



**PLANNING AND  
DEVELOPMENT DEPARTMENT**

Coleman A. Young Municipal Center  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Phone 313•224•1339  
www.detroitmi.gov

**SR-2 – ADVISORY STAFF REPORT (04-07-2026)**

*This advisory report, prepared by staff, represents the opinion and advice of professional staff, and does not represent nor direct the separate review and decision of the Historic District Commission. This report serves as an addendum to SR-1, an objective staff summary of the proposal and property.*

**ADDRESS:** 1000 ST. ANNE AND 2635 W LAFAYETTE

**MEETING DATE:** 04-08-2026

**APPLICATION NUMBER:** HDC2026-00107

**ADVISORY STAFF REPORT PREPARED BY:** E. THACKERY/J ROSS

**STAFF OBJECTIONS TO APPROVAL:**

*This first section describes itemized conclusions/concerns, which, in staff's professional opinion, would prevent the issue of an unconditional Certificate of Appropriateness (COA). "None" means staff has no objections and believes a COA is warranted, with no conditions. The Historic District Commission is not required to accept staff opinions or recommendations.*

1. Within churches/basilicas, chapels are traditionally smaller, more intimate spaces meant to accommodate quiet repose, personal reflection, and small religious services. As such, a chapel's interior detailing is typically subordinate to that of the church's main interior space. With respect to the chapel wing of the basilica, note that its current unadorned white walls and ceilings, window and door surrounds, wood wainscoting, and light fixtures are distinctive, character-defining features which should be retained because they function to reinforce a more subdued esthetic of the space when compared to the main church's more ornate detailing. The project proposes elaborate elements that largely mimic detailing found within the main church's interior, which would disrupt the historic visual relationship between the two spaces. Also, the proposed new elements are conjectural and could be mistaken as original to the building.
2. The application notes that the three historic wood windows at the second floor, 2-story portion of the basilica (sacristy) proposed for replacement display wood tracery and are visible from public sidewalk/street. The application further states that the windows are in non-repairable condition and is therefore proposing an in-kind replacement. However, the submission does not include the level of documentation necessary for staff to ascertain that the windows are deteriorated beyond repair. Also, the application does not provide dimensioned drawings of typical existing conditions at these historic windows and the proposed new replacement units so that staff might ascertain if the replacement windows would adequately match the existing
3. The masonry foundations at the Rectory, Basilica/church building, and Convent/Wellness Center are character defining as they extend above grade to represent a significant element of each of the building's facades. The addition of opaque infill within window openings at these locations will detract from the distinctive, character-defining expression of each of the building's historic fenestration openings within the foundation wall.
4. The garage proposed for demolition contributes to the district
5. The submitted documentation of the Rectory's and Parish Hall's distinctive, historic character-

defining wood windows which are proposed for replacement do not adequately establish that they are deteriorated beyond repair. Also, the application does not provide dimensioned drawings of typical existing conditions at the historic windows which are proposed for replacement. It is therefore unclear if the proposed new units would present an adequate match to the existing.

6. With respect to the connector and screen wall addition proposed for the Parish Hall, additional information/dimensioned drawings and product cutsheets are needed in order to determine the compatibility of this work item. Specifically, the staff notes that the application is lacking in details re: the dimensions, materials and footprint of the new wall and addition. Also, it is also not clear how the addition and wall will interact with Parish Hall and the Rectory building
7. The application does not present documentation of the condition of the historic brickmould which exists beneath the aluminum panning of the Wellness Center/Convent's windows. As such, it is unclear if the removal/replacement of this historic feature would be merited.
8. The application does not include the level of documentation necessary to ascertain the significance and condition the two historic wood dormer windows at the Wellness Center/Convent's roof which are proposed for replacement
9. The application proposes to install two new urethane/synthetic columns at the front porch, second story of the Parish Hall, to replace the missing columns which were originally present at that location. The design of the columns will be based upon a photo of building obtained from the property's National Register of Historic Places (NRHP) nomination, which was completed in 1976. However, note that product cut sheets for the columns have not been included with the current submission materials.

#### **STAFF ANALYSIS AND DISCUSSION:**

*This second section expands on the reasoning and analysis leading to staff's conclusions given in the first section above. The Historic District Commission is not required to accept staff opinions or recommendations.*

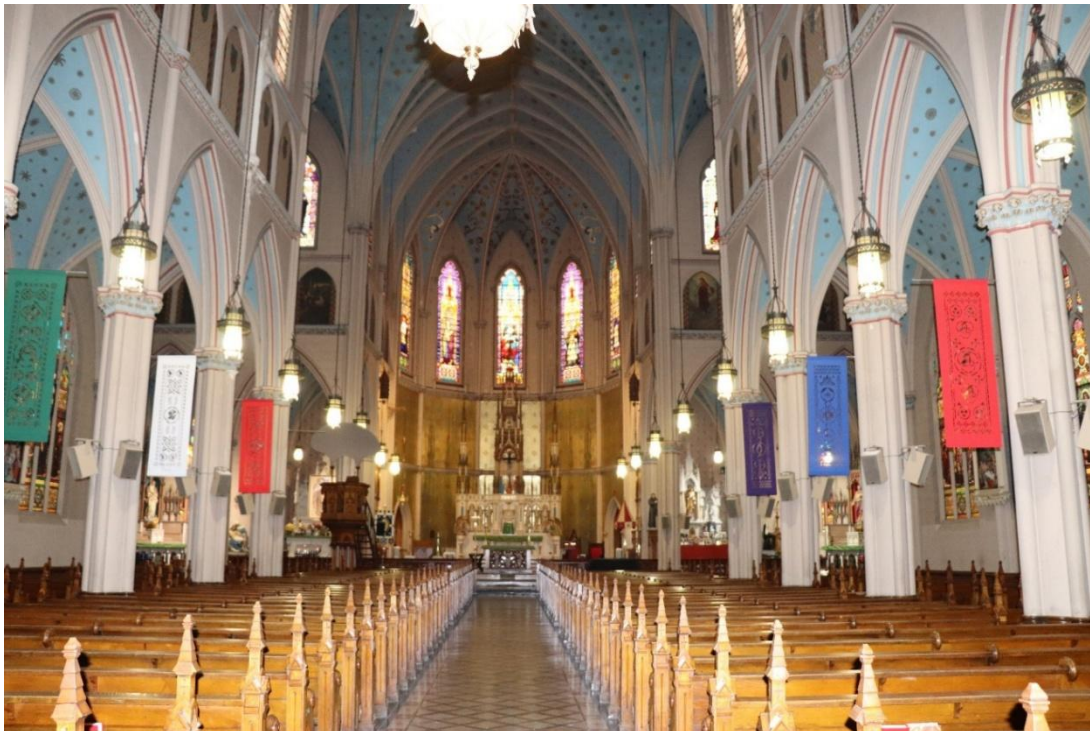
- The Ste. Anne's Parish Complex is the subject a multi-year, multi-million dollar, campus-wide rehabilitation project, to include work at five buildings within the local historic district boundaries and the non-historic age plaza to the north of/outside of the district boundaries. See the below annotated aerial map which indicates the boundaries of the Ste. Anne's Parish Complex Historic District, the buildings and spaces which are the subject of the current application, and the location of the complex's plaza which is to the north of/outside of the district boundaries



