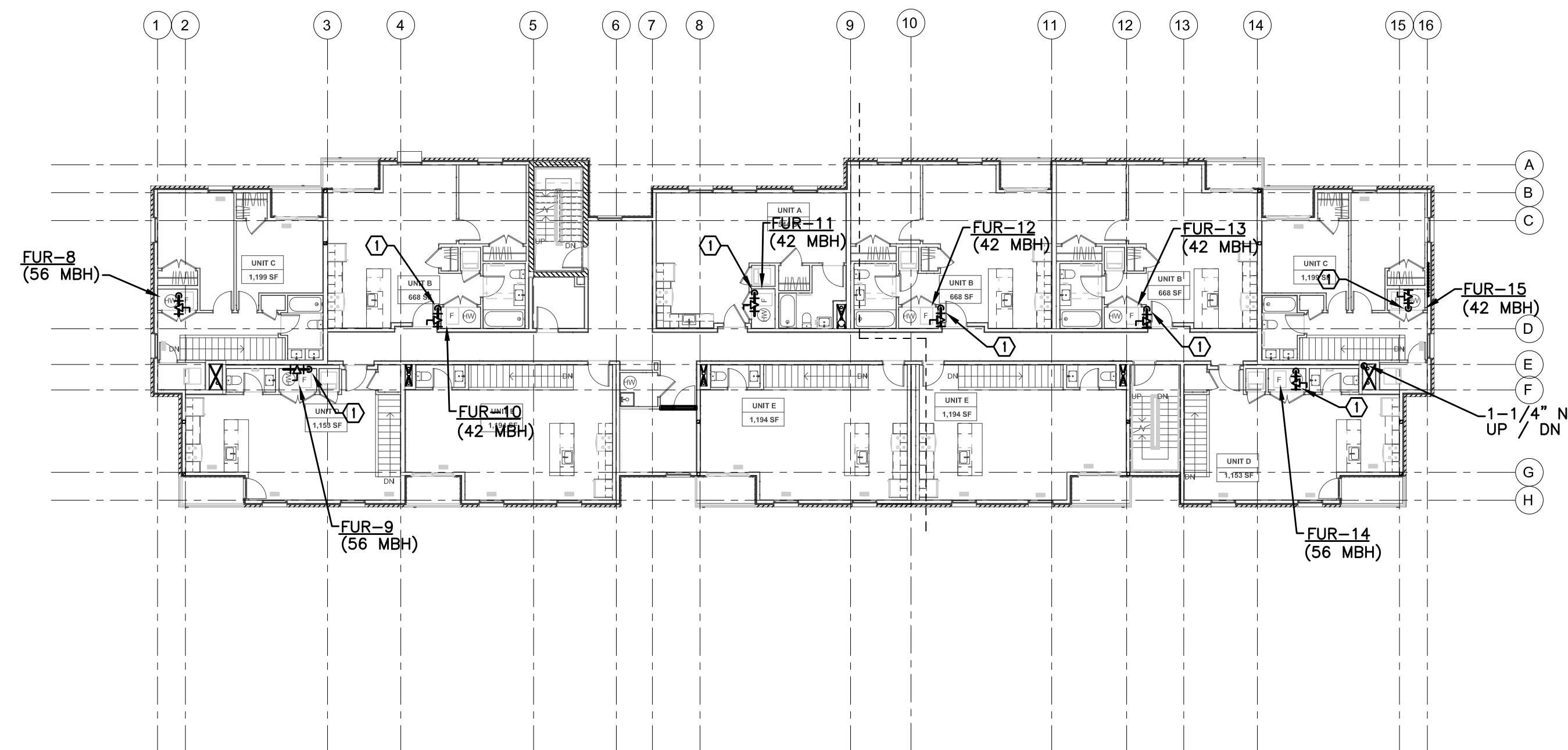
100% CD/ PERMIT SET



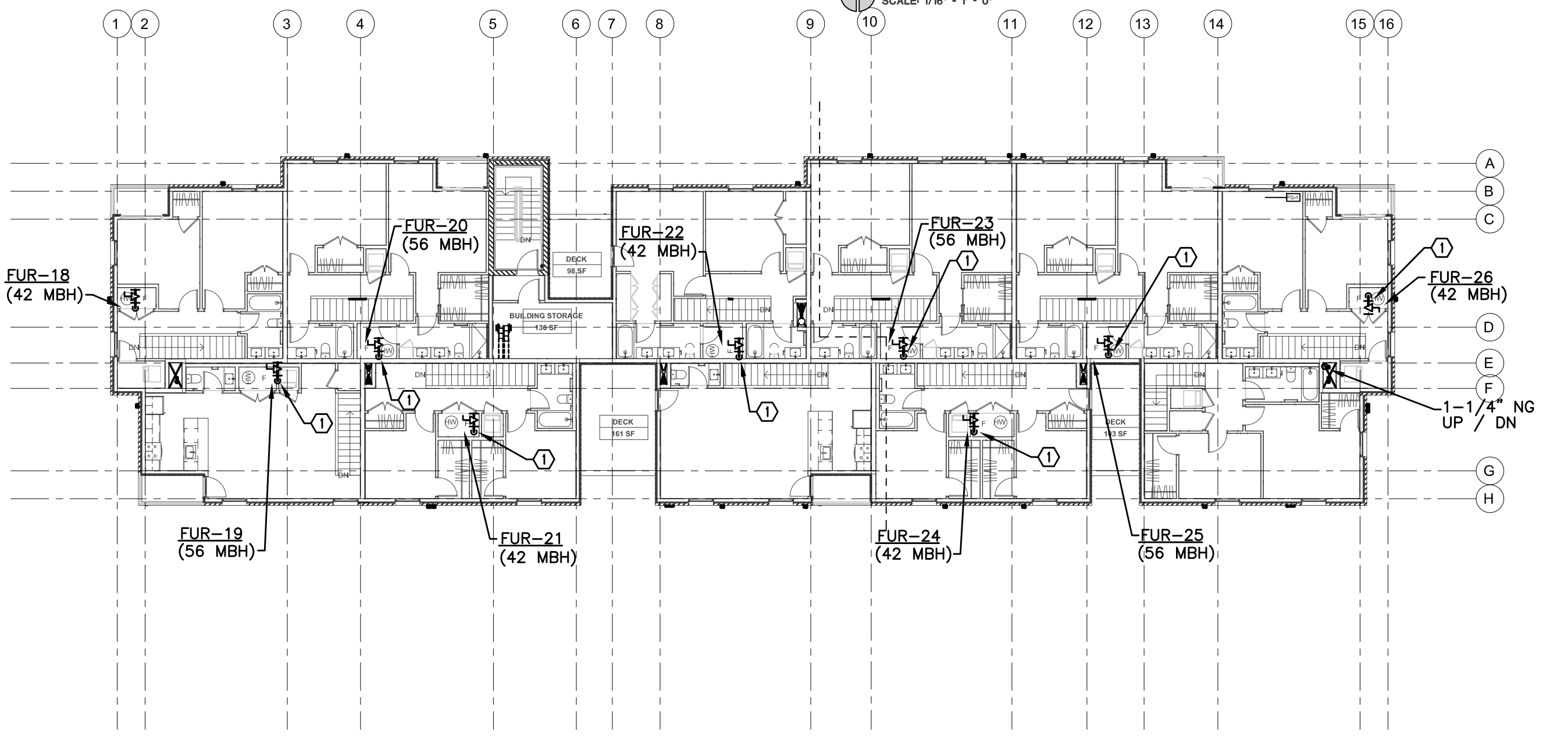
**NOTE: SEE P-000 FOR PLUMBING GENERAL NOTES**



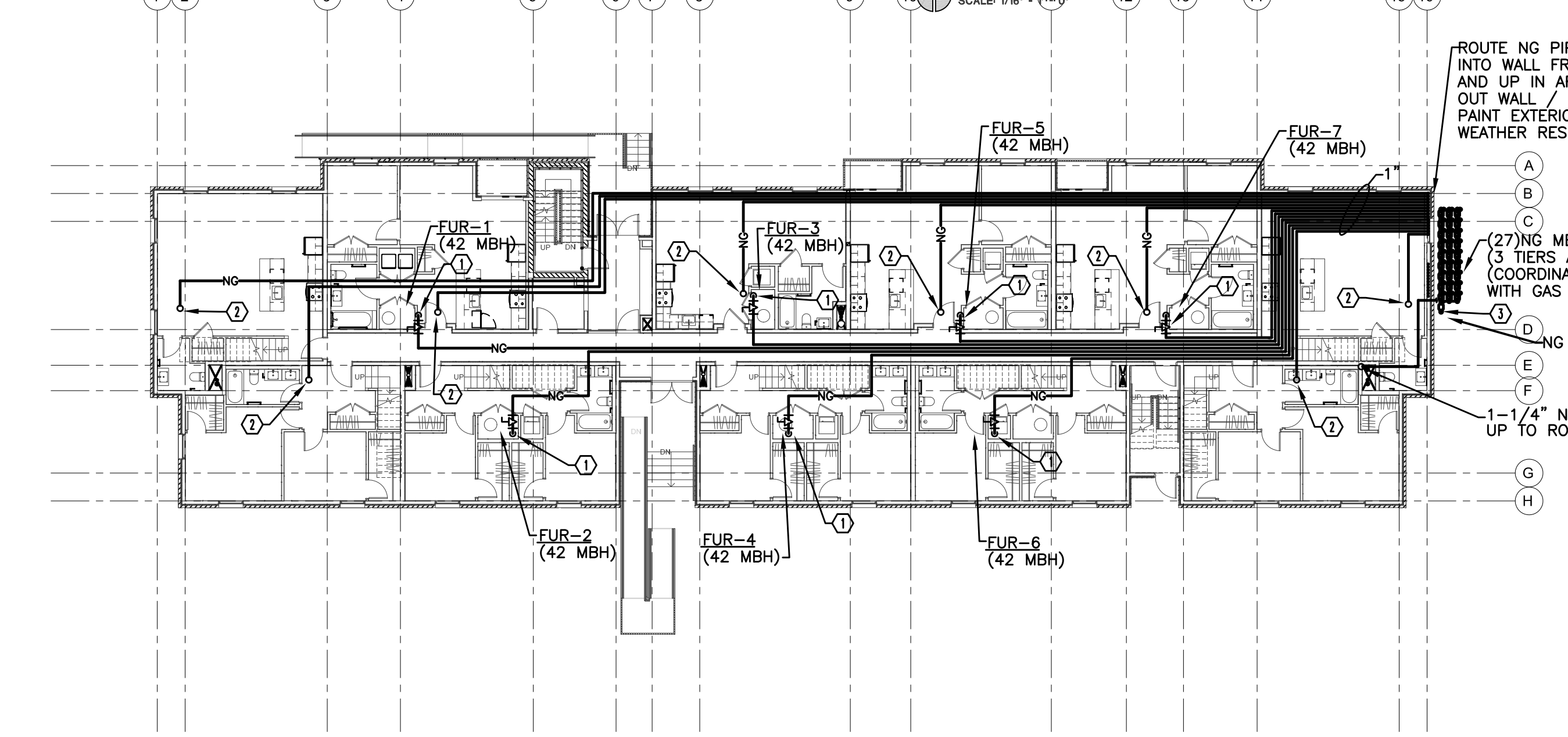
**ROOF PLAN - NATURAL GAS PIPING**  
SCALE: 1/8" = 1'-0"



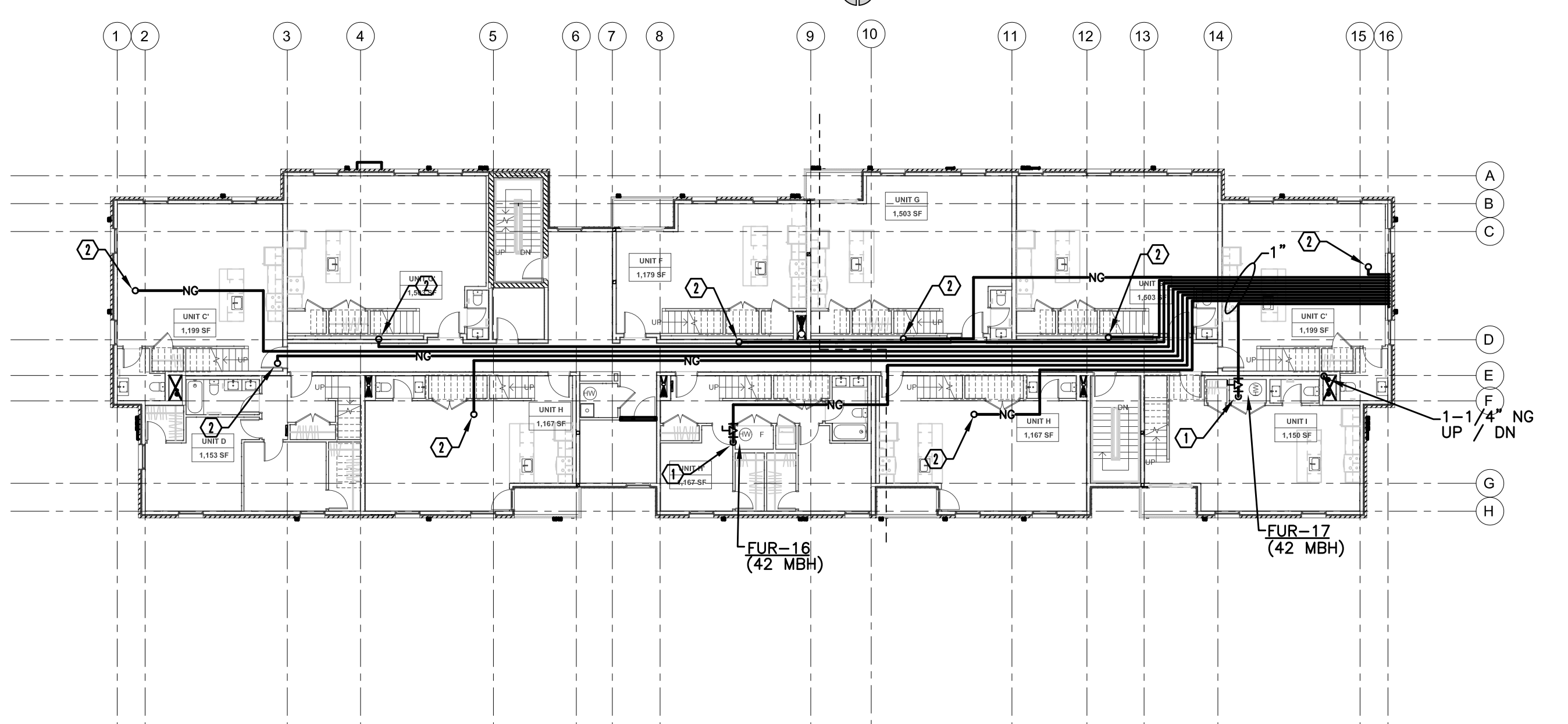
**SECOND FLOOR PLAN - NATURAL GAS PIPING**  
SCALE: 1/8" = 1'-0"



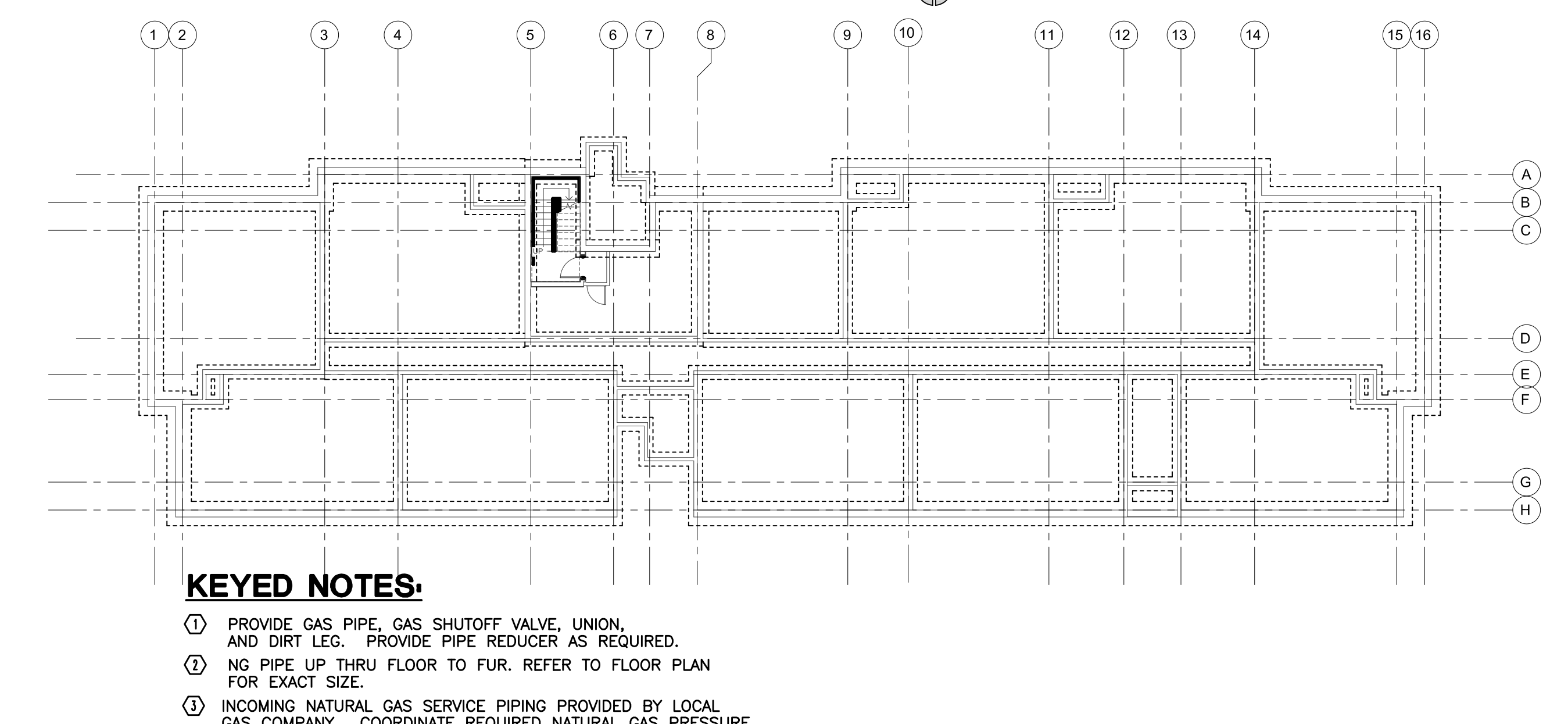
**FOURTH FLOOR PLAN - NATURAL GAS PIPING**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN - NATURAL GAS PIPING**  
SCALE: 1/8" = 1'-0"



**THIRD FLOOR PLAN - NATURAL GAS PIPING**  
SCALE: 1/8" = 1'-0"



**BASEMENT PLAN - NATURAL GAS PIPING**  
SCALE: 1/8" = 1'-0"

- KEYED NOTES:**
- ① PROVIDE GAS PIPE, GAS SHUTOFF VALVE, UNION, AND DIRT LEG. PROVIDE PIPE REDUCER AS REQUIRED.
  - ② NG PIPE UP THRU FLOOR TO FUR. REFER TO FLOOR PLAN FOR EXACT SIZE.
  - ③ INCOMING NATURAL GAS SERVICE PIPING PROVIDED BY LOCAL GAS COMPANY. COORDINATE REQUIRED NATURAL GAS PRESSURE TO METER AND REGULATOR TO MAINTAIN 11" W.C. DISCHARGE PRESSURE DOWN STREAM OF METER AND REGULATOR AT THE NATURAL GAS LOAD NOTED (1,220 CFH)



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1000 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0202

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1821 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0300

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

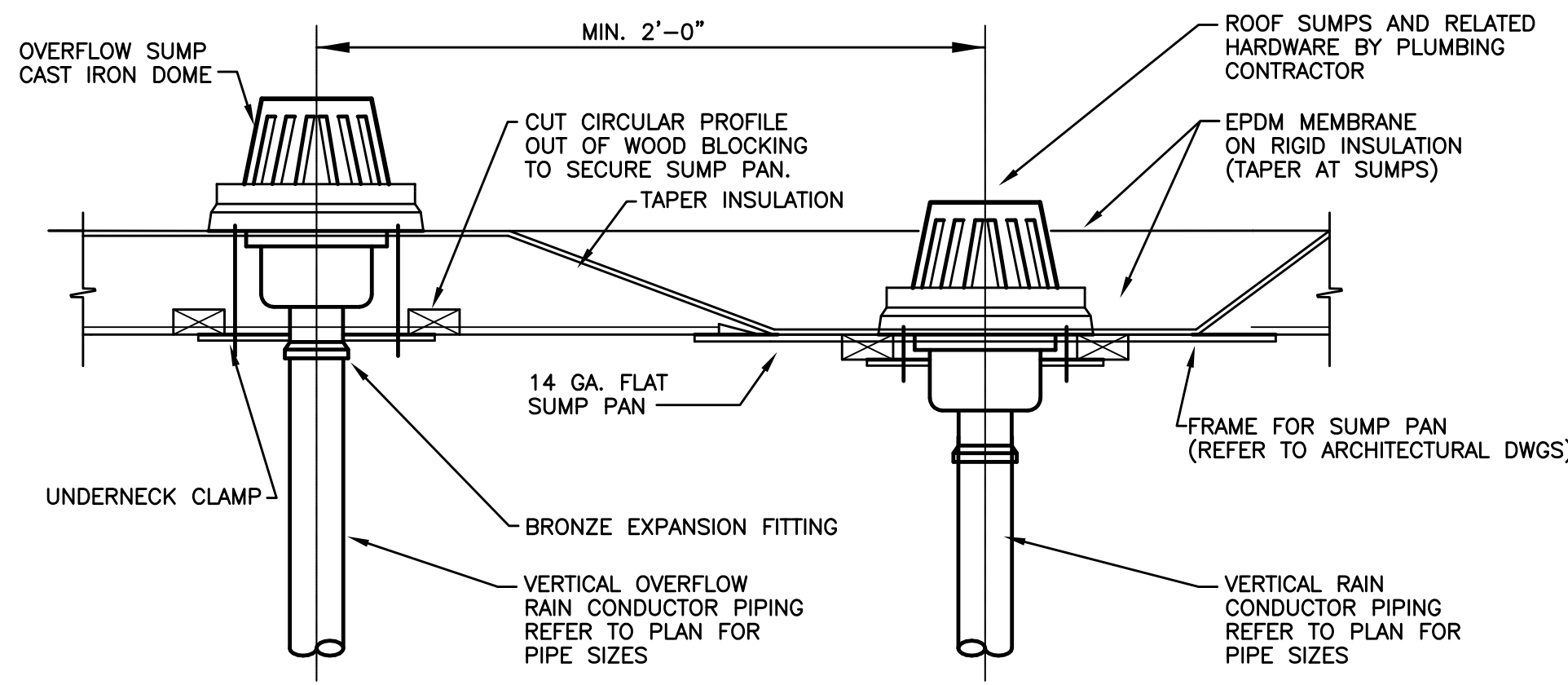
DATE: 05/15/2020

DRAWING TITLE  
**NATURAL GAS PLANS**

SHEET NO.

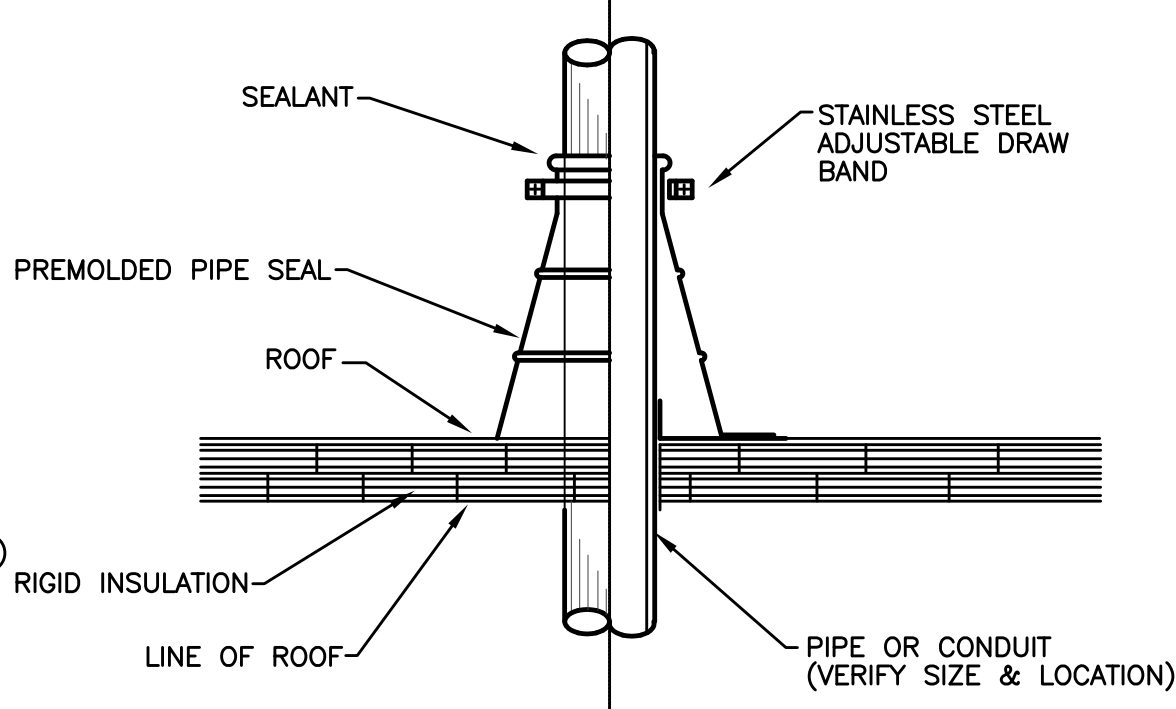
**P-300**

100% CD/ PERMIT SET

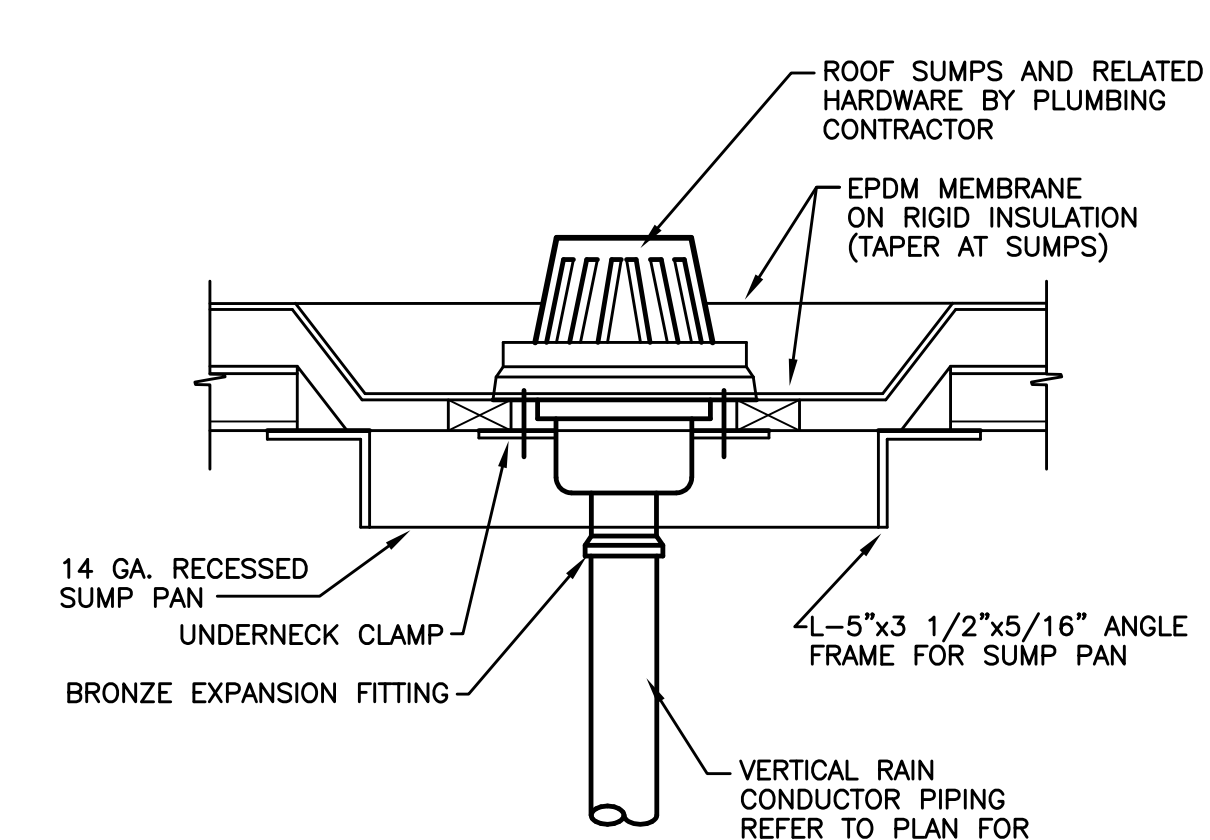


- NOTES:
1. PLUMBING AND ARCHITECTURAL TRADES SHALL COORDINATE ALL REQUIREMENTS TO ASSURE PROPER WATERTIGHT INSTALLATION.
  2. COORDINATE ROOF SUMP AND OVERFLOW SUMP LOCATIONS WITH ARCHITECTURAL AND STRUCTURAL ROOF PLANS.

