



CERTIFICATE OF APPROPRIATENESS

Application Number: HDC2026-00043

Effective Date: 03/18/26

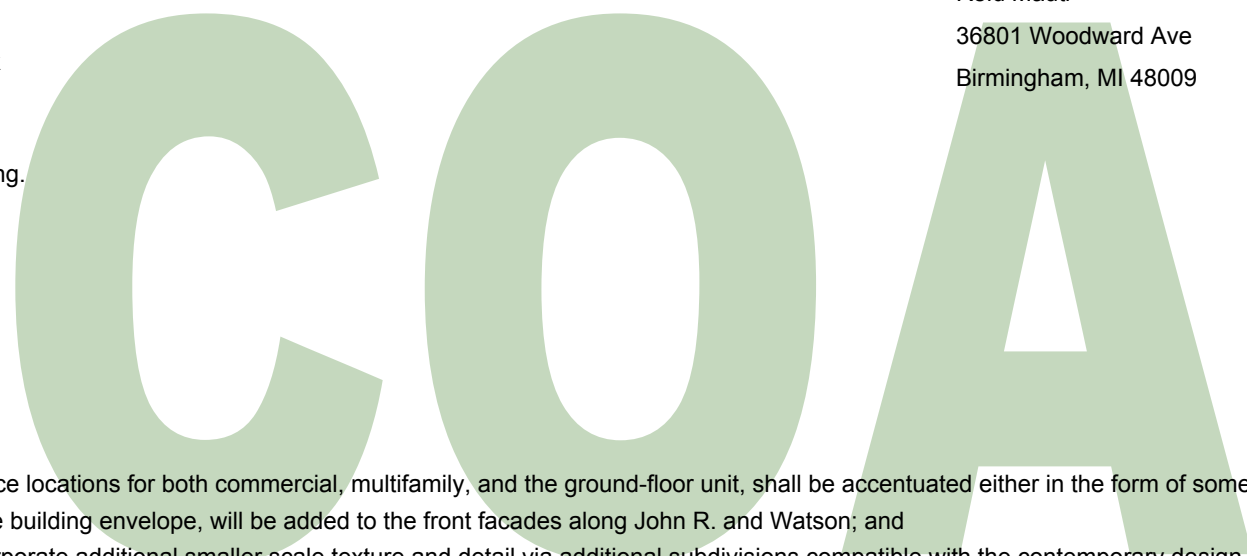
Project Address: 205 Watson St.

Issued to: Reid Mauti
36801 Woodward Ave
Birmingham, MI 48009

Historic District: Brush Park

Description of Work:

Erect multi-family mixed-use building.



With the Conditions that:

1. Additional articulation of entrance locations for both commercial, multifamily, and the ground-floor unit, shall be accentuated either in the form of some form of canopy or other projections that are outboard of the building envelope, will be added to the front facades along John R. and Watson; and
2. The large windows should incorporate additional smaller scale texture and detail via additional subdivisions compatible with the contemporary design proposed; and
3. All fence/gate types, heights, and materials will be provided before beginning of construction; and
4. Planting types, species, and locations will be provided to staff for review and approval.

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

For the Commission:

Garrick Landsberg
Director of Staff, Historic District Commission

PSR: Garrick 260318GL



Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID
HDC2026-00043

PROPERTY INFORMATION

ADDRESS(ES): 205 Watson St.
HISTORIC DISTRICT: Brush Park

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|---|--|--|--|---|--------------------------------|
| <input type="checkbox"/> Windows/ Doors | <input type="checkbox"/> Walls/ Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/ Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input checked="" type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

Wallace Estates is a 5 story, new construction, mixed-use building located in the Brush Park Historic District. The proposed project will occupy 205 Watson St. At the Northeast corner of Edmond and John R.

There will be 37 units spread across the first 4 floors of the building. The partial floor will consist of a lobby at the south, a walk-up unit in the center, and commercial space at the north end of the building. The remainder of the floor plate on the ground floor will be comprised of tuck-under parking. The partial 5th floor will house indoor and outdoor amenities for the residents

The building will have a masonry facade on all 4 sides with large, offset windows and small amount of metal infill panel. The partial

5th floor occupies the south end of the building gesturing to the taller buildings of Brush Park further South on John R.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant

The proposed building occupies the majority of the site along John R with a setback at the East edge of the property. This parking area accessed from the alley to avoid additional curb cuts along John R.

NAME: Reid Mauti		COMPANY NAME: Mcintosh Poris Architects	
ADDRESS: 36801 Woodward Ave	CITY: Birmingham	STATE: MI	ZIP: 48009
PHONE: +1 (734) 934-3539		EMAIL: rmauti@mcintoshporis.com	

I AGREE TO AND AFFIRM THE FOLLOWING:

<input checked="" type="checkbox"/>	I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
<input checked="" type="checkbox"/>	I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
<input checked="" type="checkbox"/>	I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.
<input checked="" type="checkbox"/>	As required by the state Local Historic Districts Act, Act 169 of 1970 (MCL399.205), I hereby certify that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531

DocuSigned by:

Reid Mauti

AO1894E0CBFC452

02/05/2026

SIGNATURE

DATE



NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER: <small>(only applicable if you've already applied for permits through ePLANS)</small>	N/A
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GENERAL

<p>1. DESCRIPTION OF EXISTING CONDITION <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i></p> <p>The existing condition is a vacant lot at the Northeast corner of John R and Watson in the Brush Park Historic District.</p>	
<p>2. PHOTOGRAPHS <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i></p>	
<p>3. DESCRIPTION OF PROJECT <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i></p> <p>Wallace Estates is a 5 story, new construction, mixed-use building located in the Brush Park Historic District. The proposed project will occupy 205 Watson St. At the Northeast corner of Edmond and John R.</p> <p>There will be 37 units spread across the first 4 floors of the building. The partial floor will consist of a lobby at the south, a walk-up unit in the center, and commercial space at the north end of the building. The remainder of the floor plate on the ground floor will be comprised of tuck-under parking. The partial 5th floor will house indoor and outdoor amenities for the residents</p>	
<p>4. DETAILED SCOPE OF WORK <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i></p> <p>This is a new construction project on a vacant lot. Scope of work includes preparation of the site, connection of utilities, and ground-up construction of a new building. Project presentation has been attached for reference including responses to the elements of design for the district.</p>	
<p>5. BROCHURES/CUT SHEETS <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i></p>	

ADDITIONAL DETAILS



SUNMIT
FOR SALE
213.872.1390

JOHN R

JOHN R

JOHN R





© 2025 Google

John St



© 2025 Google

Summit

SUMMIT
FOR SALE
818.872.3100

© 2025 Google

WALLACE ESTATES

HDC PRESENTATION

Project Narrative




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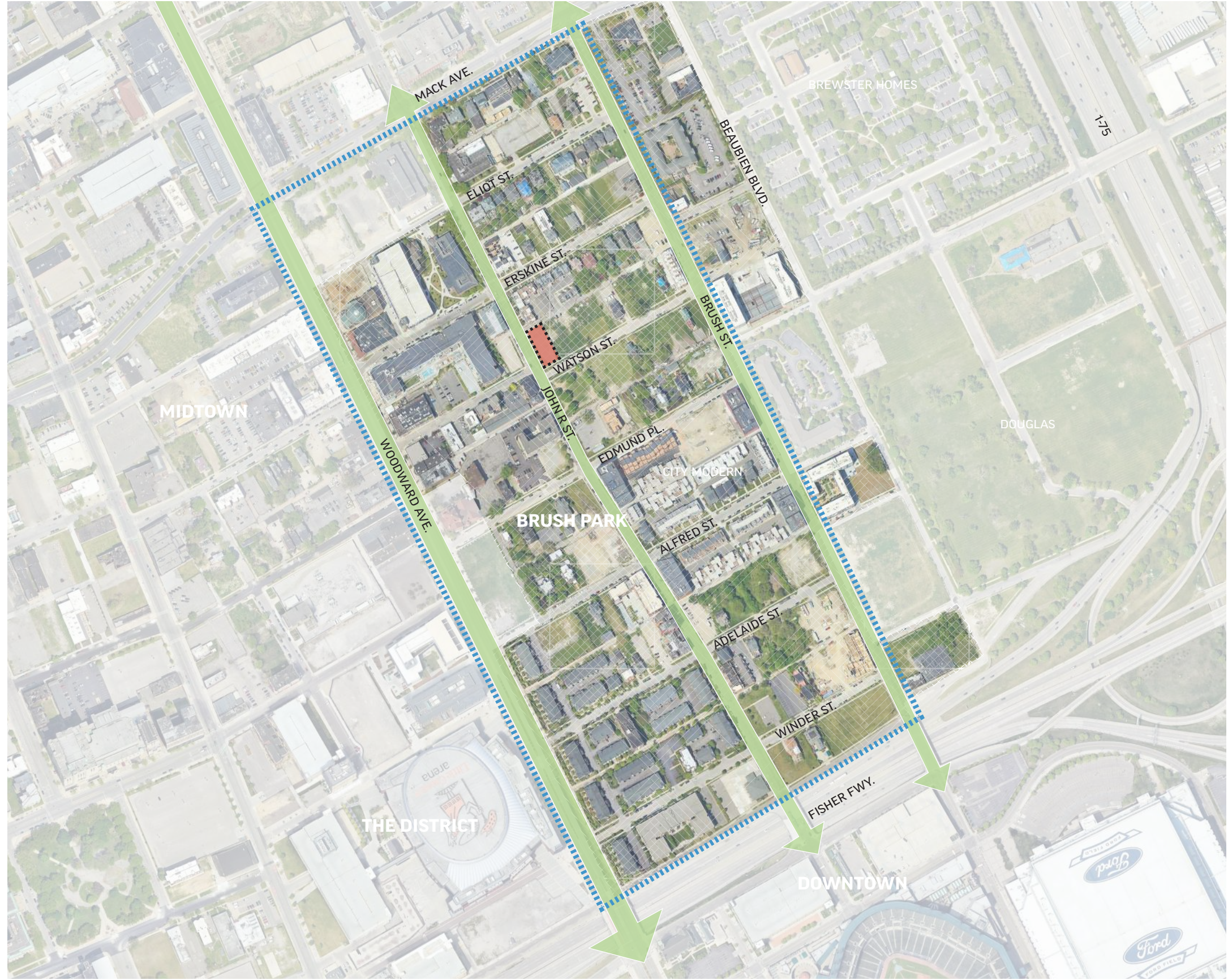
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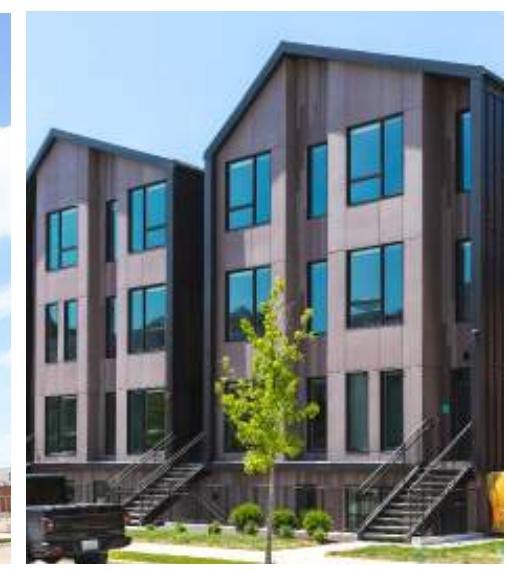
**MCINTOSH
PORIS
ARCHITECTS**

-  PROJECT SITE
-  THOROUGHFARES
-  BRUSH PARK

THE PROJECT SITE IS LOCATED AT 205 WATSON IN THE BRUSH PARK HISTORIC DISTRICT IN DETROIT MICHIGAN. THE LOT OCCUPIES THE NORTHEAST CORNER OF THE WATSON - JOHN R INTERSECTION







(1) Height.

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(2) Proportion of building's front facades.

Due to the nature of the corner site, the building has 2 front facades. The elements of design note that buildings are typically taller than they are wide, which is the case for this building on it's shorter face along Watson. Along John R, the building is wider given the constraints of the block but the partial 5th floor massing prevents this elevation from feeling monolithic

(3) Proportion of openings within the facade.

The building has a consistent proportion of openings along all facades. The percent open on the building varies between 32% and 35% which is at the higher end of the range listed in the elements of design (15%-35%). We feel it is harmonious with the rest of the district.

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This building embraces the elements of design description of facade rhythm with irregular, staggered openings over all 4 elevations. .

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This project is consistent with the area noted in the elements of design between Woodward and Brush; filling in the street wall along John R and Watson while maintaining the rear setback

(6) Rhythm of entrance and/or porch projections.

This project inverts the projected entrances noted in the elements of design by proposing several inset entrances along Wallace and John R. This articulates the entrances in a similar way while avoiding any projections over the property line.

(7) Relationship of materials.

The elements of design note that overwhelmingly, the most prevalent material in the district is common brick. This building follows that direction with all four elevations being predominantly brick. Other materials include a cast-stone stem wall at the base of the building and metal accents.

(8) Relationship of textures.

The elements of design state that "the most common relationship of textures in the district is the low-relief pattern of mortar joints in brick contrasted to the smoother or rougher surfaces of stone or wood trim." The brick facade on this building is broken up by large staggered windows and occasional infill metal panels. The brick and mortar is broken up by deep inset windows and corrugated metal panel elements providing a contrast in texture and a strong shadow line at the windows.

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The building will be clad in a dark gray brick This contrast with the brass-like metal detailing

(10) Relationship or architectural details.

The architectural details of this building emphasize the detailing around openings with the solid panels that break-up the regularity of the windows. The deep inset windows provide a shadow line and create significant depth to the facade. This is in reference to the Victorian homes emphasizing openings as described in the elements of design.

(11) Relationship of roof shapes.

While many of the Victorian homes have elaborate pitched roofs, the apartment and commercial buildings that followed were predominately design with flat roofs. This building follows that pattern by being consistent with the building typology in the district. The partial fifth floor does provide relief from a monolithic flat roof, creating variation along the John R facade.

(12) Walls of continuity.

The apartment building abuts the front and side property lines, creating a wall on continuity consistent with what is described in the elements of design: " On John R. and Brush, and east of Brush, buildings are typically placed at or near the sidewalk with little or no front yard. Where buildings are continuous, a wall of continuity is created. The building follows the angle of John R to provide a consistent street wall.

(13) Relationship of significant landscape features and surface treatments.

The elements of design mainly note the amount of vacant land in the district. The lack of curb cuts for drive aisles are also mentioned. This project follows that pattern by providing parking access via the alley. The parking is offset from Watson to provide the required landscape buffer and allow for a pleasant street frontage.

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(15) Scale of Facades and Facade Elements

The elements of design note a large variety in how different buildings approach this relationship. This building strikes a balance between a cohesive overall massing and the large, irregular staggered windows that break of the monolithic brick wall to provide scale. The partial 5th floor and the tuck under parking also provide variation in the profile of the building, carving away at a 'solid block' mass.

(16) Directional expression of front elevation.

The elements of design note that the vast majority of buildings in the district have vertical expressed front facades while noting exceptions along Woodward and John R. The project has a more horizontal emphasis given the proportions of the site wile providing a more vertical massing at the corner of John R and Brush.

(16) Rhythm of building setbacks.

This building abuts the sidewalk which is consistent with the other buildings that are on a corner lot.

(17) Relationship of lot coverage.

The elements of design note the difference between the single family home lot coverage compared to the apartment buildings. This project is consistent with the apartment buildings in the district by occupying the majority of the lot.

(19) Degree of complexity within the facades.

This district is characterized by Victorian homes with a high degree of complexity and apartment buildings that have more classic, simpler ornamentation. This building looks to provide a reference to ornamentation but still be of it's time. The brick facade, with deep inset windows, metal inset panels, and trim provide a rich level of detail while remaining contemporary

(20) Orientation, vistas, overviews.

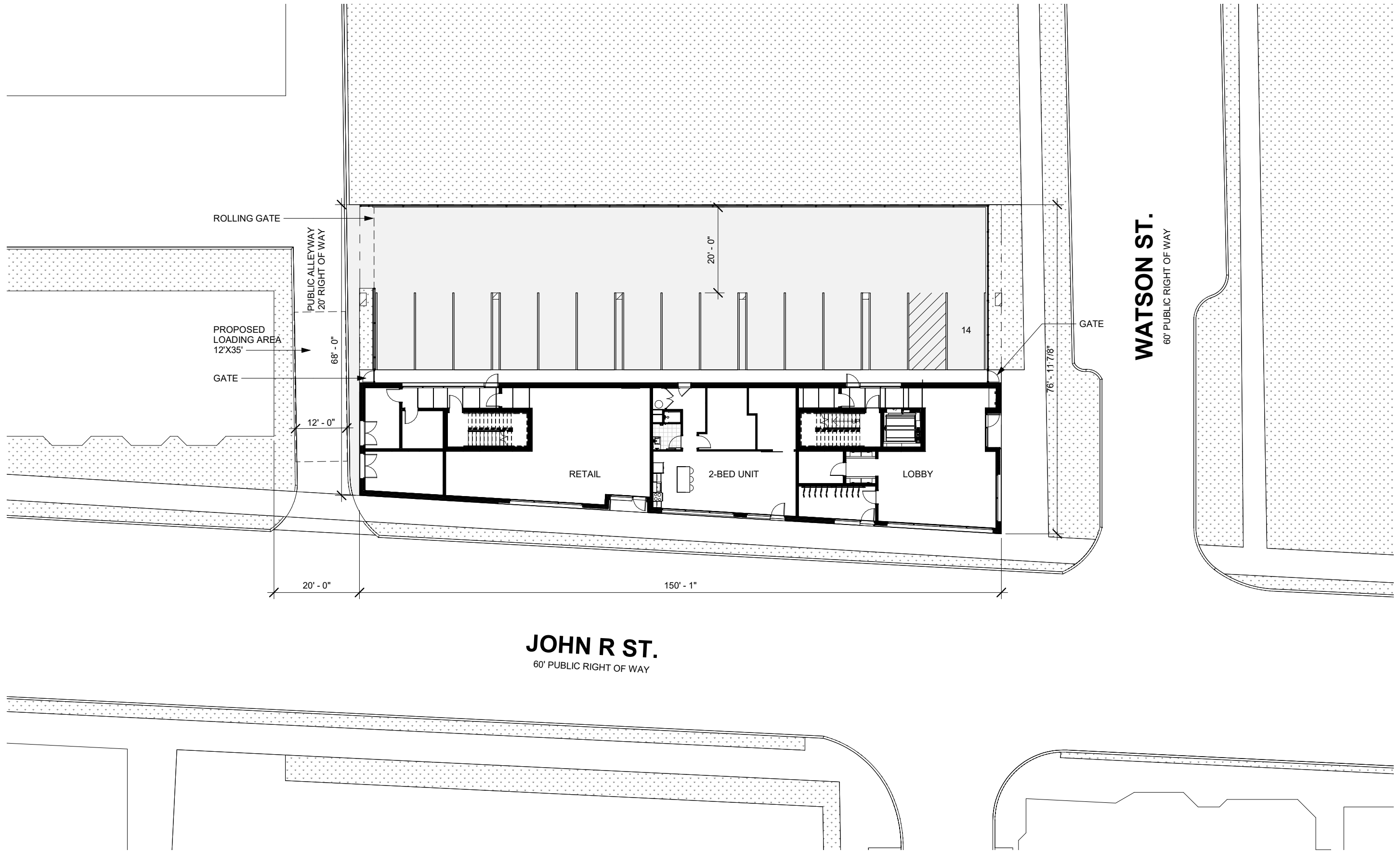
The building is oriented to both John R and Watson as it is on a corner lot. The main entrance to the building is off of Watson while secondary entrances are along The John R frontage.

