



**PLANNING AND
DEVELOPMENT DEPARTMENT**

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SR-2 – ADVISORY STAFF REPORT (05-08-2026)

This advisory report, prepared by staff, represents the opinion and advice of professional staff, and does not represent nor direct the separate review and decision of the Historic District Commission. This report serves as an addendum to SR-1, an objective staff summary of the proposal and property.

ADDRESS: 405 E. FERRY STREET

MEETING DATE: 05-13-2026

APPLICATION NUMBER: HDC2026-00200

ADVISORY STAFF REPORT PREPARED BY: B. SALIE

STAFF OBJECTIONS TO APPROVAL:

This first section describes itemized conclusions/concerns, which, in staff's professional opinion, would prevent the issue of an unconditional Certificate of Appropriateness (COA). "None" means staff has no objections and believes a COA is warranted, with no conditions. The Historic District Commission is not required to accept staff opinions or recommendations.

1. The existing slate tile does not appear to be deteriorated beyond repair.
2. The DaVinci Inspired slate tiles, made of a polypropylene base of product, are not a compatible replacement for a slate tile gable end roof. The replacement tiles should match the existing in size, shape, color, texture, exposure, and coursing.
 - a. Vinyl and poly-products offer a plasticity and flat/thick appearance that does not adequately match the profile/dimensionality, authenticity, and appearance of historic slate tiles.
3. No color swatch for the paint was submitted, therefore the color must be analyzed. The wood window's trim and sashes shall be finished with colors that are compatible within the Historic Districts' Color Chart System, subject to staff approval.

STAFF ANALYSIS AND DISCUSSION: *This second section expands on the reasoning and analysis leading to staff's conclusions given in the first section above. The Historic District Commission is not required to accept staff opinions or recommendations.*

- East Ferry Avenue was designated as a historic district in 1981.
- The existing slate gable ends are a distinctive character-defining feature of the 1895 residential building.

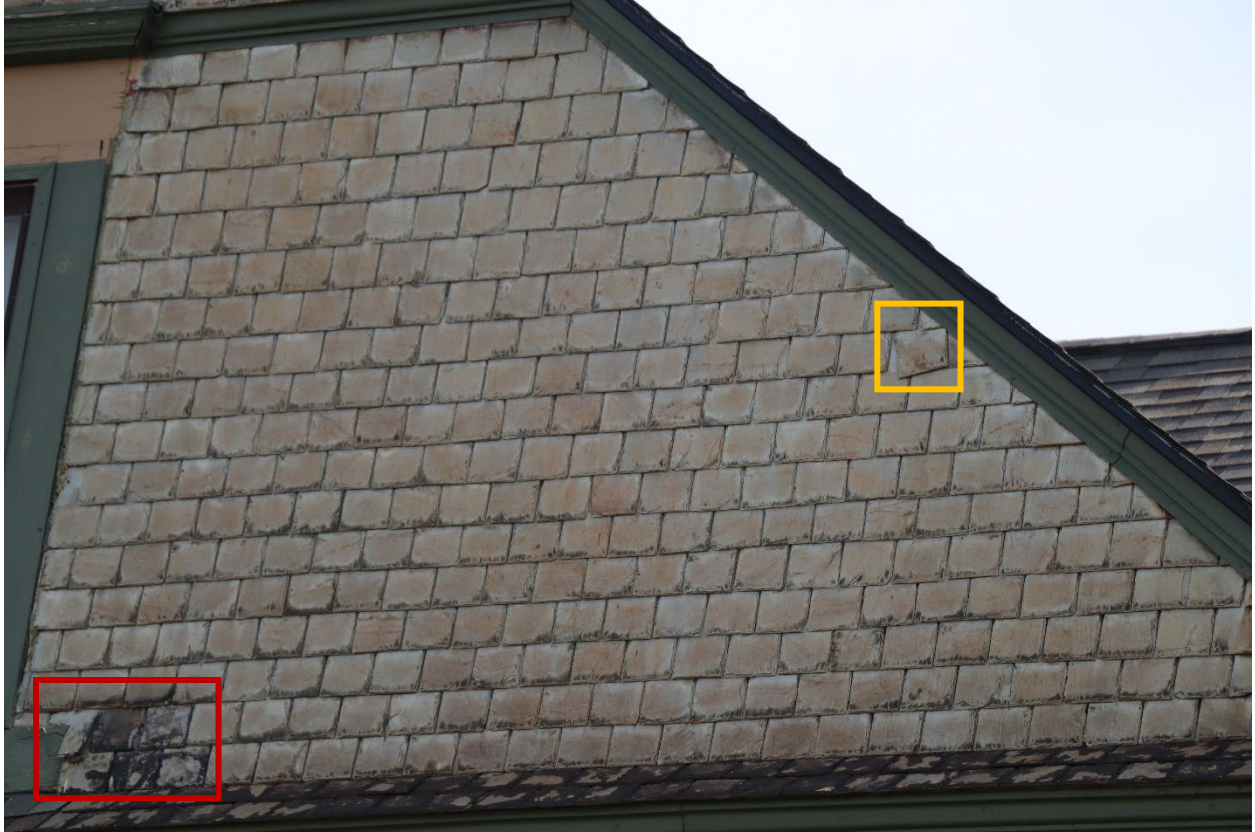
*Designation Photo July 1981,
shows the slate tile gable end*



