



PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVE SUITE 808, DETROIT, MI 48226

HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

Application Number: HDC2025-00566

Effective Date: 10/14/25

Project Address: 76 W Adams Ave

Issued to: The Kales Grand Circus Park LLC
2502 Lake Lansing Rd suite C
Lansing, MI 48912

Historic District: Grand Circus Park

Description of Work:

Per the submitted application:
Install storefront doors and floor tiles, rehabilitate roof canopy.



With the Conditions that:

N/A

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

For the Commission:

Garrick Landsberg
Director of Staff, Historic District Commission

PSR: Bilqees 251014BS



Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.



HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 09/12/2025

Application Number: HDC2025-00566

APPLICANT & PROPERTY INFORMATION

NAME: The Kales Grand Circus Park LLC

COMPANY NAME: The Kales Grand Circus Park LLC

ADDRESS: 2502 Lake Lansing Rd suite C

CITY: lansong

STATE: MI

ZIP: 48912

PROJECT ADDRESS: 76 W Adams Ave

HISTORIC DISTRICT: Grand Circus Park

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

This application is not yet complete. Please provide the following information:

1. Product spec sheets of the replacement storefront doors and replacement tiles.

APPLICANT RESPONSE

Response Date: 9/15/2025



attached are the spec sheets for the floor tile and store front door



Sizes	63"x126" ± 6mm	63"x63" ± 6mm	47 1/4"x109 1/2" ± 6mm	47 1/4"x94 1/2" ± 9mm	47 1/4"x47 1/4" ± 6mm	47 1/4"x47 1/4" ± 9mm	47 1/4"x47 1/4" ± 20mm	35 3/8"x35 3/8" ± 20mm	29 1/2"x59" ± 9mm	29 1/2"x29 1/2" ± 9mm	23 3/8"x47 1/4" ± 9mm	23 3/8"x47 1/4" ± 20mm	23 3/8"x23 3/8" ± 9mm	23 3/8"x23 3/8" ± 20mm	14 3/4"x29 1/2" ± 9mm	11 3/4"x23 3/8" ± 9mm
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	Technical features	Test method	Requisites for nominal size N			Boost Pro				
			7 cm ≤ N < 15 cm	N ≥ 15 cm		Matte rectified 6mm	Matte rectified 9mm	Grip rectified	Textured rectified	
			(mm)	(%)	(mm)					
Regularity features		ISO 10545-2	Length and width	± 0,9 (*) Non-rect. ± 0,4 (*) Rect.	± 0,6 (*) Non-rect. ± 0,3 (*) Rect.	± 2,0 (*) Non-rect. ± 1,0 (*) Rect.	Suitable for	Suitable for	Suitable for	Suitable for
			Thickness	± 0,5 (**)	± 5 (**)	± 0,5 (**)	Suitable for	Suitable for	Suitable for	Suitable for
			Straightness of sides	± 0,8 (***) Non-rect. ± 0,4 (***) Rect.	± 0,5 (***) Non-rect. ± 0,3 (***) Rect.	± 1,5 (***) Non-rect. ± 0,8 (***) Rect.	Suitable for	Suitable for	Suitable for	Suitable for
			Perpendicularity (Measurement only on short edges when L1 ≥ 3)	± 0,8 (***) Non-rect. ± 0,4 (***) Rect.	± 0,5 (***) Non-rect. ± 0,3 (***) Rect.	± 2,0 (***) Non-rect. ± 1,5 (***) Rect.	Suitable for	Suitable for	Suitable for	Suitable for
Regularity features		ISO 10545-2	Surface flatness	c.c. ± 0,8 Non-rect. c.c. ± 0,6 Rect.	c.c. ± 0,5 Non-rect. c.c. ± 0,4 Rect.	c.c. ± 2,0 Non-rect. c.c. ± 1,8 Rect.	Suitable for	Suitable for	Suitable for	Suitable for
				e.c. ± 0,8 Non-rect. e.c. ± 0,6 Rect.	e.c. ± 0,5 Non-rect. e.c. ± 0,4 Rect.	e.c. ± 2,0 Non-rect. e.c. ± 1,8 Rect.				
				w. ± 0,8 Non-rect. w. ± 0,6 Rect.	w. ± 0,5 Non-rect. w. ± 0,4 Rect.	w. ± 2,0 Non-rect. w. ± 1,8 Rect.				
Structural features		ISO 10545-3	Es 0,5% Individual Maximum 0,6%			≤ 0,1%	≤ 0,1%	≤ 0,1%	≤ 0,1%	
		ASTM C373-18	Requirement ANSI A137.1-2017 Water Absorption Max < 0,5%			≤ 0,5%	≤ 0,5%	≤ 0,5%	≤ 0,5%	
Bulk mechanical features		ISO 10545-4	Breaking strength	S ≥ 700N (for thickness < 7,5mm) S ≥ 1300N (for thickness ≥ 7,5mm)			S ≥ 1000 N	S ≥ 1500 N	S ≥ 1500 N	S ≥ 10000 N
			Bending resistance	R ≥ 35 N/mm ²			R ≥ 40 N/mm ²	R ≥ 40 N/mm ²	R ≥ 40 N/mm ²	R ≥ 45 N/mm ²
		EN 1339 Annex F	-						≥ T11 120x120 90x90 ≥ U4 60x120	
		ISO 10545-5	Declared value			≥ 0,55	≥ 0,55	≥ 0,55	≥ 0,55	
Surface mechanical features		EN 101	-			MOHS 6	MOHS 6	MOHS 8	MOHS 8	
		ISO 10545-6	≤ 175 mm ³			≤ 150mm ³	≤ 150mm ³	≤ 150mm ³	≤ 150mm ³	

* Permitted deviation, in % or mm, from the average size of each tile (2 or 4 sides) with respect to the manufacturing size (W).
 ** Permitted deviation, in % or mm, from the average thickness of each tile with respect to the cited manufacturing thickness (W).
 *** Maximum permitted straightness deviation, in % or mm, with respect to the corresponding manufacturing sizes (W).
 **** Maximum permitted perpendicularity deviation, in % or mm, with respect to the corresponding manufacturing sizes (W).
 ***** Maximum permitted centre curvature deviation, in % or mm, with respect to the diagonal calculated according to manufacturing sizes (W).
 e.c. Maximum permitted corner curvature deviation, in % or mm, with respect to the corresponding manufacturing sizes (W).
 w. Maximum permitted bending deviation, in % or mm, with respect to the diagonal calculated according to manufacturing sizes (W).
 (1) Determining the slip resistance of pedestrian surfaces; not applicable to sports flooring or road traffic flooring.
 (2) The anti-slip performance is guaranteed at the time of delivering the product.
 (3) However, tiles with a DCOF of 0,42 or greater are not necessarily suitable for all projects. The specifier shall determine tiles appropriate for specific project conditions, considering by way of example, but not in limitation, type of use, traffic, expected contaminants, expected maintenance, expected wear, and manufacturers' guidelines and recommendations."
 (4) For further details, please refer to the outdoor design general catalogue.
 (5) Only for products with 20 mm thickness



Sizes	63"x126" ±6mm	63"x63" ±6mm	47 1/4"x109 1/2" ±6mm	47 1/4"x94 1/2" ±9mm	47 1/4"x47 1/4" ±6mm	47 1/4"x47 1/4" ±9mm	47 1/4"x47 1/4" ±20mm	35 3/4"x35 3/4" ±20mm	29 1/2"x59" ±9mm	29 1/2"x29 1/2" ±9mm	23 3/4"x47 1/4" ±9mm	23 3/4"x47 1/4" ±20mm	23 3/4"x23 3/4" ±9mm	23 3/4"x23 3/4" ±20mm	14 3/4"x29 1/2" ±9mm	11 3/4"x23 3/4" ±9mm
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	Technical features	Test method	Requisites for nominal size N			Boost Pro				
			7 cm ≤ N < 15 cm		N ≥ 15 cm	Matte rectified 6mm	Matte rectified 9mm	Grip rectified	Textured rectified	
			(mm)	(%)	(mm)					
Thermo-ignometric features	Coefficient of linear thermal expansion	ISO 10545-8	Declared value			≤7MK ⁻¹	≤7MK ⁻¹	≤7MK ⁻¹	≤7MK ⁻¹	
	Thermal shock resistance	ISO 10545-9	Test passed in accordance with ISO 10545-1			Resistant	Resistant	Resistant	Resistant	
	Moisture expansion (in mm/m)	ISO 10545-10	Declared value			≤0.01% (0.1mm/m)	≤0.01% (0.1mm/m)	≤0.01% (0.1mm/m)	≤0.01% (0.1mm/m)	
	Frost resistance	ISO 10545-12	Test passed in accordance with ISO 10545-1			Resistant	Resistant	Resistant	Resistant	
Physical properties	Bond strength	EN 1348	Declared value			≥1.0 N/mm ² (Class C2 - EN 12004)	≥1.0 N/mm ² (Class C2 - EN 12004)	≥1.0 N/mm ² (Class C2 - EN 12004)	≥1.0 N/mm ² (Class C2 - EN 12004)	
	Reaction to fire	-	Class A1 or A1 _{fl}			A1 - A1 _{fl}				
Chemical features	Resistance to household chemicals and swimming pool salts Resistance to low concentrations of acids and alkalis Resistance to high concentrations of acids and alkalis	ISO 10545-13	Minimum B class			A	A	A	A	
			Declared class			LA	LA	LA	LA	
			Declared class			HA	HA	HA	HA	
	Stain resistance	ISO 10545-14	Declared class			5	5	5	5	
Safety characteristics (1)(2)		Booted ramp test	DIN 51130	Declared class			R9	R10	R11	R11
		Barefoot Ramp test	DIN 51097	Declared value			A	A+B	A+B+C	A+B+C
		Pendulum friction Test	BS 7976	PTV ≥ 36 classifies the surface as "low slip risk"			PTV ≥ 36 Wet on demand	≥36Dry ≥36Wet	≥36Dry ≥36Wet	≥36Dry ≥36Wet
			AS 4586	Declared Classification of the new pedestrian surface materials according to the Pendulum Test			P3 on demand	Class P3	Class P4	Class P4
			UNE-ENV 12633 UNE 41901:2017 EX	Declared value			C2 on demand	Class C2	Class C3	Class C3
		Coefficient of friction	B.C.R.A. Rep. CEC/81	Min. Dec. 236/89 of 14/06/89 μ >0.40 for a sliding leather element on a dry floor μ >0.40 for a sliding hard rubber element on a wet floor			>0.40Asciutto >0.40Bagnato	>0.40Asciutto >0.40Bagnato	>0.40Asciutto >0.40Bagnato	>0.40Asciutto >0.40Bagnato
Dynamic coefficient of friction (DCOF)	ANSI A.137.1	ANSI A.137.1-2017 Requires a minimum value of 0.42 for level interior space expected to be walked upon when wet. (3)			> 0.42 Wet	> 0.42 Wet	> 0.42 Wet	> 0.42 Wet		

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- (4) For further details, please refer to the outdoor design general catalogue.
- (5) Only for products with 20 mm thickness



TO: CURTIS GLASS COMPANY
ATTN: GARY OBERLANDER
P.O.: 2516.40.1 - (OUR REF #6900-RF)

FROM: RICK FORBES, MIDWEST GLASS FABRICATORS
DATE: 06-17-2025
PAGE: 1 OF 2

CONFIRMATION

GARY,
BELOW, AND ON THE FOLLOWING PAGE(S), WE HAVE DETAILED WHAT WE ARE PROPOSING TO FABRICATE FOR YOUR "KALES"
PROJECT.