**TYPICAL ROOF SUMP WITH OVERFLOW DETAIL**  
NO SCALE

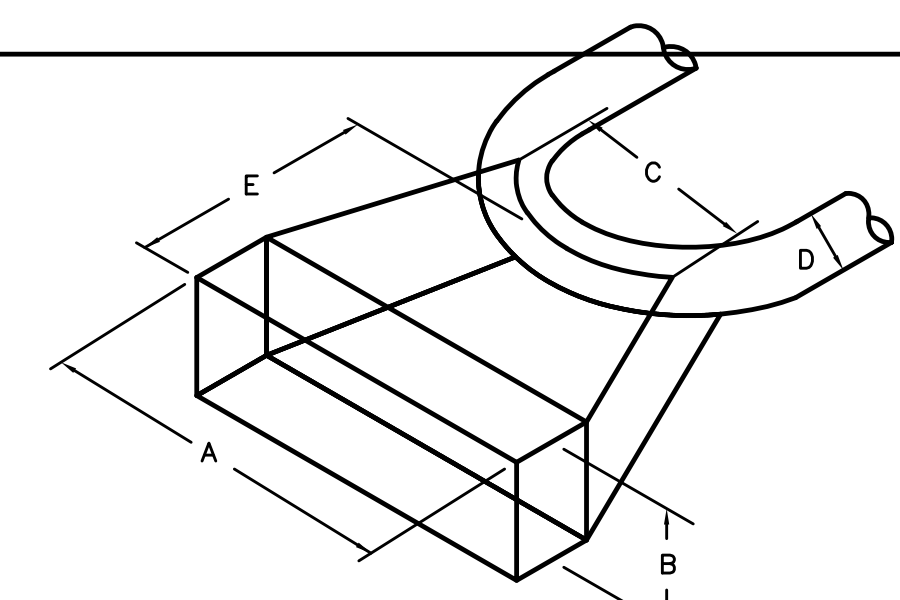


**PIPE PENETRATION THROUGH ROOF DETAIL**  
NO SCALE



- NOTES:
1. PLUMBING AND ARCHITECTURAL TRADES SHALL COORDINATE ALL REQUIREMENTS TO ASSURE PROPER WATERTIGHT INSTALLATION.
  2. COORDINATE ROOF SUMP LOCATIONS WITH ARCHITECTURAL AND STRUCTURAL ROOF PLANS.

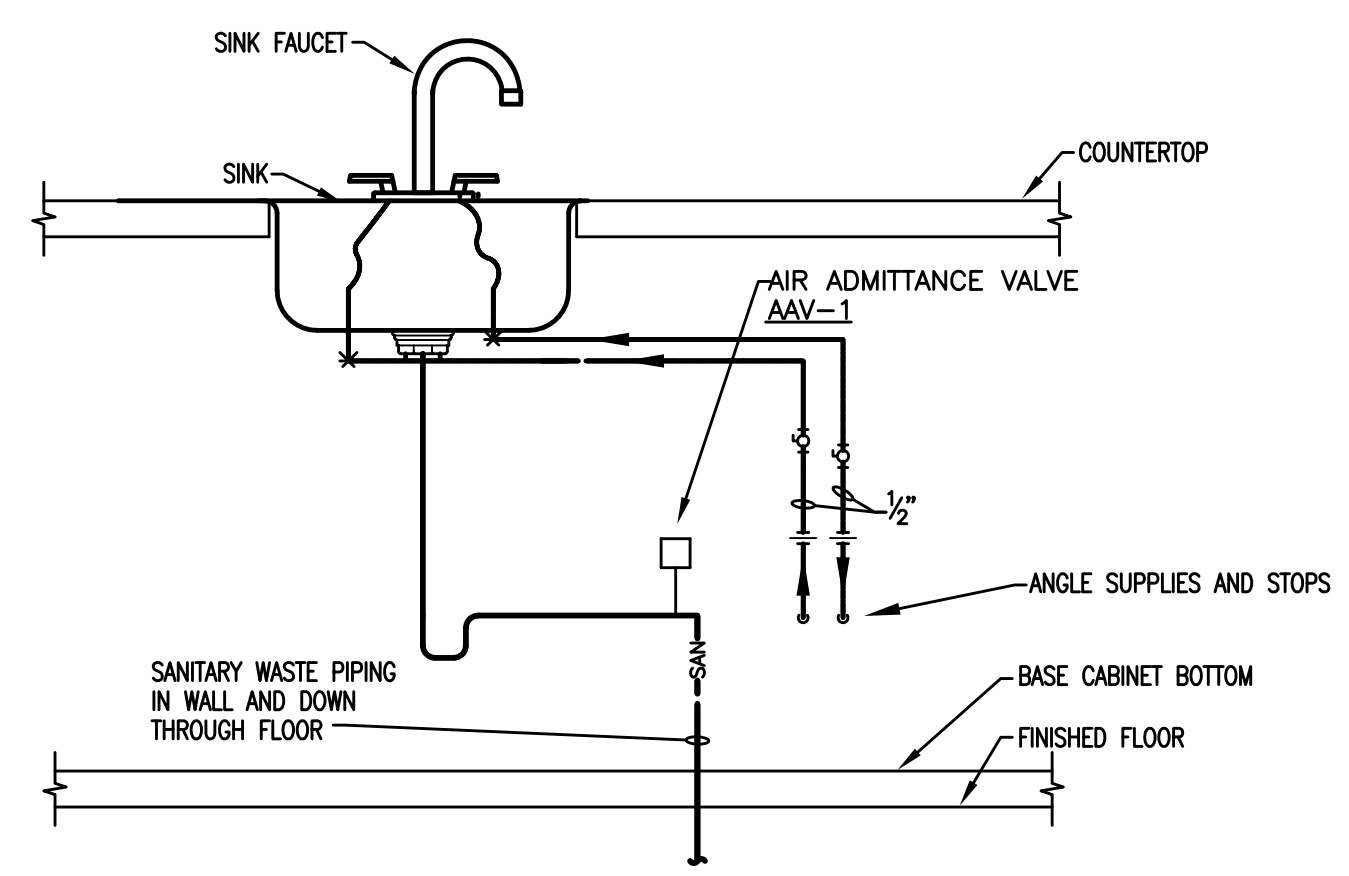
**TYPICAL ROOF SUMP DETAIL**  
NO SCALE



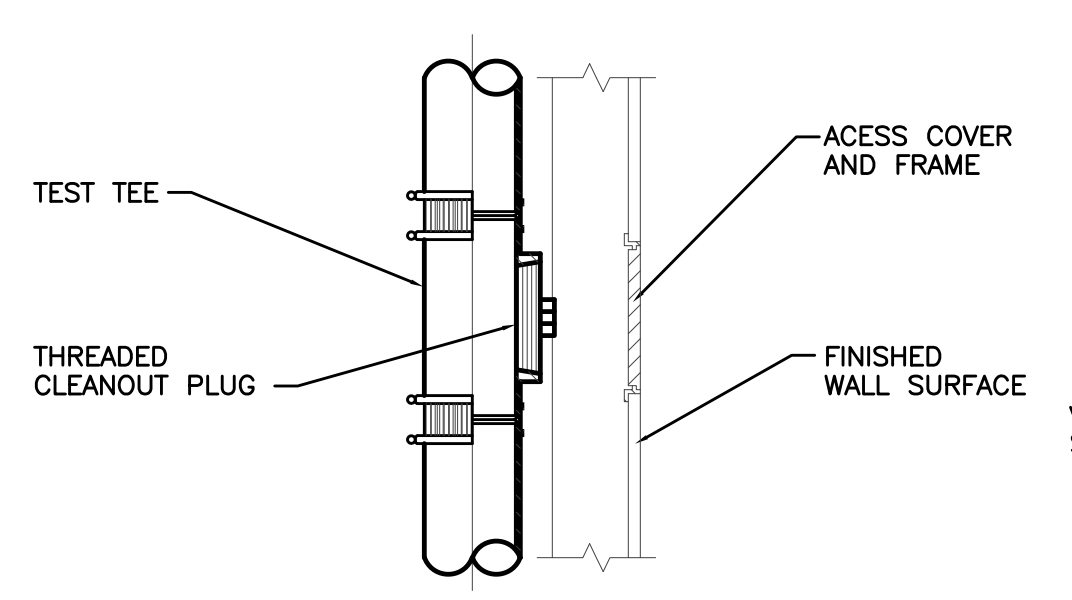
NOTE: ALL THRUST BLOCKS TO BE POURED AGAINST UNDISTURBED EARTH WITH MINIMUM 3000 P.S.I. STRENGTH CONCRETE @ 28 DAYS

BENDS (90° OR LESS)				
D	A	B	C	E (MIN)
6'	2'-6"	1'-6"	2'-0"	1'-6"
8'	3'-6"	2'-6"	2'-0"	1'-6"
10'	4'-0"	3'-0"	2'-0"	2'-0"
12'	5'-6"	3'-0"	2'-0"	2'-0"

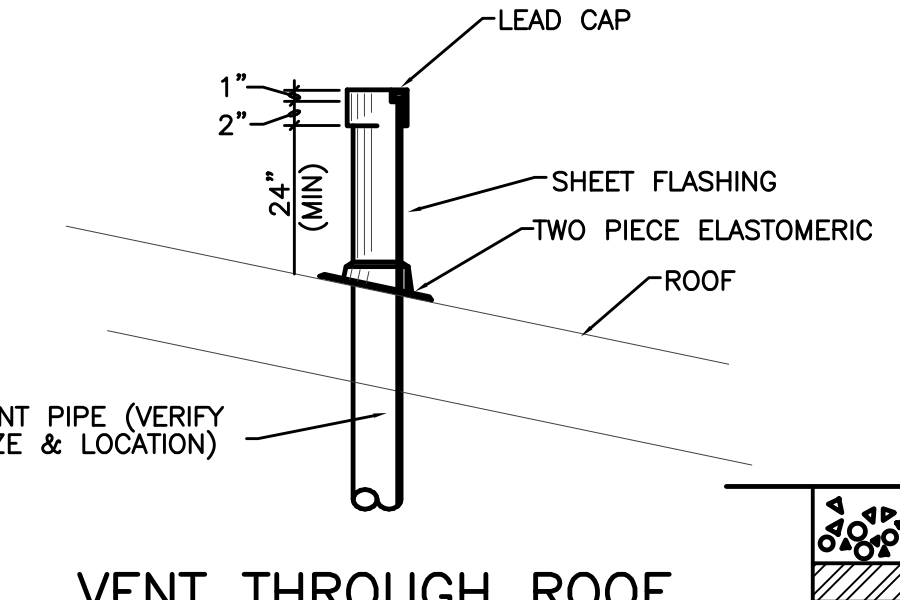
**THRUST BLOCK DETAIL**  
NO SCALE



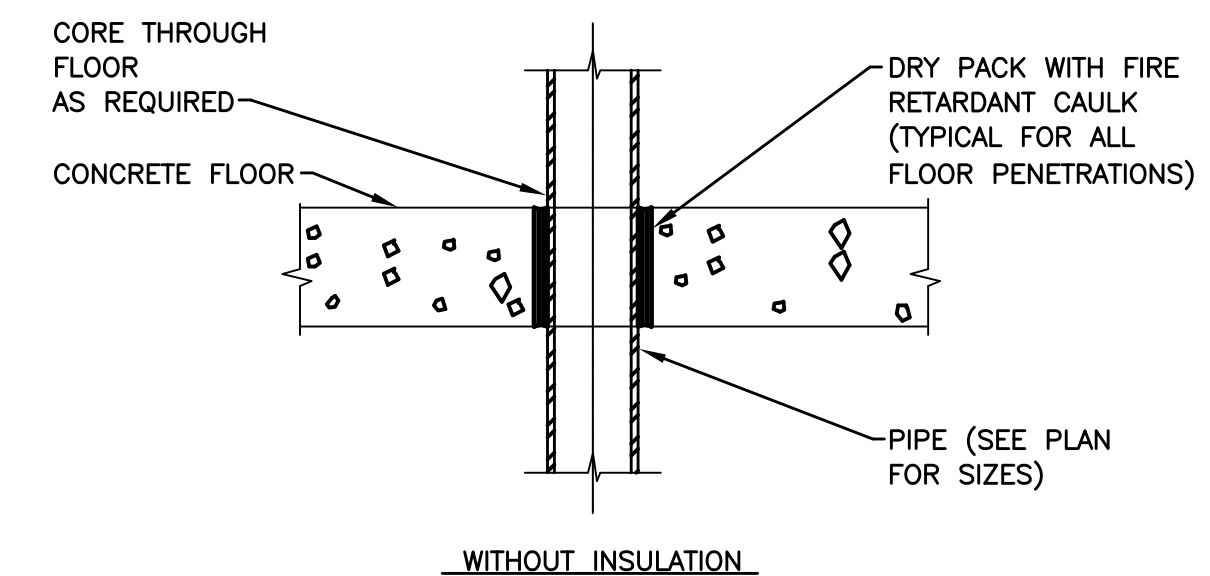
**SINK & AIR ADMITTANCE VALVE DETAIL**  
NO SCALE



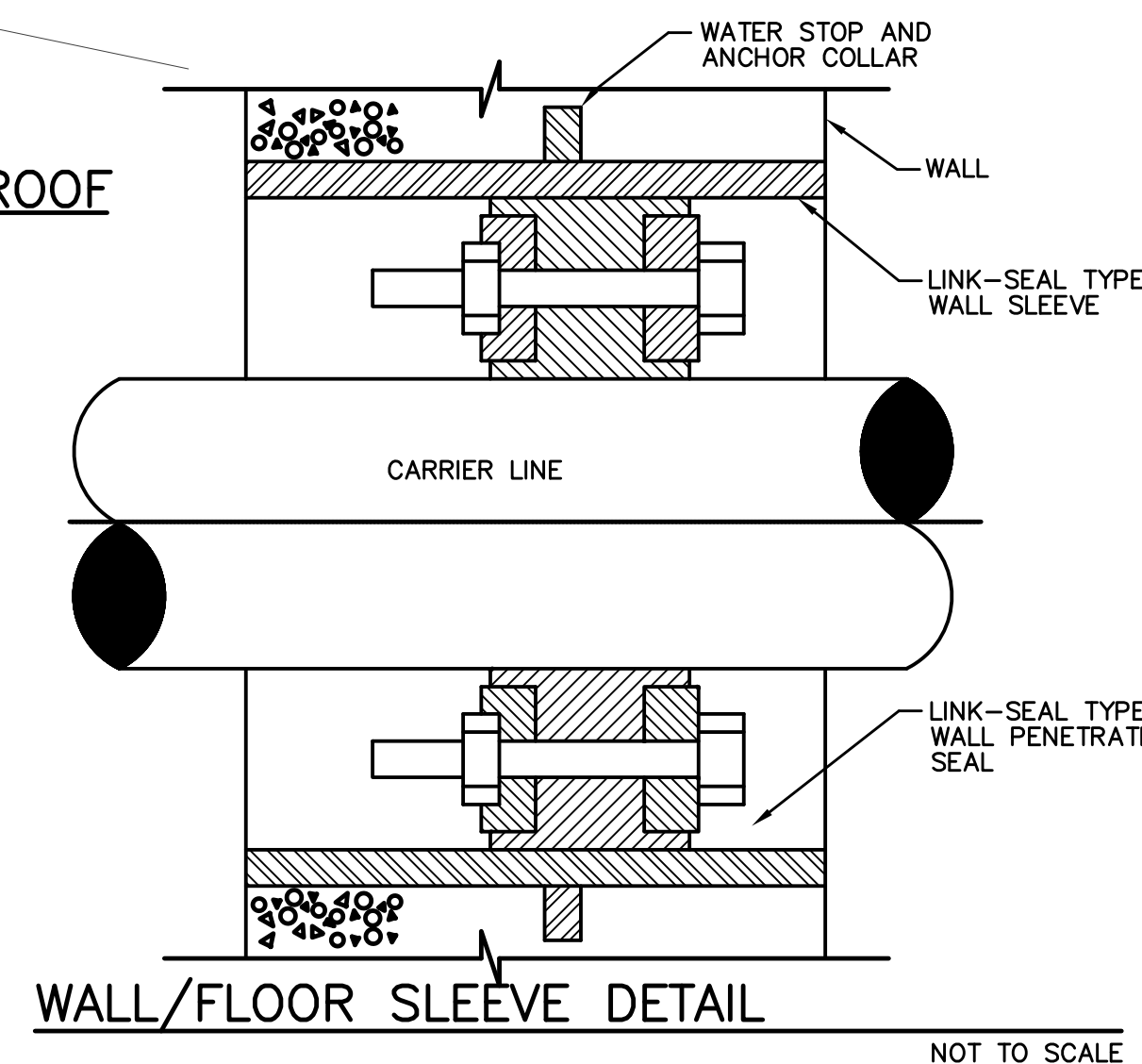
**WALL CLEANOUT DETAIL**  
NO SCALE



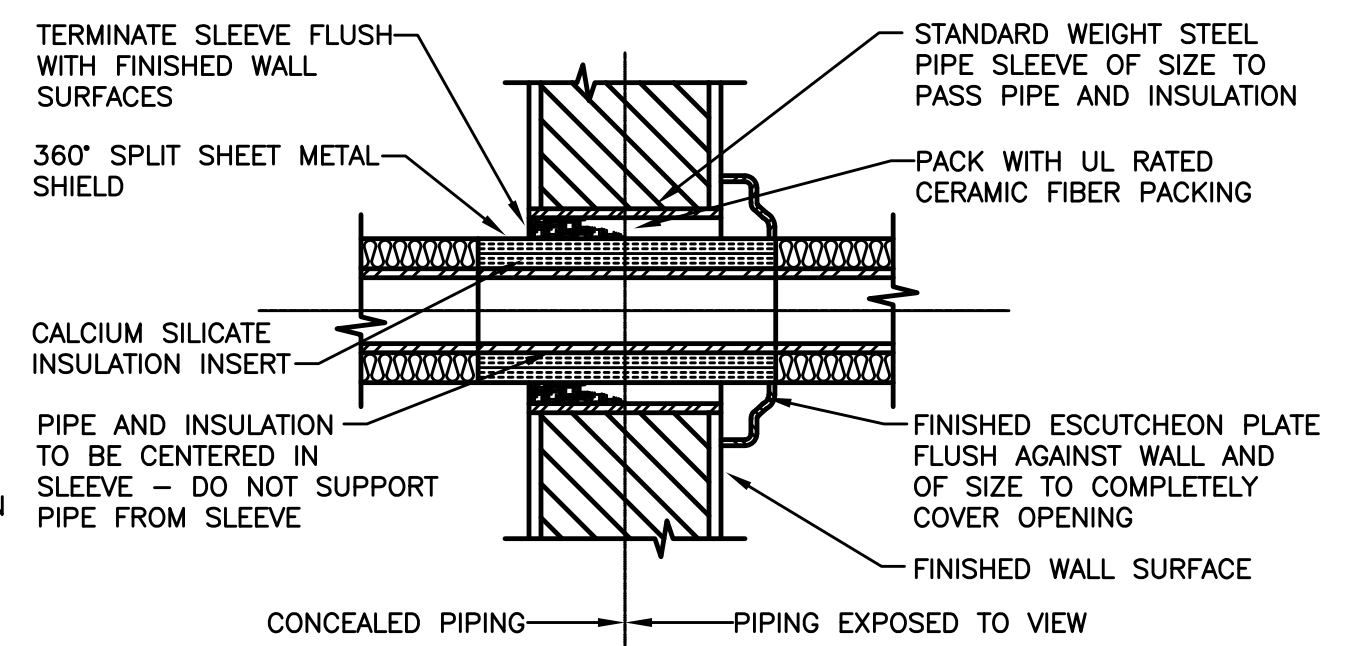
**VENT THROUGH ROOF**  
NO SCALE



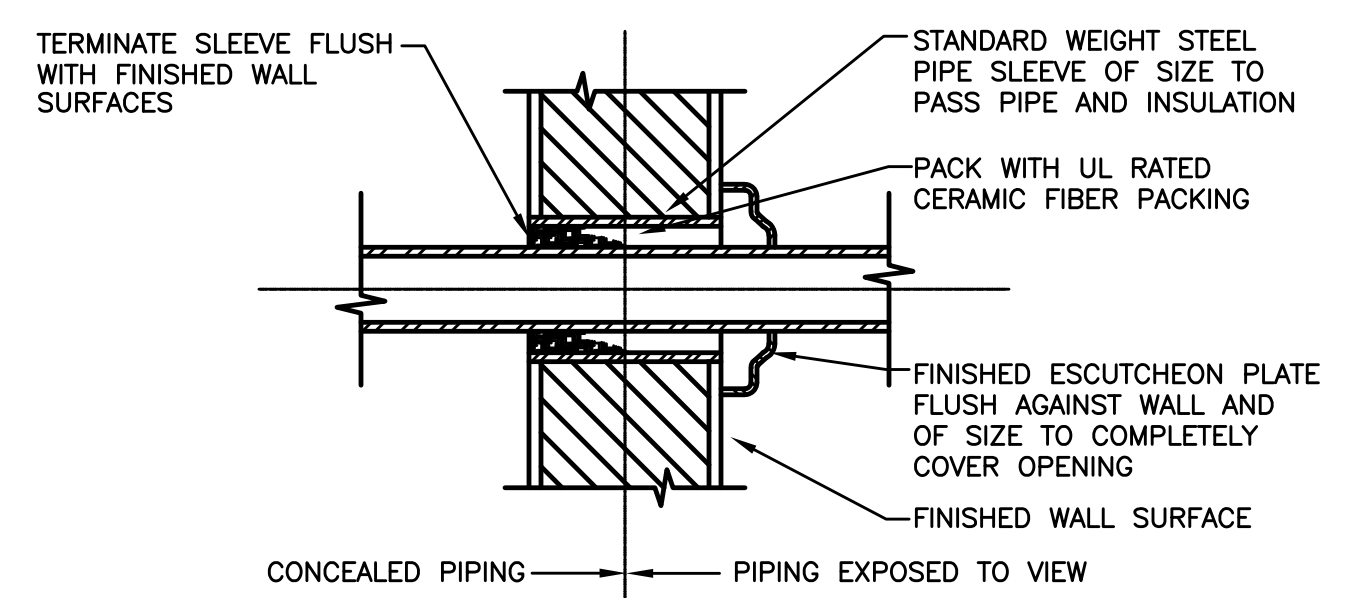
**PIPE SLEEVE THROUGH FLOOR DETAIL**  
NO SCALE



**WALL/FLOOR SLEEVE DETAIL**  
NOT TO SCALE

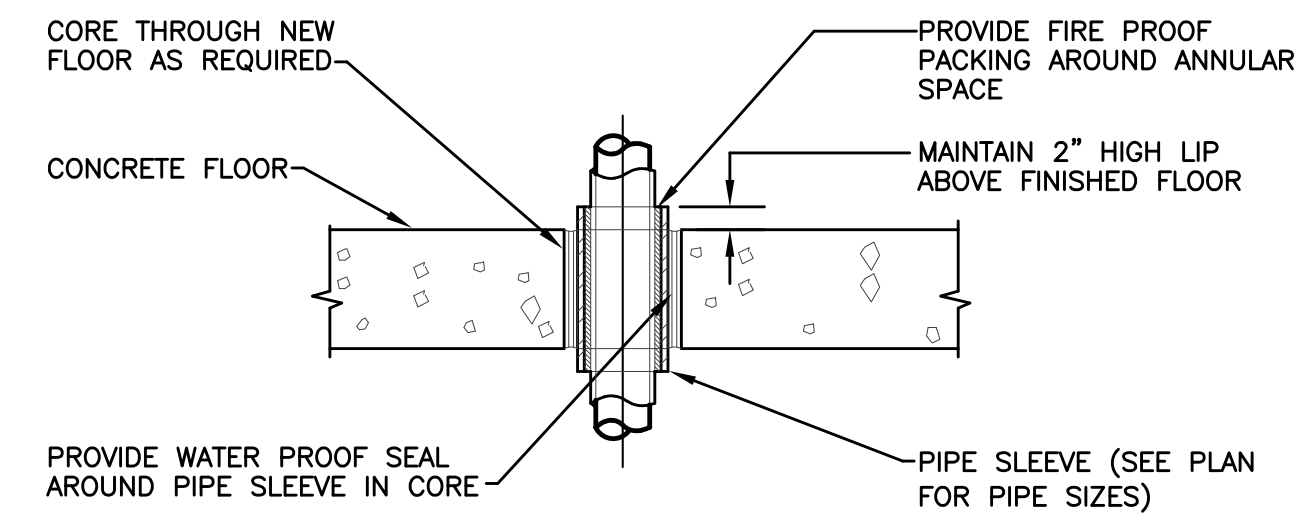


**WITH INSULATION**



**WITHOUT INSULATION**

**TYPICAL DETAIL OF PIPE THROUGH INTERIOR WALLS**  
NO SCALE



**PIPE SLEEVE THROUGH FLOOR DETAIL**  
NO SCALE



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1000 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0292

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1882 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

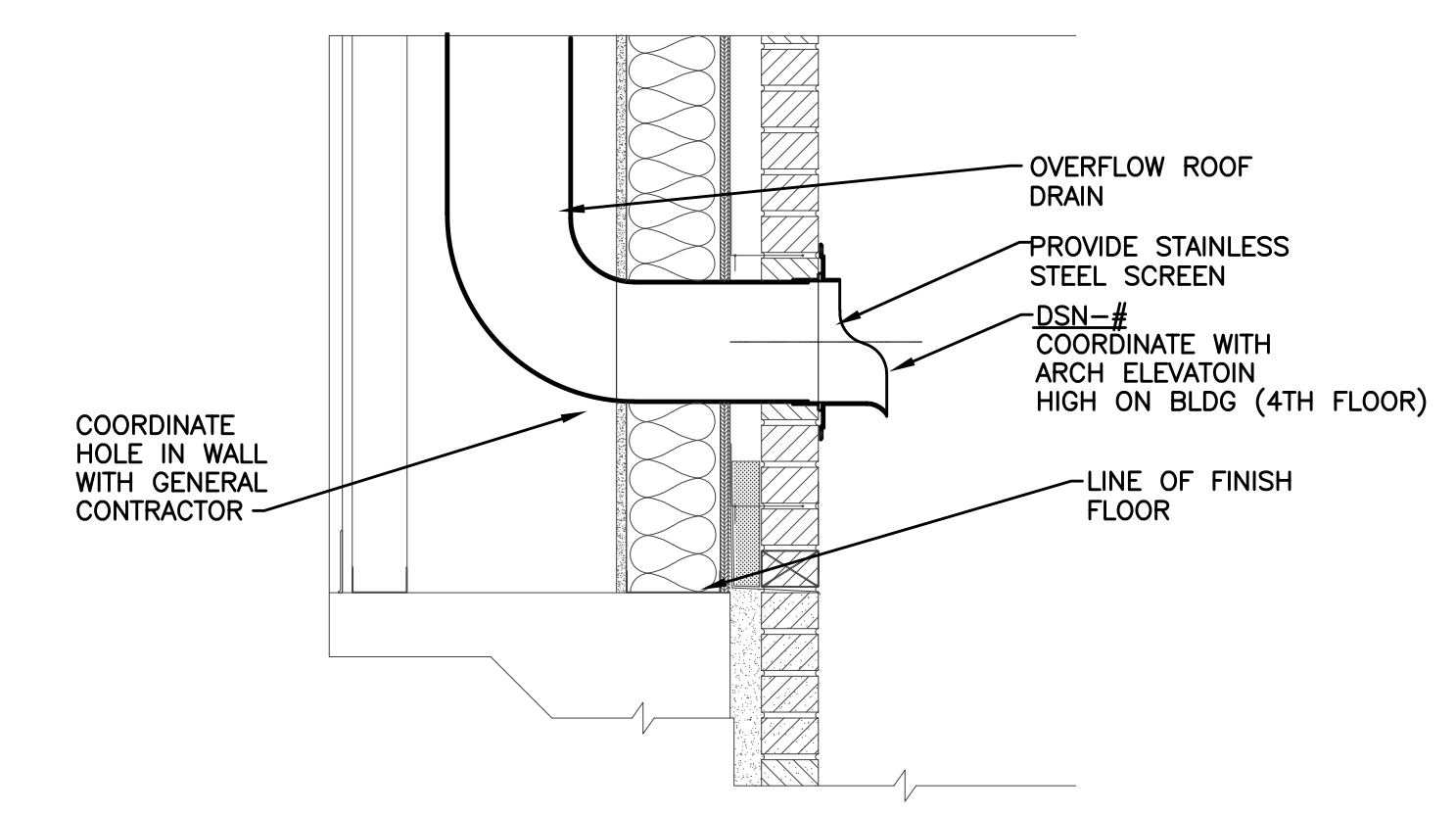
DATE: 05/15/2020

DRAWING TITLE  
**PLUMBING DETAILS**

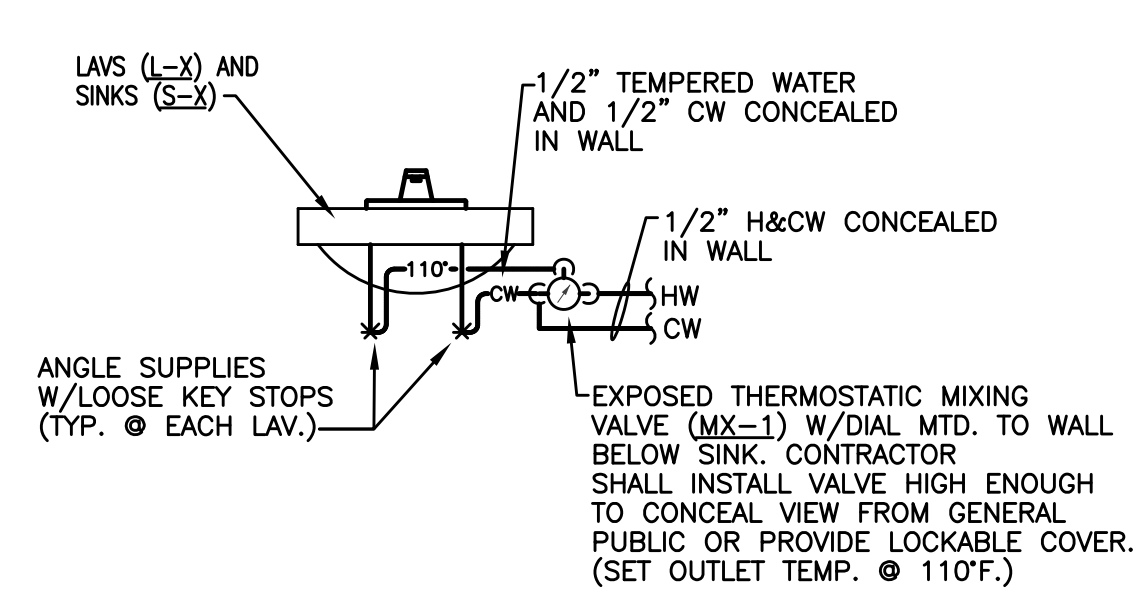
SHEET NO.

