



PLANNING & DEVELOPMENT DEPARTMENT  
2 WOODWARD AVE SUITE 808, DETROIT, MI 48226

# HISTORIC DISTRICT COMMISSION

# CERTIFICATE OF APPROPRIATENESS

**Application Number:** HDC2025-00655

**Effective Date:** 11/18/2025

**Project Address:** 1613 Leverette Street

**Issued to:** Blake I. Hattermann  
2010 Roseland Avenue  
Royal Oak, MI 48073

**Historic District:** Corktown

**Description of Work:**

Per the submitted documents: demolish garage, erect carriage house.

# COA

**With the Conditions that:**

None

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

**For the Commission:**

Garrick Landsberg  
Director of Staff, Historic District Commission

PSR: Bilqees 251118BS



Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.



# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

<b>APPLICATION ID</b>
HDC2025-00655

## PROPERTY INFORMATION

<b>ADDRESS(ES):</b> 1613 Leverette Street
<b>HISTORIC DISTRICT:</b> Corktown

**SCOPE OF WORK:** (Check ALL that apply)

- |  |  |  |  |   |                                |
|--|--|--|--|---|--------------------------------|
| <input type="checkbox"/> Windows/ Doors        | <input type="checkbox"/> Walls/ Siding | <input type="checkbox"/> Painting                | <input type="checkbox"/> Roof/Gutters/ Chimney | <input type="checkbox"/> Porch/Deck/Balcony   | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Signage       | <input checked="" type="checkbox"/> New Building | <input type="checkbox"/> Addition              | <input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.) |                                |

<p><b>BRIEF PROJECT DESCRIPTION:</b> Demolish an existing garage to construct a new carriage house.</p>
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## APPLICANT IDENTIFICATION

<b>TYPE OF APPLICANT:</b> Architect/Engineer/Consultant			
<b>NAME:</b> Blake I. Hattermann		<b>COMPANY NAME:</b> BHattermann Architecture, LLC	
<b>ADDRESS:</b> 2010 Roseland Avenue		<b>CITY:</b> Royal Oak	<b>STATE:</b> MI <b>ZIP:</b> 48073
<b>PHONE:</b> +1 (248) 756-6162		<b>EMAIL:</b> bhattermannarchitecture@gmail.com	

## I AGREE TO AND AFFIRM THE FOLLOWING:

- I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

<p>Signed by: <u>Blake I. Hattermann</u></p> <p><i>Blake I. Hattermann</i></p> <p><small>1F766A8B2A57433...</small></p> <p><b>SIGNATURE</b></p>	<p style="text-align: right;">BHattermann Architecture, LLC</p> <p style="text-align: right;">10/21/2025</p> <p><b>DATE</b></p>
<p>2010 Roseland Avenue</p> <p>+1 (248) 756-6162</p>	<p>Royal Oak    MI    48073</p> <p>bhattermannarchitecture@gmail.com</p>

**NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.**

**PROJECT DETAILS – TELL US ABOUT YOUR PROJECT**

**Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.**

**ePLANS PERMIT NUMBER:**

(only applicable if you've already applied for permits through ePLANS)

n/a

**GENERAL**

**1. DESCRIPTION OF EXISTING CONDITION**

*Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")*

See structural analysis report submitted 10/20/2025



**2. PHOTOGRAPHS**

*Help us understand your project. Please attach photographs of all areas where work is proposed.*



**3. DESCRIPTION OF PROJECT**

*In this box, tell us about what you want to do at the areas described above in box #1. (For example, "Install new asphalt shingle roofing at garage.")*


**4. DETAILED SCOPE OF WORK**

*In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")*

**5. BROCHURES/CUT SHEETS**

*Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.*

**ADDITIONAL DETAILS**

<p><b>7. DEMOLITION</b> <i>If demolition is proposed for reasons of structural failure or catastrophic damage, please provide illustrated report from structural engineer or licensed architect.</i></p>	

Existing Analysis Report

Existing Historic Accessory Structure

1613 Leverette Street

Detroit, MI 48216

October 20, 2025

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## Introduction

### Property Identification

1613 Leverette Street

Detroit, MI 48216

Parcel ID# 08000414

### Property Owner(s)

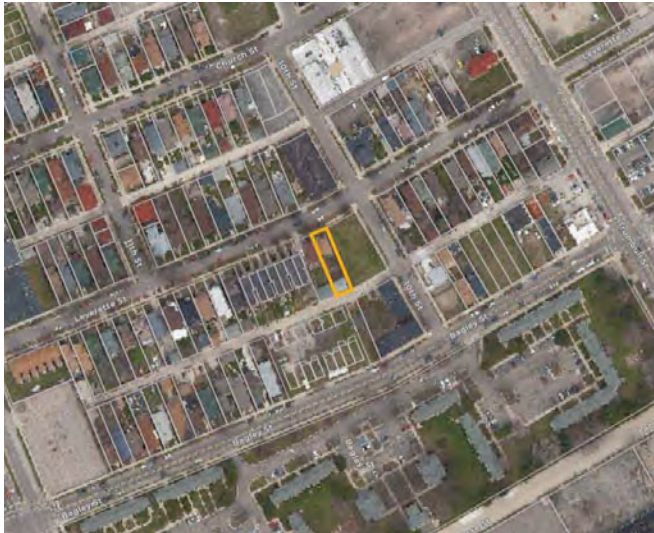
Brian Ducoffe and Sarah Greenwood

Same Address

### Historic District

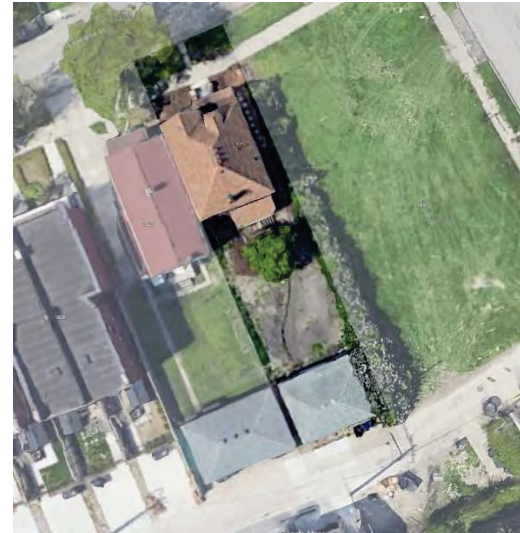
Corktown Historic District

### Location Map



Subject property indicated with a yellow rectangle

### Site Image



Primary Structure and Garage

**Preparer(s)**

Blake I. Hattermann, AIA

B Hattermann Architecture, LLC

Licensed Architect - #1301056009

(248) 756-6162

bhattermannarchitecture@gmail.com

Frank J. Mocerri

F Mocerri Construction

Licensed General Contractor – #2101077858

(248) 770-3905

fjmocerri@gmail.com

**Purpose**

This report is intended to identify the existing construction and condition of an existing “historic structure” located within the rear yard of a primary residence in the Corktown Historic District in Detroit, Michigan. Extensive on-site investigations were completed on March 14, and October 17, 2025, to ascertain existing conditions. The investigation included but was not limited to dimensional and photographic documentation, and a test pit to determine the extent of the existing foundation. Following the onsite investigation, existing drawings were generated, and the structure was analyzed in comparison to code requirement. In addition to the structure, the site context with regard to the public alley to the south was also observed visually and measured approximately.

The intent of this report is to understand the condition of the existing structure. Based on the conditions, a recommendation to repair, rebuild or demolish the structure will be determined. The criteria should include constructability of any proposed solutions to rectify and deficiencies in the structural and or its components.

### Architectural Significance and Construction History

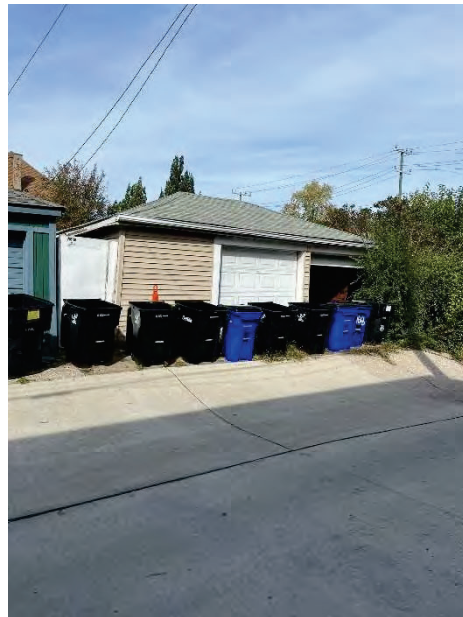
The structure, originally believed to be constructed in 1925, was constructed some-time after the primary structure which was constructed in 1910. No other history of any other structures was discovered during the research for this report.

The garage flows with the assortment of garages in the vicinity. There are no identifying features regarding the architectural style except for the size, the form, and a pair of sliding doors that address the rear yard that may or may not be original. The siding, roofing, access doors, window, and color scheme have been altered over time. The garage is a typical wood frame structure without interior finish. There have been no additions to the garage throughout its life span. However, aesthetic modifications have been made as previously described.

Due to site and structural deficiencies, the garage is no longer used for its intended purpose. These challenges include the grade between the alley and garage, and the failing structure that has been temporarily re-supported. The present use for the garage is currently minor storage of bicycles, lawn care supplies, and miscellaneous household items.



Existing photo - north, rear yard side



Existing photo – alley side



Existing photo – east side



Existing photo – west side



Existing photo – interior



Existing photo - interior



Library of Congress: Sanborn Map Company, Vol. 1, 1921-1950, p.29

## Structural Condition Assessment

### 1. General Resource Description

Existing size 21' x 25' single-story, hip roof; 2-1/2 car unconditioned garage. Garage walls are 8' tall with a lower section being 6'-6" tall and facing the primary structure. The structure is a residential wood frame with a hip roof. The exterior materials are vinyl siding and 3-tab asphalt shingles. The interior floor surface is an exposed concrete slab.

#### Exterior Walls:

- Existing framing species consistent with #2 douglas fir-larch.
- 2x4 construction with double (non-treated) bottom plate; single 2x4 top plate / double 2x4 top plates are present on the lower section toward the residence.
- Double top plate used as a structural heard for the man-door, 8'10" sliding door and window.
- 2x4 wood studs art installed at 24" O.C. typically – 8'-0" high exterior walls / 6'-6" high exterior wall at north wall.
- (2) 2x8 (assumed 2-members) header over garage doors.
- Exterior sheathing is original, painted, 1x wood T&G siding installed directly and perpendicular to the studs.
- Exterior finish is vinyl siding.

#### Roof:

- Existing framing species consistent with #2 douglas fir-larch.
- Rafters – 2x4 at 28" O.C. – 30" O.C.
- Roof sheathing - 1x6 installed perpendicular to rafters
- Hip rafters – single 2x4
- Ridge - 1x4
- Some 2x4 diagonal roof bracing 2x4 is installed to support the hip rafters. This diagonal bracing is supported on a single 2x4 spanning the entire depth of the garage. This occurs in (2) locations and is spaced approximately at 1/3 points of the width of the garage.
- Existing roof pitch: 5:12
- 3-tab asphalt shingle installed with (2) roof vents

#### Foundation:

- Thickened concrete slab – 8" deep at perimeter. Assumed 3-4" thick interior (concealed and unable to observe).
- Column footings unknown
- Temporary column in parking stall bearing on slab

## 2. Evaluation

### Exterior Walls:

#### Condition: Poor

- Sill plates deteriorated and rotting in many locations – +/- 50%.
- Anchorage of sill plates to foundation only observed at northeast building corner. Assume consistency at least at corners of building.
- Sill plates up-heaving in northeast corner
- Single top plate inadequate to support rafters and brace exterior wall
- Roof framing members offset from stubs – in several instances the offset is 12”
- No evidence of any members or system to prevent shear.
- Extensive structure tilt evident in supporting exterior walls:
  - West wall 8” out of plumb- leaning toward south
  - South wall 4” out of plumb- leaning toward east
  - East wall 2-1/2” out of plumb- leaning toward south
  - North wall 2-1/2” out of plumb- leaning toward west

### Roof:

#### Condition: Poor

- Existing member spacing ranges between 28”-30”
  - This spacing exceeds the maximum allowable spacing (24”) by 4”-6”.
  - 100% of the rafters are deficient
- Existing maximum rafter span is 12’-6”
  - This span exceeds the maximum spacing allowed by code (8’-2”) by 4’-4”.
  - 30% of the existing rafters are deficient.
- Hip rafters - 2x4
  - Hip rafter spans are 15’-8”
  - Hip rafter depth insufficient. Depth shall not be less than the depth of the cut end of the rafter. Minimum requirement 2x6.
  - 100% deficiency
- Ridge – 1x4
  - Hip rafter depth insufficient. Depth shall not be less than the depth of the cut end of the rafter. Minimum requirement 1x6.
- Deflection of members noted due to span and spacing.
  - Excessive deflection in most structural members.
  - Maximum Rafter deflection = .8”
  - Deflection in excess of 1” observed in multiple locations.
  - Maximum deflection of other structural members = 1.075” – roof tie supporting ridge
  - Deflection of roof tie and ridge support measured at 3-1/2”
  - Deflection of roof support measured at north wall measured at
  - Members have a loss of plasticity due to overloading for an extended time period. The deflection of the members can’t be corrected.
- 3-tab asphalt shingle roofing with (2) roof vents installed – Good condition

- Code references based on the following criteria:
  - 20 lb roof live load
  - 10 lb roof dead load
  - Roof framing member spans based on Table R802.5.1(1)
  - Deflection Requirement
    - L/180 – rafters having a slope greater than 3:12 without ceilings attached to framing members
    - L/240 – all other structural members
- Fascia deteriorated, and missing several sections

Foundation:

Condition: Poor

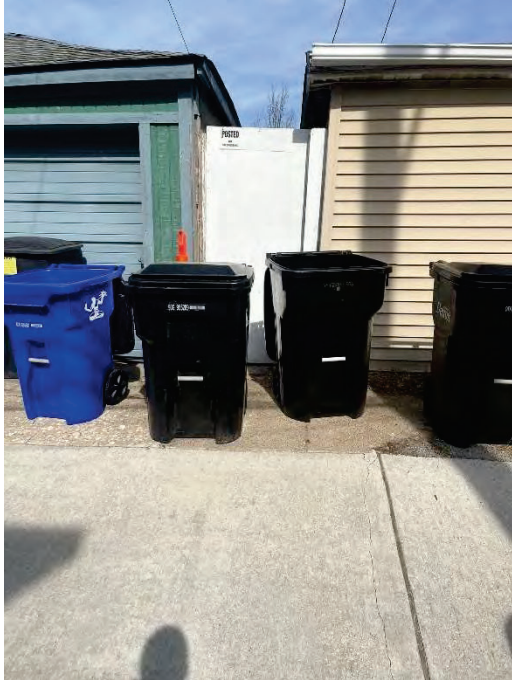
- Footing Requirements: Minimum depth of footing is 42"; Minimum width of footing is 12" – walls constructed concrete slab thickened at edges to depth of 8".
- Differential settling evident throughout entire structure and slab.
  - Slab shows signs of settlement and upheaval
    - Cracking
    - Separation
    - Spalling
- Slab deteriorated – cracked and unlevel



Stud and rafter spacing, single top plate,  
racking of exterior wall



Example of framing member deflection



Exterior wall out of plumb



Exterior wall out of plumb



Temporary column installed to support roof



Buckling evident in exterior wall – west side



Interior concrete slab deterioration



Excessive deflection in supporting member



Section of wall severely out of square –  
not supported by foundation



Deterioration of slab and sill



Level of exterior grade compared to slab



Test pit showing bottom of slab +/- 8"

Top of slab



Deterioration of slab



Walls out of plumb, missing fascia,  
rodent den (at CMU blocks)

### 3. Limitations of Visual Inspection

Visual and dimensional observations are limited to construction assemblies that are exposed to view. Several areas of the structure are concealed and are inaccessible to inspection. These include but are not limited to sections of wall with “finish” affixed, concrete slab thickness and construction of column footings, if any, framing members installed in a vertical orientation that block the assembly beyond, such as overhead door headers. Not all members have been specifically measured but have been assumed to have relative similarity in their size, condition, assembly, etc. No destructive demolition was accomplished on the interior. A test pit was dug along the exterior at the northeast corner of the building to ascertain the footing depth. The remaining 3 sides of the building are obstructed by concrete walks and were unable to be excavated. The foundation is assumed to be consistent on all four sides.