GLASS TYPE: GL-1 - 1/2" CLEAR TEMPERED GLASS WITH FLAT POLISHED EXPOSED EDGES
HARDWARE MFG.: C.R. LAURENCE
FINISH: CRL DARK BRONZE/BLACK BRONZE (UNLESS NOTED OTHERWISE)

ELEVATION 1:

HEADER: 4-1/2" X 1-3/4" HEADER AT D.O. WIDTH
CLOSER: ADJUSTABLE SPRING - OVERHEAD CONCEALED - 105 NO HOLD OPEN
STRIKE: ESK ELECTRIC STRIKE - FAIL SECURE (SATIN BRASS)
PIVOTS: ADJUSTABLE FREE-SWINGING BOTTOM PIVOT
RAILS: 4" TAPERED TOP AND BOTTOM DOOR RAILS
HANDLE: TOP LATCHING PANIC DEVICE WITH FULL-LENGTH "F" EXTERIOR PULL AND KEY CYLINDER (SATIN BRASS)
STILES.: W12DUS VERTICAL WEATHERSTILES ON DOOR JAMBS
THRESHOLD: TH014D72 - 1/2" X 4" THRESHOLD @ 73"

ELEVATION 2:

HEADER: 4-1/2" X 1-3/4" HEADER AT D.O. WIDTH
CLOSER: ADJUSTABLE SPRING - OVERHEAD CONCEALED - 105 NO HOLD OPEN
STRIKE: ESK ELECTRIC STRIKE - FAIL SECURE (SATIN BRASS)
PIVOTS: ADJUSTABLE FREE-SWINGING BOTTOM PIVOT
RAILS: 4" TAPERED TOP AND BOTTOM DOOR RAILS
HANDLE: TOP LATCHING PANIC DEVICE WITH FULL-LENGTH "F" EXTERIOR PULL AND KEY CYLINDER (SATIN BRASS)
THRESHOLD: TH014D36 - 1/2" X 4" SADDLE THRESHOLD @ 36-1/2"

SHIPPING RACKED TO CURTIS GLASS

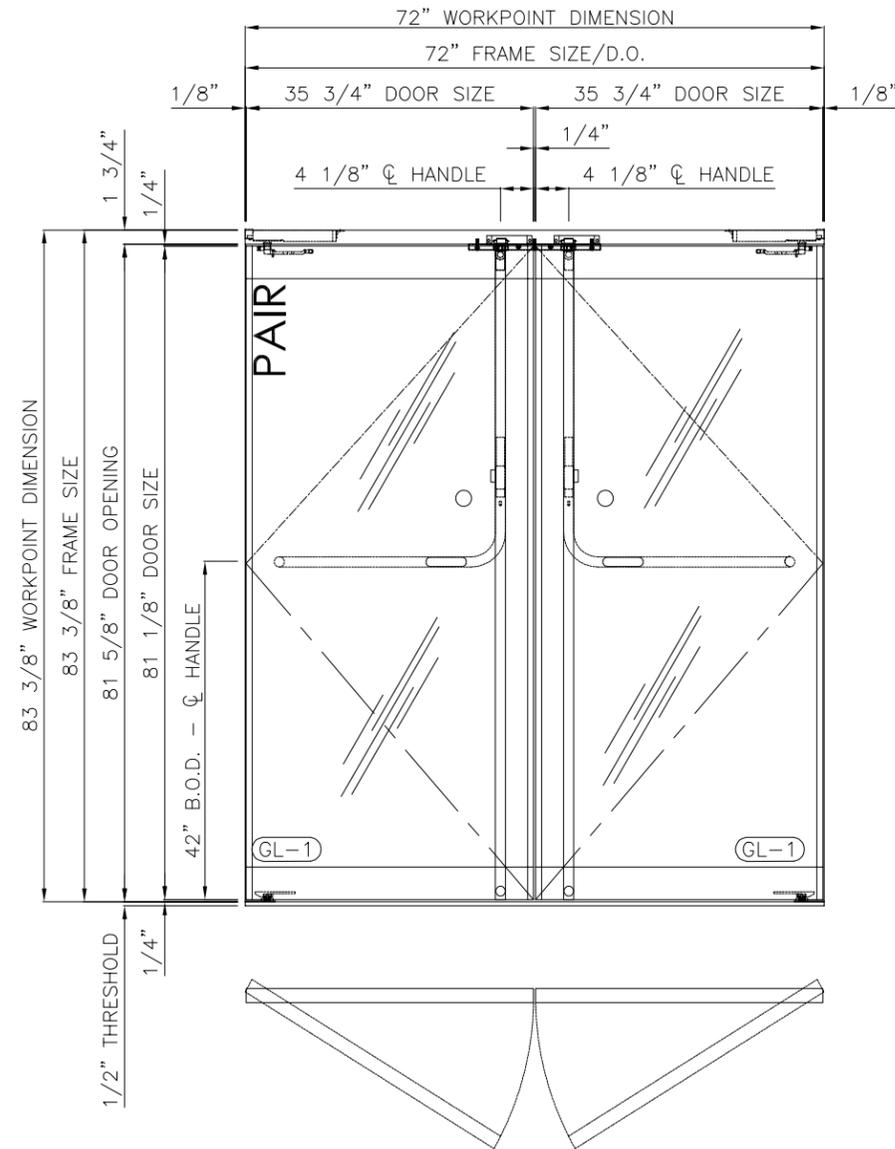
PLEASE SIGN AND EMAIL DOCUMENTS TO RFORBES@MWGF.COM ASAP SO WE MAY PROCEED WITH FABRICATION

X _____

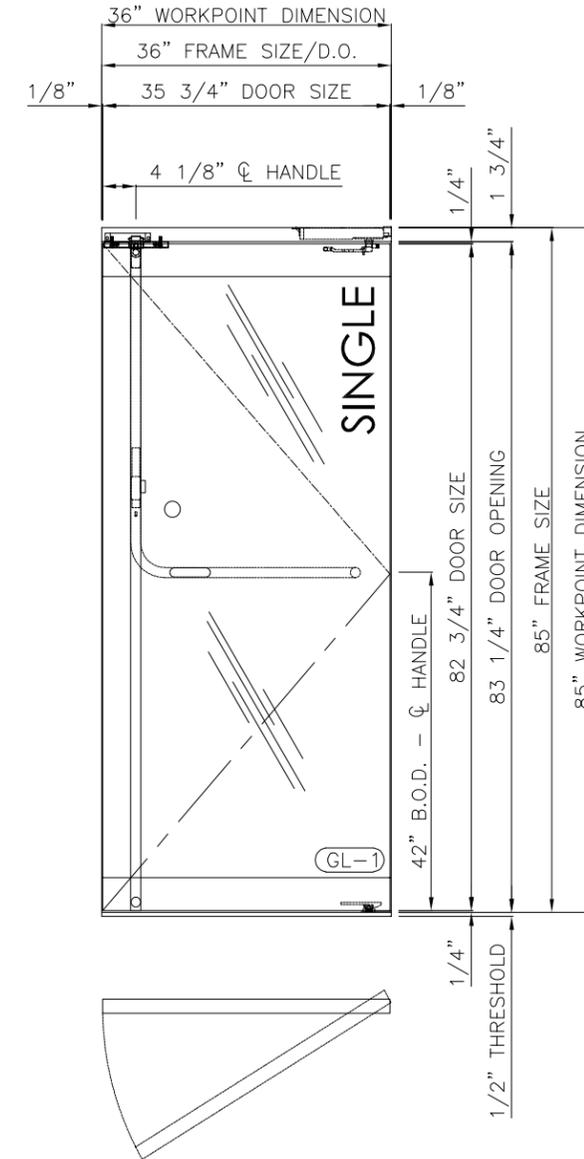


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 DATE: 06-17-2025
 PAGE: 2 OF 2

CONFIRMATION



1 Elevation 1 - PAIR
A3.1 CR Laurence Entrance Systems
 Door#



2 Elevation 2 - SINGLE
A3.1 CR Laurence Entrance Systems
 Door#

PLEASE SIGN AND EMAIL DOCUMENTS TO RFORBES@MWGF.COM ASAP SO WE MAY PROCEED WITH FABRICATION

X _____

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER: BLD2025-01697
 (only applicable if you've already applied for permits through ePLANS)

GENERAL

1. DESCRIPTION OF EXISTING CONDITION
Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

entry door is not working properly, does not close and secure the site. Existing canopy is old and needs to be recladded, structural conditon is good. Ceramic tile at entry is breaking and starting to become a trip hazzard,

2. PHOTOGRAPHS
Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT
In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)

Replace existing door with new glass work and door; replace entry tile with new tile, replace existing metal cladding on canopy, replace soffit of canopy, update lighting, add new wall panels

4. DETAILED SCOPE OF WORK
In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

remove roof membrane, metal cladding, soffit, ceramic tile, metal cladding around door, glass from entry. Install new roof membrane, metal cladding, soffit, lighting, tile, wallpanels, door system

5. BROCHURES/CUT SHEETS
Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.



ADDITIONAL DETAILS

<p>6. WINDOWS/DOORS <i>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</i></p>	
<p>7. DEMOLITION <i>If demolition is proposed for reasons of structural failure or catastrophic damage, please provide illustrated report from structural engineer or licensed architect.</i></p>	

**NEWLY RENOVATED
APARTMENTS!**

KALES

313.879.5665

KalesBuildingDetroit.com

76 ADAMS AVENUE WEST



WELCOME TO
THE KALES BUILDING



NEWLY RENOVATED
APARTMENTS!

K A L E S

313.879.5665

KalesBuildingDetroit.com

76 ADAMS AVENUE WEST



NGW
LEASING









The Kales Grand Circus Park LLC

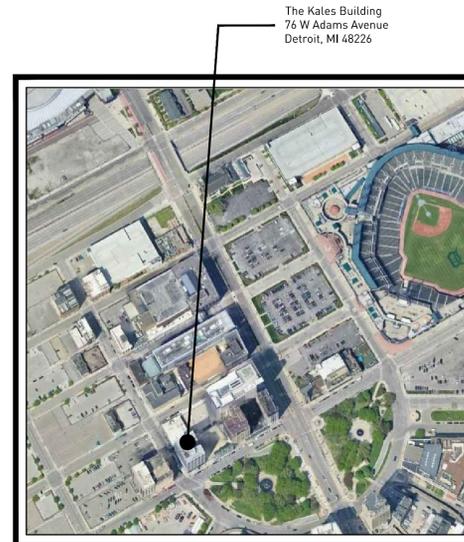
The Kales Building

76 W. Adams Avenue Detroit, MI 48226

Exterior Remodeling

DTN Management Company
2502 Lake Lansing Road
Lansing, MI 48912
Contact Name: Andrew Kraft, Director of Facilities
Contact Phone: 517.371.5300

ARCHITECT:



LOCATION PLAN

NOT TO SCALE



APPLICABLE CODES:

MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS:	2015 EDITION
NATIONAL ELECTRIC CODE (WITH MICHIGAN PART 8 RULES):	2023 EDITION
ASHRAE 90.1-2013:	
LIFE SAFETY CODE 101:	2012 EDITION
FEDERAL ADA LAW:	CURRENT ED.
ACCESSIBLE AND USABLE BUILDINGS & FACILITIES (ANSI A117.1):	2017 EDITION

USE GROUP:

R-2 RESIDENTIAL

CONSTRUCTION TYPE:

TYPE IIIB (ASSUMED), SPRINKLED

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS:

TTL	TITLE SHEET
A0.00	GENERAL INFORMATION
A1.10	REMOVALS PLANS
A2.10	FLOOR AND REFLECTED CEILING PLANS
A3.00	PARTIAL EXTERIOR ELEVATIONS
A9.10	EXTERIOR CANOPY DETAILS

DEFERRED SUBMITTALS:

PER SECTION 107.3.4.1, ANY REQUIRED SUBMITTALS WILL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ASSUMING THE DUTIES OF CONSTRUCTION SUPERVISION AT THE APPROPRIATE TIME.

DEFERRED SUBMITTALS:

1.	FIRE SUPPRESSION SYSTEMS
2.	FIRE ALARM SYSTEMS
3.	ELECTRICAL REVISIONS (DESIGN/BUILD BY CONTRACTOR)

Title Sheet



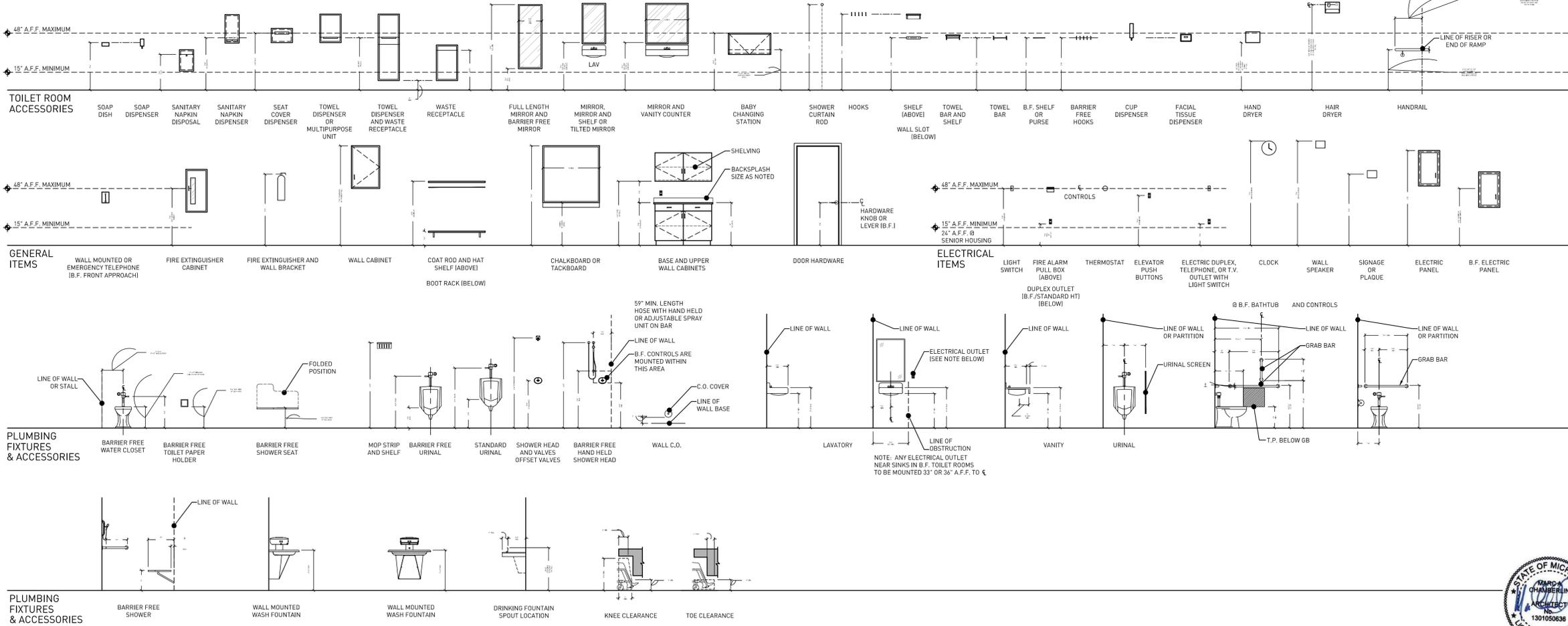
The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

