



# HISTORIC DISTRICT COMMISSION NOTICE OF DENIAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

**Notification Date:** 12/18/2025

**Application Number:** HDC2025-00657

## APPLICANT & PROPERTY INFORMATION

<b>NAME:</b> David Jones		<b>COMPANY NAME:</b> DC Jones Construction	
<b>ADDRESS:</b> 285 Ashland	<b>CITY:</b> Detroit	<b>STATE:</b> MI	<b>ZIP:</b> 48215
<b>PROJECT ADDRESS:</b> 1794 Seyburn			
<b>HISTORIC DISTRICT:</b> West Village			
<b>SCOPE:</b> *Install deck at rear			

At the Regular Meeting that was held on 12/10/25, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) and 9(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1), MCL 399.209 (9) and Sections 21-2-78 and 21-2-80 of the 2019 Detroit City Code; the DHDC hereby issues a Denial for the following work, effective on 12/18/2025, as it will be inappropriate according to the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

## REASONS FOR DENIAL:

The deck as built visually interferes with the historic house and should be redesigned to be more transparent and with a recessed base, to eliminate its adverse impact on the historic property and district as a whole.

## FAILURE TO MEET STANDARDS:

**The Standards for Rehabilitation** (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character.

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

Failure to meet standards: 9, 10

Corresponding Standard numbered below:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## FAILURE TO MEET ELEMENTS OF DESIGN:

Failure to meet Elements of Design: 7

Corresponding design element numbered below:

1. Height.	12. Walls of continuity.
2. Proportion of building's front façades.	13. Relationship of significant landscape features and surface treatments.
3. Proportion of openings within the façade.	14. Relationship of open space to structures.
4. Rhythm of solids to voids in front façade.	15. Scale of façade and façade elements.
5. Rhythm of spacing of buildings on streets.	16. Directional expression of front elevations.
6. Rhythm of entrance and/or porch projections.	17. Rhythm of building setbacks.
7. Relationship of materials.	18. Relationship of lot coverages.
8. Relationship of textures.	19. Degree of complexity within the façade.
9. Relationship of colors.	20. Orientation, vistas, overviews.
10. Relationship of architectural details.	21. Symmetric or asymmetric appearance.
11. Relationship of roof shapes.	22. General environmental character.

If you have any questions regarding the above, please contact staff at 313-224-1762 or [hdc@detroitmi.gov](mailto:hdc@detroitmi.gov).

For the Commission:



Garrick Landsberg  
Director of Staff, Historic District Commission

PSR: Bilqees

251218BS

## APPEALS PROCESS

The application may be resubmitted for the Historic District Commission's review when suggested changes have been made that address the cited reasons for denial, if applicable. Please be advised that, in accordance with MCL 399. 211 and Section 21-2-81 of the 2019 Detroit City Code, an applicant aggrieved by a decision of the DHDC may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

Jon Stuckey, Michigan Department of Attorney General  
2nd Floor, G. Mennen Williams Building  
525 West Ottawa Street, P.O. Box 30754, Lansing, MI 48909  
Phone: 517-335-0665 E-mail: [stuckeyj@michigan.gov](mailto:stuckeyj@michigan.gov)



# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

<b>APPLICATION ID</b>
HDC2025-00657

## PROPERTY INFORMATION

<b>ADDRESS(ES):</b> 1794 Seyburn
<b>HISTORIC DISTRICT:</b> West Village

### SCOPE OF WORK: (Check ALL that apply)

- |   |  |                                       |  |   |                                |
|---|--|---------------------------------------|--|---|--------------------------------|
| <input type="checkbox"/> Windows/ Doors | <input type="checkbox"/> Walls/ Siding | <input type="checkbox"/> Painting     | <input type="checkbox"/> Roof/Gutters/ Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony                              | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition     | <input type="checkbox"/> Signage       | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition              | <input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.) |                                |

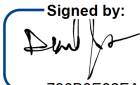
<b>BRIEF PROJECT DESCRIPTION:</b> Build back porch/deck
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## APPLICANT IDENTIFICATION

