



PLANNING & DEVELOPMENT DEPARTMENT  
2 WOODWARD AVE SUITE 808, DETROIT, MI 48226

# HISTORIC DISTRICT COMMISSION

# CERTIFICATE OF APPROPRIATENESS

**Application Number:** HDC2026-00040

**Effective Date:** 3/18/2026

**Project Address:** 14539 Glastonbury

**Issued to:** Deanna Fries  
8401 N Telegraph Rd.  
Dearborn Hgts, MI 48127

**Historic District:** Rosedale Park

**Description of Work:**

Replace front porch per application



**With the Conditions that:**

N/A

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

**For the Commission:**

Garrick Landsberg  
Director of Staff, Historic District Commission

PSR: Jennifer 260318JR



Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.



# HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

**Date:** 02/06/2026

**Application Number:** HDC2026-00040

## APPLICANT & PROPERTY INFORMATION

**NAME:** Deanna Fries

**COMPANY NAME:** Italy American Construction

**ADDRESS:** 8401 N Telegraph Rd.

**CITY:** Dearborn Hgts

**STATE:** MI

**ZIP:** 48127

**PROJECT ADDRESS:** 14539 Glastonbury

**HISTORIC DISTRICT:** Rosedale Park

## REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

This application is not complete. Please provide the following:

- Photos of sample new brick next to houses historic brick to for visual comparison
- What is the purple highlight/path on the site plan? Are you installing the existing non-historic pavers along that purple highlighted line?

## APPLICANT RESPONSE

Response Date: 02/10/2026



We will be using reclaimed brick for the front porch. There are two pictures showing the brick samples against the house.

I updated the site plan to hopefully clear up the confusion about the pavers. I removed the purple highlighted line but left the area circled where we will be stacking the pavers. The homeowners' want to keep the pavers. We are not installing the pavers as a patio or walkway in any way.









# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

<b>APPLICATION ID</b>
HDC2026-00040

## PROPERTY INFORMATION

<b>ADDRESS(ES):</b> 14539 Glastonbury
<b>HISTORIC DISTRICT:</b> Rosedale Park

**SCOPE OF WORK:** (Check ALL that apply)

- |   |  |                                       |  |   |                                |
|---|--|---------------------------------------|--|---|--------------------------------|
| <input type="checkbox"/> Windows/ Doors | <input type="checkbox"/> Walls/ Siding | <input type="checkbox"/> Painting     | <input type="checkbox"/> Roof/Gutters/ Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony                              | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition     | <input type="checkbox"/> Signage       | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition              | <input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.) |                                |

<p><b>BRIEF PROJECT DESCRIPTION:</b></p> <p>Remove old front paver porch and build a new front porch with brick to match house.</p>
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## APPLICANT IDENTIFICATION

<b>TYPE OF APPLICANT:</b> Contractor			
<b>NAME:</b> Deanna Fries		<b>COMPANY NAME:</b> Italy American Construction	
<b>ADDRESS:</b> 8401 N Telegraph Rd.		<b>CITY:</b> Dearborn Hgts	<b>STATE:</b> MI
<b>PHONE:</b> +1 (313) 278-7500		<b>EMAIL:</b> permits@iac1954.com	
<b>ZIP:</b> 48127			

## I AGREE TO AND AFFIRM THE FOLLOWING:

<input checked="" type="checkbox"/>	I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
<input checked="" type="checkbox"/>	I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
<input checked="" type="checkbox"/>	I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.
<input checked="" type="checkbox"/>	As required by the state Local Historic Districts Act, <a href="#">Act 169 of 1970</a> (MCL399.205), I hereby certify that the property where work will be undertaken has, or will have before the proposed project completion date, a fire alarm system or a smoke alarm complying with the requirements of the Stille-DeRossett-Hale single state construction code act, <a href="#">1972 PA 230, MCL 125.1501 to 125.1531</a>

<p>Signed by:    <small>5BC39CCTA992424</small></p>	<p>02/03/2026</p>
SIGNATURE	DATE






**NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.**

**PROJECT DETAILS – TELL US ABOUT YOUR PROJECT**

**Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.**

<b>ePLANS PERMIT NUMBER:</b> <small>(only applicable if you've already applied for permits through ePLANS)</small>	RES2025-03940
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**GENERAL**