**P-400**

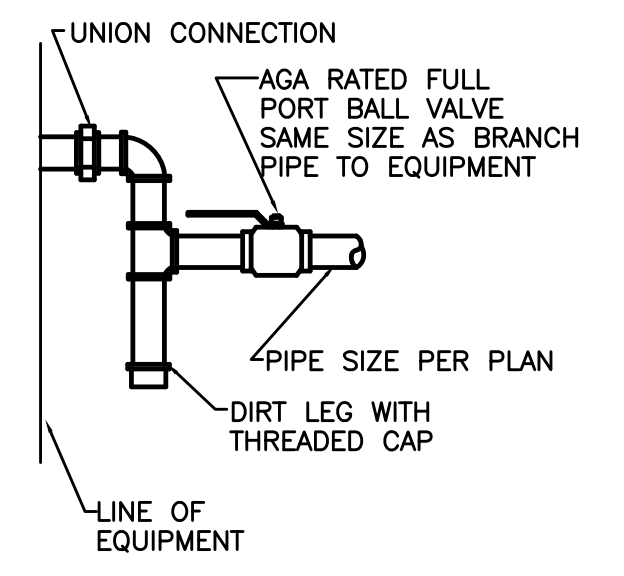
100% CD / PERMIT SET



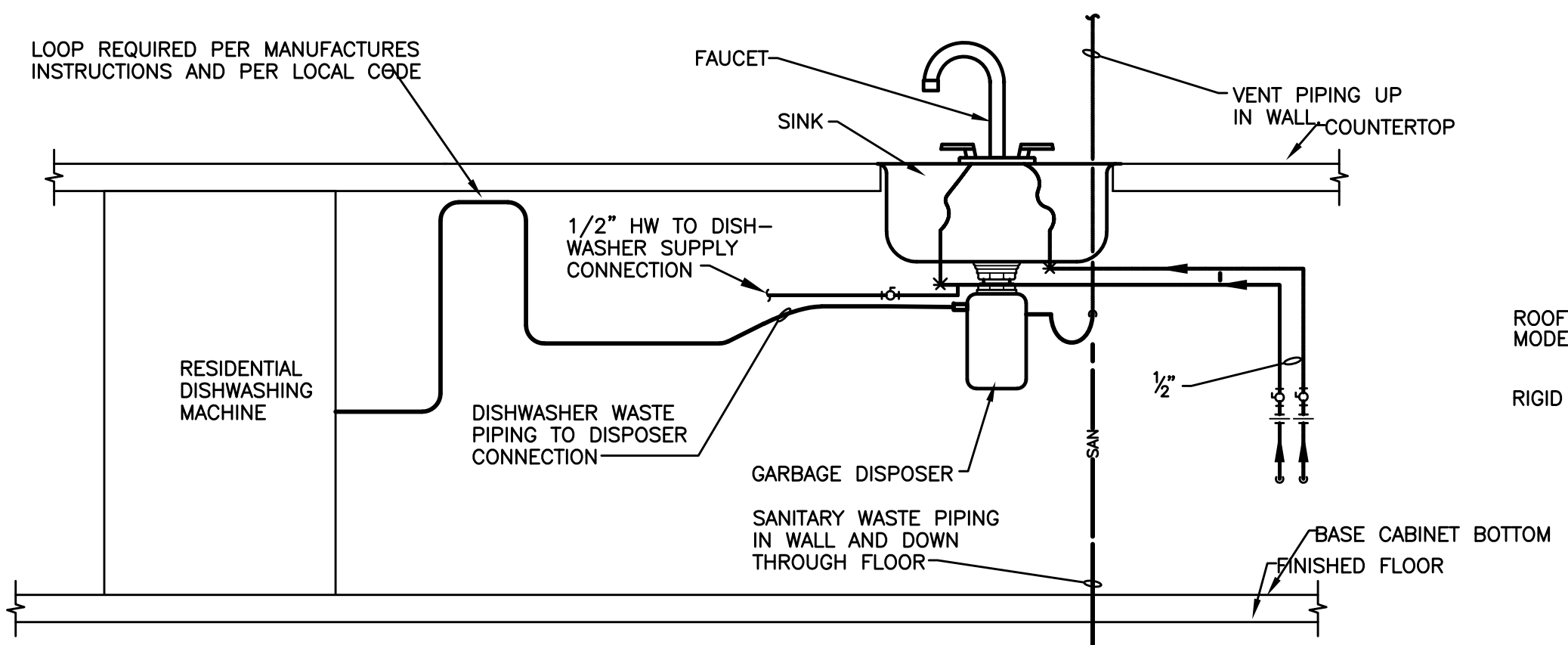
**TYPICAL DOWNSPOUT NOZZLE DETAIL**  
NO SCALE



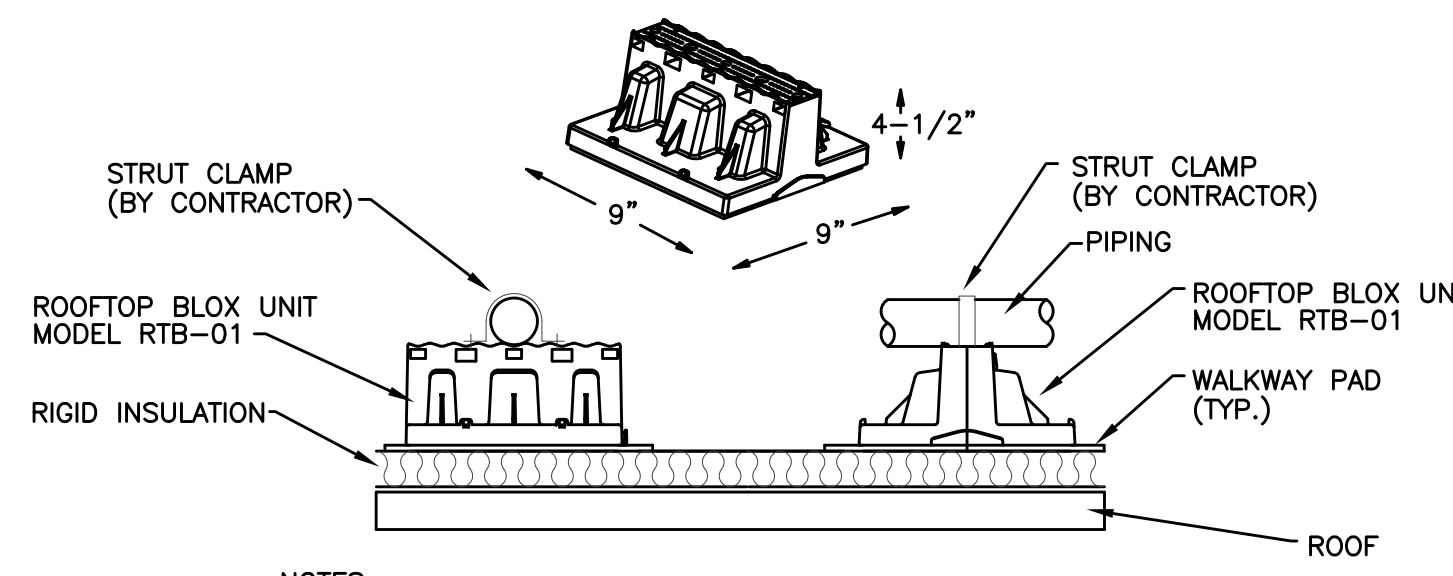
**THERMOSTATIC MIXING VALVE DETAIL, MX-1**  
NOT TO SCALE



**GAS PIPE EQUIPMENT CONNECTION DETAIL**  
NO SCALE

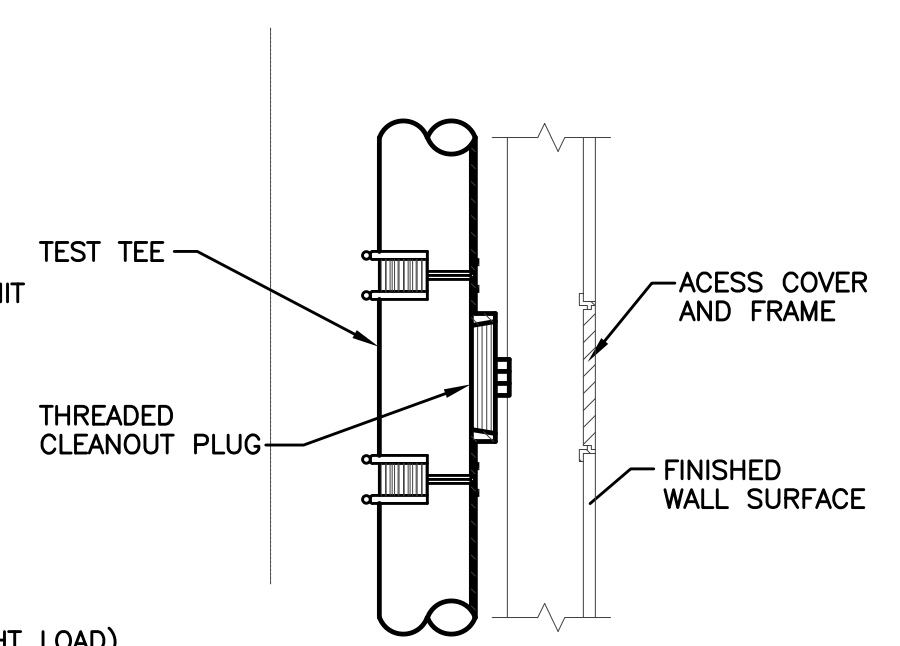


**SINK AND DISHWASHER WASTE CONNECTION**  
NO SCALE



- NOTES:
1. THE MAXIMUM LOAD IS 450 LBS WITH SPACING AT 7' INTERVALS.
  2. LOADS ABOVE 250 LBS REQUIRE THE USE OF STRUT (TO DISTRIBUTE THE WEIGHT LOAD).
  3. THE LOAD MUST BE CENTERED ON THE ROOFTOP BLOX UNIT.
  4. THE PIPING SHALL BE ATTACHED USING STANDARD STRUT CLAMPS.

**PIPE SUPPORT ON ROOF**  
NO SCALE



**WALL CLEANOUT DETAIL**  
NO SCALE





PLUMBING FIXTURE SCHEDULE									
TAG	ITEM	MAKE	MODEL NAME	MODEL NUMBER	PIPE CONNECTION SIZES				NOTES/ACCESSORIES
					W	V	CW	HW	
WC-1	BARRIER FREE WATER CLOSET	KOHLER	WINDHAM	403082	4"	-	1/2"	-	FLOOR MOUNTED, TANK TYPE FLUSH CONTROL (WC TO HAVE LEFT OR RIGHT-HAND TRIP LEVER - SEE PLANS)
L-1	UNDERCOUNTER LAVATORY	KOHLER	CAXTON	K-2211	2"	1 1/2"	1/2"	1/2"	VITREOUS CHINA, UNDERCOUNTER, 4" CENTERS, SINGLE LEVER FAUCET, & ADA COMPLIANT
KS-1	SINGLE COMPART. SINK	ELKAY	CROSSTOWN	ECTRU24179RT	2"	1 1/2"	1/2"	1/2"	SELF-RIMMING STAINLESS STEEL, SINGLE BOWL, DECKMOUNT GOOSENECK WITH SINGLE LEVER (ADA COMPLIANT)
SH-1	SHOWER & TUB VALVE	DELTA	TRINSIC	T14459	-	-	1/2"	1/2"	SHOWER TRIM, PRESSURE BALANCED, INTEGRAL CHECKS SINGLE METAL HANDLE, SHOWERHEAD, ARM, FLANGE, TUB FILL
SH-2	SHOWER VALVE	DELTA	TRINSIC	T14259	-	-	1/2"	1/2"	SHOWER TRIM, PRESSURE BALANCED, INTEGRAL CHECKS SINGLE METAL HANDLE, SHOWERHEAD, ARM, FLANGE
FD-1	FLOOR DRAIN	ZURN	-	ZN-415-3NH-5B-VP	3"	-	-	-	FLOOR DRAIN WITH TYPE "B" STRAINER & VANDAL PROOF GRATE PROVIDE WITH SURESEAL 3" FLOOR DRAIN TRAP SEALER (#SS3000)
FD-2	SQUARE FLOOR DRAIN	ZURN	-	ZN-415-3NH-5B-VP-P	2"	-	-	-	FLOOR DRAIN WITH TYPE "B" STRAINER & VANDAL PROOF GRATE PLUMBER TO PROVIDE WATERPROOF MEMBRANE UNDER MUD SET
FD-3	HEAVY DUTY FLOOR DRAIN	ZURN	-	ZN-511-3NL	3"	-	-	-	9" HEAVY DUTY FLOOR DRAIN PROVIDE WITH SURESEAL 3" FLOOR DRAIN TRAP SEALER. (#SS3000)
WCO	WALL CLEANOUT	ZURN	-	Z-1446-A-VP-"X"NL	FULL LINE SIZE, SEE PLANS				ROUND SMOOTH S.S. COVER WITH SCREW
FCO	FLOOR CLEANOUT	ZURN	-	ZN-1400-VP	FULL LINE SIZE, SEE PLANS				ADJUSTABLE FLOOR CLEANOUT
GD-1	GARBAGE DISPOSAL	IN-SINK-ERATOR	BADGER 5	BADGER 5	1-1/2"	-	-	-	1/2 HP, STAINLESS STEEL GRINDING ELEMENTS, AUTO REVERSE
WMO-1	WASHING MACHINE OUTLET BOX	GUY GRAY	-	BB200TS	2"	-	1/2"	1/2"	FULLY RECESSED BOX IN WALL, TOP DOWN WATER SUPPLY INLETS ANGLE SUPPLIES, SWEAT CONNECTIONS, 2" WASTE OUTLET
WH-1	EXTERIOR WALL HYDRANT	WOODFORD	-	B65	-	-	3/4"	-	NON-FREEZE, ANTI SIPHON, AND AUTO DRAINING
RS-1	ROOF SUMP	ZURN	-	ZC-100-6NH	6"	-	-	-	15" DRAIN W/ LOW SILOUETTE & CAST IRON DOME
ORS-1	ROOF SUMP	ZURN	-	ZC-100-4NH-W6	6"	-	-	-	15" DRAIN W/ LOW SILOUETTE, CAST IRON DOME, & 4" INTERNAL WATER DAM
DSN-1	DOWNSPOUT NOZZLE	MAJESTIC	HUGO 6" ROOF DRAINAGE SCUPPER	-	6"	-	-	-	STAINLESS STEEL
AD-1	UNDER PAVR AREA DRAIN	ZURN	-	Z100-3NH-DP-EA-FG	3"	-	-	-	15" DIAMETER ALL CAST IRON ROOF DRAIN WITH FLAT GRATE, DECK PLATE, 2-1/8" TO 3-1/2" ADJUSTABLE EXTENSION AND 2" EXTERNAL WATER DAM
OD-1	UNDER PAVR OVERFLOW DRAIN	ZURN	-	Z100-3NH-DP-EA-89-LD	3"	-	-	-	15" DIAMETER ALL CAST IRON ROOF DRAIN WITH DECK PLATE, 2-1/8" TO 3-1/2" ADJUSTABLE EXTENSION AND 2" EXTERNAL WATER DAM, LESS DOME
SS-1	FLOOR SERVICE SINK	FLORESTONE	TERRAZZO	91-24"x24"	3"	-	3/4"	3/4"	FLOOR MOUNTED, 12" H. SQUARE TERRAZZO BASIN W/ 6" DROP FRONT

### PLUMBING FIXTURE SPECIFICATION

- WC-1: BARRIER FREE FLOOR MOUNTED TANK TYPE WATER CLOSET; KOHLER MODEL 402215 "WINDHAM" WATER CLOSET, LOW CONSUMPTION (1.6 gpt) CLOSE-COUPLED TANK WITH ELONGATED INGENIUM FLUSHING BOWL. PROVIDE KOHLER K-4636 ELONGATED CLOSED FRONT TOILET SEAT WITH QUIET CLOSE LID AND EXTERNAL CHECK HINGE WITH SEAT COVER. INSTALLATION SHALL MEET ADA REQUIREMENTS.  
NOTE: WATER CLOSET TO HAVE LEFT OR RIGHT-HAND TRIP LEVER DEPENDING ON LOCATION OF WALL/GRAB BARS - SEE PLANS TO DETERMINE WHERE WALL/GRAB BARS ARE LOCATED AND ORDER THE PROPER HAND CONFIGURATION. PLUMBER SHALL BE RESPONSIBLE TO DETERMINE HAND ORIENTATION AND ORDER PROPER QUANTITY OF BOTH, FLUSH LEVER (TRIP LEVER) TO BE ON OPEN SIDE OF TOILET, AWAY FROM SIDE WALL WITH GRAB BAR.
- L-1: UNDERCOUNTER LAVATORY; KOHLER "CAXTON" MODEL K-2211 PROVIDE DELTA MODEL 22C101 SINGLE LEVER FAUCET WITH NO POP-UP HOLE. PROVIDE CHROME PLATED, CAST BRASS GRID DRAIN STRAINER, P-TRAP WITH C.O. PLUG, QUARTER TURN ANGLE SUPPLIES AND STOP VALVES. INSULATE EXPOSED WASTE AND WATER PIPING. (PROVIDE MX-1 BELOW LAVATORY.)
- KS-1: SINGLE COMPARTMENT SINK; ELKAY MODEL ECTRU24179RT STAINLESS STEEL SINK, WITH STRAINER, RUBBER STOPPER, AND OFF-SET TAIL PIECE. GROHE MODEL 32665001 SINGLE LEVER DECKMOUNT FAUCET, PULL DOWN SPOUT WITH MAGNETIC DOCKING. PROVIDE CHROME PLATED CAST BRASS P-TRAP, ANGLE SUPPLIES AND STOP VALVES. (ADA COMPLIANT) INSULATE EXPOSED WASTE AND WATER PIPING.
- GD-1: GARBAGE DISPOSAL; IN-SINK-ERATOR MODEL BADGER 5 CONTINUOUS FEED, 1/2 HP MOTOR, AND STAINLESS STEEL GRINDING ELEMENTS WITH TWO STAINLESS STEEL 360° SWIVEL LUGS (2 YEAR WARRANTY).
- SH-1: SHOWER/TUB; DELTA MODEL T14459 SHOWER & TUB FILL, PRESSURE BALANCED CARTRIDGE, TEMPERATURE CONTROL MANUAL, WITH ADJUSTABLE LIMIT, INTEGRAL CHECKS, NON-REMOVABLE RED/BLUE VISUAL COVER, SINGLE METAL LEVER HANDLE, SHOWERHEAD, ARM & FLANGE. (ASSE 1016) BATHTUB: CLARION BATHWARE MODEL "7933L". 30" WIDE WITH INTEGRAL OVERFLOW, 44 GALLON CAPACITY (AT OVERFLOW).
- SH-2: SHOWER; DELTA MODEL T14259 SHOWER, PRESSURE BALANCED CARTRIDGE, TEMPERATURE CONTROL MANUAL, WITH ADJUSTABLE LIMIT, INTEGRAL CHECKS, NON-REMOVABLE RED/BLUE VISUAL COVER, SINGLE METAL LEVER HANDLE, SHOWERHEAD, ARM & FLANGE. (ASSE 1016) TRENCH DRAIN: INFINITY DRAIN S-AG-65 SERIES.
- SS-1: SERVICE SINK; FLORESTONE MODEL 91-24X24, SQUARE, 24"x24"x12" TERRAZZO CONSTRUCTION WITH 6" DROP FRONT, ZURN MODEL ZB43M1-RC-CS FAUCET WITH WALL BRACE, VACUUM BREAKER, CHECK STOPS, AND PAIL HOOK, JP1996-HH HOSE & BRACKET, AND MODEL JP1996-WG-24 WALL GUARD (18" HIGH) (2 WALLS).

### PLUMBING EQUIPMENT SCHEDULE

EQUIPMENT NO.	EQUIPMENT	SIZE	STORAGE CAPACITY GALLON	ELEC.	MANUFACTURER & MOD. #
MX-1	THERMOSTATIC MIXING VALVE	1/2"Ø	-	-	CONBRACO MODEL 34B, 1/2" INLETS, 1/2" OUTLET WITH CHECKS. LOCATED UNDER SINK OR IN CEILING SPACE. (ASSE 1016 APPROVED)
AAV-1	AIR ADMITTANCE VALVE	MINI-VENT	-	-	STUDOR MINI-VENT
WHA-1	WATER HAMMER ARRESTOR	1/2"Ø	-	-	SIoux CHIEF MODEL 660 SIZE A -- MAX WORKING TEMP = 250°F, TESTED TO 500,000 CYCLES, SAFE WORKING PRESSURE TO 350 PSIG (FIXTURE UNITS 1-11)
WPBP-1	WATER PRESSURE BOOSTER PUMP	36"x52"x50"	-	(2 @ 5 HP) 208 VOLT 3Ø	XYLEM DUPLEX VARIABLE SPEED BOOSTER PUMP MODEL HVL2L4-15SV2GG4F60-2 (5.0 HP EACH) CAPABLE OF 43 PSI INCREASE AT 170 GPM (85/85 GPM). PROVIDE WITH 4" 316 S/S HEADER 68 GALLON HYDRO-PNEUMATIC TANK (B&G WTA 404) CONTROL PANEL (W/ ALTERNATING). VARIABLE SPEED DRIVES (FOR BOTH PUMPS) AND DISCONNECT BY WPBP MANU.
BFP-2	BACKFLOW PREVENTER (DCV)	3"	-	-	WILKINS MODEL 350AST. PROVIDE WITH TEST PORTS AND NON RISING STEM GATE VALVES ON INLET AND OUTLET.
BFP-1	FIRE PROT. BACKFLOW PREVENTER	SIZE AS REQ'D	-	-	AMES MODEL 300SS DOUBLE CHECK DETECTOR ASSEMBLY. ASSE LISTED 1048. HORIZONTAL OR VERTICAL INSTALLATION
SWP-1 & SWP-2	FIBERGLASS SEWAGE BASIN & DUPLEX SANITARY WASTE SUMP PUMP (SUBMERSIBLE EFFLUENT PUMP)	-	6 GPM @ 27' HEAD	115v, -1Ø 0.33 HP 1750 RPM	BELL AND GOSSETT MODEL ZEC0311L SUBMERSIBLE EFFLUENT SUMP PUMP 36" X 78" FIBERGLASS BASIN WITH ANTI-FLOAT RING, FACTORY QUICK DISCONNECT GUIDE RAIL ASSEMBLY WITH INTEGRATED ELBOW & WALL MOUNTED NEMA 3 ALTERNATING CONTROL PANEL/DISCONNECT SWITCH, & HI WATER ALARM. PROVIDE TWO PIECE BASIN. (0.33 HP, 115V, 1PH, 1750 RPM). (REFER TO DETAIL ON SHEET P-500)
SSDP-1 & SSDP-2	FIBERGLASS SEWAGE BASIN & DUPLEX SUBSOIL DRAINAGE SUMP PUMP (SUBMERSIBLE EFFLUENT PUMP)	-	8 GPM @ 27' HEAD	115v, -1Ø 0.33 HP 1750 RPM	BELL AND GOSSETT MODEL ZEC0311L SUBMERSIBLE EFFLUENT SUMP PUMP 36" X 90" FIBERGLASS BASIN WITH ANTI-FLOAT RING, FACTORY QUICK DISCONNECT GUIDE RAIL ASSEMBLY WITH INTEGRATED ELBOW & WALL MOUNTED NEMA 3 ALTERNATING CONTROL PANEL/DISCONNECT SWITCH, & HI WATER ALARM. PROVIDE TWO PIECE BASIN. (0.33 HP, 115V, 1PH, 1750 RPM). (REFER TO DETAIL ON SHEET P-500)

### ELECTRIC WATER HEATER SCHEDULE

TAG	SYSTEM SERVED	LOCATION	MANUFACTURER AND MODEL NUMBER	CAPACITIES			ELEC. DATA			WGT (LBS)	NOTES/ACCESSORIES
				REC.	NOM. STOR.	TEMP. RISE	K.W. INPUT	V	Ø		
EW-1	ELECTRIC HOT WATER	SEE DWGS	AO SMITH ENT-50	21	50	90	4.5	208	1	541	PROVIDE WITH DRAIN PAN
EW-2	ELECTRIC HOT WATER	SEE DWGS	AO SMITH EIC-10	7.5	10	90	1.65	120	1	135	PROVIDE WITH STRUCTURALLY SUPPORTED SHELF AND DRAIN PAN

#### NOTES:

- DISCONNECT BY ELECTRICAL. COORDINATE ELECTRICAL WITH ELECTRICAL TRADES PRIOR TO ORDERING.
- PROVIDE WITH WESSELS TTA-5 EXPANSION TANK FOR EW-1.

#### REGISTRATION



#### OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
690 Woodward Ave.  
Detroit, MI 48226

#### ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.670.0292

#### STRUCTURAL ENGINEER

#### MECHANICAL ENGINEER

SELLINGER ASSOCIATES, INC.  
1862 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

#### ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
418-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

#### CIVIL ENGINEER

**MERGE ARCHITECTS** INC

Brush Park Duplette D-2

On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

DATE: 05/15/2020

DRAWING TITLE

**PLUMBING SCHEDULES**

SHEET NO.

