STAFF REPORT: 09-09-2020 MEETING PREPARED BY: A. DYE

APPLICATION NUMBER: 20-6832 ADDRESS: 421 EAST FERRY AVENUE

HISTORIC DISTRICT: EAST FERRY AVENUE

APPLICANT: DAVID EIFRID, GREENLIFE BUILDING

PROPERY OWNER: JENNIFER NOBLE

DATE OF PROVISIONALLY COMPLETE APPLICATION: 08/28/2020

DATE OF STAFF SITE VISIT: 08/29/2020

SCOPE: ERECT REAR ADDITION, EXTERIOR PAINTING

EXISTING CONDITIONS

Constructed in 1887, the 2-1/2 story Queen Anne-Stick (sometimes called Eastlake) style house is located on the western edge of its lot. A gray stone foundation rises to meet orange brick covering the first floor, while diamond-shaped tin panels offer a unique textural quality to the upper stories. The hip roof is disguised by multiple gables: the inline east and west gables bisect the side elevations, while the street elevation offers a front-facing gable extending down into a two-story bay, and an adjacent smaller (2nd story-only) box bay set at a 45-degree angle. A rounded window on the front elevaton bay offers a geometric contrast to the sharp angles on the upper floors; the semi-circular form is carried through to the below basement window (which is currently hidden by landscaping). A one-story porch begins at the front entrance and wraps around the east side elevation where it terminates at a side entrance.

Queen Anne-Stick styles use wall surfaces as primary decorative elements. This house's brick and tin faced exterior walls, coupled with ornamental window casings (second floor), carved stone headers (first floor), corner brackets, heavy vergeboards, and singularly detailed gables (with carved wood designs, tin paneling, or varying shapes of wood shingles), creates multi-colored and multi-textured surfaces at each turn.



HDC Staff Photo, 8/28/20



Designation Slide, 1981 (HDAB staff photo, taken from slide)

While most of the exterior wall surface materials remain, the front porch, doors, windows and roof material have been replaced. The dominant window style is one-over-one double-hung, but fixed windows (most notibly the front bay window) have also been installed. Some window openings have wood storms, while others do not. An entry door leading into the basement has been cut into the brick on the western angled wall of the front bay window.

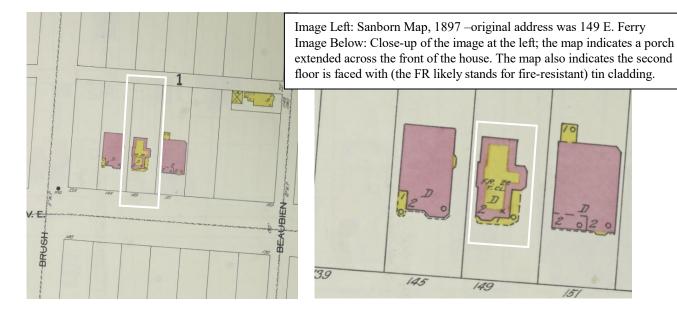
As seen in the below photograph, a one-story deck, sitting on CMU, and stairs are located at the rear of the house. A single entry (steel door) and single window opening (1/1, double-hung, wood replacement window) are the only exterior penetrations on this elevation. The downspout runs down the wall to the left of the deck.

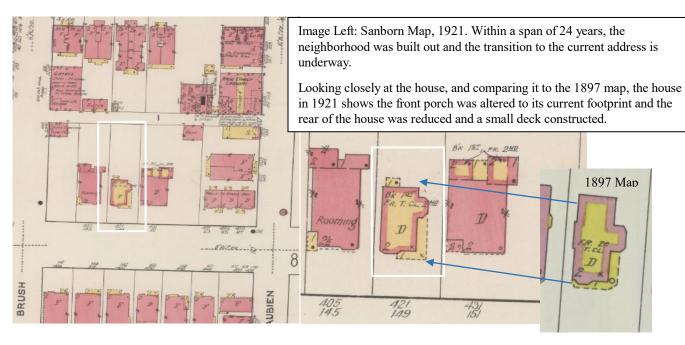


Existing rear elevation



At the rear of the lot is a newer, two-story building. The lots on both sides of 421 E. Ferry also have residential two-story structures at the rear of their lots. A condominum association was formed and owns the greenspaces. Fencing (brick half-walls to the west of 421 and iron fencing to the east of 421) span the front corners of the three buildings, enclosing the six structures into one large lot. HDC staff confirmed that while the property is part of the North Ferry Condominum, the property owner owns 421 E. Ferry. The applicant confirmed the association has approved the addition as it extends into the greenspace.





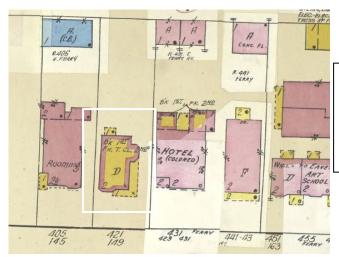


Image Left: Sanborn Map, 1950. No further changes occurred to 421 E. Ferry, while the property to the right went from a dwelling to a hotel.

In the early 20th century, a discriminatory restriction in property deeds forbade African Americans from owning property west of Brush Street, including Ferry Avenue.

PROPOSAL

Per the applicant's narrative, they are requesting approval for an addition and exterior painting, which will include the following items:

- Demolish existing rear wood deck
- Erect single story rear addition and smaller deck.
 - The new construction will be set-in eight inches from the historic east and west elevations.
 - \circ The depth of the addition is 6'-4".
 - o New brick, matching in color, pattern, dimension and profile to the house's historic brick, will be used.
 - O The roof will have a 3/12 pitch (the main structure has a 12/12 pitch) and will be covered with asphalt shingles, matching those on the house.
 - O Two wood (primed wood exterior sash) double-hung (1/1) Marvin Ultimate windows, one on the east elevation and one on the south elevation, will be installed.
 - O A single door will be installed on the rear elevation.
 - O A single-story platform deck (8'-5" wide x 5'-0" deep) will be erected; stairs will descend to the back yard.
 - Composite decking is currently being considered for the platform deck and stairs. Color to be selected by property owner.
- The tin paneling wrapping the upper floors of the house (as well as the tin and wood shingles within the gables) will be repainted a color that coordinates with Color System B. The color will be submitted to HDC staff for review.