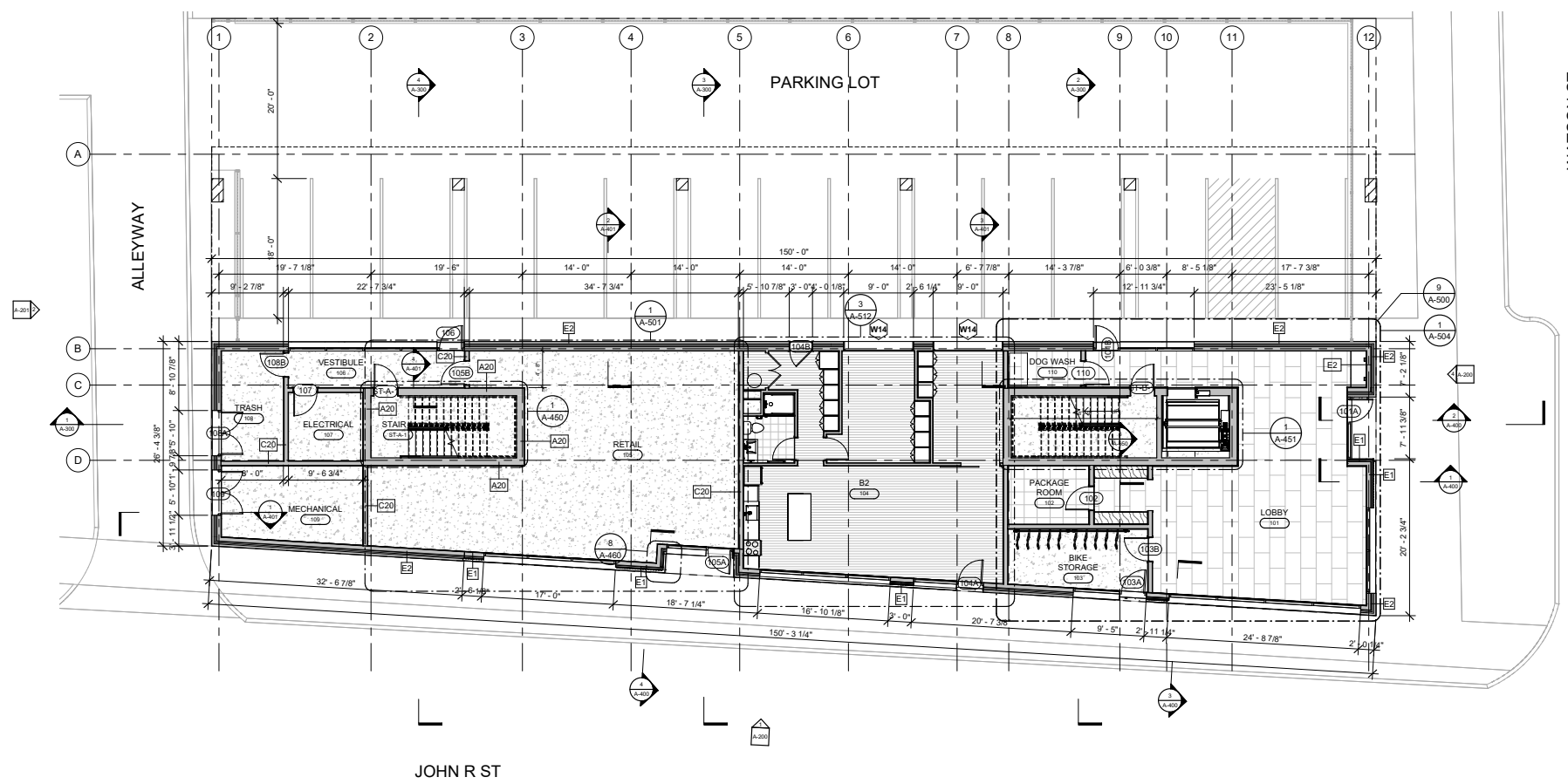
(21) Symmetric or asymmetric appearance.

This building provides an asymmetrical, irregular appearance both from the overall massing and the staggered window pattern, This is consistent with the elements of design that note; "Asymmetrical but balanced compositions are common".

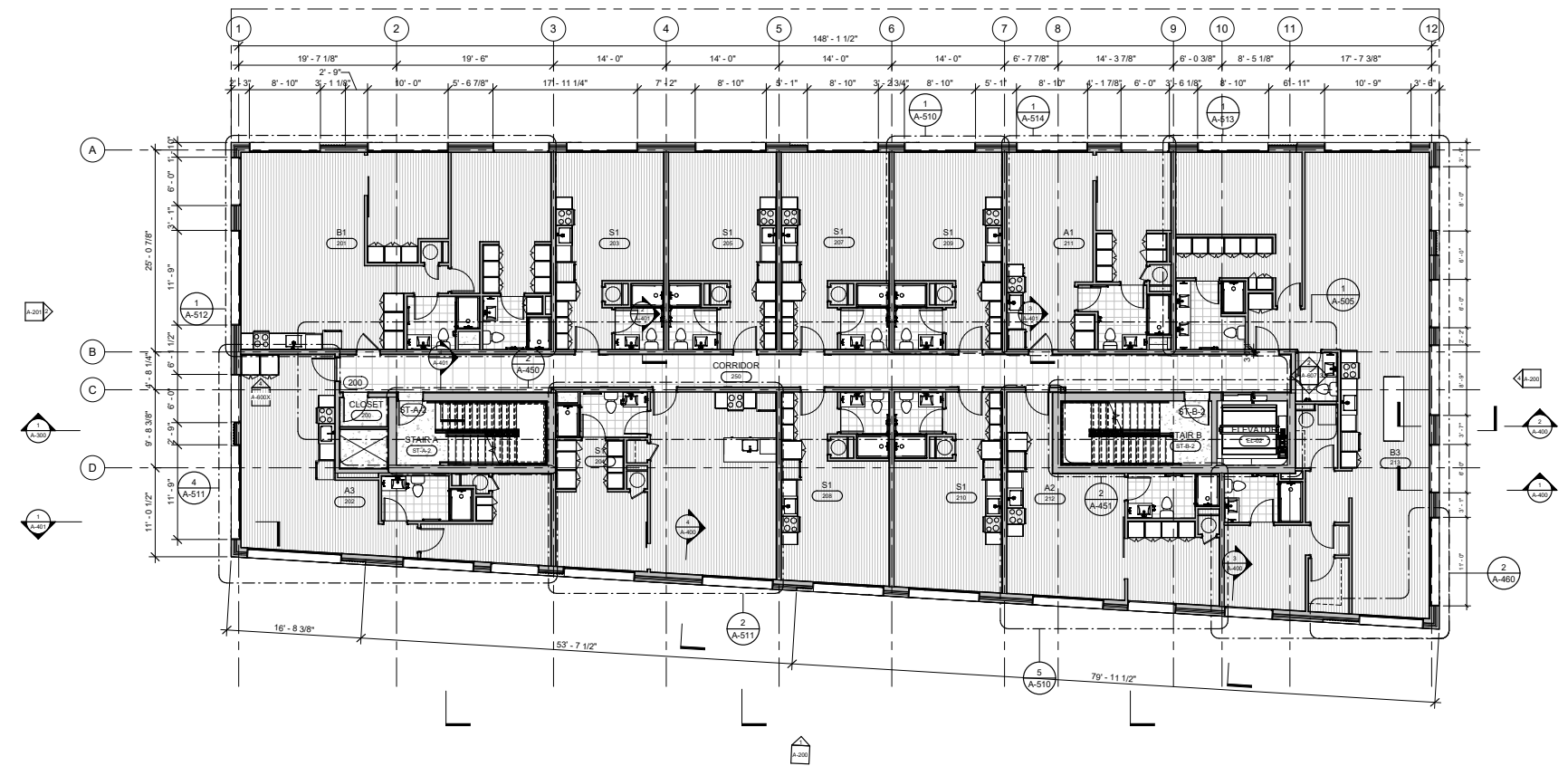
(22) General Environmental character.

The elements of design state "The environmental character is of an old urban neighborhood which has undergone, and is undergoing, considerable change." This considerable change has drastically increased in the recent years of development in the district. We are striving for a building that provides a contemporary interpretation of the irregular, nuanced nature of the historic buildings in the district. Following the recent, contemporary developments in the district.