ABBREVIATIONS

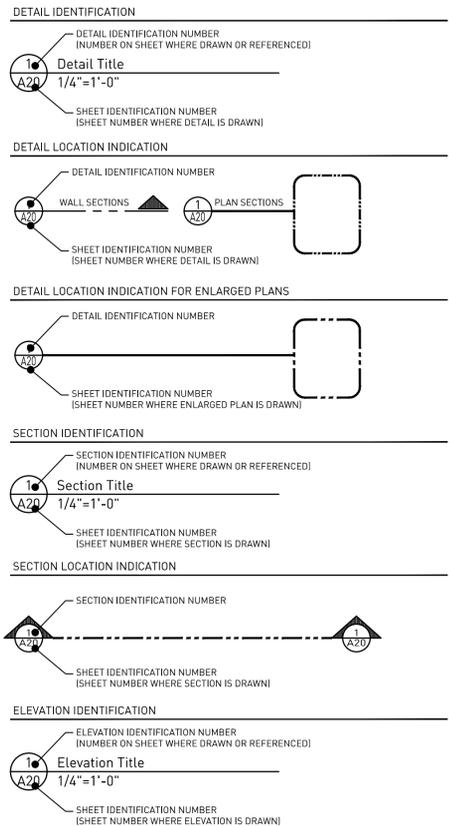
Table of abbreviations organized by letter (A, C, D, F, H, M, P, S, W). Includes categories like ABOVE FINISH FLOOR, AIR CONDITIONING, BACK TO BACK, DAMPER, ELECTRICAL, and various material and construction terms.

TYPICAL MOUNTING HEIGHTS

MISCELLANEOUS ACCESSORIES, TOILET ACCESSORIES AND FIXTURES
NOTE: MOUNTING HEIGHTS SHOWN ARE PROPOSED FOR ALL ACCESSORIES AND FIXTURES REQUIRED UNLESS OTHERWISE NOTED OR DIMENSIONED ON DRAWINGS FOR SPECIFIC CONDITIONS (B.F. DENOTES BARRIER FREE REQUIREMENTS)



REFERENCE SYMBOLS



General Information
EHRESMAN ARCHITECTS
The Kales Grand Circus Park LLC
The Kales Building Exterior Remodeling
Project No. 4824



GENERAL NOTES:

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. NOT ALL NOTES MAY APPLY TO THIS SHEET.
- G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK.
- G4. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. FINAL DUMPSTER LOCATION TO BE COORDINATED WITH OWNER REPRESENTATIVE PRIOR TO PLACING. CONTRACTOR TO PROVIDE PLYWOOD AND 2x UNDER ALL DUMPSTER WHEELS TO PREVENT DAMAGE TO EXISTING PAVING. CONTRACTOR TO REPAIR ANY PAVING DAMAGED DUE TO CONSTRUCTION OPERATIONS.
- G7. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G8. COORDINATE TIMING OF REMOVAL WORK SO AS TO NOT CAUSE DISRUPTION TO NORMAL OPERATIONS.
- G9. CONTRACTOR TO RE-CONNECT ANY WIRING THAT IS NEEDED TO MAINTAIN OPERATION OF LIGHT FIXTURES, OUTLETS, ETC. THAT ARE CONNECTED TO FIXTURES OR DEVICES THAT ARE NOT TO BE REMOVED.
- G10. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G11. PATCH, REPAIR AND FINISH WALL WHERE AREAS ARE DISTURBED FROM CONSTRUCTION OPERATIONS. PAINT TO MATCH ADJACENT AREA.
- G12. PROTECT ALL EXISTING ITEMS FROM CONSTRUCTION OPERATIONS SO AS TO NOT CAUSE DAMAGE.
- G13. CONTRACTOR'S OPTION TO REUSE ANY ABANDONED CONDUIT TO THE EXTENT POSSIBLE TO RUN NEW ELECTRICAL.
- G14. CEILING REMOVALS SHOWN FOR REFERENCE ONLY. EXACT LOCATIONS TO BE DETERMINED BY CONTRACTOR'S MEANS AND METHODS FOR ALL WORK (ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.)
- G15. CONTRACTOR TO PATCH/REPAIR ALL EXISTING WALLS, INCLUDING ANY VISIBLE CRACKS, FOR A LIKE NEW APPEARANCE PRIOR TO FINISHING.
- G16. CONTRACTOR TO CONFORM TO CURRENT EDITION OF NEC AND ALL STATE AND LOCAL ELECTRICAL CODES.
- G17. CONTRACTOR MUST VERIFY EXISTING LOADS ON CIRCUITS AND PANELS. EXISTING ELECTRICAL PANEL(S) AND CIRCUITS ARE NOT TO BE OVERLOADED.

EXISTING TO REMAIN:

- E1. MARBLE WALL BASE ON WALLS WITH EXISTING TILE TO REMAIN.
- E2. STOREFRONT FRAMING AND GLAZING
- E3. DECORATIVE WALL TILE
- E4. BUILDING STRUCTURE - E.C.U.
- E5. STOREFRONT ENTRY SYSTEM
- E6. WINDOW GLAZING
- E7. LIMESTONE WALL PILASTER
- E8. CONCRETE SIDEWALK

REMOVE & REPLACE NOTES:

- RR1. EXISTING TENANT INTERCOM SYSTEM- ADJUST TO BE FLUSH WITH FACE OF NEW WALL PANELS.
- RR2. EXISTING KNOX BOX & SIGNAGE - ADJUST TO BE FLUSH WITH FACE OF NEW CONCRETE WALL PANELS.

REMOVALS NOTES:

- R1. EXISTING TILE, MORTAR BED, ETC. PROPERLY PREPARE SUBSTRATE FOR NEW FINISHES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- R2. EXISTING BREAK METAL SURROUND. PROPERLY PREPARE SUBSTRATE TO RECEIVE NEW BREAK METAL.
- R3. EXISTING SUSPENDED PLASTIC CEILING PANELS AND ASSOCIATED SUSPENSION SYSTEM COMPLETE.
- R4. EXISTING RECESSED LIGHT FIXTURE. REMOVE WIRING BACK TO SOURCE AND TERMINATE PER CODE REQUIREMENTS, UNLESS NEW FIXTURE IS TO BE INSTALLED IN SAME LOCATION.
- R5. EXISTING STAINLESS STEEL FACADE WRAP ON CANOPY - E.C.U. (C.F.V.I.) CONTRACTOR TO CONSULT ARCHITECT IF ADDITIONAL DIRECTION FOR REMOVAL IS REQUIRED. STRUCTURAL CONSULTATION MAY BE REQUIRED BEFORE PROCEEDING.
- R6. EXISTING MARBLE WALL BASE ON LIMESTONE PILASTERS ONLY. PATCH PILASTER AS NEEDED FOR NEW ALUMINUM CLADDING.



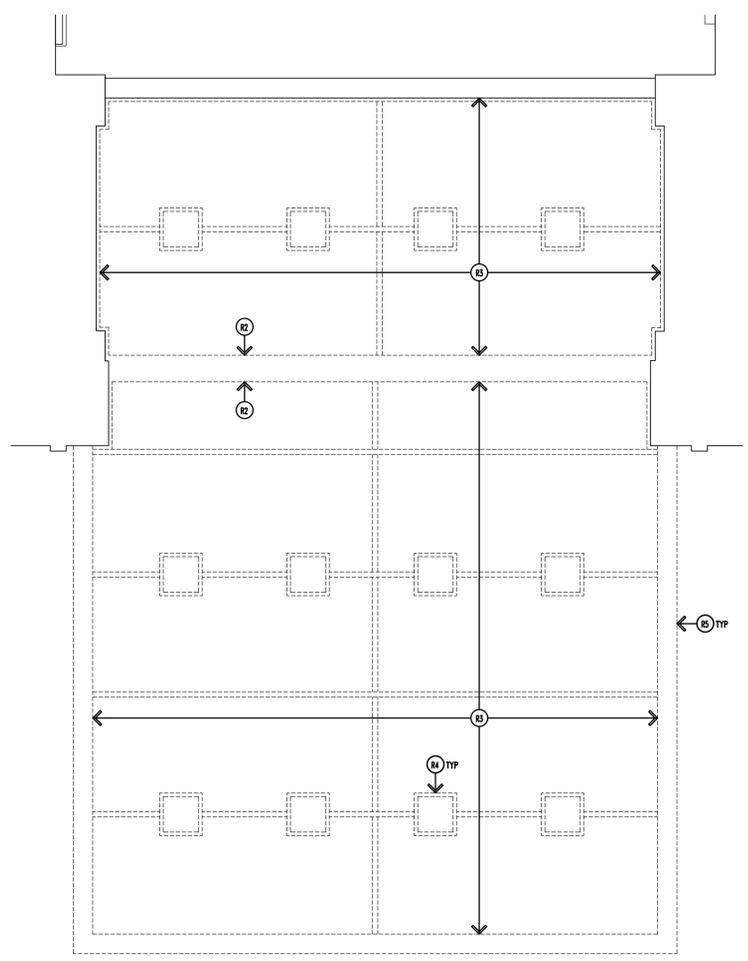
Bidding and Permits: 12 May 2025

Removals Plans
EHRESMAN ARCHITECTS
 ehresmanarchitects.com

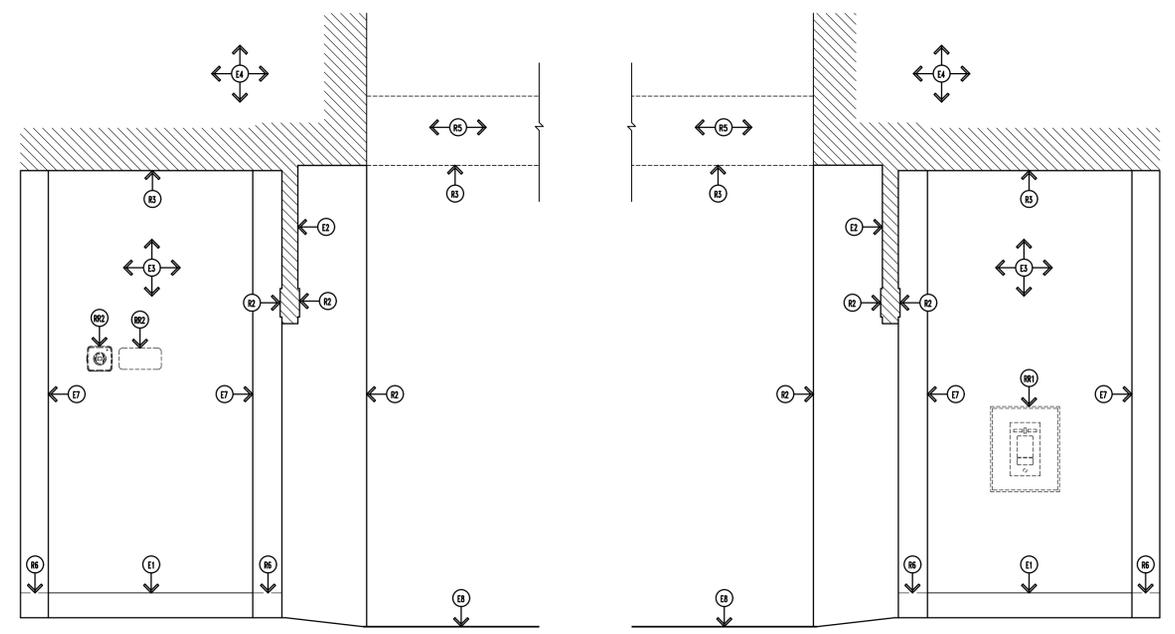
The Kales Grand Circus Park LLC
 The Kales Building
 Exterior Remodeling