### 4. Recommendations

There are several serious issues present in the existing structure. The foundation, the exterior walls and roof show significant signs of fatigue and failure. Reconstruction of the exterior walls, roof and foundation without complete demolition of the structure is not possible. These systems are interdependent regarding construction means and methods.

#### Generally

The following descriptions identify what is required to repair or rebuild specific building elements. Following the descriptions are issues that implicate additional work associated with the repairs or how the repairs effect the historic designation of the structure.

#### Exterior Walls

The exterior walls require truing, and exercise of producing plumb walls. In addition, a system to provide shear resistance is critical. However, due to the age of the building, the infiltration of liquid water and water vapor, the likelihood of the fastening system of the studs and the exterior sheathing suffering from deterioration is eminent.

- Disassemble walls and discard sheathing
- Evaluate condition of framing members and discard deteriorated ones. Replace with new
- Rebuild new walls with shear system (panelized sheathing fastened per code)
- Add a top plate
- Replace sill plates with treated members

#### Constructability Issues:

- ❖ Disassembling the walls, discarding and replacing sheathing system and reframing diminishes the historic workmanship, character, and materials that aided in the determination of the structure as historic.
- ❖ Walls need to be disassembled and completely reconstructed. This would require the demolition of the roof structure.
- ❖ Walls require a new, level foundation and anchorage for support.

#### Roof

The roof structure is severely overloaded and shows signs of significant deflection as a result. The condition has persisted since the structure was constructed. The roof entire roof system requires replacement.

- Remove existing roof framing system, sheathing and roofing and discard. Or

- Add new framing members adjacent to and between existing ones to meet or exceed the code.
- Rebuild a new roof system with adequate framing members, sheathing and roofing

Constructability Issues:

- ❖ Disassembling the roof, discarding and replacing the framing and sheathing system diminishes the historic workmanship, character, and materials that aided in the determination of the structure as historic.
- ❖ Existing roof members have lost their elasticity and are unable to be reformed back to their original shape. Therefore, new framing members can't be installed adjacent to and between the existing ones.
- ❖ Roof requires walls to be reconstructed before repair or replacement can occur.

Foundation

The most significant issue is the condition of the failing foundation. The undersized footing that does not descend below frost depth shows signs of differential settlement. Around the perimeter and throughout the interior. The foundation and slab are beyond repair and requires replacement.

- Remove slab
- Install new foundation to frost depth, min 42" below grade.
- The interior slab should be replaced and should rest on a minimum 6" compacted sub-base with a vapor barrier separating the slab from the sub-base.
- Raise height of slab above grade min 4".

Constructability Issues:

- ❖ Replacement of foundation unable to be accomplished without the demolition of the walls and roof.
- ❖ Raising height of the slab to halt water intrusion at the sill plated amplifies the issue of the alley grading.

**Conclusion**

Due to the extent of deterioration, and the reconstruction methods and sequencing, the existing structure is unable to be repaired as it presently exists. The existing structure is unable to be used for its intended purpose. The complete demolition of the structure is recommended. Any new structure should address the following issues:

- Level of finished floor above grade
- Transition from alley to garage

**5. Certification of Licensed Professional(s)**

I hereby certify the information presented in this report is accurate to the best of my ability given the limitation of visual inspections conducted on March 14, and October 17, 2025 and the existing conditions.



10.20.2025

Blake I Hattermann, AIA

**Appendix**

**USE & ZONING INFORMATION:**

PARCEL ID: 98000414  
 ZONED: TWO-FAMILY RESIDENTIAL  
 BUILDING USE: ACCESSORY STRUCTURE  
 CONSRIT TYPE: RESIDENTIAL WOOD FRAME  
 LOT AREA: 4,398 SF, 1.0 AC  
 LOT COVERAGE: 31.0% (35% MAX)

**BHATTERMANN ARCHITECTURE**  
 ARCHITECTURE  
 BHATTERMANN ARCHITECTURE  
 2010 ROSELAND AVENUE  
 ROYAL OAK, MI 48073  
 248.756.6182  
 bhattermannarchitecture@gmail.com  
 CONSULTANTS:

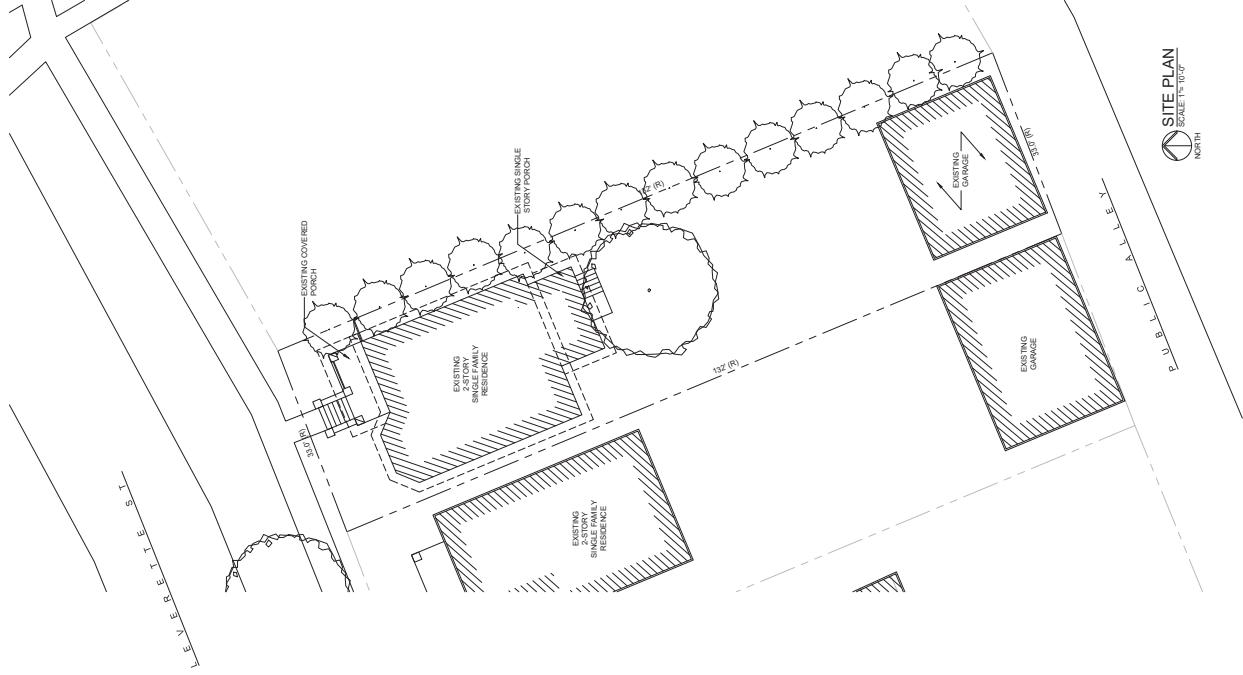
**SITE PLAN**  
 1613 LEVERETTE ST.  
 DETROIT, MI 48216

ISSUE: 10.20.25  
 HDC REPORT

DRAWN BY:  
 CHECKED BY:

SHEET:

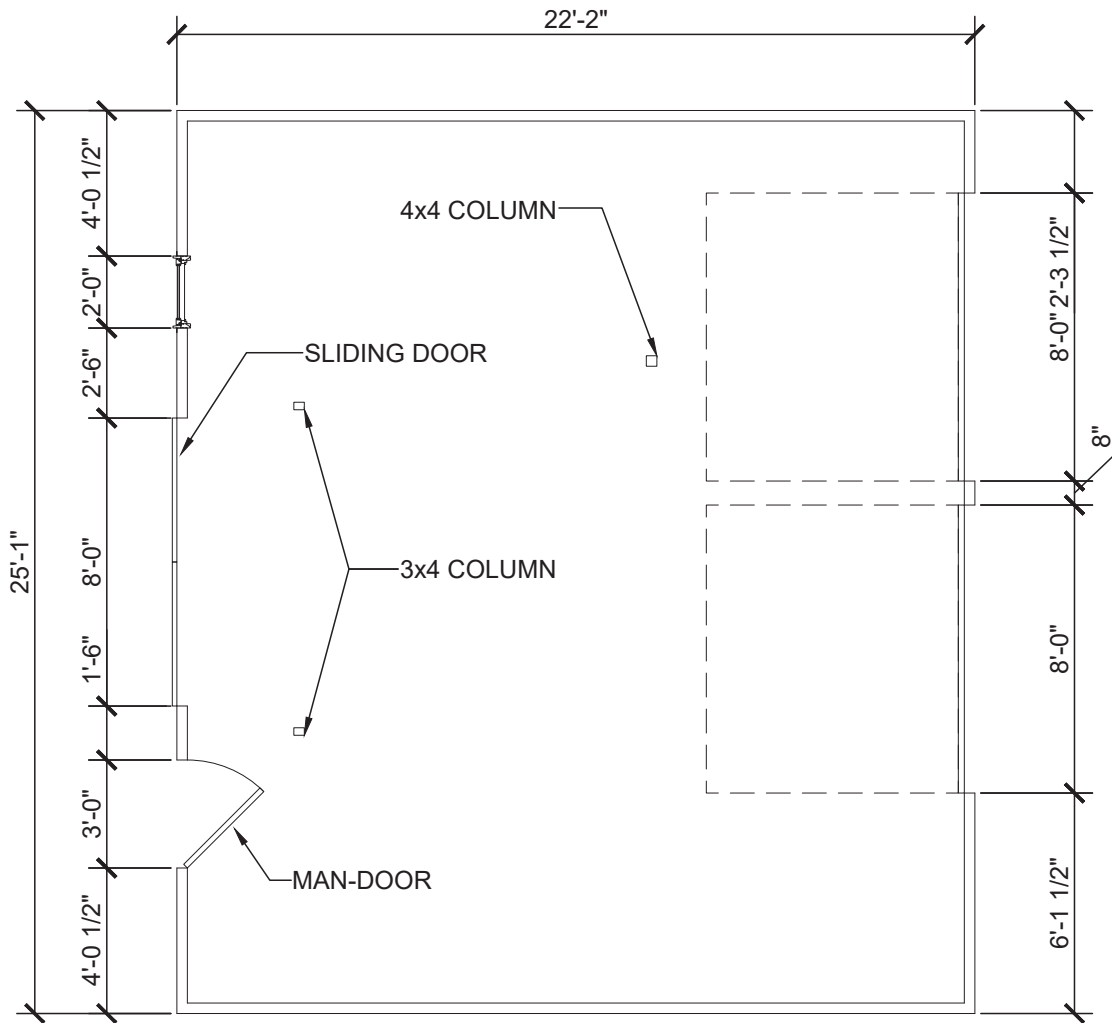
**AS1.1**  
 DO NOT SCALE DRAWING



**SITE PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH



1613 Leverette St.  
Detroit, MI 48216  
Existing Drawings  
10.17.2025



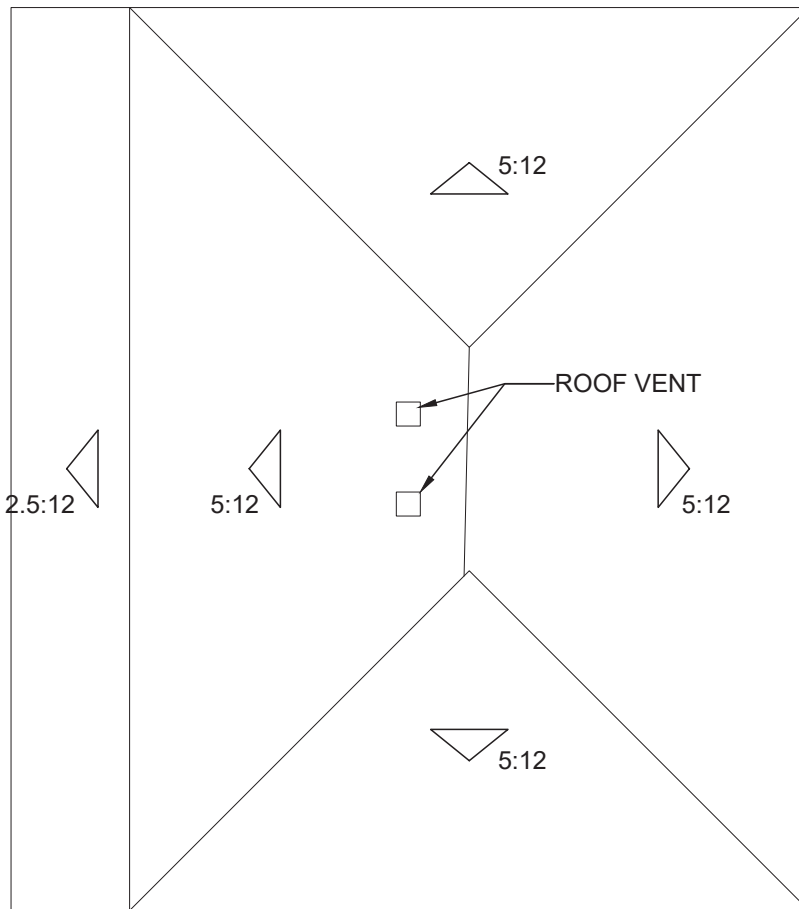
## EXISTING FLOOR PLAN

SCALE: 3/16"=1'-0"

# SK1



1613 Leverette St.  
Detroit, MI 48216  
Existing Drawings  
10.17.2025



## **EXISTING ROOF PLAN**

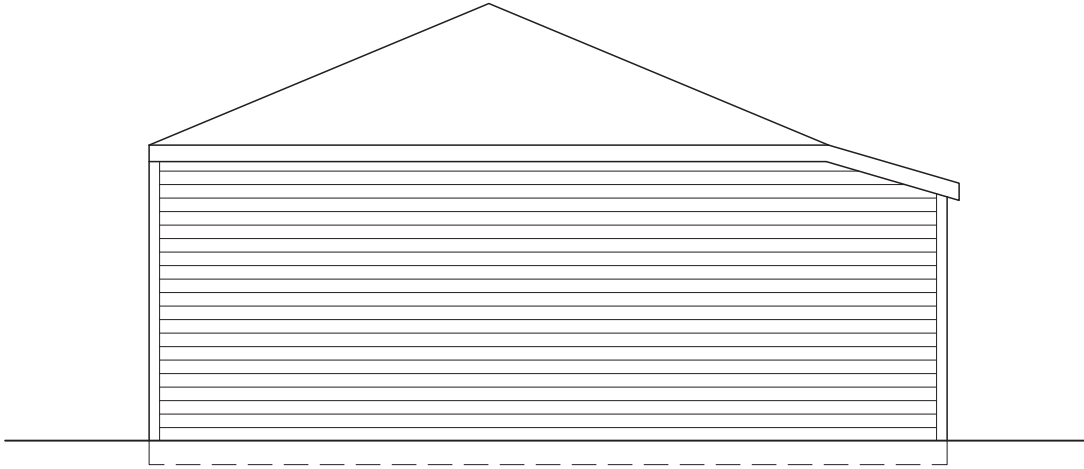
SCALE: 3/16"=1'-0"