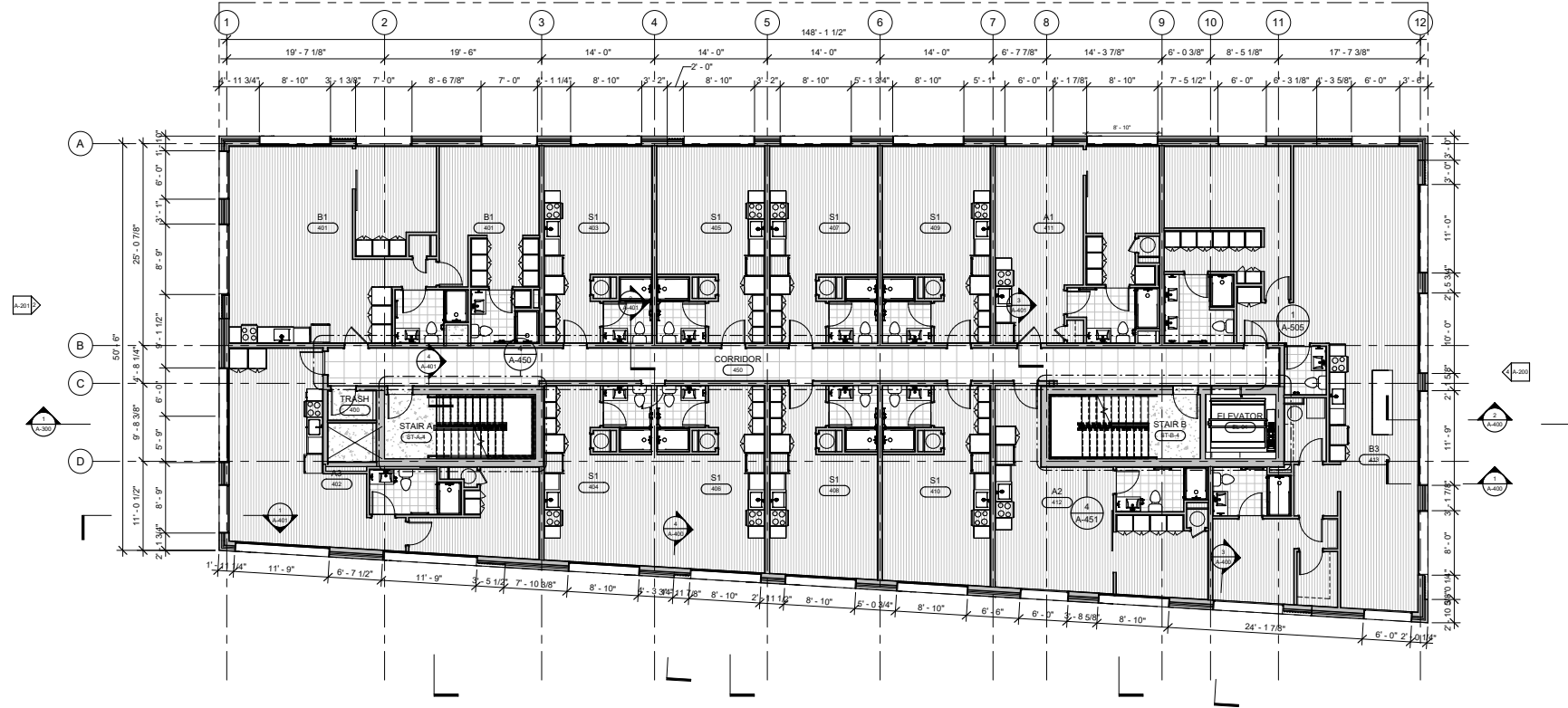




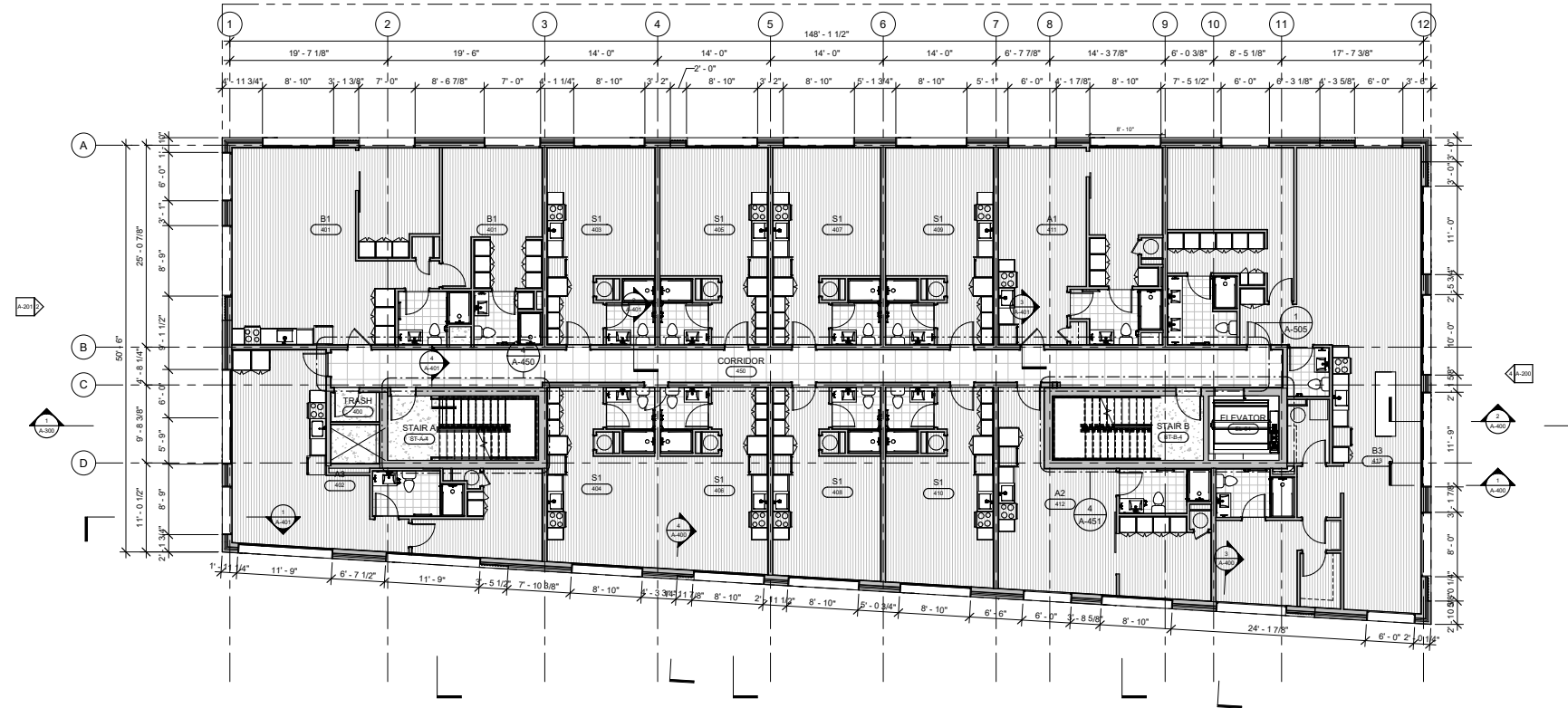
GROUND FLOOR



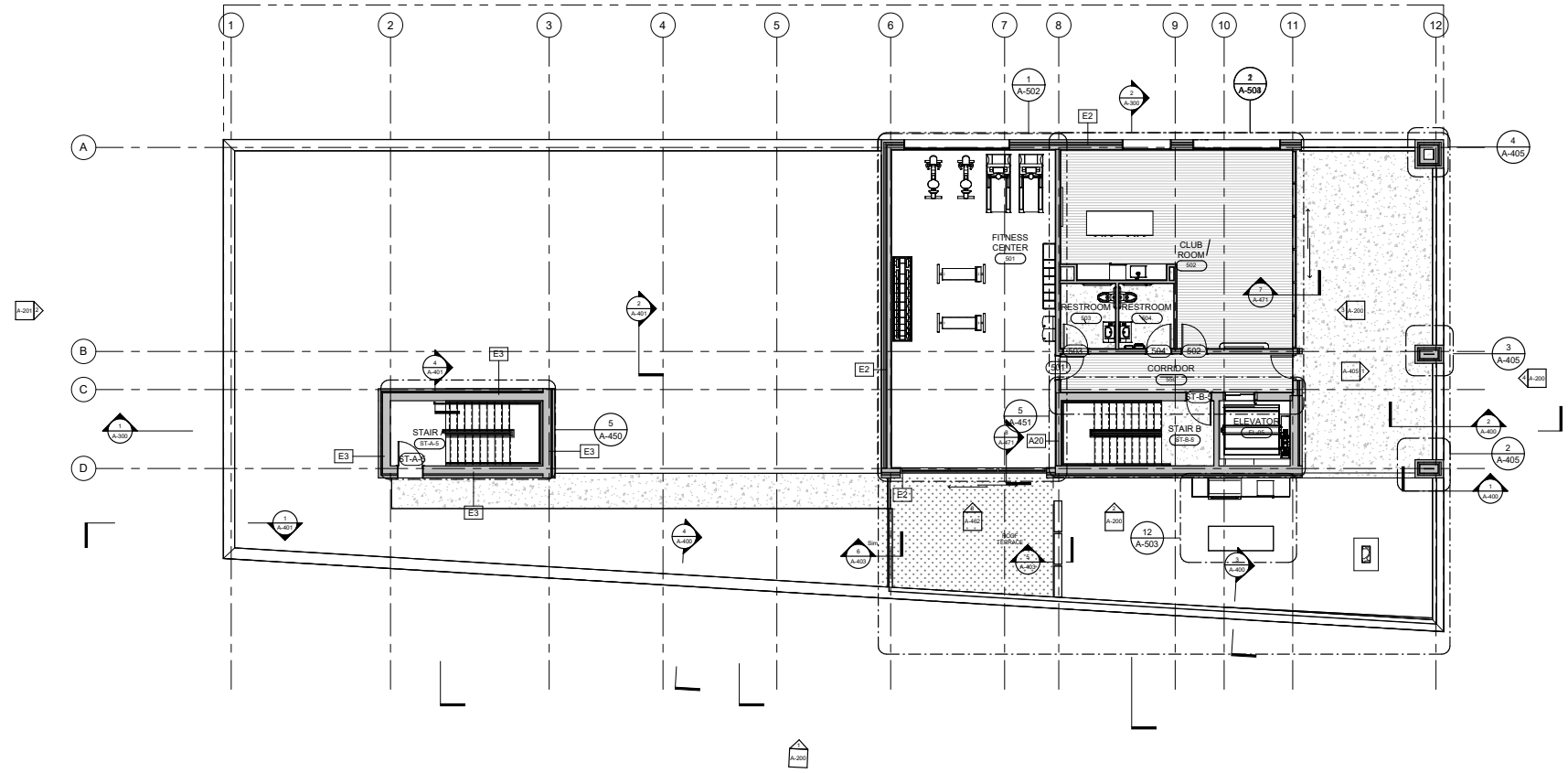
SECOND FLOOR



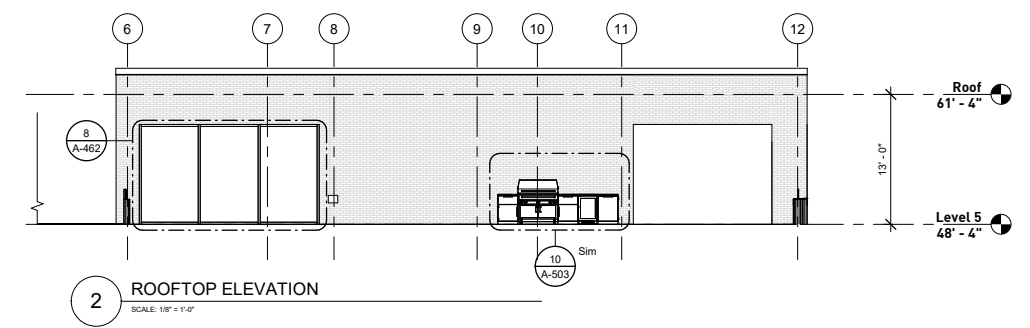
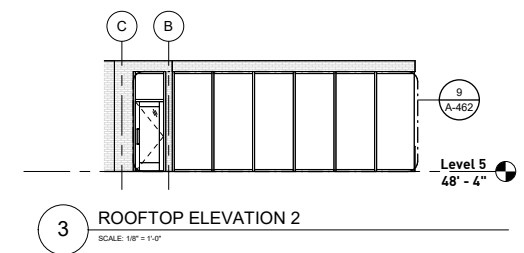
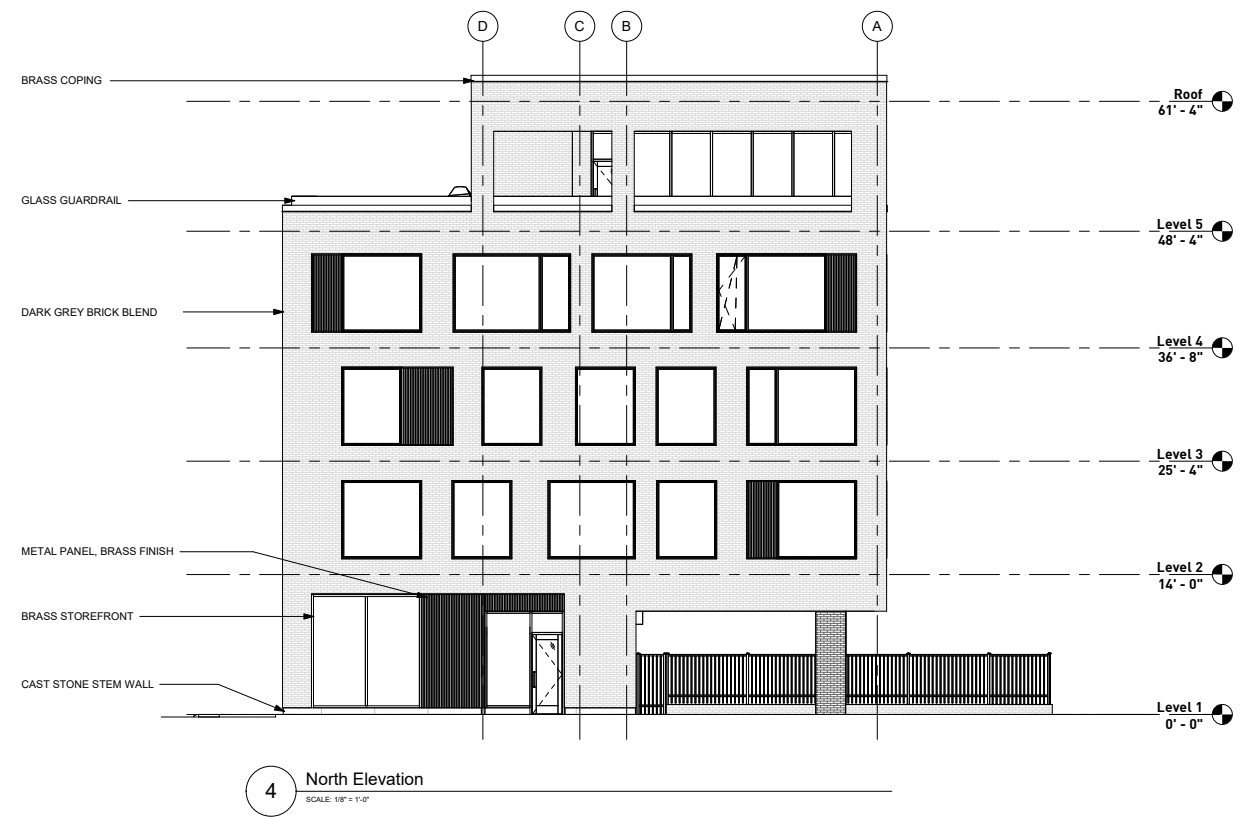
THIRD FLOOR

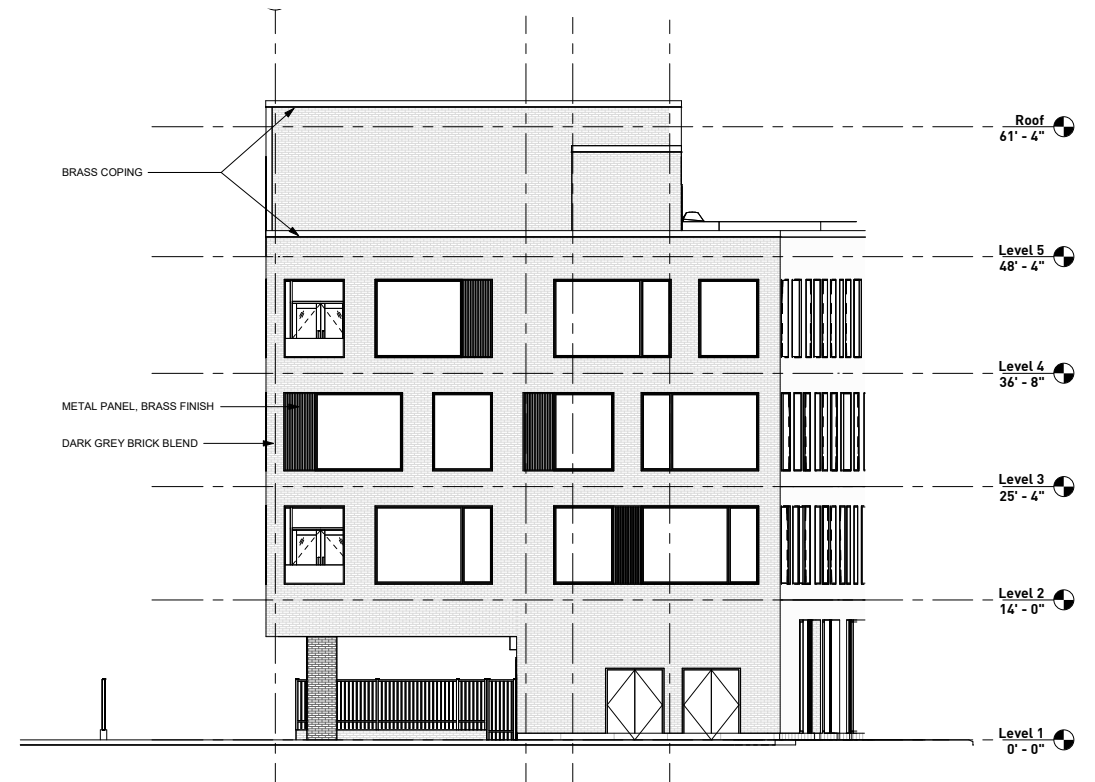


FOURTH FLOOR

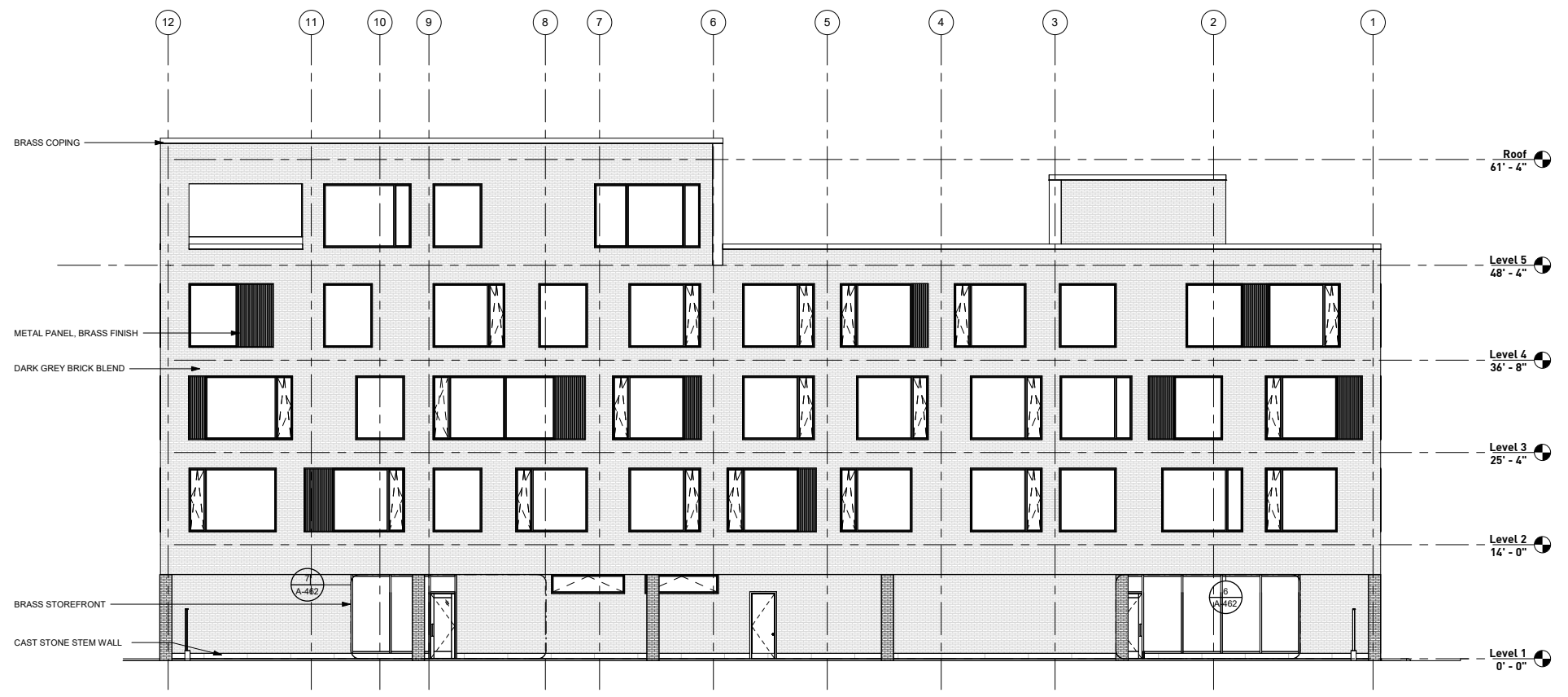


FIFTH FLOOR





2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 East Elevation
SCALE: 1/8" = 1'-0"











MANGANESE VELOUR NORMAN

BRICK - PRIMARY FACE



KINGSPAN MORIN PANEL

METAL PANEL - INSET



INTUS CUSTOM COLOR

WINDOW



STEM WALL





HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 02/16/26

Application Number: HDC2026-00043

APPLICANT & PROPERTY INFORMATION

NAME: Reid Mauti		COMPANY NAME: Mcintosh Poris Architects	
ADDRESS: 36801 Woodward Ave	CITY: Birmingham	STATE: MI	ZIP: 48009
PROJECT ADDRESS: 205 Watson St.			
HISTORIC DISTRICT: Brush Park			

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

The initial review of this application has noted missing information as well as corrections needed. Submission deadline for the March HDC meeting is 5:00 pm Tuesday, 2/17.

General

Please include a north arrow on the site plan and each floor plan page.

Staff review comment: Is site, or building lighting, proposed?

Site Plan

Please include the property line; garbage bin(s); landscaping, if planned (plantings are shown on the renderings); and condensing units.

Staff reviewer comment: It could be helpful to identify, by dotted line and note/arrow, the upper level footprint of the building to reinforce the tuck-under parking.

The renderings do not match the elevation drawings and site plan. Please note: the Commission's approval will cover the design/materials as shown on the elevations. Therefore, if there are items planned for this project that are only illustrated on the renderings, please make sure they are included on the forthcoming updated elevation drawings.

Elevations

The north and south elevations are not identified correctly, and the north (currently identified as south) elevation on page 11 is not fully printed on the page.

Include additional drawings such as wall and detail sections (i.e., 1/A-460, 6/A-462, etc.) so the Commission can clearly understand the overall building design. For 1/A-460 – it appears that this is a recessed patio – please call out the railing, or ½ wall outer enclosure on the elevations, similar to the brick and metal panels.

For each operational window, there are two arrows identifying them as awning and casement. Please clarify.

N/A

PSR: Audra

260216AD

APPLICANT RESPONSE

Response Date: 02/23/2026



1. North arrows have been added
2. Site lighting has not been designed yet. We anticipate meeting the code required lighting for the site by mounting lights on the building
3. Property line has been emphasized, garbage will be stored in the room marked as "trash", landscaping per renderings has been added to the site plan, no condensing units will be mounted at grade
4. Overhead line has been added
5. Renderings and elevations have been coordinated
6. The elevations have been labeled correctly and reprinted to show the full extent of the elevations
7. Additional drawings have been added to provide exterior details including the balconies
8. The balconies have been called out on the elevations
9. The window operations have been clarified

WALLACE ESTATES

HDC PRESENTATION

Project Narrative




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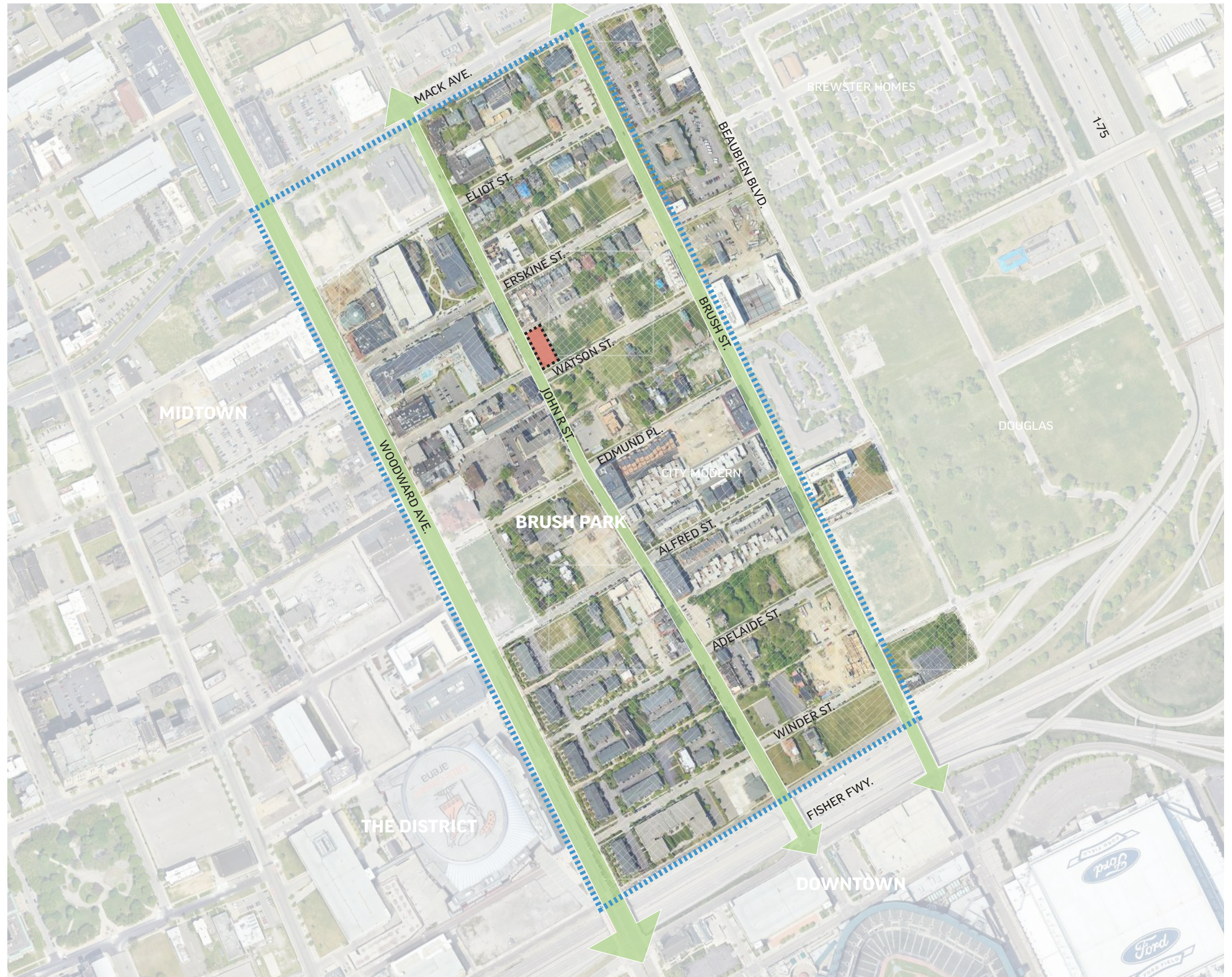
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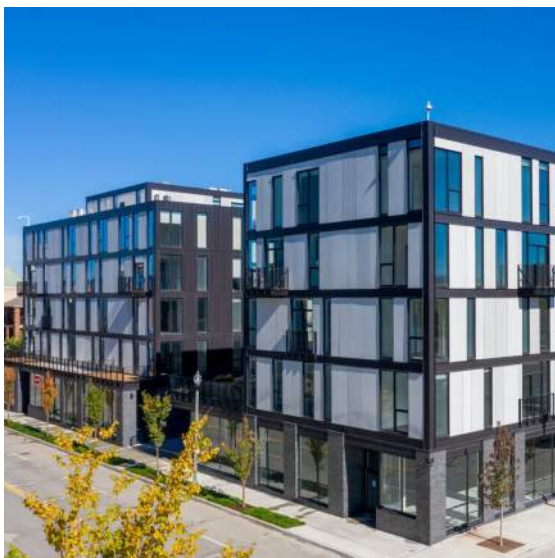
**MCINTOSH
PORIS
ARCHITECTS**

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This district is characterized by Victorian homes with a high degree of complexity and apartment buildings that have more classic, simpler ornamentation. This building looks to provide a reference to ornamentation but still be of its time. The brick facade, with deep inset windows, metal inset panels, and trim provide a rich level of detail while remaining contemporary

(20) Orientation, vistas, overviews.