**P-600**

100% CD/ PERMIT SET



NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT A</b>				
FUR-3	42	FURNACE 3	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 213 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 213 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT A</b>				
FUR-11	42	FURNACE 11	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 275 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 275 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT B</b>				
FUR-1	42	FURNACE 1	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 300 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 300 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT B</b>				
FUR-5	42	FURNACE 5	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 165 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 165 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT B</b>				
FUR-7	42	FURNACE	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 120 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 120 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT B</b>				
FUR-10	42	FURNACE 10	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 254 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 254 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT B</b>				
FUR-12	42	FURNACE 12	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 144 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 144 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT B</b>				
FUR-13	42	FURNACE 13	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 105 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 105 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>HOUSE</b>				
DOAU-1	60	DEDICATED OUTSIDE AIR UNIT	1-1/4"	7" MIN & 14" MAX.
CFH @ EACH UNIT	60	METER TOTAL (11" WCI PRESSURE)		(BASED ON 275 LN. FT)
TOTAL CFH @ BUILDING	60	METER TOTAL (11" WCI PRESSURE)		(BASED ON 275 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT C</b>				
FUR-8	42	FURNACE 8	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 350 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 350 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT C</b>				
FUR-15	42	FURNACE 15	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 45 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 45 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT C</b>				
FUR-18	42	FURNACE 18	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 360 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 360 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT C</b>				
FUR-26	42	FURNACE 26	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 60 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 60 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT D</b>				
FUR-9	56	FURNACE 9	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 295 LN. FT)
TOTAL CFH @ BUILDING	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 295 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT D</b>				
FUR-14	56	FURNACE 14	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 75 LN. FT)
TOTAL CFH @ BUILDING	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 75 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT D</b>				
FUR-19	56	FURNACE 19	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 315 LN. FT)
TOTAL CFH @ BUILDING	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 315 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT E</b>				
FUR-2	42	FURNACE 2	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 270 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 270 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT E</b>				
FUR-4	42	FURNACE 4	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 210 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 210 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT E</b>				
FUR-6	42	FURNACE 6	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 165 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 165 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT I</b>				
FUR-17	56	FURNACE 17	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 84 LN. FT)
TOTAL CFH @ BUILDING	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 84 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT F</b>				
FUR-22	42	FURNACE 22	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 210 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 210 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT G</b>				
FUR-20	56	FURNACE 20	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 293 LN. FT)
TOTAL CFH @ BUILDING	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 293 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT G</b>				
FUR-23	56	FURNACE 23	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 195 LN. FT)
TOTAL CFH @ BUILDING	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 195 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT G</b>				
FUR-25	56	FURNACE 25	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 135 LN. FT)
TOTAL CFH @ BUILDING	56	METER TOTAL (11" WCI PRESSURE)		(BASED ON 135 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT H</b>				
FUR-16	42	FURNACE 16	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 197 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 197 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT H</b>				
FUR-21	42	FURNACE 21	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 285 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 286 LN. FT)

NATURAL GAS LOAD SCHEDULE				
EQUIPMENT	LOAD (MBH)	SERVES	PIPE SIZE	NOTES
<b>UNIT H</b>				
FUR-24	42	FURNACE 24	1"	7" MIN & 14" MAX.
CFH @ EACH UNIT	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 176 LN. FT)
TOTAL CFH @ BUILDING	42	METER TOTAL (11" WCI PRESSURE)		(BASED ON 176 LN. FT)

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1090 Woodward Ave.  
Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.671.0292

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

SELLINGER ASSOCIATES, INC.  
1982 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
418-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

CIVIL ENGINEER

**MERGE ARCHITECTS** INC  
Brush Park Duplette D-2  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

DATE: 05/15/2020

DRAWING TITLE

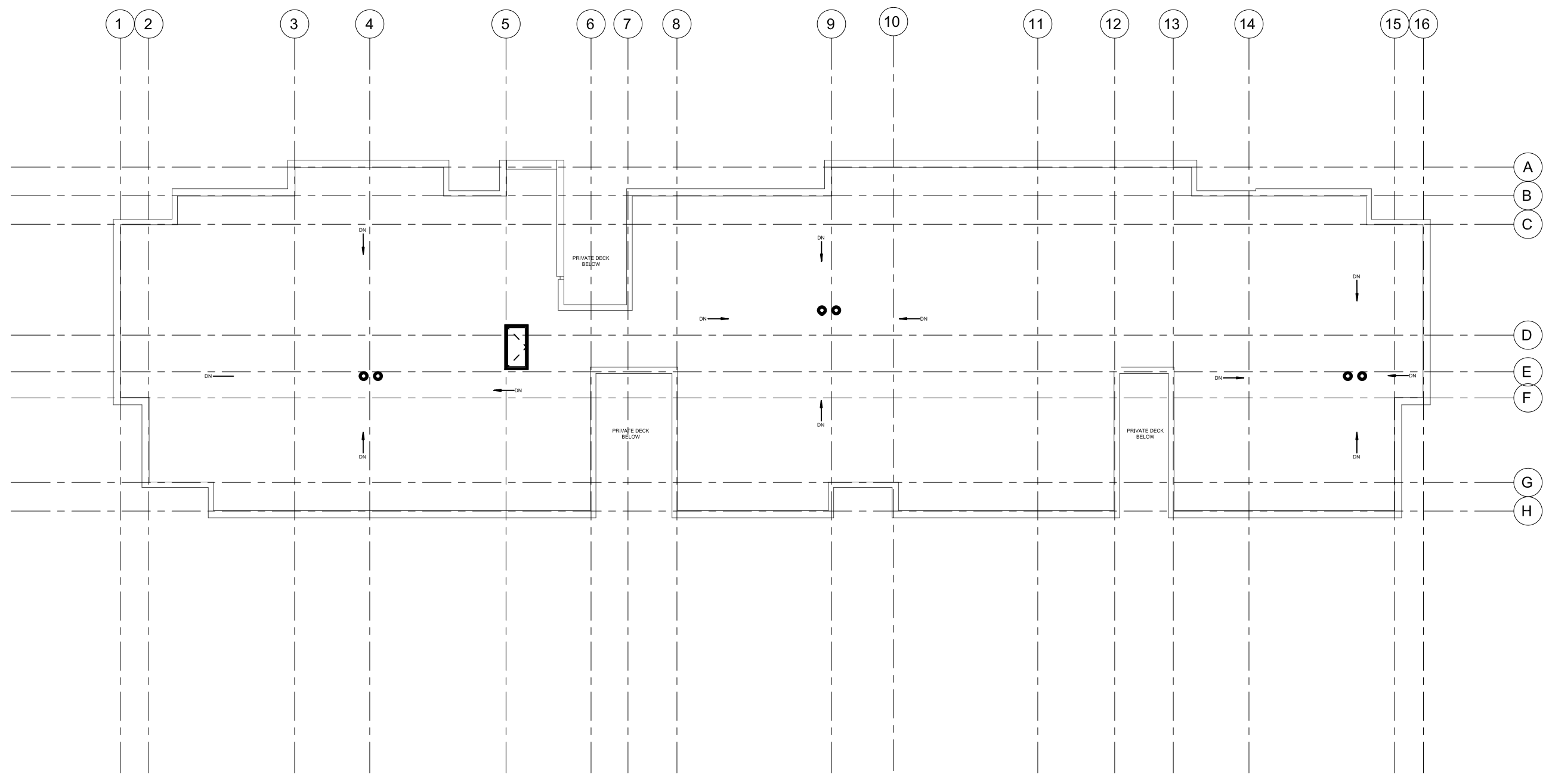
PLUMBING SCHEDULES

SHEET NO.

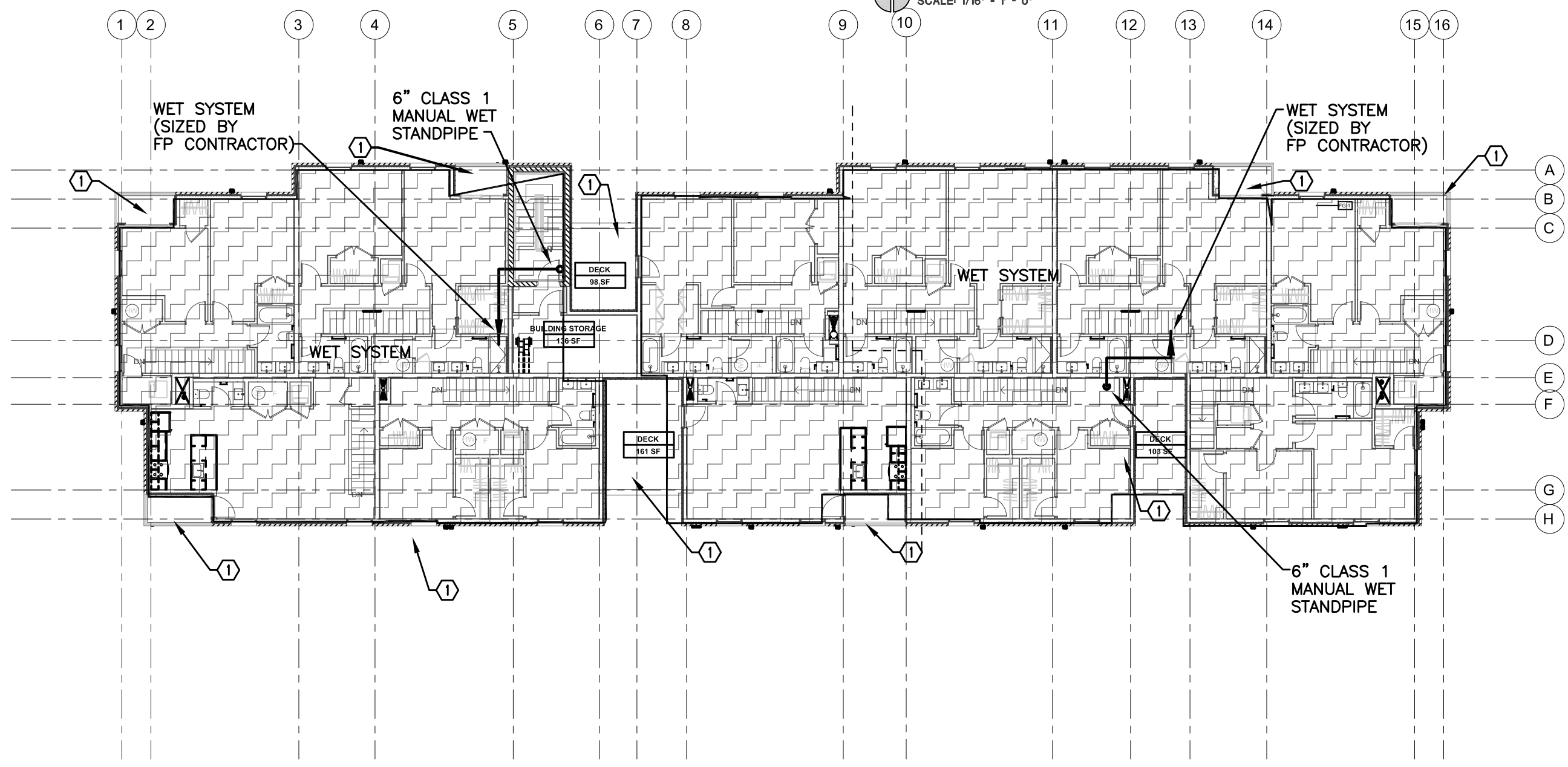
**P-601**

100% CD / PERMIT SET

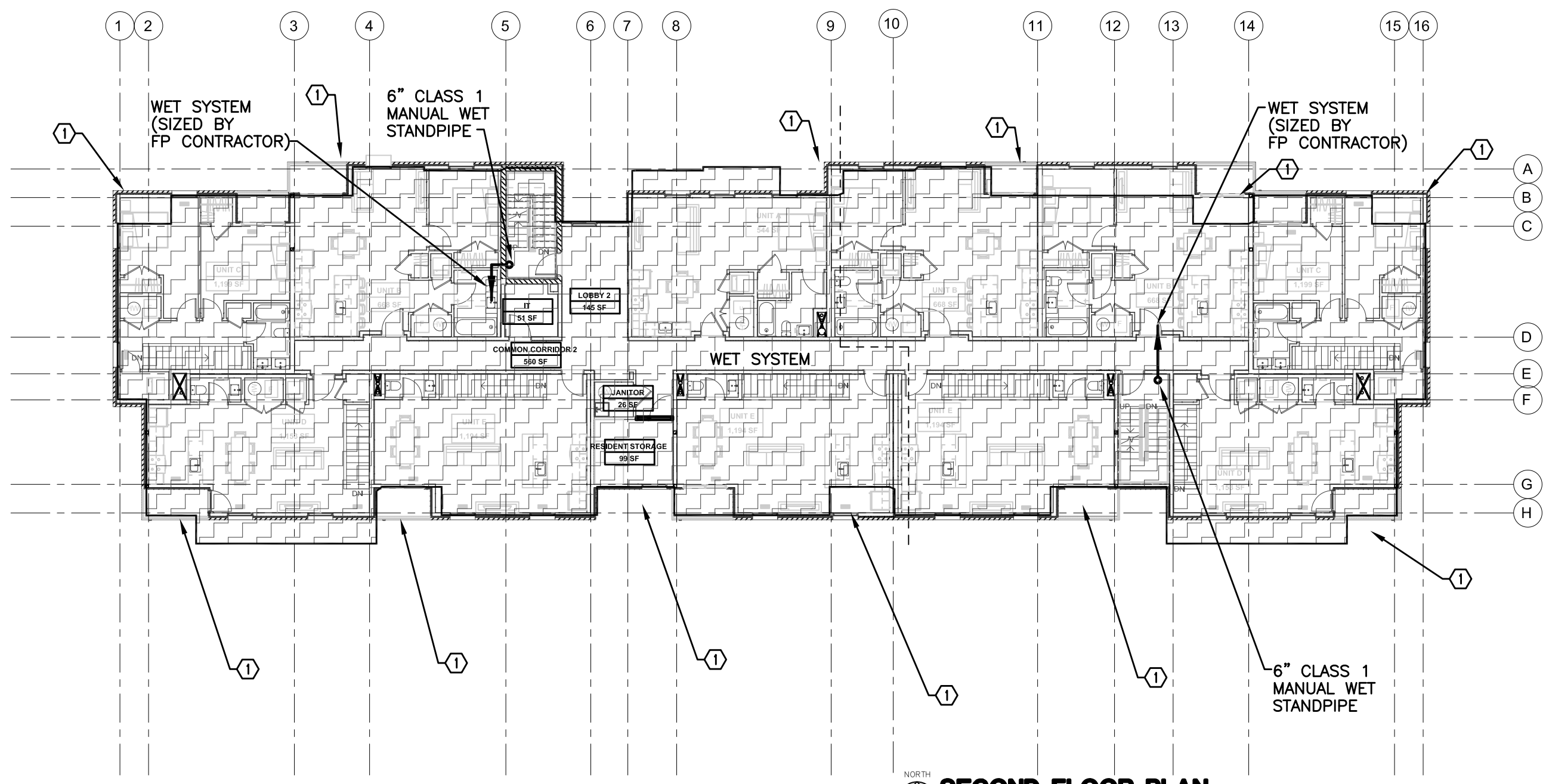
**NOTE: SEE P-000 FOR PLUMBING GENERAL NOTES**



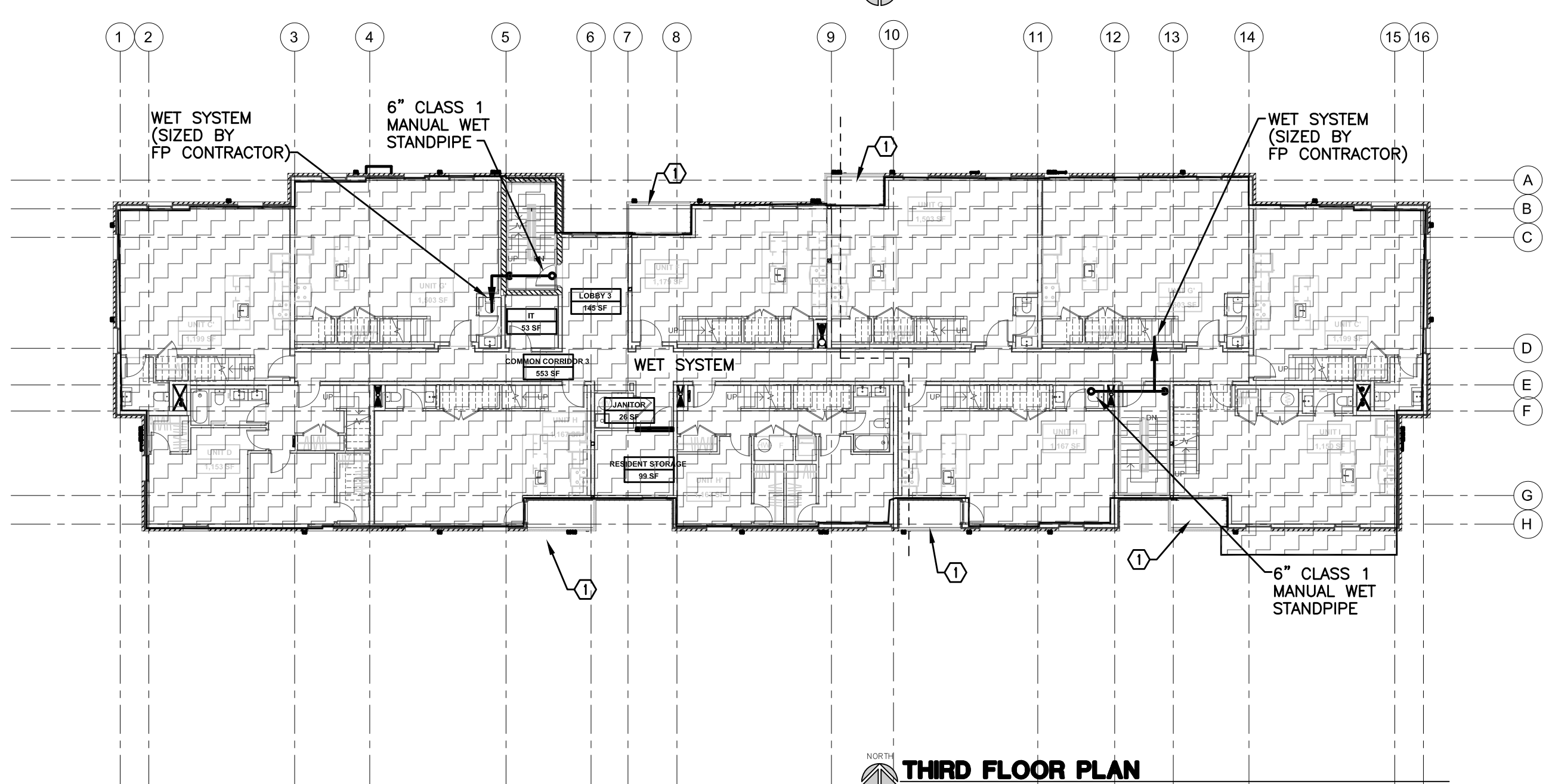
**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



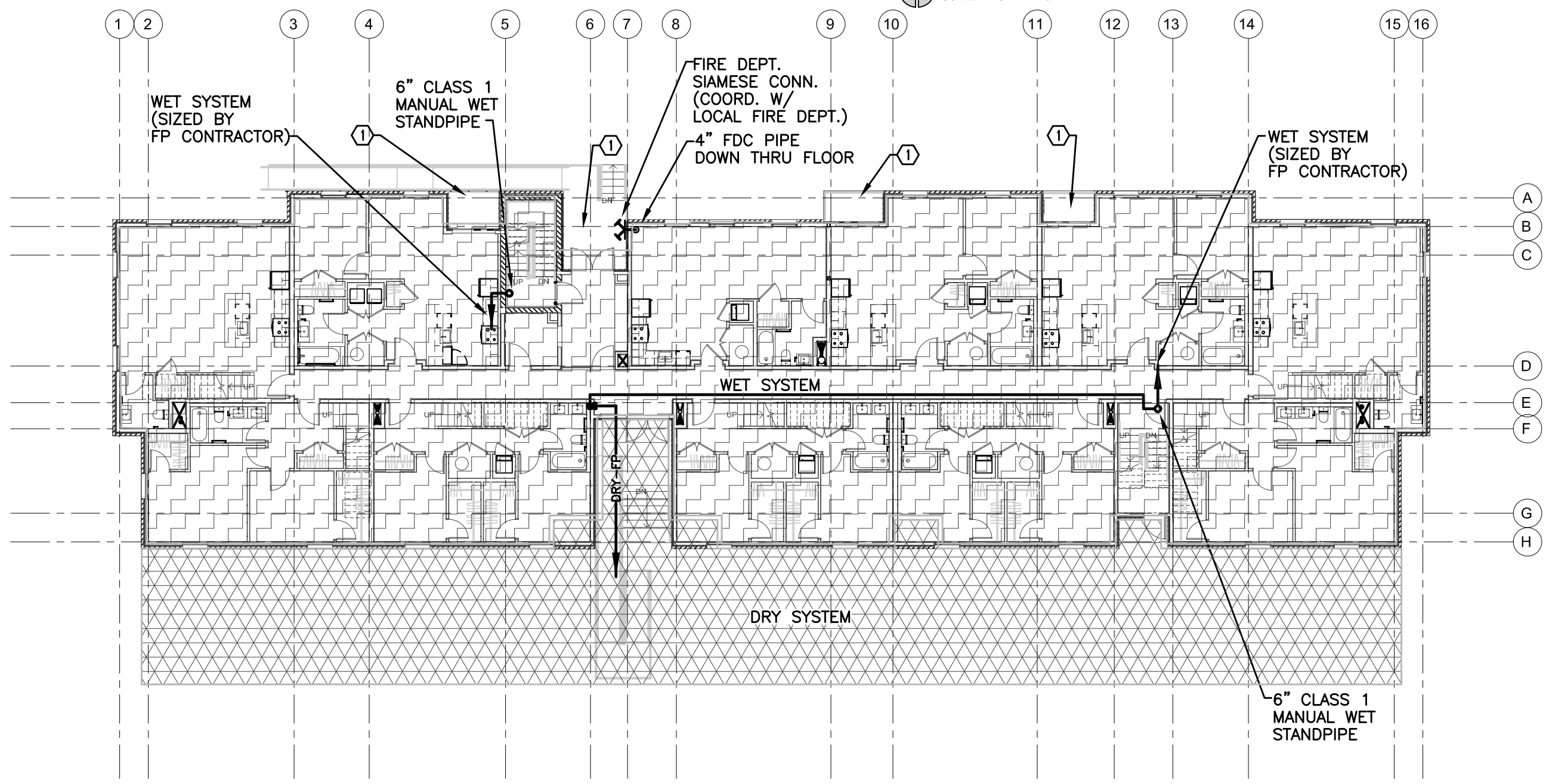
**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



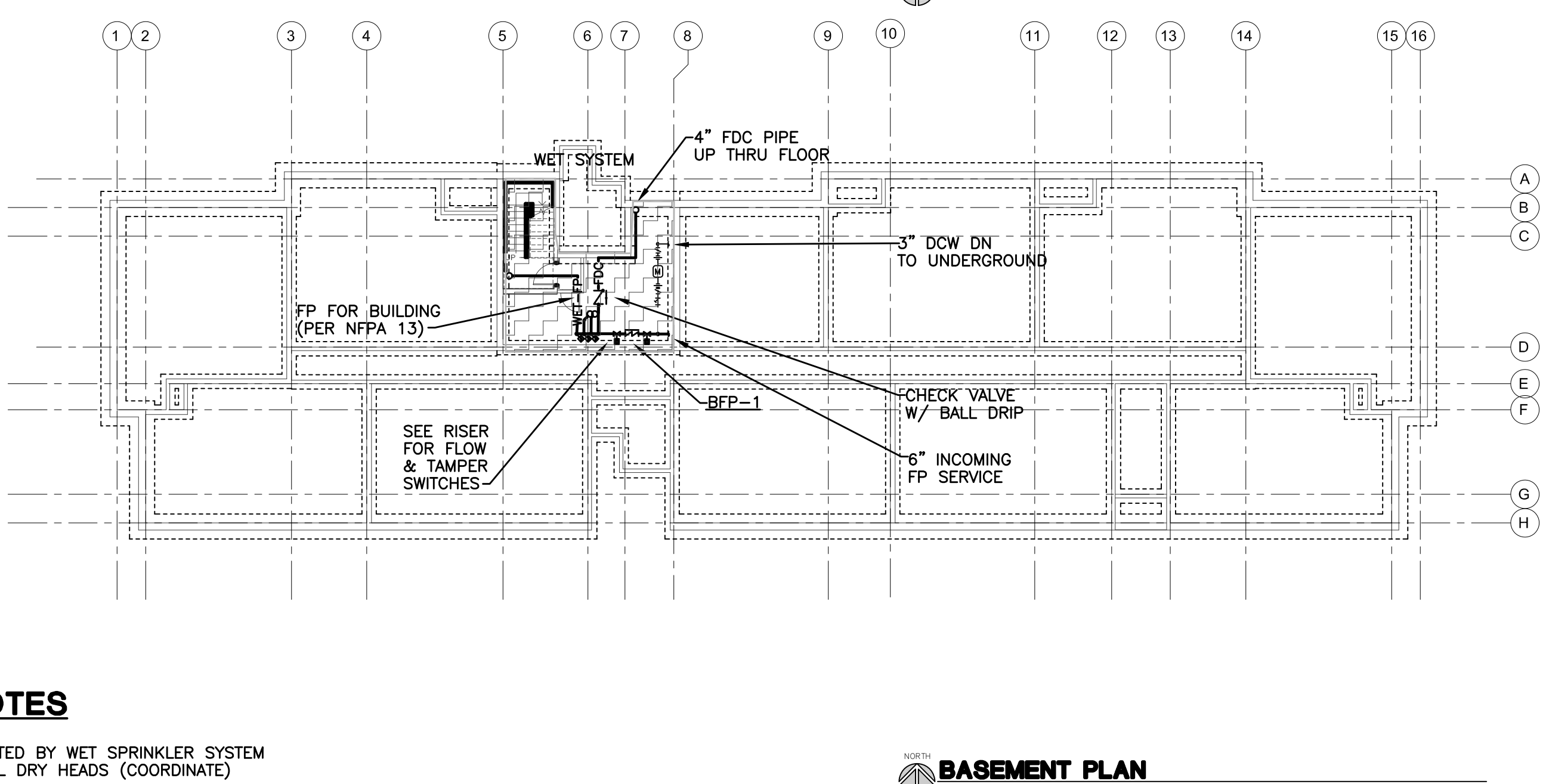
**THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**FOURTH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"

**KEYED NOTES**

- ① AREA PROTECTED BY WET SPRINKLER SYSTEM WITH SIDEWALL DRY HEADS (COORDINATE)

REGISTRATION



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1092 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.671.0202

**STRUCTURAL ENGINEER**

**MECHANICAL ENGINEER**  
SELLINGER ASSOCIATES, INC.  
1882 FARMINGTON ROAD  
LIVONIA, MI 48152  
T: 248.482.0045

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
415-1/2 S. WASHINGTON BLVD.  
ROYAL OAK, MI 48067  
T: 248.744.0360

**CIVIL ENGINEER**

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

05/15/2020 100% CD / PERMIT SET

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS NOTED

DATE: 05/15/2020

DRAWING TITLE  
**FIRE PROTECTION PLANS**

SHEET NO.

