



HISTORIC DISTRICT COMMISSION NOTICE OF DENIAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Notification Date: 04/15/26

Application Number: HDC2026-00107

APPLICANT & PROPERTY INFORMATION

NAME: Jessica Quijano		COMPANY NAME: HopkinsBurns Design Studio	
ADDRESS: 113 S Fourth Ave.	CITY: Ann Arbor	STATE: MI	ZIP: 48104
PROJECT ADDRESS: 1000 St Anne Street & 2635 W. Lafayette			
HISTORIC DISTRICT: Ste. Anne's Parish Complex			
SCOPE: <ul style="list-style-type: none">*Demolish the garage*Rehabilitate the chapel interior (at the basilica/church building)*Replace three historic windows at the basilica's 2nd story sacristy (west facade)*Infill one basement window opening at the west façade of basilica building, chapel wing*Infill basement window openings at the Rectory and the Wellness Center/Convent*Replace historic wood windows at the Rectory, Parish Hall, and Wellness Center/Convent*Replace historic brickmould (current covered with aluminum panning) at the Wellness Center windows			

DENIED

At the Regular Meeting that was held on 04/08/26 , the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) and 9(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1), MCL 399.209 (9) and Sections 21-2-78 and 21-2-80 of the 2019 Detroit City Code; the DHDC hereby issues a Denial for the following work, effective on 04/15/26 , as it will be inappropriate according to the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

REASONS FOR DENIAL:

1. With respect to the chapel wing of the basilica, its current unadorned white walls and ceilings, window and door surrounds, wood wainscoting, and light fixtures are distinctive, character-defining features which should be retained in order to retain its subordination to the church’s main interior space and its subdued character. The proposed new elements are conjectural and could also be mistaken as original to the building.
2. The submission does not include the level of documentation necessary to substantiate that the three historic wood windows at the second floor, 2-story portion of the basilica (sacristy) which are proposed for replacement are deteriorated beyond repair. Also, the application does not demonstrate that the proposed replacement windows are an accurate match for the existing historic units as drawings of typical existing conditions and the proposed new replacement units have not been provided.
3. The proposed infill of basement window openings at the Rectory, Basilica/church building, and Convent/Wellness Center will detract from the distinctive, character-defining expression of the building’s historic fenestration openings within the foundation wall.
4. The garage proposed for demolition may contribute to the district.
5. The submitted documentation of the Rectory’s and Parish Hall’s distinctive, historic character-defining wood windows which are proposed for replacement do not adequately establish that they are deteriorated beyond repair. Also, the application does not demonstrate that the proposed replacement windows are an adequate match for the existing historic units as drawings of typical existing conditions and the proposed new replacement units have not been provided.
6. The application does not present documentation of the condition of the historic brickmould which exists beneath the aluminum panning of the Wellness Center/Convent’s windows. As such, it is unclear if the removal/replacement of this historic feature would be merited.
7. The application does not include the level of documentation necessary to establish the significance and condition of the two historic wood dormer windows at the Wellness Center/Convent’s roof which are proposed for replacement.

FAILURE TO MEET STANDARDS:

The Standards for Rehabilitation (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character.

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

Failure to meet standards: 2,3,5, & 6

Corresponding Standard numbered below:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

FAILURE TO MEET ELEMENTS OF DESIGN:

Failure to meet Elements of Design: 8, 10, 12, 13, 15 & 20

Corresponding design element numbered below:

1. Height.	12. Walls of continuity.
2. Proportion of building's front façades.	13. Relationship of significant landscape features and surface treatments.
3. Proportion of openings within the façade.	14. Relationship of open space to structures.
4. Rhythm of solids to voids in front façade.	15. Scale of façade and façade elements.
5. Rhythm of spacing of buildings on streets.	16. Directional expression of front elevations.
6. Rhythm of entrance and/or porch projections.	17. Rhythm of building setbacks.
7. Relationship of materials.	18. Relationship of lot coverages.
8. Relationship of textures.	19. Degree of complexity within the façade.
9. Relationship of colors.	20. Orientation, vistas, overviews.
10. Relationship of architectural details.	21. Symmetric or asymmetric appearance.
11. Relationship of roof shapes.	22. General environmental character.