Project No. 4824

A1.10

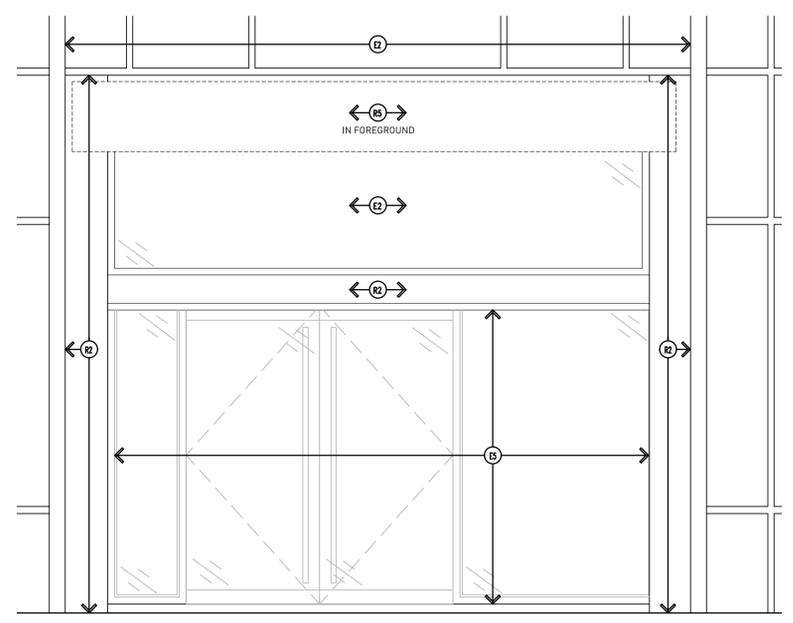


3 Removals Reflected Ceiling Plan
 Scale: 1/2"=1'-0"

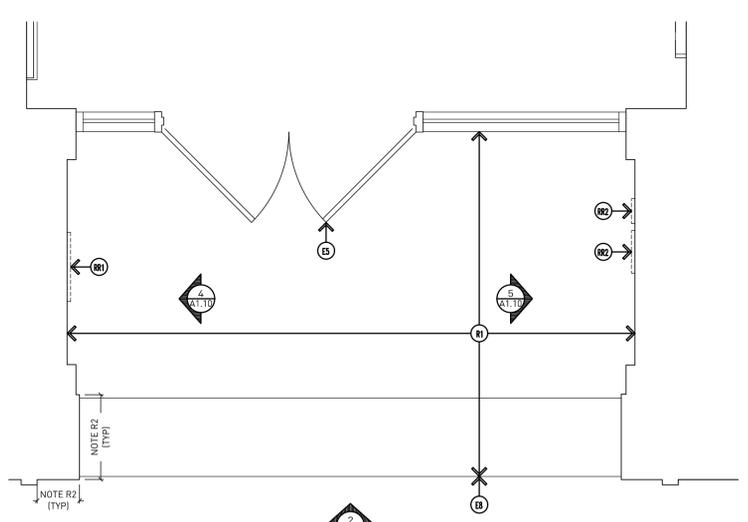


5 East Wall Removals Elevation
 Scale: 1/2"=1'-0"

4 West Wall Removals Elevation
 Scale: 1/2"=1'-0"



2 North Entrance Removals Elevation
 Scale: 1/2"=1'-0"



1 Removals Floor Plan
 Scale: 1/2"=1'-0"



GENERAL NOTES:

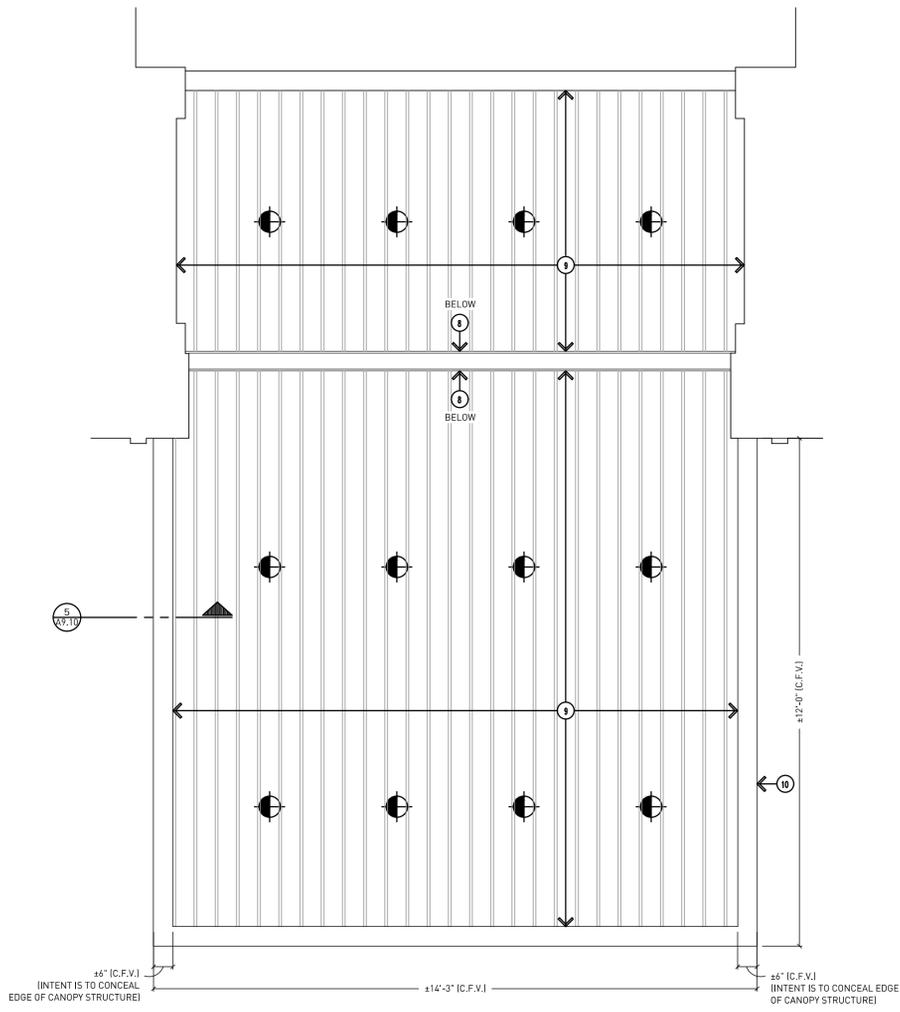
- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. NOT ALL NOTES MAY APPLY TO THIS SHEET.
- G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK. IF ANY DISCREPANCIES EXIST BETWEEN PLAN DIMENSIONS AND ACTUAL FIELD CONDITIONS, NOTIFY THE ARCHITECT.
- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
- G11. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN THE SAME LOCATION AS EXISTING FIXTURES THAT HAVE BEEN REMOVED.

DRAWING NOTES:

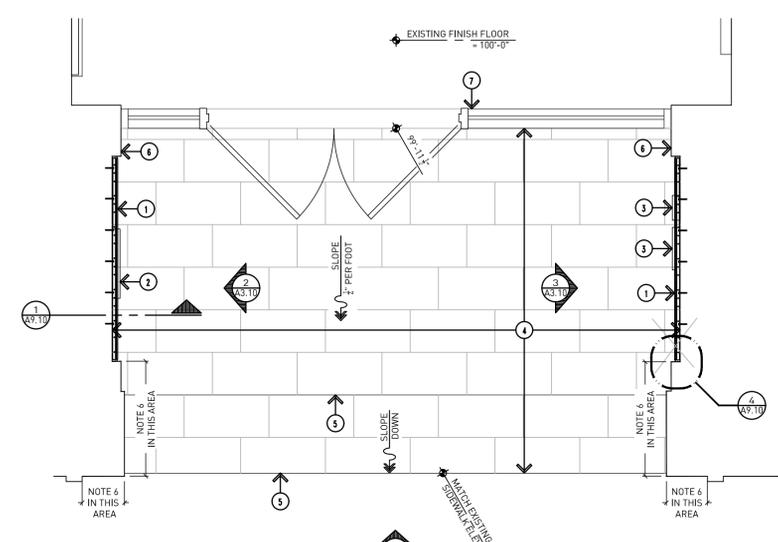
- 1. WALL MOUNTED "MICHIGAN" ARCHITECTURAL BLOCK WALL PANELS, STYLE "MIP1818", COLOR - "MOCHA", TO BE INSTALLED OVER EXISTING WALL TILE. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS UNKNOWN (C.F.V.).
- 2. RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
- 3. RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
- 4. PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MIX' 12" X 24" FIELD TILE, COLOR - IVORY MATTE, INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
- 5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
- 6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILASTERS.
- 7. EXISTING ALUMINUM STOREFRONT SYSTEM.
- 8. EXISTING STRUCTURE TO BE WRAPPED WITH DARK BRONZE ALUMINUM CLADDING.
- 9. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS, FINISH - 'SESAME', ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - (C.U., I.C.F.V.). ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.
- 10. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL EDGE OF CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.

LEGEND:

-  EXTERIOR RATED LED RECESSED LIGHT FIXTURE INSTALLED IN SUSPENDED METAL CEILING SYSTEM.



2 Reflected Ceiling Plan
Scale: 1/2"=1'-0"



1 Floor Plan
Scale: 1/2"=1'-0"



Bidding and Permits: 12 May 2025

Floor and Reflected Ceiling Plans



The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

A2.10

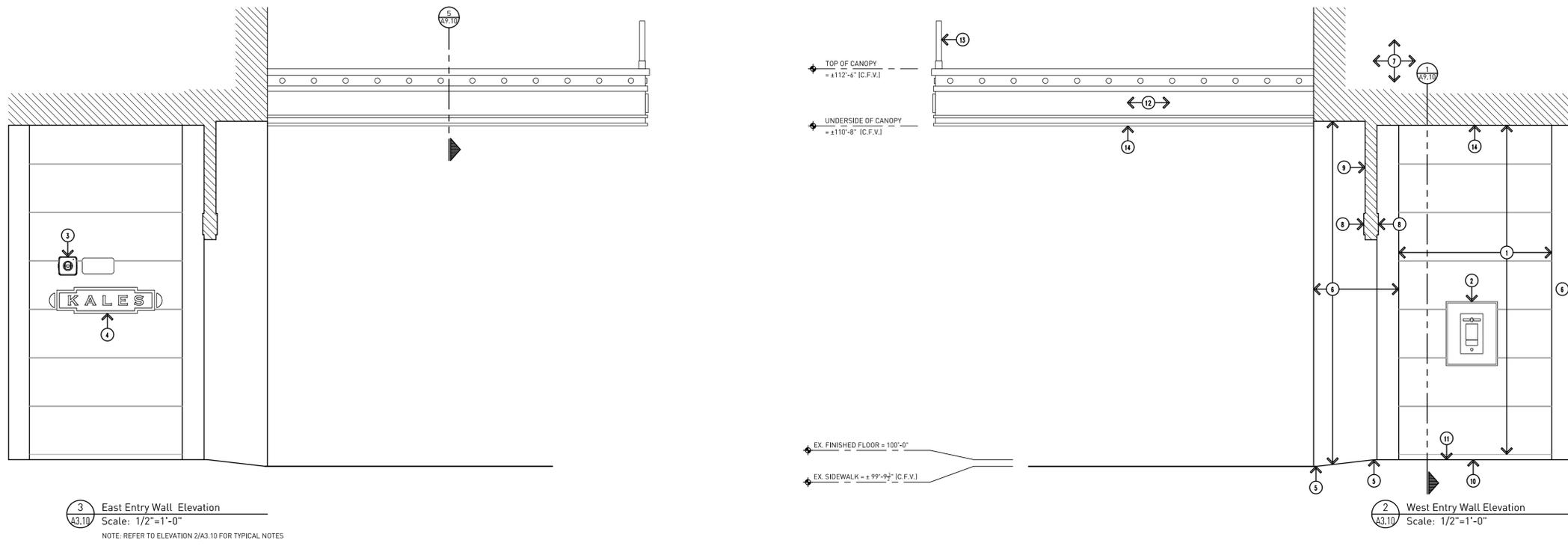


GENERAL NOTES:

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- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
- G11. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN THE SAME LOCATION AS EXISTING FIXTURES THAT HAVE BEEN REMOVED.

