



**PLANNING AND
DEVELOPMENT DEPARTMENT**

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SR-2 – ADVISORY STAFF REPORT (06-05-2026)

This advisory report, prepared by staff, represents the opinion and advice of professional staff, and does not represent nor direct the separate review and decision of the Historic District Commission. This report serves as an addendum to SR-1, an objective staff summary of the proposal and property.

ADDRESS: 19583 SHREWSBURY

MEETING DATE: 06-10-2026

APPLICATION NUMBER: HDC2026-00210

ADVISORY STAFF REPORT PREPARED BY: B. SALIE

STAFF OBJECTIONS TO APPROVAL: *This first section describes itemized conclusions/concerns, which, in staff's professional opinion, would prevent the issue of an unconditional Certificate of Appropriateness (COA). "None" means staff has no objections and believes a COA is warranted, with no conditions. The Historic District Commission is not required to accept staff opinions or recommendations.*

1. The bright white color is typically not a compatible color type for houses within the district. The window system shall be finished with colors that are compatible within the Historic Districts' Color Chart System, subject to staff approval.

STAFF ANALYSIS AND DISCUSSION: *This second section expands on the reasoning and analysis leading to staff's conclusions given in the first section above. The Historic District Commission is not required to accept staff opinions or recommendations.*

- Sherwood Forest was designated as a historic district in 2002.
- The white windows which surround the historic-age house were installed prior to the district's designation. Since the windows were replaced prior to the district's designation, they are not under violation of the district's standards. Still, it must be noted that these windows are not necessarily compatible with the district's standards.



Photo taken by staff on 05/28/2026



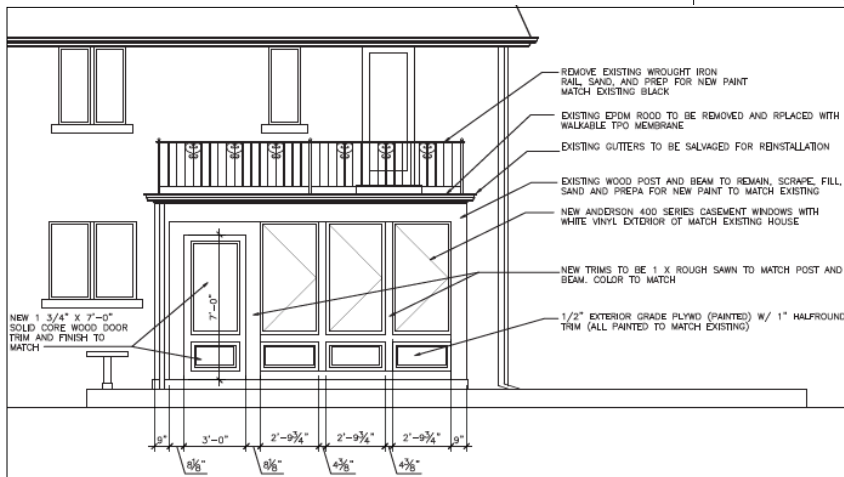
Designation Photo 2002



Photo taken by staff on 05/28/2026

Sanborn Map Volume 16, 1926, August 2002

- Building Permit Cards and Sanborn Maps show no evidence that the rear sun porch is of historic age. However, based on Google Street View images that date back to 2009, and an analysis of the design/condition, it is staff's assessment that the construction of the sun porch pre-dates the district's designation.
- It is staff's opinion that the replacement window system generally appears to be compatible with the contemporary sun porch attached to the rear of the house.



Drawing (LEFT) & Photo provided by applicant



- However, any new windows and additions should adhere to the district’s standards and should not attempt to match the existing windows which are incompatible with the district.
 - Per Standard 9, the new work shall be compatible with the architectural features to protect the historic integrity of the property and its environment.
 - This includes the district’s color system guidelines.

*Relationship of colors. Natural brick colors, such as red, yellow, brown, or buff, predominate in wall surfaces. When brick is painted, it is in white or shades of cream. Natural stone colors also predominate; where stucco or concrete exists, it usually remains in its natural state, or is painted in a shade of cream. Roofs are in natural slate colors, and asphalt shingles are predominantly within this same dark color range. **Paint colors often relate to style. The buildings derived from classical precedents, particularly those of Classical styles, generally have woodwork painted in the white or cream range.** English Revival style buildings generally have painted wood trim and window frames of dark brown, gray, buff or shades of cream, depending on the main body color. Half timbering is most frequently stained or painted dark brown. Stained glass, where it exists as decoration visible on the front façade, contributes to the artistic interest of the building. The original colors of any building, as determined by professional analysis, are always acceptable for a house, and may provide guidance for similar houses. Colors used on garages should relate to the colors of the main dwelling.*

- It is staff’s opinion that the existing dark taupe/olive color will be more compatible with the historic age house, as it compliments the house’s original limestone work.

STAFF RECOMMENDATION:

This third and final section takes staff’s itemized “objections” identified in the first section, and presents them in the form of “conditions” in support of a proposed approval recommendation or “reasons” in support of a proposed denial recommendation, in the form required by Section 21-2-78 of the City Code. The Historic District Commission is not required to accept staff opinions or recommendations.

Section 21-2-78, Determinations of Historic District Commission

Recommendation 1 of 1, Certificate of Appropriateness: Replace window system at rear sun porch

Staff recommends that the proposed work will be appropriate according to the Secretary of the Interior’s Standards for Rehabilitation and the Sherwood Forest Historic District’s Elements of Design, with the condition that:

1. The window system shall be finished with colors that are compatible within the Historic Districts’ Color Chart System, subject to staff approval.