



PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVE SUITE 808, DETROIT, MI 48226

HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

Application Number: HDC2025-00258

Effective Date: 09/18/2025

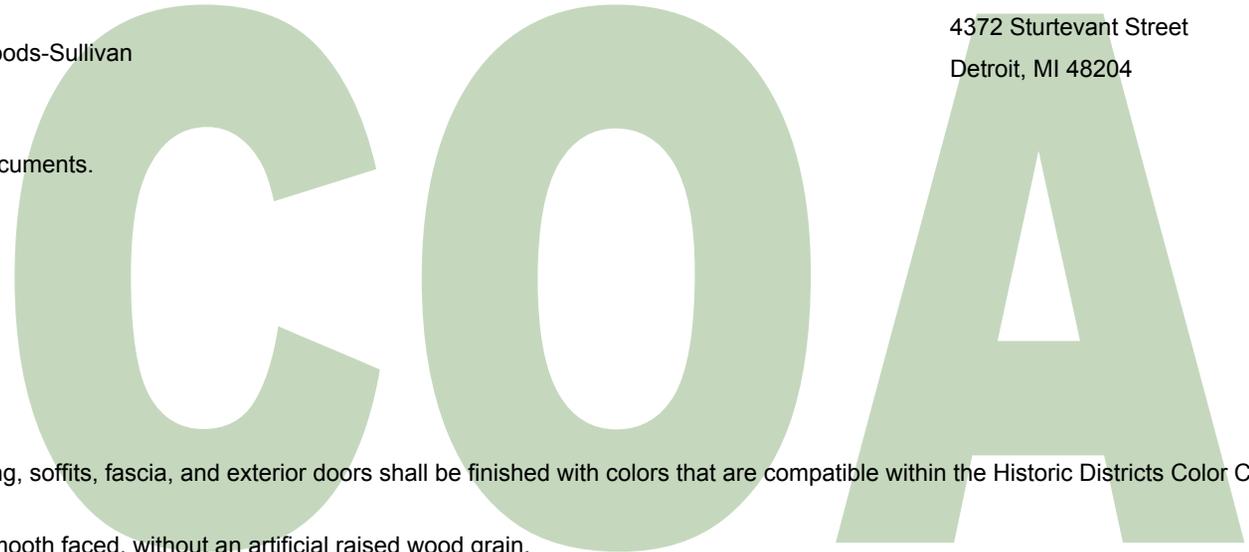
Project Address: 4372 Sturtevant Street

Issued to: Carmen Dahlberg
4372 Sturtevant Street
Detroit, MI 48204

Historic District: Russell Woods-Sullivan

Description of Work:

Erect garage, per the submitted documents.



With the Conditions that:

- The garage's walls, asphalt roofing, soffits, fascia, and exterior doors shall be finished with colors that are compatible within the Historic Districts Color Chart System, subject to staff approval.
- All fiber cement siding shall be smooth faced, without an artificial raised wood grain.

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

For the Commission:

Garrick Landsberg
Director of Staff, Historic District Commission

PSR: Bilqees 250918BS



Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID
HDC2025-00258

PROPERTY INFORMATION

ADDRESS(ES): 4372 Sturtevant Street
HISTORIC DISTRICT: Russell Woods-Sullivan

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|---|--|--|--|---|--------------------------------|
| <input type="checkbox"/> Windows/ Doors | <input type="checkbox"/> Walls/ Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/ Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input checked="" type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.) | |

BRIEF PROJECT DESCRIPTION: We are seeking to build a 24x22 garage with James Hardie siding and black shingles. The siding, shingles, and roof will match our house.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Property Owner/Homeowner			
NAME: Carmen Dahlberg	COMPANY NAME: N/A		
ADDRESS: 4372 Sturtevant Street	CITY: Detroit	STATE: MI	ZIP: 48204
PHONE: +1 (248) 762-1627	EMAIL: carmenmaria90@gmail.com		

I AGREE TO AND AFFIRM THE FOLLOWING:

- I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- I hereby certify that I am the legal owner and occupant of the subject property and that the information on this application is true and correct.