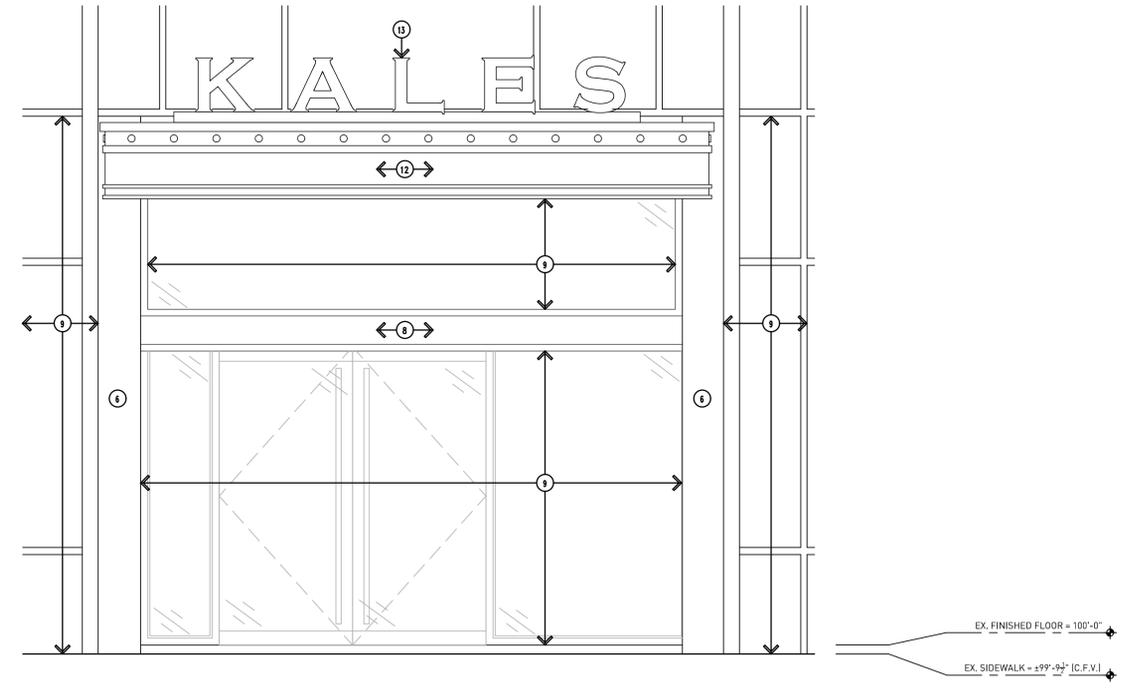
DRAWING NOTES:

- 1. WALL MOUNTED 'NICHHA' PANELS TO BE INSTALLED OVER EXISTING WALL TILE. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS UNKNOWN [C.F.V.]
- 2. RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
- 3. RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
- 4. BUILDING SIGNAGE - FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. EXACT SIZE AND FORMAT OF SIGNAGE T.B.D.
- 5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
- 6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILLARS.
- 7. EXISTING BUILDING STRUCTURE - E.C.U.
- 8. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING STRUCTURE.
- 9. EXISTING ALUMINUM STOREFRONT SYSTEM.
- 10. EXISTING MARBLE WALL BASE.
- 11. PORCELAIN TILE FLOORING, ATLAS CONCORDE 'BOOST MK' 12" X 24" FIELD TILE. COLOR - IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
- 12. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.
- 13. 15"X DARK BRONZE ALUMINUM LOGO LETTERS - FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. LETTERS TO BE CHANNEL SET AND BACK LIT WITH INTEGRATED LED LIGHTING. ELECTRICIAN TO PROVIDE POWER SOURCE FOR LETTERS. COORDINATE WITH OWNER'S SIGN VENDOR.
- 14. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS. FINISH - 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - E.C.U. [C.F.V.]. ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.



3 East Entry Wall Elevation
 Scale: 1/2"=1'-0"
 NOTE: REFER TO ELEVATION 2/A3.10 FOR TYPICAL NOTES

2 West Entry Wall Elevation
 Scale: 1/2"=1'-0"



1 North Entrance Elevation
 Scale: 1/2"=1'-0"



Bidding and Permits: 12 May 2025



The Kales Grand Circus Park LLC
 The Kales Building
 Exterior Remodeling



Project No. 4824

A3.10



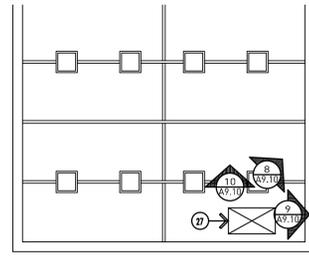
10 Existing Canopy Construction 'C'
A9.10 No Scale



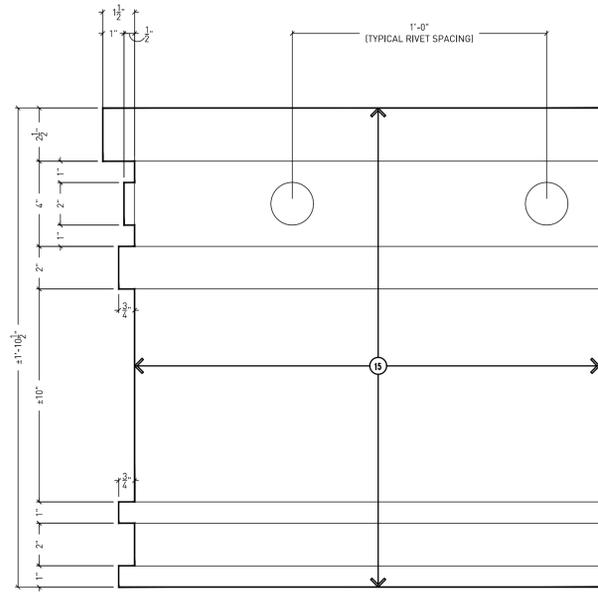
9 Existing Canopy Construction 'B'
A9.10 No Scale



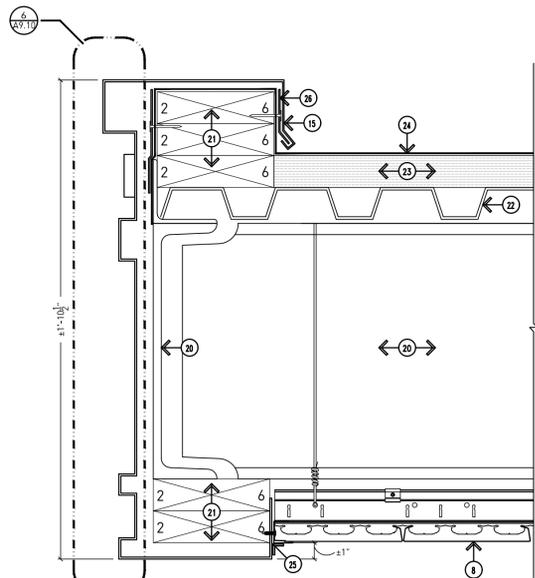
8 Existing Canopy Construction 'A'
A9.10 No Scale



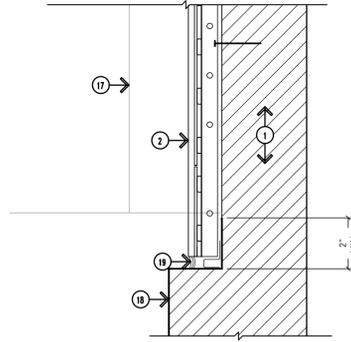
7 Photo Key Plan
A9.10 No Scale
NOTE: UNDERSIDE OF EXISTING CANOPY IS SHOWN FOR REFERENCE PURPOSES ONLY



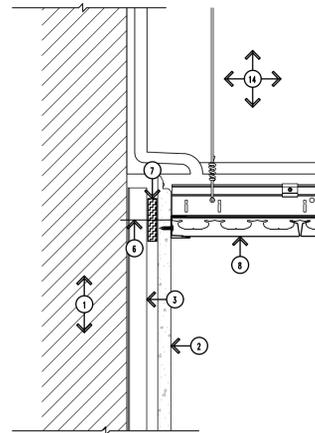
6 Canopy Wrap Profile
A9.10 Scale: 3"=1'-0"



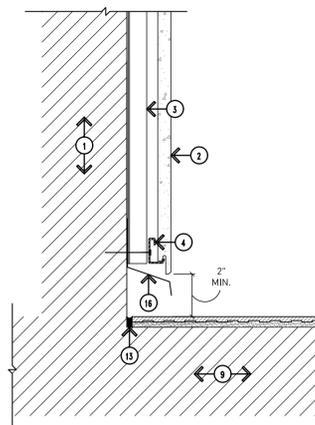
5 Canopy Section - Assumed [E.C.U. - C.F.V.]
A9.10 Scale: 3"=1'-0"



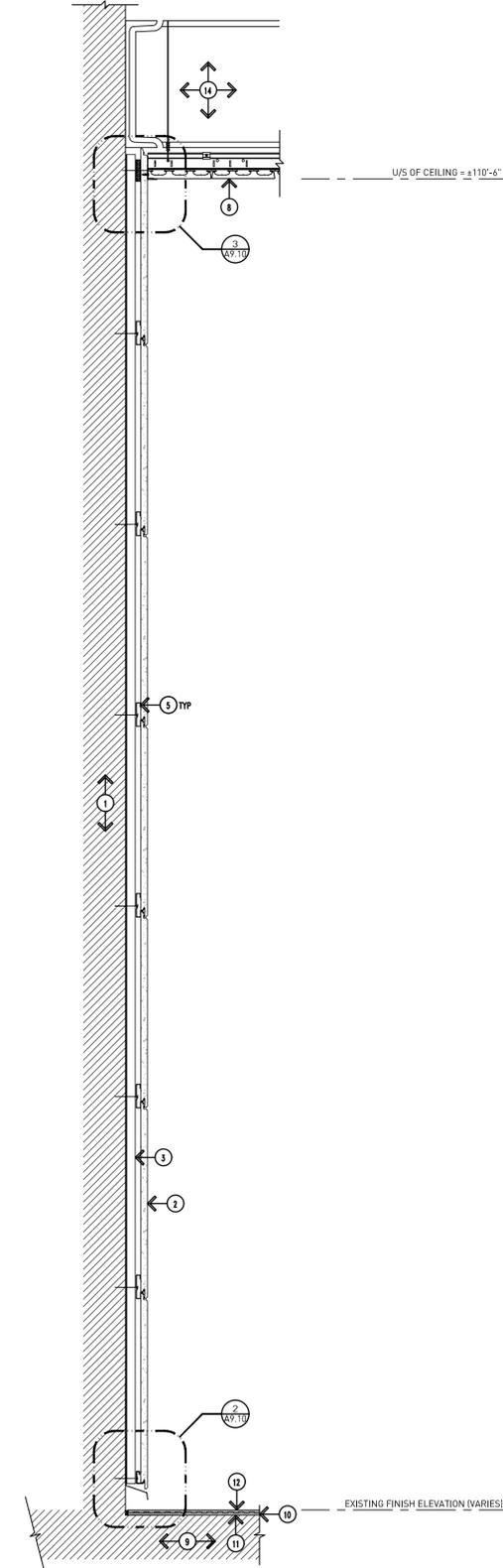
4 Break Metal Wall Wrap Detail
A9.10 Scale: 3"=1'-0"



3 Top of Wall Detail
A9.10 Scale: 3"=1'-0"



2 Bottom of Wall Detail
A9.10 Scale: 3"=1'-0"



1 Exterior Wall Section at Entrance
A9.10 Scale: 1 1/2"=1'-0"

GENERAL NOTES:

- DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- PROVIDE NON-COM WOOD BLOCKING WHETHER PARTICULARLY NOTED OR NOT.
- CONSTRUCTION OF EXISTING CANOPY STRUCTURE IS UNKNOWN. DETAIL IS SHOWN FOR REFERENCE PURPOSES. CONTRACTOR TO FIELD VERIFY EXISTING CONSTRUCTION PRIOR TO FABRICATING NEW CANOPY FACADE.

DRAWING NOTES:

- EXISTING WALL CONSTRUCTION - E.C.U. [C.F.V.]
- WALL MOUNTED 'NICHHA' ARCHITECTURAL BLOCK WALL PANELS, STYLE 'AWP1818', COLOR - 'MOCHA'. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD.
- 18 GAUGE, 2" METAL HAT CHANNEL @ 16" O.C. SPACING.
- 'NICHHA' STARTER TRACK. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 'NICHHA' CLIP WITH FASTENER APPLIED TO VERTICAL FURRING. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 'NICHHA' FACE FASTENER AS SUGGESTED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- SPACER - SIZE AS INDICATED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS, FINISH - 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - E.C.U. [C.F.V.]. ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.
- EXISTING CONCRETE SLAB - ECU [C.F.V.]
- TILE MORTAR / ADHESIVE.
- BOND COAT.
- PORCELAIN TILE
- CONTRACTOR TO INSTALL EXTERIOR RATED FLEXIBLE SEALANT WITH COMPRESSIBLE BACK-UP AS REQUIRED IN ALL JOINTS ABUTTING A PERIMETER WALL. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
- EXISTING BUILDING / CANOPY STRUCTURE - ECU [C.F.V.]
- DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED. PROFILE IS FOR DESIGN INTENT.
- 'NICHHA' ESSENTIAL STARTER FLASHING. CONTRACTOR TO REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- PORCELAIN TILE FLOORING, ATLAS CONCORDE 'BOOST MKK' 12" X 24" FIELD TILE, COLOR - IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: 'EC' '42' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
- DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILASTERS.
- CONTRACTOR TO INSTALL EXTERIOR RATED SEALANT OVER 'NICHHA' SINGLE FLANGE SEALANT BACKER. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
- EXISTING STRUCTURAL CHANNEL - E.C.U. [C.F.V.]
- 2 X 4 WOOD BLOCKING AS NEEDED FOR NEW CANOPY FACADE.
- EXISTING METAL ROOF DECK - E.C.U. [C.F.V.]
- EXISTING INSULATION - E.C.U. [C.F.V.]
- EXISTING ROOFING MATERIAL - E.C.U. [C.F.V.] - TIE IN AS REQUIRED DUE TO NEW BLOCKING, ETC.
- EXTERIOR RATED SEALANT WITH FOAM BACKER ROD. CONTRACTOR TO ASSURE JOINT IS CLEAN AND FREE OF ALL DEBRIS.
- CONCEALED CONTINUOUS CLEAT (NO EXPOSED EDGES)
- PORTION OF EXISTING CANOPY REMOVED TO EVALUATE EXISTING STRUCTURE.