<p><b>1. DESCRIPTION OF EXISTING CONDITION</b>  <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i></p> <p>The existing paver porch is not original to the house and it is in poor condition. Some of the pavers are peeling away from the under-structure of the porch. The railing is also not stable and needs to be replaced.</p>	
<p><b>2. PHOTOGRAPHS</b>  <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i></p>	
<p><b>3. DESCRIPTION OF PROJECT</b>  <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i></p> <p>Italy American Construction proposes to demo the existing front porch, steps and landing down to the footings or grade. We will rebuild the front porch with bricks, matching the house brick as close as possible, and pour a concrete cap on the porch. The steps will be replaced with two 4' precast steps. They will be installed on a new step footing. By rebuilding the front porch to code, we will eliminate the necessity for the paver landing. In its place, we will pour a concrete slab to connect the existing service walk to the new steps.</p> <p>Once the porch cap is cured, we will install a new R4000 step rail, in the color brown, on the left side of the porch and steps.</p>	
<p><b>4. DETAILED SCOPE OF WORK</b>  <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i></p> <p>Demo all front porch pavers, front steps and front paver landing.                  Remove front porch step rail.                  Build new 8' x 4' brick porch on existing footing.                  Install 2 new precast steps with 7" risers on new footings.                  Install new step rail on left side of porch and steps.                  Pour new service walk slab.</p>	
<p><b>5. BROCHURES/CUT SHEETS</b>  <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i></p>	

### ADDITIONAL DETAILS
















Gatson Residence  
14539 Glastonbury  
Detroit, MI 48223

Materials:

Brick will try to match existing color and style as close as possible. Variations may be in effect due to age, availability and natural stains.

Color and Style: Reclaimed Brick

\*See Pictures of Brick Below

Mortar: Quikrete Type S Mason Mix.

Color: Gray – Variations between house and porch may be in effect due to age and natural stains.

\*See Specification Sheet Below

Step Rail: Wayne Craft R4000

Color: Brown

\*See Information from Wayne Crafts Website and Pictures Below





# MASON MIX

PRODUCT No. 1136

## PRODUCT DESCRIPTION

QUIKRETE® Mason Mix is a contractor grade mortar mix designed for laying brick, concrete masonry units and stone.

## PRODUCT USE

QUIKRETE® Mason Mix is a contractor grade mortar mix designed for laying brick, concrete masonry units and stone. QUIKRETE® Mason Mix is a pre-blended, sanded product. The standard formulation meets ASTM C 270 and C 1714 as Type S mortar. Other types are available by special request.

## COLORS

QUIKRETE® Mason Mix is available in gray and additional colors by special order. Color can also be added to the product as it is mixed by adding QUIKRETE® Stucco and Mortar Color (#1319) to the mixing water. Twenty standard colors are available.

## SIZES

- QUIKRETE® Mason Mix -
  - 60 lb (27.2 kg) bags
  - 80 lb (36.3 kg) bags
  - 94 lb (42.6 kg) bags
  - 25 kg (55 lb) bags
  - 30 kg (66 lb) bags

## YIELD

- Each 80 lb (36.3 kg) bag of QUIKRETE® Mason Mix will lay up to 37 standard bricks or 13 standard (8" x 8" x 16" [200 mm x 200 mm x 400 mm]) blocks.

## TECHNICAL DATA

### APPLICABLE STANDARDS

- ASTM International
- ASTM C 270 Specification for Mortar for Unit Masonry
  - ASTM C 387 Specification for Packaged, Dry, Combined Materials for Mortar and Concrete
  - ASTM C 1714 Specification for Preblended Dry Mortar Mix for Unit Masonry

## PHYSICAL/CHEMICAL PROPERTIES

QUIKRETE® Mason Mix meets or exceeds the property requirements of ASTM C 270, ASTM C 387 and ASTM C 1714 for the type selected. Refer to Appendix XI of ASTM C270 for guidance in selecting the proper mortar type. See Table 1.

## DIVISION 4

Masonry Mortaring  
04 05 13



## INSTALLATION

### SURFACE PREPARATION

Surfaces to receive Mason Mix should be clean and free of dirt, loose debris, grease, oil, etc., for the best possible bond.

### MIXING

- For each 80 lb (36.3 kg) bag, add 9 pt (4.3 L) of fresh water to mixer
  - Turn the mixer on and begin adding bags of Mason Mix
  - If the material becomes too difficult to mix, add additional water until a workable mix of trowelable consistency is obtained
- Note - Final water content should be 9 - 14 pt (4.3 - 6.6 L) for each 80 lb (36.3 kg) bag and 7 - 10 pt (3.3 - 4.7 L) for each 60 lb (27.2 kg) bag.