**P-600**

100% CD/ PERMIT SET



## ELECTRICAL SYMBOL LIST

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
\$	DEVICES TO BE DECORA STYLE WITH FLAT TOGGLE SWITCHES SINGLE POLE TOGGLE SWITCH		QUAD FLOOR MOUNTED RECEPTACLE
\$2	TWO POLE TOGGLE SWITCH		DUPLEX FLOOR MOUNTED RECEPTACLE
\$3	3 WAY TOGGLE SWITCH		SPECIAL RECEPTACLE-NEMA CONFIGURATION AS NOTED
\$4	4 WAY TOGGLE SWITCH		QUAD RECEPTACLE/LOW VOLTAGE SYSTEM FLOOR BOX
\$k	KEY OPERATED SWITCH		DUPLEX RECEPTACLE/LOW VOLTAGE SYSTEM FLOOR BOX
\$3k	3 WAY KEY OPERATED SWITCH		VERTICAL RISER FOR SURFACE RACEWAY
\$4k	4 WAY KEY OPERATED SWITCH		PANEL 208Y/120 VOLT
\$d	DIMMER SWITCH MATCH LIGHTING FOR LINE OR 0-10V		DISTRIBUTION PANEL
\$3d	3 WAY DIMMER SWITCH		MAIN DISTRIBUTION PANEL/MAIN SWITCHBOARD MOTOR CONTROL CENTER
\$p	PILOT SWITCH		TRANSFORMER
\$os	MANUAL ON/AUTO OFF OCCUPANCY SENSOR WALL SWITCH		ELECTRIC MOTOR
\$L	LOCKABLE SINGLE POLE SWITCH		MANUAL MOTOR STARTER
\$w	HORSE POWER RATED SWITCH		MANUAL MOTOR STARTER WITH PILOT LIGHT
\$o	MANUAL ON/AUTO OFF OCCUPANCY SENSOR WITH DIMMING - MATCH LIGHTING FOR LINE OR 0-10V		MOTOR STARTER
OS	CEILING MOUNTED OCCUPANCY SENSOR		COMBINATION MOTOR STARTER
D	CEILING MOUNTED DAYLIGHT SENSOR		NON-FUSED DISCONNECT SWITCH
P	OCCUPANCY SENSOR POWER PACK		FUSED DISCONNECT SWITCH
LC	PROGRAMMABLE LIGHT CONTROL SWITCH		PUSH BUTTON
BLC	BALLAST LOAD TRANSFER CONTROL		JUNCTION BOX
LC	TIMER CONTROLLER		HARD WIRE POWER CONNECTION
C	CONTACTOR		HARD WIRE CONNECTION AT FLOOR BOX
PE	PHOTOELECTRIC CONTROLLER		CIRCUIT BREAKER
	SINGLE RECEPTACLE		SWITCH
	DEVICES TO BE DECORA STYLE IN RESIDENTIAL AREAS DUPLEX RECEPTACLE		FUSE
	QUAD RECEPTACLE		TRANSFORMER
	DUPLEX RECEPTACLE MOUNTED 42" AFF OR 6" ABOVE COUNTER TOP. (UNLESS NOTED OTHERWISE) (SIMILAR FOR EMERGENCY RECEPTABLES)		CURRENT TRANSFORMER
	DUPLEX RECEPTACLE-GROUND FAULT INTERRUPTER		POTENTIAL TRANSFORMER
	DUPLEX RECEPTACLE MOUNTED 42" AFF OR 6" ABOVE COUNTER TOP (UNLESS NOTED OTHERWISE) WITH GROUND FAULT INTERRUPTER		PANEL (LIGHTING OR RECEPTACLE)
	COMBINATION 3.6A USB 3.0 / 15A RECEPTACLE LEVITON 15632 OR EQUAL		NODE
	4-USB-3.0 (4.2A, 25W) OUTLET LEVITON USB4P OR EQUAL		GROUND
	4-USB-3.0 (4.2A, 25W) OUTLET MOUNTED 6" ABOVE COUNTER LEVITON USB4P OR EQUAL		

## ELECTRICAL ABBREVIATION LIST

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
A	AMPHERE	GFI	GROUND FAULT INTERRUPTER	NC	NORMALLY CLOSED
AF	ABOVE FINISH FLOOR	GRD	GROUND	NF	NON-FUSIBLE
AFG	ABOVE FINISH GRADE	GRC	GALVANIZED RIGID CONDUIT	NC	NOT IN CONTRACT
AHU	AIR HANDLING UNIT	HOA	HAND-OFF-AUTO	NL	NIGHT LIGHT
AIC	AMPS INTERRUPTING CAPACITY	HP	HORSEPOWER	NO	NORMALLY OPEN
BKR	BREAKER	HZ	HERTZ	NTS	NOT TO SCALE
BPS	BOLTED PRESSURE SWITCH	IG	ISOLATED GROUND	RECEPT.	RECEPTACLE
CB	CIRCUIT BREAKER	JB	JUNCTION BOX	RP	RECEPTACLE PANEL
CR/CKT	CIRCUIT	KW	KILOWATT	RTU	ROOF TOP UNIT
CLG	CEILING	KWH	KILOWATT - HOURS	SD	SMOKE DETECTOR
CP	CIRCULATION PUMP	KVA	KILO VOLT-AMPERES	SPEC	SPECIFICATION
CUH	CABINET UNIT HEATER	LP	LIGHTING PANEL	TELCOM	TELECOMMUNICATIONS
DED	DEDICATED	LO	LOOK-ON	TYP	TYPICAL
DISC	DISCONNECT	MCA	MINIMUM CIRCUIT AMPACITY	UH	UNIT HEATER
DP	DISTRIBUTION PANEL	MCC	MAIN CIRCUIT BREAKER	U.O.N.	UNLESS OTHERWISE NOTED
DWG	DRAWING	MCC	MOTOR CONTROL CENTER	WP	WEATHERPROOF
EBU	EMERGENCY BATTERY UNIT	MCP	MAIN DISTRIBUTION PANEL	WG	WIRE GUARD
EF	EXHAUST FAN	MLO	MAIN LUGS ONLY	TF	TRANSFORMER
EM	EMERGENCY	MSB	MAIN SWITCHBOARD	(E)	EXISTING
EM/NL	EMERGENCY/NIGHT LIGHT	MTD	MOUNTED	(R)	RELOCATED
EUH	ELECTRIC UNIT HEATER	MUA	MAKE-UP AIR UNIT	(N)	NEW
EWC	ELECTRIC WATER COOLER				
EWH	ELECTRIC WATER HEATER				
FLA	FULL LOAD AMPS				
F	FUSE				

SYMBOL	DESCRIPTION
	NORMALLY OPEN CONTACTS
	NORMALLY CLOSED CONTACTS
	N.O. PUSH BUTTON SINGLE CIRCUIT
	N.C. PUSH BUTTON SINGLE CIRCUIT
	MOTION DETECTOR
	DOOR CONTACT
	KEY PAD
	SECURITY CAMERA
	CARD READER
	MANUAL FIRE ALARM STATION
	SMOKE DETECTOR CONNECT TO FACP
	COMBINATION SMOKE/CO DETECTOR CONNECT TO FACP
	FIRE ALARM STROBE
	FIRE ALARM HORN/STROBE
	MAGNETIC DOOR RELEASE
	TAMPER SWITCH
	FLOW SWITCH
	FIRE ALARM CONTROL PANEL
	FIRE ALARM ANNUNCIATOR PANEL

## SPECIAL SYSTEMS

	SINGLE GANG OUTLET BOX FOR LOW VOLTAGE SYSTEMS, STUB RACEWAY UP INTO ACCESSIBLE CEILING SPACE. PROVIDE BUSHING. PROVIDE BLANK COVERPLATE. WIRING BY OTHERS.
	SINGLE GANG OUTLET BOX FOR LOW VOLTAGE SYSTEMS MOUNTED 42" AFF OR 6" ABOVE COUNTERTOP (COORDINATE WITH MILLWORK) UNLESS NOTED OTHERWISE. STUB UP RACEWAY INTO ACCESSIBLE CEILING SPACE. PROVIDE BUSHING. PROVIDE BLANK COVERPLATE. WIRING BY OTHERS.
	(TBB) TELECOMMUNICATIONS BACKBOARD
	TEL/COM BOX BY E.C. VERTICAL FLUSH MOUNTED 24" x 14" x 4" BELDEN Y852414 WITH VENTED COVER Y852414VND. PROVIDE POWER RECEPTACLE IN SIDE. LOW VOLTAGE CABLE TO BE RUN IN WOOD STUDS TO 3" SLEEVES THROUGH FLOOR.

ALL "SPECIAL SYSTEMS" (TYPICALLY TELEPHONE, TV, AND DATA) WIRING AND DEVICES BY OTHERS, UNLESS NOTED ON PLANS OR SPECIFICATIONS. E.C. TO PROVIDE BOXES, RACEWAYS, BACKBOARDS, AND COVERPLATES (PER SPECIFICATIONS IF APPLICABLE). COORDINATE EXACT REQUIREMENTS OF RACEWAY AND BOX SIZES WITH LOW VOLTAGE CONTRACTOR. PRIOR TO INSTALLATION.

## GENERAL POWER NOTES:

- ALL ELECTRICAL DEVICES AND ASSOCIATED OUTLET BOXES SHALL BE FLUSH MOUNTED UNLESS OTHERWISE NOTED. ALL CONDUIT AND WIRING SHALL BE CONCEALED WHERE PHYSICALLY POSSIBLE, SURFACE RACEWAY SHALL ONLY BE PERMITTED WHERE NOTED.
- PROVIDE AN EQUIPMENT GROUNDING CONDUCTOR WITHIN THE RACEWAYS ALONG WITH PHASE CONDUCTORS FOR ALL FEEDERS AND BRANCH CIRCUITS. CONDUIT IS NOT PERMITTED TO ACT AS AN EQUIPMENT GROUNDING CONDUCTOR UNLESS NOTED. AN ISOLATED GROUND CONDUCTOR (GREEN/WHITE) IS REQUIRED FOR ALL ISOLATED GROUND CIRCUITS.
- WHEREVER 4 OR MORE CURRENT CARRYING CONDUCTORS ARE INSTALLED IN A SINGLE RACEWAY, E.C. SHALL INCREASE CONDUCTOR SIZE AS REQUIRED FOR DERATING PER NEC 315.B.2.9.
- GROUND FAULT INTERRUPTING DEVICES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS AND NOT ALLOWED BEHIND FIXED IN PLACE OR UNMOVABLE EQUIPMENT. REMOTE DEVICES MAY BE REQUIRED.
- ALL CIRCUITS SHALL USE A MINIMUM OF 14 AWG FOR 15 AMP AND 12 AWG FOR 20 AMP CIRCUITS UNLESS OTHERWISE NOTED. ELECTRICAL CONTRACTOR SHALL CONFIRM CONDUCTOR AND CONDUIT SIZES FOR VOLTAGE DROP, A MAXIMUM OF 3% FOR BRANCH AND FEEDER AND 5% OVERALL.
- COORDINATE WITH OTHER TRADES FOR ANY ELECTRICAL DEVICE LOCATIONS PRIOR TO ROUGH-IN. COMPLY WITH ALL APPLICABLE CODES FOR PROPER MOUNTING HEIGHTS, NFPA, NEC, ADA, ETC.
- WHERE LOW VOLTAGE DEVICES AND RECEPTABLES ARE SHOWN NEXT TO EACH OTHER, INSTALL AS CLOSE AS POSSIBLE, DO NOT SCALE DRAWINGS.
- ALL "SPECIAL SYSTEMS" WIRING AND DEVICES (E.G. TELEPHONE, DATA, TV) SHALL BE PROVIDED AND INSTALLED BY OTHERS UNLESS NOTED ON PLANS OR SPECIFICATIONS. E.C. TO PROVIDE BOXES AND RACEWAYS PER LEGEND AND SPECIFICATIONS. COORDINATE EXACT REQUIREMENTS WITH MANUFACTURER/SUPPLIER.
- ALL DISCREPANCIES WITH THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION PRIOR TO BIDS. IN OTHERWISE DOING SO, THE ELECTRICAL CONTRACTOR SHALL BE LIABLE FOR ANY REQUIRED REVISIONS.
- E.C. TO COORDINATE EXACT EQUIPMENTS OF ALL OTHER SYSTEMS WITH MANUFACTURER AND OTHER TRADES PRIOR TO ROUGH-IN AND PURCHASE OF ANY ELECTRICAL EQUIPMENT ASSOCIATED WITH SYSTEM. ANY DISCREPANCIES WITH THIS PLAN AND MANUFACTURER REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO PURCHASE OR ELECTRICAL ROUGH-IN OF THIS EQUIPMENT.

## GENERAL FIRE ALARM NOTES:

- THESE PLANS REPRESENT A STANDARD ADDRESSABLE FIRE ALARM SYSTEM AND ARE NOT MEANT TO ACCOUNT FOR EVERY INDIVIDUAL ELEMENT OF A COMPLETE FIRE ALARM SYSTEM. WHEREVER POSSIBLE THESE PLANS SHOW THE PROPOSED LOCATION OF DEVICES FOR PROPER COVERAGE IN THE AREA. FIRE ALARM SUPPLIER SHALL VERIFY THESE LOCATIONS MEET PROPER COVERAGE AND SUBMIT ANY DISCREPANCIES TO ARCHITECT/ENGINEER PRIOR TO BID OR THEY ASSUME COSTS FOR ANY ADDITIONAL DEVICES.
- FIRE ALARM SUPPLIER TO PROVIDE DETAILED SUBMITTALS FOR ISSUE TO THE AUTHORITY HAVING JURISDICTION. THESE DRAWINGS SHALL INCLUDE BATTERY CALCULATIONS, CANDELA RATINGS OR DEVICES, LOCATIONS OF DEVICES (ON MINIMUM 1/16" SCALE PLANS), FIRE ALARM ANNUNCIATOR DIAGRAMS, MATRIX OF OPERATION, AND COMPLETE DATA SHEETS FOR ALL SYSTEM COMPONENTS.
- COORDINATE CITY TIE-IN REQUIREMENTS WITH LOCAL AUTHORITY.
- PROVIDE DUCT TYPE SMOKE DETECTORS AND REMOTE TEST STATION IN AREA SERVED AT ALL MECHANICAL UNITS OVER 2,000 CFM PER NFPA AND OTHER LOCAL CODES (MICHIGAN MECHANICAL CODE). UNITS OVER 15,000 CFM SHALL REQUIRE 2 DUCT DETECTORS (SUPPLY AND RETURN). E.C. TO PROVIDE ALL WIRING TO FACILITATE UNIT SHUTDOWN ON SMOKE DETECTION.
- AT ALL SMOKE OR COMBINATION SMOKE/FIRE DAMPERS, E.C. SHALL PROVIDE 120V CONNECTION TO DAMPER, RELAY TO CLOSE DAMPER FROM FIRE ALARM SYSTEM, REMOTE TEST STATION IN AREA SERVED, AND DUCT DETECTOR PER NFPA AND OTHER LOCAL CODES AND MICHIGAN MECHANICAL CODE. COORDINATE ALL LOCATIONS WITH MECHANICAL DRAWINGS.
- SOME DAMPERS OR MECHANICAL UNITS REQUIRE MULTIPLE DUCT DETECTORS DUE TO DUCT SIZE AND/OR DEVICE PLACEMENT LOCATION. E.C. SHALL COORDINATE WITH MECHANICAL TRADES AND INCLUDE THESE IN THEIR ORIGINAL COSTS.
- REMOTE TEST STATIONS SHALL HAVE ENGRAVED NAMEPLATE INDICATING THE NAME OF THE ASSOCIATED UNIT OR FUNCTION SERVED.
- THE FIRE ALARM SYSTEM PROVIDED SHALL BE BASED ON ALL STATE AND LOCAL CODES. ANY SUSPECTED ERRORS OR OMISSIONS IN THE BID/DESIGN DRAWINGS AS DETERMINED BY THE SYSTEM SUPPLIER DURING BID REVIEW SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. THE SYSTEM SUPPLIER'S BID COST SHALL INCLUDE ANY REQUIRED CHANGES IN THE DESIGN TO MEET CODE COMPLIANCE.
- SMOKE DETECTORS SHALL BE PLACED A MINIMUM 3' AWAY FROM ANY HVAC DIFFUSERS OR GRILLS. SOUNDER BASES SHALL BE UNSED IN ALL SLEEPING ROOMS.

## ELEVATOR ELECTRICAL NOTES:

- ELECTRICAL CONTRACTOR TO SUPPLY FEEDERS AND GROUND OF COPPER CONDUCTORS AND CIRCUIT PROTECTIVE DEVICES FROM THE BUILDING SERVICE TO CONTROLLER, IN COMPLIANCE WITH THE LOCAL CODE AND MANUFACTURE REQUIREMENTS.
- MOTOR SERVICE SWITCH IN EQUIPMENT ROOM SHALL BE A LOCKABLE FUSED DISCONNECT. GROUND FAULT PROTECTION IS REQUIRED AHEAD OF FUSED DISCONNECT PER NEC 620-61, INVERSE TIME GFI BREAKER MAY BE PERMITTED IN PLACE OF FUSED DISCONNECT PER MANUFACTURE REQUIREMENTS. VERIFY WITH MANUFACTURE.
- ONE CAR SUPPLY SHALL INCLUDE 120V MIN. 15AMPS FOR CAR FAN AND LIGHTS AND SHALL BE GFI PROTECTED PER NEC 620-61.
- LIGHT, LIGHT SWITCH AND CONVENIENCE OUTLET(S) IN EACH ELEVATOR EQUIPMENT ROOM AND PIT IS REQUIRED AND SHALL BE GFI PROTECTED PER NEC 620-85.
- WHERE REQUIRED PER MANUFACTURE, PROVIDE 120V 20A GFI PROTECTED CIRCUIT FOR ELEVATOR CONTROLLER FOR CONNECTION OF ELEV. LOBBY SMOKE DETECTORS.
- WHERE FIRE SPRINKLER IS PRESENT IN ROOM OR SHAFT, MONITORING IS REQUIRED FROM THE FIRE ALARM PANEL FOR TAMPER SWITCH. A HEAT DETECTOR IS REQUIRED WITHIN 12" OF SPRINKLER HEAD AND MONITORED BY FIRE ALARM PANEL. A RELAY IS ALSO REQUIRED FROM THE FIRE ALARM CONTROL PANEL TO CONTROL THE ELEVATOR SHUNT TRIP BREAKER.
- WHERE RELIEF VENT IS REQUIRED IN SHAFT, A SMOKE DETECTOR IS REQUIRED NEAR VENT AND MONITORED BY FIRE ALARM PANEL.
- WHERE FIRE/SMOKE DAMPER IS REQUIRED, A SMOKE DETECTOR IS REQUIRED AND A RELAY TO CONTROL DAMPER IN THE EVENT OF FIRE OR SMOKE CONTROLLED THROUGH FIRE ALARM PANEL.

## UNIT PLAN NOTES:

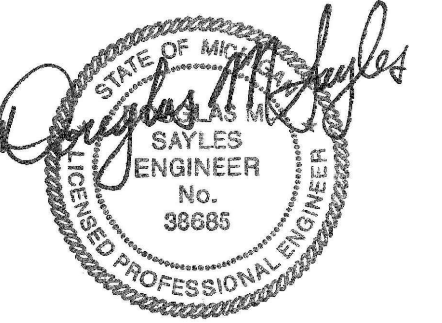
- TYPICAL UNIT PLANS HAVE BEEN SHOWN AND ARE BASED ON SIMILAR UNIT TYPES. REFER TO SPECIFIC UNIT PLANS FOR ALL UNITS TO MATCH THE TYPICAL UNIT PLANS.

## STANDARD MOUNTING HEIGHTS

CONVENIENCE AND SPECIAL PURPOSE RECEPTACLE OUTLETS AND LOW VOLTAGE SYSTEMS OUTLETS NOT OTHERWISE SPECIFIED	18" AFF TO CENTER OF BOX
CONVENIENCE AND SPECIAL PURPOSE RECEPTACLE OUTLETS AND LOW VOLTAGE SYSTEMS OUTLETS NOT OTHERWISE SPECIFIED IN CMU WALLS	24" AFF TO TOP OF BOX
LIGHT SWITCHES, MOTOR CONTROL DEVICES AND FIRE ALARM PULL STATIONS NOT OTHERWISE SPECIFIED	48" AFF TO TOP OF BOX
FIRE ALARM HORNS, SPEAKERS, STROBES	80" AFF OR 6" BELOW CEILING, WHICHEVER IS LESS
CLOCKS AND COMBINATION DEVICES NOT OTHERWISE SPECIFIED	96" AFF OR 6" BELOW CEILING, WHICHEVER IS LESS
GFI RECEPTABLES IN TOILET ROOMS AND JANITOR CLOSETS NOT OTHERWISE SPECIFIED	42" AFF TO CENTER OF BOX
LIGHTING AND RECEPTACLE BRANCH CIRCUIT PANELBOARDS AND LIGHTING CONTROLLERS NOT OTHERWISE SPECIFIED	6'-6" AFF TO TOP OF ENCLOSURE

\*\* COORDINATE EXACT MOUNTING HEIGHTS WITH ARCHITECT/MILLWORK PRIOR TO ROUGH-IN. \*\*

## REGISTRATION



## OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 Woodman Ave.  
Detroit, MI 48226

## ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0265

## STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC  
652 BARRY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9660

## MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
19821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0545  
F: 248-482-0052

## ELECTRICAL ENGINEER

ETS ENGINEERS, INC.  
P.O. BOX 1186 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0260

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**

**On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201**

11/12/18: 100% SCHEMATIC DESIGN SET

02/07/20: 100% DESIGN DEVELOPMENT SET

05/15/20: PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS INDICATED

DATE: 02/07/2020

DRAWING TITLE  
**ELECTRICAL SYMBOLS LIST, GENERAL NOTES**

SHEET NO.

**E-000**

SCHEMATIC DESIGN



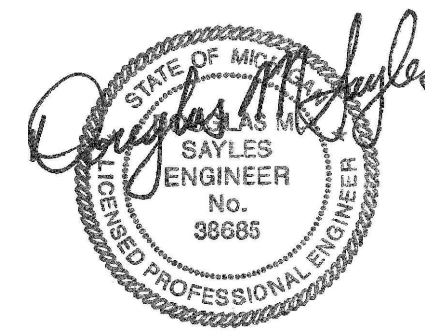
RP- H										MTG - SURFACE			
LOCATION - BASEMENT										MINIMUM AIC - 10K			
CR. NO.	BKR	DESCRIPTION	REC. VA.	LTG VA.	MSC. VA.	CR. NO.	BKR	DESCRIPTION	REC. VA.	LTG VA.	MSC. VA.	BKR TYPE - FLUO-IN	
1	20/1	T8B-1	360			2	20/1	FACP (LOCKON)				1100	
3	20/1	T8B-2	360			4	20/1	LOBBY AREA LTG			350		
3	20/1	SEP (2)			792	6	15/2	ECLM				2000	
7	20/1	SP (2)			792	8							
9	20/1	BASEMENT RECEPT (3)	540			10	15/3	ECLM				4000	
11	20/1	EF-3				12					1200		
13	20/3	WPPER-1				14					3960		
15						16	30/1	1ST FLR RECEPT. (8)	1440				
17						18	30/1	1ST FLR LTG					
19	20/3	WPPER-1				20	30/1	1ST FLR NL/EM					
21						22	30/1	STAIR 2 LTG			1200		
23						24	15/2	ECLM				2000	
25	20/1	BASEMENT LTG				26							
27	20/1	STAIR WAY LTG	320			28	30/1	2ND FLR LOBBY AREA LTG					
29	20/1	EWV	750			30	30/1	EWV 2ND FLR				1000	
31	20/1	FIRE/SMOKE DAMPERS				32	30/1	2ND FLR RECEPT. (4)	720				
33	20/1	EXIT/ ENTERANCE LTG				34	30/1	2ND FLR RECEPT. (4)	720				
35	15/3	ECLM	240			36	15/2	ECVH				2000	
37						38							
39						40	30/1	2ND FLR LTG					
41	20/1	3RD FLR LOBBY AREA LTG		100		42	30/1	2ND FLR EM/NL LTG					
43	15/3	ECLM 3RD FLR				44	30/1	3RD FLR LTG			2000		
45						46	30/1	3RD FLR EM/NL LTG					
47	20/1	EWV 3RD FLR				48	30/1	3RD FLR RECEPT. (2)	540				
49	20/1	ROOF DECK RECEPT.	540			50	30/1	3RD FLR RECEPT. (2)	360				
51	20/1	ROOF DECK LTG		200		52	30/1	3RD FLR RECEPT. (2)	540				
53	20/1	ROOF GRF	1080			54	30/1	EWV 3RD FLR				1000	
55	15/3	DOAU-1				56	15/2	ECLM-6 3RD FLR				2000	
57						58							
59						60	30/1	IT ROOM	360				
61	15/2	OU-1/OU-1				62	30/1	IT ROOM	360				
63						64	30/1	IT ROOM	360				
65	20/2	OU-2/OU-2				66	30/1	IT ROOM	360				
67						68	30/1	IT ROOM	360				
69	20/1	INTERCOM PH.				70	30/1	IT ROOM	360				
71	20/1	INGRADE EXT. LTG	688			72	30/1	EWV-2 2ND FL				1650	
73	20/1	FP COMPRESSOR				74	30/1	EWV-2 3RD FL				1650	
75	20/1	FP PUMP				76	30/1	EWV-1				1000	
77	15/3	EWV-2	700			78	30/1	EF-1 3RD/4TH FL				1000	
79			4000			80	30/1	EF-1 2ND FL				1000	
81						82	30/1						
83	20/1					84	30/1						
<b>TOTAL RECEPTACLES</b>			9.4 KVA			<b>28.0 AMP</b>							
<b>TOTAL LIGHTING</b>			3.8 KVA			<b>10.7 AMP</b>							
<b>TOTAL MISCELLANEOUS</b>			60.4 KVA			<b>167.9 AMP</b>							
<b>TOTAL CONNECTED</b>			73.6 KVA			<b>204.6 AMP</b>							
<b>TOTAL DEMAND</b>			36.3 KVA			<b>156.9 AMP</b>							

**GENERAL LIGHTING NOTES:**

- FOR LUMINAIRES INFORMATION, REFER TO LUMINAIRES SCHEDULE UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF LUMINAIRES PRIOR TO INSTALLATION. COORDINATE ALL CEILING TRIMS AND MOUNTING HARDWARE WITH ARCHITECTURAL AND STRUCTURAL TRADES.
- REFER TO ARCHITECTURAL DETAILS FOR ALL MOUNTING HEIGHTS OF LUMINAIRES IN EXPOSED CEILING AREAS. COORDINATE EXACT LOCATION AND MOUNTING HEIGHTS TO AVOID INTERFERENCE WITH MECHANICAL DUCTWORK, PIPING AND STRUCTURAL STEEL.
- ALL EMERGENCY AND EXIT LIGHTS SHALL BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF CONTROLS, UNLESS OTHERWISE STATED. FOR LUMINAIRES SHOWN AS EMERGENCY (EM ONLY), POWER LOSS SENSING LEAD TO BE CONNECTED AHEAD OF CONTROL AND LUMINAIRES TO BE SWITCHED.
- LUMINAIRES SHOWN AS NIGHT LIGHTS (NL ONLY) SHALL REMAIN ON 24 HOURS AND SHALL BE CONNECTED TO LOCAL CIRCUIT AHEAD OF CONTROL (UNLESS OTHERWISE NOTED).
- LUMINAIRES SHOWN AS NL/EM OR EM/NL SHALL BE WIRED WITH EMERGENCY BALLAST AND SHALL REMAIN ON 24 HOURS CONNECTED TO LOCAL CIRCUIT AHEAD OF CONTROL (UNLESS OTHERWISE NOTED).
- WHERE LIGHTING CONTROLLERS (LC) ARE SHOWN, REFER TO LIGHTING CONTROL DIAGRAM FOR WIRING REQUIREMENTS.
- LUMINAIRES USING 4' FLUORESCENT LAMPS SHALL BE INCLUDED WITH 2, 3, OR 4 LAMP BALLASTS. WHERE DUAL LEVEL SWITCHING IS SHOWN, LUMINAIRES SHALL BE WIRED IN TANDEM TO REDUCE THE NUMBER OF REQUIRED BALLASTS. SINGLE LAMP BALLASTS WILL NOT BE ALLOWED UNLESS THERE IS ONLY ONE LUMINAIRE IN A ROOM.
- WHERE LUMINAIRES ARE SHOWN WITH MULTIPLE SWITCHING ONE SWITCH SHALL CONTROL OUTER TWO (2) LAMPS; AND ONE SWITCH SHALL CONTROL INNER LAMP(S).
- ALL DISCREPANCIES WITH THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION PRIOR TO BIDS. OTHERWISE DOING SO, THE ELECTRICAL CONTRACTOR SHALL BE LIABLE FOR ANY REQUIRED REVISIONS.
- ALL ITEMS SHOWN ON PLAN ARE NEW UNLESS MARKED AS (E) FOR EXISTING OR (R) FOR RELOCATED.