<b>TYPE OF APPLICANT:</b> Contractor			
<b>NAME:</b> David Jones		<b>COMPANY NAME:</b> DC Jones Construction	
<b>ADDRESS:</b> 285 Ashland		<b>CITY:</b> Detroit	<b>STATE:</b> MI <b>ZIP:</b> 48215
<b>PHONE:</b> +1 (313) 878-9007		<b>EMAIL:</b> doll4179@yahoo.com	

## I AGREE TO AND AFFIRM THE FOLLOWING:

- I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

Signed by:  <small>736B3E82EAB0474...</small>	David Jones  DC Jones Construction  10/21/2025	DC Jones Construction  10/21/2025
<b>SIGNATURE</b>	<b>DATE</b>	
285 Ashland	Detroit	MI 48215
+1 (313) 878-9007	doll4179@yahoo.com	


**NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.**

**PROJECT DETAILS – TELL US ABOUT YOUR PROJECT**

**Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.**

<b>ePLANS PERMIT NUMBER:</b> (only applicable if you've already applied for permits through ePLANS)	na
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**GENERAL**

<p><b>1. DESCRIPTION OF EXISTING CONDITION</b>  <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i></p> <p>The area behind the home located at the rear door had a deck that was in poor condition and the deck was removed and the site prepped to rebuild a new deck in its place.</p>	
<p><b>2. PHOTOGRAPHS</b>  <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i></p>	
<p><b>3. DESCRIPTION OF PROJECT</b>  <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i></p> <p>Install new deck 12 feet wide by 16 feet deep, includes railing, skirting and steps for access to back yard.</p>	
<p><b>4. DETAILED SCOPE OF WORK</b>  <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i></p> <p>install ledger board and ledger flashing for proper water shed. build support structure with (3) 4x6 post at a depth of 42inches and fill remaining space with concrete. install (2) support beams 2x10x12, install (10) 2x8x16 joists with joists hangers on both sides. install header 2x8x12, install hurricane straps, install steps for access to yard, install deck boards/ build and install rails and skirting.</p>	
<p><b>5. BROCHURES/CUT SHEETS</b>  <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i></p>	

**ADDITIONAL DETAILS**






# HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

**Date:** 11/04/25

**Application Number:** HDC2025-00657

## APPLICANT & PROPERTY INFORMATION

<b>NAME:</b> David Jones		<b>COMPANY NAME:</b> DC Jones Construction	
<b>ADDRESS:</b> 285 Ashland	<b>CITY:</b> Detroit	<b>STATE:</b> MI	<b>ZIP:</b> 48215
<b>PROJECT ADDRESS:</b> 1794 Seyburn			
<b>HISTORIC DISTRICT:</b> West Village			

## REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

A dimensioned site plan (hand drawn is ok) is required, please also submit one exterior photo of the front of the house for context of the property.

Please confirm the finish product - stain or paint - as well as color.