- 1: Plaza in front of the cathedral, outside the historic district/not included in this application's scope
- 2: Basilica/Church & 3: Chapel – Erected in 1886
- 4: Garage – Erected in 1923
- 5: Rectory – Erected in 1886
- 6: Parish Hall – Erected in 1898
- 7: Former Convent/ current Wellness Center – Erected in 1889

Staff-created diagram of buildings and spaces included in the current application. (Source: Google map with staff labels) The red outline indicates the historic district's boundary. The buildings numbered 2-7 are the subject of the current application while the area to the north of the district, numbered 1 is not included in the application's scope.

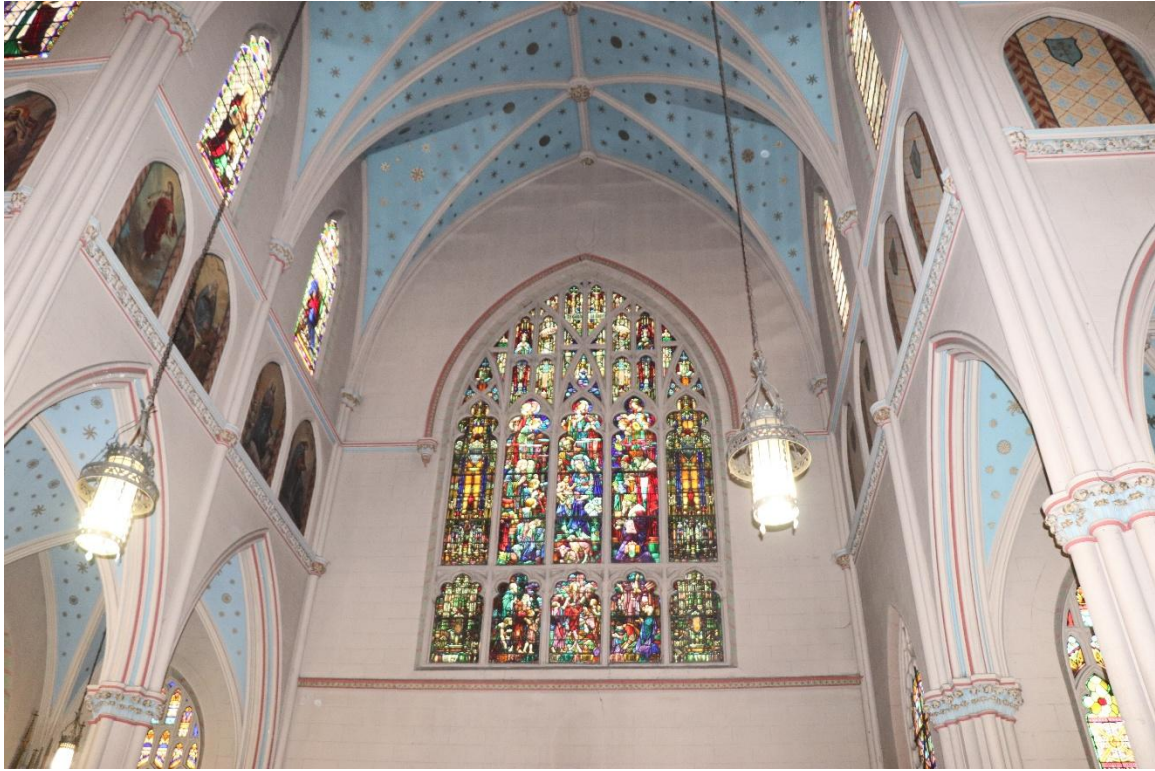
- Staff also notes that certain interior spaces within the Ste. Anne's Basilica/church building itself are included in the district's designation and therefore are subject to the same level of HDC review and consideration as the building's exterior (see the below photos). Specifically, per the district's ordinance/Elements of Design, the interior areas of the basilica building which are subject to HDC regulation include "...those spaces normally open to or seen by the public including..."
  - The narthex (or vestibule), nave, side aisles, transepts, chancel, bases of towers, chapel, choir loft, side altar, and main altar apses or chapels.



Basilica's interior. Photo taken by staff



**Basilica's interior. Photo taken by HDC staff**



**Basilica's interior. Photo taken by HDC staff**

- As noted above, the applicant is seeking the Commission’s approval to undertake an expansive rehabilitation project at the site, to include five buildings within the district’s boundaries. It is staff’s opinion that *the majority* of the application’s proposed scope items merit the Commission’s approval as much of the work seeks to:
  - Remove non-historic, non-distinctive building fabric
  - Replace non-historic, non-distinctive building fabric with compatible elements or elements which are an in-kind match to the original
  - Repair distinctive, historic, character-defining features using in-kind materials to match the existing
  - Replace distinctive, historic, character-defining features which have been demonstrated to be deteriorated beyond repair with new to match the existing
  - Restore missing distinctive, historic, character-defining features to match the historic elements
- However, staff does provide the following observations and recommendations with respect to a number of work items which merit more in-depth discussion due to **missing information, the proposed replacement of historic elements, or proposed work that does not conform to the Secretary of the Interior Standards and/or Elements of Design for the district**. Staff also provides a description of the project’s proposed sitework as it is extensive and involves the installation of new elements within the complex.