Bidding and Permits: 12 May 2025

Exterior Wall Panel and Canopy Details



The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

Project No. 4824

A9.10



EXIT

NEWLY RENOVATED

KALLES

KALLES



THE KALLES RENOVATED
THE WESTERN







WELCOME TO
THE KALES BUILDING

SMOKING IS PROHIBITED
WITHIN 25 FEET
OF BUILDING ENTRANCE

KNOX BO



NO SMOKING
SMOKING IS PROHIBITED
WITHIN 25 FEET
OF BUILDING ENTRANCE



The Kales Grand Circus Park LLC

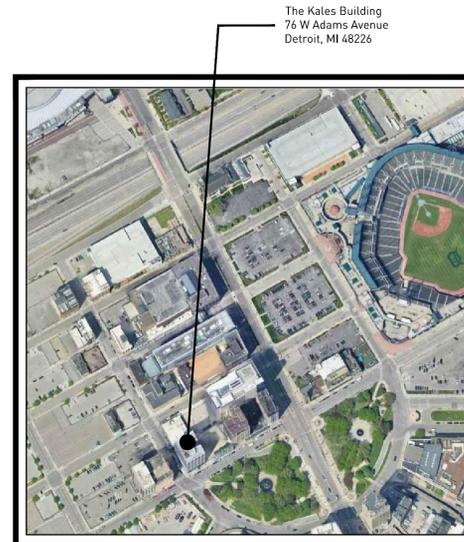
The Kales Building

76 W. Adams Avenue Detroit, MI 48226

Exterior Remodeling

DTN Management Company
2502 Lake Lansing Road
Lansing, MI 48912
Contact Name: Andrew Kraft, Director of Facilities
Contact Phone: 517.371.5300

ARCHITECT:



LOCATION PLAN

NOT TO SCALE



APPLICABLE CODES:

MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS:	2015 EDITION
NATIONAL ELECTRIC CODE (WITH MICHIGAN PART 8 RULES):	2023 EDITION
ASHRAE 90.1-2013:	
LIFE SAFETY CODE 101:	2012 EDITION
FEDERAL ADA LAW:	CURRENT ED.
ACCESSIBLE AND USABLE BUILDINGS & FACILITIES (ANSI A117.1):	2017 EDITION

USE GROUP:

R-2 RESIDENTIAL

CONSTRUCTION TYPE:

TYPE IIIB (ASSUMED), SPRINKLED

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS:

TTL	TITLE SHEET
A0.00	GENERAL INFORMATION
A1.10	REMOVALS PLANS
A2.10	FLOOR AND REFLECTED CEILING PLANS
A3.00	PARTIAL EXTERIOR ELEVATIONS
A9.10	EXTERIOR CANOPY DETAILS

DEFERRED SUBMITTALS:

PER SECTION 107.3.4.1, ANY REQUIRED SUBMITTALS WILL BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ASSUMING THE DUTIES OF CONSTRUCTION SUPERVISION AT THE APPROPRIATE TIME.

DEFERRED SUBMITTALS:

1.	FIRE SUPPRESSION SYSTEMS
2.	FIRE ALARM SYSTEMS
3.	ELECTRICAL REVISIONS (DESIGN/BUILD BY CONTRACTOR)

Title Sheet



The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

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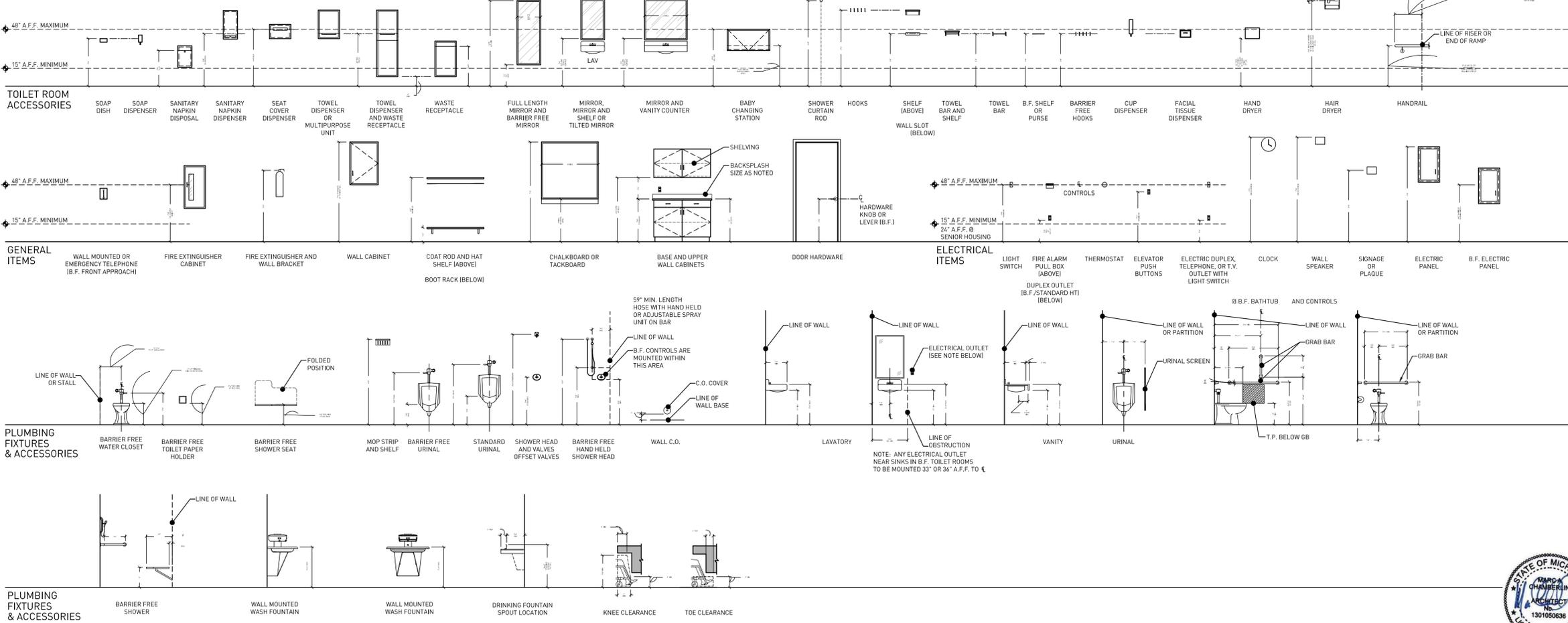
TTL

ABBREVIATIONS

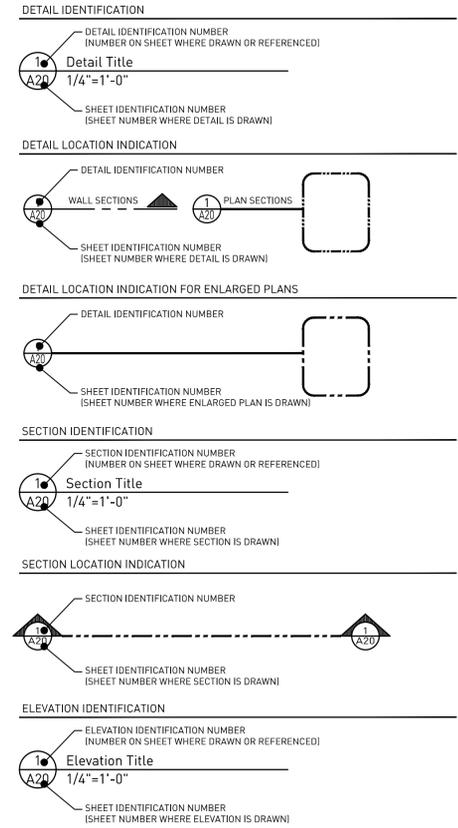
Table of abbreviations organized by letter (A, C, D, F, H, M, P, S, W). Includes categories like ABOVE FINISH FLOOR, AIR CONDITIONING, BACK TO BACK, etc.

TYPICAL MOUNTING HEIGHTS

MISCELLANEOUS ACCESSORIES, TOILET ACCESSORIES AND FIXTURES
NOTE: MOUNTING HEIGHTS SHOWN ARE PROPOSED FOR ALL ACCESSORIES AND FIXTURES REQUIRED UNLESS OTHERWISE NOTED OR DIMENSIONED ON DRAWINGS FOR SPECIFIC CONDITIONS (B.F. DENOTES BARRIER FREE REQUIREMENTS)



REFERENCE SYMBOLS



General Information
EHRESMAN ARCHITECTS
ehresmanarchitects.com

The Kales Grand Circus Park LLC
The Kales Building
Exterior Remodeling

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- G4. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. FINAL DUMPSTER LOCATION TO BE COORDINATED WITH OWNER REPRESENTATIVE PRIOR TO PLACING. CONTRACTOR TO PROVIDE PLYWOOD AND 2x UNDER ALL DUMPSTER WHEELS TO PREVENT DAMAGE TO EXISTING PAVING. CONTRACTOR TO REPAIR ANY PAVING DAMAGED DUE TO CONSTRUCTION OPERATIONS.
- G7. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G8. COORDINATE TIMING OF REMOVAL WORK SO AS TO NOT CAUSE DISRUPTION TO NORMAL OPERATIONS.
- G9. CONTRACTOR TO RE-CONNECT ANY WIRING THAT IS NEEDED TO MAINTAIN OPERATION OF LIGHT FIXTURES, OUTLETS, ETC. THAT ARE CONNECTED TO FIXTURES OR DEVICES THAT ARE NOT TO BE REMOVED.
- G10. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G11. PATCH, REPAIR AND FINISH WALL WHERE AREAS ARE DISTURBED FROM CONSTRUCTION OPERATIONS. PAINT TO MATCH ADJACENT AREA.
- G12. PROTECT ALL EXISTING ITEMS FROM CONSTRUCTION OPERATIONS SO AS TO NOT CAUSE DAMAGE.
- G13. CONTRACTOR'S OPTION TO REUSE ANY ABANDONED CONDUIT TO THE EXTENT POSSIBLE TO RUN NEW ELECTRICAL.
- G14. CEILING REMOVALS SHOWN FOR REFERENCE ONLY. EXACT LOCATIONS TO BE DETERMINED BY CONTRACTOR'S MEANS AND METHODS FOR ALL WORK (ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.)
- G15. CONTRACTOR TO PATCH/REPAIR ALL EXISTING WALLS, INCLUDING ANY VISIBLE CRACKS, FOR A LIKE NEW APPEARANCE PRIOR TO FINISHING.
- G16. CONTRACTOR TO CONFORM TO CURRENT EDITION OF NEC AND ALL STATE AND LOCAL ELECTRICAL CODES.
- G17. CONTRACTOR MUST VERIFY EXISTING LOADS ON CIRCUITS AND PANELS. EXISTING ELECTRICAL PANEL(S) AND CIRCUITS ARE NOT TO BE OVERLOADED.

EXISTING TO REMAIN:

- E1. MARBLE WALL BASE ON WALLS WITH EXISTING TILE TO REMAIN.
- E2. STOREFRONT FRAMING AND GLAZING
- E3. DECORATIVE WALL TILE
- E4. BUILDING STRUCTURE - E.C.U.
- E5. STOREFRONT ENTRY SYSTEM
- E6. WINDOW GLAZING
- E7. LIMESTONE WALL PILASTER
- E8. CONCRETE SIDEWALK

REMOVE & REPLACE NOTES:

- RR1. EXISTING TENANT INTERCOM SYSTEM- ADJUST TO BE FLUSH WITH FACE OF NEW WALL PANELS.
- RR2. EXISTING KNOX BOX & SIGNAGE - ADJUST TO BE FLUSH WITH FACE OF NEW CONCRETE WALL PANELS.