STAFF OBSERVATIONS AND RESEARCH

- The East Ferry Historic District was designated in 1981.
- The original address for the house was 149 East Ferry.
- According to the Sanborn maps, staff believes the house received exterior alterations between 1897 and 1921, including a revised/new front porch and a reduced rear extension. This may explain why the rear elevation is devoid of architectural detailing (outside of the wall materials), as the other three sides are resplendent in detail.
- J.L. Hudson purchased the house in 1909. In 1912 he sold it to the J.L. Hudson Company and it was occupied by James B. Webber, who was Hudson's nephew Executive Vice President and General Manager of the department store. The Hudson-Webber Land Company sold it in 1925.
- It is not clear when the original windows were replaced; the district designation photograph shows a similar window condition to the present day within the front elevation's bay window. However the double-hung windows may be different, but due to the blurriness of the designation photograph, a clear comparison can't be made at this time. The applicant is submitting an application for window replacement at the October meeting. A clear photo of the designation slide will be available within that staff report.
- Staff does not know when the basement door was added, but it is visible in the 1981 designation photograph. It is currently disguised from the public-right-of-way by landscaping.
- The Final Report for the East Ferry Avenue Historic District lists the color of the tin paneling at the time of designation as brown (which is substantiated in the designation photo).
- In 1997 HDC staff issued a COA for the rebuilding of the front porch, window repair/replacement with wood windows, and exterior painting.
- In 2006, the Commission approved the construction of residential structures along the rear lots lines/alley at 411 and 421 East Ferry.
- In 2018, HDC staff approved slight revisions to the structures, which have since been built.
- In the Fall of 2019, HDC staff was alerted to the blue paint color applied to the upper floors of the house. As a COA was not issued, this is a current violation.
- Prior to the current owner's purchase in March 2020, this house served as the office for Petit Bateau, LLC, who oversaw the development of condominiums on this and adjacent properties.
- The proposed addition will not be seen from the public-right-of way.
- The applicant set the addition in 8-inches from the existing side elevations, so the new brick (while matching the old, will still look different than the weathered brick) walls will end against the historic rear wall. This will allow the addition to be clearly seen as new construction, and will allow the house to retain evidence of its historic

- footprint.
- As the roof will have a lower pitch, the ridge will return to the house just under the tin paneling/existing molding.

ISSUES

- The current placement of the rear elevation downspout will be impacted by the addition. It is not clear on the drawings where the downspout will be relocated.
- The catalog cut confirming the design, material, finish and manufacturer for the new rear entry door has not been submitted. The elevation drawing shows a door with two lower panels and glass within the upper half of the door.
- At the time of the staff report, the property owner had not selected an exterior paint palette. The applicant confirmed the colors will be selected from Color System B and submitted to HDC staff for review.
- Due to the material and patterning of the tin cladding, special care needs to be taken with surface preparation for the repainting so the tin is not scraped and damaged.

RECOMMENDATION

It is staff's opinion that the work as proposed will not result in the removal of historic materials or the alteration of features and spaces that characterize the property. The work is also compatible with the property's historic character. Staff therefore recommends that the Commission issue a Certificate of Appropriateness for the work as proposed because it meets the Secretary of the Interior Standards for Rehabilitation.

However, staff recommends the COA be issued with the following conditions:

- The exterior paint palette will be submitted to HDC staff for review and will conform to Color System B.
- Catalog cuts confirming the composite deck material, color, and design details of the balusters and balustrade will be submitted to HDC staff for review.
- A catalog cut of the new exterior entry door, confirming its design, material, finish and color will be submitted to HDC staff for review.
- Should the property owner elect to construct a wood platform deck and stairs, drawings confirming the design of the balusters and balustrade will be submitted to HDC staff for review. The wood shall be left untreated for a minimum of three months (and not longer than six months) so it may properly dry before being painted. The paint color will be submitted to HDC staff for review.



Greenlife Building, LLC

47974 West Road Wixom, MI 48393 (734) 718-7078 (248) 669-9508 Fax

August 8, 2020

Historical District Commission

Re: 421 E Ferry St

The Residence of Jennifer Noble

Request for approval of addition, exterior painting and interior remodel.

We are requesting approval for an addition, interior remodel and exterior paint for 421 E ferry.

The original house was built in 1902 in the Queen Ann Victorian style. Our goal is to keep or restore all the original details of the home. Some of the original interior features have been modified by previous owners so we are trying to bring back as close to what we believe was the original design intent from 1902.

This home was used as an office for the previous developer for about 20 years. Because of this, the home did not have a functional kitchen but a conference and break room. The bedrooms were turned into office spaces. And the bathrooms were not designed functionally for a family.

The first floor powder room has been an issue on this house. The current design locks the conference room/kitchen area into a very tight and non-functional design. We are recouping the existing first floor powder into the kitchen area. We contemplated moving the powder room to the center of the home but that forces us to lose some of the original trim and moldings and we feel alters the original design intent of the sitting and common room too much. We also contemplated moving the powder onto the dust porch, but after discussions with the HDC staff, felt that altered the original curb appeal of the home. HDC staff suggested we research the addition off the rear of the building where it is not visible from the street view. This approach adds significant costs to the home owner but after further review, we feel it is the best path forward for the long term stewardship of this property. The addition allows for us to add a well needed mudroom and powder room without affecting the original interior design intent nor affecting the original curb appeal to the home. We have attached the current site plan and proposed construction plans.

We plan to save and restore all original interior trim and moldings. We also plan to match original moldings with custom trim to keep a consistency to the original design. We also plan to restore the fireplace surrounds back to what was popular in 1902. We are currently working with Pewabic Pottery on designs for the era.