# SK2



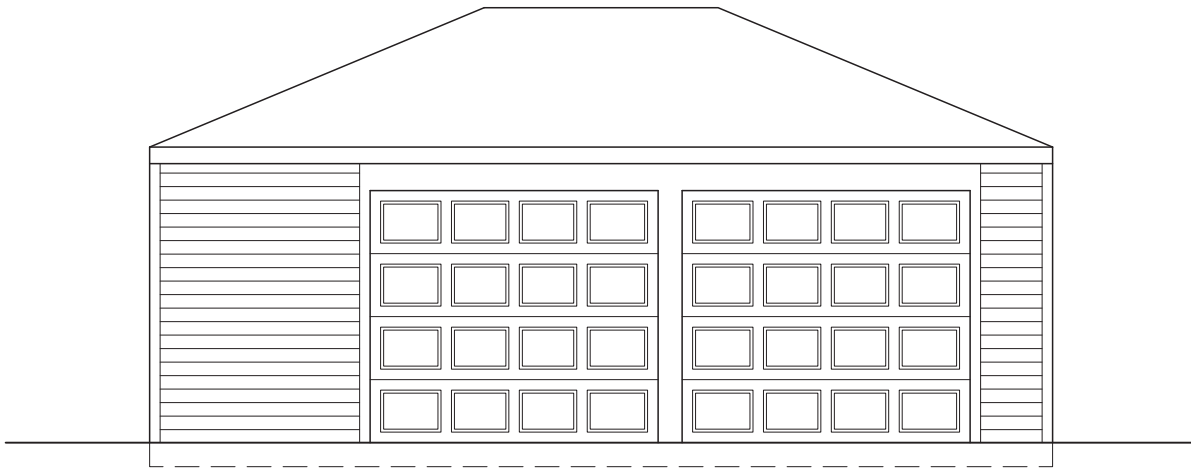


1613 Leverette St.  
Detroit, MI 48216  
Existing Drawings  
10.17.2025



**EXISTING EAST ELEVATION**

SCALE: 3/16"=1'-0"



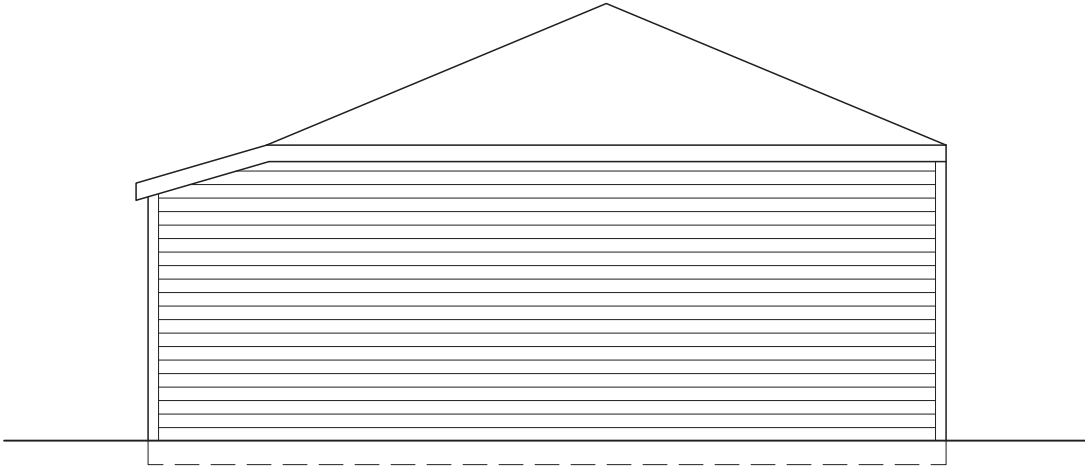
**EXISTING SOUTH ELEVATION**

SCALE: 3/16"=1'-0"

SK4

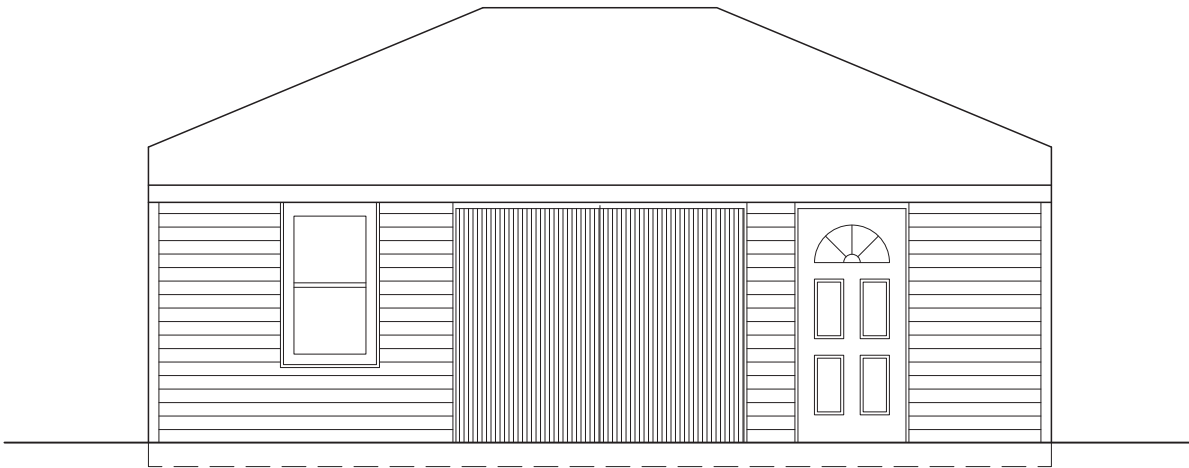


1613 Leverette St.  
Detroit, MI 48216  
Existing Drawings  
10.17.2025



**EXISTING EAST ELEVATION**

SCALE: 3/16"=1'-0"



**EXISTING NORTH ELEVATION**

SCALE: 3/16"=1'-0"

**SK5**





# HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

**Date:** 10/23/2025

**Application Number:** HDC2025-00655

## APPLICANT & PROPERTY INFORMATION

<b>NAME:</b> Blake I. Hattermann		<b>COMPANY NAME:</b> BHattermann Architecture, LLC	
<b>ADDRESS:</b> 2010 Roseland Avenue	<b>CITY:</b> Royal Oak	<b>STATE:</b> MI	<b>ZIP:</b> 48073
<b>PROJECT ADDRESS:</b> 1613 Leverette Street			
<b>HISTORIC DISTRICT:</b> Corktown			

## REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

You will need to still upload the following documents:

1. All architectural drawings related to the proposed carriage house.

To remain on the November docket, please upload these documents as soon as possible or prior to 5PM on Friday, October 24th.

## APPLICANT RESPONSE

Response Date: 10/23/2025



Attached are current construction documents, product information and color samples as submitted for previous application to be utilized for this current application.



**USE + ZONING INFORMATION:**

PARCEL ID: 98000414  
 ZONED: TWO-FAMILY RESIDENTIAL  
 BUILDING USE: ACCESSORY STRUCTURE  
 CONST TYPE: RESIDENTIAL WOOD FRAME  
 AREA:  
 PRIMARY STRUCTURE 74 (FOOTPRINT)  
 SECOND FLR 74 (FOOTPRINT)  
 TOTAL 148  
 ACCESSORY STRUCTURE 8 (FOOTPRINT)  
 SECOND FLR 8 (FOOTPRINT)  
 TOTAL 16  
 LOT AREA: 4,356 SF, 10 AC  
 TOTAL 1,114 SF  
 LOT COVERAGE: 31.8% (25% MAX)



**VICINITY MAP**  
 SCALE: N.T.S.  
 NORTH

PROJECT # 1913 ULL

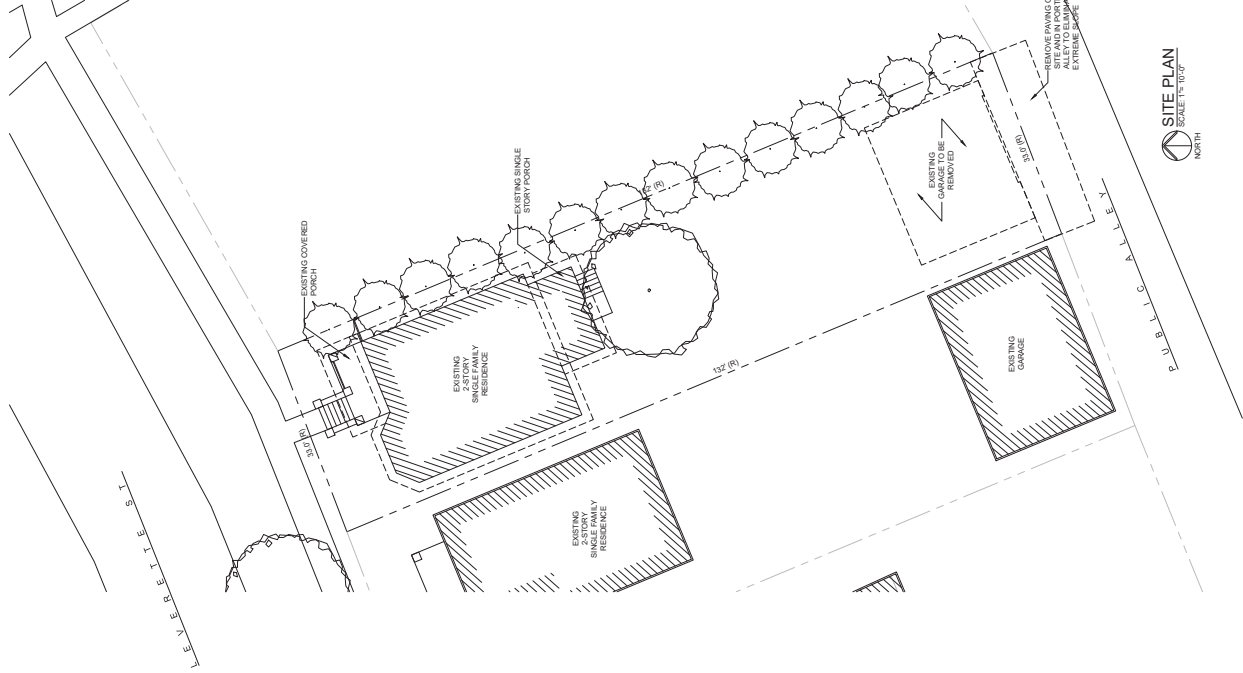
**CARRIAGE HOUSE**  
 1613 LEVERETTE ST.  
 DETROIT, MI 48216  
 2025.013

ISSUE: BIDS/PERMIT 09.25.25

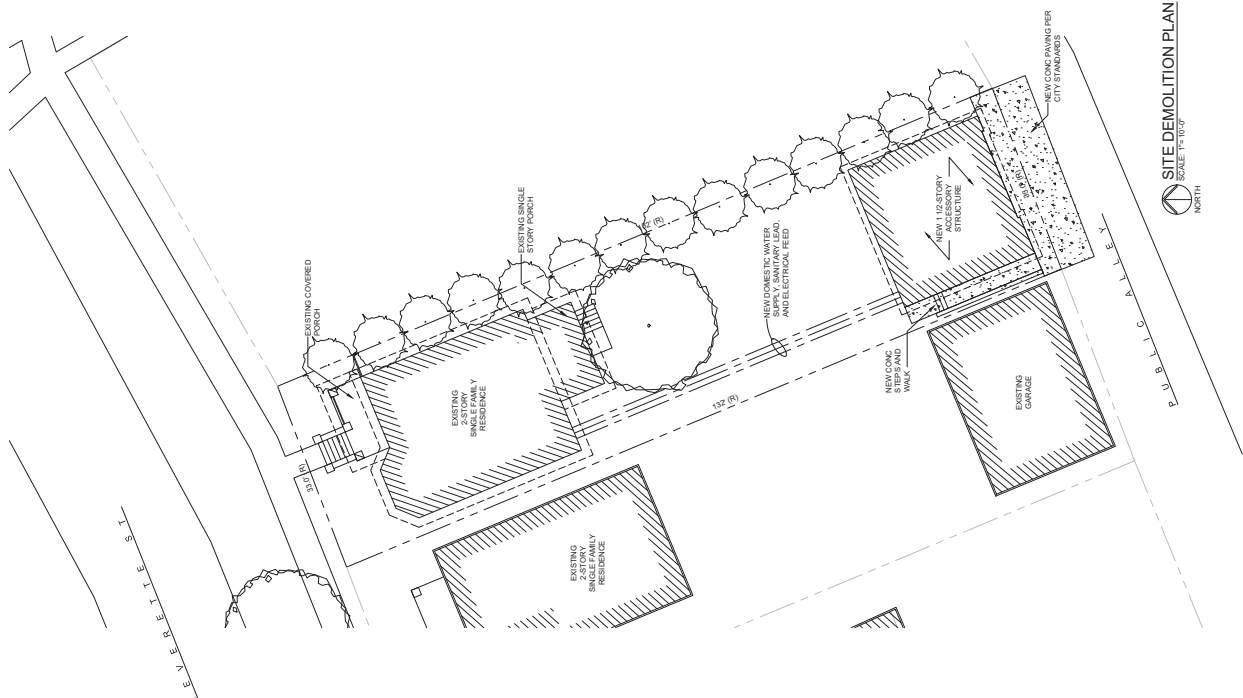
DRAWN BY:  
 CHECKED BY:

SHEET:

**AS1.1**  
 DO NOT SCALE DRAWING



**SITE PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH



**SITE DEMOLITION PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH

**GENERAL FLOOR PLAN NOTES:**

- THIS DRAWING IS DIAGNOSTIC AND SHOULD BE USED TO FIELD VERIFY ALL WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN LIABILITY FOR ANY DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESSES ARE NORMAL, NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- DO NOT REMOVE STRIPS AT EACH CHANGE IN FINISH FLOOR MATERIALS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA).

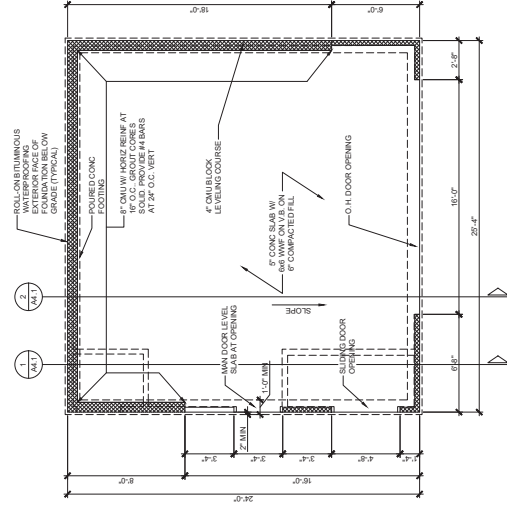
**FOUNDATION NOTES:**

- FOOTING PROJECTION MIN. 2"
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
  - FOOTING 3,000 PSI (5-7% AIR ENTRAINMENT) ENGRAINED
  - SLAB 3,000 PSI (5-7% AIR ENTRAINMENT) ENGRAINED
- FROST PROTECTION:
  - FOOTING SHALL EXTEND A MINIMUM OF 4" BELOW FINISHED GRADE.



1613 LEVERETTE ST.  
DETROIT, MI 48216  
2025.013

ISSUE: BIDS/PERMITS 09.25.25  
DRAWN BY:  
CHECKED BY:  
SHEET: **A1.0**  
DO NOT SCALE DRAWING



1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

- GENERAL FLOOR PLAN NOTES:**
- THIS DRAWING IS DIAGNOSTIC AND SHOULD BE USED TO FIELD VERIFY ALL WORK AND SHALL NOT BE ARCHITECTURAL BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN LIABILITY FOR ANY DISCREPANCIES.
  - ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
  - WALL THICKNESSES ARE NORMAL. NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
  - CONTRACTOR SHALL PROVIDE STRIPS AT EACH CHANGE IN FINISH FLOOR MATERIALS.
  - THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES.
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITTOUBILITIES ACT (AWI).
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ALL OTS/SM BOARD PARTITION SCHEDULES. CONTRACTOR SHALL VERIFY ALL OTS/SM SYSTEMS AND COMPONENTS.
  - OWNER IS RESPONSIBLE FOR ALL LOW-VOLTAGE WIRING SYSTEMS AND COMPONENTS.
  - THE CONTRACTOR SHALL PERFORM A WALK-THROUGH WITH THE ARCHITECT TO VERIFY THE LOCATION, OPERATION AND QUANTITY OF SWITCHES, OUTLETS, OPERATIONS AND QUANTITY OF SWITCHES AND OUTLETS TO DETERMINE FINAL COUNT AND LOCATION.