REMOVALS NOTES:

- R1. EXISTING TILE, MORTAR BED, ETC. PROPERLY PREPARE SUBSTRATE FOR NEW FINISHES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- R2. EXISTING BREAK METAL SURROUND. PROPERLY PREPARE SUBSTRATE TO RECEIVE NEW BREAK METAL.
- R3. EXISTING SUSPENDED PLASTIC CEILING PANELS AND ASSOCIATED SUSPENSION SYSTEM COMPLETE.
- R4. EXISTING RECESSED LIGHT FIXTURE. REMOVE WIRING BACK TO SOURCE AND TERMINATE PER CODE REQUIREMENTS, UNLESS NEW FIXTURE IS TO BE INSTALLED IN SAME LOCATION.
- R5. EXISTING STAINLESS STEEL FACADE WRAP ON CANOPY - E.C.U. (C.F.V.I.) CONTRACTOR TO CONSULT ARCHITECT IF ADDITIONAL DIRECTION FOR REMOVAL IS REQUIRED. STRUCTURAL CONSULTATION MAY BE REQUIRED BEFORE PROCEEDING.
- R6. EXISTING MARBLE WALL BASE ON LIMESTONE PILASTERS ONLY. PATCH PILASTER AS NEEDED FOR NEW ALUMINUM CLADDING.

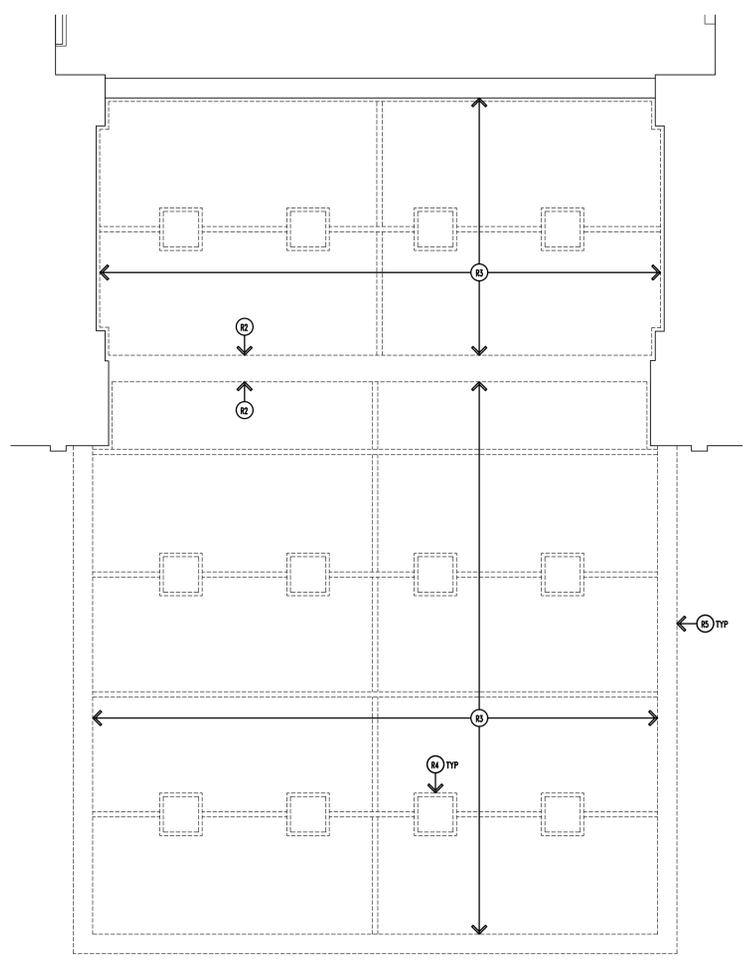


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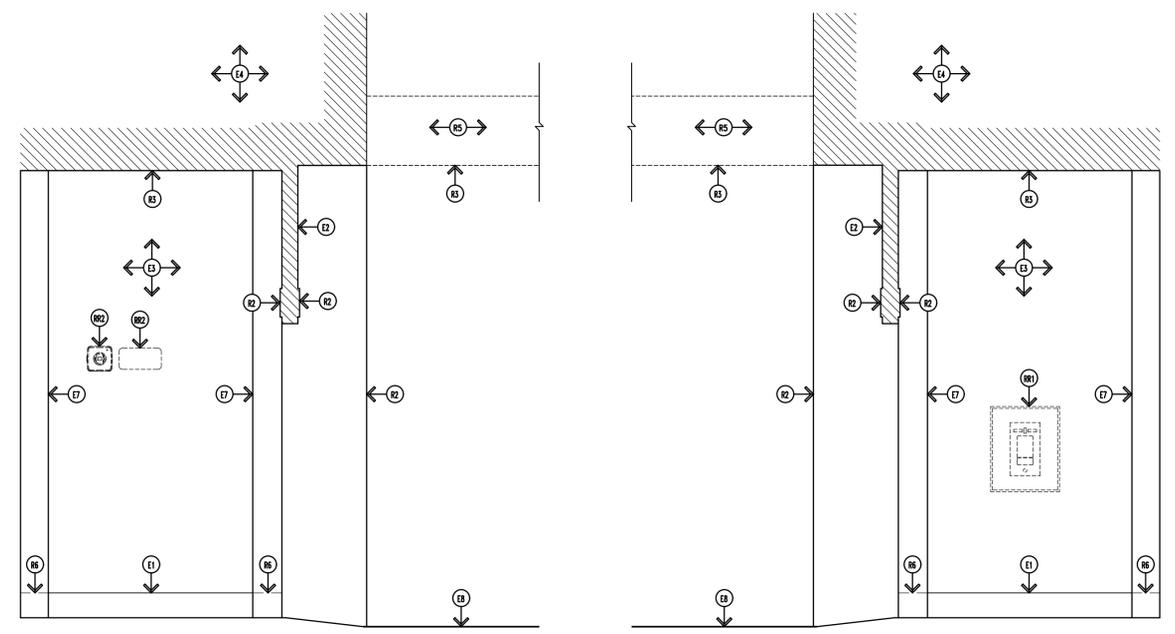
Removals Plans
EHRESMAN ARCHITECTS
 ehresmanarchitects.com

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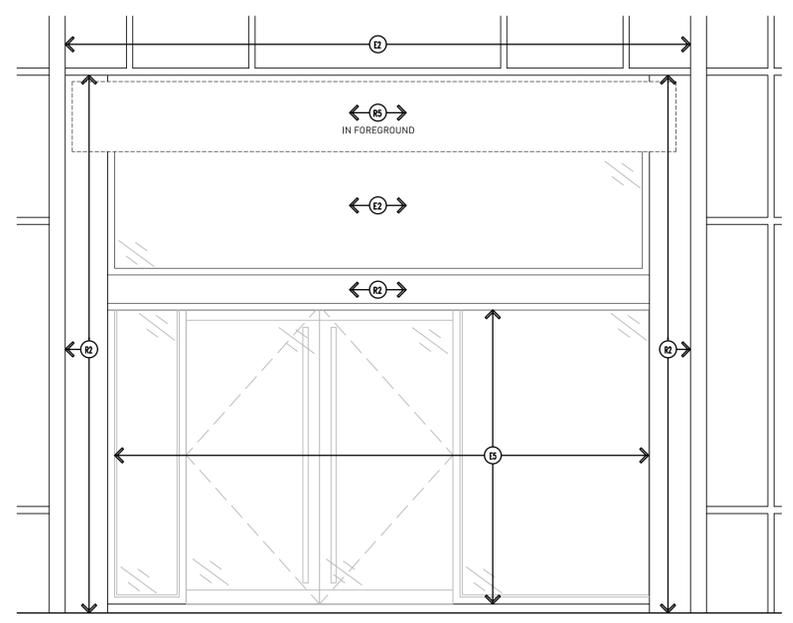


3 Removals Reflected Ceiling Plan
 Scale: 1/2"=1'-0"

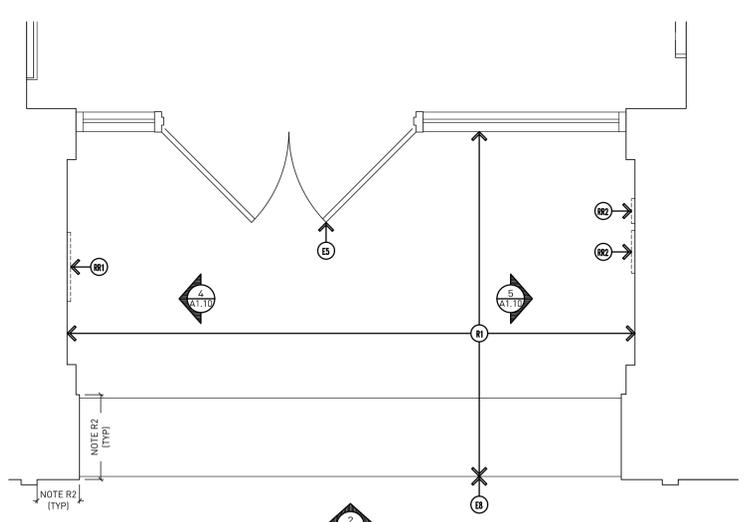


5 East Wall Removals Elevation
 Scale: 1/2"=1'-0"

4 West Wall Removals Elevation
 Scale: 1/2"=1'-0"



2 North Entrance Removals Elevation
 Scale: 1/2"=1'-0"



1 Removals Floor Plan
 Scale: 1/2"=1'-0"



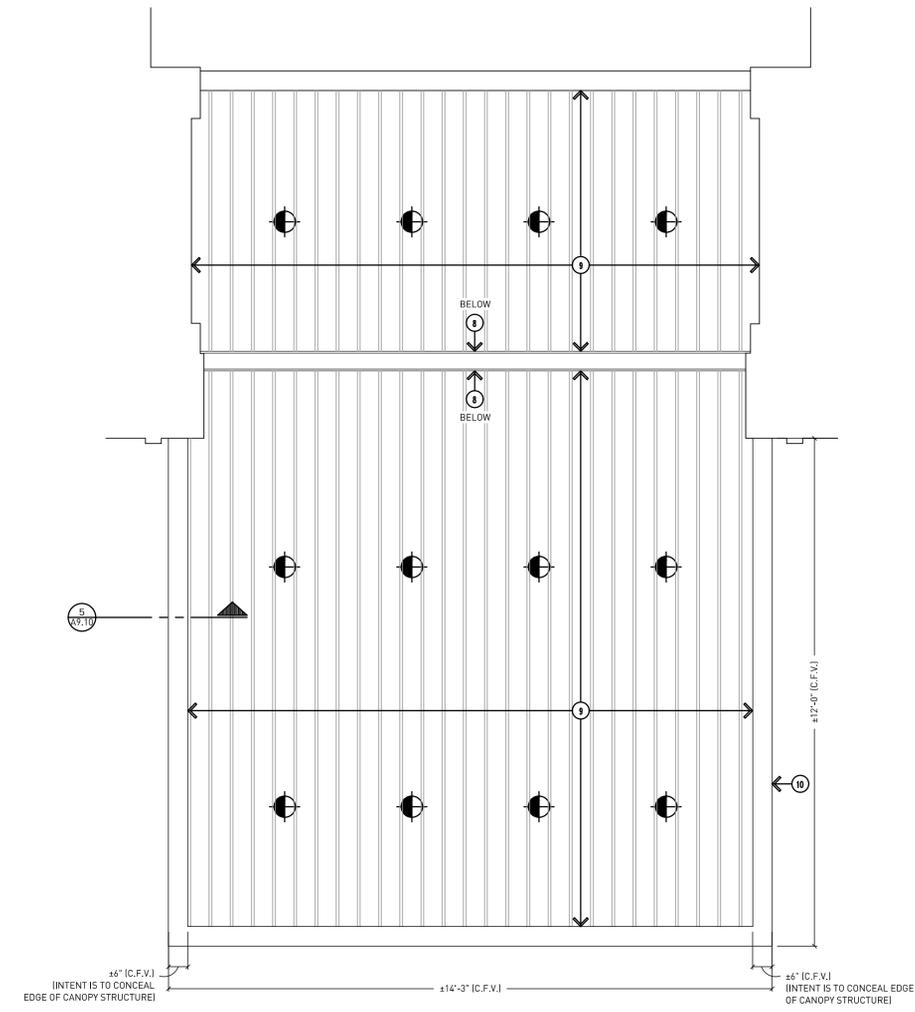
GENERAL NOTES:

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. NOT ALL NOTES MAY APPLY TO THIS SHEET.
- G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK. IF ANY DISCREPANCIES EXIST BETWEEN PLAN DIMENSIONS AND ACTUAL FIELD CONDITIONS, NOTIFY THE ARCHITECT.
- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
- G11. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN THE SAME LOCATION AS EXISTING FIXTURES THAT HAVE BEEN REMOVED.