If you have any questions regarding the above, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:



Garrick Landsberg
Director of Staff, Historic District Commission

PSR:Jennifer 260416JR

APPEALS PROCESS

The application may be resubmitted for the Historic District Commission's review when suggested changes have been made that address the cited reasons for denial, if applicable. Please be advised that, in accordance with MCL 399. 211 and Section 21-2-81 of the 2019 Detroit City Code, an applicant aggrieved by a decision of the DHDC may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

Jon Stuckey, Michigan Department of Attorney General
2nd Floor, G. Mennen Williams Building
525 West Ottawa Street, P.O. Box 30754, Lansing, MI 48909
Phone: 517-335-0665 E-mail: stuckeyj@michigan.gov



CERTIFICATE OF APPROPRIATENESS

Application Number: HDC2026-00107

Effective Date: 04/15/26

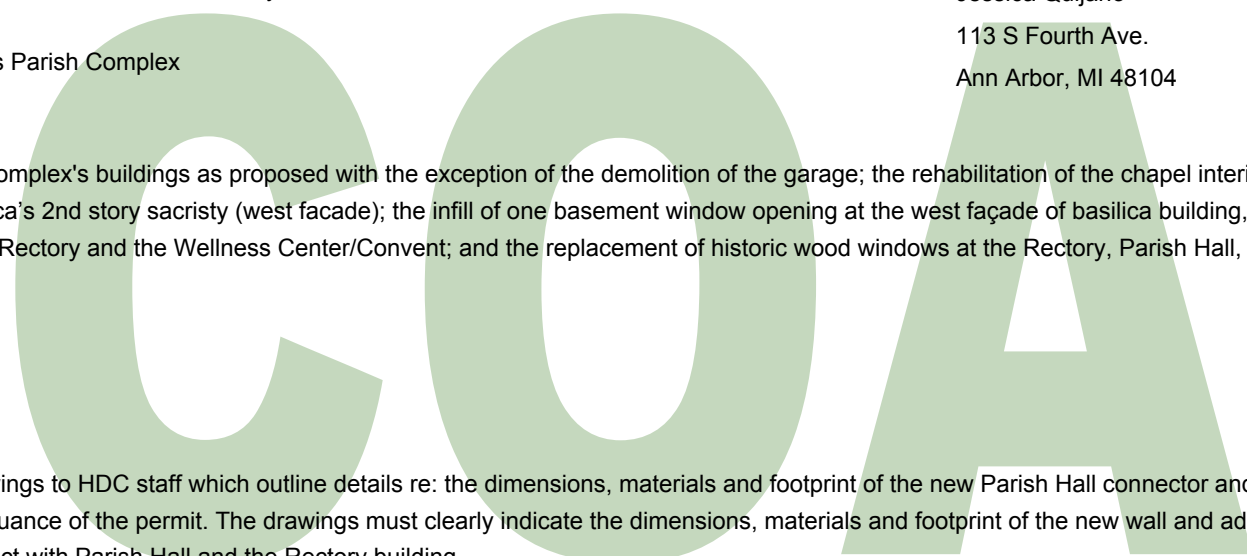
Project Address: 1000 St Anne Street & 2635 W. Lafayette

Issued to: Jessica Quijano
113 S Fourth Ave.
Ann Arbor, MI 48104

Historic District: Ste. Anne's Parish Complex

Description of Work:

Sitework and rehabilitation of the complex's buildings as proposed with the exception of the demolition of the garage; the rehabilitation of the chapel interior; the replacement of the three historic windows at the basilica's 2nd story sacristy (west facade); the infill of one basement window opening at the west façade of basilica building, chapel wing; the infill of basement window openings at the Rectory and the Wellness Center/Convent; and the replacement of historic wood windows at the Rectory, Parish Hall, and Wellness Center/Convent



With the Conditions that:

1. The applicant shall submit drawings to HDC staff which outline details re: the dimensions, materials and footprint of the new Parish Hall connector and screen wall addition for review and approval prior to the issuance of the permit. The drawings must clearly indicate the dimensions, materials and footprint of the new wall and addition. Also, clearly indicate how the addition and wall will interact with Parish Hall and the Rectory building.
2. HDC staff shall be afforded the opportunity to review product cutsheets for the replacement columns proposed at the Parish Hall building's second story front façade porch prior to the issuance of the project's permit.

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

For the Commission:

Garrick Landsberg
Director of Staff, Historic District Commission



PSR:Jennifer 260416JR

Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