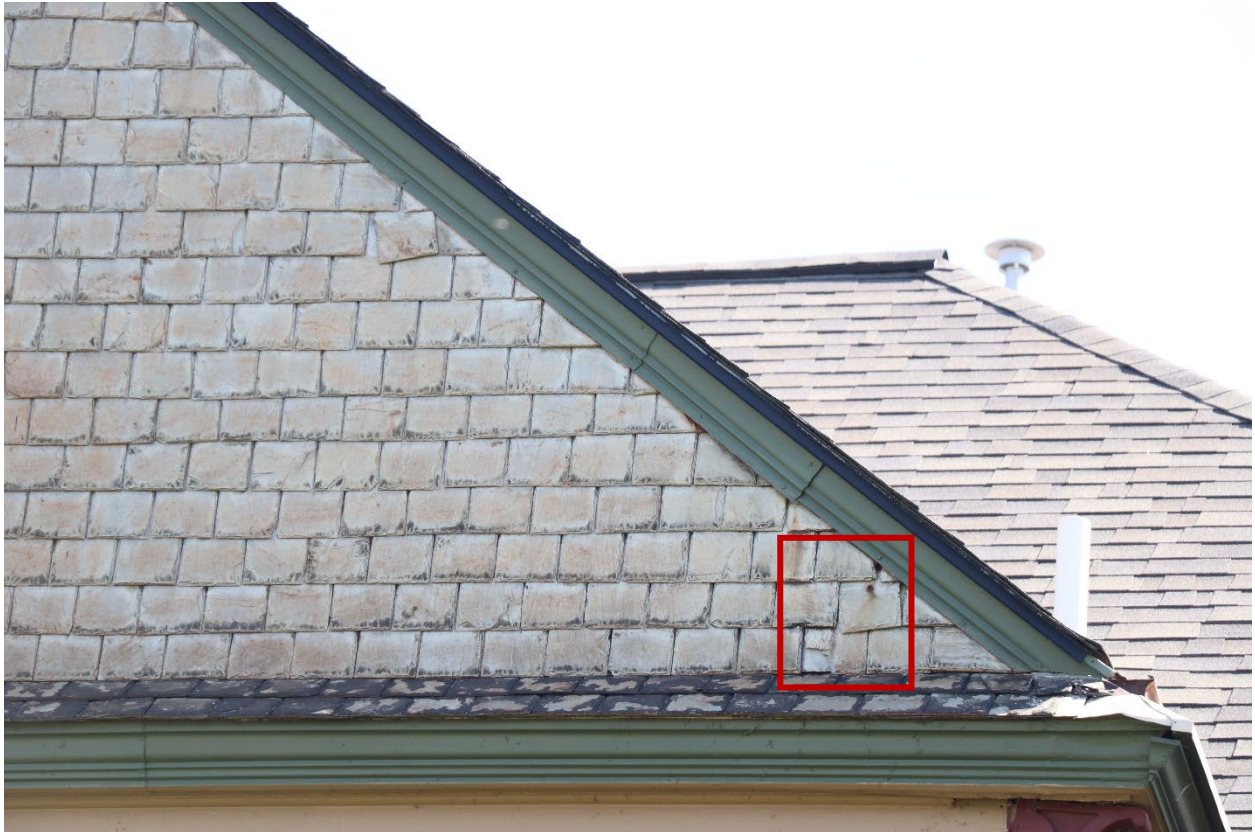
- The proposed slate tile replacement occurs at the southwest facing side and north-east facing gable ends.
- The south-west facing gable, which can be viewed from Brush Street, has experienced decay which includes rusted nails, slipping tiles, and areas that have been completely replaced (as seen at the fascia). The area below the wood window sill has been replaced with asphalt shingles. The applicant is proposing to correct this with the DaVinci Inspired slate tile as well.
 - It is unclear to staff, as staff has no record of approval, when these replacement tiles were installed. Still, the gable end retains many of its original historic-age slate tiles.
- The north-east facing gable, which faces the neighboring residential building at 411-423 East Ferry, appears to have deteriorated more than the south-west end, showing areas of missing slates which have presumably slipped and fallen. There are also select areas of replacement slate tiles which appear to contrast the existing in size and color.
- It is typical of slate tiles to have a lifespan of 60-100 years, but when properly maintained, can exceed a lifespan of 200 years (*Ref. NPS Preservation Briefs; The Repair, Replacement, and Maintenance of Historic Slate Roofs*)
 - The slate tile gable ends, at 405 East Ferry, may be coming on 130 years.