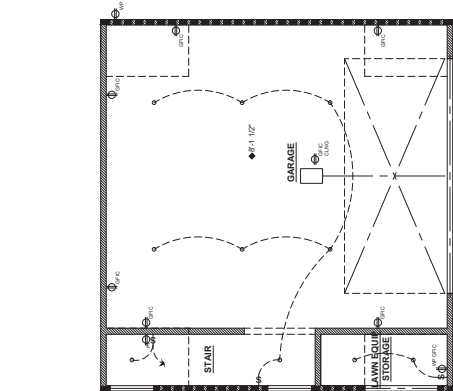
- CEILING PLAN NOTES:**
- SWITCH SYMBOL INDICATES THE LOCATION OF SWITCHES WITHIN THE ROOM UNLESS NOTED OTHERWISE.
  - ELECTRICAL/MECHANICAL/HVAC SHALL BE DESIGNED.
  - CONTRACTOR SHALL WALK-THROUGH WITH THE ARCHITECT TO VERIFY THE LOCATION, OPERATION AND QUANTITY OF SWITCHES, OUTLETS, OPERATIONS AND QUANTITY OF SWITCHES AND OUTLETS TO DETERMINE FINAL COUNT AND LOCATION.
  - THE CONTRACTOR SHALL PERFORM A WALK-THROUGH WITH THE ARCHITECT TO VERIFY THE LOCATION, OPERATION AND QUANTITY OF SWITCHES, OUTLETS, OPERATIONS AND QUANTITY OF SWITCHES AND OUTLETS TO DETERMINE FINAL COUNT AND LOCATION.

**CARRIAGE HOUSE**  
 1613 LEVERETTE ST.  
 DETROIT, MI 48216  
 2025.013

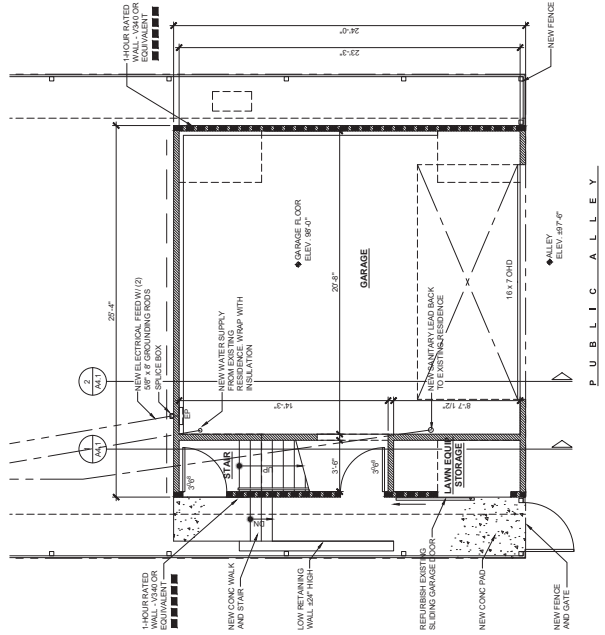
**ISSUE:**  
 01.22.25  
 02.22.25  
 03.22.25  
**REVISIONS:**

DRAWN BY:  
 CHECKED BY:

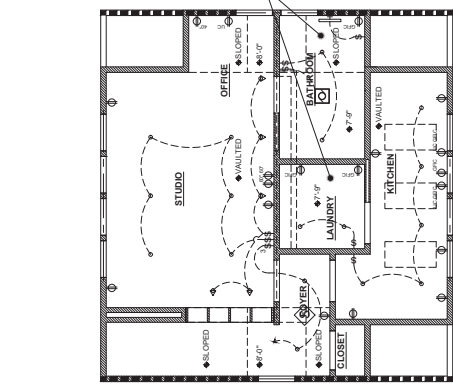
**SHEET:**  
**A1.1**  
 DO NOT SCALE DRAWING



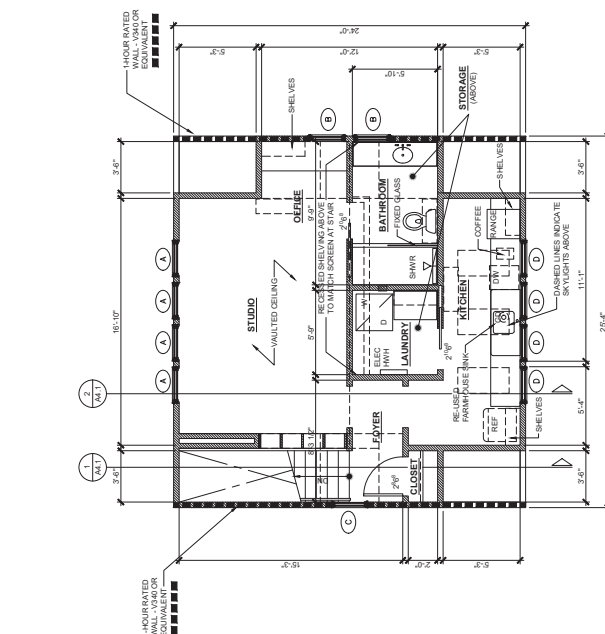
**3** FIRST FLOOR REFLECTED CEILING PLAN  
 Scale: 1/4" = 1'-0"



**1** FIRST FLOOR PLAN  
 Scale: 1/4" = 1'-0"



**4** SECOND FLOOR REFLECTED CEILING PLAN  
 Scale: 1/4" = 1'-0"



**2** SECOND FLOOR PLAN  
 Scale: 1/4" = 1'-0"



**GENERAL FLOOR PLAN NOTES:**

1. THIS DRAWING IS DIAGNOSTIC AND SHOULD BE USED TO IDENTIFY PROBLEMS. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR FIELD VERIFY ALL WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DEFECTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN ARCHITECT'S LIABILITY FOR ANY DISCREPANCIES.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.P.A., AND ALL APPLICABLE NATIONAL AND INTERNATIONAL STANDARDS.
3. PROVIDE FLASHINGS AT ALL ROOF/WALL PENETRATIONS TO EXTEND MINIMUM 1" UP THE WALL SURFACE UNDER WALL FINISH.
4. FOLLOW MANUFACTURER'S RECOMMENDED INSTALLATION TOOLS AND METHODS FOR ALL MATERIALS.
5. PROVIDE NEW 6" K-STYLE GUTTERS AND DOWNSPOUTS.

**BHATTERMANN ARCHITECTURE**  
 2010 ROSELAND AVENUE  
 ROYAL OAK, MI 48073  
 248.756.0182  
 bhattermannarchitecture@gmail.com

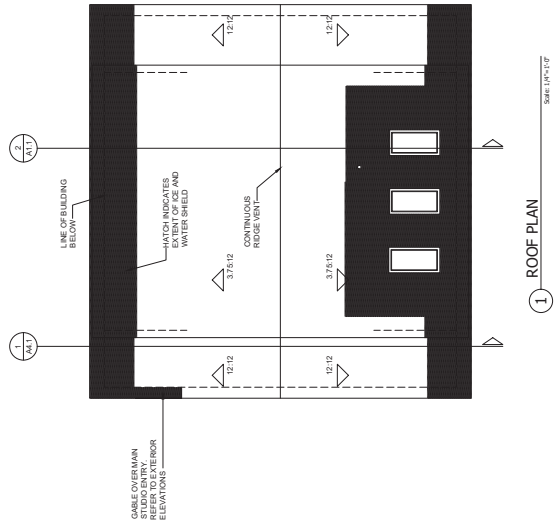
CONSULTANTS:

**CARRIAGE HOUSE**  
 1613 LEVERETTE ST.  
 DETROIT, MI 48216  
 2025.013

ISSUE: 06/26/25  
 REVISIONS: 06/26/25

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**A2.1**  
 DO NOT SCALE DRAWING



**MIN ROOFING REQUIREMENTS:**  
 12:12 PITCH DIMENSIONAL SHINGLES  
 ON 1" LAYERS 15# ASPHALT  
 BUILDING PAPER  
 3:75:12 DIMENSIONAL SHINGLES  
 ON 2" LAYERS 15# ASPHALT  
 BUILDING PAPER

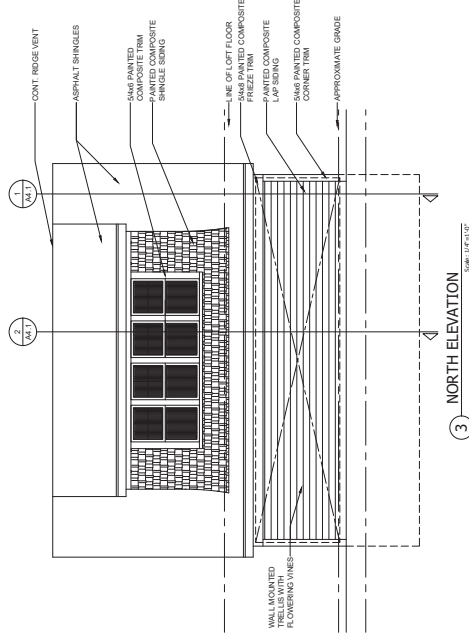
**CARRIAGE HOUSE**  
1613 LEVERETTE ST.  
DETROIT, MI 48216  
2025.013

ISSUE:  
REVISED PERmits  
09.22.25  
09.22.25

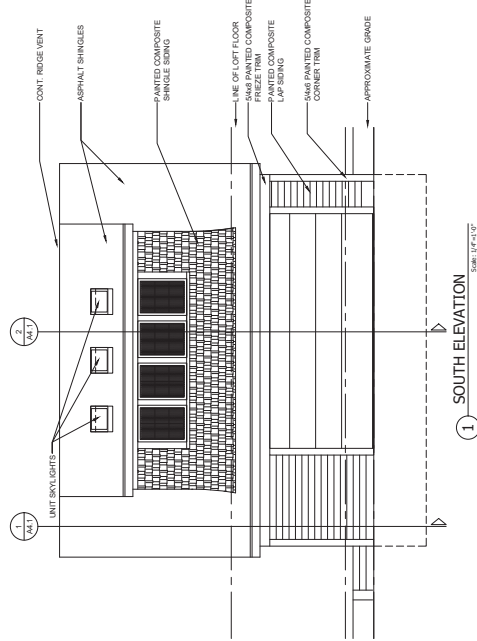
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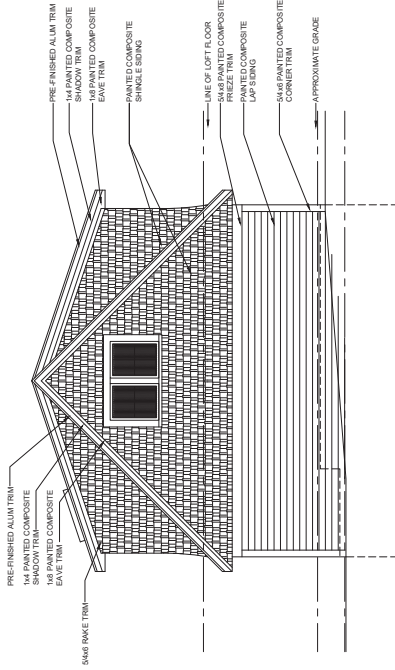
**A3.1**  
DO NOT SCALE DRAWING



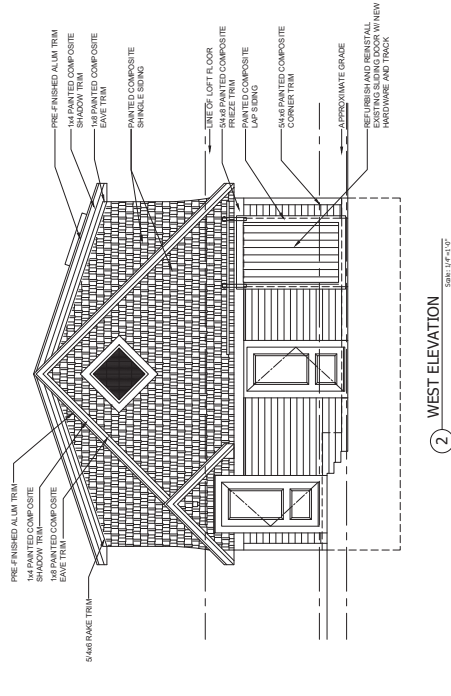
3 NORTH ELEVATION  
Scale: 1/4" = 1'-0"



1 SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



4 EAST ELEVATION  
Scale: 1/4" = 1'-0"

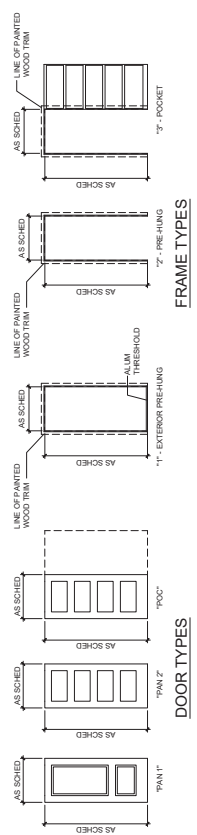


2 WEST ELEVATION  
Scale: 1/4" = 1'-0"



### DOOR SCHEDULE

NUMBER	ROOM NAME	DOOR SIZE	HARDWARE SET		DOOR FINISH		FRAME FINISH		THRESHOLD TYPE	LABEL	REMARKS
			1	2	1	2	1	2			
-	STUDIO ENTRY	3'0" x 6'8"	1	2	1	2	1	2	1	-	-
-	STUDIO CLOSET	2'8" x 6'8"	1	2	1	2	1	2	1	-	-
-	LAUNDRY	2'10" x 6'8"	3	2	1	2	1	2	3	-	-
-	BATHROOM	2'10" x 6'8"	3	2	1	2	1	2	3	-	-

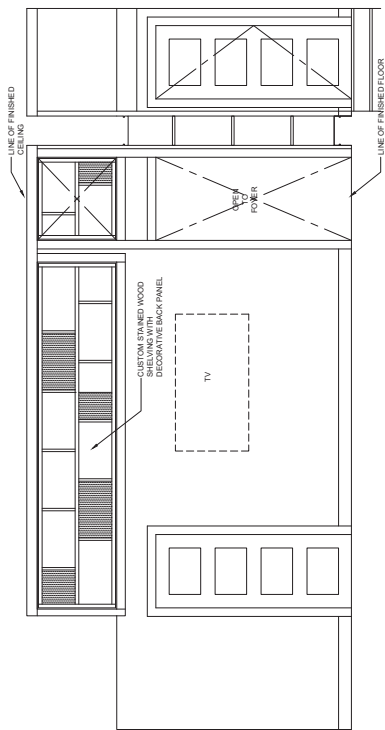


### HARDWARE SCHEDULE

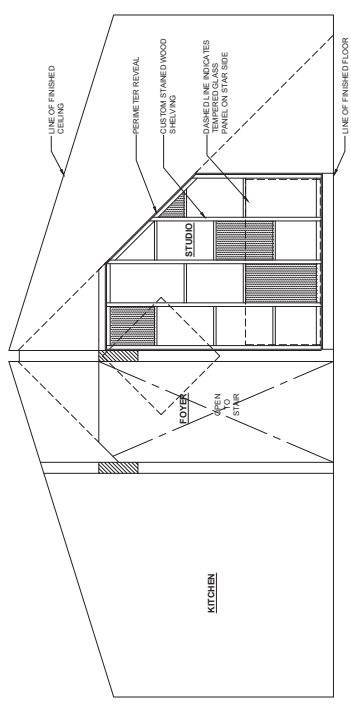
SET #1	SET #2	SET #3
ENTRANCE LOCKSET	LEVER STYLE PASSAGE SET	PUSH-BALL PASSAGE SET BY WFG
DEADBOLT	LOCKSET BY WFG	

GENERAL NOTES:

- COORDINATE HARDWARE FINISH WITH OWNER.
- PROVIDE WALL STOPS WHERE DOORS OPEN AGAINST FINISHED WALLS.



