



PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVE SUITE 808, DETROIT, MI 48226

HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

Application Number: HDC2025-00441

Effective Date: 09/17/25

Project Address: 2894-2900 E.GRAND BOULEVARD

Issued to: Dan Patrus
3174 Briarhill
Hartland, MI 48353

Historic District: Jam Handy/North End-East Grand Boulevard

Description of Work:

REHABILITATE the property and erect a fence per the submitted/attached application

With the Conditions that:

- Staff have the authority to review and approve the final design of the new door proposed for installation at 2894 E Grand Boulevard's west side wall
- The door proposed for installation at 2898 East Grand Boulevard front facade, first story shall have the same width as the triplet of windows above Staff shall have the final authority to review and approve its design

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

For the Commission:

Garrick Landsberg
Director of Staff, Historic District Commission

PSR: Jennifer

250922jr



Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.



City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

Date: 7/11/25

Application Number: HDC2025-00441

APPLICANT & PROPERTY INFORMATION

NAME: Dan

COMPANY NAME: CIR Group

ADDRESS: 3174 Briarhill

CITY: Hartland

STATE: MI

ZIP: 48353

PROJECT ADDRESS: 2900 E Grand Blvd

HISTORIC DISTRICT: Jam Handy/North End-East Grand Boulevard

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

Thank you for your application. It is not yet complete.

Please revise the scope of work to reflect all exterior work that you will be completing, including the storefront changes, the changes to the house next door, the demolitions or removals of exterior material planned, and the construction of new exterior elements. The current scope of work mentions stairs and storefront work, but, as the initial reviewer, I wasn't clear as to whether the stairs mentioned are the stairs to the rooftop or the steps from the house next door, and I found that some elements appear to be changing that are not mentioned in the current scope, including some doors to be removed, an overhead door to be moved, and fencing and gates being changed.

Please make a complete list of all the changes to the exterior you plan on this site as part of your scope of work; please be sure that your photos include all of those affected elements or materials; and please be sure that your materials include all product specifications for all proposed exterior materials.

(It wasn't clear to me upon initial review what material the new proposed storefront windows and doors would be, for example.)

This proposal will be reviewed by the historic district commission because the scope of work is beyond the work staff can approve. The next regular meeting of the commission is August 13, and all applications to be on that agenda must be complete by Monday, July 21. If these revisions could reach us by July 18, that would be helpful to ensure completeness.

Thank you again.

APPLICANT RESPONSE

Response Date: 8/11/2025



Hello,

The added information I provided would not fit in this section so the document addressing all of your questions and requests is attached. Please review and let us know if you need anything else.

Dan Patrus
CIR Group
810-650-7399

dpatrus@cirmi.net



Additional information requested by historic 7/11/25

Scope of work:

-Per the plans we are looking to add (2) sets of exterior stairs. One set on the west side of the building as shown on the plans. Currently there is a wood set of stairs that goes up to a patio that is on top of the garage of the building. These would be removed as shown on the demo plans and replaced with new steel steps as shown on the plans but moved up against the building. Along with the steps the current deck on the roof of the garage would be replaced with composite decking and railing that matches the stairs as depicted in our drawings.

-The second set of stairs is on the east side of the property and is much smaller and simply allows access to the second courtyard from the front porch. Both stairs are identical in design as depicted in our drawings and would be made of galvanized steel and powder coated white to blend in with the current building finishes. The secondary set from porch to courtyard is not visible from the road. Additionally with current fencing in place the larger set is also hardly visible.

-There are only (2) sets of exterior stairs we are looking to add, the drawings do depict another set on the interior, stating this to avoid confusion per the request for more information.

-On the porch of the house portion of the property, door 112A we plan to remove the bricked in window, there was at one point some sort of window in this location which was bricked up long before current ownership. This would be changed to a clear anodized storefront door with side light with clear glass and is intended to provide access from green room to courtyard adjacent.

-Door 116A is currently a standard steel door, this door is just being swapped to swing the correct way per code requirement and there is no change in materials or visual this is the same door just installed to swing opposite direction. This door is just to the west of the house.

-Door 104 on the west side of the property located under the stairs we speak to above is required by code for egress in an assembly use. This is a 42-inch steel door that matches door 116A and is simply being placed due to code and to allow access to the west courtyard area for egress reasons.

-1st floor storefront openings 100A and 103 we are essentially restoring to what they were originally. Our drawings show a photo we located a photo of what this looked like at one point, and there are still some remnants left in the current openings that allowed us to validate this. We plan to as close as possible match this design intent including simulated lead camming, film on portions of glass to match the original yellow glass design as well as reintegration of the second set of doors that has long since been removed by others. Our goal with this is to restore it to as close to original as we can, the current setup is far from this so this will be a major historical improvement to this property. The materials used for this would be as follows:

Design.Build.Revive



- Remove existing burglar bars on windows not part of original design these were added by others prior to current owner
- Surface applied faux lead camming to recreate the segmentation of the glass as it was originally intended to be
- Custom colored aluminum doors to match original design, shape, hardware and color, with interior push bar as shown in images and required by code
- Yellow film to tint the segmented glass to match the original glass (there is some portion of this still existing, even though our image is black and white the original glass infill in the windows around the door openings was a yellow glass)
- Smoked glass for clear story windows above fixed openings with simulated lead camming to mimic original look and contracts of color you see in historical image
- Large, fixed glass windows are currently split in the center from replacement prior to current owner, we are restoring this back to be one large glass unit with clear anodized frame and clear glass as we can see evidence of original framing being clear anodized
- All of the wood trims still exist around each opening this will be scarped clean, prepped, repaired and re-painted to match original color which we have evidence of
- As a general note there is NO work on second floor windows above this area

-Opening 108A is currently a steel coil up roll door that is in good condition. This door is planned to be removed and salvaged and installed into opening 106R which is off the alley and is currently a very old wood swinging door that has no insulation value and is falling apart and is not original. As shown on the plans 108S would get a new glass garage door with insulated clear glass and clear anodized framing, this is hardly visible from the street as it is blocked by current fencing. There are no adjustments to the size of this opening the door would be made to fit the current opening.

-The original submission has all of the drawings and photos of the site please confirm if what I uploaded is sufficient or if I need to upload more as our drawings are pretty detailed. Sheet A 2.1 references all door numbers I have listed above to provide a more complete scope per your request. If you have any questions, please contact me directly at 810-650-7399.

Kind Regards,

Dan Patrus
CIR Group
810-650-7399
dpatrus@cirmi.net

Design.Build.Revive



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00441

PROPERTY INFORMATION

ADDRESS(ES): 2900 E Grand Blvd

HISTORIC DISTRICT: Jam Handy/North End-East Grand Boulevard

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|---|---|--|---|---|--------------------------------|
| <input checked="" type="checkbox"/> Windows/
Doors | <input type="checkbox"/> Walls/
Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/
Chimney | <input checked="" type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

Minor Renovations to existing building including storefront and ext stairs. Change of use to A3

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Contractor

NAME: Dan

COMPANY NAME: CIR Group

ADDRESS: 3174 Briarhill

CITY: Hartland

STATE: MI

ZIP: 48353

PHONE: +1 (810) 650-7399

EMAIL: dpatrus@cirmi.net

I AGREE TO AND AFFIRM THE FOLLOWING:

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

Signed by:

Dan

CIR Group

Dan

06/26/2025

SIGNATURE

DATE

3174 Briarhill

Hartland

MI

48353

+1 (810) 650-7399

dpatrus@cirmi.net

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

BLD2025-00574

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

Existing building is original facade, storefront on first floor does not match original design and has not been maintained prior to current owner, we are looking to return the building to be closer to the original design and change use for larger occupant load for events



2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)

Replace storefront to match original design of historic building as shown on plans, add exterior staircases per plans, change use from B to A3 per plans with required code compliance items to meet this use per plans, see plans for photos and details

4. DETAILED SCOPE OF WORK



In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

Demo existing storefront and replace to match original, add nonvisible exterior staircases one of which already exists per plans, see plans for photos and details

5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.

ADDITIONAL DETAILS

<div>6. WINDOWS/DOORS</div> <div>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</div>	
<div>7. DEMOLITION</div> <div>If demolition is proposed for reasons of structural failure or catastrophic damage, please provide illustrated report from structural engineer or licensed architect.</div>	

JAM HANDY - RENOVATIONS

2900 E. GRAND BLVD
DETROIT, MI 48202

GENERAL NOTES:

DEMOLITION NOTES:

REMOVE WALL, DOORS, FRAMES, & ELECTRICAL AS INDICATED ON PLAN.

TELEPHONE OUTLETS & ELECTRICAL WITH-IN WALLS TO BE DEMOLISHED SHALL BE REMOVED AND/ OR CAPPED. REMOVE WIRE, CONDUIT AND/ OR CABLE BACK TO SOURCE (PHONE BOARD OR ELECTRICAL PANEL).

ALL MATERIALS FROM DEMOLITION SHALL BE DISPOSED OF IN ACCORDANCE WITH GOVERNING REGULATION, UNLESS INDICATED TO BE SALVAGED.

CAP ALL EXISTING PLUMBING LINES BELOW SLAB AS REQUIRED

REMOVE LIGHTING, CEILING, & CEILING OUTLETS PER DEMOLITION PLAN.

ARCHITECTURAL NOTES:

DO NOT SCALE DRAWINGS.

CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL STATE, AND FEDERAL CODES AND LAWS.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING AND OTHER PERMITS REQUIRED FOR THE COMPLETION OF THE WORK.

ALL DIMENSION LUMBER, PLYWOOD, PARTICLE BD., FURRING AND BLOCKING SHALL BE PRESSURE TREATED / UL CERTIFIED NON-COMBUSTIBLE.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE. NOTIFY THE ARCHITECT OR OWNER PRIOR TO COMMENCING WORK OF ANY DISCREPANCIES, CONFLICTS OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS AND BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. AN ADDENDUM WILL BE ISSUED AS NECESSARY AND WILL BECOME A PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.

CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND DEBRIS AND PROVIDE FINAL CLEAN-UP OF JOB SITE PRIOR TO MOVE-IN.

CONTRACTOR TO PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE SAFETY OF THE EXISTING TENANT AND GENERAL PUBLIC DURING CONSTRUCTION.