<p>DocuSigned by: Carmen Dahlberg</p> <p style="font-size: small; margin: 0;">CE2A1A16A470458...</p>	<p style="text-align: center;">N/A</p> <p style="text-align: center;">08/07/2025</p>
SIGNATURE	DATE
4372 Sturtevant Street +1 (248) 762-1627	Detroit MI 48204 carmenmaria90@gmail.com

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER: (only applicable if you've already applied for permits through ePLANS)	N/A
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GENERAL

<p>1. DESCRIPTION OF EXISTING CONDITION <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i></p> <p>Our backyard is currently grass. We would like to build a garage to protect our children and our things. In the past nine years that we have lived at this property we have had two cars, a child's bike, and a weed whip stolen.</p>	
<p>2. PHOTOGRAPHS <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i></p>	
<p>3. DESCRIPTION OF PROJECT <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i></p> <p>We are seeking to build a 24x22 garage with James Hardee siding. In the nine years that we have lived in Russell Woods, we have had two cars, a catalytic converter, a child's bike, and a weed whip stolen. A garage will help us protect our children and our things and will keep our beautiful neighborhood safer as a whole.</p>	
<p>4. DETAILED SCOPE OF WORK <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i></p> <p>Build James Hardie garage on concrete slab. Pave driveway from city sidewalk to garage.</p>	
<p>5. BROCHURES/CUT SHEETS <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i></p>	

ADDITIONAL DETAILS





James Hardie Siding (beige to match house):



Certainty Dimensional Landmark Shingles (black to match house):



6-panel steel service door:



Wayne Dalton traditional garage door:



James Hardie Siding (beige to match house):



Certainty Dimensional Landmark Shingles (black to match house):



6-panel steel service door:



Wayne Dalton traditional garage door:





HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 8/15/25

Application Number: HDC2025-00258

APPLICANT & PROPERTY INFORMATION

NAME: Carmen Dahlberg

COMPANY NAME: N/A

ADDRESS: 4372 Sturtevant Street

CITY: Detroit

STATE: MI

ZIP: 48204

PROJECT ADDRESS: 4372 Sturtevant Street

HISTORIC DISTRICT: Russell Woods-Sullivan

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

Hello. This application is not yet complete. Please provide:

- (1) complete plans for the garage that will show foundation, height of walls, height at peak, roof plan, door placement, window placement (if any, and if so, window product specs) and
- (2) a site plan showing house, yard, and garage placement in the yard, including distances from house and property lines.

This project will need to be reviewed by the commission. For the project to be reviewed in September, these materials need to be received by 5 pm Monday. Please let us know of questions at hdc@detroitmi.gov.

Thank you.