2 INTERIOR ELEVATION Scale: 1/2" = 1'-0"



1 INTERIOR ELEVATION Scale: 1/2" = 1'-0"



Carriage House

1613 Leverette Street

Detroit, MI 48216

Response to staff report dated 10/07/2025

Comment:

*2.) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

Response:

The following excerpt from the 'Standard for Rehabilitation of Historic Structures' eludes that some structures may be excluded from the . . . *structures utilized in determining historical significance:*

2) A building not contributing to the historic significance of a district is one which does not add to the district's sense of time and place and historical development; **or one where the location, design, setting, materials, workmanship, feeling and association have been so altered or have so deteriorated that the overall integrity of the building has been irretrievably lost.**

With respect to this specific structure:

- Presently, the existing structure is so badly deteriorated that the foundation and slab have been compromised. The slab is severely cracked and heaving in places. The foundation settling and has a rodent infestation further weakening it (groundhogs).
- The building is racking due foundation settlement and inadequate shear bracing.
- The roof structure is so badly deteriorated that it was required to be re-supported with a column disallowing use of one of the garage stalls.
- The structural capacity of the roof is severely overstressed due to the member size and spacing and is sagging.
- The current configuration of the access point from the alley into the garage creates a hazard and has the potential to severely damage vehicles attempting to enter or exit.
- The current materials, overhead and man doors, and color scheme have no historical significance.
- These issues were present prior to the present Owner's taking possession of the property.

These items would require the demolition and reconstruction of the existing garage to repair its deficiencies. In conjunction with meeting present building codes, any historic significance would therefore no longer exist.



Comment:

*5.) Distinctive Features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

Response:

Our solution will blend the massing, materials and an appropriate, harmonious color scheme indicative of the existing primary structure. Great effort has been taken to assure that the configuration, materials, details, and colors are appropriate for this type of structure providing a sense that it could be historical.

Specifically, the roof massing with the introduction of a dormer breaks up the mass. The building is depressed for grade in the back yard to meet the alley grade. This is done to rectify the issues of vehicular access in and out of the garage. The roof orientation and height reduce the visual impact of the structure along the alley in a similar manner to other structures. Other design features are recreated such as cover accenting the entry, and the use of a sliding door to secure storage that is accessed from the sidewalk. This is similar to the existing doors that presently allow access to the backyard. The exterior materials, windows were selected to respond to those in primary structure.

Comment:

*9.) New additions, exterior alterations, or related new construction shall not destroy historical materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing scale, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

In conjunction with the previous response, the new building was carefully designed and adopts design elements from the primary structure presenting a harmonious development that doesn't degrade the surrounding historic nature of the neighborhood. The use as a carriage house is present in many other examples the district, even at the end of the alley (1829 Leverette Street) where this project is located. In fact, 18.6% of the total structures located in the immediate districts are directly used as carriage houses, are attached garage structures (non-historic), or have massing similar to this project. It should be noted that a majority of the homes in the district do not presently have garages. This project has gone well above and beyond these existing examples to make the carriage house seem aesthetically historic in its design style.

Refer to attachments SK1-SK5.

SK1 – New and existing adjacent elevations.

SK2 – Existing elevations with new overlay (dashed)

SK3 – Existing elevations with new overlay (dashed)

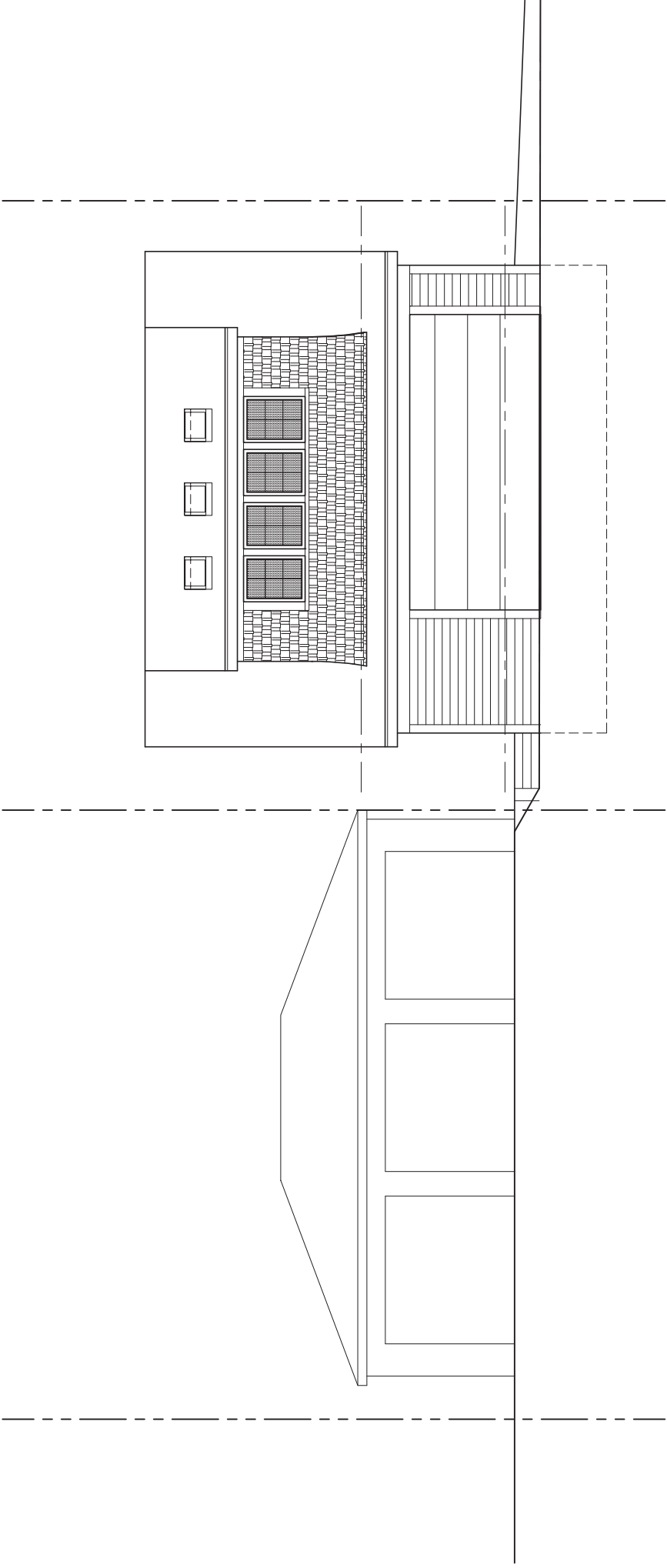
SK4 – Map showing existing garages and carriage houses

SK5 – Photo examples of carriage house style structures in the district for comparison.

SK6 – Example of carriage house at 1829 Leverette at the end of the alley



Carriage House  
1613 Leverette Street  
Detroit 48216



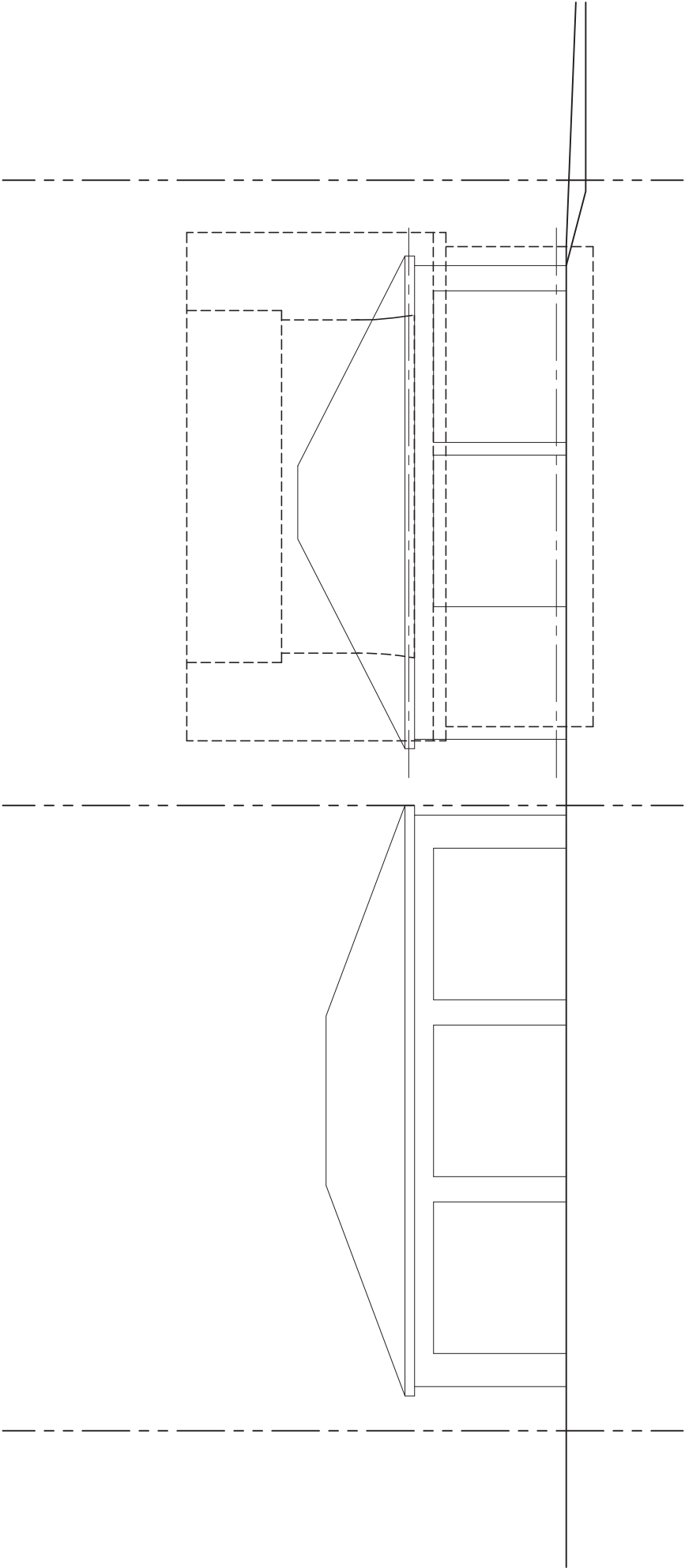
NEW ALLEY SIDE ELEVATION

SK1  
October 7, 2025

BHattermann Architecture ▪ 2010 Roseland Avenue ▪ Royal Oak, MI 48073-5013  
248.756.6162



Carriage House  
1613 Leverette Street  
Detroit 48216



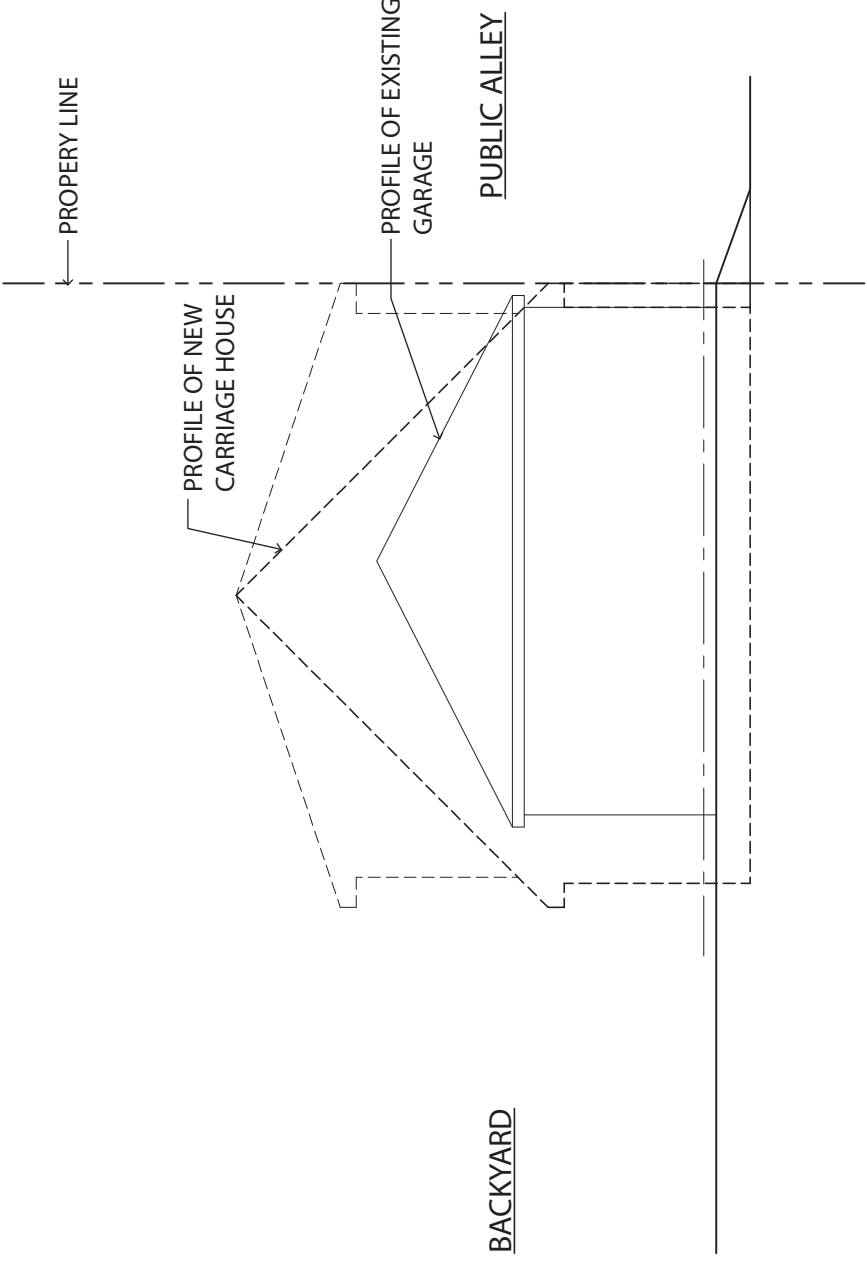
ALLEY ELEVATION OVERLAY

SK2  
October 7, 2025

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Carriage House  
1613 Levereite Street  
Dettroit 48216



SIDE ELEVATION OVERLAY

SK3  
October 7, 2025

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**CONTEXT EXAMPLES MAP**

**LEGEND**

- CARRIAGE HOUSE STYLE + ATTACHED GARAGES
- STANDARD GARAGE
- - - DISTRICT BOUNDARY

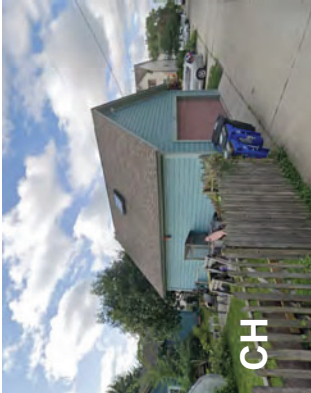
**SK4**  
October 7, 2025



Carriage House  
1613 Leverette Street  
Detroit 48216



CH



CH



CH



CH



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CH



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CH



CH



EXAMPLES

SK5  
October 7, 2025

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Carriage House  
1613 Leverette Street  
Detroit 48216



CONTEXT EXAMPLE - 1829 Leverette Street

SK6  
October 7, 2025

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248.756.6162

## SHOW YOUR TRUE COLORS

For even more aesthetic options, primed LP SmartSide products serve as a great option. These products arrive ready to be painted any color so you and your clients can create the look you want. They're also backed by the durability you expect from engineered wood technology. All LP SmartSide products are available in the primed option.