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The exterior of the house was painted by the previous owner a color (blueish) which does not align with the approved HDC colors. The painting work is also of very poor quality. We plan to restore and repaint the exterior with a color combination from Color System B which was provided by the HDC. We can provide the final color pallet once the homeowner makes the final selection.

We also plan to use fixtures and finishes which align with what was common in 1902 Queen Ann homes. The kitchen cabinets and countertops will also reflect some of the common features of the 1902 kitchen. These final decisions are still in the works but we can provide the HDC with any updates along the construction process. We would appreciate as much feedback from the HDC to help in our final decisions.

Please feel free to contact us with any additional information or concerns.

David Eifrid

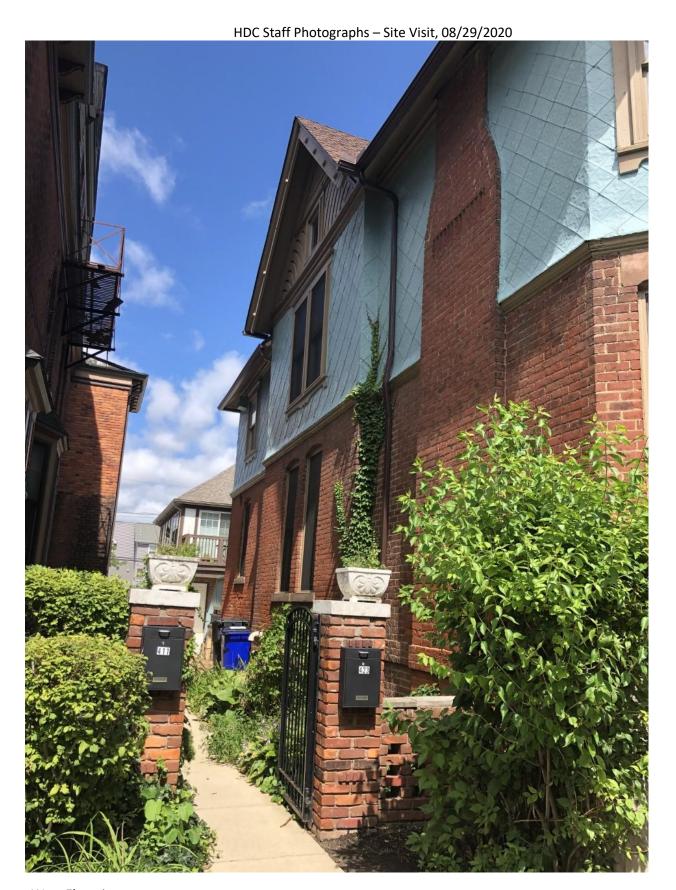
Greenlife Building, LLC

HDC Staff Photographs – Site Visit, 08/29/2020





Basement Entrance



West Elevation.

The brick half-walls span 405 and 421 E. Ferry, with mailboxes for the residences at the rear of the lots.

HDC Staff Photographs – Site Visit, 08/29/2020



West elevation gable

HDC Staff Photographs – Site Visit, 08/29/2020

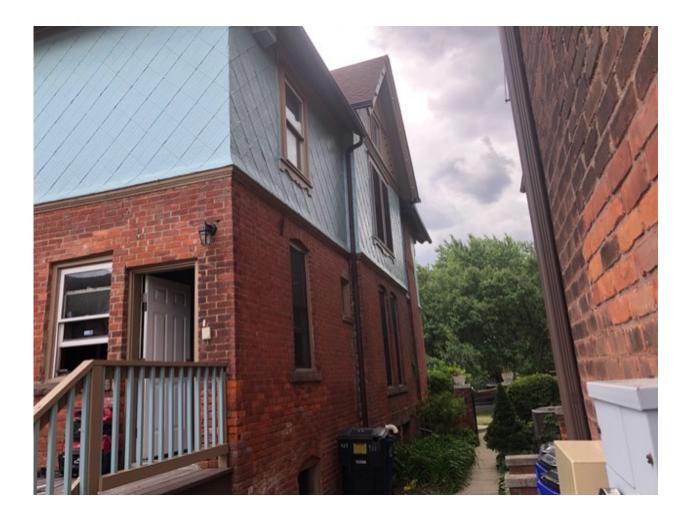




View between 421 and 441 E. Ferry, looking north towards the newly constructed buildings at the rear of the lots.