ACOUSTICAL CEILING CONTRACTOR SHALL PROVIDE AND INSTALL HANGER WIRES AT EACH EXISTING, NEW AND RELOCATED 2x2 & 2x4 FLUORESCENT LIGHT FIXTURE PER APPLICABLE CODE (TYPICAL THROUGHOUT).

COORDINATE ALL WORK BEFORE AND DURING CONSTRUCTION WITH ALL OTHER AFFECTED TRADES.

WHERE INTERFERENCES DEVELOP, NOTIFY ARCHITECT FOR RESOLUTION OF CONFLICT.

RELOCATION OF CONFLICTING INSTALLED WORK, DUE TO LACK OF COORDINATION, OR POOR COORDINATION WILL NOT BE CONSIDERED EXTRA WORK.

ALL NEW DOORS SHALL BE INSTALLED 4" (MIN.) FROM CORNER OF ROOM TYPICAL - UNLESS NOTED OTHERWISE.

ALL NEW INTERIOR GLASS TO BE 3/8" TEMPERED GLASS AS REQUIRED BY CODE.

ALL NEW EXTERIOR GLASS WINDOWS TO BE 1" INSULATED GLASS, TEMPERED AS REQUIRED BY CODE.

ALL FINISHES MUST COMPLY WITH FLAME SPREAD AND SMOKE DEVELOPMENT INDICES PER MBC 2015 CHAPTER 8

MILLWORK NOTES:

ALL WOODWORK /MILLWORK SHALL CONFORM TO THE QUALITY STANDARDS OF ARCHITECTURAL WOODWORK INSTITUTE (AWI) PREMIUM GRADE FOR ALL APPLICABLE SECTIONS. FABRICATOR SHALL BE FAMILIAR WITH AWI STANDARDS.

FABRICATE WOODWORK /MILLWORK ITEMS TO ACTUAL FIELD DIMENSIONS. CONTRACTOR TO FIELD VERIFY EXISTING DIMENSIONS. CONTRACOR(S) SHALL SUBMIT SHOP DRAWINGS, SAMPLES OR MANUFACTURERS LITERATURE OF ALL ITEMS. SHOP DRAWINGS SHALL SHOW SUFFICIENT DETAIL TO DETERMINE COMPLIANCE WITH QUALITY STANDARDS AND DESIGN INTENT.

PROVIDE ALL NECESSARY FURRING AND GROUNDS FOR WOODWORK AND FINISH ITEMS. COORDINATE LOCATION OF BLOCKING WITHIN PARTITIONS FOR ITEMS TO BE SECURED TO SURFACE.

ALL FASTENERS SHALL BE CONCEALED. ALL HINGES SHALL BE CONCEALED, 3-WAY ADJUSTABLE, SELF CLOSING TYPE BY "STANLEY", "BLUM", "GRASS" OR "HAFELE". ALL DRAWER SLIDES SHALL BE BALL-BEARING, FULL EXTENSION TYPE BY "ACCURATE", OR "GRANT". USE LOAD RATING FOR APPLICATIONS AS RECOMMENDED BY MANUFACTURER.

PHONE /DATA /COMMUNICATION NOTES:

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A JUNCTION BOX WITH PULL STRING TO EACH WALL MOUNTED COMMUNICATIONS LOCATION.

ALL NEW TELEPHONE AND DATA WIRING IN CEILING PLENUM SHALL BE PLENUM-RATED WIRE.

ELECTRICAL / LIGHTING NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.

CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS AND INCIDENTALS REQUIRED FOR COMPLETION.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL STATE, AND FEDERAL CODES AND LAWS.

CONTRACTOR SHALL INSTALL NEW EMERGENCY LIGHTS W/ BATTERY BACK-UP, AND EXIT SIGNS W/ BATTERY BACK-UP THROUGHOUT AS REQUIRED BY ALL CODES AND THE LOCAL FIRE MARSHAL. CONTRACTOR SHALL FIELD INSPECT EXISTING FIXTURES AND REPLACE IF FIXTURES ARE NON-FUNCTIONING OR NEED NEW BATTERY BACK-UP.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

LOCATE POWER AND COMMUNICATION RECEPTACLES TO NEAREST STUD IN APPROXIMATE POSITION INDICATED ON PLANS. PROVIDE BRIDGING BETWEEN STUDS AS REQUIRED FOR ALL DIMENSIONED RECEPTACLE LOCATIONS. DO NOT LOCATE BOXES BACK-TO-BACK WITHIN PARTITIONS- STAGGER AS REQUIRED TO MINIMIZE SOUND TRANSMISSION.

ELECTRICAL CONTRACTOR TO VERIFY WORKING CONDITION OF ALL SWITCHES, LIGHT FIXTURES, BALLASTS, EXIT AND EMERGENCY LIGHT AND OUTLETS. REPLACE IF NECESSARY (TYPICAL THROUGHOUT, AND IN ACCORDANCE WITH SPECIFICATIONS).

MECHANICAL (HVAC) NOTES:

DESIGN BUILD BY MECHANICAL CONTRACTOR

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.

CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.

CONTRACTOR SHALL PROVIDE OR REWORK SYSTEM PER INFORMATION ON DRAWINGS.