**Ste. Anne Basilica/Church**

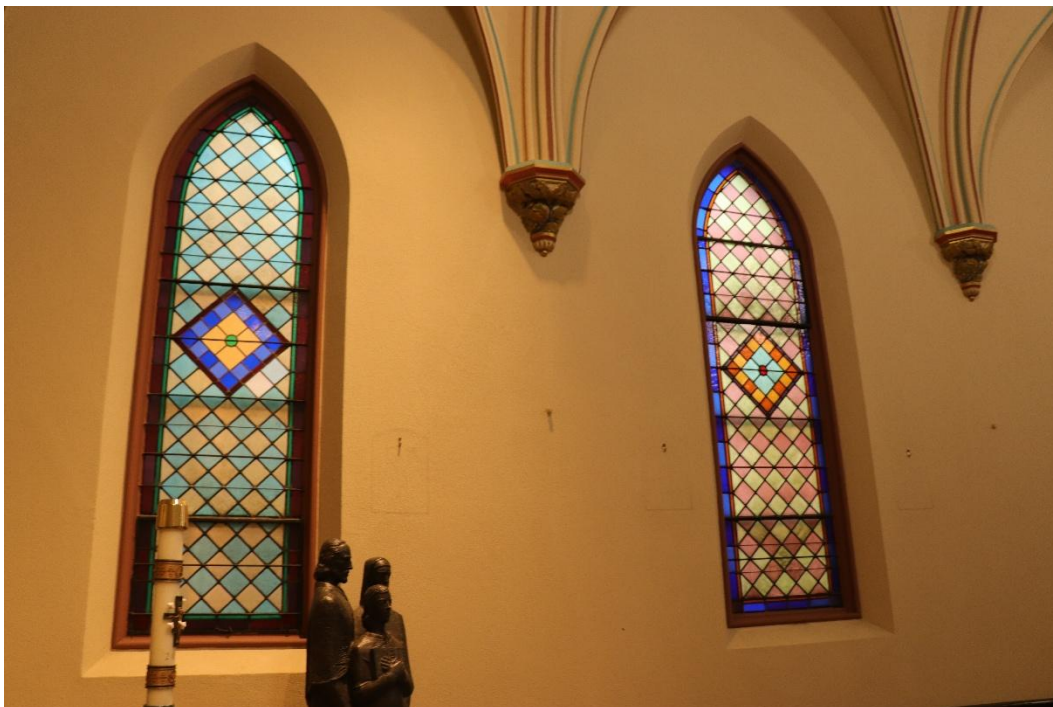
- The application proposes to undertake the following work items within the interior space of the chapel (see below photos and renderings):
  - Paint the white ceiling blue with yellow or gold, similar to the ceiling in the Church but using a darker blue
  - Remove the existing wood wainscoting. New wainscoting takes design cues from the organ enclosure and exterior buttress details would be installed in place of the old wainscoting, and would be taller at the east end, behind the altar.
  - Install new wood trim around existing window and door openings
  - Install new painted panels on the chapel’s north side walls to mirror the actual windows on the south side. Also, install wood trim (matching the trim proposed for the existing north wall doors and window openings) around the new panels
  - Replace existing ceiling lights with new lights similar to those in the Church



**View of the Chapel’s interior in its current condition, from the east end where the altar is, looking to the west. Note the blank north wall, white ceilings, modest light fixtures, and low wood wainscoting. Photo by staff**



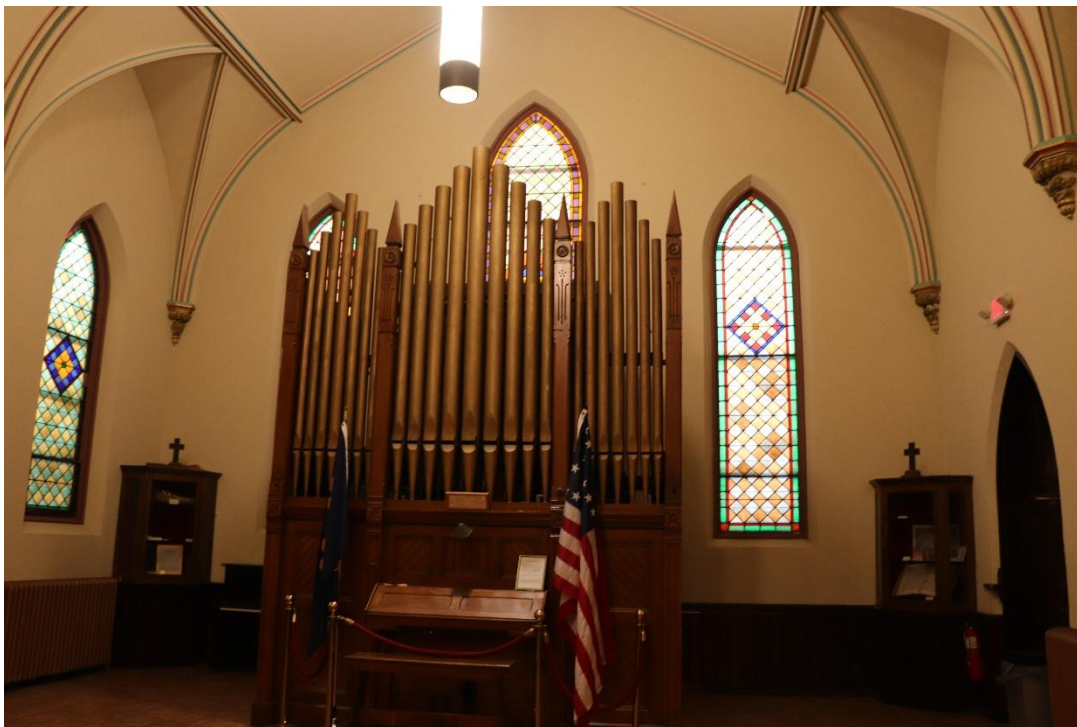
**Historic altar from the 1828 church building and relocated to the current Chapel. Note low wainscoting behind the altar and blank white walls. Photo by staff**