APPLICANT RESPONSE

Response Date: 08/18/2025



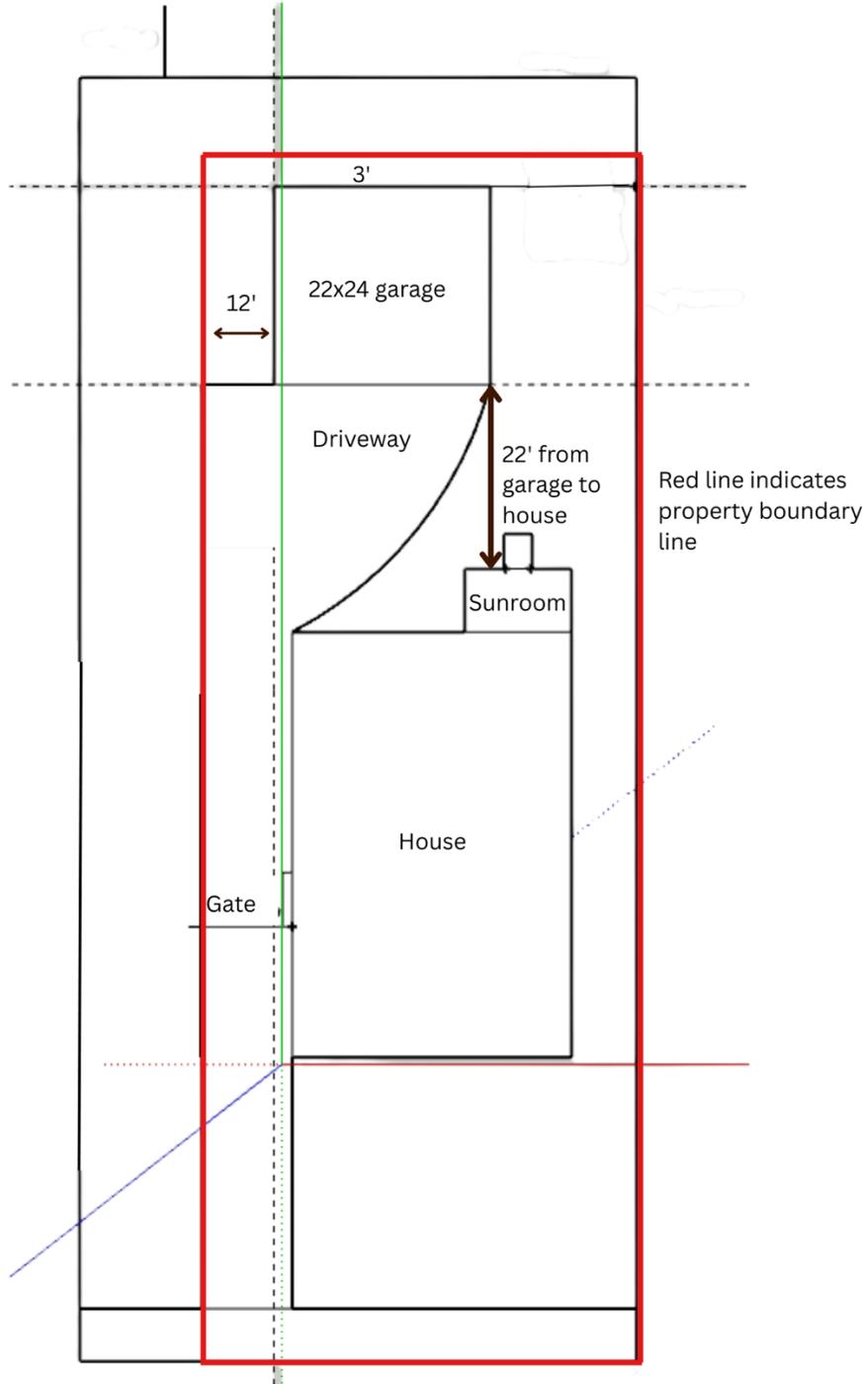
Please see the attached document for details on:

- The distance between the garage and the rear property line, side property line, and house.
- The foundation, height of walls, height at peak, roof plan, and door placement. There will be no window.

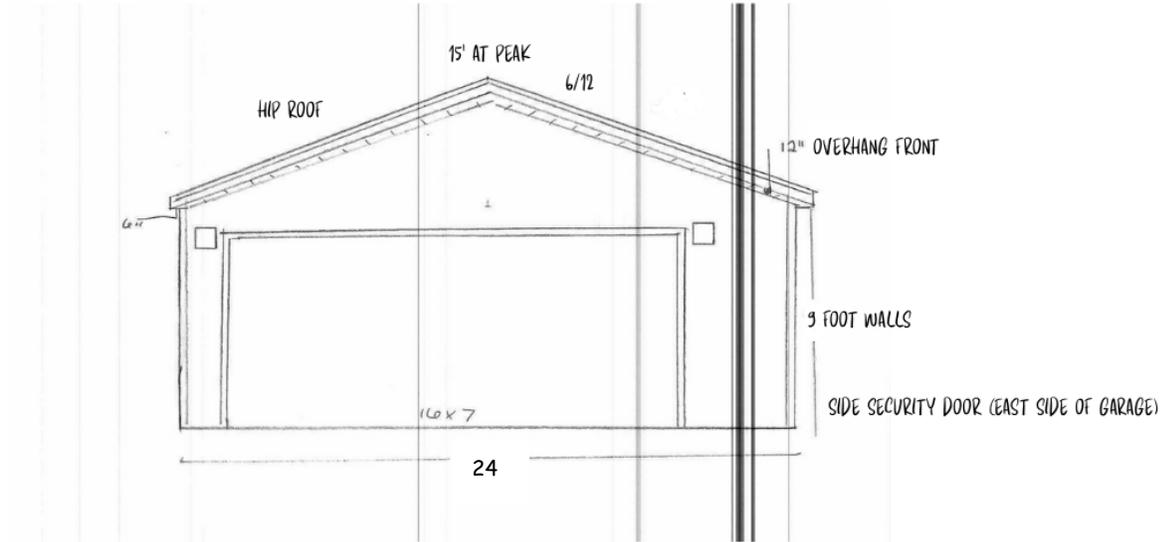
Thank you!