### LAP SIDING

Easier-to-maintain traditional siding, available in cedar texture



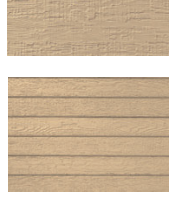
### NICKEL GAP SIDING

Offers a modern profile with locking flanges and a fastener groove that hides nails



### SHAKES

Accent piece with staggered or straight edges and shiplap ends for a detailed finish



### PANEL & VERTICAL SIDING

Siding that can be used to create the classic board and batten style, among other looks



### TRIM & FASCIA

Details to add interest and curb appeal to any home's look, available in brushed smooth and cedar texture



### SOFFIT

Ventilation that completes a clean exterior look and serves as a finishing touch



### J-BLOCK

Offers a way to easily and attractively mount light fixtures, water faucets and more



### MINI-SPLIT

Install exterior features with ease; can be separated for specific mount styles



### OUTSIDE CORNER

Primed one-piece corners eliminate the need to build corners on the jobsite and help prevent water intrusion



Featured: LP SmartSide® ExpertFinish® Cedar Texture Shakes in Timberland Suede, Lap Siding in Terra Brown, Trim in Sand Dunes.

Specifications: LP® SmartSide® ExpertFinish® Trim & Siding

**EXPERTFINISH® PRODUCTS**

COLOR	38 Series 6" or 8" Lap	Nickel Gap Siding 8"	190 Series 3" Trim	440 Series 4", 6", 8", 10" or 12" Trim	540 Series 4", 6", 8", 10" or 12" Trim	38 Series 12" or 16" Closed Soffit	38 Series 12" or 16" Vented Soffit	38 Series 24" Closed Soffit	38 Series 24" Vented Soffit	38 Series 12" x 48" Shakes	38 Series 16" x 16" Vertical Siding	38 Series 4" x 8" Panel	38 Series 4" x 10" Panel	540 Series 4" x 16" Outside Corner	540 Series 6" x 16" Outside Corner	540 Series 7.25" x 7.25" 1-Block	540 Series 7.25" x 6.75" Mini Split
Snowscape White	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Sand Dunes	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Desert Stone	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Quarry Gray	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Prairie Clay	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Terra Brown	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Harvest Honey	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Timberland Suede	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Garden Sage	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Redwood Red	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Tundra Gray	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Summit Blue	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Rapids Blue	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Cavern Steel	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Midnight Shadow	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Abyss Black	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*

All colors shown are representative and may not be an exact match. ● Available in Cedar Texture \* Available in Brushed Smooth

See LPSmartSide.com for product details.

Specifications: LP® SmartSide® ExpertFinish® Trim & Siding

**HARVEST HONEY CEDAR TEXTURE**

DESCRIPTION	LENGTH	ACTUAL WIDTH	THICKNESS	PID NUMBER	WEIGHT
38 Series Lap	16 ft. (192 in./4,9 m)	5,84 in. (148 mm)	0,354 in. (9 mm)	45327	1,5 PSF
Nickel Gap Siding	16 ft. (192 in./4,9 m)	7,84 in. (199 mm)	0,354 in. (9 mm)	45284	1,5 PSF
190 Series Trim	16 ft. (192 in./4,9 m)	7,88 in. (200 mm)	0,495 in. (12,6 mm)	46551	1,5 PSF
	16 ft. (192 in./4,9 m)	2,50 in. (64 mm)	0,575 in. (14,7 mm)	46261	2 PSF
	16 ft. (192 in./4,9 m)	3,50 in. (89 mm)	0,675 in. (17,1 mm)	46357	2 PSF
	16 ft. (192 in./4,9 m)	5,50 in. (140 mm)	0,675 in. (17,1 mm)	46373	2 PSF
	16 ft. (192 in./4,9 m)	7,21 in. (183 mm)	0,675 in. (17,1 mm)	46389	2 PSF
	16 ft. (192 in./4,9 m)	9,21 in. (234 mm)	0,675 in. (17,1 mm)	46405	2 PSF
	16 ft. (192 in./4,9 m)	11,21 in. (285 mm)	0,675 in. (17,1 mm)	46421	2 PSF
	16 ft. (192 in./4,9 m)	3,50 in. (89 mm)	0,970 in. (24,6 mm)	46277	3 PSF
	16 ft. (192 in./4,9 m)	5,50 in. (140 mm)	0,970 in. (24,6 mm)	46293	3 PSF
	16 ft. (192 in./4,9 m)	7,21 in. (183 mm)	0,970 in. (24,6 mm)	46309	3 PSF
	16 ft. (192 in./4,9 m)	9,21 in. (234 mm)	0,970 in. (24,6 mm)	46325	3 PSF
	16 ft. (192 in./4,9 m)	11,21 in. (285 mm)	0,970 in. (24,6 mm)	46341	3 PSF
38 Series Vertical Siding	16 ft. (192 in./4,9 m)	15,94 in. (405 mm)	0,354 in. (9 mm)	45381	1,5 PSF
38 Series 4" x 8" NGSE Dual Use Siding and Soffit	8 ft. (96 in./2,4 m)	47,88 in. (1,216 m)	0,354 in. (9 mm)	47103	2 PSF
38 Series 4" x 10" NGSE Dual Use Siding and Soffit	10 ft. (118,91 in./3,004 m)	47,88 in. (1,216 m)	0,354 in. (9 mm)	47088	2 PSF
38 Series Shakes	4 ft. (48,63 in./1,2 m)	48,56 in. (1,234 mm)	0,354 in. (9 mm)	46510	2 PSF
540 Series Outside Corner	16 ft. (192 in./4,9 m)	3,625 in. (92 mm)	0,970 in. (24,6 mm)	47163	-
7,25" x 7,25" J-Block	7,25 in. (184 mm)	7,25 in. (184 mm)	0,970 in. (24,6 mm)	45436	-
7,25" x 7,25" Mini-Split	7,25 in. (184 mm)	6,75 in. (171 mm)	0,970 in. (24,6 mm)	45438	-
Touch-Up Kits	-	-	-	45405	-

See LPSmartSide.com for product details.

Specifications: LP® SmartSide® ExpertFinish® Trim & Siding

**HARVEST HONEY BRUSHED SMOOTH**

DESCRIPTION	LENGTH	ACTUAL WIDTH	THICKNESS	PID NUMBER	WEIGHT
38 Series Lap	16 ft. (192 in./4,9 m)	5,84 in. (148 mm)	0,354 in. (9 mm)	45676	1,5 PSF
Nickel Gap Siding	16 ft. (192 in./4,9 m)	7,84 in. (199 mm)	0,354 in. (9 mm)	45660	1,5 PSF
190 Series Trim	16 ft. (192 in./4,9 m)	7,88 in. (200 mm)	0,495 in. (12,6 mm)	46567	1,5 PSF
	16 ft. (192 in./4,9 m)	2,50 in. (64 mm)	0,575 in. (14,7 mm)	45772	2 PSF
	16 ft. (192 in./4,9 m)	3,50 in. (89 mm)	0,675 in. (17,1 mm)	45788	2 PSF
	16 ft. (192 in./4,9 m)	5,50 in. (140 mm)	0,675 in. (17,1 mm)	45804	2 PSF
	16 ft. (192 in./4,9 m)	7,21 in. (183 mm)	0,675 in. (17,1 mm)	45820	2 PSF
	16 ft. (192 in./4,9 m)	9,21 in. (234 mm)	0,675 in. (17,1 mm)	45836	2 PSF
	16 ft. (192 in./4,9 m)	11,21 in. (285 mm)	0,675 in. (17,1 mm)	45852	2 PSF
	16 ft. (192 in./4,9 m)	3,50 in. (89 mm)	0,970 in. (24,6 mm)	45692	3 PSF
	16 ft. (192 in./4,9 m)	5,50 in. (140 mm)	0,970 in. (24,6 mm)	45708	3 PSF
	16 ft. (192 in./4,9 m)	7,21 in. (183 mm)	0,970 in. (24,6 mm)	45724	3 PSF
	16 ft. (192 in./4,9 m)	9,21 in. (234 mm)	0,970 in. (24,6 mm)	45740	3 PSF
	16 ft. (192 in./4,9 m)	11,21 in. (285 mm)	0,970 in. (24,6 mm)	45756	3 PSF
38 Series Vertical Siding	16 ft. (192 in./4,9 m)	15,94 in. (405 mm)	0,354 in. (9 mm)	45870	1,5 PSF
38 Series 4" x 8" NGSE Dual Use Siding and Soffit	8 ft. (96 in./2,4 m)	47,88 in. (1,216 m)	0,354 in. (9 mm)	45886	2 PSF
540 Series Outside Corner	16 ft. (192 in./4,9 m)	3,625 in. (92 mm)	0,970 in. (24,6 mm)	47131	-
7,25" x 7,25" J-Block	7,25 in. (184 mm)	7,25 in. (184 mm)	0,970 in. (24,6 mm)	45911	-
7,25" x 7,25" Mini-Split	7,25 in. (184 mm)	6,75 in. (171 mm)	0,970 in. (24,6 mm)	45942	-
Touch-Up Kits	-	-	-	45405	-

Please contact your local LP SmartSide sales representative for product availability. | Metric units are rounded. | PSF = Pounds Per Square Foot

Specifications: LP® SmartSide® ExpertFinish® Trim & Siding

**REDWOOD RED CEDAR TEXTURE**

DESCRIPTION	LENGTH	ACTUAL WIDTH	THICKNESS	PID NUMBER	WEIGHT
38 Series Lap	16 ft. (192 in./4,9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	41840	1.5 PSF
Nickel Gap Siding	16 ft. (192 in./4,9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	42293	1.5 PSF
190 Series Trim	16 ft. (192 in./4,9 m)	7.88 in. (200 mm)	0.495 in. (12.6 mm)	46556	1.5 PSF
	16 ft. (192 in./4,9 m)	2.50 in. (64 mm)	0.575 in. (14.7 mm)	46266	2 PSF
	16 ft. (192 in./4,9 m)	3.50 in. (89 mm)	0.675 in. (17.1 mm)	46362	2 PSF
	16 ft. (192 in./4,9 m)	5.50 in. (140 mm)	0.675 in. (17.1 mm)	46378	2 PSF
	16 ft. (192 in./4,9 m)	7.21 in. (183 mm)	0.675 in. (17.1 mm)	46394	2 PSF
	16 ft. (192 in./4,9 m)	9.21 in. (234 mm)	0.675 in. (17.1 mm)	46410	2 PSF
	16 ft. (192 in./4,9 m)	11.21 in. (285 mm)	0.675 in. (17.1 mm)	46426	2 PSF
	16 ft. (192 in./4,9 m)	3.50 in. (89 mm)	0.970 in. (24.6 mm)	46282	3 PSF
	16 ft. (192 in./4,9 m)	5.50 in. (140 mm)	0.970 in. (24.6 mm)	46288	3 PSF
	16 ft. (192 in./4,9 m)	7.21 in. (183 mm)	0.970 in. (24.6 mm)	46314	3 PSF
	16 ft. (192 in./4,9 m)	9.21 in. (234 mm)	0.970 in. (24.6 mm)	46330	3 PSF
	16 ft. (192 in./4,9 m)	11.21 in. (285 mm)	0.970 in. (24.6 mm)	46346	3 PSF
38 Series Vertical Siding	16 ft. (192 in./4,9 m)	15.94 in. (405 mm)	0.354 in. (9 mm)	43232	1.5 PSF
38 Series 4" x 8" NGSE Dual Use Siding and Soffit	8 ft. (96 in.)/2,4 m)	47.85 in. (1 216 mm)	0.354 in. (9 mm)	47106	2 PSF
38 Series 4" x 10" NGSE Dual Use Siding and Soffit	10 ft. (119.81 in.)/3,004 mm)	47.85 in. (1 216 mm)	0.354 in. (9 mm)	47091	2 PSF
38 Series Shakes	4 ft. (48.63 in.)/1,2 m)	11.625 in. (295 mm)	0.354 in. (9 mm)	46520	2 PSF
540 Series Outside Corner	16 ft. (192 in./4,9 m)	3.625 in. (92 mm)	0.970 in. (24.6 mm)	47169	-
7.25" x 7.25" J-Block	7.25 in. (184 mm)	7.25 in. (184 mm)	0.970 in. (24.6 mm)	43408	-
7.25" x 6.75" Mini-Split	7.25 in. (184 mm)	6.75 in. (171 mm)	0.970 in. (24.6 mm)	43424	-
Touch-Up Kits	-	-	-	42054	-

See LPSmartSide.com for product details.

Specifications: LP® SmartSide® ExpertFinish® Trim & Siding

**REDWOOD RED BRUSHED SMOOTH**

DESCRIPTION	LENGTH	ACTUAL WIDTH	THICKNESS	PID NUMBER	WEIGHT
38 Series Lap	16 ft. (192 in./4,9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	45681	1.5 PSF
Nickel Gap Siding	16 ft. (192 in./4,9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	45685	1.5 PSF
190 Series Trim	16 ft. (192 in./4,9 m)	7.88 in. (200 mm)	0.495 in. (12.6 mm)	46572	1.5 PSF
	16 ft. (192 in./4,9 m)	2.50 in. (64 mm)	0.575 in. (14.7 mm)	45777	2 PSF
	16 ft. (192 in./4,9 m)	3.50 in. (89 mm)	0.675 in. (17.1 mm)	45783	2 PSF
	16 ft. (192 in./4,9 m)	5.50 in. (140 mm)	0.675 in. (17.1 mm)	45809	2 PSF
	16 ft. (192 in./4,9 m)	7.21 in. (183 mm)	0.675 in. (17.1 mm)	45825	2 PSF
	16 ft. (192 in./4,9 m)	9.21 in. (234 mm)	0.675 in. (17.1 mm)	45841	2 PSF
	16 ft. (192 in./4,9 m)	11.21 in. (285 mm)	0.675 in. (17.1 mm)	45857	2 PSF
	16 ft. (192 in./4,9 m)	3.50 in. (89 mm)	0.970 in. (24.6 mm)	45697	3 PSF
	16 ft. (192 in./4,9 m)	5.50 in. (140 mm)	0.970 in. (24.6 mm)	45713	3 PSF
	16 ft. (192 in./4,9 m)	7.21 in. (183 mm)	0.970 in. (24.6 mm)	45729	3 PSF
	16 ft. (192 in./4,9 m)	9.21 in. (234 mm)	0.970 in. (24.6 mm)	45745	3 PSF
	16 ft. (192 in./4,9 m)	11.21 in. (285 mm)	0.970 in. (24.6 mm)	45761	3 PSF
38 Series Vertical Siding	16 ft. (192 in./4,9 m)	15.94 in. (405 mm)	0.354 in. (9 mm)	45875	1.5 PSF
38 Series 4" x 8" NGSE Dual Use Siding and Soffit	8 ft. (96 in.)/2,4 m)	47.85 in. (1 216 mm)	0.354 in. (9 mm)	45891	2 PSF
540 Series Outside Corner	16 ft. (192 in./4,9 m)	3.625 in. (92 mm)	0.970 in. (24.6 mm)	47137	-
7.25" x 7.25" J-Block	7.25 in. (184 mm)	7.25 in. (184 mm)	0.970 in. (24.6 mm)	45921	-
7.25" x 6.75" Mini-Split	7.25 in. (184 mm)	6.75 in. (171 mm)	0.970 in. (24.6 mm)	45949	-
Touch-Up Kits	-	-	-	42054	-

Please contact your local LP SmartSide sales representative for product availability. | Metric units are rounded. | PSF = Pounds Per Square Foot

## Specifications: LP® SmartSide® Lap Siding

### CEDAR TEXTURE LAP SIDING

#### THE BOLD LOOK OF CEDAR WITHOUT MANY OF THE WORRIES

- One of the most durable lap siding options on the market today
- Available in lengths up to 16' to help speed installation
- May create fewer seams than traditional 12' siding
- Primed for exceptional paint adhesion
- APA-certified lap siding
- Treated with the SmartGuard® process for superior protection against many weather conditions and resistance to termites and fungal decay



Cedar Texture

#### 38 SERIES CEDAR TEXTURE LAP



#### 76 SERIES CEDAR TEXTURE LAP



DESCRIPTION	LENGTH	ACTUAL WIDTH	THICKNESS	PIR NUMBER	WEIGHT
38 Series Lap	16 ft. (192 in.)(4.9 m)	5.84 in. (148 mm)	0.354 in. (9 mm)	25796	1.5 PSF
	16 ft. (192 in.)(4.9 m)	7.84 in. (199 mm)	0.354 in. (9 mm)	25797	1.5 PSF
	16 ft. (192 in.)(4.9 m)	11.84 in. (301 mm)	0.354 in. (9 mm)	25799	1.5 PSF
76 Series Lap	16 ft. (192 in.)(4.9 m)	7.84 in. (199 mm)	0.418 in. (10.6 mm)	25786	1.5 PSF
	16 ft. (192 in.)(4.9 m)	11.84 in. (301 mm)	0.418 in. (10.6 mm)	25787	1.5 PSF

## Specifications: LP® SmartSide® Lap Siding Coverage

Lap Siding for Length	Reveal (Size)		
	4-7/8" (6")	6-7/8" (8")	10-7/8" (12")
100	16 pcs.	11 pcs.	7 pcs.
200	31 pcs.	22 pcs.	14 pcs.
300	47 pcs.	33 pcs.	21 pcs.
400	62 pcs.	44 pcs.	28 pcs.
500	77 pcs.	55 pcs.	35 pcs.
600	93 pcs.	66 pcs.	42 pcs.
700	108 pcs.	77 pcs.	49 pcs.
800	124 pcs.	88 pcs.	56 pcs.
900	139 pcs.	99 pcs.	63 pcs.
1000	154 pcs.	110 pcs.	69 pcs.
1500	231 pcs.	164 pcs.	104 pcs.
2000	308 pcs.	219 pcs.	138 pcs.
2500	385 pcs.	273 pcs.	173 pcs.
3000	462 pcs.	328 pcs.	207 pcs.
3500	539 pcs.	382 pcs.	242 pcs.
4000	616 pcs.	437 pcs.	276 pcs.
4500	693 pcs.	491 pcs.	311 pcs.
5000	770 pcs.	546 pcs.	345 pcs.