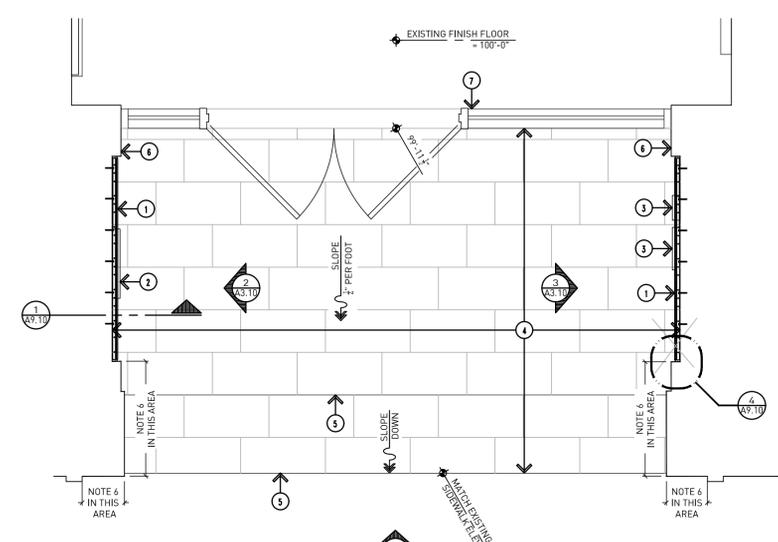
DRAWING NOTES:

- 1. WALL MOUNTED "MICHIGA" ARCHITECTURAL BLOCK WALL PANELS, STYLE "MIP1818", COLOR - "MOCHA", TO BE INSTALLED OVER EXISTING WALL TILE. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS UNKNOWN (C.F.V.).
- 2. RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
- 3. RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
- 4. PORCELAIN TILE FLOORING; ATLAS CONCORDE 'BOOST MIX' 12" X 24" FIELD TILE, COLOR - IVORY MATTE, INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
- 5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
- 6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILASTERS.
- 7. EXISTING ALUMINUM STOREFRONT SYSTEM.
- 8. EXISTING STRUCTURE TO BE WRAPPED WITH DARK BRONZE ALUMINUM CLADDING.
- 9. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS, FINISH - 'SESAME', ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - (C.U., I.C.F.V.). ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.
- 10. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL EDGE OF CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.

LEGEND:



2 Reflected Ceiling Plan
Scale: 1/2"=1'-0"



1 Floor Plan
Scale: 1/2"=1'-0"



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Floor and Reflected Ceiling Plans



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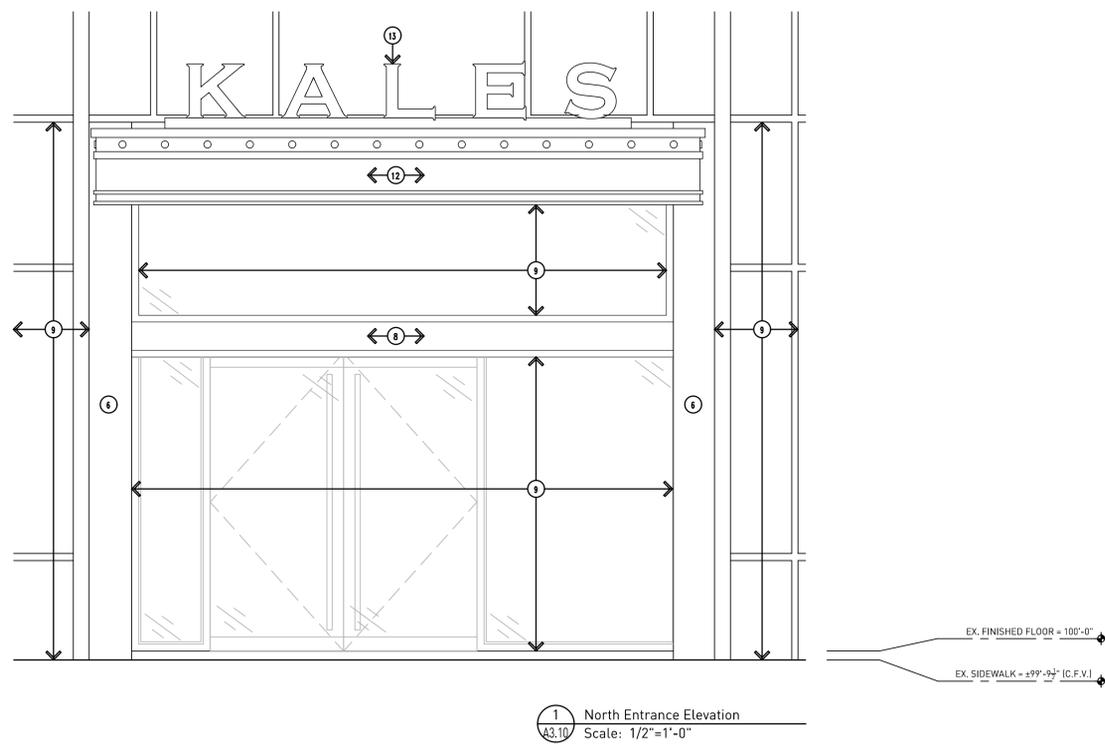
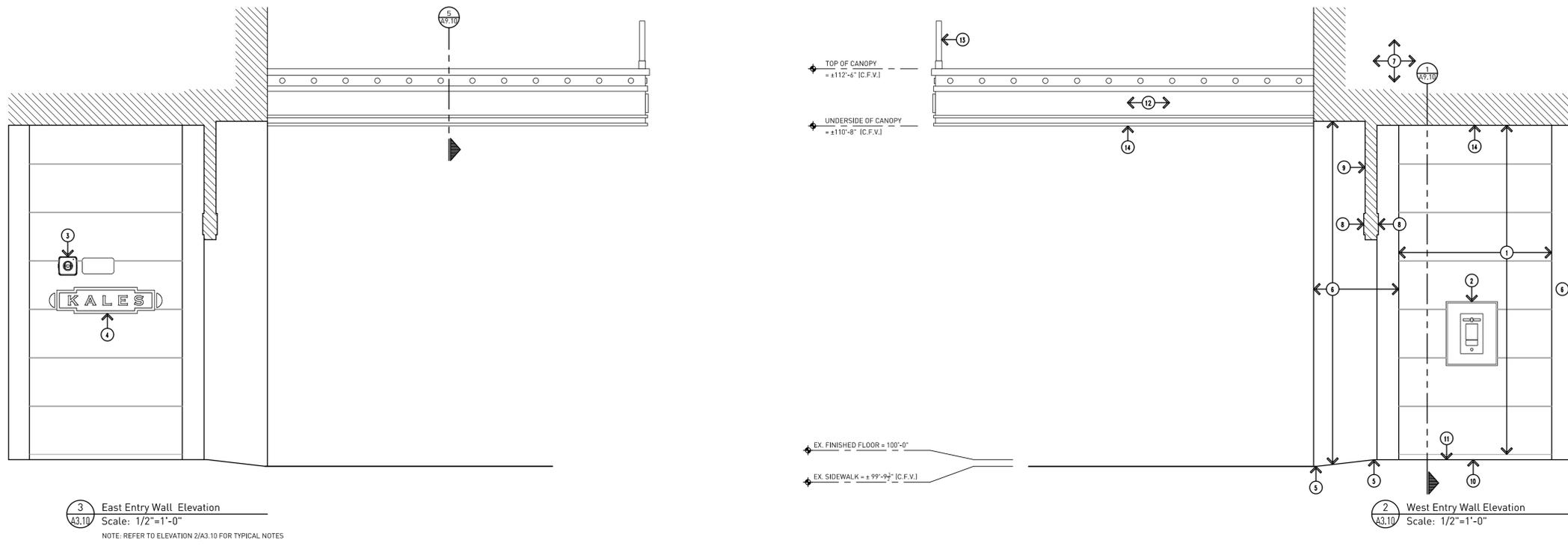


GENERAL NOTES:

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- G3. THIS DRAWING IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS, QUANTITIES, EQUIPMENT CONFLICTS, AND LOCATIONS IN FIELD PRIOR TO START OF WORK. IF ANY DISCREPANCIES EXIST BETWEEN PLAN DIMENSIONS AND ACTUAL FIELD CONDITIONS, NOTIFY THE ARCHITECT.
- G4. EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G5. CONTRACTOR TO KEEP ALL AREAS NOT AFFECTED BY CONSTRUCTION OPERATIONS OPEN AND FREE FOR OTHER BUILDING OCCUPANTS.
- G6. COORDINATE BUILDING ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G7. CONFORM TO ALL MICHIGAN BARRIER FREE REQUIREMENTS.
- G8. CONTRACTOR TO OPEN UP EXISTING WALLS AS REQUIRED FOR NEW ELECTRICAL AND/OR MECHANICAL ITEMS. PATCH / REPAIR PRIOR TO FINISHING.
- G9. RELOCATE, REMOVE AND REPLACE OR RE-SUPPORT ANY MECHANICAL OR ELECTRICAL ITEMS IN THE WAY OF NEW CONSTRUCTION OPERATIONS.
- G10. CONTRACTOR TO CONFORM TO NATIONAL ELECTRIC CODE WITH MICHIGAN SUPPLEMENTS.
- G11. ALL LIGHT FIXTURES ARE TO BE INSTALLED IN THE SAME LOCATION AS EXISTING FIXTURES THAT HAVE BEEN REMOVED.

DRAWING NOTES:

- 1. WALL MOUNTED 'NICHHA' PANELS TO BE INSTALLED OVER EXISTING WALL TILE. CONTRACTOR TO SECURELY FASTEN PANELS TO EXISTING SUB-STRUCTURE PER MANUFACTURER'S SUGGESTED INSTALLATION METHOD. EXISTING WALL CONSTRUCTION IS UNKNOWN [C.F.V.]
- 2. RELOCATED TENANT INTERCOM SYSTEM. ELECTRICAL CONTRACTOR TO EXTEND WIRING AS NEEDED TO ALLOW PANEL TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
- 3. RELOCATED KNOX BOX AND SIGNAGE. CONTRACTOR TO RE-INSTALL BOX AS NEEDED TO ALLOW BOX TO BE FLUSH WITH FACE OF NEW WALL PANEL SYSTEM.
- 4. BUILDING SIGNAGE - FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. EXACT SIZE AND FORMAT OF SIGNAGE T.B.D.
- 5. TRANSITION STRIP SIMILAR TO SCHLUTER SCHIENE 'AE 80'.
- 6. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING EXTERIOR COLUMNS, INCLUDING LIMESTONE PILLARS.
- 7. EXISTING BUILDING STRUCTURE - E.C.U.
- 8. DARK BRONZE ALUMINUM CLADDING TO WRAP EXISTING STRUCTURE.
- 9. EXISTING ALUMINUM STOREFRONT SYSTEM.
- 10. EXISTING MARBLE WALL BASE.
- 11. PORCELAIN TILE FLOORING, ATLAS CONCORDE 'BOOST MK' 12" X 24" FIELD TILE. COLOR - IVORY MATTE. INSTALLED IN A 33% OFFSET PATTERN. GROUT COLOR: TEC '947' LIGHT BRONZE. GROUT JOINT SIZE AS SUGGESTED BY MANUFACTURER. CONTRACTOR TO MATCH FINISHED ELEVATION OF EXISTING TILE EXACTLY.
- 12. DARK BRONZE ALUMINUM CUSTOM CANOPY FACADE. INTENT IS FOR NEW FACADE TO WRAP UNDERSIDE OF CANOPY ALONG PERIMETER TO CONCEAL CANOPY STRUCTURE. CONTRACTOR TO COORDINATE WITH LOCAL METAL FABRICATOR TO DETERMINE ATTACHMENT METHOD BASED ON EXISTING CANOPY CONDITIONS. ARCHITECT TO REVIEW AND APPROVE SUGGESTED ATTACHMENT METHOD PRIOR TO FABRICATION. ADDITIONAL REVIEW BY STRUCTURAL ENGINEER MAY BE REQUIRED.
- 13. 15"X DARK BRONZE ALUMINUM LOGO LETTERS - FURNISHED AND INSTALLED BY OWNER'S SIGN COMPANY. LETTERS TO BE CHANNEL SET AND BACK LIT WITH INTEGRATED LED LIGHTING. ELECTRICIAN TO PROVIDE POWER SOURCE FOR LETTERS. COORDINATE WITH OWNER'S SIGN VENDOR.
- 14. ARMSTRONG 'METALWORKS-SYNCHRO' SUSPENDED CEILING SYSTEM WITH 6" WIDE PLANKS. FINISH - 'SESAME'. ATTACH TO UNDERSIDE OF EXISTING BUILDING AND/OR CANOPY STRUCTURE - E.C.U. [C.F.V.]. ONCE EXISTING CONSTRUCTION IS EXPOSED, ADDITIONAL REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER MAY BE REQUIRED, TO DETERMINE APPROPRIATE ATTACHMENT METHOD. CEILING HEIGHT TO MATCH EXISTING AS CLOSE AS POSSIBLE.



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