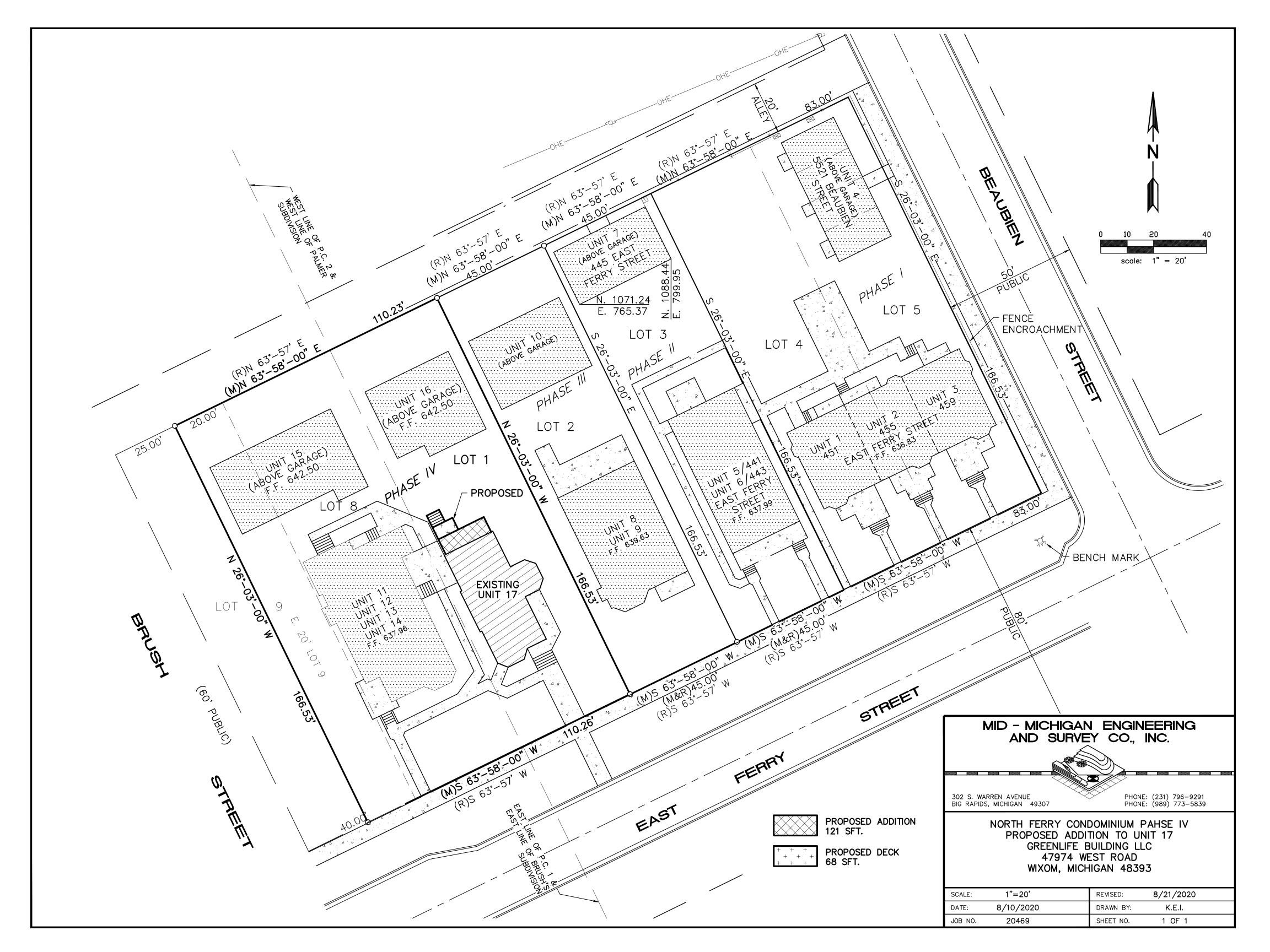








Visual sample of reclaimed brick



PROPOSED INTERIOR RENOVATION FOR:

ABBREVIATIONS

U.S. - UNDERSIDE

TYP. - TYPICAL

H - HIGH

W. - WIDE

A E E - ABOVE EINISH EI OOR

EXT'G - EXISTING

MTD - MOUNTED

JENNIFER NOBEL

V.W.O. - VERIFY WITH OWNER SPECIFICATIONS)

OR EQUIVALENT (FOR MATERIA SPECIFICATIONS)

P.B.O. - PROVIDED BY OWNER

T.B.D. - TO BE DETERMINED P. CONC. - POURED CONCRETE

PROJECT LOCATION: 421 E FERRY ST

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- A-2 DEMOLITION PLANS
- A-3 BASEMENT PLAN, FIRST FLOOR PLAN DOOR SCHEDULES & NOTES
- A-4 SECOND FLOOR PLAN & ATTIC PLAN
- A-5 EXTERIOR ELEVATIONS & SECTION

DETROIT, MI 48202

514 w. houstonia royal oak, mi 48073 (248)561-1697 a2bader@ymail.com

A2 DESIGNS

design

O NOT SCALE DRAWINGS, USE IGURED DIMENSION ONLY.

INTERIOR RENOVATION FOR-

JENNIFER.

NOBEL

421 F FERRY ST

TITLE SHEET & GENERAL NOTES



PERMITS 06-15-20

OWNER REVIEW 07-23-20

PERMITS

REVISED PER CONTR. 08-13-20

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GENERAL NOTES AND CONDITIONS

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- THE ARCHITECT IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE SAFETY ON THE JOS SITE. THESE RESPONSIBILITIES ARE INTENDED TO BE AND REMAIN SOLELY THOSE OF THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER AND/OR JOB SUPERINTENDENT.
- ALL APPLICABLE LOCAL, CITY, STATE AND NATIONAL CODES ARE TO BE ALL APPLICABLE LOCAL, CITY, STATE AND INTITIONAL CODES ARE: STRICTLY ADHERED. ANY APPARENT DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT. GOVERNING BUILDING CODE MICHIGAN RESIDENTIAL CODE 2009.
- ALL COST BIDS ARE TO INCLUDE ALL APPLICABLE FEDERAL, STATE AND LOCAL TAXES.
- GC/ SUBCONTRACTORS ARE TO PROVIDE THE OWNER WITH A WORK AND COMPLETION SCHEDULE.
- THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- GC/ SUBCONTRACTORS ARE TO PROVIDE ALL EQUIPMENT, LABOR AND MATERIALS REQUIRED FOR PROPER PROJECT COMPLETION. ANY SUBCONTRACTOR AWARDED WITH THE PROJECT MUST BE LICENSED WITHIN THE JURISDICTION OF WHICH THE CONSTRUCTION
- GENERAL AND SUBCONTRACTORS ARE TO PROVIDE THE OWNER WITH 28. PLYWOOD CLIPS TO BE INSTALLED ON ROOF DECKING / SHEATHING. AN EIGHTEEN MONTH WARRANTY ON LABOR AND MATERIALS (EXCLUDING WARRANTIES SET BY PRE-MANUFACTURED ITEMS THAT CARRY WARRANTIES OF THEIR OWN).
- GENERAL AND SUBCONTRACTORS AWARDED WITH THE PROJECT ARE TO PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE FOR WORKMENS COMENSATION, BOSO,000 MINIMUM, COMPREHENSIVE GENERAL LIABILITY (\$2,000,000 MINIMUM), AND AUTO LIABILITY (\$1,000,000 MINIMUM).
- 11. ALL WORK IS TO BE PERFORMED IN A WORKMANSHIP-LIKE MANNER.
- THE GENERAL CONTRACTOR IS TO COORDINATE SUBCONTRACTORS
 WORK REQUIREMENTS TO ASSURE THAT WORK CAN PROCEED
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- GENERAL AND SUBCONTRACTORS ARE TO VERIFY DIMENSIONS OF ALL EQUIPMENT WITH THE CORRESPONDING MANUFACTURER AND VERIFY THE INFORMATION WITH THE CONTRACT DOCUMENTS PRIOR TO COMMENCEMENT OF WORK.
- THE GENERAL CONTRACTOR/ SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ERECTION, MAINTENANCE AND REMOVAL OF BARRICADES AS REQUIRED TO PROTECT THE PUBLIC AND THE WORKERS DURING THE PERIOD OF CONSTRUCTION.
- GENERAL AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF INSTALLATION AND DETERMINATION OF EXACT LOCATION(S) OF REQUIRED BLOCKING FOR PROPER ANCHORAGE OF WORK PERFORMED BY THEIR RESPECTIVE TRADE. THE CAPPENTRY CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL THE BLOCKING AS REQUIRED FOR COMPLETE AND SOUND INSTALLATION.
- GENERAL AND SUBCONTRACTORS ARE TO PICK-UP CONSTRUCTION DEBRIS ON A DALLY BASIS AND KEEP THE APPEARANCE OF THE WORK STIE NART AND ORDERLY THROUGHOUT THE PERSON OF CONSTRUCTION. ALL CONSTRUCTION DEBRIS GENERATED BY A SUBCONTRACTOR IS TO BE REMOVE BY SAID CONTRACTOR. DEPOSIT OF THE CONSTRUCTION DEBRIS GENERATED BY A DELOCATION OF STORE OF THE CONSTRUCTION.