LUMINAIRE SCHEDULE												
SYMBOL	TYPE	DESCRIPTION	VOLT	LAMP	MANUFACTURER	SYMBOL	TYPE	DESCRIPTION	VOLT	LAMP	MANUFACTURER	
•	L1	7" DIA x 3/4" SLIM SURFACE DOWNLIGHT. VERIFY FINISH WITH ARCHITECT. RESIDENTIAL UNITS	120V	1000 LUMEN 2700K 15 WATT	LIGHTOLIER: S7R SERIES HALO: SMD6R12927WH SERIES	L21	4FT LONG WALL MOUNTED FIXTURE WITH LENS. PROVIDE BUILT-IN OCCUPANCY SENSOR TO DIM TO 10% DURING UNOCCUPIED HOURS.	120V	4000 LUMEN LED 3500K 80 CRI 35 WATT	LITHONIA: BLWP4-40L-ADSM-120 -G210-LP835-NESPOT7-DM10 METALUX: 45WLED-40SL-LW- UNV-1835-001-SVPD2-U DAYBRITE: SF4C SERIES		
•	L2	5" DIA x 3/4" SLIM SURFACE DOWNLIGHT. VERIFY FINISH WITH ARCHITECT. BATHROOMS	120V	650 LUMEN 2700K 10 WATT	LIGHTOLIER: S3R SERIES HALO: SMD4R6927WH SERIES	EBU	POLYCARBONATE SURFACE MOUNTED EMERGENCY BATTERY UNIT WITH WHITE FINISH AND EMERGENCY BATTERY PACK CAPABLE OF FULL WATTAGE OUTPUT FOR A MINIMUM OF 90 MINUTES.	120V	2-1.5 WATT LED	LITHONIA: ELM2 LED SERIES SURE-LITES: SEL17 SERIES CHLORIDE: CLU2 SERIES		
—	L3	24" L x 1 1/2" H ULTRA-MINIMAL LIGHT BAR VANITY SCONCE. WHITE FINISH PROVIDE DOOR JAM SWITCH FOR CLOSETS.	120V	1176 LUMENS 3000K 22 WATT	MODERN FORMS: WS-47925 SERIES AFX: ALNV 2FT SERIES	X/EBU	POLYCARBONATE SURFACE MOUNTED EMERGENCY BATTERY UNIT/EXIT SIGN WITH WHITE FINISH AND EMERGENCY BATTERY PACK CAPABLE OF FULL WATTAGE OUTPUT FOR A MINIMUM OF 90 MINUTES.	120V	2-1.5 WATT LED	LITHONIA: LHOM LED SERIES SURE-LITES: LPXC25R3 SERIES CHLORIDE: CLC SERIES		
—	L4	48" L x 1 1/2" H ULTRA-MINIMAL LIGHT BAR VANITY SCONCE. WHITE FINISH PROVIDE DOOR JAM SWITCH FOR CLOSETS.	120V	2284 LUMENS 3000K 44 WATT	MODERN FORMS: WS-47949 SERIES AFX: ALNV 4FT SERIES	X	THERMOPLASTIC LED EXIT SIGN WITH UNIVERSAL MOUNTING, 6" HIGH WITH 3/4" STROKE RED LETTER. WHITE FINISH AND EMERGENCY BATTERY PACK CAPABLE OF OPERATING EXIT WITH FULL INTENSITY FOR A MINIMUM OF 90 MINUTES.	120V	L.E.D.	DAYBRITE: X SERIES LIGHTOLIER: LT SERIES LITHONIA: LOM SERIES PRESCOLITE: NV3 SERIES SURE-LITES: LPV7 SERIES CHLORIDE: CLK-CAR SERIES		
•••	L5	49.5" L x 8" H (3) SHADE LINEAR CABLE SUSPENDED PENDANT, EXTRUDED ALUMINUM. VERIFY FINISH WITH ARCHITECT. REFER TO ARCHITECTURAL FOR MOUNTING HEIGHT. KITCHEN ISLANDS	120V	(3) E19 LED LAMP 50W EQUIV. 2700K	MUUTO: AMBIT RAIL LAMP SERIES AFX: ECHP 44" SERIES	EMR	POLYCARBONATE SURFACE MOUNTED WEATHERPROOF REMOTE EMERGENCY (2) HEAD UNIT - CONNECT TO EXIT LIGHT (EXIT REQUIRES HIGH POWER BATTERY)	M-VOLT	2-1.5 WATT LED	LITHONIA: ELA-T-Q SERIES METALUX: SRP230WH SERIES CHLORIDE: VLLR20 SERIES		
—	L6	25" L x 4.3" H x 2.5" D LINEAR VANITY SCONCE, ACRYLIC SHADE. BRONZE OR SATIN NICKEL FINISH SELECTED BY ARCHITECT. REFER TO ARCHITECTURAL FOR MOUNTING HEIGHT. BATHROOM VANITY	120V	1252 LUMEN LED 2700K 90 CRI 90 WATT	TECH LIGHTING: FINN 24 BATH MODERN FORMS: WS-21724-BN AFX: CHV SERIES	EBU/MP	WET LOCATION RATED POLYCARBONATE SURFACE MOUNTED EMERGENCY BATTERY UNIT GREY HOUSING AND EMERGENCY BATTERY PACK CAPABLE OF FULL WATTAGE OUTPUT FOR A MINIMUM OF 90 MINUTES.	120V	2-7 WATT MR16 HALOGEN	LITHONIA: MLTU-MR SERIES SURE-LITES: SELW29WHS0 SERIES CHLORIDE: 656C SERIES		
—	L7	5.25" DIA x 3.2" D FLUSH MOUNT CIRCULAR SCONCE. CAST GLASS, ANODIZED ALUMINUM. VERIFY FINISH AND MOUNTING HEIGHT WITH ARCHITECT. COORIDORS	120V	550 LUMEN LED 2700K 80 CRI 8.5W	RICH BRILLIANT MILLING: CR-X-27-120-TR SERIES AFX: ARLS SERIES	X/MP	WET LOCATION RATED THERMOPLASTIC LED EXIT SIGN WITH UNIVERSAL MOUNTING, 6" HIGH WITH 3/4" STROKE RED LETTER, BLACK FINISH, AND EMERGENCY BATTERY PACK CAPABLE OF OPERATING EXIT WITH FULL INTENSITY FOR A MINIMUM OF 90 MINUTES.	120V	L.E.D.	LITHONIA: MLTE SERIES SURE-LITES: LPVW17/2RWHS0 CHLORIDE: 60 SERIES		
•	L8	48" LINEAR RECESSED LIGHTING DESIGNED FOR CEILING TYPE WITH REMOTE CLASS 2 DRIVER AND 120 DEGREE ASYMETRIC DISTRIBUTION. VERIFY GRID SYSTEM WITH ARCHITECTURAL. PROVIDE REMOTE 1200 LUMEN EM BATTERY WHERE REQUIRED ON DRAWINGS. COORIDORS	120V	881 LUMEN/FT 6.6 WATT/FT 3000K 80 CRI	VODE: ZIP TWO MICRO PROFILE: 707-22-SL-48-24-T1-0-RP-120- 1200 LUMEN 22-2-50-30-53- 0-WH-0							
•	L9	10" DIA x 3/4" SLIM SURFACE DOWNLIGHT. VERIFY FINISH WITH ARCHITECT. LOBBY AREAS	120V	2200 LUMEN 2700K 23 WATT	LIGHTOLIER: S10R SERIES HALO: SMD12R209SWHE SERIES							
□	L10	2' x 2' SURFACE MOUNTED, OPAL LENS BACK OF HOUSE AREAS.	120V	2700 LUMEN LED 3000K 80 CRI 22W	PHILIPS CORLINE: SM134V-W60L60-DPP							
—	L12	4FT WALL MOUNTED DIRECT/INDIRECT LIGHTING. WHITE COLOR STARWELLS	120V	3600 LUMEN UP 2900 LUMEN DN 3000K 45 WATT	ALCON: 12100-23-W-D27-18-30K-ELV-WH							
•	L13	10" DIA x 3/4" SLIM SURFACE DOWNLIGHT. VERIFY FINISH WITH ARCHITECT. EXTERIOR CANOPY	120V	2200 LUMEN 2700K 23 WATT	LIGHTOLIER: S10R SERIES HALO: SMD12R209SWHE SERIES							
▲	L14	15" H x 3.1" W x 2.4" D VERTICAL OR HORIZONTAL WALL SCONCE, SOLID GLASS, PAINTED INTERIOR. IP65 RATED. VERIFY MOUNTING HEIGHT WITH ARCHITECT. EXTERIOR UNIT BALCONIES	120V	550 LUMEN LED 2700K 90 CRI 12W	RICH BRILLIANT MILLING: CHP-WH-27-120-TR-IP65 SERIES AFX: FTS SERIES							
•	L15	13" DIAMETER IN-GRADE LED WITH CLEAR SAFETY GLASS LENS. INCLUDE LOW VOLTAGE DIMMING WIRING BACK TO PANEL. EXTERIOR IN GRADE	120V	3346 LUMEN LED 36.2 WATT 3000K	BEGA: 77116							
□	L16	WALL MOUNTED EXTERIOR WALL MOUNTED LED. BLACK COLOR. EXTERIOR RAMP AREAS	120V	19 WATT LED 3000K	BEGA: 33543							
—	L20	4FT LONG SURFACE MOUNTED FIXTURE WITH LENS	120V	3000 LUMEN LED 3500K 80 CRI 24 WATT	LITHONIA: ZL1N-48-3000LM-FST -120V-35K-80-WH SERIES LUMAX LIGHTING: CNLED62L4K96 -9AF SERIES DAYBRITE: FSS8 SERIES							

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0265

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC  
652 BARRY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9660

**ME/P/F ENGINEER**

SELLINGER ASSOCIATES, INC.  
19821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0545  
F: 248-482-0052

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1186 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0360

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**

**On Edmund Place**

**Between Brush St. and John R. St.**

**Detroit MI, 48201**

11/12/18: 100% SCHEMATIC DESIGN SET

02/07/20: 100% DESIGN DEVELOPMENT SET

05/15/20: PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS INDICATED

DATE: 02/07/2020

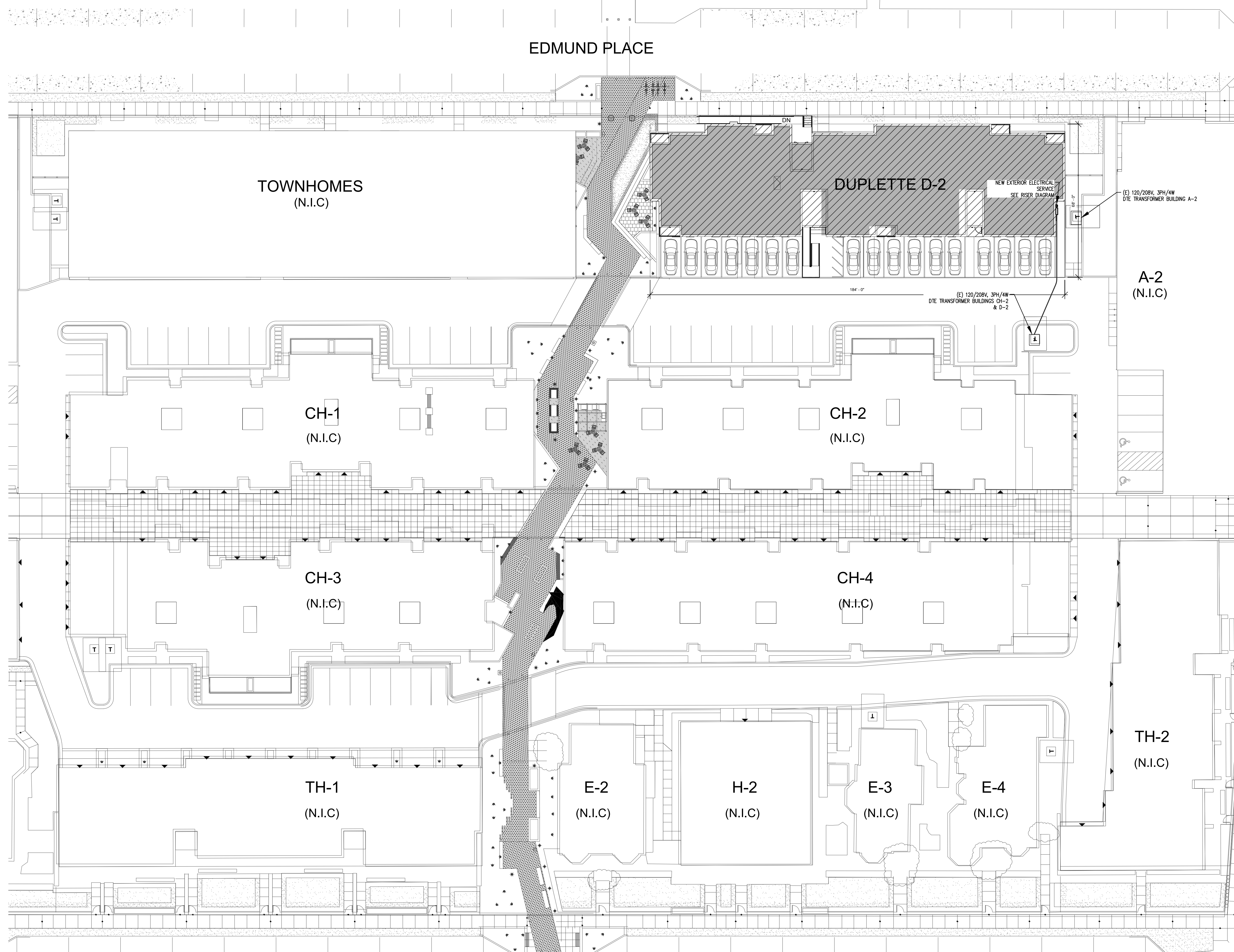
DRAWING TITLE  
**LIGHT FIXTURE SCHEDULE AND NOTES**

SHEET NO.

**E-001**

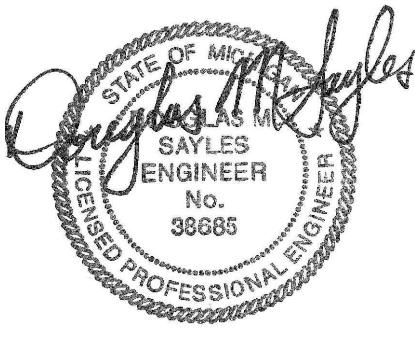
SCHEMATIC DESIGN





① ELECTRICAL SITE PLAN  
1" = 20'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1902 Woodward Ave.  
Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-870-0205

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC  
632 BARRY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
19821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0052

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1186 ROYAL OAK, MI 48068  
416-112 S. WASHINGTON AVE, ROYAL OAK, MI 48067  
T: 248-744-0300

MERGE ARCHITECTS INC

Brush Park Duplette D-2  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET

02/07/20: 100% DESIGN DEVELOPMENT SET

05/15/20: PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS INDICATED

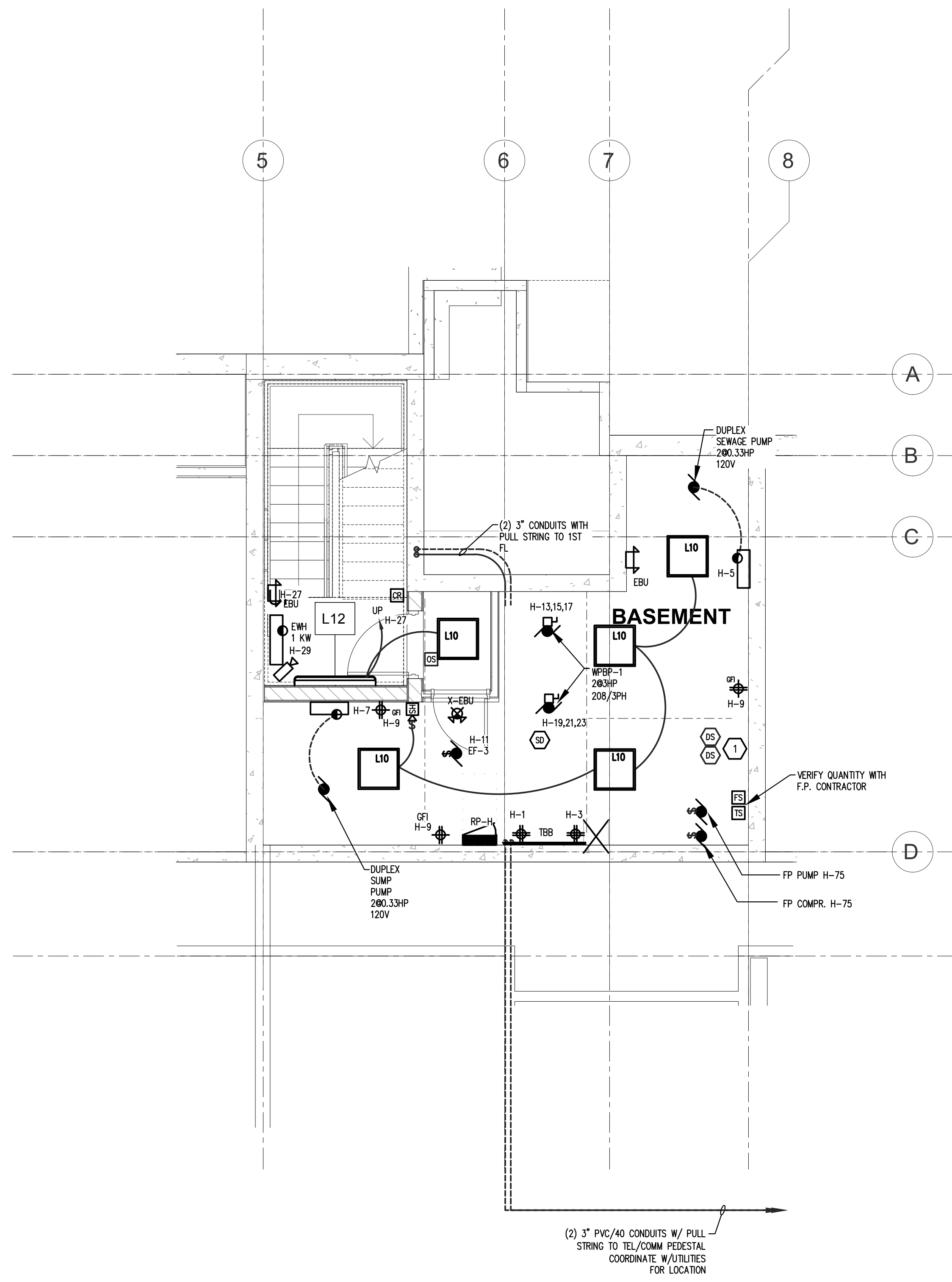
DATE: 02/07/2020

DRAWING TITLE  
ELECTRICAL  
SITE PLAN

SHEET NO.

E-011

SCHEMATIC DESIGN



**ELECTRICAL KEYNOTES:**  
 1 COORDINATE WITH MECHANICAL FOR 120 VOLT POWER FOR ACTUATOR AND FIRE ALARM CONNECTION WITH SMOKE DETECTOR FOR ALL FIRE/SMOKE DAMPERS ORC. H-31

1 ELECTRICAL BASEMENT POWER & LIGHTING PLAN  
 1/8" = 1'-0"

**REGISTRATION**  
  
**OWNER**  
 BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1592 Woodward Ave.  
 Detroit, MI 48226  
**ARCHITECT**  
 MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617-870-0265  
**STRUCTURAL ENGINEER**  
 ENGINEERED STRUCTURES, LLC.  
 632 BARRY STREET SW  
 GRANDVILLE, MI 49419  
 T: 616-667-9650  
**MP/FP ENGINEER**  
 SELLINGER ASSOCIATES, INC.  
 19821 FARMINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0545  
 F: 248-482-0052  
**ELECTRICAL ENGINEER**  
 ETS ENGINEERING, INC.  
 P.O. BOX 1186 ROYAL OAK, MI 48068  
 418-112 S. WASHINGTON AVE, ROYAL OAK, MI 48067  
 T: 248-744-0300

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET  
 02/07/20: 100% DESIGN DEVELOPMENT SET  
 05/15/20: PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

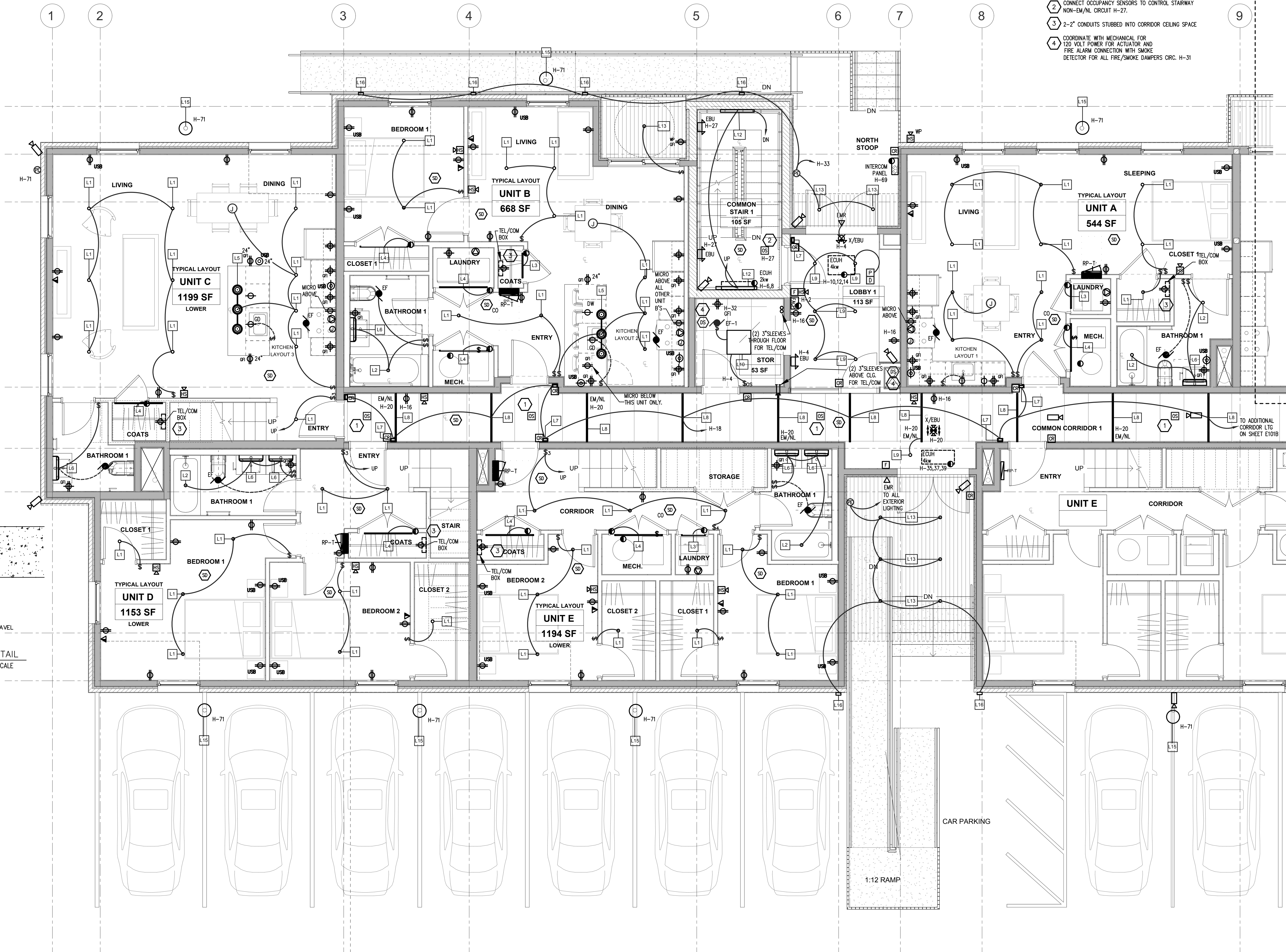
JOB NO.: 18284  
 SCALE: AS INDICATED  
 DATE: 02/07/2020

DRAWING TITLE  
**BASEMENT ELECTRICAL POWER & LIGHTING PLAN**

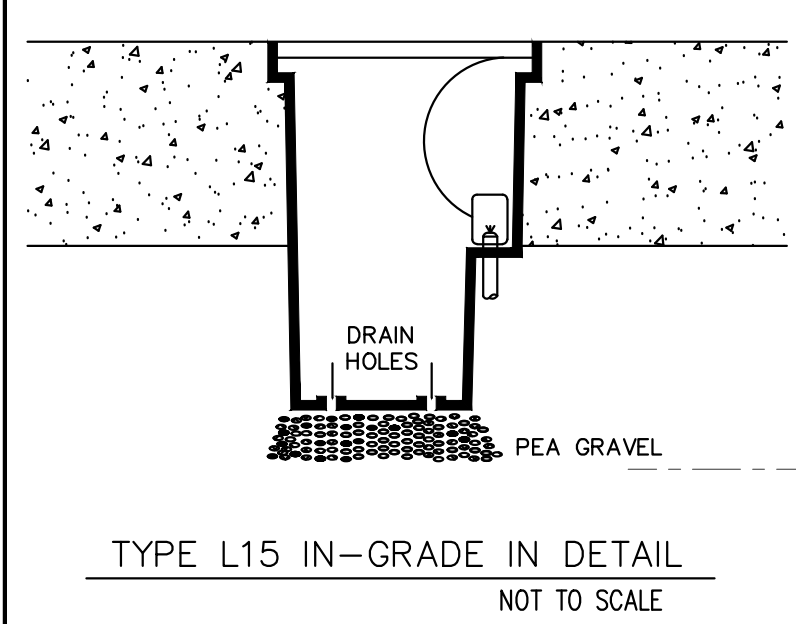
SHEET NO.  
**E-100**

SCHEMATIC DESIGN

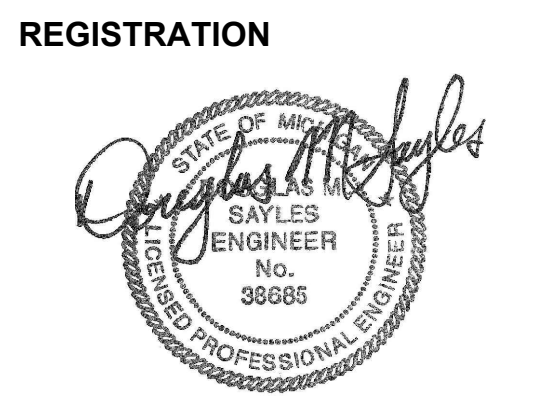




- ELECTRICAL KEYNOTES:**
- 1 CONNECT OCCUPANCY SENSORS TO CONTROL CORRIDOR NON-EM/NL CIRCUIT H-18.
  - 2 CONNECT OCCUPANCY SENSORS TO CONTROL STAIRWAY NON-EM/NL CIRCUIT H-27.
  - 3 2-2" CONDUITS STUBBED INTO CORRIDOR CEILING SPACE
  - 4 COORDINATE WITH MECHANICAL FOR 120 VOLT POWER FOR ACTUATOR AND FIRE ALARM CONNECTION WITH SMOKE DETECTOR FOR ALL FIRE/SMOKE DAMPERS CIRC. H-31



1 1ST FLOOR ELECTRICAL PLAN - WEST  
1/4" = 1'-0"



**REGISTRATION**

**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-670-0265

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC  
632 BARRY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
19821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0545  
F: 248-482-0052

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1186 ROYAL OAK, MI 48068  
416-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0260

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET  
02/07/20: 100% DESIGN DEVELOPMENT SET  
05/15/20: PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

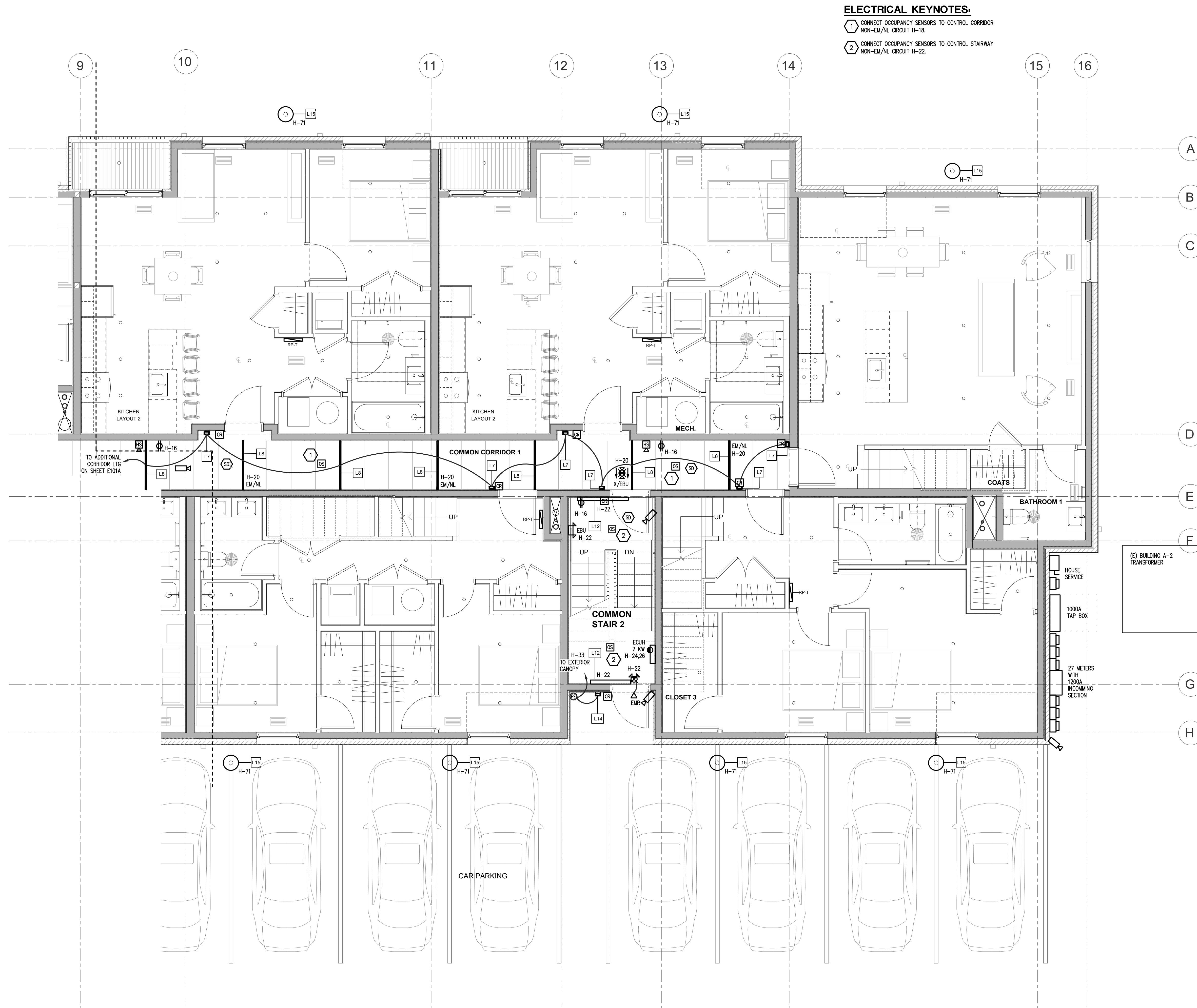
JOB NO.: 18284  
SCALE: AS INDICATED  
DATE: 02/07/2020

DRAWING TITLE  
**1ST FLOOR WEST ELECTRICAL POWER & LIGHTING PLAN**

SHEET NO.  
**E-101A**

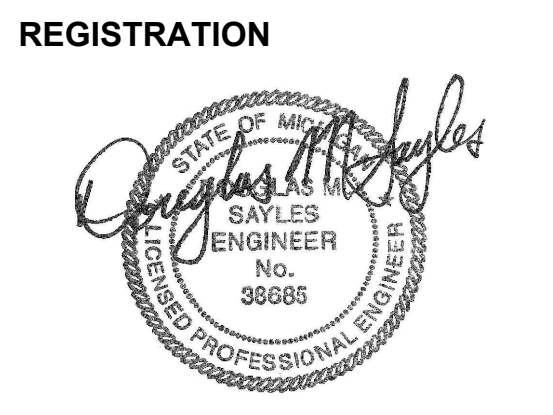
SCHEMATIC DESIGN

1/13/2020 5:39:02 PM



**ELECTRICAL KEYNOTES:**  
 1 CONNECT OCCUPANCY SENSORS TO CONTROL CORRIDOR  
 NON-EM/NL CIRCUIT H-18.  
 2 CONNECT OCCUPANCY SENSORS TO CONTROL STAIRWAY  
 NON-EM/NL CIRCUIT H-22.