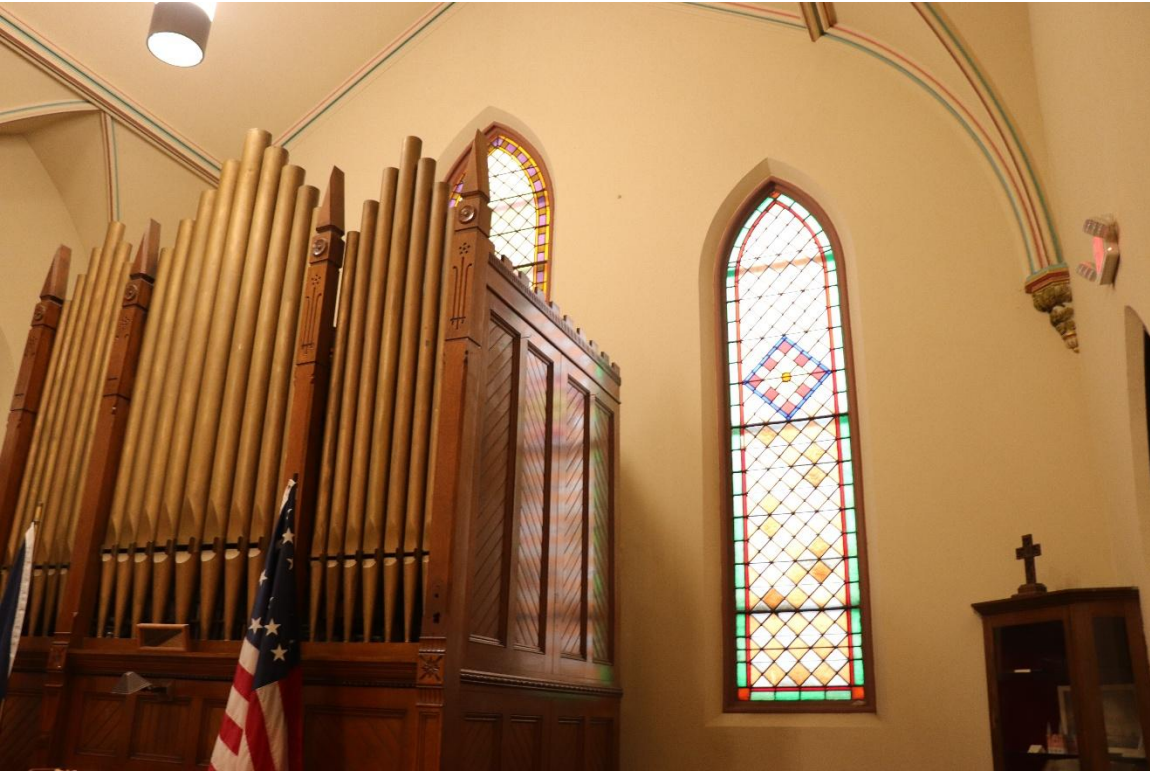
**South wall of the Chapel has pointed-arch windows. The north wall of the Chapel has no windows because it abuts the rest of the Church building to the north. Note lack of trim at wall around window openings. Photo by staff**



South wall of the Chapel has pointed-arch windows. Note low wood wainscoting and lack of trim at wall around window openings. Photo by staff



West end of the Chapel with stained glass windows and the organ. Note lack of trim at wall around window openings and low wood wainscoting. Photo by staff



The side of the enclosure for the organ at west end of the Chapel. Photo by staff



Ceiling detail, Chapel. Photo by staff



Father Gabriel Richard's tomb moved from the 1828 church, now located in the Chapel. Photo by staff



Proposed plan for the Chapel, south wall shown. (From the application materials). Note that the existing wainscoting is proposed to be replaced and new wood trim is proposed for installation around the windows and doors. The ceiling will also be painted, and new elaborate light fixtures will be installed



2 North Interior Elevation  
 P4 1/4" = 1'-0" SCALE

Proposed plan for the Chapel’s north wall, showing the painted panels and surrounding trim. The proposed taller and more ornate wainscoting, painted ceilings, and new light fixtures are also shown. (From the application materials)



3 East Interior Elevation  
 P4 1/4" = 1'-0" SCALE

Proposed treatment for behind the altar— new taller wainscoting specifically for this area is shown. (From the application materials)

- Note that the chapel’s interior space is included under the district’s designation and therefore, any work proposed within is subject to Commission review and approval/must meet the SOI Standards and comply with the district’s Elements of Design. It is staff’s opinion that all scope items proposed for the interior of the chapel

are inappropriate for the following reasons:

- Within churches/basilicas, chapels are traditionally smaller, more intimate spaces meant to accommodate quiet repose, personal reflection, and small religious services. As such, a chapel's interior detailing is typically subordinate to that of the church's main interior space. The chapel's current unadorned white walls and ceilings, window and door surrounds, wood wainscoting, and light fixtures are distinctive, character-defining features which should be retained because they function to reinforce a more subdued esthetic when compared to the main church's more ornate detailing. The project proposes elaborate elements that largely mimic detailing found within the main church's interior, which would disrupt the historic visual relationship between the two spaces. As the chapel space was intentionally included in the interior designation, it is staff's opinion that this relationship is one that is distinctive and character-defining and therefore must be maintained.
  - The proposed new wainscoting, ceiling paint, window and door trim, panel trim, and light fixtures are conjectural features/architectural elements that could be mistaken as original or historic elements, which does not align with the Standards.
  - Finally, Element of Design #10 notes that "detail of the other buildings conform to their styles and types." This Element specifically emphasizes the importance of the stylistic diversity of the buildings within the complex. Attempting to muddy the character of district buildings and spaces by introducing features from others is inconsistent with this.
- The application proposes to retain and restore all existing historic windows at the basilica building, with the exception of three windows at the second floor, 2-story portion of church (sacristy, see the below image). With respect to these historic windows:
    - The application notes that they are wood, display wood tracery, and are visible from public sidewalk/street. The application further states that the windows are in non-repairable condition and is therefore proposing and in-kind replacement. Staff notes that the submission only includes one photos to represent the condition of the three windows proposed for replacement and therefore concludes that the submission does not provide the level of information necessary to demonstrate that the units are deteriorated beyond repair. Also, the application does not provide dimensioned drawings of typical existing conditions at these historic windows and the proposed new units so that staff can ascertain if the replacement windows would adequately match the existing. Staff therefore cannot recommend approval of this scope item.



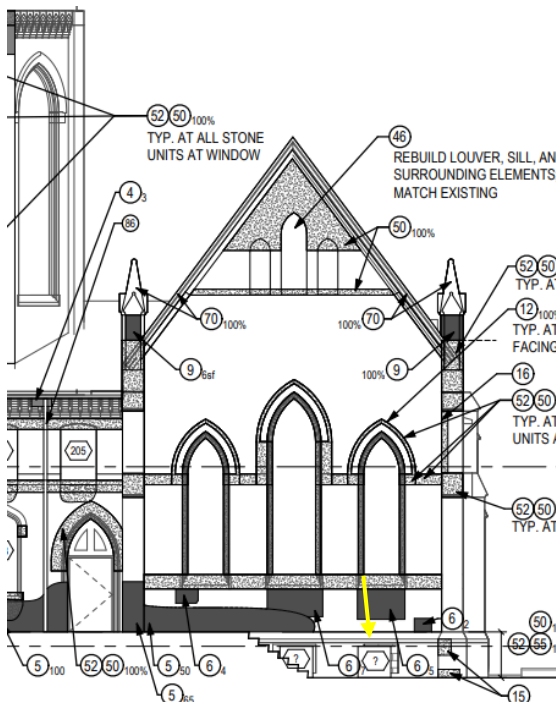
Google Streetview image. Three windows at basilica proposed for replacement, outlined in yellow