- ALL BUILDING MATERIALS AND INCOMPLETE PORTIONS OF CONSTRUCTION ARE TO BE PROTECTED FROM ADVERSE WEATHER CONDITIONS. ANY DAMAGED MATERIALS WILL BE REPLACED AT THE CORRESPONDING SUBCONTRACTOR'S EXPENSE.
- THE GENERAL CONTRACTOR SHALL COORDINATE TEM BRACING. SHORING AND SUPPORTS AS REQUIRED DUR CONSTRUCTION. THE SUBCONTRACTORS ARE TO PROVIDE TEMPORARY BRACING, SHORING AND SUPPORTS AS REQUIRED IN IDING CONSTRUCTION.
- 20. REGARDING FRAMING MEMBERS: SEE STRUCTURAL NOTES.
- 21. ALL DRIP EDGES ARE TO BE ALUMINUM, UNLESS OTHERWISE NOTED. VERIFY COLOR WITH OWNER.
- APPLY SEALANT TO ALL JOINTS BETWEEN DISSIMILAR MATERIALS. ASSURE THE SEALANT VARIETY IS APPROVED FOR USE WITH BOTH MATERIALS.* GYPSUM BOARD ON 2x4 WOOD STUDS SPACED AT 16" ON CENTER.
- THE GENERAL CONTRACTOR IS TO SUPPLY A DUMPSTER, TO BE LOCATED PER THE OWNERS DIRECTION. PROVIDE PROTECTION AS NEEDED TO KEEP DUMPSTER FROM DAMAGING EXISTING COUNTIONS. G.C. TO PROVIDE SEDIMENTATION CONTROL AROUND CONSTRUCTION SITE AND MAINTAIN ON A WEEKLY BASIS.
- MATERIAL SUBSTITUTIONS WILL BE ALLOWED ONLY AFTER WRITTEN APPROVAL HAS BEEN GIVEN BY THE HOME OWNER.
- ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH A MINIMUM FOUR (4) FASTENERS PER SHINGLE STRIP, OR A MINIMUM OF TWO (2) FASTENERS PER INDIVIDUAL SHINGLE: MINIMUM HEADLAP SHALL BE 2 INCHES.
- PROVIDE (2) 2X4 (MIN.) POSTS UNDER ALL HEADER BEARING POINTS • NOVINEE (4) 2X4 (MIN.) POSTS UNDER ALL HEADER BEARING POINTS. UNLESS OTHERWISE NOTED ALL HEADERS SHALL BE GLUED & MAILED. PROVIDE KNEEWALLS AS REQUIRED TO COMPLETE ROUGH FRAMING OF ADDITION.
- PROVIDE 1/2" SILL PLATE ANCHOR BOLTS PLACED 12" FROM CORNERS @ 6".0" O.C. STRAPS TO BE 12" FROM CORNERS @ 3".0" O.C.
- INTERIOR FINISHES SHALL BE PER OWNERS SPECIFICATIONS. BUILDER TO COORDINATE ALL INTERIOR FINISH SELECTIONS (INCLUDING PLUMBING FIXTURES) WITH ALL APPLICABLE TRADES.
- DROVIDE 14" Y 16" HIGH ACCESS DANELS BEHIND THRS FOR ACCESS PROVIDE 14" X 10" HIGH ACCESS PANELS BEHIND TUBS FOR ACCESS TO TO SHUT-OFF VALVES AND A 24" X 30" (MIN.) SCUTTLE FOR ACCESS TO ATTIC SPACE, CASING BOTH WITH WOOD MOLDINGS. PROVIDE 18" X 24" (MIN.) CRAWLSPACE ACCESS.
- CONTRACTOR SHALL INSTALL 'HARD-WIRED' SMOKE DETECTORS (WITH BATTERY BACKUP) AS INDICATED ON THE PLANS. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED, SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS WITHIN THE
- CONTRACTOR SHALL INSTALL HARD-WIRED' CARBON MONOXIDE DETECTORS (WITH BATTERY BACKUP) AS INDICATED ON THE PLANS OR AT THE DIRECTION OF THE BUILDING INSPECTOR.
- ALL AREAS SUBJECTED TO REPEATED DAMP CONDITIONS & MOISTURE ACCUMULATION (BATHTUB & SHOWER LOCATIONS) SHALL HAVE BACKER BOARD PER SECTION R702.4.2 AS LISTED IN TABLE R702.4.2.
- DOUBLE-UP FLOOR JOISTS AT ALL TUB LOCATIONS. TYPICAL UNLESS OTHERWISE NOTED
- 35. PROVIDE NEW FURNACE & REMOTE CONDENSING UNIT FOR NEW BUILDING ADDITION
- BULDING ADDITION.