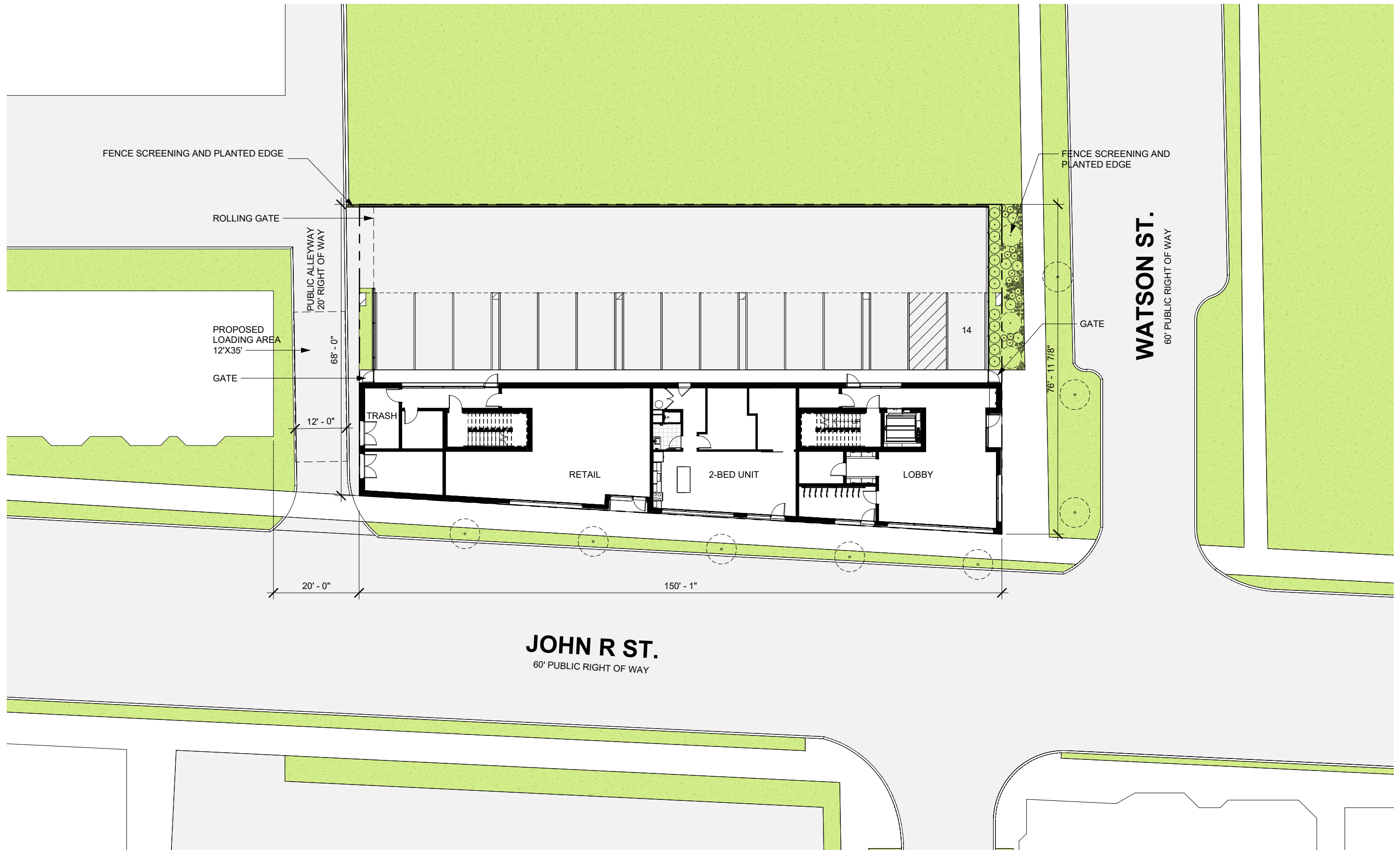
The building is oriented to both John R and Watson as it is on a corner lot. The main entrance to the building is off of Watson while secondary entrances are along The John R frontage.

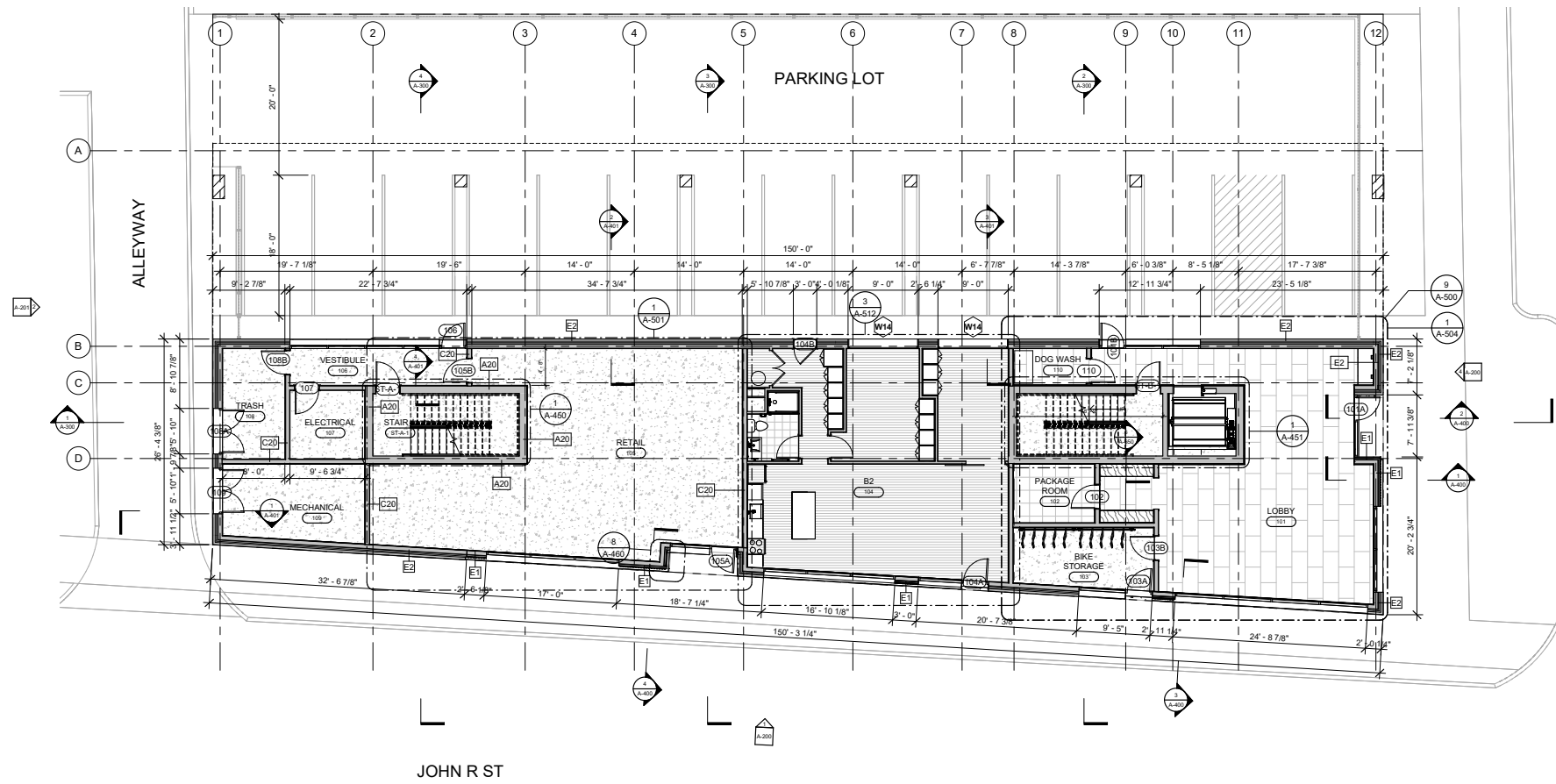
(21) Symmetric or asymmetric appearance.

This building provides an asymmetrical, irregular appearance both from the overall massing and the staggered window pattern, This is consistent with the elements of design that note; "Asymmetrical but balanced compositions are common".

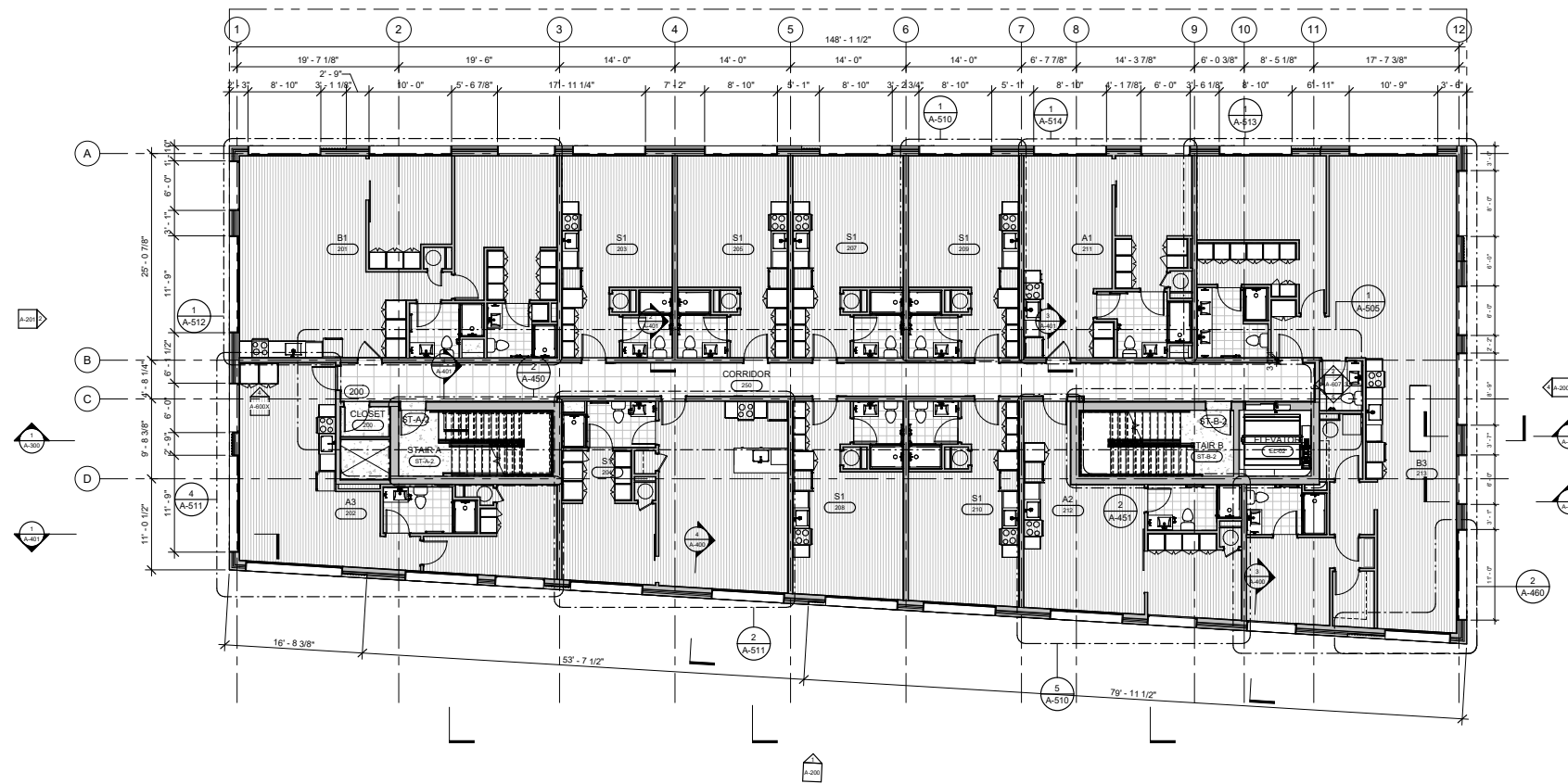
(22) General Environmental character.

The elements of design state "The environmental character is of an old urban neighborhood which has undergone, and is undergoing, considerable change." This considerable change has drastically increased in the recent years of development in the district. We are striving for a building that provides a contemporary interpretation of the irregular, nuanced nature of the historic buildings in the district. Following the recent, contemporary developments in the district.