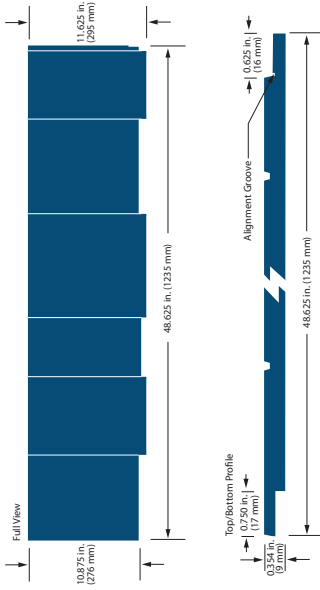
## Specifications: LP® SmartSide® Shakes

# CEDAR TEXTURE SHAKES

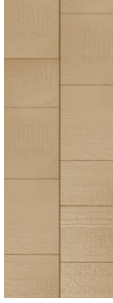
### THE LUXURIOUS APPEAL OF CEDAR

- The look of traditional cedar with more durability for easier maintenance over time
- Staggered edges offer a lively, textured effect
- Can be used as a decorative accent or on the entire structure
- Shiplap ends for a clean appearance
- Reversible staggered or straight edge offers exceptional design versatility
- Treated with the SmartGuard® process for superior protection against many weather conditions and resistance to termites and fungal decay

### 38 SERIES CEDAR TEXTURE SHAKES



Staggered



Straight

## Specifications: LP® SmartSide® Cedar Texture Shakes Coverage

Cedar Texture Shakes 4' Length	7' (12')	10' (12')
Area (sq. ft.)	Reveal (6/12)	
100	44 pcs.	31 pcs.
200	88 pcs.	61 pcs.
300	131 pcs.	92 pcs.
400	175 pcs.	122 pcs.
500	219 pcs.	152 pcs.
600	262 pcs.	183 pcs.
700	306 pcs.	213 pcs.
800	350 pcs.	244 pcs.
900	393 pcs.	274 pcs.
1000	437 pcs.	304 pcs.
1500	655 pcs.	456 pcs.
2000	873 pcs.	608 pcs.
2500	1091 pcs.	760 pcs.
3000	1310 pcs.	912 pcs.
3500	1528 pcs.	1064 pcs.
4000	1746 pcs.	1216 pcs.
4500	1964 pcs.	1368 pcs.
5000	2182 pcs.	1519 pcs.

Disclaimer: The above chart does not account for waste factors. Remember to include your expected jobsite waste. It is up to the purchaser to determine the appropriate waste factor to add to the material estimate. LP takes no responsibility for estimates, including overages or shortages of material based on the above coverage chart.

DESCRIPTION	LENGTH	ACTUAL WIDTH	THICKNESS	PID NUMBER	WEIGHT
38 Series Cedar Texture Shakes	4ft. (48.63 in./1,235 mm)	11.625 in. (295 mm)	0.354 in. (9 mm)	42092	1.5 PSF

## Specifications: LP® SmartSide® Trim

### CEDAR TEXTURE TRIM

#### THE CLASSIC APPEARANCE OF CEDAR

- Use for corners, window and door trims
- Narrow widths for more design flexibility
- Primed for exceptional paint adhesion
- 16' length can result in faster installation and fewer seams
- Treated with the SmartGuard® process for superior protection against many weather conditions and resistance to termites and fungal decay



Cedar Texture

#### 190 SERIES CEDAR TEXTURE TRIM



#### 440 SERIES CEDAR TEXTURE TRIM



#### 540 SERIES CEDAR TEXTURE TRIM



#### 440 SERIES CEDAR TEXTURE PLOUGHED FASCIA



DESCRIPTION	LENGTH	ACTUAL WIDTH	THICKNESS	PID NUMBER	WEIGHT
190 Series Trim	16 ft. (4.9 m)	2.50 in. (64 mm)	0.675 in. (17.1 mm)	28448	2 PSF
440 Series Trim	16 ft. (4.9 m)	3.50 in. (89 mm)	0.675 in. (17.1 mm)	28460	2 PSF
	16 ft. (4.9 m)	5.50 in. (140 mm)	0.675 in. (17.1 mm)	28452	2 PSF
440 Series Trim	16 ft. (4.9 m)	1.50 in. (38 mm)	0.675 in. (17.1 mm)	29877	2 PSF
	16 ft. (4.9 m)	2.50 in. (64 mm)	0.675 in. (17.1 mm)	29878	2 PSF
	16 ft. (4.9 m)	3.50 in. (89 mm)	0.675 in. (17.1 mm)	29880	2 PSF
	16 ft. (4.9 m)	5.50 in. (140 mm)	0.675 in. (17.1 mm)	29882	2 PSF
	16 ft. (4.9 m)	7.21 in. (183 mm)	0.675 in. (17.1 mm)	29883	2 PSF
	16 ft. (4.9 m)	9.21 in. (234 mm)	0.675 in. (17.1 mm)	29884	2 PSF
	16 ft. (4.9 m)	11.21 in. (285 mm)	0.675 in. (17.1 mm)	29885	2 PSF
540 Series Trim	16 ft. (4.9 m)	1.50 in. (38 mm)	0.970 in. (24.6 mm)	29886 *	3 PSF
	16 ft. (4.9 m)	2.50 in. (64 mm)	0.970 in. (24.6 mm)	29887 *	3 PSF
	16 ft. (4.9 m)	3.50 in. (89 mm)	0.970 in. (24.6 mm)	29888	3 PSF
	16 ft. (4.9 m)	5.50 in. (140 mm)	0.970 in. (24.6 mm)	29890	3 PSF
	16 ft. (4.9 m)	7.21 in. (183 mm)	0.970 in. (24.6 mm)	29891	3 PSF
	16 ft. (4.9 m)	9.21 in. (234 mm)	0.970 in. (24.6 mm)	29892	3 PSF
	16 ft. (4.9 m)	11.21 in. (285 mm)	0.970 in. (24.6 mm)	29893	3 PSF
440 Series Ploughed Fascia	16 ft. (4.9 m)	5.47 in. (140 mm)	0.82 in. (20.8 mm)	27240 *	2 PSF
	16 ft. (4.9 m)	7.21 in. (183 mm)	0.82 in. (20.8 mm)	27241 *	2 PSF

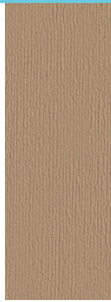
\*Special order item. Requires minimum quantity and extended lead times.

## Specifications: LP® SmartSide® Trim

### BRUSHED SMOOTH TRIM

#### SMOOTH APPEARANCE, ADVANCED DURABILITY OF ENGINEERED WOOD

- Helps protect against moisture intrusion, impacts from hail, and damage from freeze/thaw cycles
- Treated with the SmartGuard® process for superior protection against many weather conditions and resistance to termites and fungal decay
- 16' length can result in faster installation and fewer seams
- Primed for exceptional paint adhesion
- Backed by an industry-leading 5/50-year limited warranty



Brushed Smooth Trim

#### 440 SERIES BRUSHED SMOOTH TRIM



#### 540 SERIES BRUSHED SMOOTH TRIM



DESCRIPTION	LENGTH	ACTUAL WIDTH	THICKNESS	PID NUMBER	WEIGHT
440 Series Trim	16 ft. (4.9 m)	2.50 in. (64 mm)	0.675 in. (17.1 mm)	45988	2 PSF
	16 ft. (4.9 m)	3.50 in. (89 mm)	0.675 in. (17.1 mm)	46000	2 PSF
	16 ft. (4.9 m)	5.50 in. (140 mm)	0.675 in. (17.1 mm)	46001	2 PSF
	16 ft. (4.9 m)	7.21 in. (183 mm)	0.675 in. (17.1 mm)	46002	2 PSF
	16 ft. (4.9 m)	9.21 in. (234 mm)	0.675 in. (17.1 mm)	46003	2 PSF
	16 ft. (4.9 m)	11.21 in. (285 mm)	0.675 in. (17.1 mm)	46004	2 PSF
540 Series Trim	16 ft. (4.9 m)	1.50 in. (38 mm)	0.675 in. (17.1 mm)	46010	3 PSF
	16 ft. (4.9 m)	2.50 in. (64 mm)	0.970 in. (24.6 mm)	46010	3 PSF
	16 ft. (4.9 m)	3.50 in. (89 mm)	0.970 in. (24.6 mm)	46011	3 PSF
	16 ft. (4.9 m)	5.50 in. (140 mm)	0.970 in. (24.6 mm)	45992	3 PSF
	16 ft. (4.9 m)	7.21 in. (183 mm)	0.970 in. (24.6 mm)	45993	3 PSF
	16 ft. (4.9 m)	9.21 in. (234 mm)	0.970 in. (24.6 mm)	45995	3 PSF
	16 ft. (4.9 m)	11.21 in. (285 mm)	0.970 in. (24.6 mm)	45997	3 PSF
	16 ft. (4.9 m)	11.21 in. (285 mm)	0.970 in. (24.6 mm)	45998	3 PSF

Specifications: LP® SmartSide® Soffit

## CEDAR TEXTURE VENTED SOFFIT

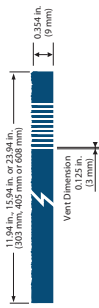
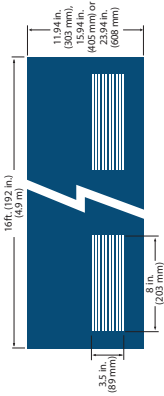
### ENGINEERED TO CUT OUT PROBLEMS

- Precisely cut vents offer 5 and 10 square inches of ventilation per linear foot, providing more options to meet code requirements while adding architectural beauty
- Promotes continuous airflow
- 1/8" vents to help keep hornets and most bees out
- Eliminates time spent ripping full sheets
- Treated with the SmartGuard® process for superior protection and resistance against many weather conditions, fungal decay and termites



Cedar Texture

### 38 SERIES VENTED CEDAR TEXTURE SOFFIT – CUT-TO-WIDTH



DESCRIPTION	LENGTH	ACTUAL WIDTH	THICKNESS	PID NUMBER	WEIGHT
38 Series 5 sq. in. Vented Cedar Texture Soffit – Cut-to-Width	16 ft. (192 in.)(4.9 m)	11.94 in. (303 mm)	0.354 in. (9 mm)	45450	-
38 Series 10 sq. in. Vented Cedar Texture Soffit – Cut-to-Width	16 ft. (192 in.)(4.9 m)	15.94 in. (405 mm)	0.354 in. (9 mm)	45451	-
	16 ft. (192 in.)(4.9 m)	11.94 in. (303 mm)	0.354 in. (9 mm)	25822	-
	16 ft. (192 in.)(4.9 m)	15.94 in. (405 mm)	0.354 in. (9 mm)	25823	-
	16 ft. (192 in.)(4.9 m)	23.94 in. (608 mm)	0.354 in. (9 mm)	25824	-

Specifications: LP® SmartSide® Soffit

## BRUSHED SMOOTH VENTED SOFFIT

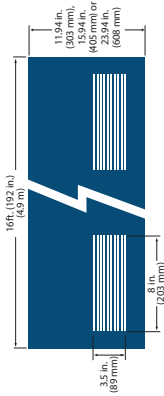
### TIMELESS DESIGN MEETS EVERYDAY FUNCTIONALITY

- Precisely cut vents offer 10 square inches of ventilation per linear foot, providing more options to meet code requirements while adding architectural beauty
- Promotes continuous airflow
- 1/8" vents to help keep hornets and bees out
- Eliminates time spent ripping full sheets
- Treated with the SmartGuard® process for superior protection and resistance against many weather conditions, fungal decay and termites



Brushed Smooth

### 38 SERIES VENTED BRUSHED SMOOTH SOFFIT – CUT-TO-WIDTH

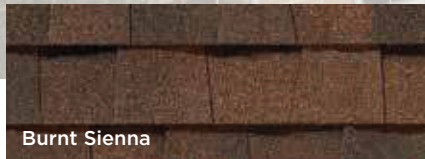


DESCRIPTION	LENGTH	ACTUAL WIDTH	THICKNESS	PID NUMBER	WEIGHT
38 Series 10 sq. in. Vented Brushed Smooth Soffit – Cut-to-Width	16 ft. (192 in.)(4.9 m)	11.94 in. (303 mm)	0.354 in. (9 mm)	46964	-
	16 ft. (192 in.)(4.9 m)	15.94 in. (405 mm)	0.354 in. (9 mm)	46043	-
	16 ft. (192 in.)(4.9 m)	23.94 in. (608 mm)	0.354 in. (9 mm)	46044	-



Landmark ClimateFlex, shown in Colonial Slate

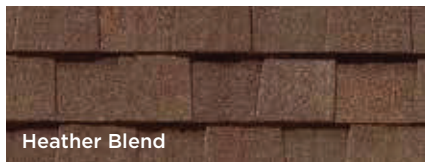
COLOR AVAILABILITY



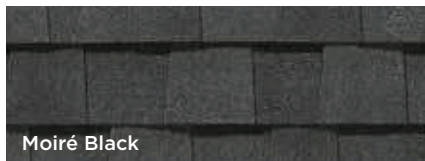
Burnt Sienna



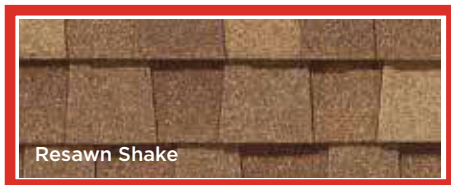
Colonial Slate



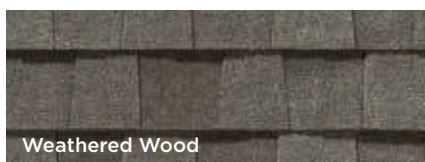
Heather Blend



Moiré Black



Resawn Shake



Weathered Wood

# LANDMARK® ClimateFlex®

- Fiberglass-based construction
- Lifetime limited transferable warranty\*
- 10-year SureStart™ protection
- 25-year **StreakFighter**® algae-resistance warranty
- **NailTrak**® extra-wide nailing area for accurate installation
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required

\* See warranty for specific details and limitations.