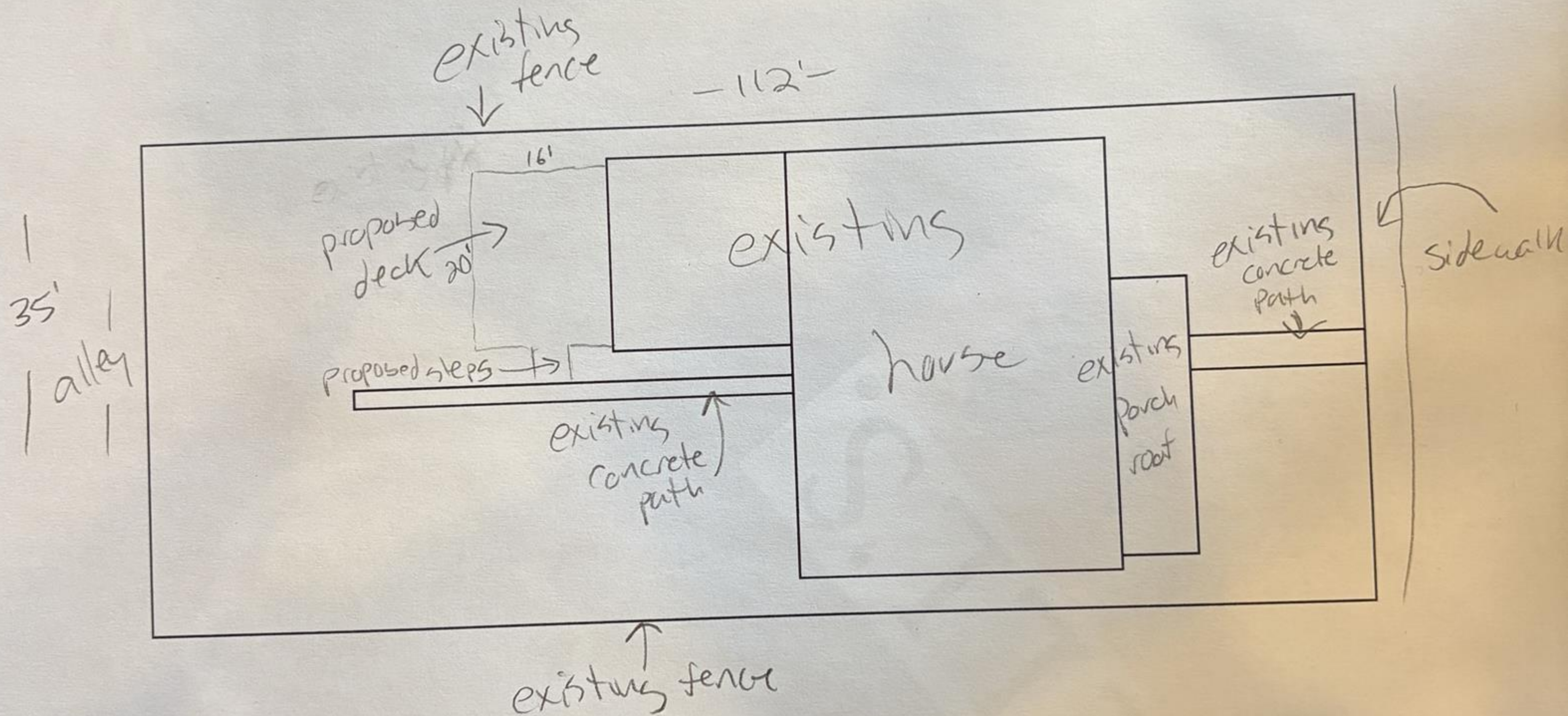
It is likely this application will require Historic District Commission review at an upcoming meeting. The deadline for the December meeting is Monday, November 17.

## APPLICANT RESPONSE

Response Date: 11/05/2025



The customer wishes to leave the deck, unpainted and unstained.. please see the attached site plan and photo of the front of the house. Thank you.







City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

# HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

**Date:** 10/27/25

**Application Number:** HDC2025-00657

## APPLICANT & PROPERTY INFORMATION

<b>NAME:</b> David Jones		<b>COMPANY NAME:</b> DC Jones Construction	
<b>ADDRESS:</b> 285 Ashland	<b>CITY:</b> Detroit	<b>STATE:</b> MI	<b>ZIP:</b> 48215
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Photographs - The HDC needs to fully understand site conditions related to the design and placement of all existing structures.

- Submit a photo of each side of the house as well as photos capturing all views of the yard where the deck will be located.

Dimensioned drawings - The HDC needs to have complete documentation on the design and location of the deck.

- Site plan showing footprint/location of deck – include overall dimensions as well as the distance between the deck and front/side walls of the garage and other structures on the property (if present).
- Deck plan showing all details related to construction/design and integrated features, such as benches.
- Elevation, confirming all details related to design and height of deck components.
- If there are stairs and a railing planned, they must also be shown on the plan view and elevation.
- Drawings must note all other components related to the deck, including material, finish/color, lighting, landscaping, new walkways, etc.