Historic District Site Plan

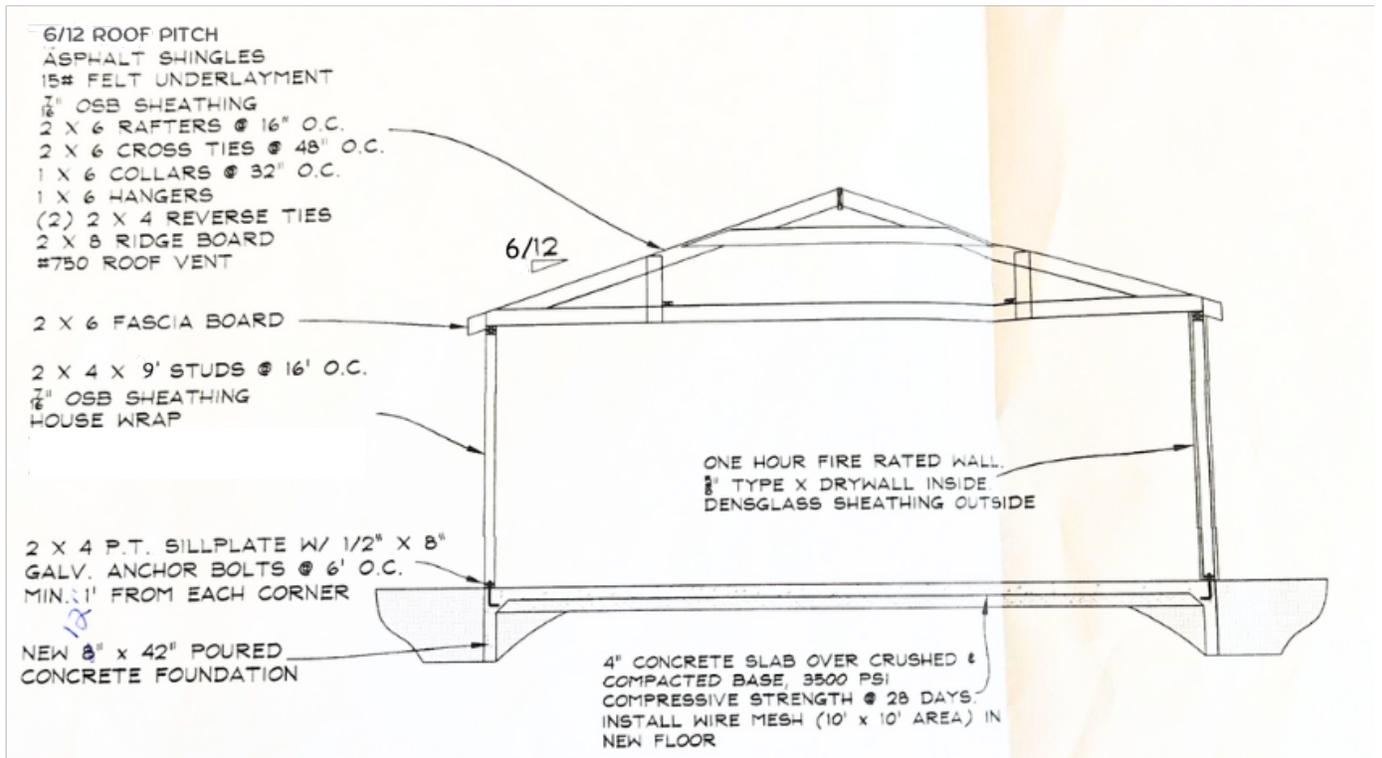
Site Plan:



Garage Plan:

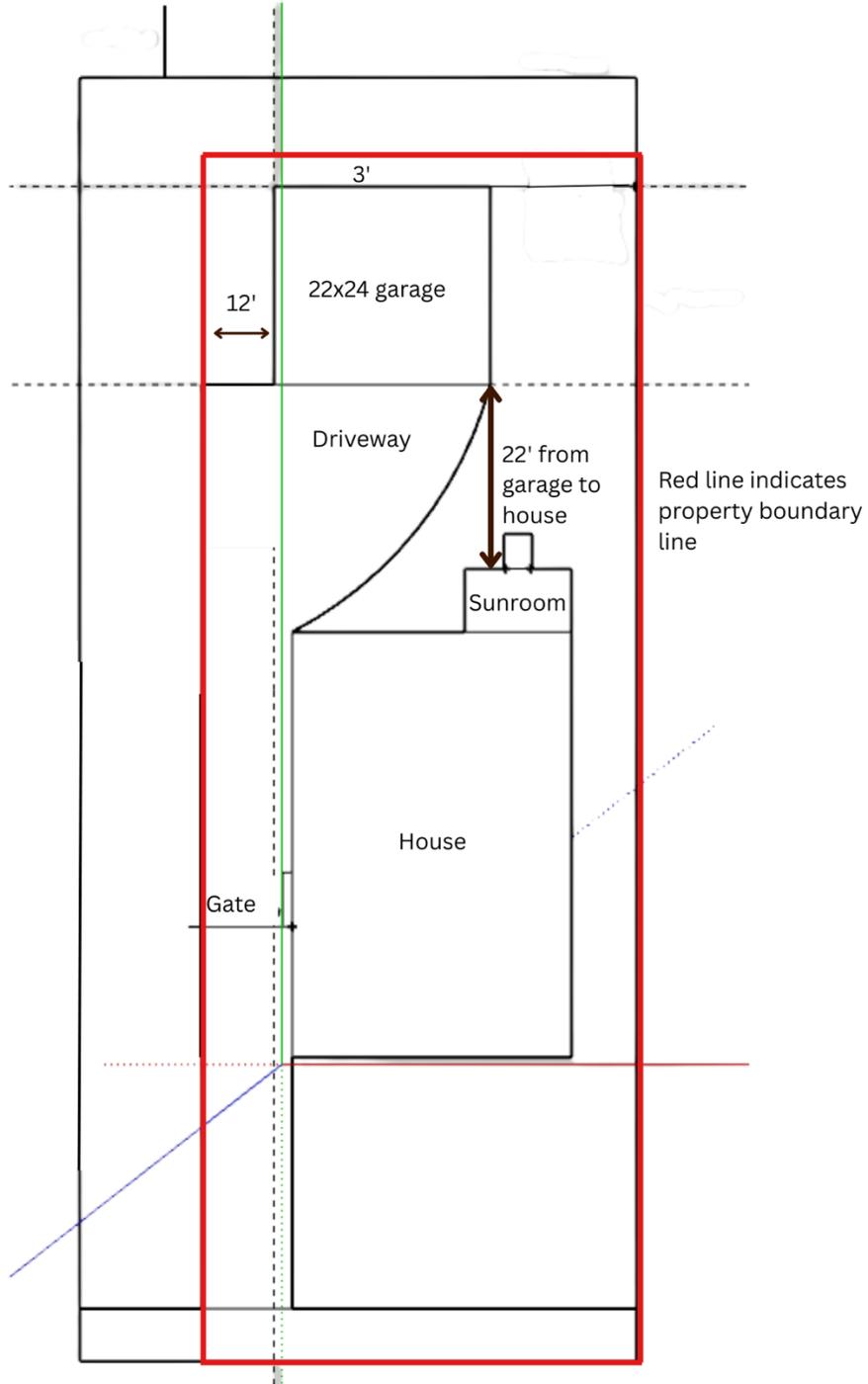


Foundation Plan:

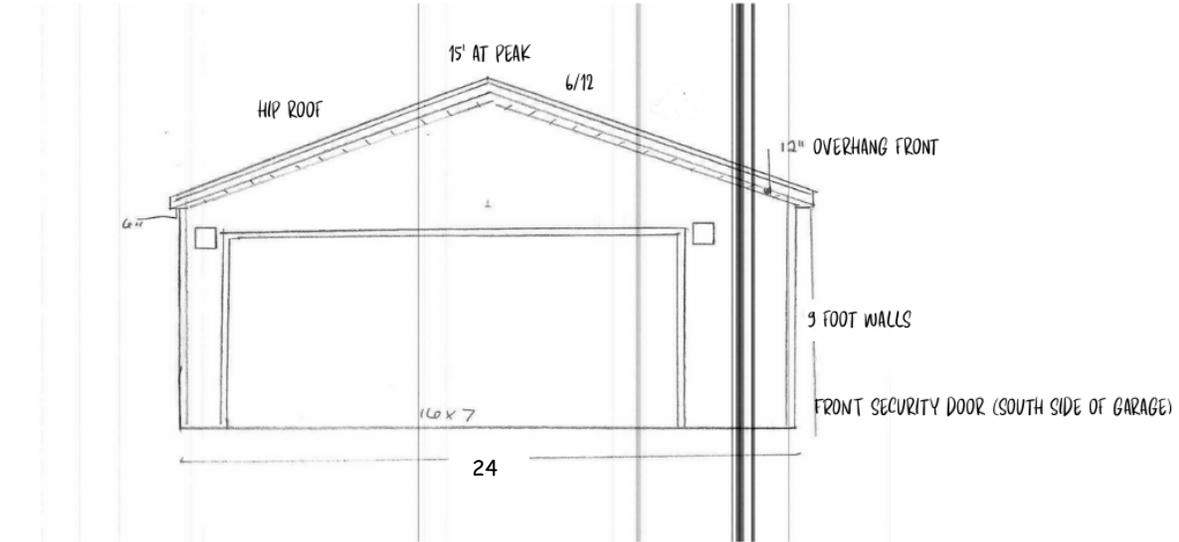


Historic District Site Plan

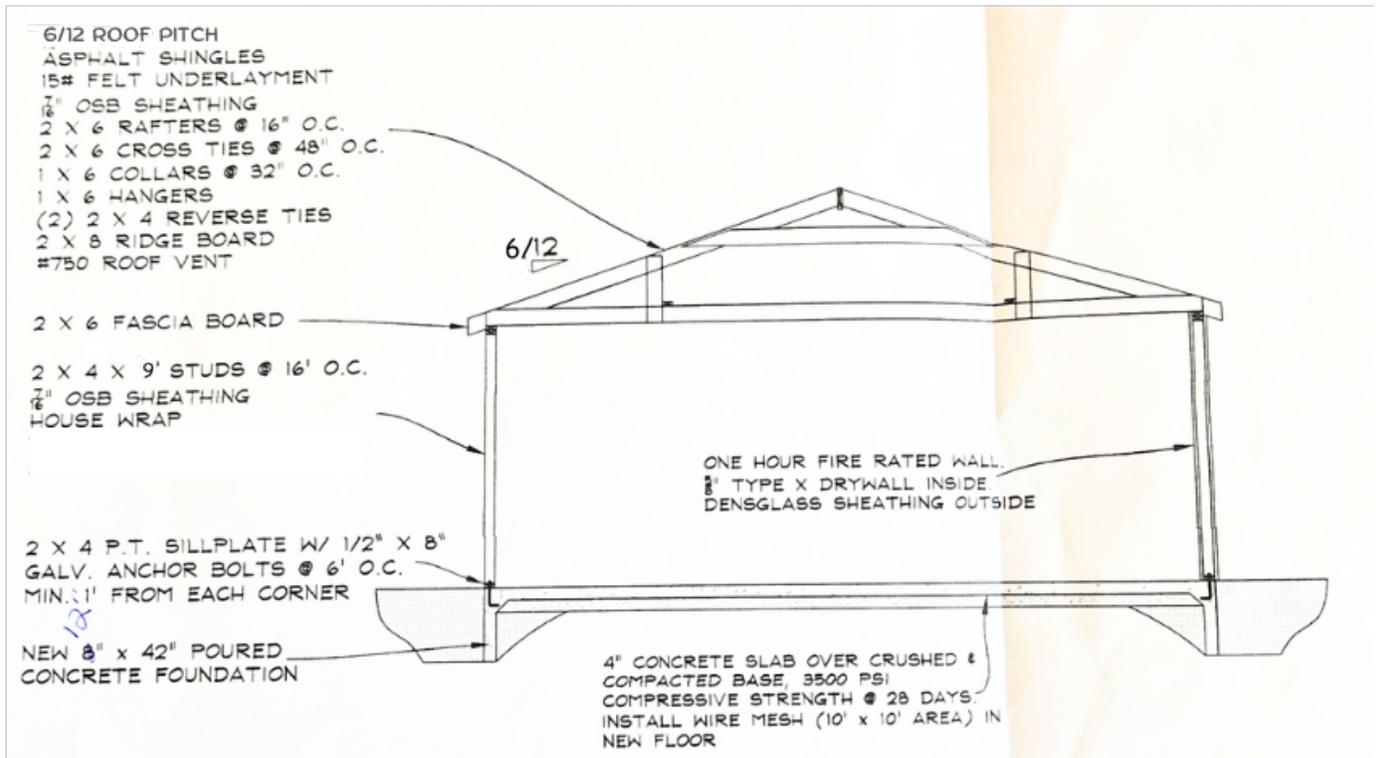
Site Plan:

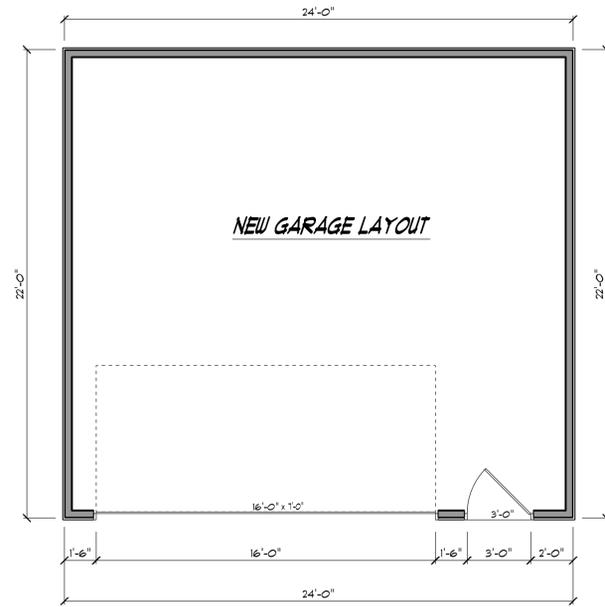


Garage Plan:



Foundation Plan:





GARAGE FLOOR PLAN
SCALE 1/4" = 1'-0"

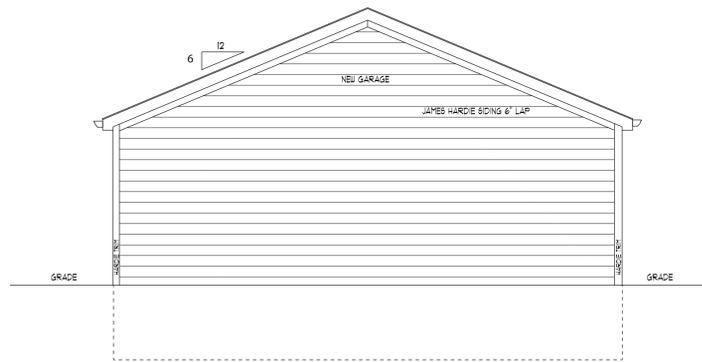
- STRUCTURAL SHEATHING NOTES:**
- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 15 M.P.H. OR LESS
 - WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10.2 OF THE 2019 IRC CODE
 - BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3
 - EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-USP METHOD AS PRESCRIBED IN SECTION R602.10.4 (I.N.O.)
 - ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 6d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS
 - LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-USP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5

- PROVIDE 6d COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS
- R602.16. WALLS 24" TOTAL LENGTH OR SHORTER CONNECTING OFFSET BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 9 OF TABLE R602.3(1)
- SEE CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL (CS-PFF) SHEET G14 FOR HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDED MUST BE MINIMUM 3" X 11/4" SOLID BAIN OR LAMINATED VENEER LUMBER (L.V.L.)