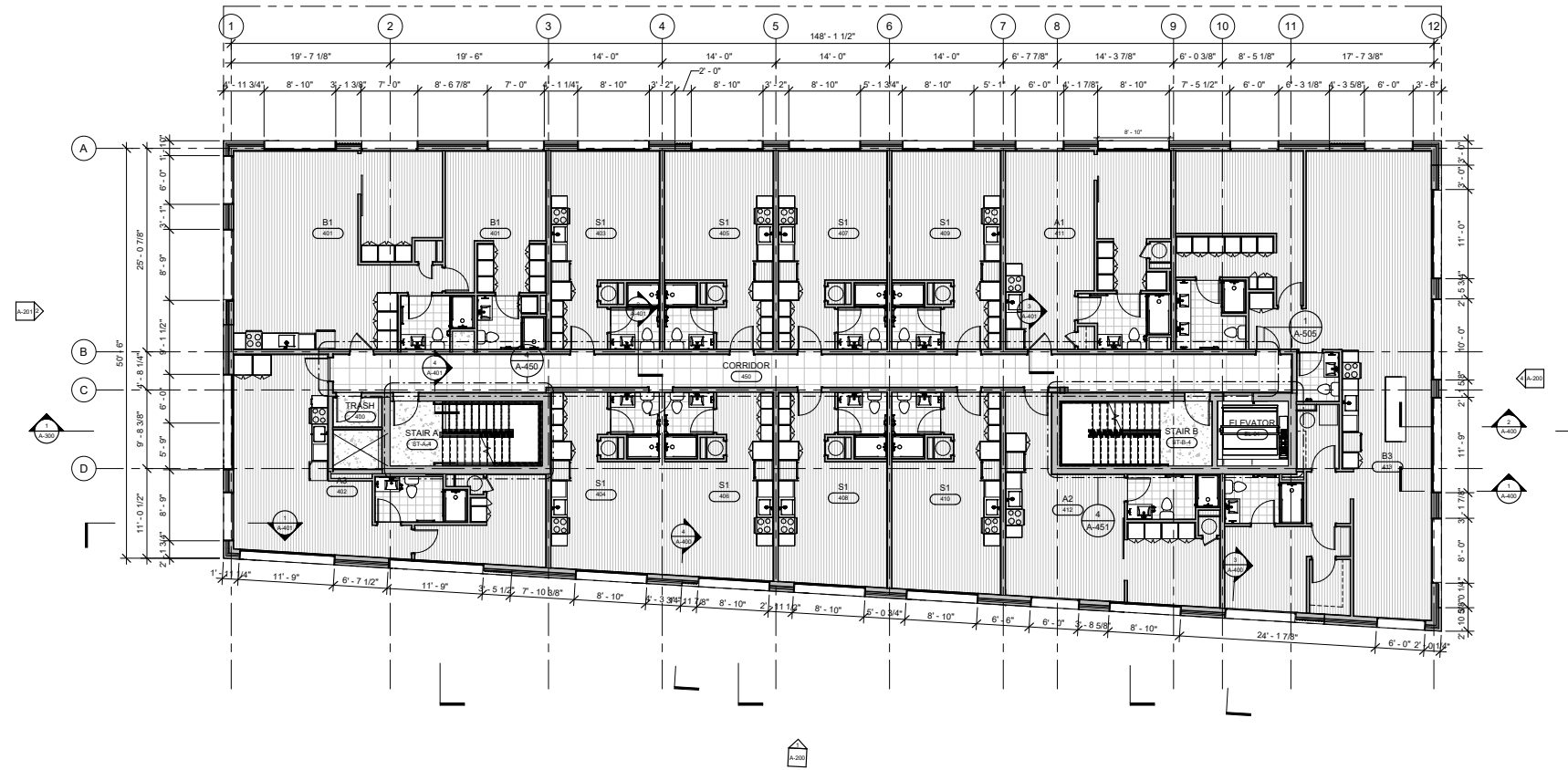




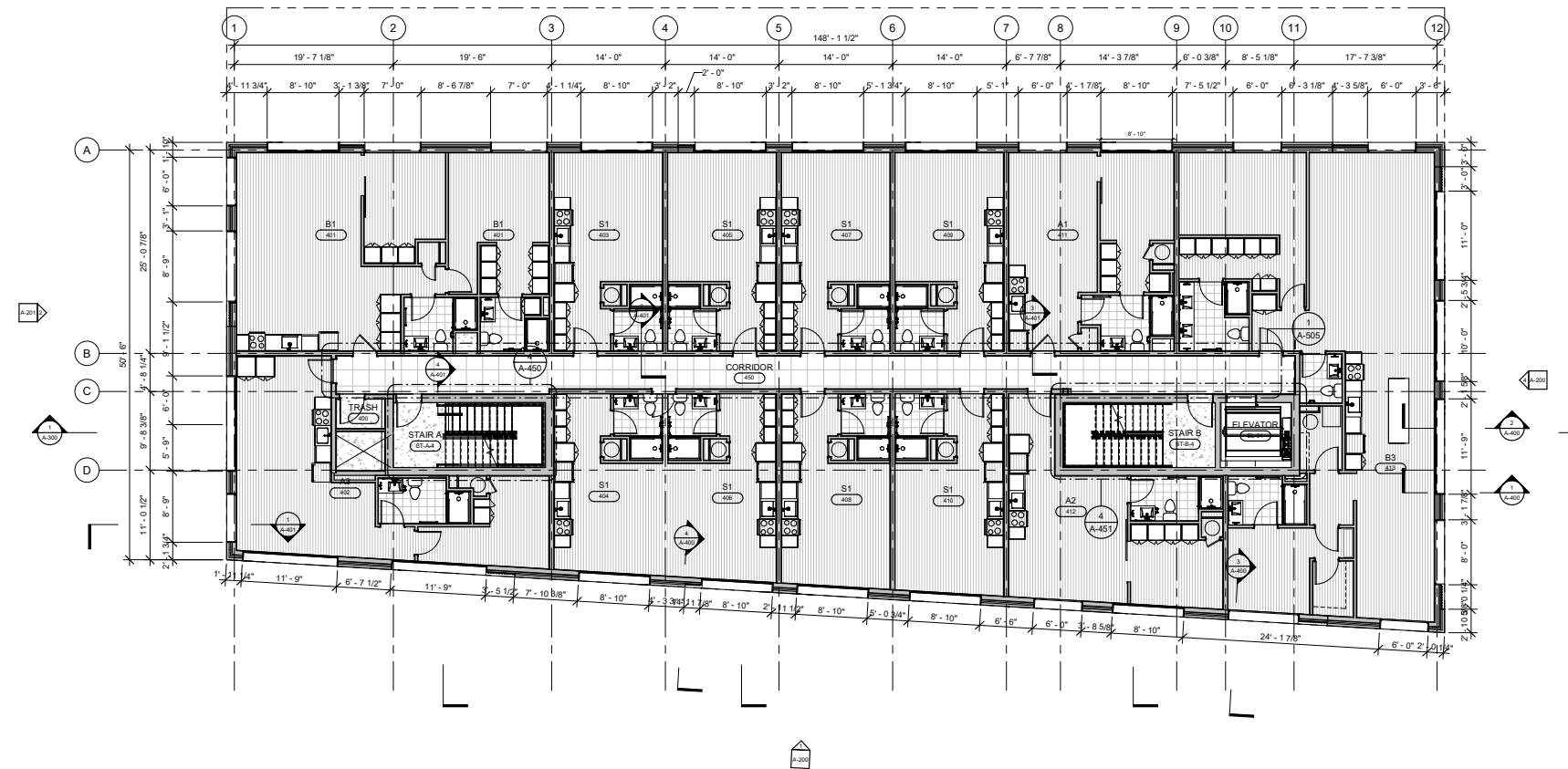
GROUND FLOOR



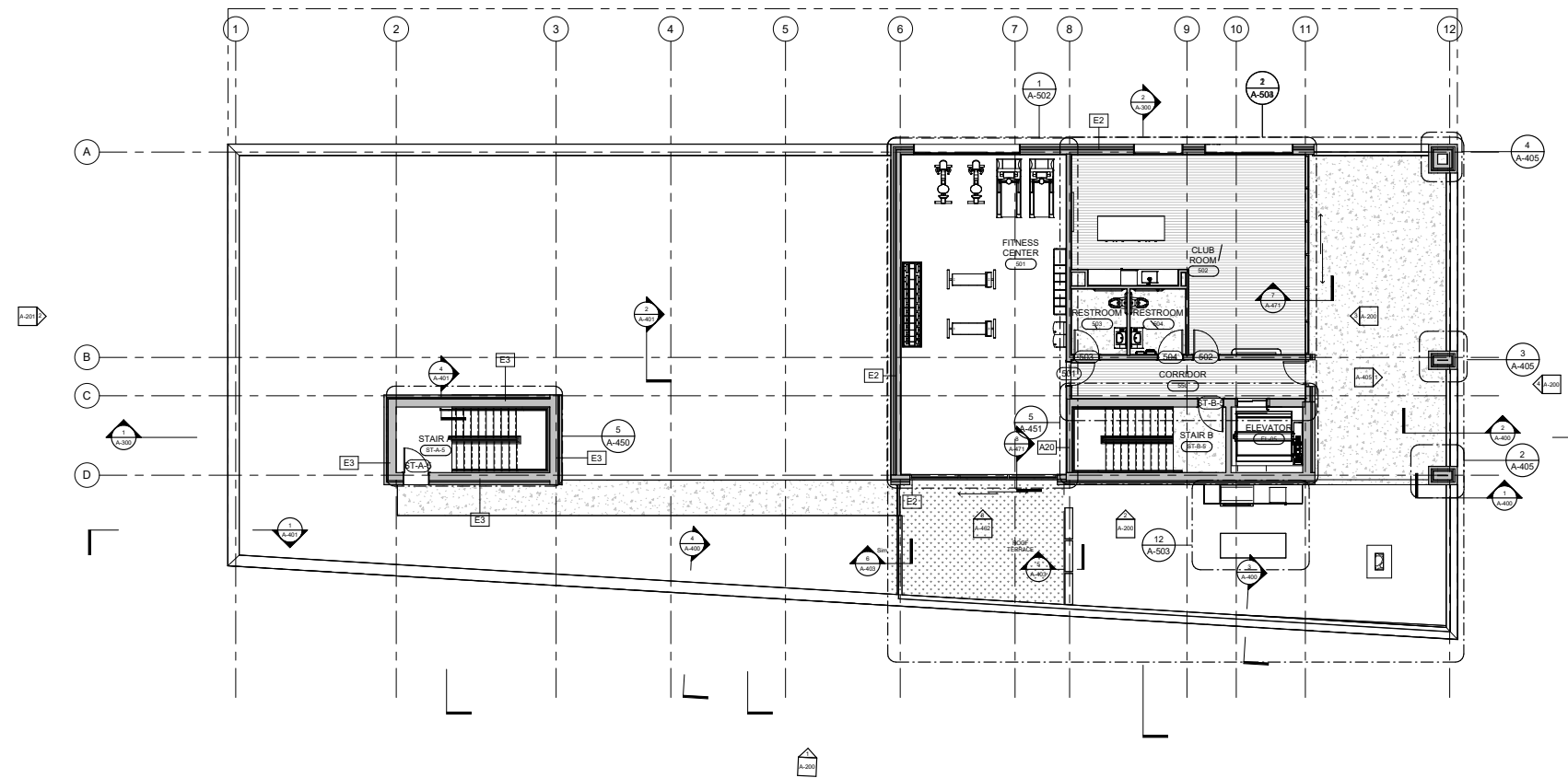
SECOND FLOOR



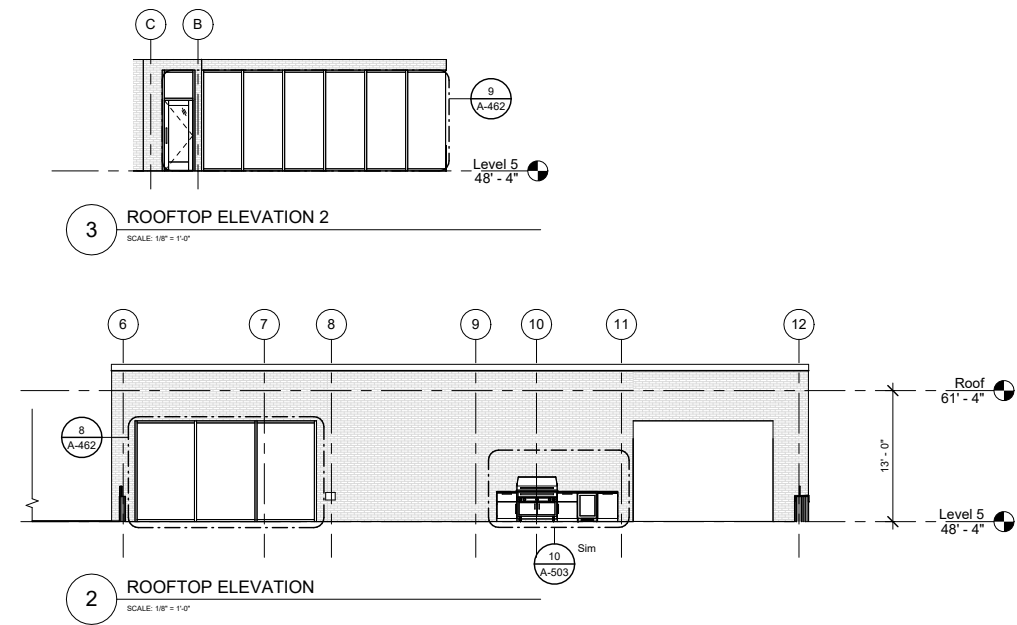
THIRD FLOOR

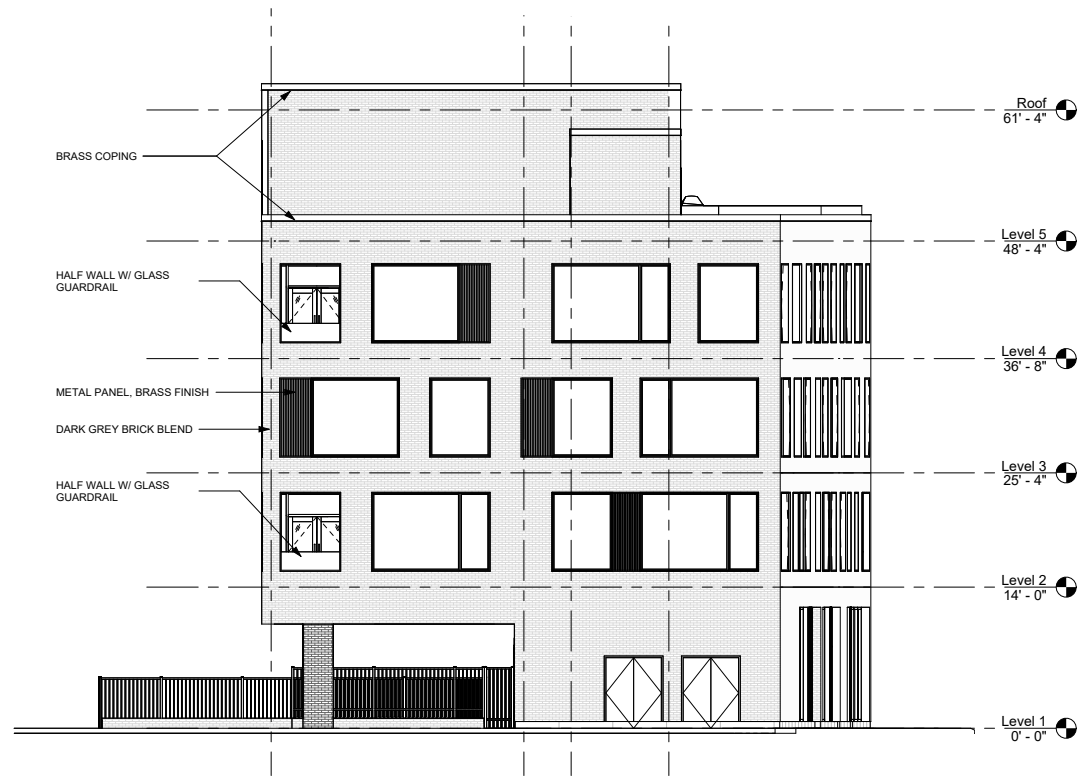


FOURTH FLOOR

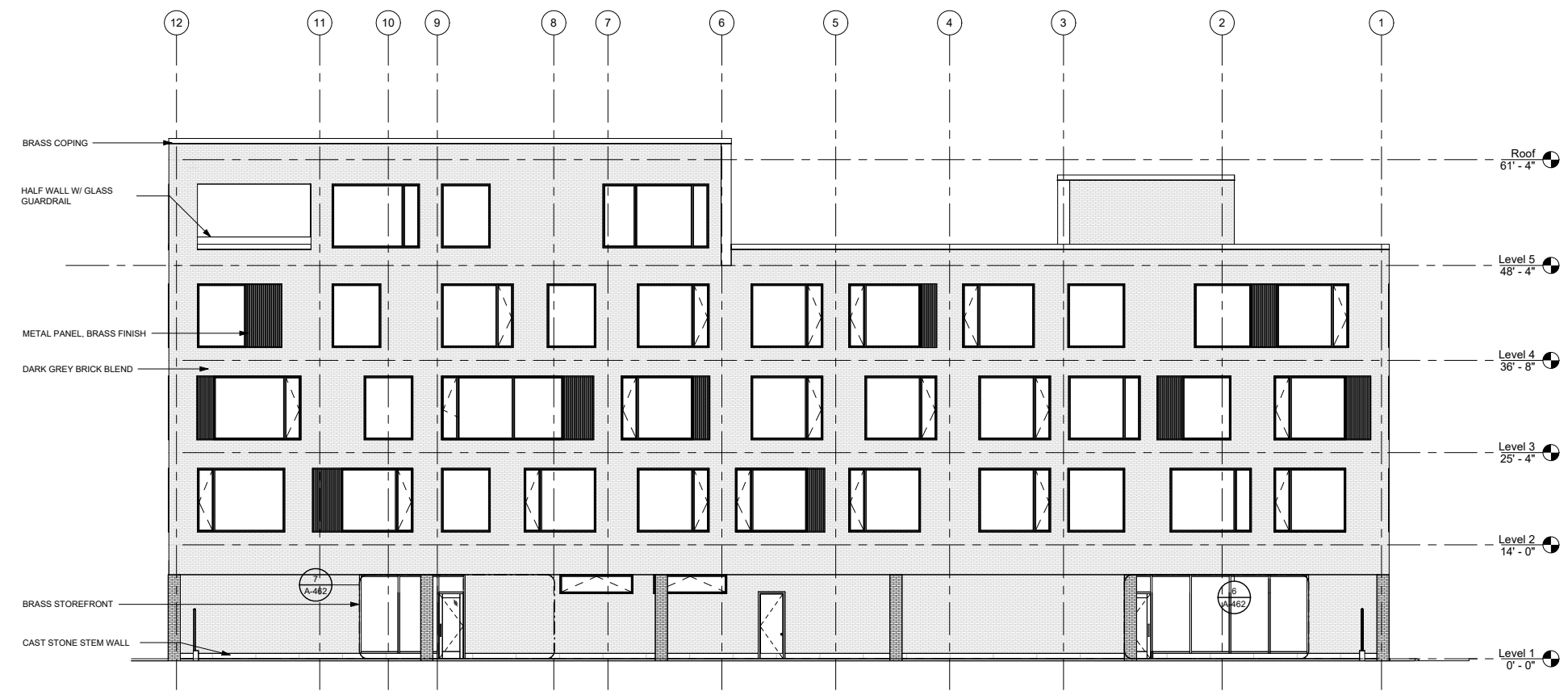


FIFTH FLOOR





2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 East Elevation
SCALE: 1/8" = 1'-0"











MANGANESE VELOUR NORMAN

BRICK - PRIMARY FACE



KINGSPAN MORIN PANEL

METAL PANEL - INSET



INTUS CUSTOM COLOR

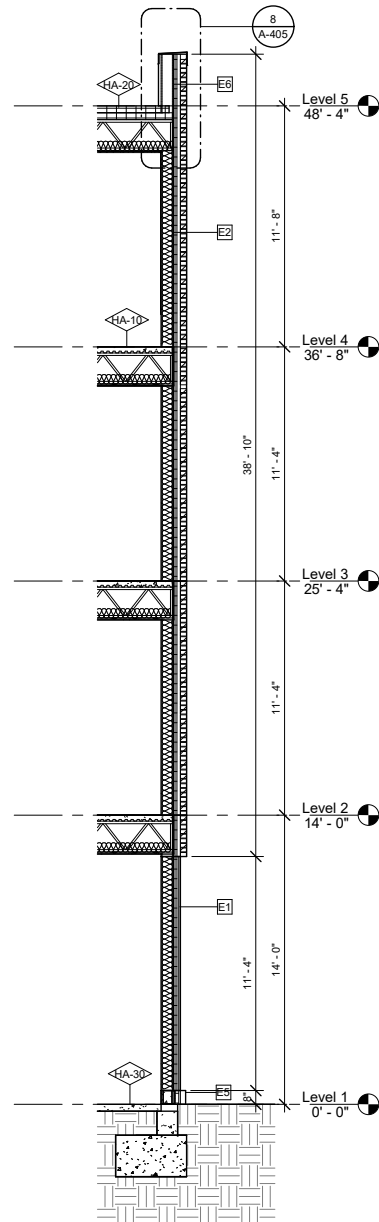
WINDOW



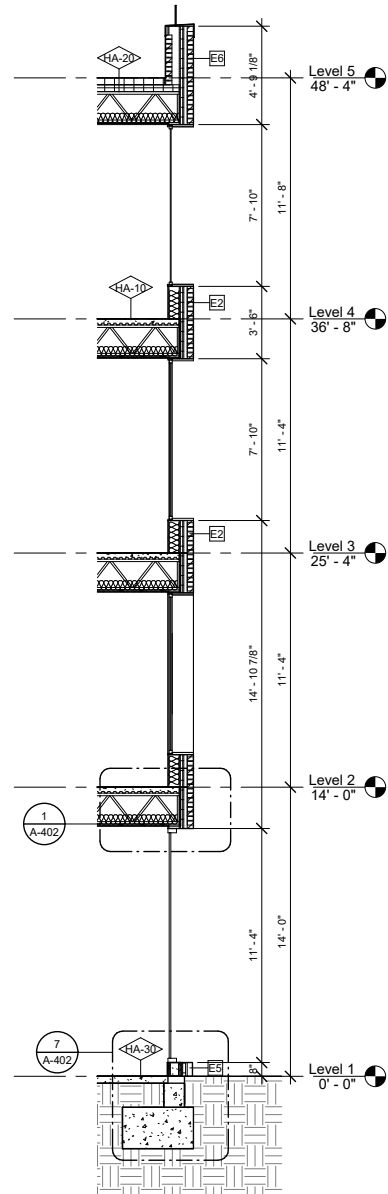
STEM WALL



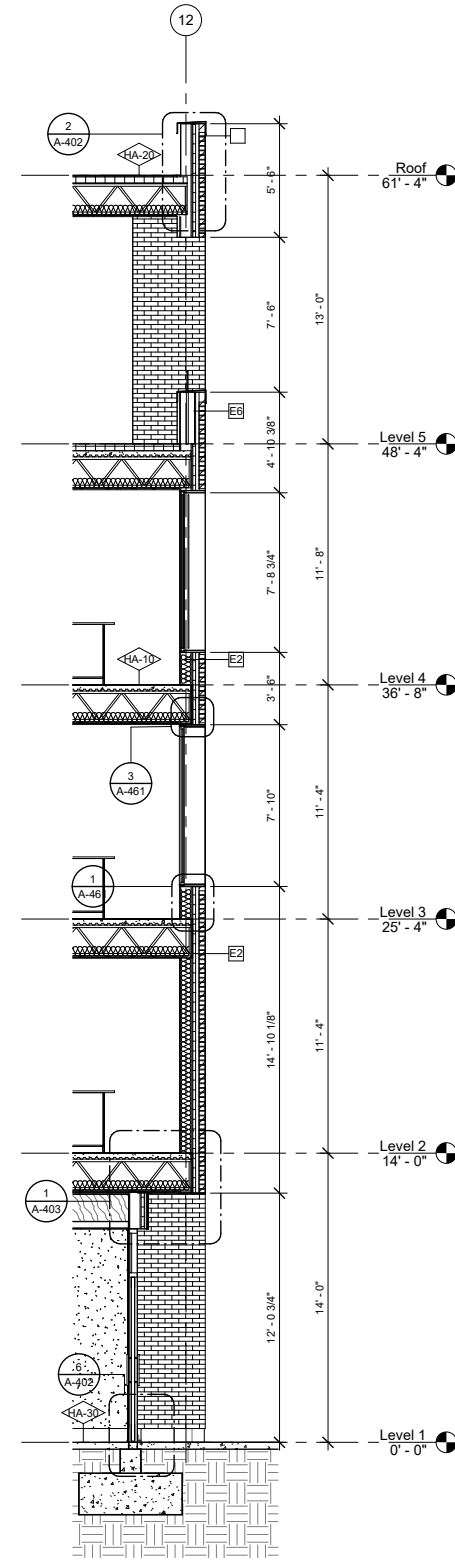
DARK GRAY BRICK W/ BRASS



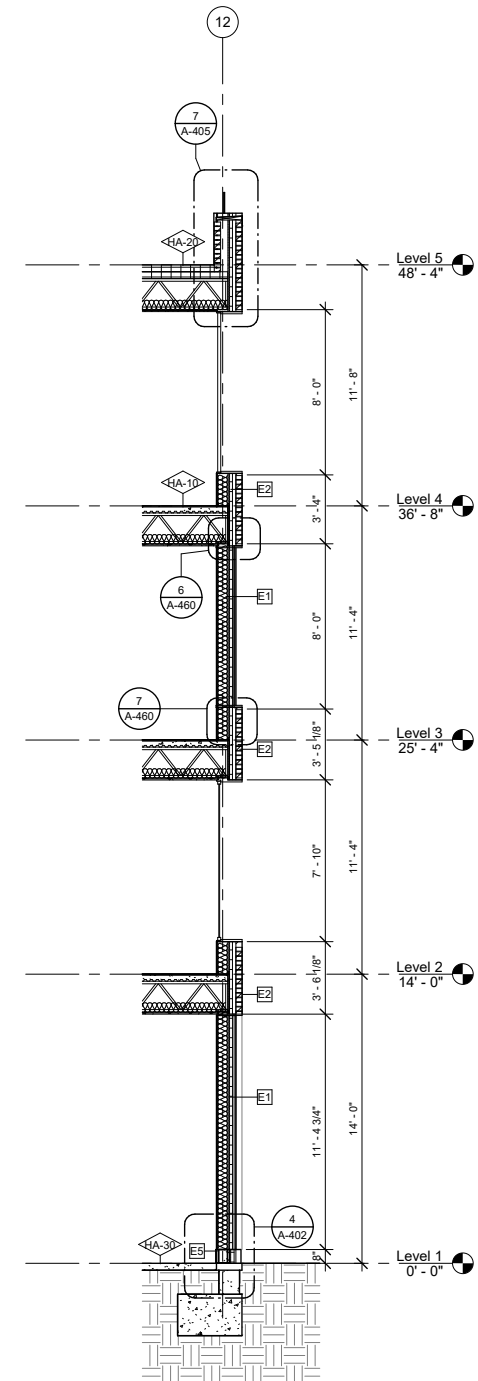
4 WALL SECTION WEST ELEVATION @ METAL PANEL 01
SCALE: 1/4" = 1'-0"



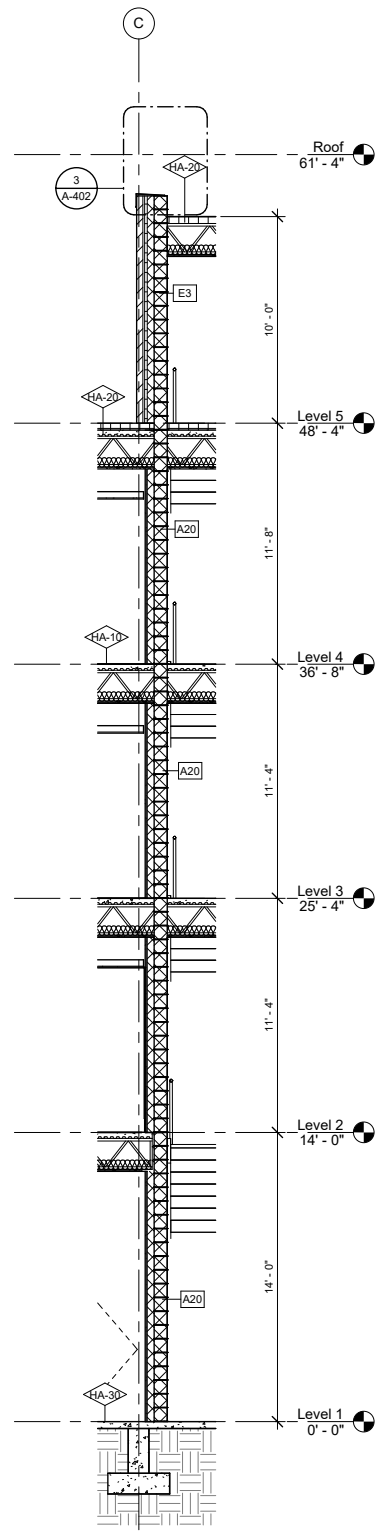
3 WALL SECTION WEST ELEVATION @ WINDOWS 02
SCALE: 1/4" = 1'-0"