- The application proposes to infill six window openings at the chapel wing’s foundation. Staff notes that the building displays a character-defining, elaborately rusticated stone foundation wall which extends above grade and the addition of opaque infill will detract from the distinctive character-defining expression of the building’s historic fenestration openings within the foundation wall. See the photos of the openings to note the following [WINDOWS TO BE REPLACED CONDITIONS PHOTOS 1.pdf](#) (see pages 1-13 for photos of existing windows proposed for infill):
  - Four of the windows will be removed and replaced with louvered vents necessary to support the building’s HVAC systems. The vents will be recessed to maintain visual reading of the masonry opening. These openings are inconspicuously located on the south wall of the chapel wing. Staff supports this work item as it is necessary to accommodate for the building’s HVAC equipment and appears to be the least impactful location of the louvers
  - One of the window openings will be enclosed with masonry infill (4” rusticated face stone w/ CMU backup) recessed to maintain visual reading of the masonry opening. Note that this window opening is inconspicuously located on the south wall of the chapel wing, below grade, within a basement stairwell. Staff supports this work item as the opening is located below grade and hidden from view.
  - One of the window openings is proposed for infill with masonry (4” rusticated face stone w/ CMU backup) recessed to maintain visual reading of the masonry opening is in a highly visible location at the west façade of the chapel wing (see below). It is currently enclosed with an incompatible plywood panel (window 005). The proposed treatment for this window is not recommended by staff because the window opening is in a conspicuous location of the

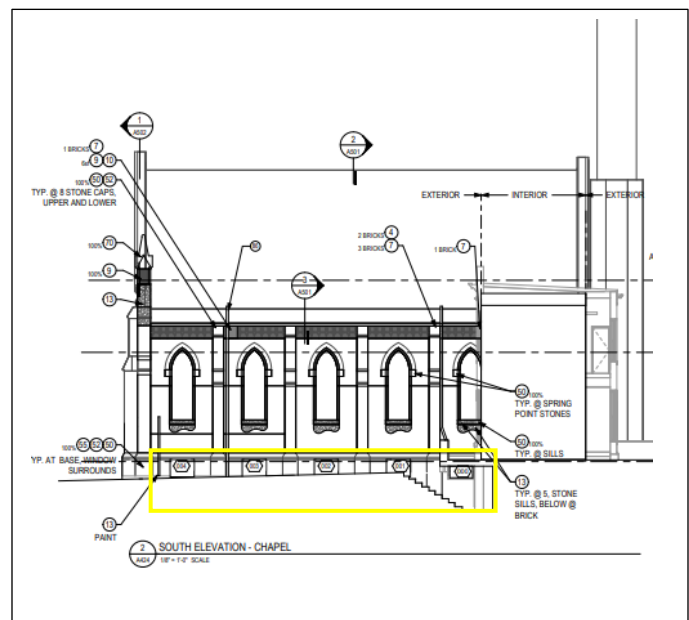
building and the work would continue the incompatible opaque enclosure/infill of the character-defining opening. Also, per Element of Design #8. *Relationships of Texture*, “the glazing on all buildings, especially the church, provides a contrasting smooth surface. The scope item does not conform to Element #8.



Yellow arrow indicates west elevation opening proposed for enclosure with masonry infill. Red arrow points to south elevation, where openings are proposed for infill with louvered vents (with brickmould to match the existing). One below-grade opening at this location is proposed for masonry infill. The garage blocks the south facade openings from view from the right-of-way. Google Streetview, 2009



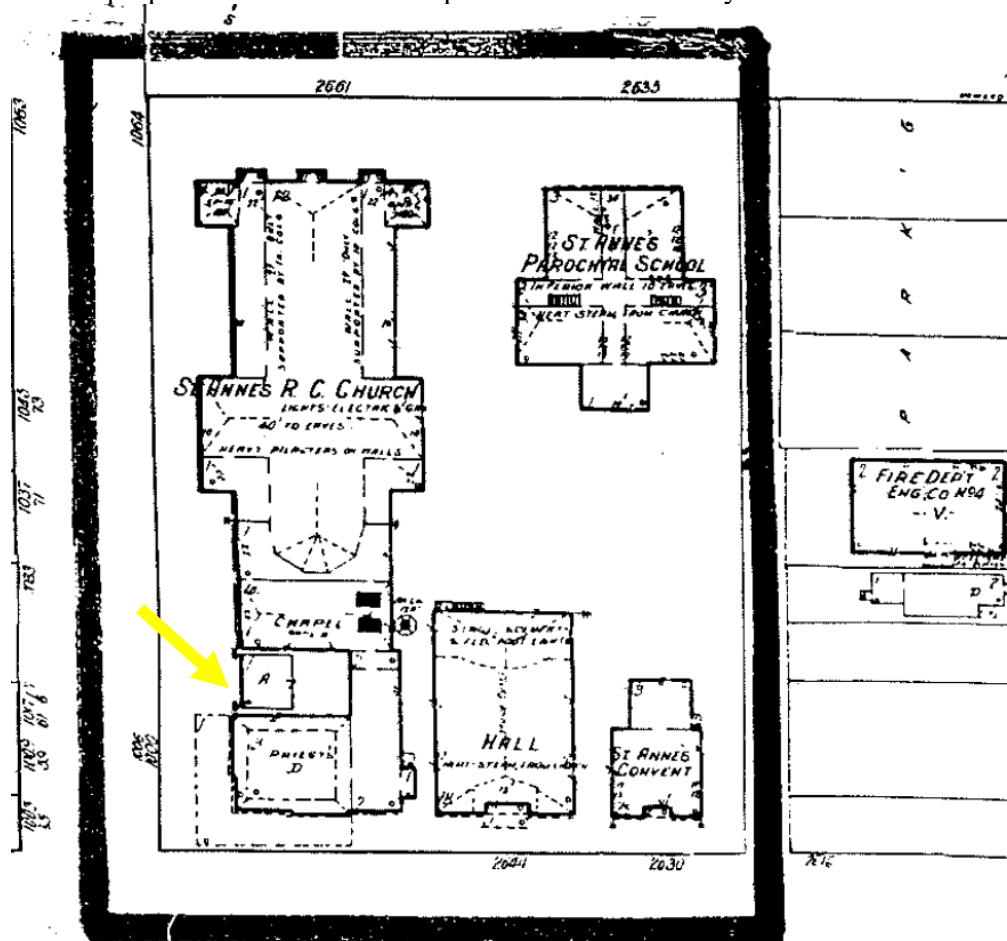
Proposed west elevation. Yellow arrow indicates location of window infill



Proposed south elevation. Yellow box indicates location of window infill

## Garage

- The application proposes to demolish the garage, erected in 1923. A concrete pad will be installed at the location of the former garage and new fence will be erected to connect the rear wall of the basilica/chapel the side wall of the rectory to form an enclosed courtyard space
- With respect to the garage’s significance, note that the HDAB designation report [Ste. Anne's Parish Complex HD Final Report.pdf](#) clearly states that “...all structures within the boundaries contribute to the historical and/or architectural character of the district.” The report also briefly references the garage, stating that it is located “...between the chapel and rectory” and is a “...two-car garage of tapestry brick and trim.” The below map, excerpted from the designation report, outlines the district boundaries and the footprints of the buildings located within, to include the garage. The garage is contributing to the district as it is located within the district’s boundaries, it retains its integrity of location, setting, design, materials, workmanship, feeling and association to a good degree, and it does not appear to be deteriorated to an extent that merits its demolition. It is therefore staff’s opinion that its proposed demolition and replacement with a courtyard does not meet the Standards.