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

**Fire Resistance:**

- UL Class A

**Tear Resistance:**

- UL certified to meet ASTM D3462
- CSA standard A123.5-98

**Impact Resistance:**

- UL2218 Class 4



**Wind Driven Rain Resistance:**

- Miami-Dade Product Control Acceptance: Please reference [www.certainteed.com](http://www.certainteed.com) to determine approved products by manufacturing location.

**Quality Standards:**

- ICC-ES-ESR-1389 & ESR-3537



Scan code for more information

Select Clad Primed Entry Door Warranty, Care & Installation Product Literature

## PRIMED | DOUBLE HUNG

Contact Us Find a Distributor

**We've made your world easier.** Windsor's double hung windows are not only an attractive addition to a home, they are extremely easy to maintain. The sash on the double hung easily tilts in and removes for easy cleaning. Our unique locking shoe balance system also allows you to effortlessly replace or remove individual sashes. Primed units feature parts made of revolutionary composite cellular PVC exterior that resists the elements.



- EZ Tilt sash with compression jambliner for easy cleaning and sash removal
- Recessed lock and keeper for a sleek appearance
- Block and tackle balance system for easy removal and sash operation
- Available as a Revive sash replacement kit which allows you to easily update your windows while keeping existing interior trim and plaster in place (excludes exterior trim and screen options)
- Interior and exterior grilles may be paired in a variety of combinations. However, some combinations are not available in every product.
- CPVC may be painted. However, the color must have an LRV rating of 50 or greater (no dark colors).

### Corner Sample

Casement



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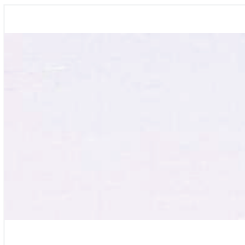
### Interior Wood Species



Clear Select Pine

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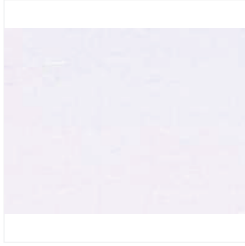
### Interior Primed Finishes



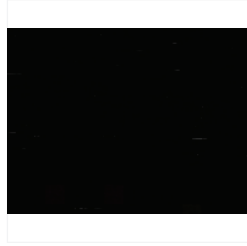
White Primed

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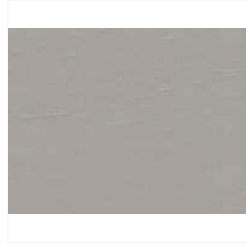
## Prefinished Painted Interiors



Painted White



Painted Black



Painted Gray

## Double Hung Hardware



Double Hung  
Available in eight finishes.

### AVAILABLE FINISH



Champagne



White



Bronze



Black



Faux Bronze



Oil Rubbed Bronze



Satin Nickel



Bright Brass

## Glass



LoE 966 Standard



Dual Low-E



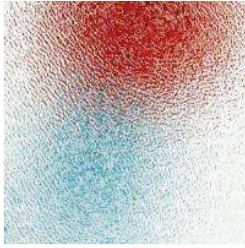
LoE 180



LoE 240

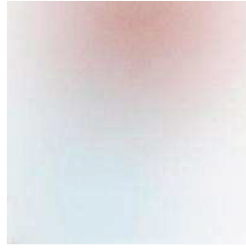


LoE 272



Obscure

Clear



Satin Etch

Gray Tint

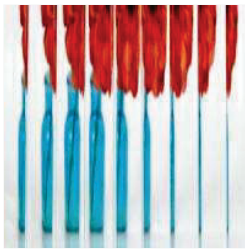


Glue Chip (Special order item)

Bronze Tint



Rain (Special order item)



Reed (Special order item)

Contact Us Find a Distributor

## Interior Trim



WM327 - 2-1/4"



WM356 - 2-1/4"



WM366 - 2-1/4"



WM351 - 2-1/2"



WM361 - 2-1/2"



WM445 - 3-1/4"



WM444 - 3-1/2"



RB03 - 3-1/2"



WM473 - 2-1/4"



WM433 - 3-1/4"



WM412 - 3-1/2"

## Stool And Apron



B200 - 11/16" x 2-1/2"



WM1021 - 5-1/4"

## Rosettes



Rosette - 2-3/4"



Rosette - 3-3/4"

## Exterior Trim



WM 180 Brickmould



WM 180 Brickmould with Flange



Williamsburg



3-1/2" Flat



4-1/2" Backband



5-1/2" Flat



Plantation



2" Bull Nose Sill Nose



Double Hung Sill Nose



Belly Sill Nose

## CPVC Exterior Sill



Double Hung Sill Nose



2" Bull Nose Sill Nose



Belly Sill Nose

## CPVC Exterior Casing



WM 180 Brickmould



WM 180 Brickmould with Flange



Williamsburg



3-1/2" Flat



4-1/2" Backband



5-1/2" Flat



Plantation

## Grilles



7/8" & 1-1/4" Perimeter Grille



7/8" & 1-1/4" Stick Grille



3/4" & 1" Profiled Inner Grille



13/16" Flat Inner Grille

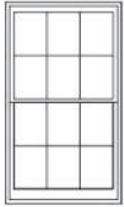


7/8" & 1-1/4" Exterior  
CPVC Ogee Windsor  
Divided Lite

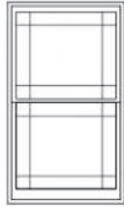
5/8", 7/8", 1-1/4" & 2"  
Short Putty Windsor  
Divided Lite

2" CPVC Simulated Check  
Rail

## Grille Patterns



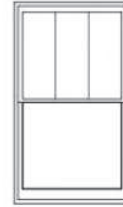
Colonial



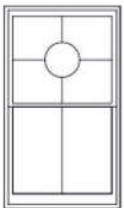
Prairie



Diamond



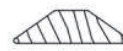
Plaza

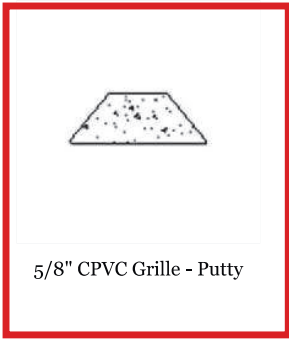


Custom Grille Patterns  
Available

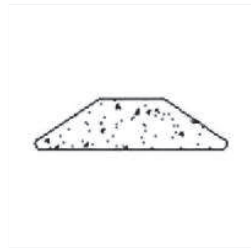
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## Grille Profiles





5/8" CPVC Grille - Putty



7/8" CPVC Exterior Grille - Putty

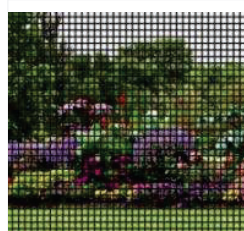
## Screens



BetterVue® (Standard)



UltraVue®



As compared to conventional screen mesh

The on-screen colors provided are to help you determine what is available – unfortunately, due to variations between monitors, they may not be true to color. For exact matches, please visit a [dealer](#) near you for true-to-color samples.



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Select Clad Primed Entry Door Warranty, Care & Installation Product Literature

## FIBER-CLASSIC® AND SMOOTH-STAR®

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**A stylish, high-performance solution for every home project.** From front entry to utility doors, Fiber-Classic and Smooth-Star offer a variety of door design and glass styles to fit virtually any entrance without stretching your budget. The Fiber-Classic Mahogany Collection™ complements the rich wood tones found in many home interiors, extending the look to the outside with beauty and elegance. Smooth-Star fiberglass doors are ready-to-paint with crisp, clean contours making them the more attractive and durable alternative to steel.



### Fiber-Classic / Smooth-Star Features

- Composite rails and top and bottom
- Enhanced lock block in the 1-1/4" engineered lumber lock stile for added security
- Low maintenance fiberglass
- Will not rot, warp, rust or dent
- Polyurethane foam core that offers up to four times the insulating value of wood
- Fiber-Classic Mahogany Collection™ is wood grained interior and exterior with rich wood tones
- Smooth-Star is a smooth fiberglass panel with clean contours and is ready to paint

- Smooth-Star 20-minute fire-rated doors

## Options

[Panel Grain Patterns](#)  
 [Decorative Glass](#)  
 [Specialty Glass](#)  
 [Grilles – Simulated Divided Lite](#)  
 [Panel Styles](#)  
[PrismaGuard® Paint](#)  
[Hardware – Multi-point Handle Sets](#)  
[Hardware – Two-bore Handle Sets Exterior](#)  
[Hardware – Two-bore Handle Sets Interior](#)  
[Back to Top](#)

## Panel Grain Patterns

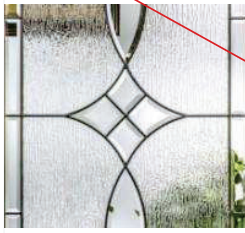


Fiber-Classic® Mahogany Collection™

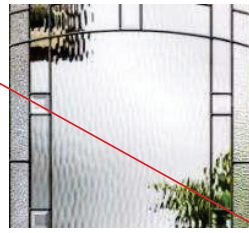


Smooth-Star®

## Decorative Glass



Blackstone®



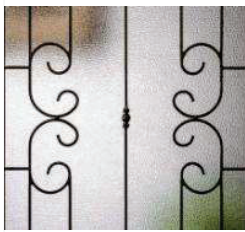
Maple Park®



Saratoga™



Wellesley™



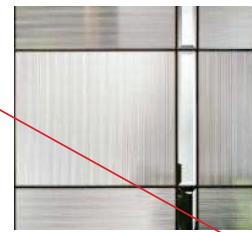
Riserva®



Concorde™



Kensington™

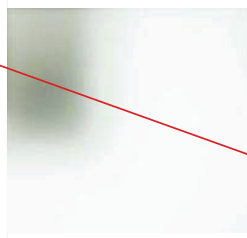


Axis®

## Specialty Glass



Reeded (XK)



Satin Etch (XE)



Rainglass (XR)

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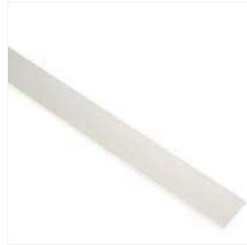
## Grilles – Simulated Divided Lite



1.125" Ogee Grained



1.125" Ogee Smooth



3.5" Flat Smooth

## Panel Styles



Full Glass



3/4 Glass Panel



1/2 Glass Panel



Craftsman Panel



Solid Panel



Fire Rated Panel

## PrismaGuard® Paint

Alpine

Granite

Peregrine

Onyx

Obsidian

Indigo

Estuary

Arctic Ice

Cypress

Golden Wheat

Canyon

Ruby Red

Cabernet

Chesnut

Elk

## Hardware – Multi-point Handle Sets



Contemporary  
Available in ten finishes.



Classic  
Available in ten finishes.

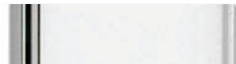


Euro  
Available in Black and Satin Nickel.

### AVAILABLE FINISH



White



Polished Chrome



Brushed Chrome



Satin Nickel



Antique Nickel



Faux Brass



Oil Rubbed Bronze



Antique Brass



Brass



Black



Satin Chrome



Bronze

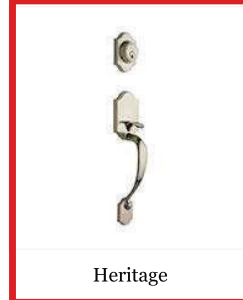
## Hardware – Two-bore Handle Sets Exterior



Colonial



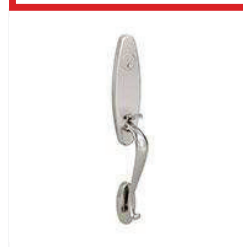
Modern



Heritage



Fashion



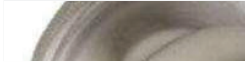
Contemporary

Craftsman

Mediterranean

Traditional

AVAILABLE FINISH



Satin Stainless



Tuscan Bronze

## Hardware – Two-bore Handle Sets Interior



Waverlie

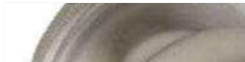


Verona



Modern

AVAILABLE FINISH



Satin Stainless



Tuscan Bronze

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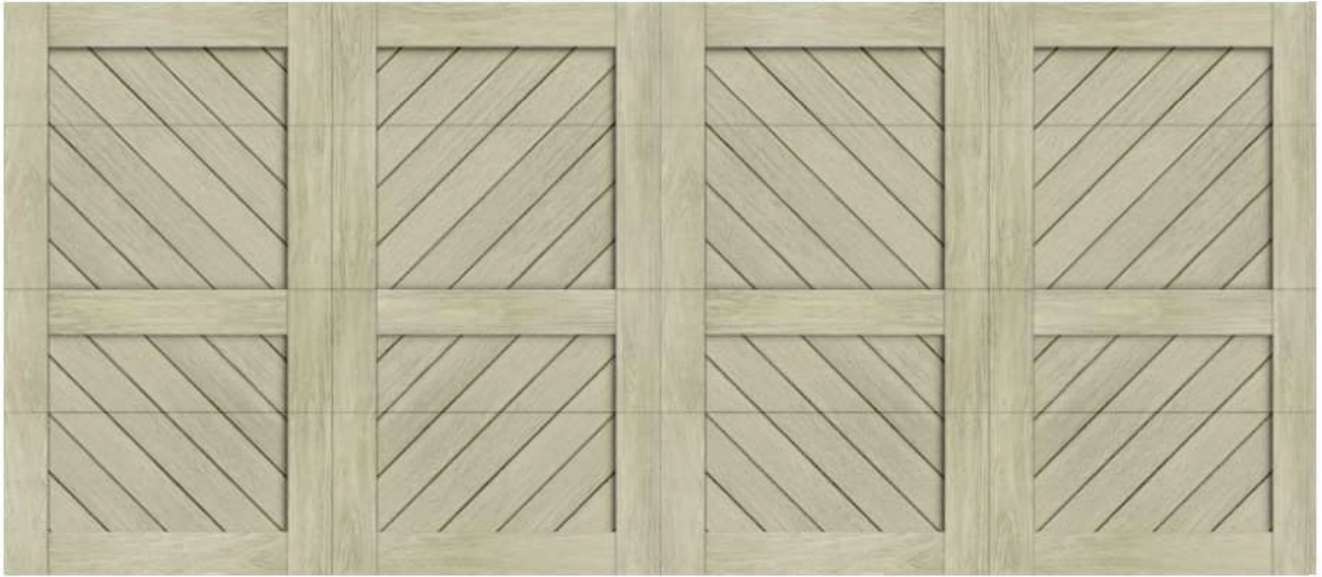
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Americas's Favorite Doors®

## Your EZDoor Summary

Door Image



The options included in this application when you select a stock image represent the most common size doors. If you do not see the specific size or design you need, please consult your local dealer or retailer for more information. Size, actual door, and certain designs may vary from screen presentation.

Additional options available, please contact your local dealer.

\*Based upon your Zip Code, you may require a WindCode® Configuration.

†Configuration values recommended by EZDoor.



Americas's Favorite Doors®

## Your Completed Doors

### 1. Garage Door



#### Canyon Ridge® Carriage House 5-Layer Chevron - CAN236V

**Size :**  
16'0" x 7'0"

**Model :**  
CAN236V

**Construction :**  
5-layer 2" Intellcore® Insulation R-value  
20.4

**Base Color :**  
Primed

**Windcode :\***  
W0

**Design :**  
Can2-design36v

**Material :**  
Mahogany With Mahogany Overlay

**Overlay Color :**  
Primed

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