Table 1

Hydraulic Cement- Lime Mortars or Cement Mortars			
Type	Minimum Compressive Strength, psi (MPa)	Water Retention Minimum %	Air content Maximum %
M	2500 (17.2)	75	12
S	1800 (12.4)	75	12
N	750 (5.2)	75	14 <sup>1</sup>
O	350 (2.4)	75	14 <sup>1</sup>
Masonry Cement Mortars			
Type	Minimum Compressive Strength, psi (MPa)	Water Retention Minimum %	Air content Maximum %
M	2500 (17.2)	75	18
S	1800 (12.4)	75	18
N	750 (5.2)	75	20 <sup>2</sup>
O	350 (2.4)	75	20 <sup>2</sup>

<sup>1</sup> When structural reinforcement is included, the maximum air content shall be 12%

<sup>2</sup> When structural reinforcement is included, the maximum air content shall be 18%

## INSTALLATION

- Apply a full bed of mortar onto the base, approximately 1/2" - 3/4" (12.7 - 19.1 mm) thick
- Push downward into the mortar bed and sideways against the previously laid block with a slight twisting motion

- Tool the mortar joints when they become thumbprint hard. This will make the mortar joint watertight and provide a neat appearance

**CURING**

Curing of masonry mortars is required only if conditions are very hot, dry or windy. In such cases, a gentle mist of water applied to the surface will prevent premature drying and improve the strength of the mortar.

**PRECAUTIONS**

Variations in mix water amount, mix time, curing conditions and finishing will cause color variations.

**WARRANTY**

The QUIKRETE® Companies warrant this product to be of merchantable quality when used or applied in accordance with the

instructions herein. The product is not warranted as suitable for any purpose or use other than the general purpose for which it is intended. Liability under this warranty is limited to the replacement of its product (as purchased) found to be defective, or at the shipping companies' option, to refund the purchase price. In the event of a claim under this warranty, notice must be given to The QUIKRETE® Companies in writing. This limited warranty is issued and accepted in lieu of all other express warranties and expressly excludes liability for consequential damages.

The QUIKRETE® Companies  
One Securities Centre  
3490 Piedmont Rd., NE, Suite 1300; Atlanta, GA 30305  
(404) 634-9100 • Fax: (404) 842-1425

## Colors We Offer



- **R4000:** As our most popular model, the R4000 is ADA-approved and designed with functionality and comfort in mind. Its rounded profile is specifically engineered to be comfortably grasped by hand, making it ideal for ramps, stairways, and other accessibility-focused applications. While prioritizing safety and usability, the R4000 maintains a sleek, modern look.

All railing styles are available in four powder coated finishes: black, brown, clay, and white, allowing for seamless integration with a wide range of exterior designs. Please note that some models are limited to use as porch railings only—for details of specific applications, we recommend contacting a sales representative.

Every order is custom-built to fit the exact specifications of your site and is designed to comply with the Michigan Residential Building Code, ensuring both safety and code adherence.

## Add Railing Accessories for a Truly Unique Look

Wayne Craft offers three different profiles for you to choose from. To understand the naming convention of our styles the first number dictates the top bar's profile and then the second number dictates the design.

- **Square Caps:** Standard post cap for a 2.5" post.
- **Ball Caps:** Upgrade from the standard square post cap for a fancier look.
- **Ornaments:** Ornaments can be placed into sections of the railing to enhance the look of your rail.
- **Post base covers:** An aluminum powder coated cover to go over a base. It provides a clean look by concealing the post mounts.







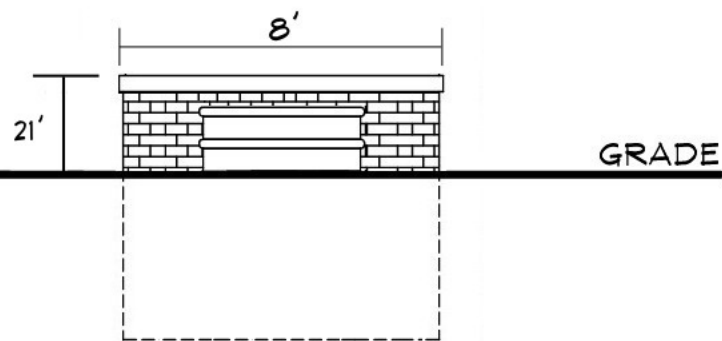
\*Railing will be Brown

**GENERAL NOTES**

ALL STAIRS/STEPS SHALL HAVE A MAX. RISER HEIGHT OF 8-1/4" & A MIN. TREAD DEPTH OF 9" AND SHALL CONFORM WITH ALL PARTS OF MRC 2015 SEC. 311, "STAIRWAYS"