HDAB designation report map, yellow arrow indicating the location of the garage proposed for demolition

- Also, the district’s ordinance refers to the garage via the following Elements of Design:
  - Element of Design #12, Walls of continuity states that “the church, chapel, garage, and

rectory form a strong wall of continuity on Ste. Anne Street.”

- *Element of Design #13, Relationship of significant landscape features and surface treatments* mentions that there is a drive leading to the garage
- *Element of Design #15, Scale of facades and façade elements* states that, “major elements of the church such as towers, spires, transepts, and apses, are also large in scale. Other buildings are less monumental, but still contain the large elements typical of buildings of a public character.”
- *Element #20, Orientation, vistas, overviews* states, “the side of the church, chapel, garage, and rectory orient to Ste. Anne Street and form a strong, but not straight, continuous wall of buildings.”
- It is staff’s opinion that the garage plays a role in the wall of continuity along Ste Anne Street (see the below photo) and that it does display architectural ornamentation “typical of a building of a public character.” Therefore, its removal would not conform to the district’s Elements of Design



Garage proposed for demolition (yellow arrow). Basilica building(chapel wing) is to the left and Rectory is to the right. Photo by staff

### The Rectory

- The application proposes to infill six window openings at building’s foundation with 4” rusticated face stone w/CMU backup, recessed to maintain visual reading of the masonry opening. Staff notes that the building displays a character-defining, elaborately rusticated stone foundation wall which extends above grade. Note that the application has not provided photos of the windows openings. It is staff’s opinion that the proposed addition of opaque infill within openings will detract from the distinctive, character-defining expression of the building’s historic fenestration openings within the foundation wall. Staff does not recommend approval of this scope item.
- A review of the submitted photos revealed that the remaining historic windows at the building are distinctive character-defining features of the building [WINDOWS TO BE REPLACED CONDITIONS PHOTOS 1.pdf](#) (pages 87-137). A number of historic windows have been deemed to be in “good to fair” condition and are proposed to be retained and repaired by the current project scope. However, the application proposes to replace the historic wood windows

and associated brickmould/trim which has been deemed to be in “*fair to poor condition*” with new wood windows. Staff notes the following issues with this scope item:

- Staff does appreciate the thoroughness of the applicant’s window condition assessment and the fact that many of the building’s historic wood windows are proposed for repair. However, staff does note that several windows at the church building which have been identified as being in “fair to poor condition” are proposed for repair. The photos provided do not clearly indicate to staff that the historic windows and trim proposed for replacement at this building/the Rectory are deteriorated beyond repair. Staff therefore invites the applicant to provide guidance around their definition of the factors which guide their decision-making re: which windows are recommended for repair versus those which are proposed for replacement
- The application does not provide dimensioned drawings of typical existing conditions at these historic windows and trim to ascertain if the proposed new units are an adequate match to the existing if determined to be beyond repair by the Commission

### **The Parish Hall**

- The application proposes to replace all existing historic wood windows at the building with new wood windows to match the existing, with the exception of one third floor window, which shall be replaced with a recessed louvered vent [WINDOWS TO BE REPLACED CONDITIONS PHOTOS 1.pdf](#) (pages 16-86). Staff notes that the extant wood windows are distinctive historic character-defining features of the building. However, note that the application claims that a design flaw in the construction of the building’s historic wood windows has compromised the structural integrity of the units, causing uniform deterioration to an extent that merit their wholesale removal. Specifically, the windows were constructed with their sash pockets on the outside, which has contributed to issues with water and pest infiltration. This is not an unprecedented condition, and not in staff’s opinion, a design flaw. Staff reviewed the submitted photo documentation and was unable to ascertain that the described atypical sash pocket locations have contributed to a wholesale failure of the building’s windows to an extent that merits their replacement. Staff therefore does not recommend approval of this scope item.
- The application proposes to install two new urethane/synthetic columns at the front porch, second story, to replace the missing columns which were originally present at that location (see below). The design of the columns will be based upon a photo of building obtained from the property’s National Register of Historic Places (NRHP) nomination, which was completed in 1976 (see the below). Staff supports this proposal, but recommends that product cut sheets for the columns be submitted for review and approval so that staff might ensure that the work is appropriate to the building’s historic appearance.



**Parish hall, current appearance. Photo by applicant. Arrow to indicate location of proposed new columns to replace missing historic elements**



**Photo from the NRHP nomination, showing the historic columns at the second story porch which are currently missing and proposed for replication with new urethane columns (red arrow)**

- Demolish rear stair enclosure and shed addition near northeast corner (see below). Staff does not find that these two additions are historic or character-defining and therefore supports their removal as they detract from the building's historic character.



The rear of the Parish Hall, showing the enclosed staircase proposed for removal (yellow arrow). Staff does not find the enclosed staircase to be historic or character defining and does not object to its removal. (Staff photo, November 2025)