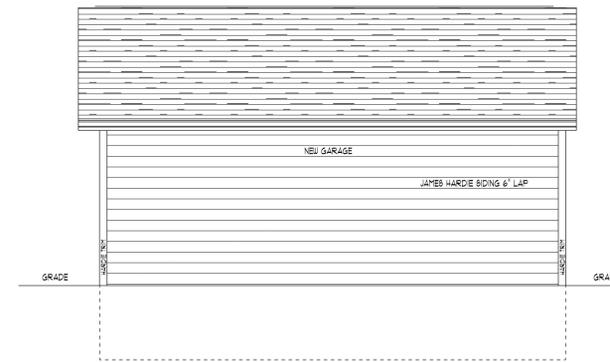
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION
- PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF

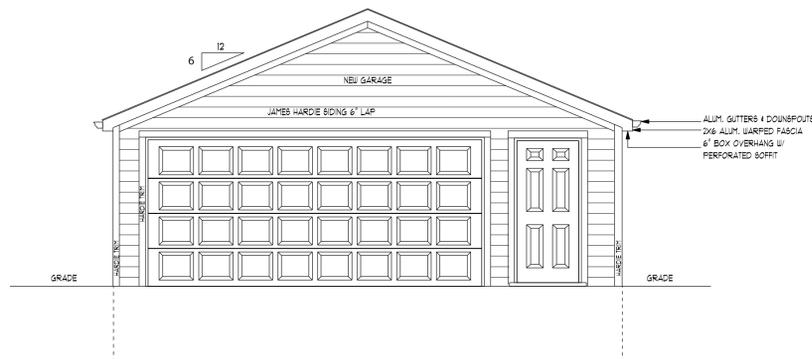
SYMBOL	DESCRIPTION
[Symbol]	NEW 2X6 WALL W/ SIDING & DRYWALL
[Symbol]	NEW 2X4 WALL W/ SIDING & DRYWALL
[Symbol]	NEW 2X4 WALL W/ DRYWALL
[Symbol]	EXISTING 2x4 WALL DEMO
[Symbol]	LVL HEADERS
[Symbol]	12"x 42" CONC. FT G W/ 1-COURSE OF 8" BLOCK
[Symbol]	GRASS
[Symbol]	COMMON BRICK
[Symbol]	FINISH CONCRETE
[Symbol]	EXISTING 10" CONC. W/BRICK
[Symbol]	EARTH



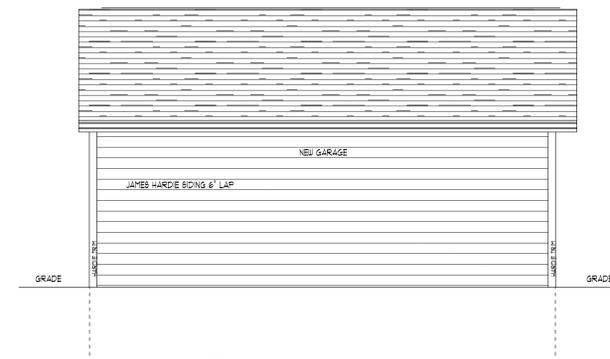
REAR ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"

NOTE: THIS PLAN IS FOR ELEVATION VIEW ONLY

ITALY AMERICAN CONSTRUCTION

FAMILY OWNED SINCE 1954

PHONE# 313-278-7500

8401 N. TELEGRAPH RD.
DEARBORN HEIGHTS MI. 48127

On Site _____ Date: _____
Job Notes: _____

CARMEN & KEVIN DAHLBG

4372 STURTEVANT ST
DETROIT MI. 48204

Project

"NEW GARAGE"

4372 STURTEVANT ST
DETROIT MI. 48204

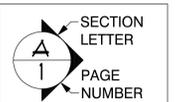
Issued For: 8/24/2025
Owner Review

REVISED

Drawing Title
"FRONT ELEVATION"
"REAR ELEVATION"
"RIGHT ELEVATION"
"LEFT ELEVATION"

Date: 8/24/2025
Drawn By: MARK KREUTZKAMP
8140-531-1649
Revisions:

PAGE 1 OF 1



Drawing # 8242025