South-West facing gable end, facing the Brush Street side, shows areas of deterioration, rusted nails, slipping tiles, as well as a few areas of replaced tiles (see detailed photos on next page)



Photos taken by staff on 05/04/2026 (south-west facing gable end)





Photos taken by staff on 05/04/2026 (south-west facing gable)





Photos taken by staff on 05/04/26 (Above: south-west facing gable, Below: north-east facing gable)





Photos taken by staff 05/04/26 (north-east facing gable end)

- Per the Secretary of Interior's Standards for Rehabilitation:
 - 2) *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
 - 5) *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
 - 6) *Deteriorated historic features shall be repaired rather than replaced. **Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old***

in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

- It is Staff's opinion that the existing slate tile does not appear to be deteriorated beyond feasible repair.
- Staff recommend that the slate tile gable end should be evaluated for selective repair as opposed to the full replacement of the historic-age slate tile roof.
- The National Parks Service Preservation Brief gives detailed guidelines on the repair and replacement of slate tile installations. Where possible, these repair methods should be attempted before a total replacement is conducted.



Image: DaVinci Inspired slate tile replacements

- However, should the Commission elect to approve the removal of the historic slate tiles, replacement tiles should match the existing in size, shape, color, texture, exposure, and coursing.
- The replacement clearly differentiates in color from the historic slate tile and creates a false sense of the historic slate tile.
- Per the National Parks Service Preservation Brief Guidelines for *The Repair, Replacement, and Maintenance of Historic Slate Roofs*:

It is usually wise to salvage slates when only a portion of the roof is to be replaced. In this way, the salvaged slates may be used for future repairs to the remaining sections of the roof.

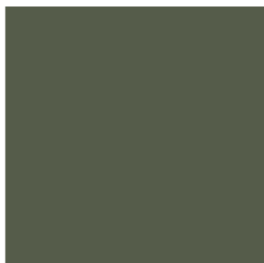
- Where possible, slates that are in relatively good condition must be salvaged for future use. Due to the large number of slates that appear to remain in good condition, it would be advisable to salvage slates for future repairs, should future tenants decide to revive the slate tile gable ends.

Size, shape, color, texture, exposure, and coursing are among the most important characteristics of the original slates which should be documented and matched when repairing or replacing an historic slate roof.

- Clear and thorough documentation of the existing slate must be made before the removal and replacement of the slate tiles. Should it be replicated in the future, the future homeowner should have the ability to replicate with historic accuracy.

PAINT

- Based on the designation photo from 1981 (*image on the right*), it is unclear to staff what the window trim and sash colors may have been at designation.
- 405 East Ferry, which was built in the Queen Anne/ Colonial revival style, must adhere to the HDC Color Chart System B.
- While a paint color sample has not been provided for the “emerald” color, the wood window paint colors should follow the table (shown below).
- Other colors off the chart can be approved by staff. No color swatch for the paint was submitted, therefore the color must be analyzed.
- Staff recommend the color B:11 Grayish Olive Green at the window trim, which may be close to the applicant’s desired color.



B:11 Grayish Olive Green
MS: 5GY 4/2



B:12 Grayish Green
MS: 10G 4/2

TRIM	SASH
Any System B Color	Match trim color or A:9, B:12, B:18, B:19
Any System B Color	Match trim color or A:9, B:12, B:18, B:19
Any System B Color darker than the brick or stone body, ESPECIALLY B:6, B:8, B:11, B:18	Match trim color or A:9, B:12, B:18, B:19

STAFF RECOMMENDATION:

This third and final section takes staff’s itemized “objections” identified in the first section, and presents them in the form of “conditions” in support of a proposed approval recommendation or “reasons” in support of a proposed denial recommendation, in the form required by Section 21-2-78 of the City Code. The Historic District Commission is not required to accept staff opinions or recommendations.

Section 21-2-78, Determinations of Historic District Commission

Recommendation 1 of 2, Denial: Replace slate tile at gable ends

Staff recommends that the proposed work will be inappropriate according to the Secretary of the Interior's Standards for Rehabilitation and the East Ferry Avenue Historic District's Elements of Design, specifically:

- 2) *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
- 5) *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
- 6) *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
- Elements of Design (#7, 8, 9, &19)

For the following reasons;

1. The existing slate tile does not appear to be deteriorated beyond repair.
2. The DaVinci Inspired slate tiles, made of a polypropylene base of product, are not a compatible replacement for a slate tile gable end roof. The replacement tiles should match the existing in size, shape, color, texture, exposure, and coursing.
 - a. Vinyl and poly-products offer a plasticity and flat/thick appearance that does not adequately match the profile/dimensionality, authenticity, and appearance of historic slate tiles.

Recommendation 2 of 2, Certificate of Appropriateness: Paint

Staff recommends that the proposed work will be appropriate according to the Secretary of the Interior's Standards for Rehabilitation and the East Ferry Avenue Historic District's Elements of Design, with the condition that:

1. The wood window's trim and sashes shall be finished with colors that are compatible within the Historic Districts' Color Chart System, subject to staff approval.