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RENOVATION GENERAL NOTES

- GENERAL AND OR SUBCONTRACTOR SHALL PROVIDE TEMPORARY BRACING, SHORING, AND SUPPORTS AS REQUIRED FOR EXISTING MATERIALS TO PREVENT DAMAGE DURING CONSTRUCTION.
- CENEDAL AND SUBCONTRACTOR SHALL BE DESCONSIBLE FOR VERIEVING ALL GENERAL AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FILED CONDITIONS SO AS TO FAMILIARIZE HIMSELF WITH DEMOLITION AND/OR REMOVAL WORK WHICH MAY BE REQUIRED TO PRODUCE THE END RESULTS INTENDED BY CONTRACT DOCUMENTS. THE RENOVATION WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS ANTICIPATES THE WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS ANTIGNATES THE DEMOCRACION DESCRIBED IN THE CONSTRUCTION DOCUMENTS ANTIGNATES THE DEMOCRACION DESCRIBED AND ADMINISTRATION OF THE DEMOCRACION DESCRIBED AND ADMINISTRATION OF THE DEMOCRACION AND REMOCRACION OF THE DEMOCRACION OF TH
- ALL EXISTING AREAS TO REMAIN THAT ARE DAMAGED DURING DEMOLITION AND CONSTRUCTION SHALL BE PATCHED, REPAIRED, AND PAINTED AS REQUIRED TO MATCH SURROLINDS AT NO ADDITIONAL CHARGE TO THE OWNER.
- ALL ABANDONED AND TEMPORALLY DISCONNECTED MECHANICA ELECTRICAL WORK TO BE MADE SAFER BY APPROPRIATELY CAP GROUNDING AS REQUIRED IN ACCORDANCE WITH CODE
- ALL NEW CONDITIONS, MATERIALS AND CONFIGURATIONS, ETC. ARE TO MATCH EXISTING (UNLESS OTHERWISE NOTED).
- THE OWNER IS RESPONSIBLE FOR INVESTIGATION, REMOVAL, & PROPER
- CUT AND CAP EXISTING IRRIGATION LINES TO ALLOW FOR NEW CONSTRUCTION, PULL UP HOSES & LEAVE EXPOSED WHERE REMOVED. DISCUSS HOSE SLEEVE ALONG WEST PAVERS W/ OWNER.

SHOP DRAWINGS

REVIEW OF SHOP DRAWINGS AND OTHER SUBMITTALS BY THE ARCHITECT/ NGINFFR DOES NOT RELIEVE THE CONTRACTOR THE RESPONSIBILITY TO ENGINEER DOES NOT RELIEVE THE CONTRACTOR THE RESPONSIBILITY TO CHECK THE SHOOP DRAWINGS BEFORE SUBMITAL TO THE ARCHITECTIENGINEER. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS TO CONFORM WITH THE CONSTRUCTION DOCUMENTS.

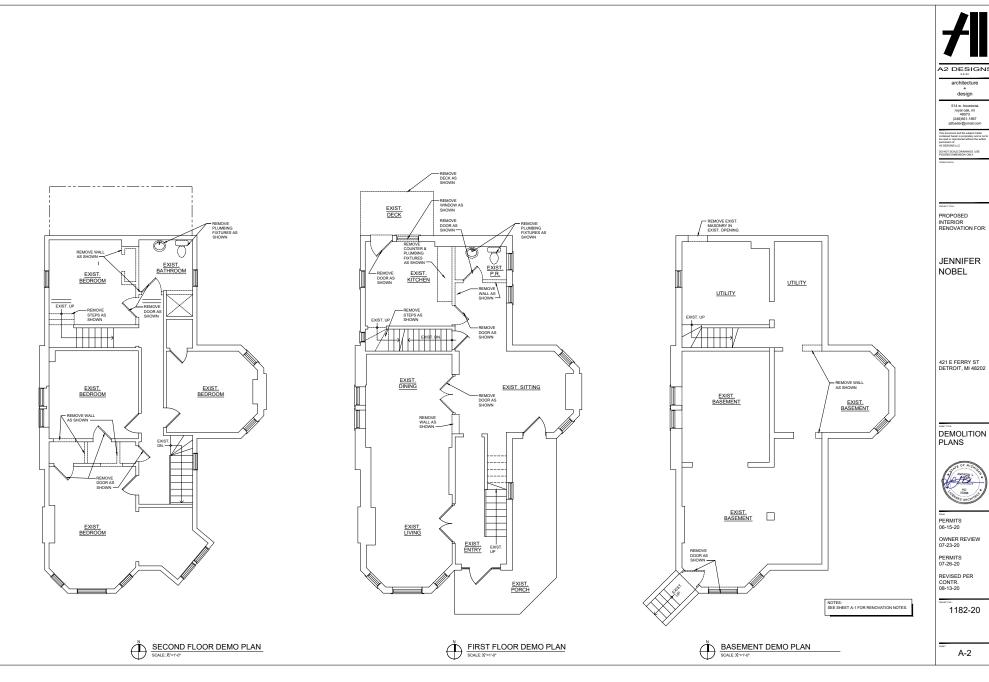
PROVIDE ONE REPRODUCIBLE DRAWING SET AND ONE PRINT SET OF SHOP DRAWINGS FOR REVIEW, PROVIDE A SET OF APPROVED SHOP DRAWINGS TO THE LOCAL BUILDING DEPARTMENT.