ALL ROOMS TO HAVE A MINIMUM OF ONE (1) SUPPLY DIFFUSER AND ONE (1) RETURN AIR GRILLE.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL STATE, AND FEDERAL CODES AND LAWS.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION, TESTING AND BALANCING OF THE HVAC SYSTEM. MODIFY AND SUPPLEMENT EXISTING SYSTEM AS NECESSARY. AIR DUCTS AND RETURN AIR GRILLES SHALL BE DAMPERED AS REQUIRED.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

HVAC THERMOSTAT CONTROL FOR ALL ROOMS SHALL BE LOCATED WITHIN THE DEMISED SUITE. VERIFY AND REWORK EXISTING DUCTWORK AND THERMOSTATS AS REQUIRED. VERIFY LOCATIONS OF ALL THERMOSTATS WITH TENANT REPRESENTATIVE PRIOR TO INSTALLATION.

HVAC CONTRACTOR SHALL VERIFY WORKING CONDITION OF ALL THERMOSTATS, VAV BOXES, EXHAUST FANS AND ANY OTHER DEVICES DIRECTLY RELATED TO THE HVAC SYSTEM. CONTRACTOR SHALL NOTIFY TENANT REP. IMMEDIATELY UPON DISCOVERY OF ANY DEFECTIVE DEVICES.

HVAC CONTRACTOR TO VERIFY WORKING CONDITION OF EVERY THERMOSTAT AND REPLACE IF NECESSARY (TYPICAL THROUGHOUT).

UPON COMPLETION OF THE WORK, HVAC CONTRACTOR SHALL PROVIDE TO THE TENANT REP. A DRAWING (AT 1/8" = 1'-0") INDICATING THE LOCATION OF EACH THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

PLUMBING NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.

CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS AND INCIDENTALS REQUIRED FOR COMPLETION (ie. DESIGN/BUILD).

CONTRACTOR SHALL PROVIDE OR REWORK SYSTEM PER INFORMATION ON DRAWINGS.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

ALL ADA FIXTURES, WHERE DESIGNATED BY THE ARCHITECT SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE "BARRIER FREE" DESIGN REQUIREMENTS OF THE APPLICABLE LOCAL CODE.

CONTRACTORS SHALL COMPLY WITH ALL LAWS, LOCAL ORDINANCE AND CODES OF THE STATE OF MICHIGAN FEDERAL AGENCIES AND MUNICIPALITY CONTRACTORS SHALL SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS REQUIRED IN THE PERFORMANCE OF HIS WORK. ALL CUTTING AND PATCHING FOR NEW WORK SHALL BE DONE BY THIS CONTRACTOR WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE.

FIRE SUPPRESSION

FIRE SUPPRESSION SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH IFC 2015, NFPA 13 (2013), AND NFPA 72 (2013).

FIRE ALARM SHALL BE INSTALLED IN ACCORDANCE WITH IFC 2012 AND NFPA 72 (2013).

CODE ANALYSIS - 2900 E. GRAND BLVD

REVIEW CODE	2015 MICHIGAN REHABILITATION CODE - LEVEL 2 ALTERATION WORK COMPLIANCE METHOD 2015 MICHIGAN BUILDING CODE, MBC 2015 2021 MICHIGAN MECHANICAL CODE, MMC 2021 2021 MICHIGAN PLUMBING CODE, MPC 2021 2023 NEC CODE WITH PART 8 MICHIGAN AMENDMENT 2015 INTERNATIONAL FUEL GAS CODE, IFGC 2015 ACCESSIBILITY: MICHIGAN BARRIER FREE DESIGN LAW / 2009 ICC/ANCI A117.1
EXISTING USE GROUP	"B" BUSINESS
TYPE OF CONSTRUCTION	TYPE III-B
BASEMENT BUILDING AREA	2,273 SF
FIRST FLOOR BUILDING AREA	11,305 SF
SECOND FLOOR BUILDING AREA	2,114 SF
JAM HOUSE BUILDING AREA	1,112 SF
TOTAL BUILDING AREA	16,804 SF
AREA OF WORK OCCUPANCY LOAD	SEE T-1.1 FOR OCCUPANCY COUNTS
EXIT ACCESS	4 EXITS REQUIRED 8 EXITS PROVIDED
EGRESS WIDTH PER OCCUPANT	109 OCCUP. x 0.20" = 21.8" REQUIRED 386" PROVIDED
SPRINKLER SYSTEM	SPRINKLER SYSTEM TO BE PROVIDED
FIRE ALARM SYSTEM	FIRE ALARM SYSTEM TO BE PROVIDED