1ST FLOOR ELECTRICAL PLAN - EAST  
 1/4" = 1'-0"



**REGISTRATION**

**OWNER**  
 BRUSH PARK DEVELOPMENT COMPANY  
 PHASE 1 LLC  
 1892 Woodward Ave.  
 Detroit, MI 48226

**ARCHITECT**  
 MERGE ARCHITECTS, INC.  
 332 CONGRESS ST. FLOOR 6  
 BOSTON, MA 02210  
 T: 617-870-0205

**STRUCTURAL ENGINEER**  
 ENGINEERED STRUCTURES, LLC  
 632 BARNY STREET SW  
 GRANDVILLE, MI 48839  
 T: 616-667-9650

**MP/FP ENGINEER**  
 SELLINGER ASSOCIATES, INC.  
 19821 FARMINGTON ROAD, LIVONIA, MI 48152  
 T: 248-482-0545  
 F: 248-482-0052

**ELECTRICAL ENGINEER**  
 ETS ENGINEERING, INC.  
 P.O. BOX 1186 ROYAL OAK, MI 48068  
 418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
 T: 248-744-0300

**MERGE ARCHITECTS INC**  
 Brush Park Duplette D-2  
 On Edmund Place  
 Between Brush St. and John R. St.  
 Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET  
 02/07/20: 100% DESIGN DEVELOPMENT SET  
 05/15/20: PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
 SCALE: AS INDICATED  
 DATE: 02/07/2020

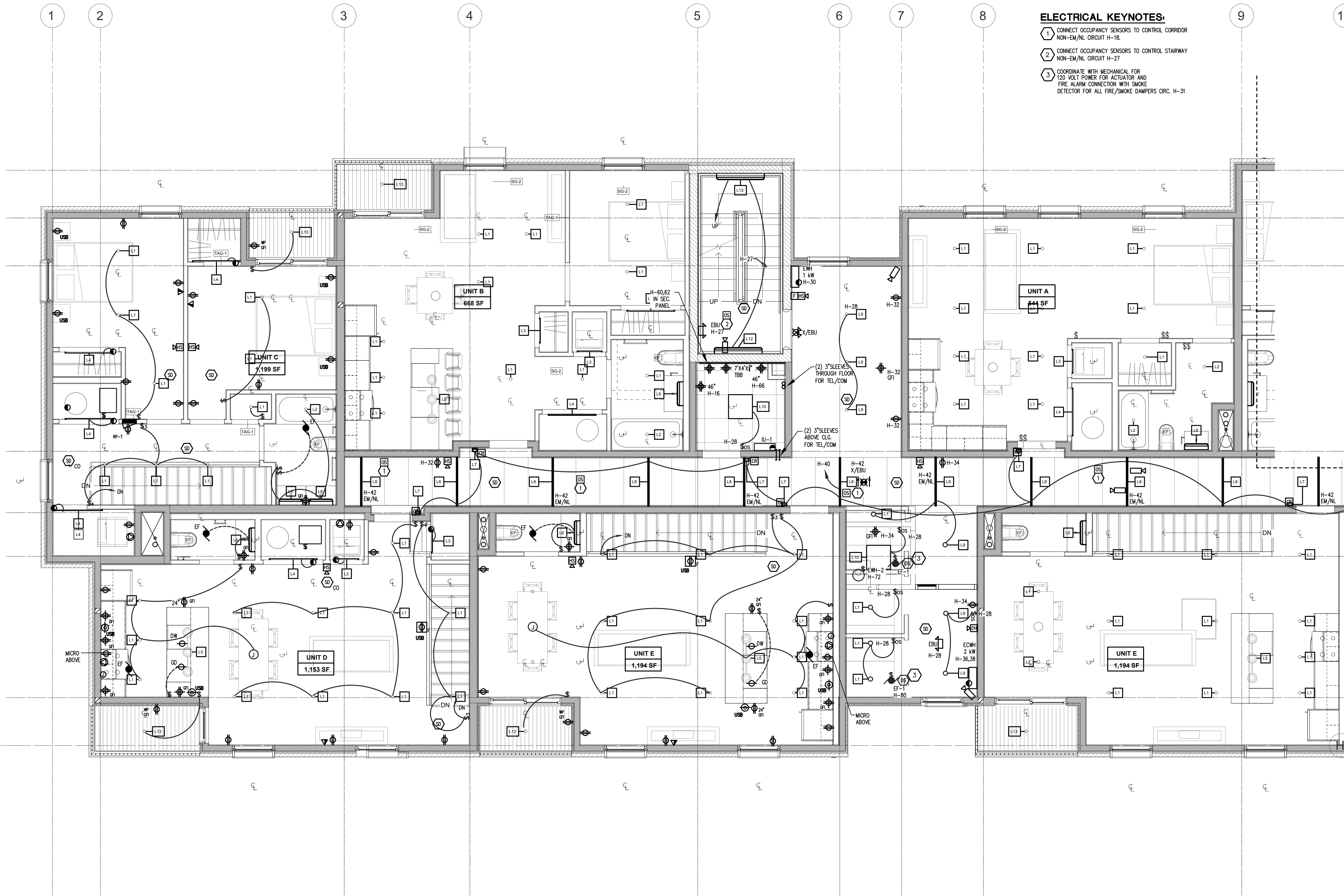
DRAWING TITLE  
 1ST FLOOR EAST  
 ELECTRICAL POWER  
 & LIGHTING PLAN

SHEET NO.  
**E-101B**

SCHEMATIC DESIGN

1/13/2020 5:38:02 PM



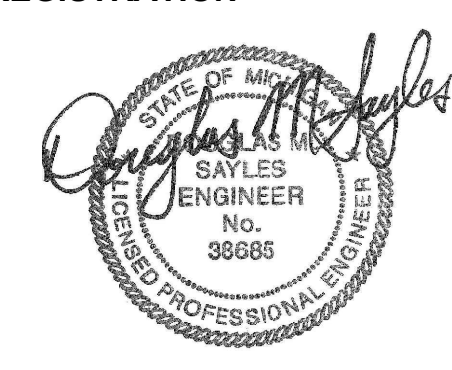


**ELECTRICAL KEYNOTES:**

- 1 CONNECT OCCUPANCY SENSORS TO CONTROL CORRIDOR NON-EM/NL CIRCUIT H-18.
- 2 CONNECT OCCUPANCY SENSORS TO CONTROL STAIRWAY NON-EM/NL CIRCUIT H-27.
- 3 COORDINATE WITH MECHANICAL FOR 120 VOLT POWER FOR ACTUATOR AND FIRE ALARM CONNECTION WITH SMOKE DETECTOR FOR ALL FIRE/SMOKE DAMPERS CIRC. H-31

2ND FLOOR ELECTRICAL PLAN - WEST  
1/4" = 1'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 Woodward Ave.  
Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-470-0205

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC  
652 BATTERY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
T: 248-482-0045  
F: 248-482-0052

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
416-102 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0200

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET

02/07/20: 100% DESIGN DEVELOPMENT SET

05/15/20: PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS INDICATED

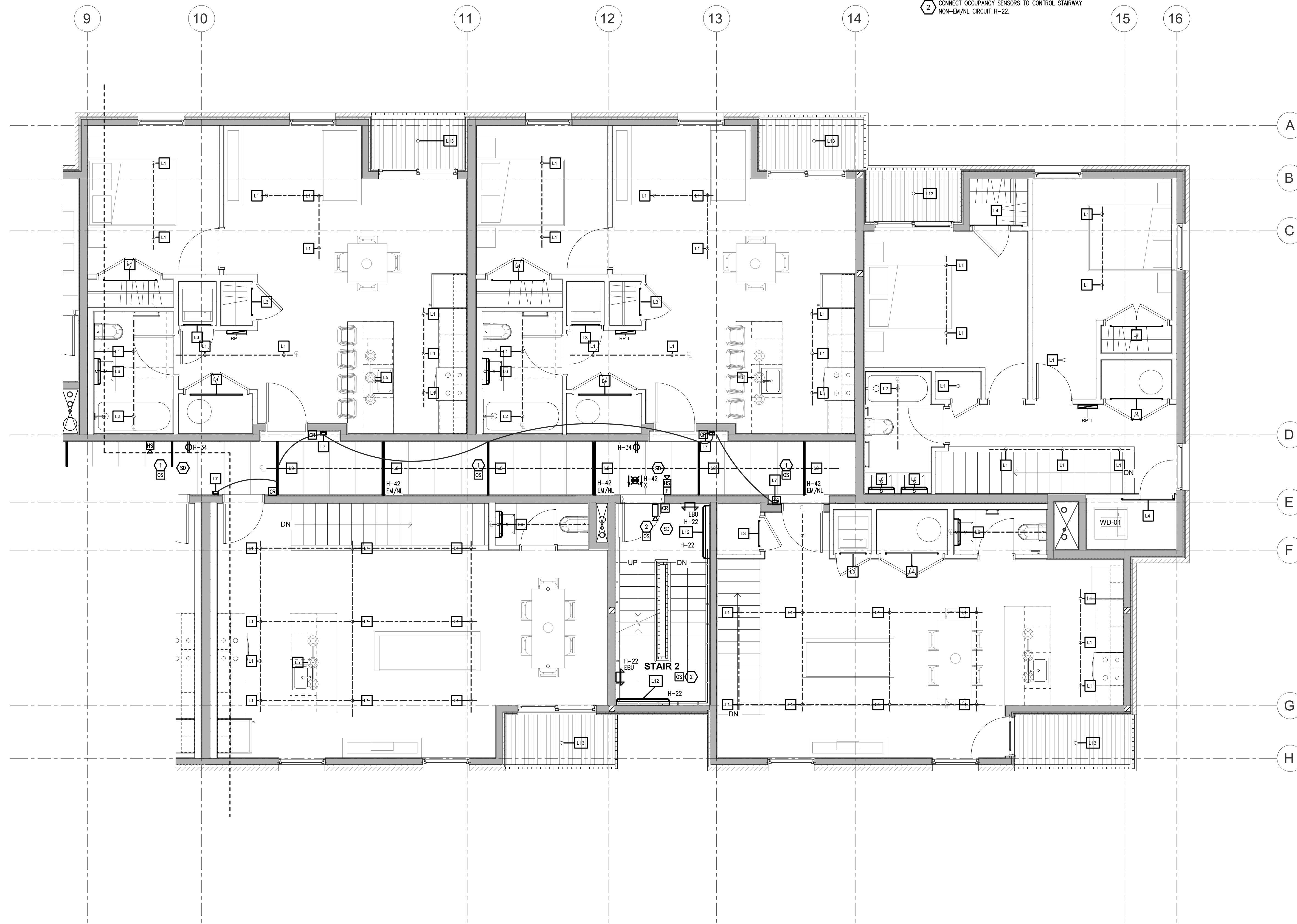
DATE: 02/07/2020

DRAWING TITLE  
**2ND FLOOR WEST  
ELECTRICAL POWER  
& LIGHTING PLAN**

SHEET NO.

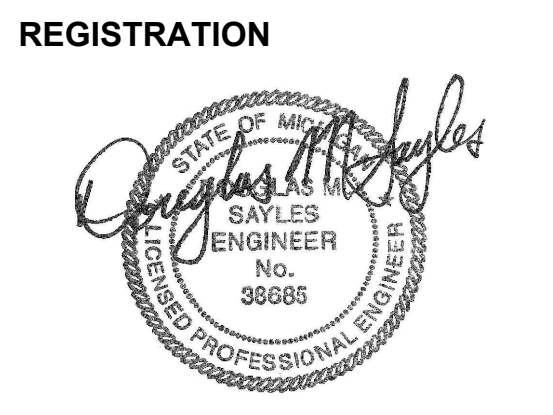
**E-102A**

SCHEMATIC DESIGN



- ELECTRICAL KEYNOTES:**
- 1 CONNECT OCCUPANCY SENSORS TO CONTROL CORRIDOR  
NON-EM/NL CIRCUIT H-18.
  - 2 CONNECT OCCUPANCY SENSORS TO CONTROL STAIRWAY  
NON-EM/NL CIRCUIT H-22.

1 2ND FLOOR ELECTRICAL PLAN - EAST  
1/4" = 1'-0"



**REGISTRATION**

**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1892 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-870-0205

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC  
632 BARNY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
19621 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0545  
F: 248-482-0052

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1186 ROYAL OAK, MI 48068  
416-112 S. WASHINGTON AVE, ROYAL OAK, MI 48067  
T: 248-744-0300

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET  
02/07/20: 100% DESIGN DEVELOPMENT SET  
05/15/20: PERMIT

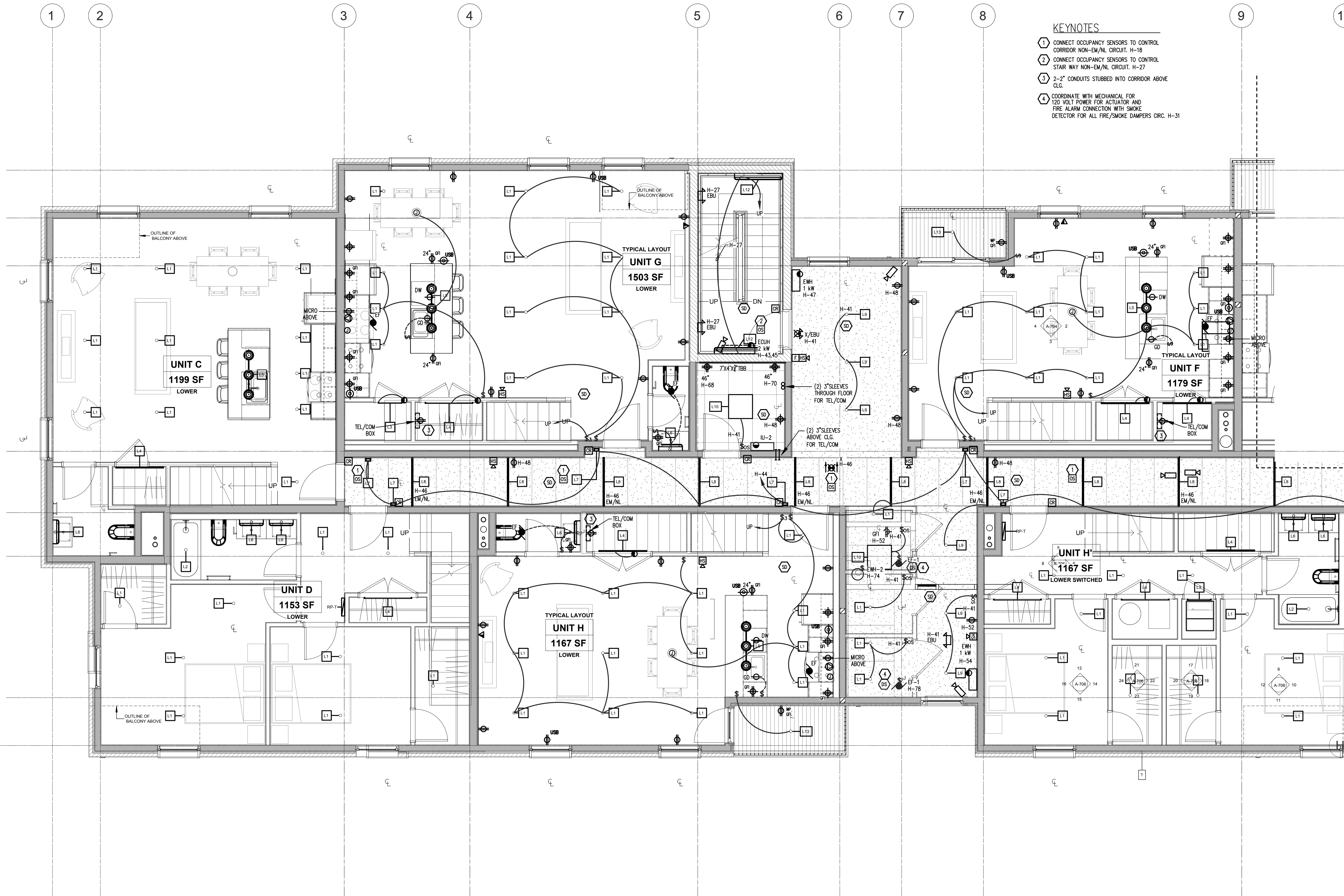
THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: AS INDICATED  
DATE: 02/07/2020

DRAWING TITLE  
**2ND FLOOR EAST  
ELECTRICAL POWER  
& LIGHTING PLAN**

SHEET NO.  
**E-102B**  
SCHEMATIC DESIGN





- KEYNOTES**
- 1 CONNECT OCCUPANCY SENSORS TO CONTROL CORRIDOR NON-EM/NL CIRCUIT. H-18
  - 2 CONNECT OCCUPANCY SENSORS TO CONTROL STAIR WAY NON-EM/NL CIRCUIT. H-27
  - 3 2-2" CONDUITS STUBBED INTO CORRIDOR ABOVE C.L.G.
  - 4 COORDINATE WITH MECHANICAL FOR 120 VOLT POWER FOR ACTUATOR AND FIRE ALARM CONNECTION WITH SMOKE DETECTOR FOR ALL FIRE/SMOKE DAMPERS ORC. H-31

3RD FLOOR ELECTRICAL PLAN - WEST  
1/4" = 1'-0"

**REGISTRATION**

**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-870-0205

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC  
652 BARRY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
19621 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0545  
F: 248-482-0052

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
416-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0200

**MERGE ARCHITECTS INC**  
Brush Park Duplette D-2  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET  
02/07/20: 100% DESIGN DEVELOPMENT SET  
05/15/20: PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

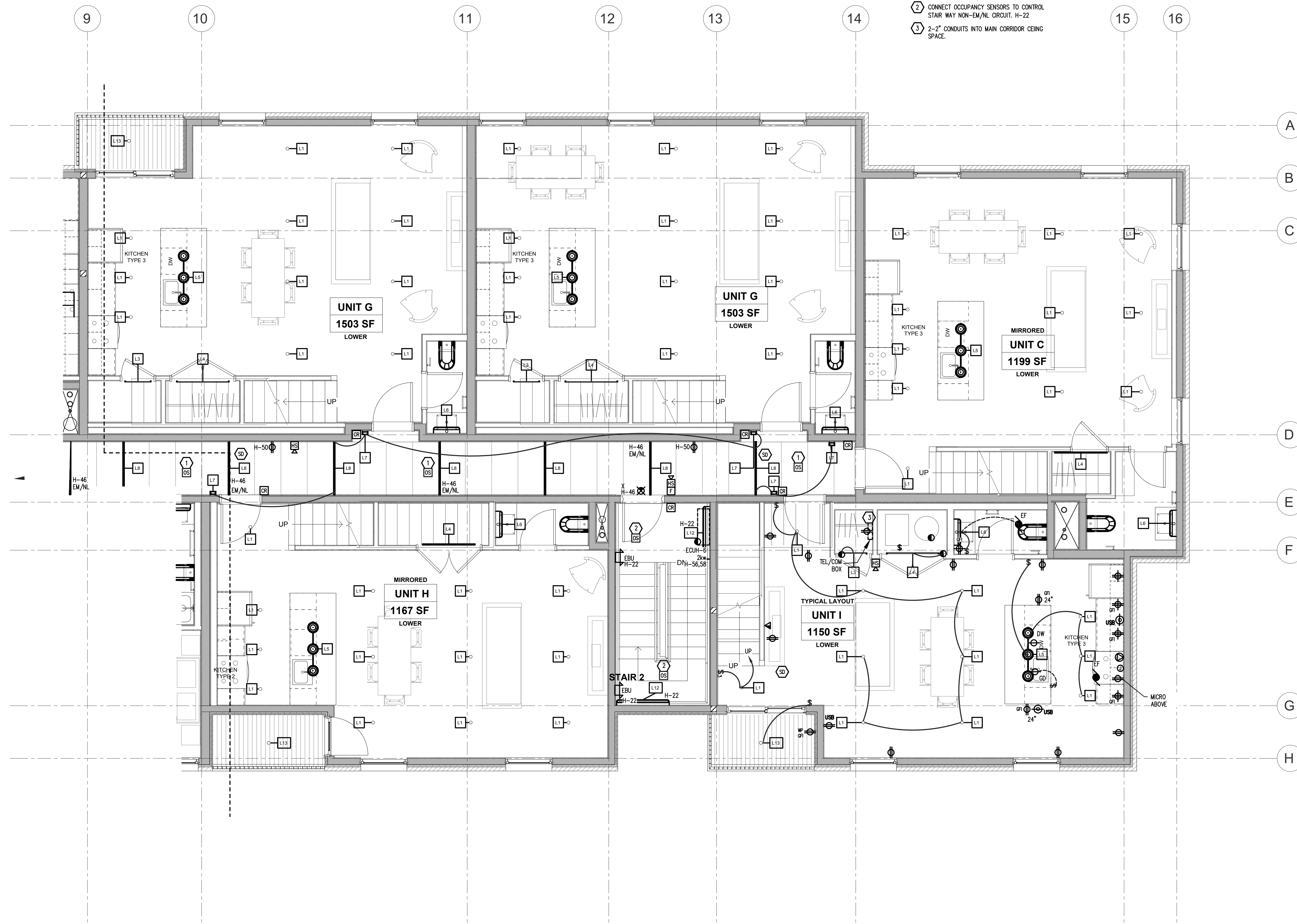
JOB NO.: 18284  
SCALE: AS INDICATED  
DATE: 02/07/2020

DRAWING TITLE  
3RD FLOOR WEST  
ELECTRICAL POWER  
& LIGHTING PLAN

SHEET NO.  
**E-103A**

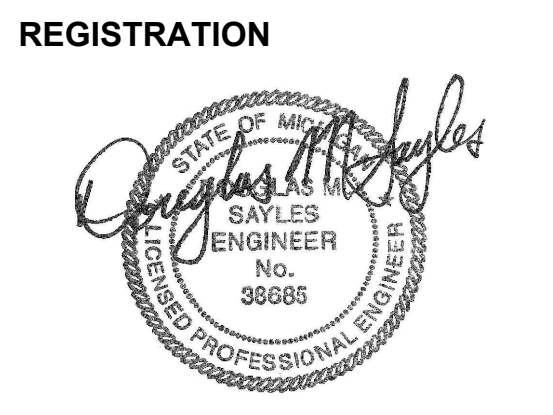
SCHEMATIC DESIGN

1/13/2020 5:39:02 PM



- KEYNOTES**
- 1 CONNECT OCCUPANCY SENSORS TO CONTROL CORRIDOR NON-EM/NL CIRCUIT. H-18
  - 2 CONNECT OCCUPANCY SENSORS TO CONTROL STAIR WAY NON-EM/NL CIRCUIT. H-22
  - 3 2-2" CONDUITS INTO MAIN CORRIDOR CEING SPACE.

1 3RD FLOOR ELECTRICAL PLAN - EAST  
1/4" = 1'-0"



**REGISTRATION**

**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-870-0205

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC  
632 BARNY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
19821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0052

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1186 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE, ROYAL OAK, MI 48067  
T: 248-744-0300

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET  
02/07/20: 100% DESIGN DEVELOPMENT SET  
05/15/20: PERMIT

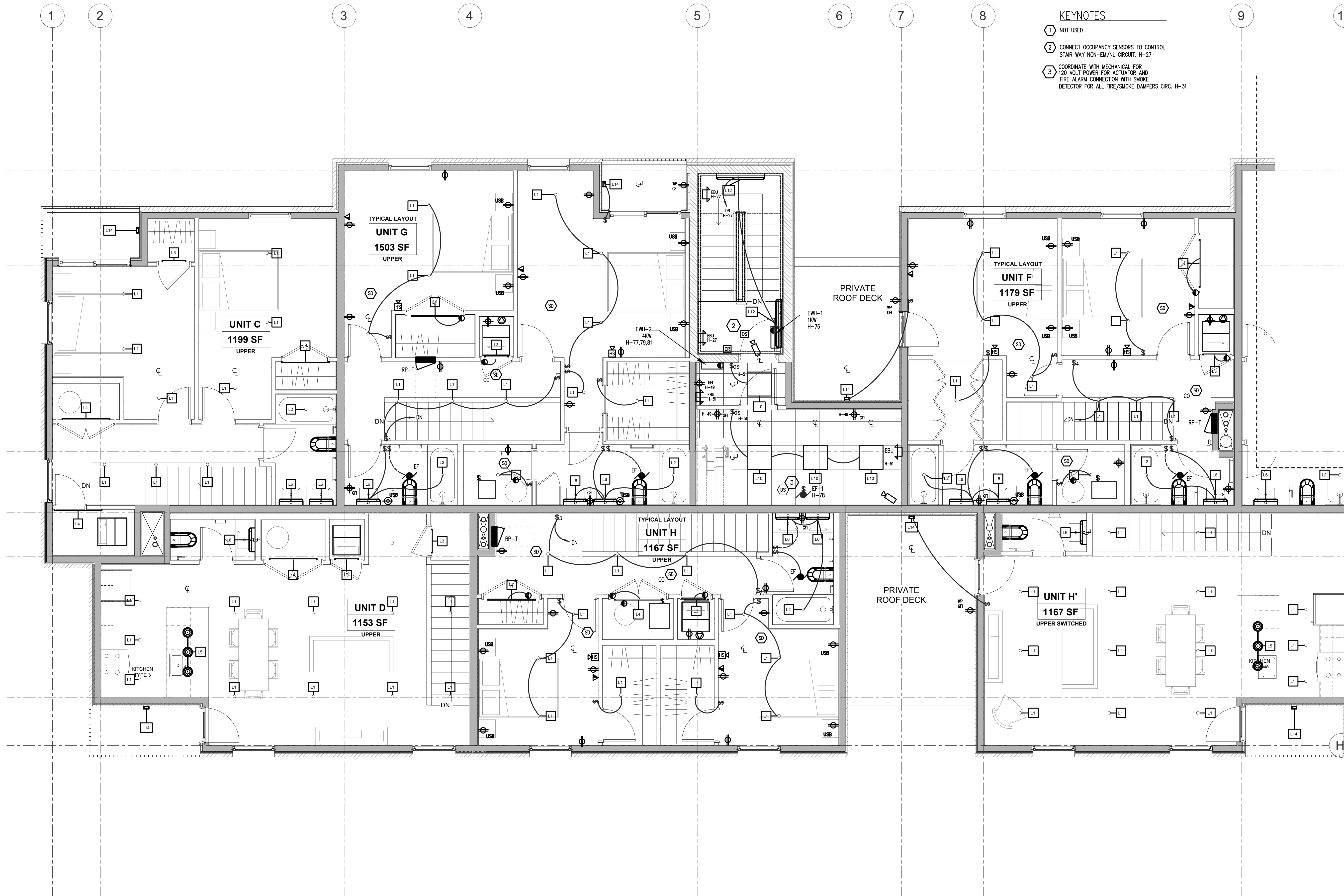
THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: AS INDICATED  
DATE: 02/07/2020

DRAWING TITLE  
**3RD FLOOR EAST ELECTRICAL POWER & LIGHTING PLAN**

SHEET NO.  
**E-103B**  
SCHEMATIC DESIGN





- KEYNOTES**
- 1 NOT USED
  - 2 CONNECT OCCUPANCY SENSORS TO CONTROL STAIR WAY NON-EM/NL CIRCUIT. H-27
  - 3 COORDINATE WITH MECHANICAL FOR 120 VOLT POWER FOR ACTUATOR AND FIRE ALARM CONNECTION WITH SMOKE DETECTOR FOR ALL FIRE/SMOKE DAMPERS ORC. H-31

① 4TH FLOOR ELECTRICAL PLAN - WEST  
1/4" = 1'-0"



**REGISTRATION**

**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1502 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-870-0205

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC.  
632 BATTERY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
19821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0045  
F: 248-482-0052

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1166 ROYAL OAK, MI 48068  
416-112 S. WASHINGTON AVE, ROYAL OAK, MI 48067  
T: 248-744-0200

**MERGE ARCHITECTS INC**  
**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET  
02/07/20: 100% DESIGN DEVELOPMENT SET  
05/15/20: PERMIT