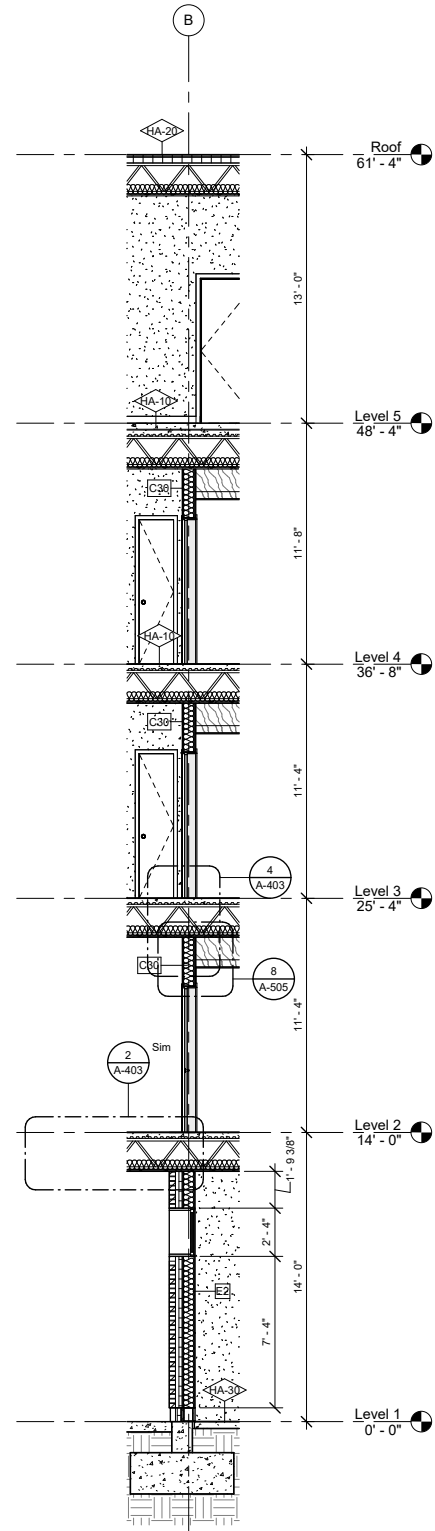
2 WALL SECTION SOUTH ELEVATION @ VESTIBULE + WINDOWS
SCALE: 1/4" = 1'-0"



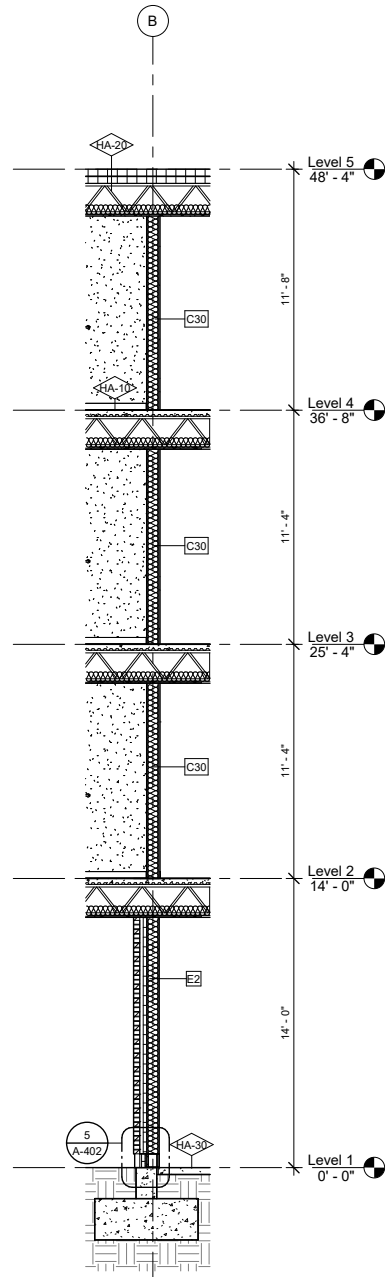
1 WALL SECTION SOUTH ELEVATION @ STOREFRONT
SCALE: 1/4" = 1'-0"



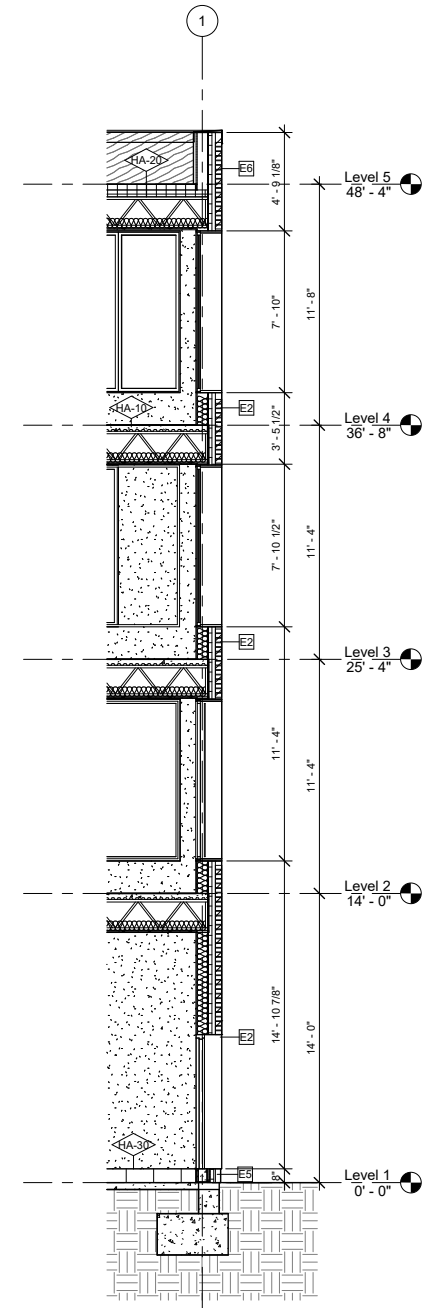
4 WALL SECTION - CORRIDOR
SCALE: 1/4" = 1'-0"



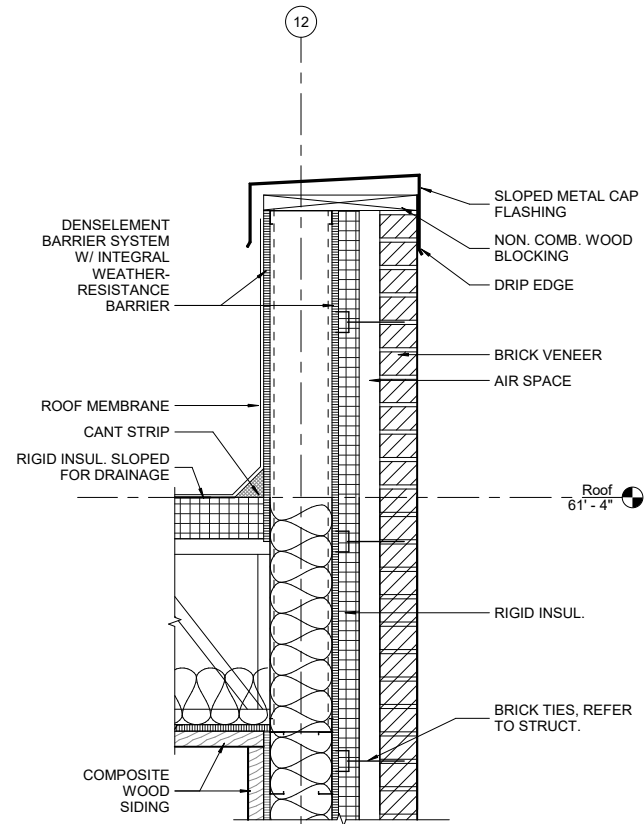
3 WALL SECTION EAST ELEVATION 2
SCALE: 1/4" = 1'-0"



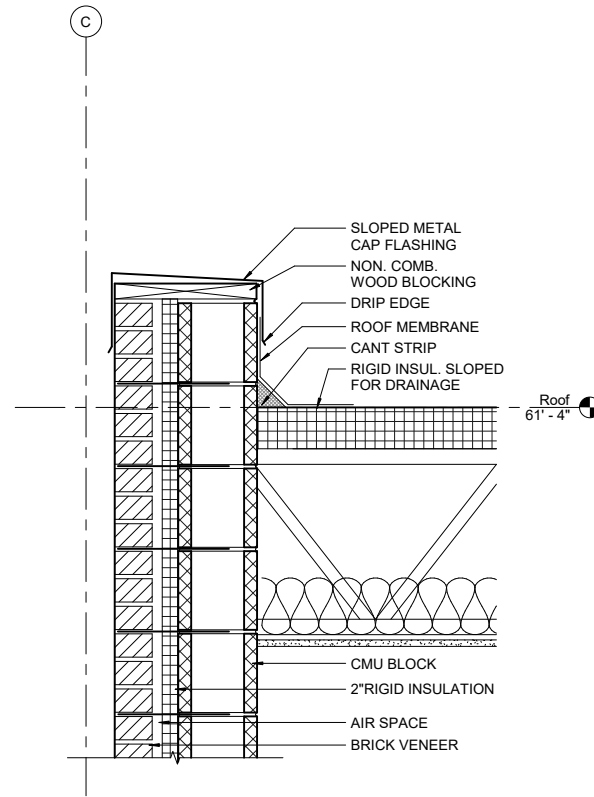
2 WALL SECTION EAST ELEVATION 1
SCALE: 1/4" = 1'-0"



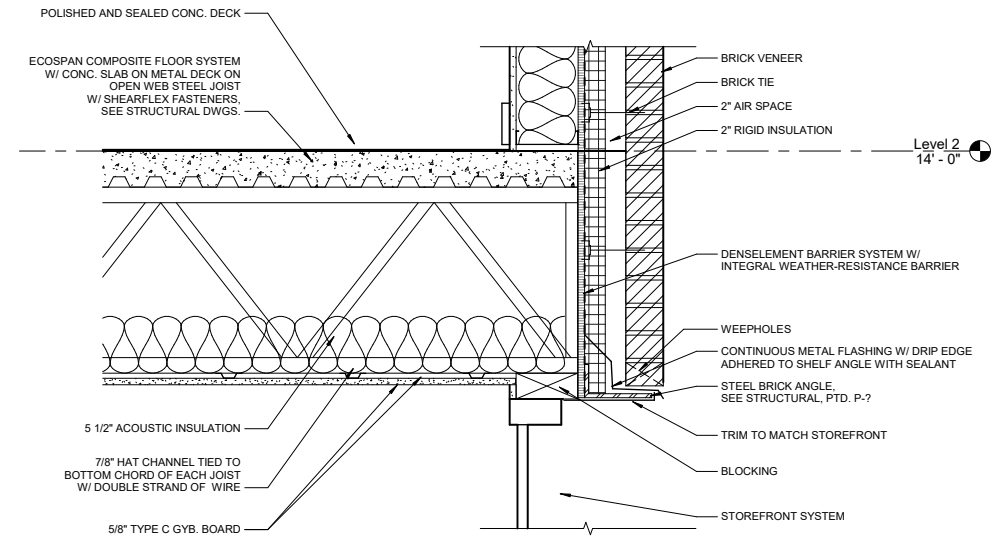
1 WALL SECTION NORTH ELEVATION
SCALE: 1/4" = 1'-0"



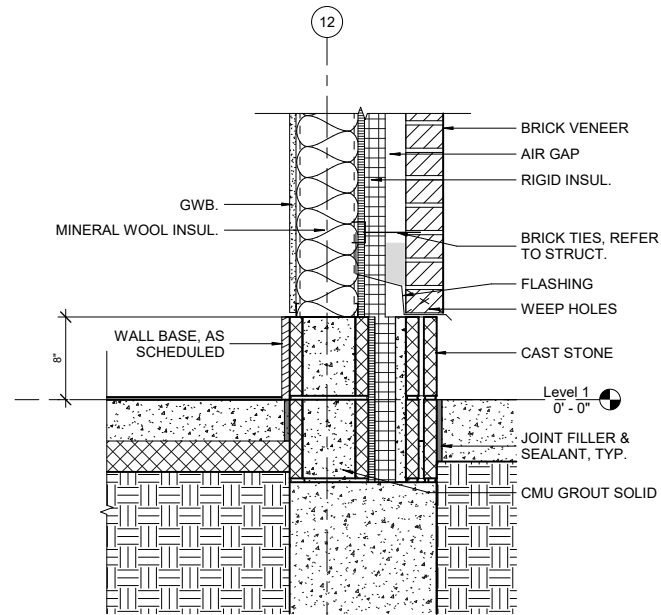
2 PARAPET DETAIL (HIGHER ROOF)
SCALE: 1/12" = 1'-0"



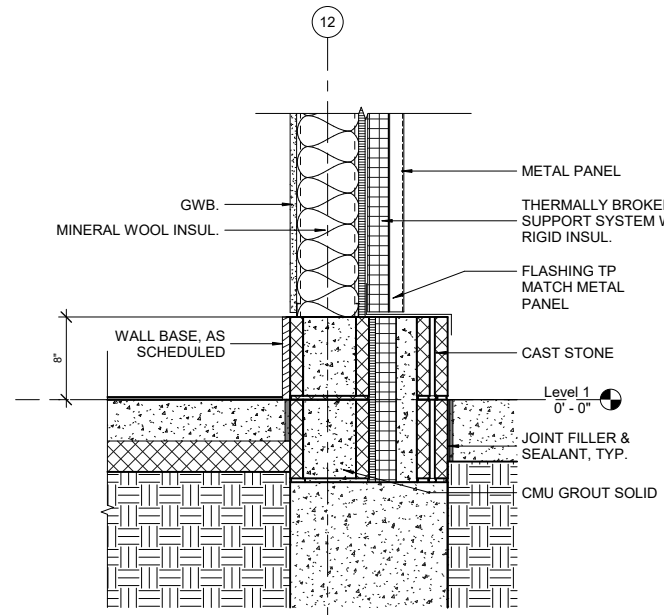
3 PARAPET AT STAIR A
SCALE: 1/12" = 1'-0"



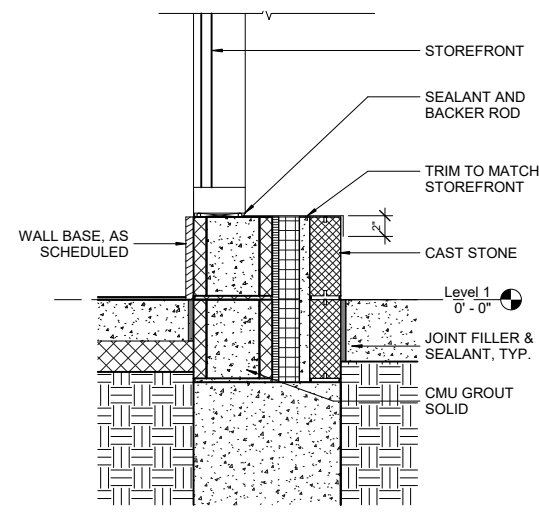
1 WALL SECTION DETAIL @ TOP OF STOREFRONT
SCALE: 1/12" = 1'-0"



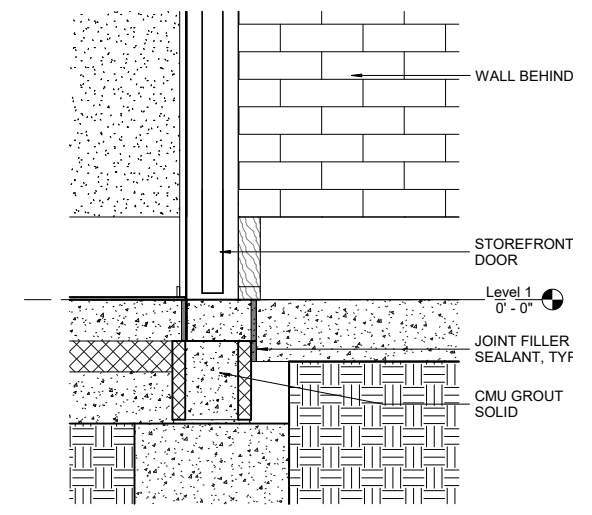
5 STEM WALL DETAIL @ BRICK
SCALE: 1/12" = 1'-0"



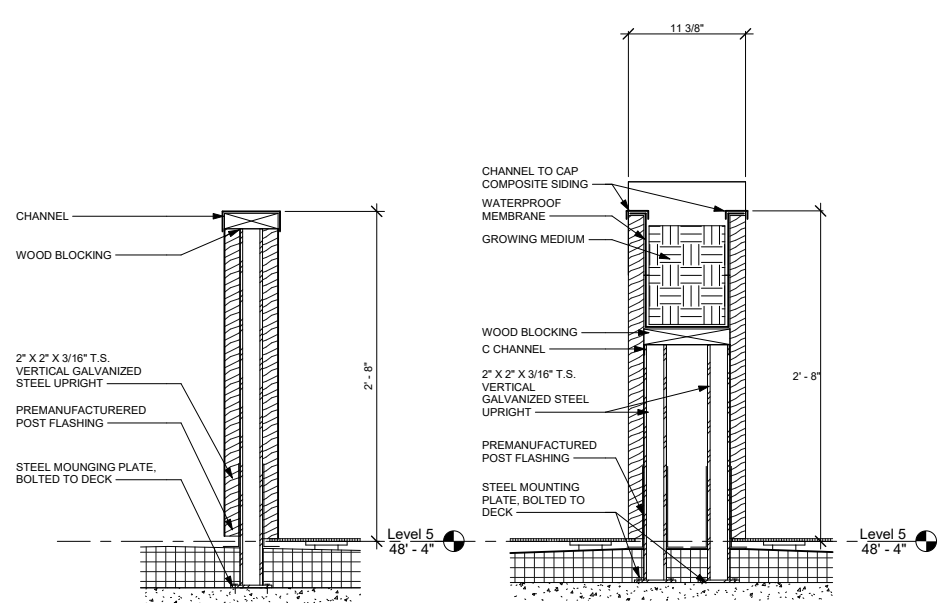
4 STEM WALL DETAIL @ METAL PANEL
SCALE: 1/12" = 1'-0"