ALL GUARD RAILS SHALL BE NOT LESS THAN 36" IN HEIGHT. THE GUARDS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4" IN DIA. ALL GUARDS WILL CONFORM WITH ALL PARTS OF MRC 2015 SEC. R312 "GUARDS"

HAND RAILS WITH A MIN. HEIGHT OF 34" AND A MAX. HEIGHT OF 38" SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS. ALL HAND RAILS SHALL CONFORM WITH ALL PARTS OF MRC 2015 SEC. R311 "HANDRAILS"

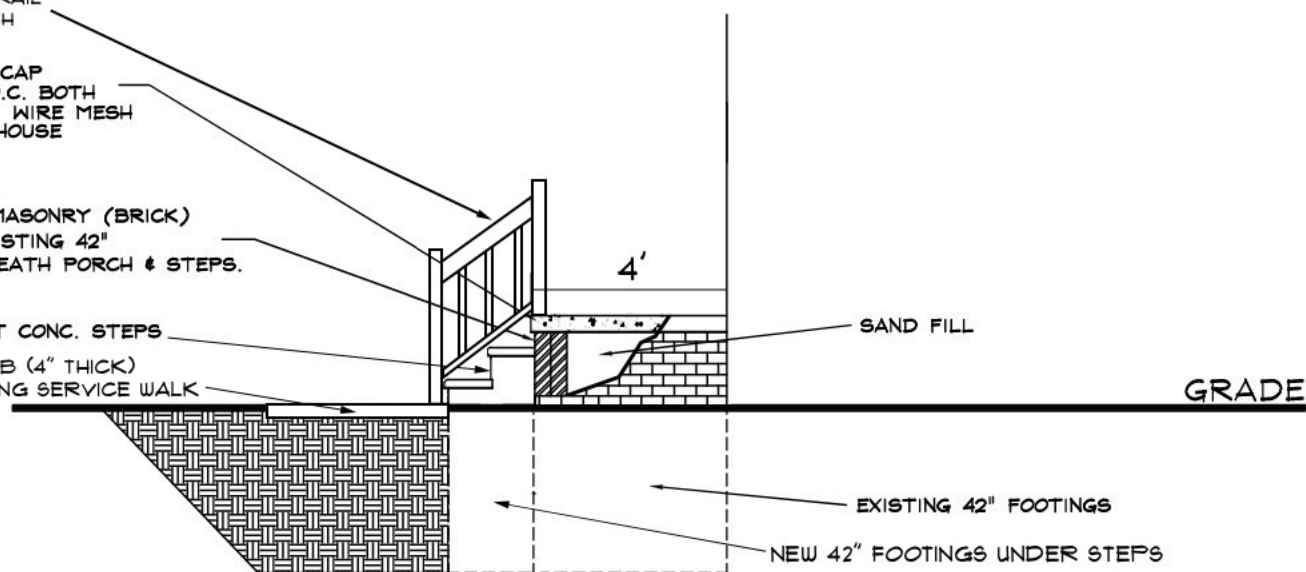


INSTALL R4000 STEP RAIL ON LEFT SIDE OF PORCH

4" CONCRETE PORCH CAP W/ # 4 RODS @ 12" O.C. BOTH WAYS & #10 - 6" x 6" WIRE MESH & EXPANSION ALONG HOUSE

BUILD NEW 8' x 4' MASONRY (BRICK) FRONT PORCH ON EXISTING 42" CONC. FOOTINGS BENEATH PORCH & STEPS.

(2) NEW 48" PRECAST CONC. STEPS 4' x 3' CONCRETE SLAB (4" THICK) TO LINE UP WITH EXISTING SERVICE WALK



APPROVED BY:	DATE:
CUSTOMER APPROV:	DATE:
JOB NUMBER: VP2502	SCALE: NOT TO SCALE
	DATE:
<p><b>GATSON RESIDENCE</b>  <b>14539 GLASTONBURY</b>  <b>DETROIT, MI 48223</b></p> <p><b>(313) 402-6462</b>  <b>FRONT PORCH</b></p>	
<p>DRAWN BY: DF</p>	