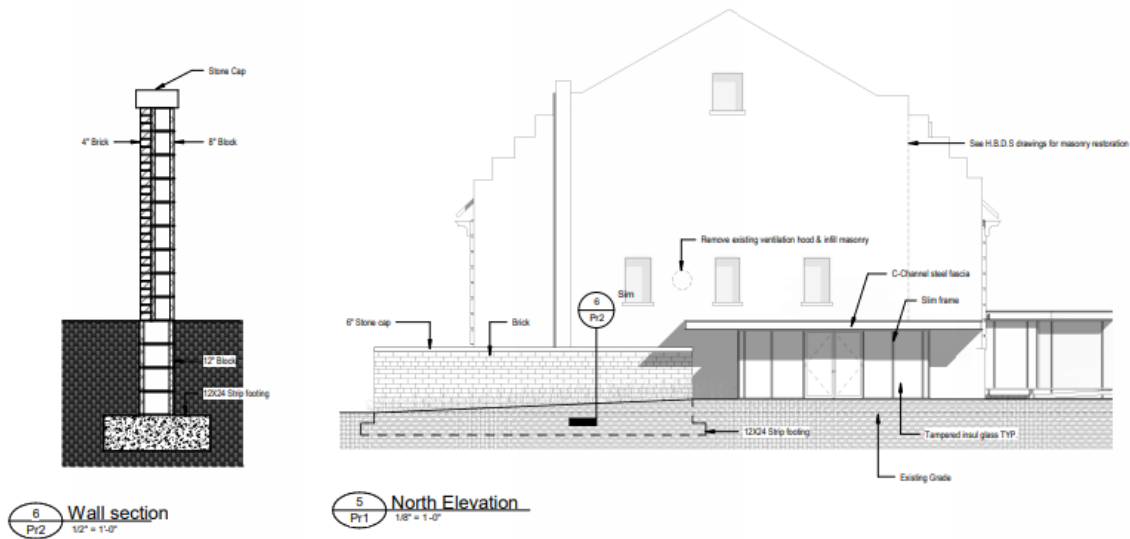


The shed addition at northeast corner proposed for removal (yellow arrow). Staff does not find this addition to be historic or character defining and does not object to its removal. (Staff photo, November 2025)



**The shed addition at northeast corner proposed for removal (yellow arrow). Staff does not find this addition to be historic or character defining and does not object to its removal. (Staff photo, November 2025)**

- This application proposes to install utility upgrades at the rear of the building, at the location of the non-historic stair enclosure and shed roof wing which are proposed to be demolished. A screening wall for the utility upgrades and a one-story addition which will connect the building to the Rectory, are also proposed at this location. See the below drawing that was submitted for this scope. It is staff's opinion that additional information/more dimensioned drawings and product cutsheets are needed in order to determine the compatibility of this work item. Specifically, the staff notes that the application is lacking in details re: dimensions, materials and footprint of the new wall and addition. Also, it is also not clear how the addition and wall will interact with Parish Hall and the Rectory building.



Drawings for the proposed screening wall and the new addition at the rear of the Parish Hall. Note the lack of details re: dimensions, materials and footprint. It is also not clear how the addition and wall will interact with Parish Hall and the Rectory building.

### Former Convent/ Wellness Center

- The application proposes to infill ten window openings at building’s foundation with 4” rusticated face stone w/ CMU backup, recessed to maintain visual reading of the masonry opening. Some of these openings are currently enclosed with incompatible, non-historic infill. Staff notes that the building displays a character-defining brick and stone foundation wall which extends above grade. Note that the application has not provided photos of the windows openings. It is staff’s opinion that the addition of proposed opaque infill will detract from the distinctive, character-defining expression of the building’s historic fenestration openings and foundation wall. Staff does not recommend approval of this scope item.
- The application notes that all windows at the first, second, and third stories include incompatible, non-historic vinyl sashes and the original historic brickmolds, frames, and sills which are covered with aluminum panning/coilstock. The project proposes the following with respect to these windows:
  - Replace the vinyl sashes with wood sash packs, if possible/if the existing frames can receive new sashes. This proposal would leave the historic brickmolds, frames, sills and the non-historic aluminum panning in place. Staff supports this proposal as it seeks to replace the non-historic vinyl sashes with new compatible wood sashes. It also will result in the retaining of the existing historic brickmould which remains beneath the existing aluminum panning.
  - If the frames **cannot** accept the sash packs, the application proposes an alternate treatment, which includes the removal of the windows to the rough opening and the installation of new wood windows with new exterior casing **and brickmold** to match the historic. Staff does not recommend this scope item as it proposes the replacement of historic character-defining brickmould, which likely is in repairable condition beneath the current aluminum panning. Staff would support the in-kind replacement of the historic brickmould only if documentation was presented which noted that it was

deteriorated beyond repair and that the new brickmould was an adequate match to the existing. However, the current application does not provide this information.

- The application proposes to replace two historic wood windows at a rooftop dormer. Note that the application does not provide photos of these windows so staff is unable to confirm their condition and/or determine if they are distinctive character-defining features which must be retained if possible or replaced to match if deteriorated beyond repair

### Site work

- Staff notes the following with respect to current conditions within the site/the district's exterior spaces:
  - Brick buildings line the perimeter of the historic district and face outward to Howard (the plaza to the north), St Anne Street to the west, and W Lafayette to the south. The east boundary of the district is the north-south alley between St Anne Street and 18<sup>th</sup> Street. Between the buildings, at the center of the campus, is currently asphalt. There are modest plantings and trees along the Howard, St Anne, and W Lafayette sides of the district, but there is not currently green space or formal landscaping on the site, especially on the interior of the site.
  - The district's Element of Design #14 states that "the Ste. Anne frontage is characterized by a grass turf lawn and modest plantings lying between the public sidewalk and the church, chapel, and rectory, with a drive leading to the garage."
  - See the below photos which illustrate current site conditions.



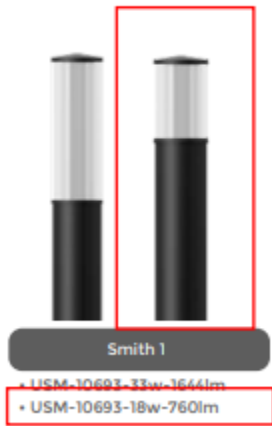
**View of the district's interior from between the Church and the School on the north end of the district looking south. Visible is the east side of the Church and Chapel on the right, the rear of the Parish Hall with the enclosed staircase on the rear, the Wellness Center to the left (east) of the Parish Hall, and also visible is the stair to the non-historic Lafayette Boulevard Portable to the left of the image. (Staff photo, November 2025)**



**The eastern edge of the historic district is the north-south alley between W Lafayette and Howard Street, shown here from the north looking south. (Staff photo, November 2025)**

- With respect to new sitework, the application proposes new landscaping, hardscaping and lighting. Specifically the new work shall be undertaken as per the following:
  - Proposed is the removal of much of this asphalt and installation of hardscape paths connecting the various elements of the campus, imposing a grid. Brick pavers are proposed in front of the Church, (these carry into Howard Street to the north and northward into the non-historic plaza as well), and a north-south brick paver walkway is proposed to the Church’s east side, between the Church and the School. That path is proposed to terminate at the rear of the Parish Hall. The north-south alley that forms the eastern boundary of the district is currently paved (either concrete or asphalt) and will be concrete. That alley runs from Howard to W Lafayette, and along the alley near W Lafayette (alongside the Wellness Center are proposed five diagonal parking spaces. Proposed are two west-east paths between the brick path along the Church and the north-south alley. These paths are proposed for behind the School and behind the Parish Hall and Wellness Center.
  - Plant beds with metal edging are proposed for along both sides of the Howard Street district boundary between the Church and the plaza. Raised beds are planned in front of the Church. New grassy areas will flank the hardscape paths at the center of the campus and street trees will remain along St Anne and W Lafayette. Currently, in front of the Wellness Center is a small forecourt area with arborvitae and shrubs. It is not clear to staff if this existing landscaped space will remain.
  - New lighting is planned for the campus. For the portion within the historic district, the new light fixtures shall be installed per the below:

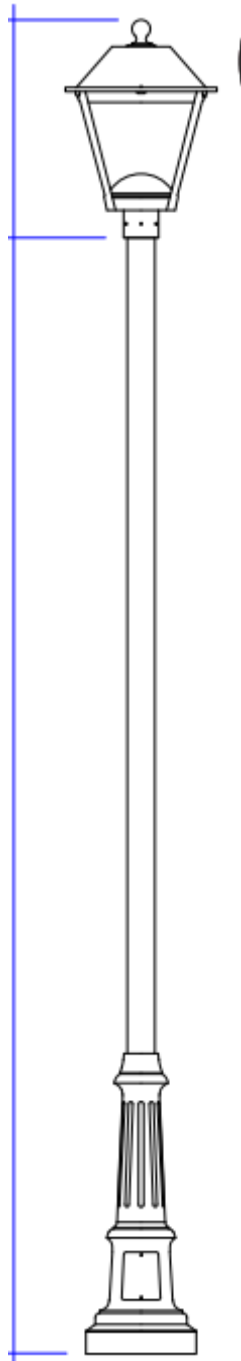
- Along the Howard Street boundary of the district: seven 20-foot poles with 30-inch-tall luminous columns and 30-inch diameter shades (Light Type LP2)
- In front of the Church: four LP1 fixtures that are 9-foot-tall poles with tenon-mounted lanterns.
- Along the brick paver path between the Church and the School: nine LB1 fixtures that are 42-inch-tall bollards with vertical opal diffusing lenses, and these same fixtures are proposed for the path north of the Parish Hall and Wellness Center.
- Just east of the Church/Chapel and west of the Lafayette Boulevard portable: two 12-foot-tall pedestrian columns (8.5" diameter) (Light LP4)
- Along Ste Anne Street next to the Church, and along W Lafayette: 12-foot-tall poles with a 26-inch-diameter disc reflector on an 8.5-inch diameter column on a 5-inch diameter pole (Light LP3)
- See the below images of the proposed new light standards for the site. Note that none of the light elements will be affixed to buildings



From applicant materials, LB1, custom lattice design will reflect liturgical theme



From applicant materials, LP2.



*wn with 12 ft. aluminu.  
alog #: SAL-3H-P-12'*

From applicant materials, LP1.



From applicant materials, LP4.  
Custom lattice design to reflect liturgical theme



From applicant materials, LP3

- It is staff's opinion that the proposed work is compatible with the site as no historic features will be altered or removed and the property's historic character will not diminished by the proposed new elements.

**STAFF RECOMMENDATION:**

*This third and final section takes staff's itemized "objections" identified in the first section, and presents them in the form of "conditions" in support of a proposed approval recommendation or "reasons" in support of a proposed denial recommendation, in the form required by Section 21-2-78 of the City Code. The Historic District Commission is not required to accept staff opinions or recommendations.*

Section 21-2-78, Determinations of Historic District Commission

**Recommendation 1 of 2, Denial: Demolish garage; rehabilitate chapel interior; replace three historic wood windows at basilica building 2<sup>nd</sup> story (sacristy); infill one basement window opening at west façade of basilica building, chapel wing; infill basement window openings at Rectory and Wellness Center/Convent; replace historic wood windows at Rectory, Parish Hall, and Wellness Center/Convent (rooftop dormer); and replace historic brickmould (current covered with aluminum panning) at Wellness Center/Convent windows**

Staff recommends that above work items will be inappropriate according to the Secretary of the Interior's Standards for Rehabilitation and the Ste Anne's Parish Complex Historic District's Elements of Design, specifically:

- *Standard 2: The historic character of a property shall be retained and preserved. The*

*removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

- *Standard 3: Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
- *Standard 5: Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
- *Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
- Elements of Design 8, 10, 12, 13, 15, and 20

For the following reasons;

1. With respect to the chapel wing of the basilica, its current unadorned white walls and ceilings, window and door surrounds, wood wainscoting, and light fixtures are distinctive, character-defining features which should be retained in order to retain its subordination to the church's main interior space and its subdued character. The proposed new elements largely mimic detailing found within the main church's interior, which would disrupt the historic visual relationship between the two spaces. The new elements are conjectural and could also be mistaken as original to the building
2. The submission does not include the level of documentation necessary to substantiate that the three historic wood windows at the second floor, 2-story portion of basilica (sacristy) which are proposed for replacement are deteriorated beyond repair. Also, the application does not demonstrate that the proposed replacement windows are an adequate match for the existing historic units as drawings of typical existing conditions and the proposed new replacement units have not been provided
3. The proposed infill of basement window openings at the Rectory, Basilica/church building, and Convent/Wellness Center will detract from the distinctive, character-defining expression of the each of the building's historic fenestration openings within the foundation wall.
4. The garage proposed for demolition contributes to the district
5. The submitted documentation of the Rectory's and Parish Hall's distinctive, historic character-defining wood windows which are proposed for replacement do not adequately establish that they are deteriorated beyond repair. Also, the application does not demonstrate that the proposed replacement windows are an adequate match for the existing historic units as drawings of typical existing conditions and the proposed new replacement units have not been provided
6. The application does not present documentation of the condition of the historic brickmould which exists beneath the aluminum panning

of the Wellness Center/Convent's windows. As such, it is unclear if the removal/replacement of this historic feature would be merited.

7. The application does not include the level of documentation necessary to establish the significance and condition of the two historic wood dormer windows at the Wellness Center/Convent's roof which are proposed for replacement

**Recommendation 2 of 2, Certificate of Appropriateness: Remaining work items (specify if necessary but better to use a catch-all)**

Staff recommends that the remaining proposed work will be appropriate according to the Secretary of the Interior's Standards for Rehabilitation and the Ste. Anne's Parish Complex Historic District's Elements of Design, with the conditions that:

1. The applicant shall submit drawings to HDC staff which outline details re: the dimensions, materials and footprint of the new Parish Hall With connector and screen wall addition wall and addition for review and approval prior to the issuance of the permit. The drawings must clearly indicate the dimensions, materials and footprint of the new wall and addition. Also, clearly indicate how the addition and wall will interact with Parish Hall and the Rectory building
2. HDC staff shall be afforded the opportunity to review product cutsheets for the replacement columns proposed Parish Hall building's second story front façade porch prior to the issuance of the project's permit.