7 STEM WALL DETAIL @ STOREFRONT
SCALE: 1/12" = 1'-0"

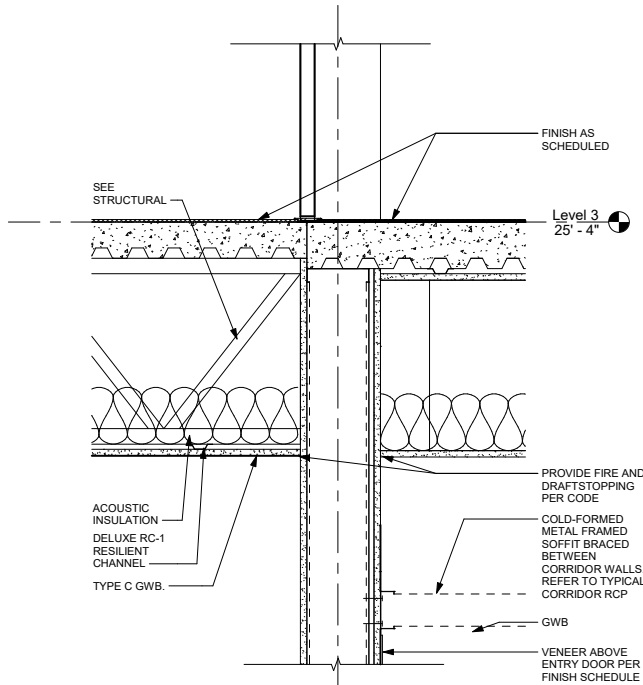


6 DETAIL @ BOTTOM OF INSET STOREFRONT DOOR
SCALE: 1/12" = 1'-0"

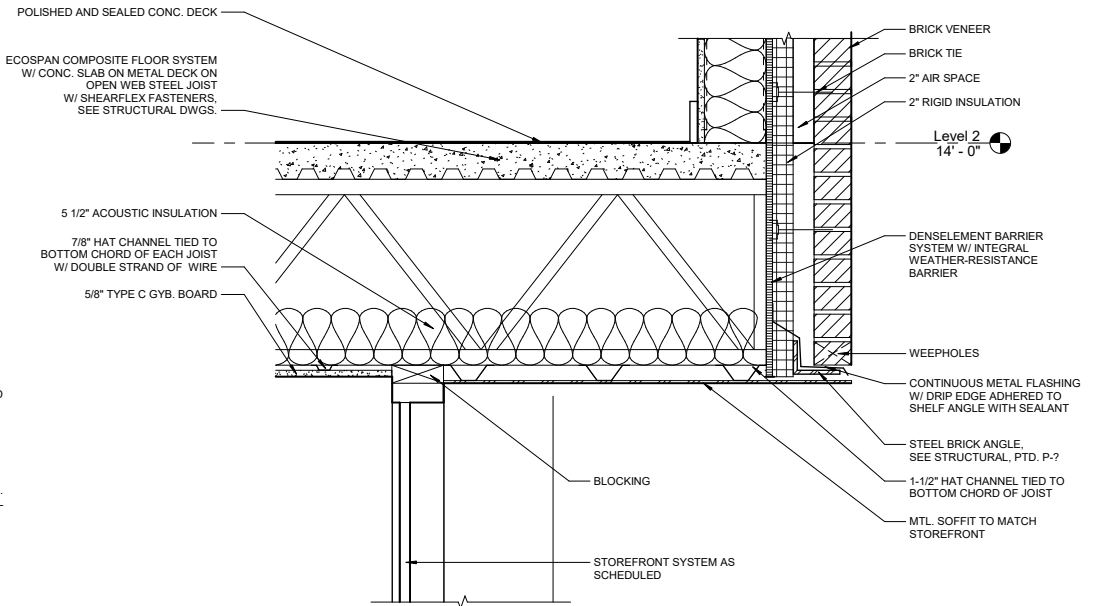


6 TERRACE WOOD RAILING
SCALE: 1/12" = 1'-0"

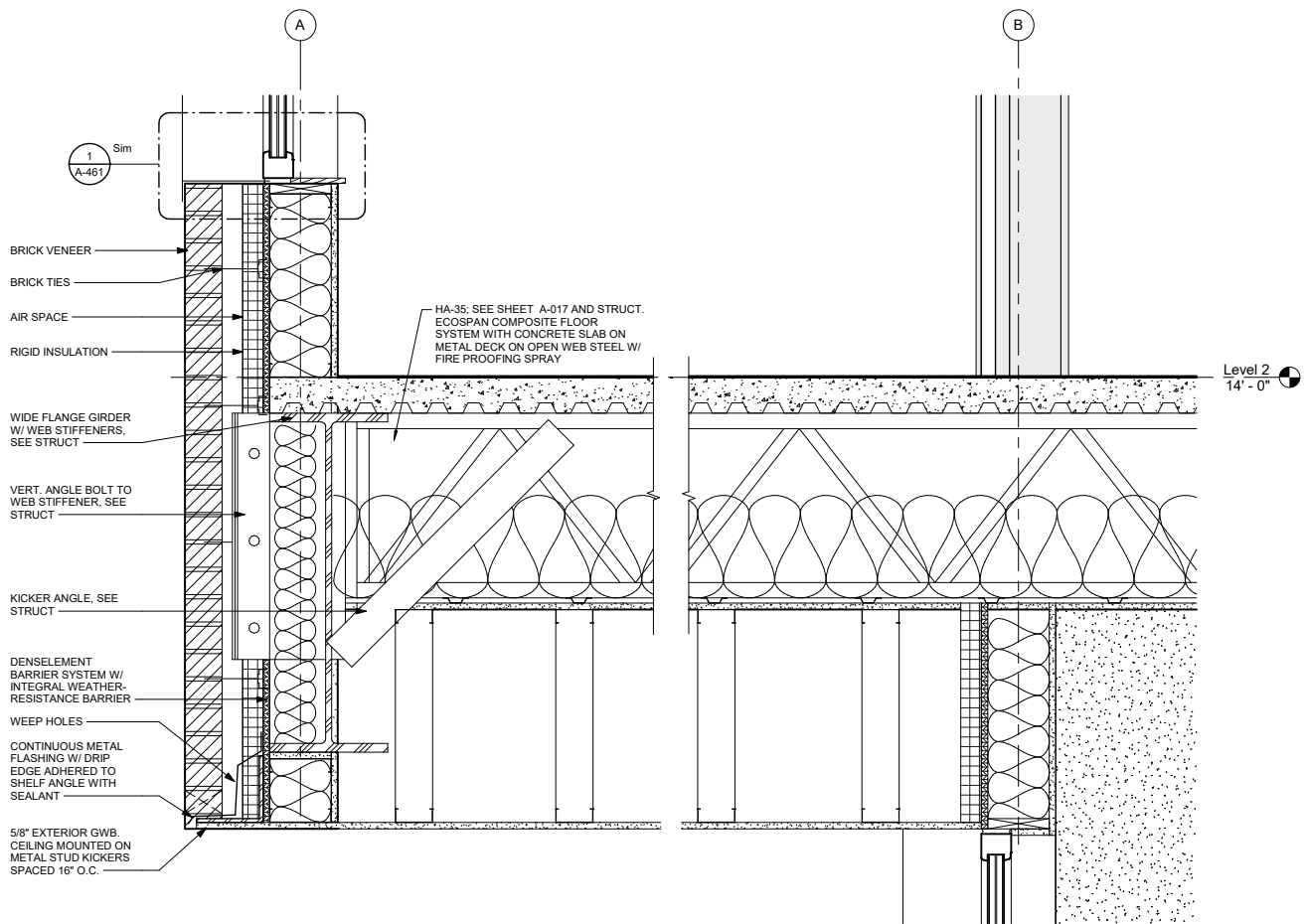
5 TERRACE PLANTER DIVIDER WALL
SCALE: 1/12" = 1'-0"



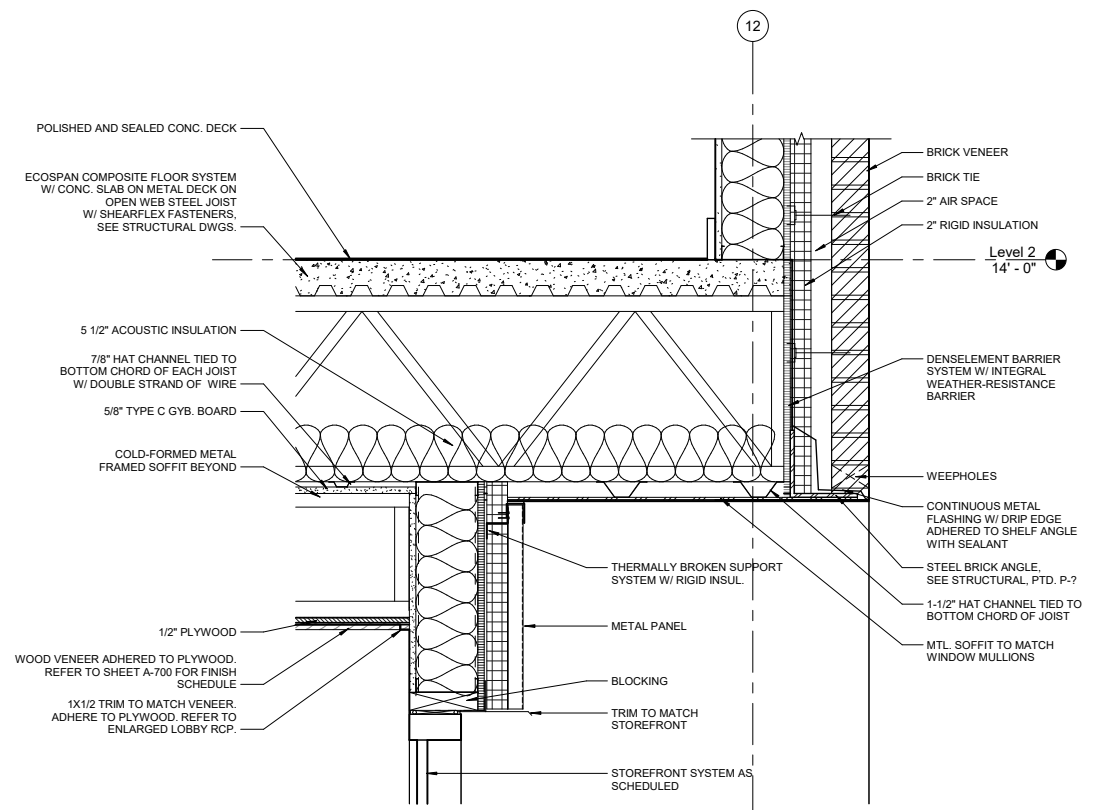
4 SECTION DETAIL - FLOOR @CORRIDOR
SCALE: 1/12" = 1'-0"



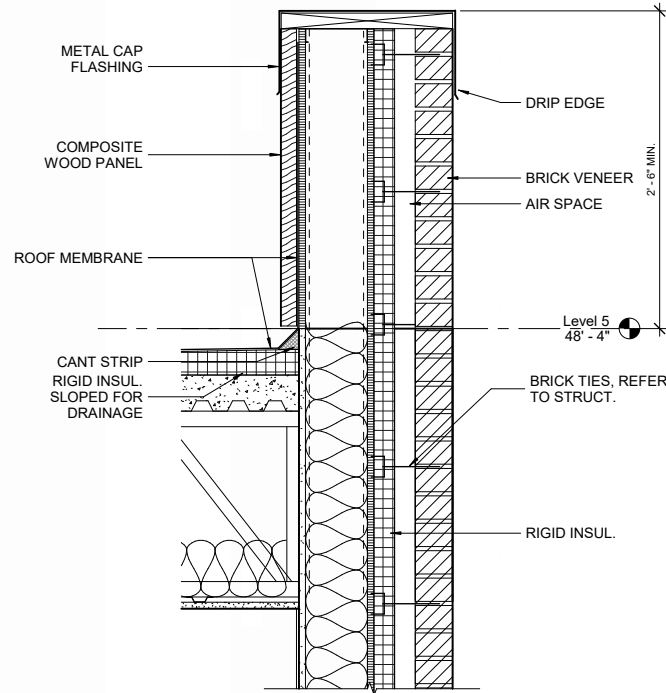
3 SOFFIT DETAIL @ RETAIL
SCALE: 1/12" = 1'-0"



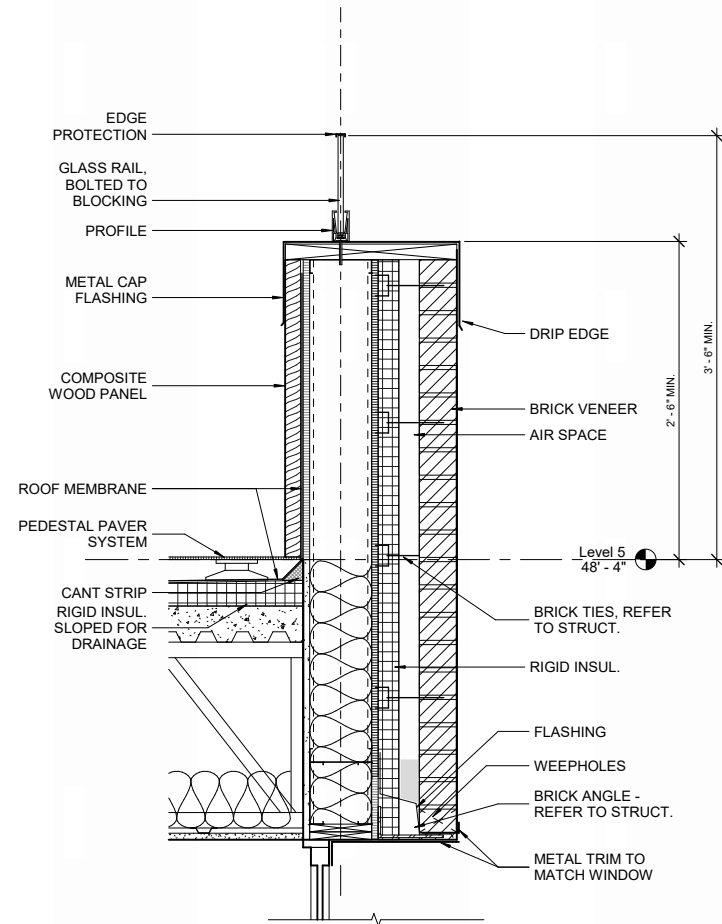
2 SOFFIT @ PARKING
SCALE: 1/12" = 1'-0"



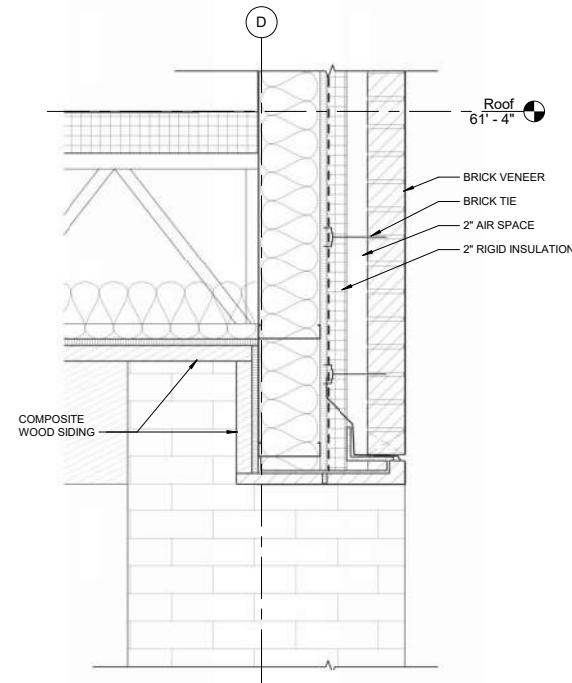
1 SECTION DETAIL - SOFFIT @ LOBBY
SCALE: 1/12" = 1'-0"



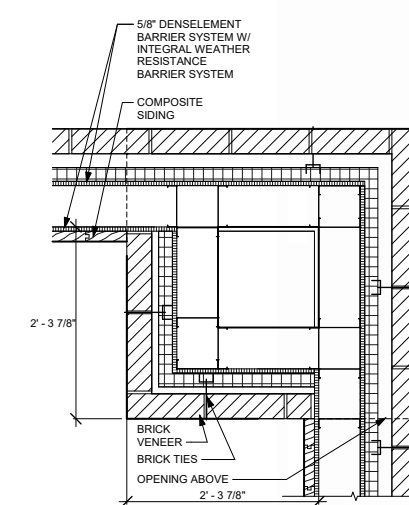
8 TYPICAL PARAPET DETAIL
SCALE: 1/2" = 1'-0"



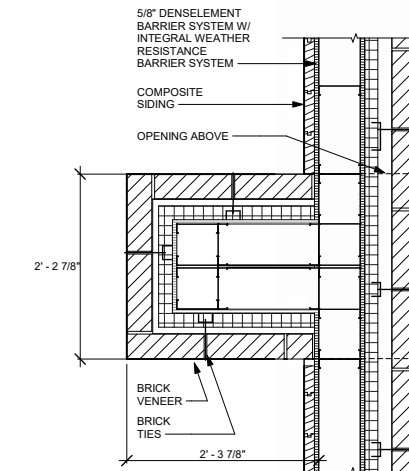
7 PARAPET DETAIL @ GLASS RAILING
SCALE: 1/2" = 1'-0"



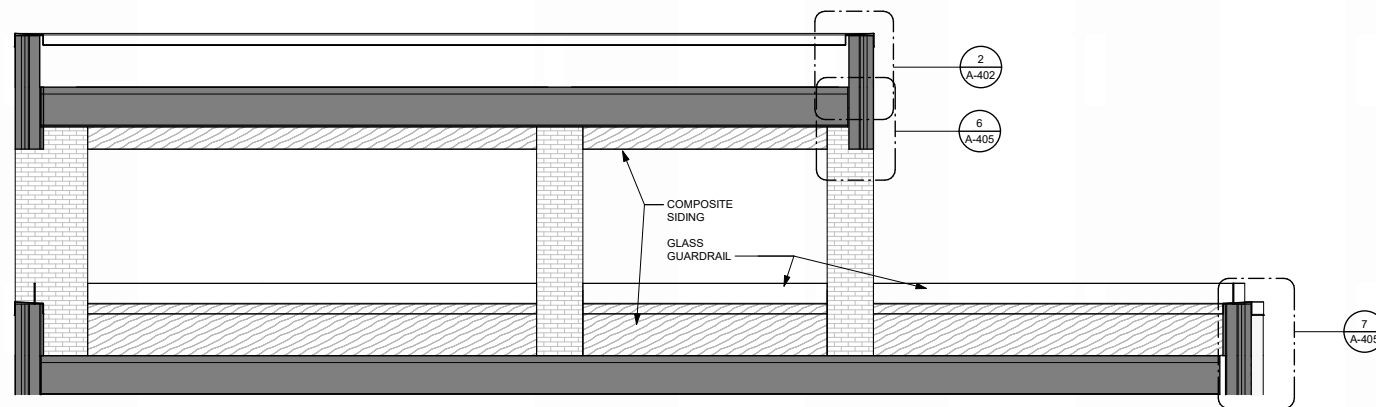
6 ROOFTOP OPENING HEADER DETAIL
SCALE: 1/2" = 1'-0"



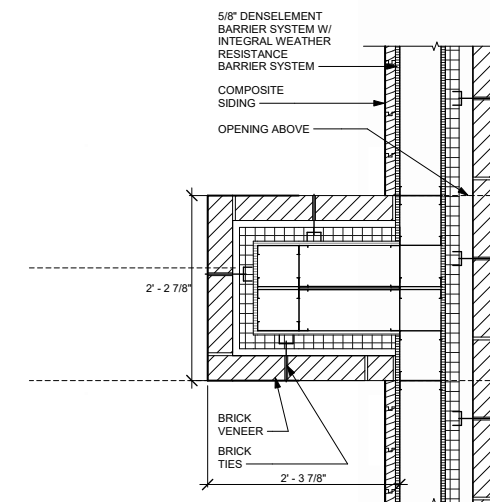
4 PARAPET PLAN DETAIL 3
SCALE: 1" = 1'-0"