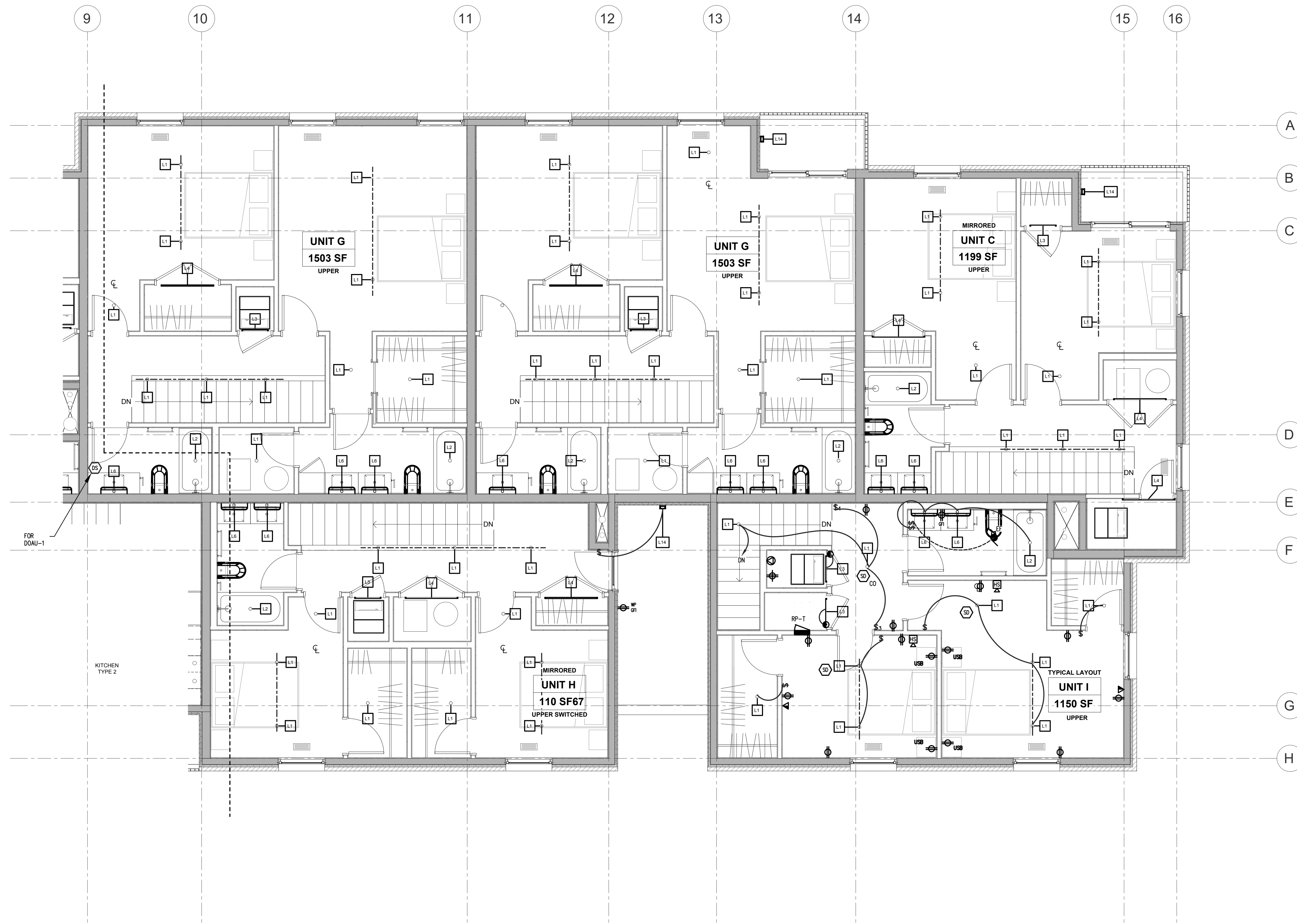
THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284  
SCALE: AS INDICATED  
DATE: 02/07/2020

DRAWING TITLE  
**4TH FLOOR WEST  
ELECTRICAL POWER  
& LIGHTING PLAN**

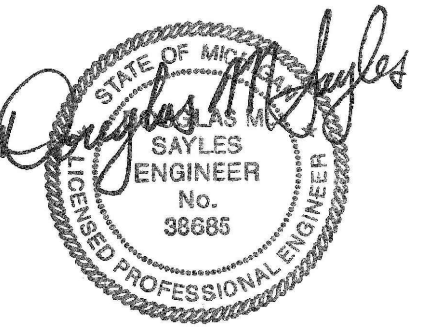
SHEET NO.  
**E-104A**

SCHEMATIC DESIGN



1 4TH FLOOR ELECTRICAL PLAN - EAST  
1/4" = 1'-0"

REGISTRATION



**OWNER**  
BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**  
MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-870-0205

**STRUCTURAL ENGINEER**  
ENGINEERED STRUCTURES, LLC  
632 BARRY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9650

**MP/FP ENGINEER**  
SELLINGER ASSOCIATES, INC.  
19821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0545  
F: 248-482-0052

**ELECTRICAL ENGINEER**  
ETS ENGINEERING, INC.  
P.O. BOX 1186 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE. ROYAL OAK, MI 48067  
T: 248-744-0200

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET

02/07/20: 100% DESIGN DEVELOPMENT SET

05/15/20: PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS INDICATED

DATE: 02/07/2020

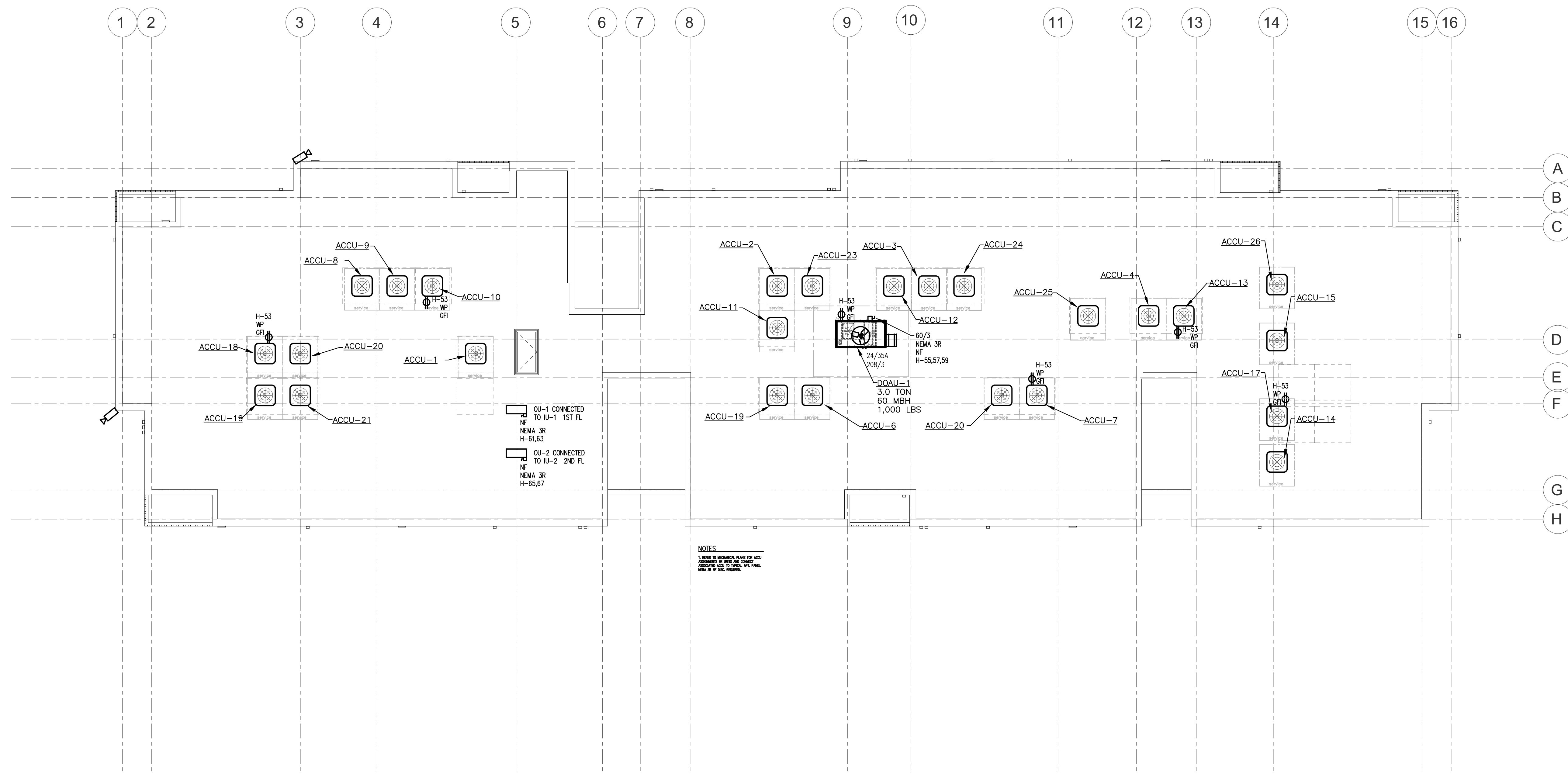
DRAWING TITLE  
**4TH FLOOR EAST  
ELECTRICAL POWER  
& LIGHTING PLAN**

SHEET NO.

**E-104B**

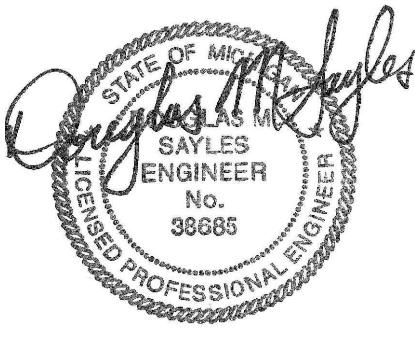
SCHEMATIC DESIGN





① ELECTRICAL ROOF PLAN  
1/8" = 1'-0"

REGISTRATION



OWNER

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1592 Woodward Ave.  
Detroit, MI 48226

ARCHITECT

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617.470.0205

STRUCTURAL ENGINEER

ENGINEERED STRUCTURES, LLC  
632 BARRY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9650

MP/FP ENGINEER

SELLINGER ASSOCIATES, INC.  
19821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0545  
F: 248-482-0052

ELECTRICAL ENGINEER

ETS ENGINEERING, INC.  
P.O. BOX 1186 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE, ROYAL OAK, MI 48067  
T: 248-744-0300

MERGE ARCHITECTS INC

Brush Park Duplette D-2  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET

02/07/20: 100% DESIGN DEVELOPMENT SET

05/15/20: PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS INDICATED

DATE: 02/07/2020

DRAWING TITLE  
ELECTRICAL  
ROOF PLAN

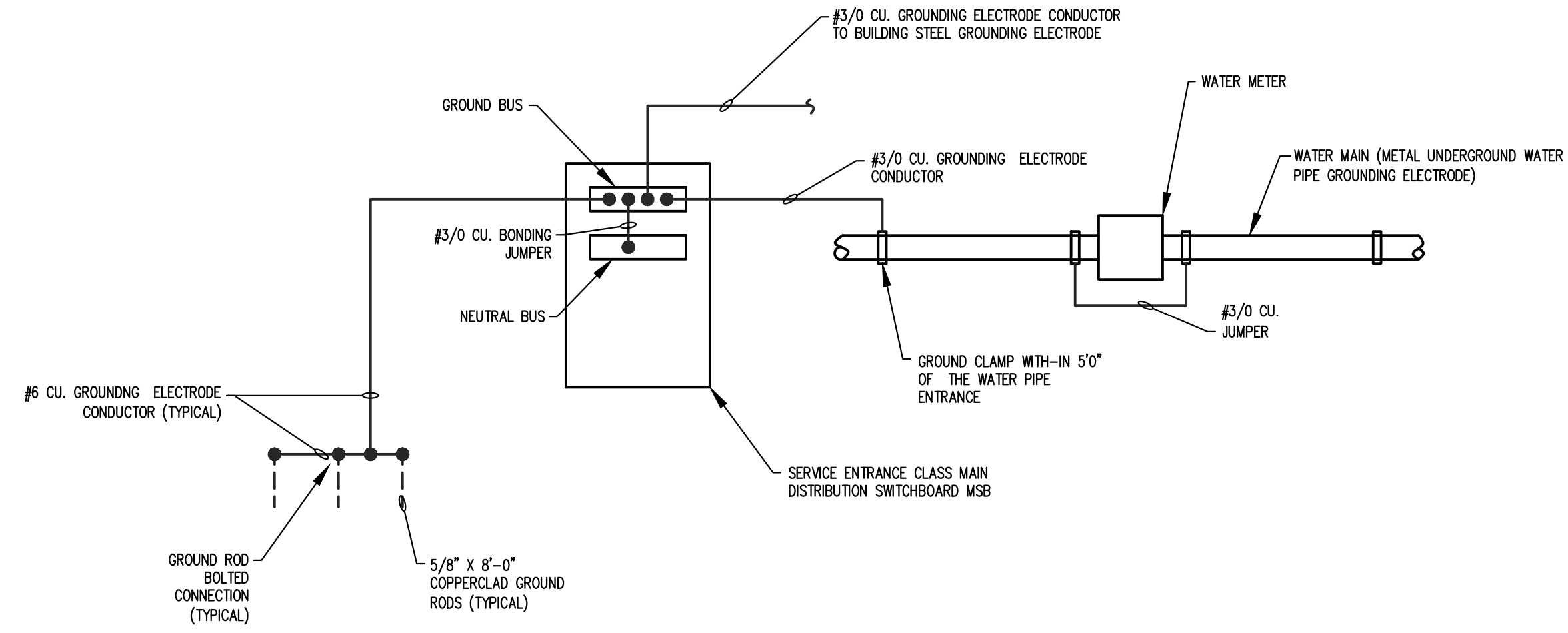
SHEET NO.

E-105

SCHEMATIC DESIGN

**GENERAL RISER NOTES:**

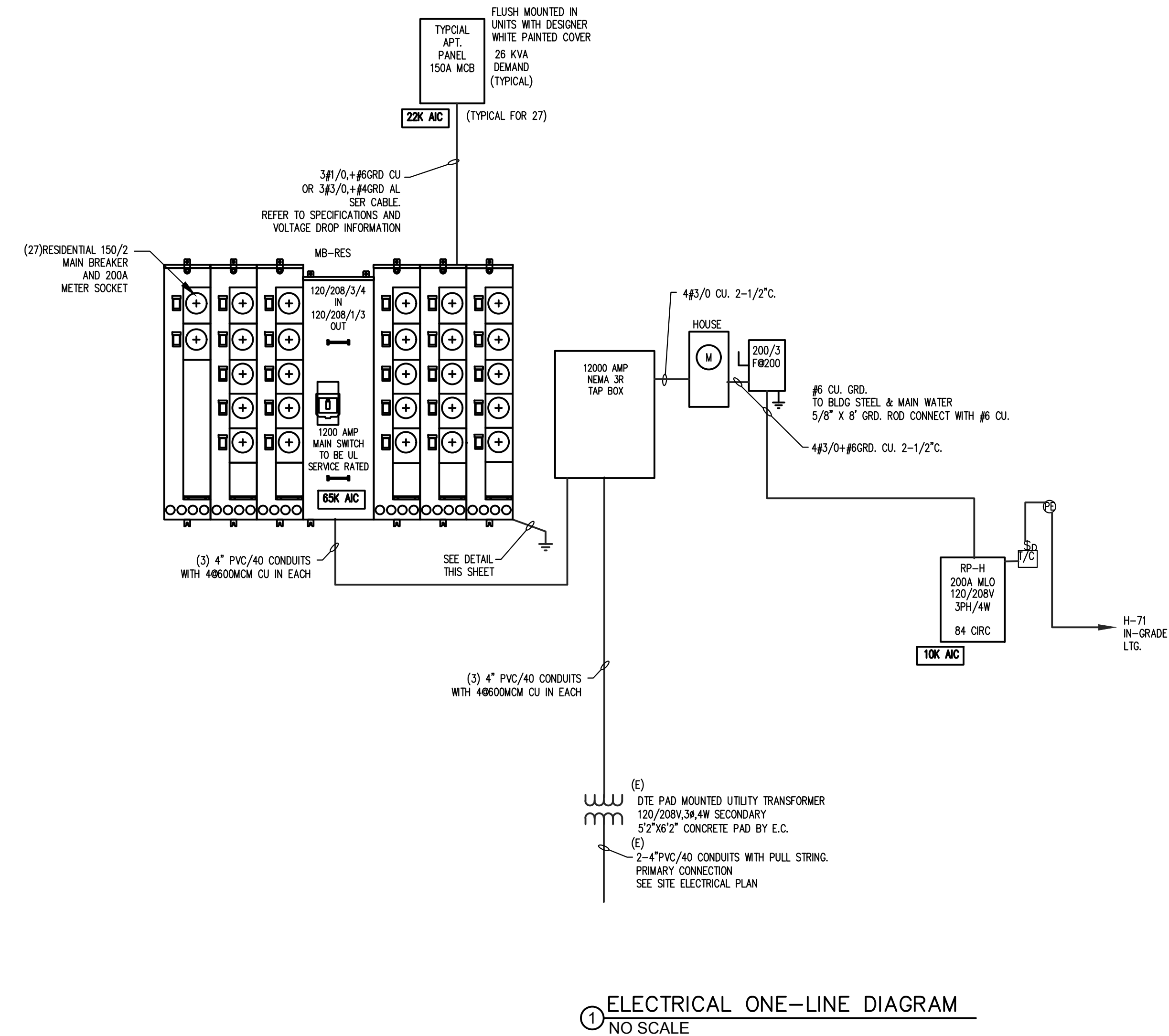
1. THE ELECTRICAL CONTRACTOR SHALL CONTACT THE LOCAL UTILITY COMPANY AND SUBMIT REQUIRED INFORMATION FOR PERMANENT ELECTRICAL SERVICE WHEN REQUIRED PRIOR TO CONSTRUCTION. ALL UTILITY ARRANGEMENTS SHALL BE CONFIRMED BY THE LOCAL UTILITY PRIOR TO ORDERING EQUIPMENT. ALL UTILITY EQUIPMENT LOCATIONS SHOWN ON THIS DRAWING SHALL BE VERIFIED WITH THE LOCAL UTILITY PRIOR TO INSTALLATION.
2. ALL CONCRETE PADS REQUIRED SHALL BE SUPPLIED AND INSTALLED BY THE ELECTRICAL CONTRACTOR AND MEET ALL LOCAL UTILITY AND MUNICIPALITY REQUIREMENTS.
3. ALL ITEMS SHOWN AS HATCHED SHALL BE DISCONNECTED AND REMOVED BY THE ELECTRICAL CONTRACTOR. REMOVE ASSOCIATED WIRING, TERMINATIONS AND CONDUIT BACK TO THE SOURCE.
4. ALL WIRE SIZES INDICATED ON THIS DRAWING SHALL BE COPPER WITH TEMP RATING OF 75 DEGREES C. PER 2014 NEC TABLE 310.15(B)(16) UNLESS OTHERWISE NOTED.
5. PROVIDE AND INSTALL "ARC-FLASH" LABELS IN ACCORDANCE WITH NEC 110.16.
6. ALL DISCREPANCIES WITH THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION PRIOR TO BIDS. IN OTHERWISE DOING SO, THE ELECTRICAL CONTRACTOR SHALL BE LIABLE FOR ANY REQUIRED REVISIONS.
7. ALL ITEMS SHOWN ON PLAN ARE NEW UNLESS MARKED AS (E) FOR EXISTING OR (R) FOR RELOCATED.
8. WHERE MAIN G.F.I. IS SHOWN FOR PROJECT, E.C. TO PROVIDE PROPER SETTINGS FOR MAIN G.F.I. RELAY TRIP SETTINGS AND TIME DELAY PERFORMED BY AN INDEPENDENT TESTING COMPANY INCLUDED IN E.C. CONTRACT. PROVIDE ACTUAL DOCUMENTATION AT THE COMPLETION OF THE PROJECT FROM THE INDEPENDENT TESTING COMPANY.
9. E.C. TO COORDINATE EXACT EQUIPMENTS OF ALL OTHER SYSTEMS (INCLUDING ELEVATORS AND HVAC EQUIPMENT) WITH MANUFACTURER AND OTHER TRADES PRIOR TO ROUGH-IN AND PURCHASE OF ANY ELECTRICAL EQUIPMENT ASSOCIATED WITH SYSTEM. ANY DISCREPANCIES WITH THIS PLAN AND MANUFACTURER REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO PURCHASE OR ELECTRICAL ROUGH-IN OF THIS EQUIPMENT.



② ELECTRICAL SYSTEM GROUND DETAIL  
NO SCALE

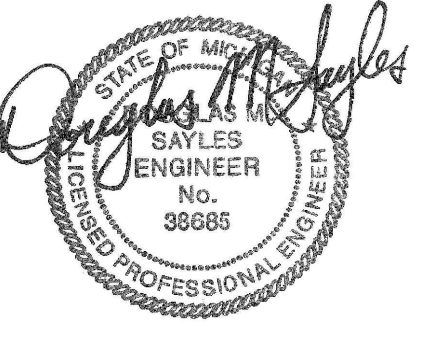
Unit Electrical Load Calculations For RP-T			
Largest Total Square Footage	1,500 sq. ft.		
<b>Branch Circuit Requirements:</b>			
		<b>Brkr (Amp)</b>	<b>Spaces</b>
<b>General Load:</b>			
General Lighting and Receptacles @ 3W/sq.ft.	4.5 kVA	15	4
Bathrooms Receptacle AFCI/GFI	1.5 kVA	20	1
Dining AFCI	1.5 kVA	20	1
(2) Appliance counter circuits AFCI/GFI	3.0 kVA	20	2
Electric Range (4-Wire required)	8.0 kVA	40	2
Dishwasher	1.7 kVA	15	1
Microwave GFI/AFCI	1.0 kVA	15	1
Refrigerator AFCI	1.3 kVA	15	1
Washer / Laundry	1.5 kVA	20	2
Electric Dryer	5.0 kVA	30	2
Furnace	1.1 kVA	15	1
120V Smoke Detectors (Lock on) AFCI	0.3 kVA	15	1
Dryer Booster Fan (if required)	0.1 kVA	15	1
Elec. Water Heater	4.5 kVA	30	2
Total Branch Circuit (connected)	35.0 kVA		
Application of demand factor (NEC 220.30B)			
1st 10 kVA at 100%	10.0 kVA		
Remainder of general load at 50%	12.5 kVA		
<b>Total General Load</b>	<b>22.5 kVA</b>		
<b>Mechanical Air Conditioning vs. Heating (largest of the 2)</b>			
Condensing unit (2.5 Ton largest - sizes vary on units)	3.6 kVA	20 or 25	2
<b>Total Mechanical Load</b>	<b>3.6 kVA</b>		
<b>Total Panelboard spaces used</b>			<b>24</b>
<b>Calculated Load for Service</b>			
Total General Load	22.5 kVA		
Mechanical	3.6 kVA		
<b>Totals</b>	<b>26.1 kVA</b>		
<b>Demand Amps at 120/208/1 ph/3w</b>	<b>125.4 Amps</b>		
<b>METER BANK</b>			
CONNECTED EACH (KVA)	38.6		
NUMBER OF UNITS	27		
DEMAND FACTOR	34%		
TOTAL WITH DEMAND FACTOR (KVA)	354.2		
RP-H ESTIMATE (KVA)	38.0		
DEMAND FOR METER BANK (AMPS)	1098.5		

ELECTRICAL LOAD DEMAND SCHEDULE



① ELECTRICAL ONE-LINE DIAGRAM  
NO SCALE

**REGISTRATION**



**OWNER**

BRUSH PARK DEVELOPMENT COMPANY  
PHASE 1 LLC  
1502 Woodward Ave.  
Detroit, MI 48226

**ARCHITECT**

MERGE ARCHITECTS, INC.  
332 CONGRESS ST. FLOOR 6  
BOSTON, MA 02210  
T: 617-870-0205

**STRUCTURAL ENGINEER**

ENGINEERED STRUCTURES, LLC  
652 BARRY STREET SW  
GRANDVILLE, MI 49419  
T: 616-667-9650

**MP/FP ENGINEER**

SELLINGER ASSOCIATES, INC.  
19821 FARMINGTON ROAD, LIVONIA, MI 48152  
T: 248-482-0545  
F: 248-482-0552

**ELECTRICAL ENGINEER**

ETS ENGINEERING, INC.  
P.O. BOX 1186 ROYAL OAK, MI 48068  
418-112 S. WASHINGTON AVE, ROYAL OAK, MI 48067  
T: 248-744-0200

**MERGE ARCHITECTS INC**

**Brush Park Duplette D-2**  
On Edmund Place  
Between Brush St. and John R. St.  
Detroit MI, 48201

11/12/18: 100% SCHEMATIC DESIGN SET

02/07/20: 100% DESIGN DEVELOPMENT SET

05/15/20: PERMIT

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING WORK IN A SAFE MANNER, AND FOR COORDINATING WORK WITH THAT OF ALL TRADES

JOB NO.: 18284

SCALE: AS INDICATED

DATE: 02/07/2020

DRAWING TITLE  
**ELECTRICAL RISER DIAGRAM & DETAILS**

SHEET NO.

**E-300**

SCHEMATIC DESIGN



THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Date: \_\_\_\_\_

## PROPERTY INFORMATION

ADDRESS: \_\_\_\_\_ AKA: \_\_\_\_\_

HISTORIC DISTRICT: \_\_\_\_\_

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner

Contractor

Tenant or  
Business Occupant

Architect/Engineer/  
Consultant

NAME: \_\_\_\_\_ COMPANY NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.

See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

# P2 - BUILDING PERMIT APPLICATION

Date: \_\_\_\_\_

## PROPERTY INFORMATION

Address: \_\_\_\_\_ Floor: \_\_\_\_\_ Suite#: \_\_\_\_\_ Stories: \_\_\_\_\_

AKA: \_\_\_\_\_ Lot(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_

Parcel ID#(s): \_\_\_\_\_ Total Acres: \_\_\_\_\_ Lot Width: \_\_\_\_\_ Lot Depth: \_\_\_\_\_

Current Legal Use of Property: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Are there any existing buildings or structures on this parcel?  Yes  No

## PROJECT INFORMATION

**Permit Type:**  New  Alteration  Addition  Demolition  Correct Violations

Foundation Only  Change of Use  Temporary Use  Other: \_\_\_\_\_

Revision to Original Permit #: \_\_\_\_\_ (Original permit has been issued and is active)

**Description of Work** (Describe in detail proposed work and use of property, attach work list)

MBC use change  No MBC use change

**Included Improvements** (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical  Electrical  Plumbing  Fire Sprinkler System  Fire Alarm

### Structure Type

New Building  Existing Structure  Tenant Space  Garage/Accessory Building

Other: \_\_\_\_\_ Size of Structure to be Demolished (LxWxH) \_\_\_\_\_ cubic ft.

Construction involves changes to the floor plan?  Yes  No

(e.g. interior demolition or construction to new walls)

Use Group: \_\_\_\_\_ Type of Construction (per current MI Bldg Code Table 601) \_\_\_\_\_

**Estimated Cost of Construction** \$ \_\_\_\_\_ By Contractor \$ \_\_\_\_\_ By Department

### Structure Use

Residential-Number of Units: \_\_\_\_\_  Office-Gross Floor Area \_\_\_\_\_  Industrial-Gross Floor Area \_\_\_\_\_

Commercial-Gross Floor Area: \_\_\_\_\_  Institutional-Gross Floor Area \_\_\_\_\_  Other-Gross Floor Area \_\_\_\_\_

Proposed No. of Employees: \_\_\_\_\_ List materials to be stored in the building: \_\_\_\_\_

**PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines.** (Building Permit Application Continues on Next Page)

### For Building Department Use Only

Intake By: \_\_\_\_\_ Date: \_\_\_\_\_ Fees Due: \_\_\_\_\_ DngBld?  No

Permit Description: \_\_\_\_\_

Permit #: \_\_\_\_\_ Current Legal Land Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Permit#: \_\_\_\_\_ Date Permit Issued: \_\_\_\_\_ Permit Cost: \$ \_\_\_\_\_

Zoning District: \_\_\_\_\_ Zoning Grant(s): \_\_\_\_\_

Lots Combined?  Yes  No (attach zoning clearance)

**Revised Cost** (revised permit applications only) Old \$ \_\_\_\_\_ New \$ \_\_\_\_\_

Structural: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Zoning: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Other: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_





**IDENTIFICATION** (All Fields Required)

**Property Owner/Homeowner**  Property Owner/Homeowner is Permit Applicant

Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_

Driver's License #: \_\_\_\_\_ Email: \_\_\_\_\_

**Contractor**  Contractor is Permit Applicant

Representative Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

City of Detroit License #: \_\_\_\_\_

**TENANT OR BUSINESS OCCUPANT**  Tenant is Permit Applicant

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**  Architect/Engineer/Consultant is Permit Applicant

Name: \_\_\_\_\_ State Registration#: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Homeowner)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Permit Applicant)

Driver's License #: \_\_\_\_\_ Expiration: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.**

This application can also be completed online. Visit [detroitmi.gov/bseed/elaps](http://detroitmi.gov/bseed/elaps) for more information.