3. NOTES ON SUBMITTED SHOP DRAWINGS FOR WORK "BY OTHERS" CANNOT BE RESPONSIBLY APPROVED BY THE ARCHITECT OR ENGINEER. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE RESPONSIBILITY FOR MATERIALS, CONNECTION ADDITIONAL SHOP DRAWINGS, ETC. PRIOR TO SHOP DRAWING SUBMITTAL TO TH ARCHITECT PENSINEER.

V.I.F. - VERIFY IN FIELD STD. - STANDARD RP - RASEPI ATE O.C. - ON CENTER D. - DEEP ABV. - ABOVE C.T. - CERAMIC TILE Ø - DIAMETER MATE - MATERIAL E.D., ELECTRICAL DANIEL S.T., STONE THE U.O.N. - UNLESS OTHERWISE REQ'D - REQUIRED M.T. - MARBLE THRESHOLD HDWD - HARDWOOD MER - MANUFACTURER P.R. POWDER ROOM V T . VINYI TILE S&V - STAIN AND VARNISH WD - WOOD T&B - TOP AND BOTTOM W.C. - WATER CLOSET (TOILET) PTD - PAINTED PLWD. - PLYWOOD T&G - TONGUE AND GROOVE CONT. - CONTINUOUS V.T.O. - VENT TO OUTSIDE SIM. - SIMILAR P.T. - PRESSURE TREATED EQ. - EQUAL (FOR DIME)

T.M.E. - TO MATCH EXISTING C- CENTER LINE

M.L. - MICROLAM



PROPOSED INTERIOR RENOVATION FOR:

421 E FERRY ST DETROIT, MI 48202



A-2



ELECTRICAL GENERAL NOTES

1. SURFACE MOUNT, SCONCE AND PENDANT LIGHT FIXTURES. PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. ALL OTHERS SUPPLIED AND INSTALLED BY CONTRACTOR.

- PROVIDE CARRON MONOXIDE DETECTORS AS REQUIRED PER CODE
- USE SLOPED CEILING HOUSINGS FOR RECESSED LIGHTS IN SLOPED CEILINGS.
- LEAVE CLEARANCE FOR ±5" WIDE DOOR AND WINDOW CASING AT SWITCHES AND OUTLETS. VERIFY LOCATION OF SWITCHED OUTLETS WITH OWNER.
- SMOKE DETECTORS. INSTALL AS PER CURRENT MICHIGAN RESIDENTIAL BUILDING CODE. INSTALL IN THE MIMEDIATE VICINITY OF BEDROOMS, IN ALL BEDROOMS AND AT EACH STORY INCLUDING BASEMENT AD ATTIC, ALL SMOKE DETECTORS SMALL BE INTERCONNECTED WITH ACP FRIMARY SOURCE AND BATTERY BACKUP.
- ALL RECESSED FIXTURES TO BE JUNO OR EQUAL UNLESS OTHERWISE NOTED.
- PROVIDE OUTLETS OR POWER AS REQUIRED FOR ALL EQUIPMENT / APPLIANCES SHOWN
- USE FOR 3-WAY LOCATIONS LUTRON AY-803P OR EQUAL. FOR SINGLE POLE LOCATIONS USE LUTRON AY-800P OR EQUAL.
- ALL SWITCHING TO BE ON DIMMERS EXCEPT FANS, FLUORESCENT LIGHTS, CLOSET LIGHTS AND EXTERIOR SPOTS, UNLESS OTHERWISE SPECIFIED BY OWNER.
- SWITCHES 32" AFF, CONTRACTOR TO VERIFY HORIZONTAL POTION ON WALL W/ RESPECT TO OWNER'S FURNITURE LOCATION.
- WALL DUPLEX OUTLETS ARE SHOWN ON PLAN TO DENOTE SPECIFIC OUTLET LOCATIONS DESIRED. ADDITIONAL OUTLETS SHALL BE PROVIDED, SPACED AS REQUIRED BY CODE.
- VERIFY ALL LIGHTING AND POWER REQUIREMENTS WITH OWNER.

SMOKE DETECTOR

Пом

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EXHAUST	FAN - VENT TO OUTSID	E USE INSULATED (DUCT WORK IN
ATTIC SP	ACES PANASONIC FV07	VQ2 (70 CFM) OR E0	. FOR POWDER
ROOMS V	WOUT SHOWER OR TUE	3. PANASONIC FV11	VQ2 (110 CFM) OI
EQ. FOR I	BATHROOMS W. SHOWE	R OR TUB.	

W	NDOW SCHEDULE				
CODE	SIZE (R.O.)	QTY.	DESCRIPTION	REMARKS	HEAD HEIGHT
(A)	30 ½"x40½"	2	SCD2940 DOUBLE HUNG	-	±6'-11" T.M.E. ADJACENT DOOR
(EX)	EXISTING TO REMAIN				

- WINDOW NOTES:

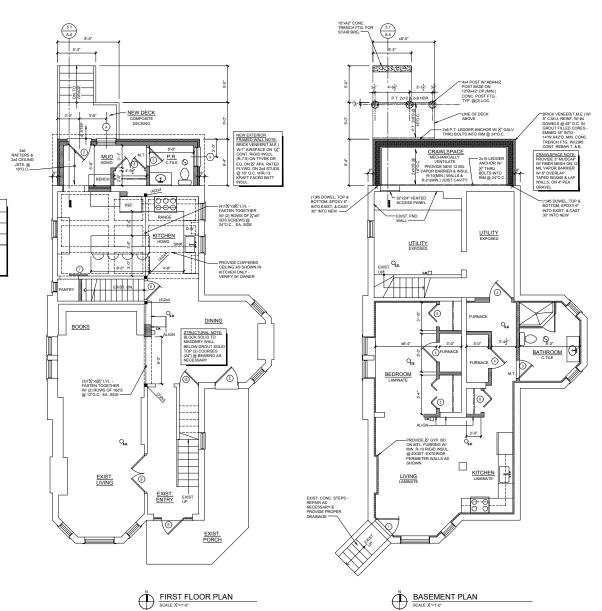
 1. ALL WINDOWS ARE TO BE "JELD-WEN" SITELINE SERIES CLAD-WOOD WINDOWS OR EQ.
 2. SEE ELEVATIONS FOR LOCATIONS AND OFFRATION.