3 PARAPET PLAN DETAIL 2
SCALE: 1" = 1'-0"

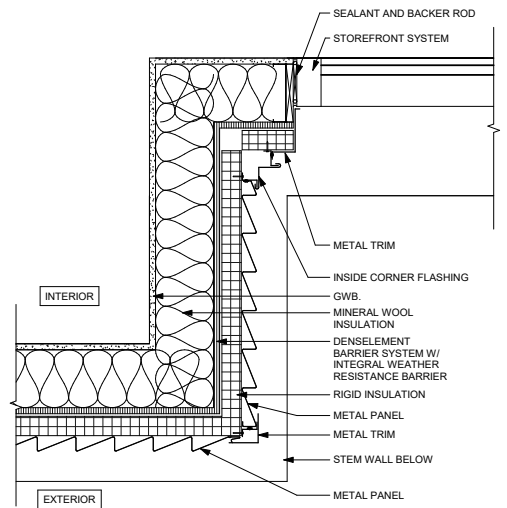


1 ROOFTOP WALL ELEVATION
SCALE: 1/4" = 1'-0"

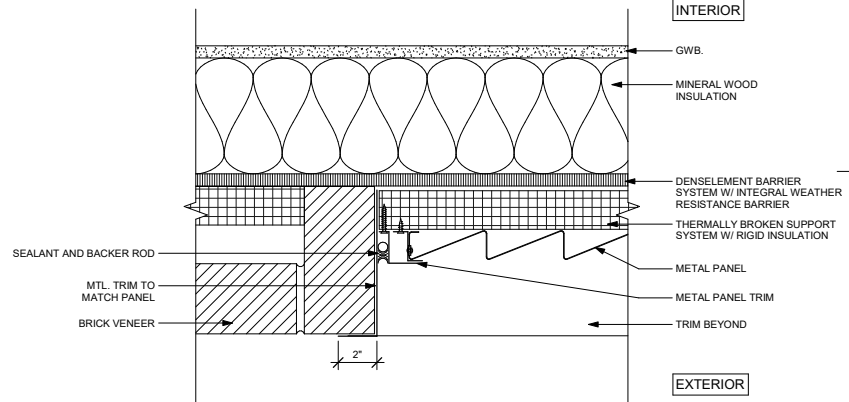


2 PARAPET PLAN DETAIL 1
SCALE: 1" = 1'-0"

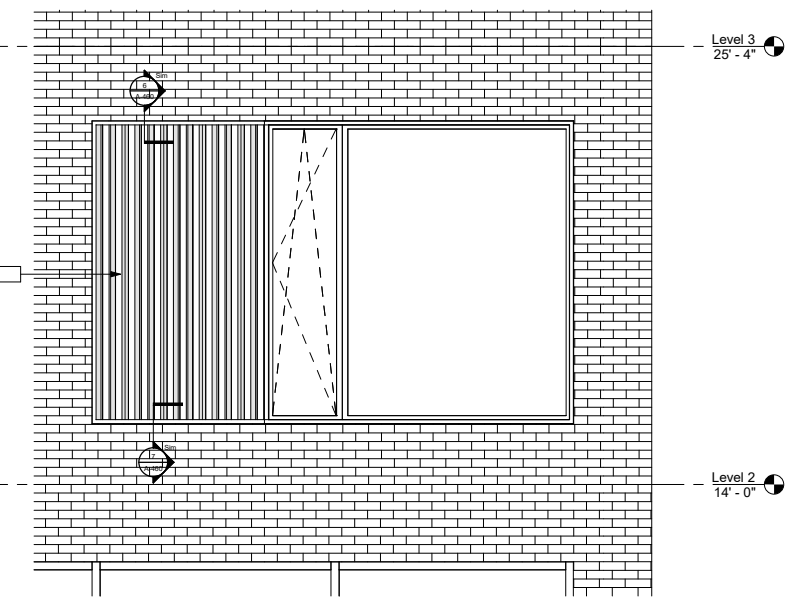
EXTERIOR FINISH KEY						
(ANY AND ALL SUBSTITUTIONS TO THE FOLLOWING SPECIFICATIONS TO BE SUBMITTED TO ARCHITECT PER APPROVAL)						
ID	TYPE	MANUFACTURER	FINISH/COLOR	STYLE	DESCRIPTION	REP. CONTACT INFO
BR-01	<varies>				PRIMARY BRICK FACE	
MP-01	METAL WALL PANEL	MORIN CORP		PULSE SERIES VERTICAL STACK	INFILL METAL PANEL	



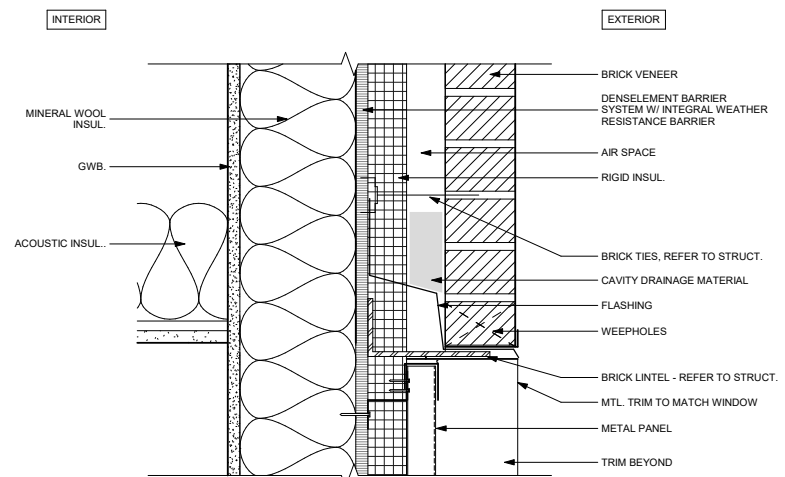
8 METAL PANEL TO STOREFRONT PLAN DETAIL
SCALE: 1/2" = 1'-0"



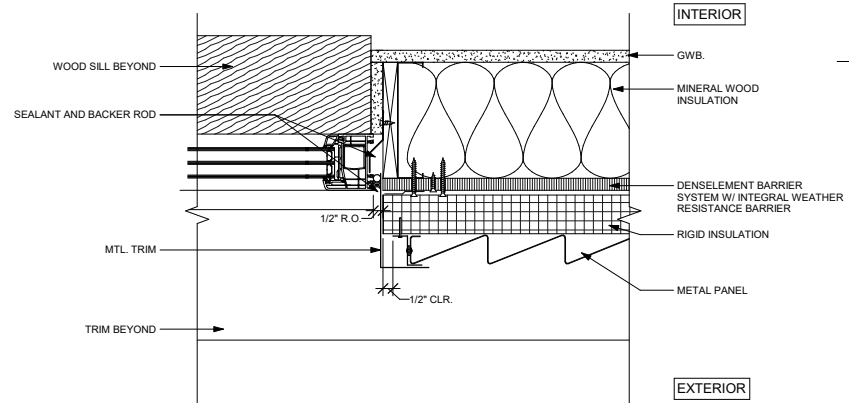
5 TYP. BRICK TO PANEL TRANSITION
SCALE: 3/4" = 1'-0"



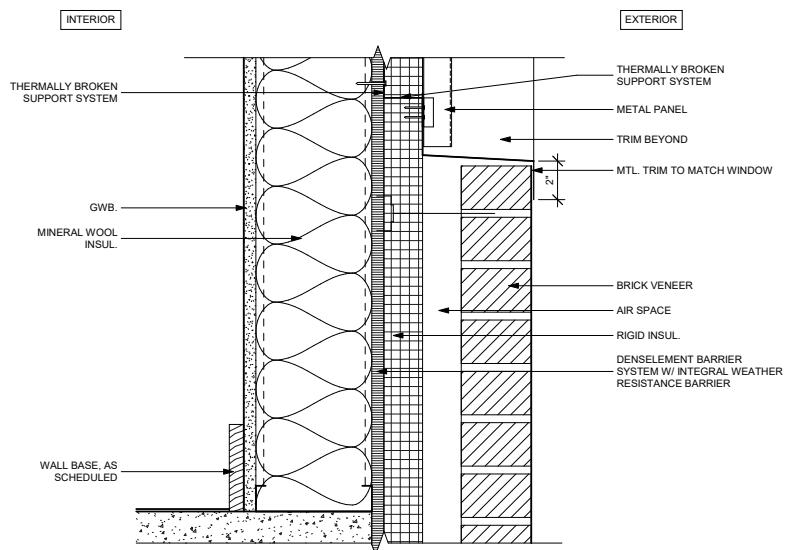
1 IN-PLACE MOCK-UP
SCALE: 1/2" = 1'-0"



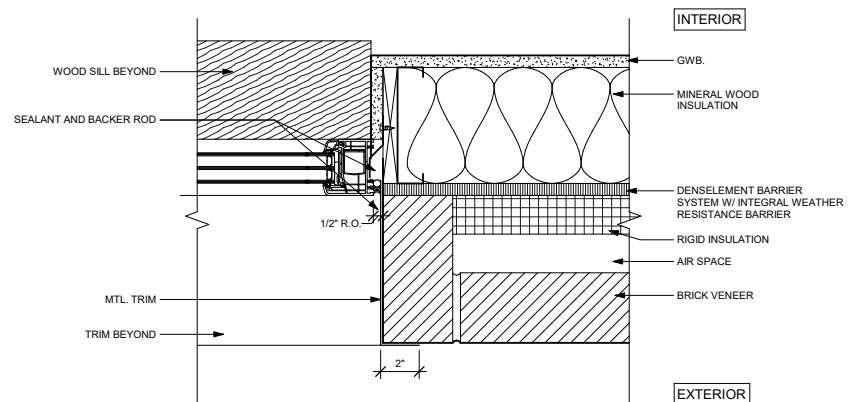
6 METAL PANEL HEADER DETAIL
SCALE: 3/4" = 1'-0"



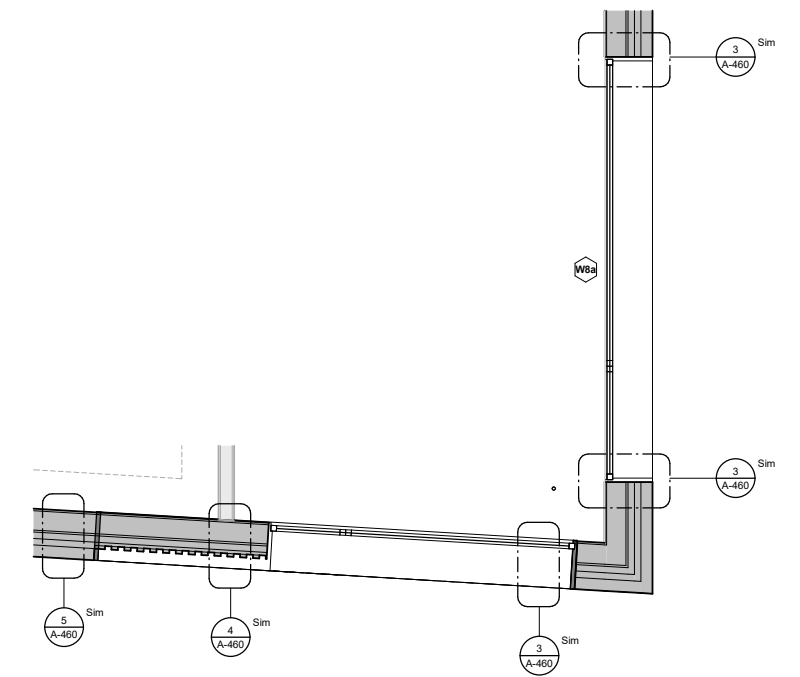
4 TYP. WINDOW JAMB DETAIL AT PANEL
SCALE: 3/4" = 1'-0"



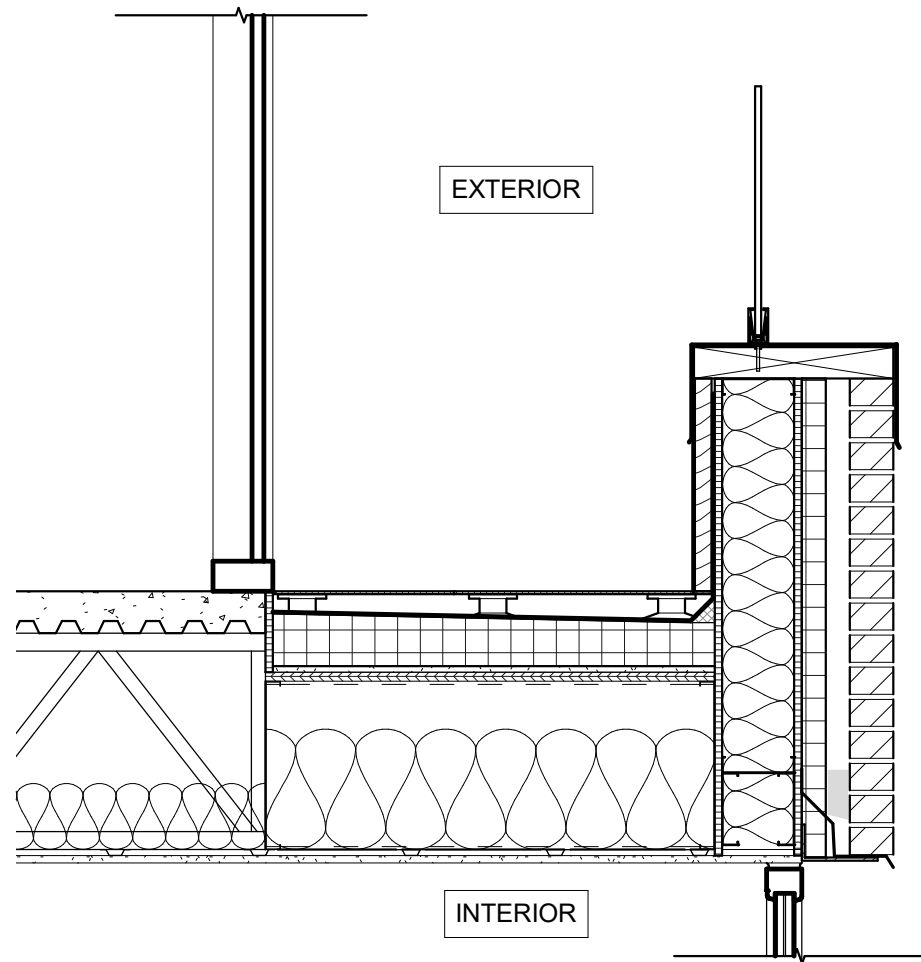
7 TYPICAL METAL PANEL SILL DETAIL
SCALE: 3/4" = 1'-0"



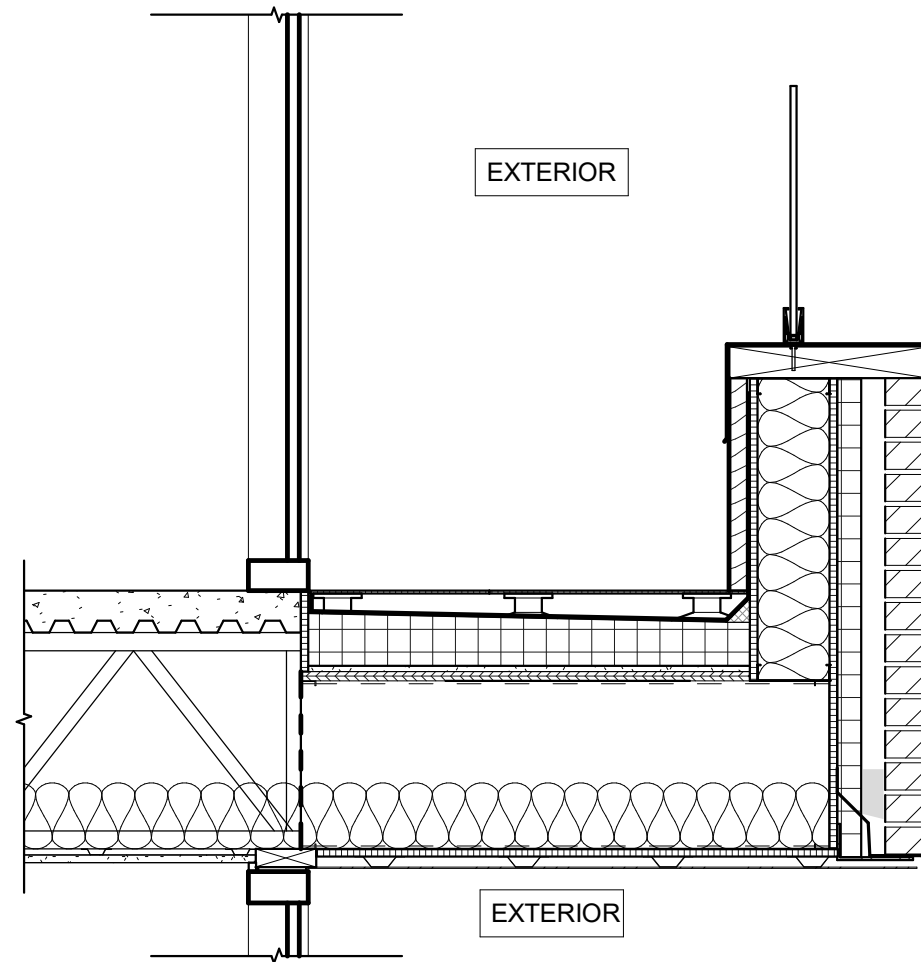
3 TYP. WINDOW JAMB DETAIL AT BRICK
SCALE: 3/4" = 1'-0"



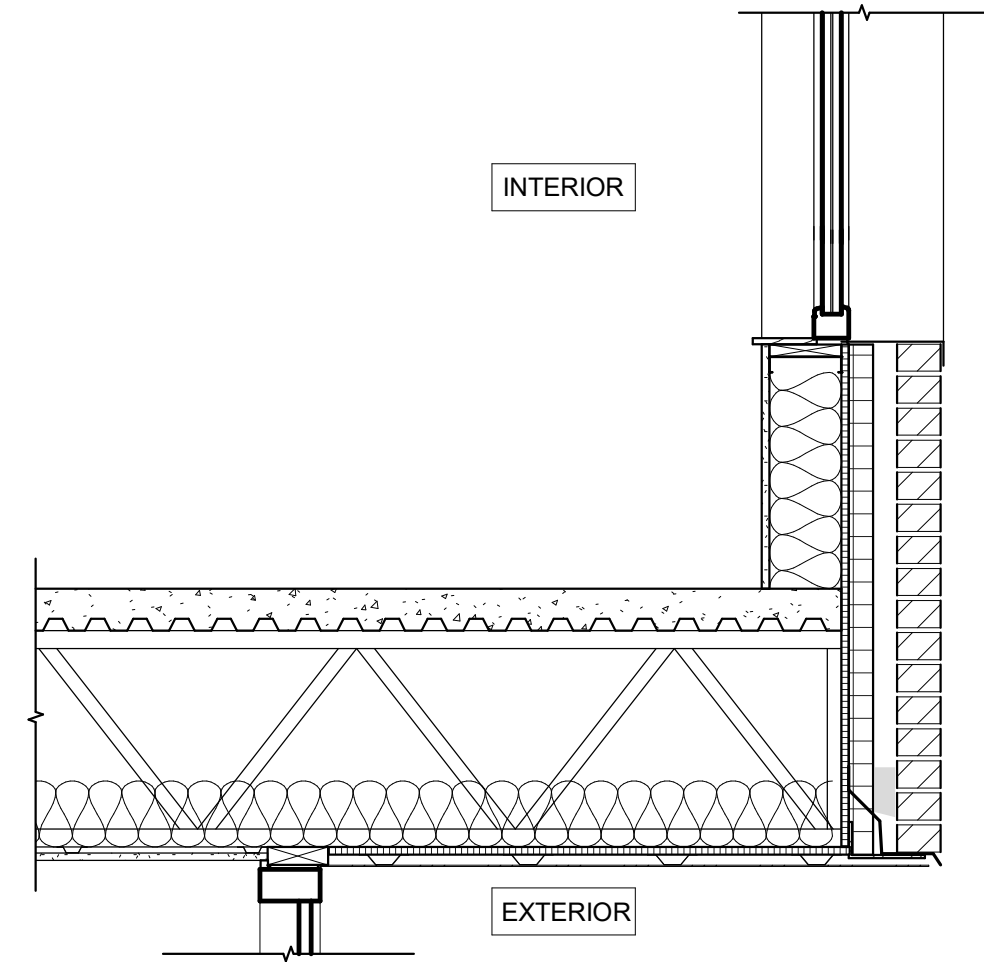
2 IN-PLACE MOCK-UP PLAN
SCALE: 1/2" = 1'-0"



1 BALCONY ABOVE SLAB
SCALE: 3/4" = 1'-0"



2 BALCONY ABOVE AND BELOW SLAB
SCALE: 3/4" = 1'-0"



3 BALCONY BELOW SLAB
SCALE: 3/4" = 1'-0"