Even though it looks like this deck has already be constructed, the above documents/photos are required for review.

## APPLICANT RESPONSE

Response Date: 10/29/2025



Please see attached for detailed response. Please let me know if you need any additional information.







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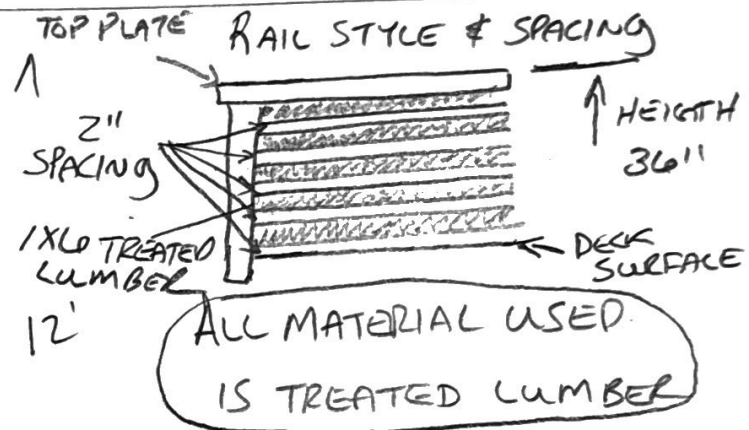
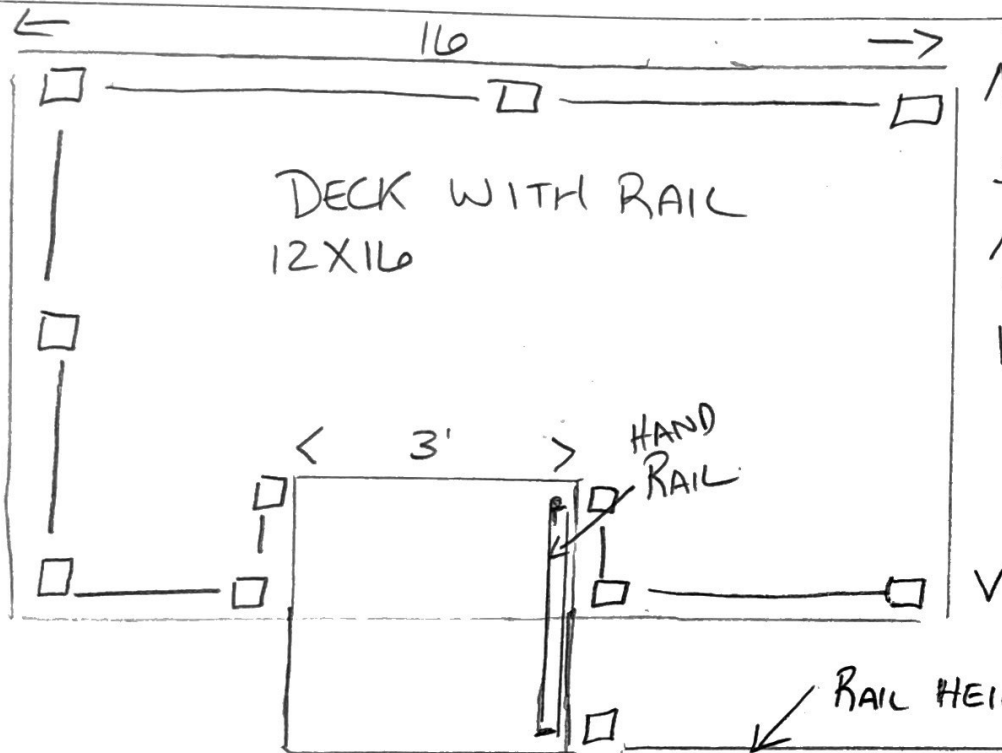








Response Date:



ELEVATION HEADER  
DECK HEIGHT 4'2"  
2X8X12

FINISH/COLOR  
TO BE DETERMINED  
BY HOME OWNER