 3. ALL WINDOW HARDWARE, SCREEN AND JAMBI LINERS AND EXTERIOR CLADDING TO MATCH EXISTING UNLESS.
- OTHERWISE NOTED.
 GENERAL CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES W/ WINDOW SUPPLIER.

DC	OOR SCHEDULE			
CODE	SIZE	QTY.	DESCRIPTION	REMARKS
①	3'-0" x 6'-8"	1	FIBERGLASS ENTRY	VERIFY W/ OWNER
2	2'-8" x 6'-8"	1	METAL DOOR W/ HALF GLASS	VERIFY W/ OWNER
3	2'-6" x 6'-8"	4	WOOD	VERIFY W/ OWNER
④	2'-8" x 6'-8"	3	WOOD	VERIFY W/ OWNER
(5)	(2)2'-0" x 6'-8"	1	DBL. BI-FOLD WOOD	VERIFY W/ OWNER
6	3'-0" x 6'-8"	4	BI-FOLD WOOD	VERIFY W/ OWNER
0	2'-6" x 6'-8"	1	WOOD SLIDING DOOR	VERIFY W/ OWNER
(3)	(2)2'-0" x 6'-8"	1	DOUBLE WOOD	VERIFY W/ OWNER
9	2'-8" x 6'-8"	1	WOOD POCKET DOOR	VERIFY W/ OWNER
10	±2'-6" x ±8'-0"	1	WOOD DOOR IN EXIST. OPENING TO MATCH ADJACENT DOOR	VERIFY W/ OWNER
①	2'-6" x 6'-8"	1	WOOD POCKET DOOR	VERIFY W/ OWNER
DOC 1. 2. 3. 4.	OR NOTES: FINISHED TO BE VERIFIE FINAL DOOR SELECTION INSTALL DOOR STOPS A ALL GLASS IN DOORS TO	BY O	WNER. DOORS. OWNER TO SPEC. S'	TYLE AND TYPE.

- ALL WINDOWS ABOVE BATH TUB TO BE TEMPERED.
- DOORS TO BE FLASHED PER SECTION R703.4 OF THE CURRENT EDITION OF THE MICHIGAN RESIDENTIAL CODE.
- 4. ALL GLASS IN DOORS TO BE TEMPERED.
- BUILDER TO PROVIDE CITY DOCUMENTATION OF DOOR COMPLIANCE WITH THI MICHIGAN UNIFORM ENERGY CODE.

- NOTES:
 1. PROVIDE SOLID BRG. UNDER ALL HEADER & GIRDER LOCATIONS.
- PROVIDE NEW X_2^{\bullet} GYP. BD. ON ALL EXISTING STUD WALLS AND CEILINGS
- PROVIDE INSULATION @ EXISTING ROOF AND EXTERIOR WALLS TO BE NEWLY ENCLOSED. CONTRACTOR TO VERIFY.
- ALL NEW INTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C. W/ X2" GYP. BD.
- ALL FINISHES TO BE VERIFIED W/ OWNER.
- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS





design

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O NOT SCALE DRAWINGS, USE IGURED DIMENSION ONLY.

PROPOSED INTERIOR RENOVATION FOR:

JENNIFER NOBEL

421 E FERRY ST DETROIT, MI 48202

BASEMENT & FIRST FLOOR **PLANS**



PERMITS 06-15-20

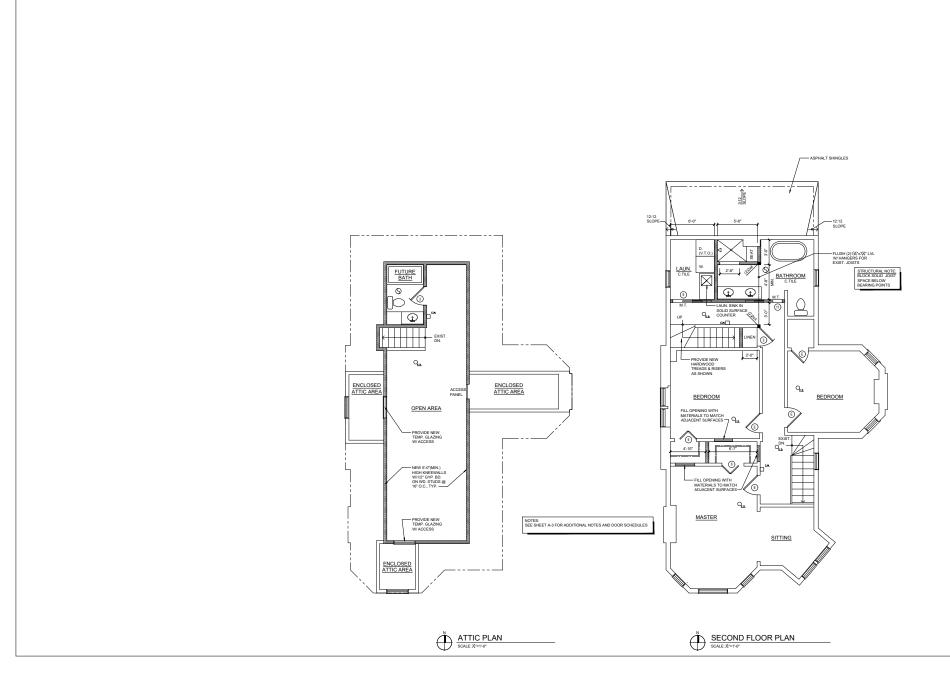
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PROPOSED INTERIOR RENOVATION FOR:

JENNIFER NOBEL

421 E FERRY ST DETROIT, MI 48202

SECOND FLOOR & ATTIC PLANS



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