LIST OF DRAWINGS

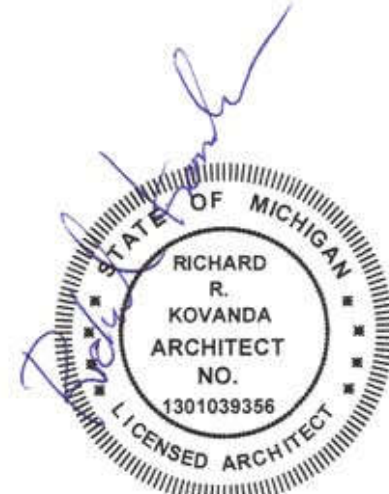
T-1.0	TITLE SHEET	M-2.0	MECHANICAL SCHEDULES
T-1.1	BASEMENT LIFE SAFETY PLAN	P-1.0	BASEMENT PLUMBING PLANS
T-1.2	FIRST FLOOR LIFE SAFETY PLAN	P-2.0	FIRST FLOOR SANITARY PLUMBING PLAN
T-1.3	SECOND FLOOR LIFE SAFETY PLAN	P-2.1	FIRST FLOOR WATER PLUMBING PLAN
A-1.0	BASEMENT DEMOLITION PLAN	E-1.0	FIRST FLOOR ELECTRICAL PLANS
A-1.1	FIRST FLOOR DEMOLITION PLAN	E-2.0	BASEMENT & SECOND FLOOR ELECTRICAL PLANS
A-1.2	SECOND FLOOR DEMOLITION PLAN	E-2.0	BASEMENT & FIRST FLOOR LIGHTING PLANS
A-2.0	BASEMENT ARCHITECTURAL PLAN	E-3.0	ELECTRICAL SCHEDULES
A-2.1	FIRST FLOOR ARCHITECTURAL PLAN		
A-2.2	SECOND FLOOR ARCHITECTURAL PLAN		
A-2.3	ROOF PLAN		
A-3.0	BASEMENT REFLECTED CEILING PLAN		
A-3.1	FIRST FLOOR REFLECTED CEILING PLAN		
A-3.2	SECOND FLOOR REFLECTED CEILING PLAN		
A-4.0	ENLARGED PLANS & INTERIOR ELEVATIONS		
A-4.1	ENLARGED PLANS & INTERIOR ELEVATIONS		
A-4.2	ENLARGED PLANS & INTERIOR ELEVATIONS		
A-5.0	EXTERIOR ELEVATIONS		
M-1.0	BASEMENT MECHANICAL PLAN		
M-1.1	FIRST FLOOR MECHANICAL PLAN		
M-1.2	SECOND FLOOR MECHANICAL PLAN		
M-1.3	MECHANICAL ROOF PLAN		

DEFERRED SUBMITTALS

FIRE SUPPRESSION

SCOPE OF WORK

THE SCOPE OF WORK INCLUDES THE RENOVATION OF AN EXISTING BUSINESS SPACE WITH NEW INTERIOR CONSTRUCTION, ELECTRICAL, PLUMBING, MECHANICAL, AND FIRE SUPPRESSION. NEW ROOF STRUCTURE TO BE PROVIDED FOR NEW MECHANICAL UNITS TO BE PROVIDED. SCOPE INCLUDES NEW EXTERIOR STEEL STAIRS AND ROOF TOP DECK.



ARK-TEC L.L.C.
ARCHITECTS

17376 West 12 Mile Rd.
Suite #105
Southfield, MI 48076
(248) 703-4494



3120 Oakley Park Rd.
Commerce Twp., MI 48390
Contact: Dan Patrus
Tel: 248-387-6177
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www.cirmi.net



3120 Oakley Park Rd.
Commerce, MI 48390
(248) 207-3407
Fax (248) 387-6178
metrocadgroup.com

Issued For:

03.27.2025	PROGRESS SET
04.01.2025	PERMITS

Job Title: **JAM HANDY - RENOVATIONS**

2900 E. GRAND BLVD
DETROIT, MI 48202

Sheet Title:

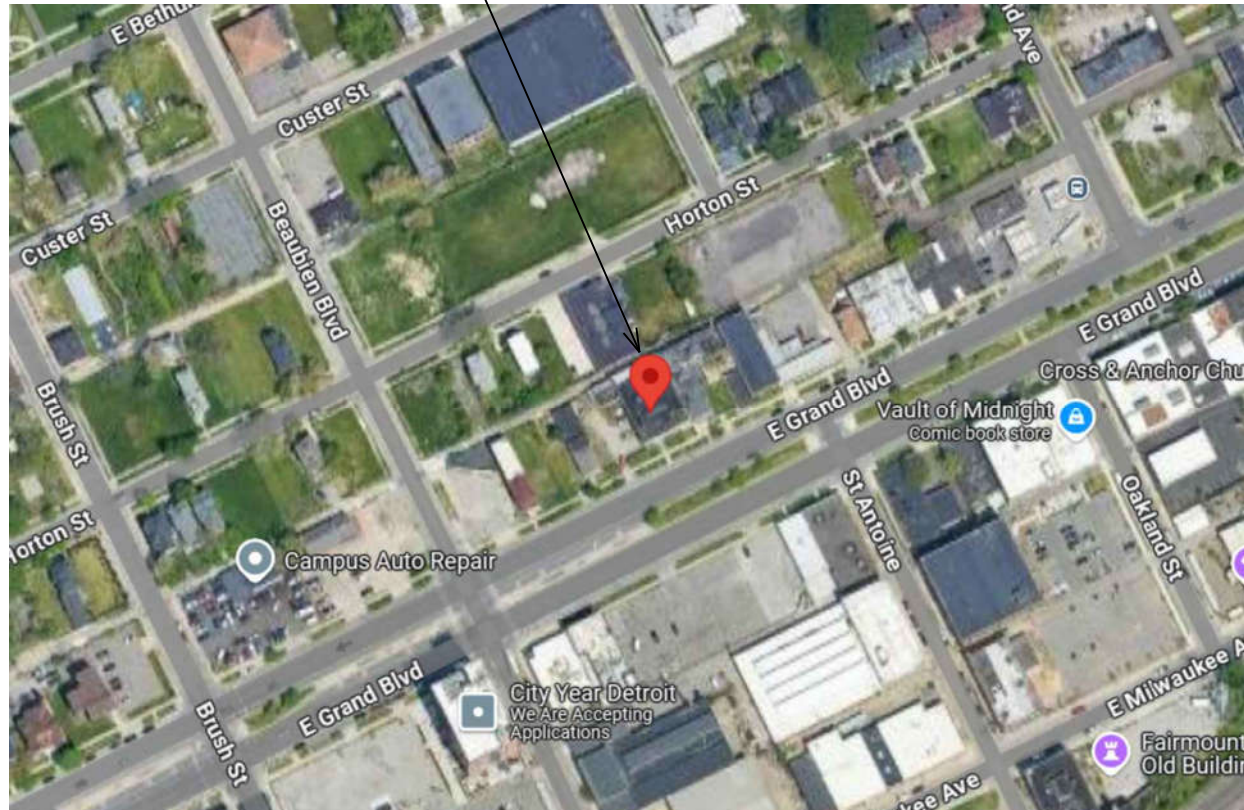
TITLE SHEET

Project No.:

Sheet No.:

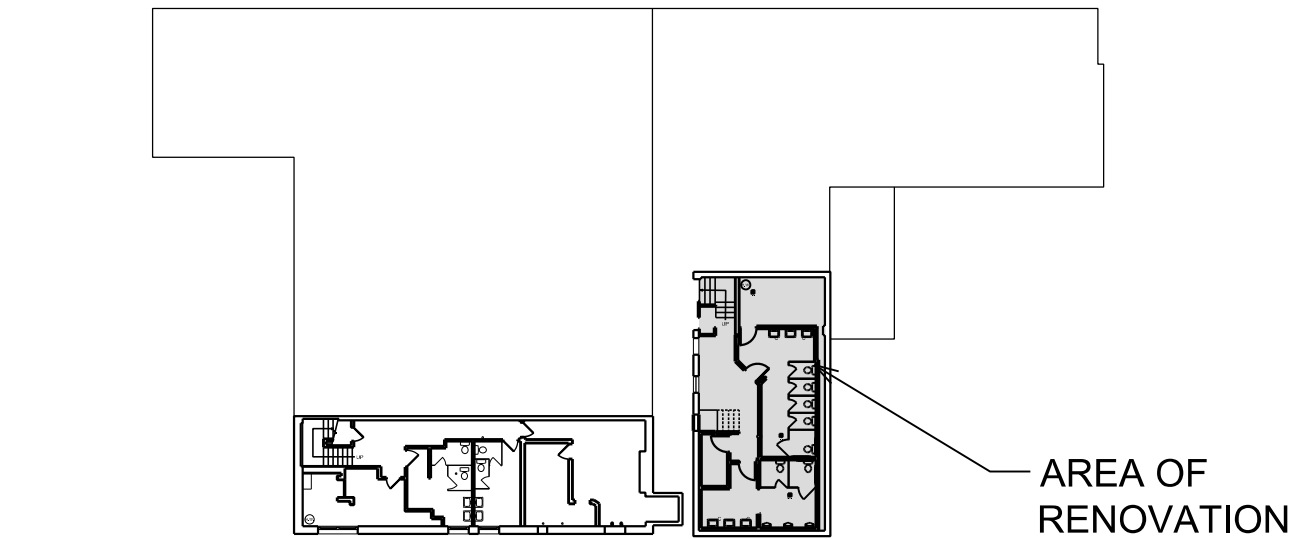
T-1.0

2900 E. GRAND BLVD.



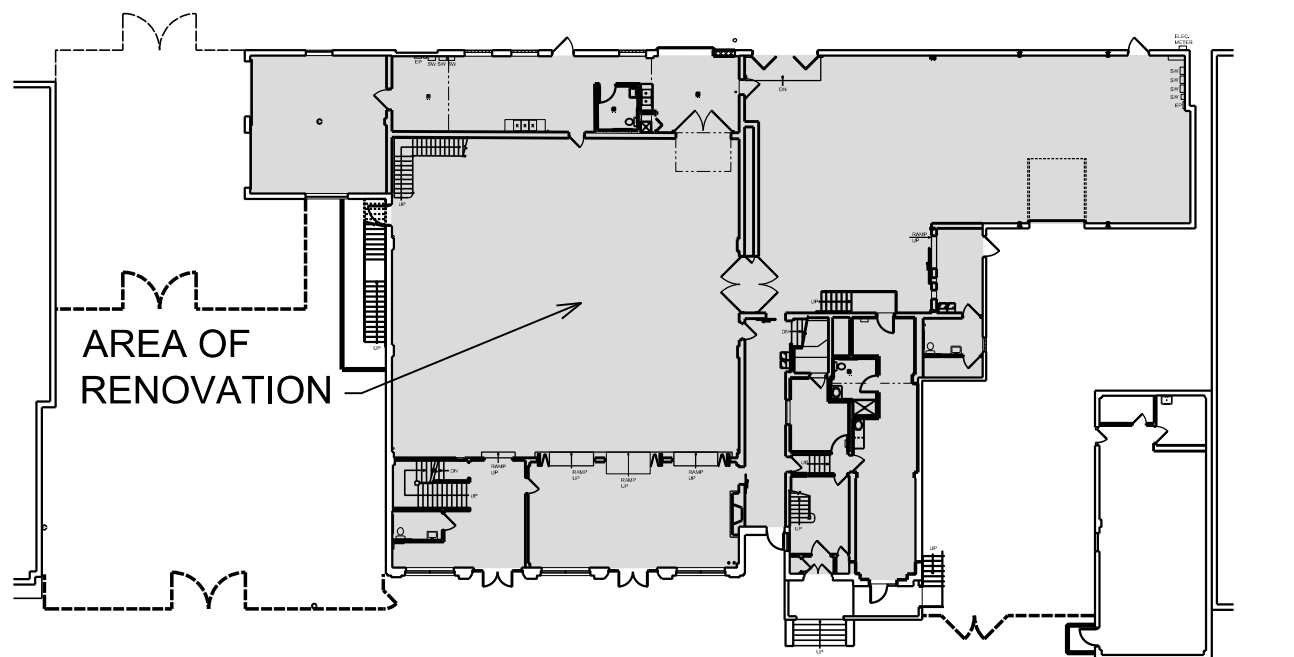
LOCATION MAP

NO SCALE



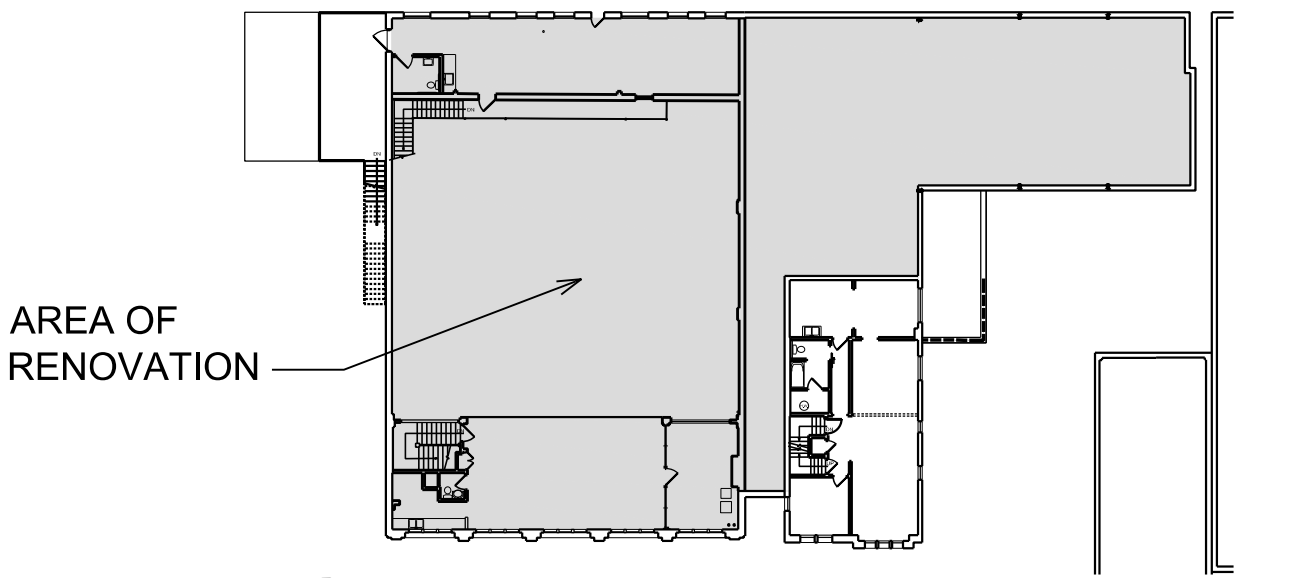
BASEMENT KEY PLAN

NO SCALE



FIRST FLOOR KEY PLAN

NO SCALE



SECOND FLOOR KEY PLAN

NO SCALE







OCCUPANCY DESIGNATION

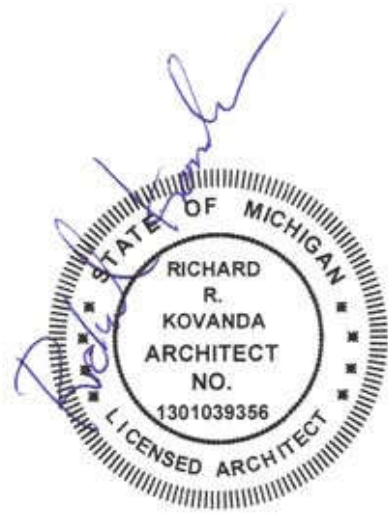
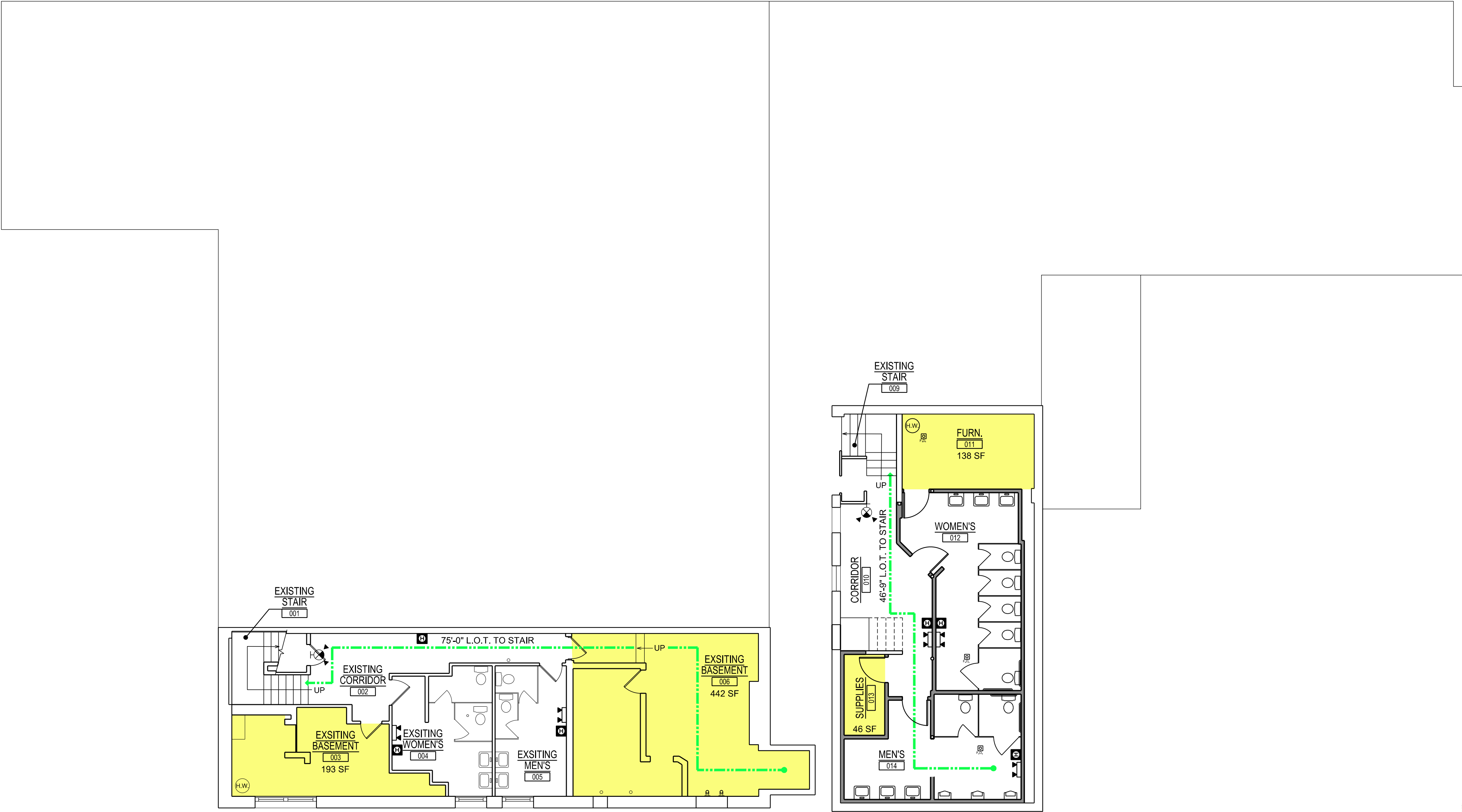
- "S" STORAGE
- "B" BUSINESS

JAM HANDY OCCUPANCY LOAD

BASEMENT	2,273 SQ FT
BASEMENT STORAGE	300 SQ FT GROSS/ OCCUPANT 819 SQ FT/ 300 SQ FT PER OCCUP. =3 OCCUPANTS
TOTAL BASEMENT OCCUPANCY	3 TOTAL OCCUPANTS
TOTAL BUILDING OCCUPANCY	541 TOTAL OCCUPANTS

EGRESS LEGEND

	NEW / RELOCATED EMERGENCY LT. W/ BATTERY PACK AUXILIARY POWER SOURCE EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.
	LITHONIA 6ELM-2P-SSB-H-1206 W/ 12W PAR36 HALOGEN LAMP OR EQUAL
	NEW / RELOCATED WALL MTD. EXIT LIGHT WITH BATTERY PACK AUXILIARY POWER SOURCE. DIRECTIONAL ARROWS AS INDICATED ON PLAN. EXIT & EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.
	NEW COMBINATION WALL MTD. EXIT LIGHT AND EMERGENCY LIGHT WITH BATTERY PACK AUXILIARY POWER SOURCE. DIRECTIONAL ARROWS AS INDICATED ON PLAN. EXIT & EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS. "LITHONIA" EDG.
	NEW FIRE HORN STROBE
	50'-0" DENOTES DIRECTION AND LENGTH OF TRAVEL



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04.01.2025	PERMITS

Job Title: **JAM HANDY - RENOVATIONS**
2900 E. GRAND BLVD
DETROIT, MI 48202

Sheet Title:
BASEMENT LIFE SAFETY PLAN

Project No.:

Sheet No.:
T-1.1

Sheet No.: **T-1.2**

OCCUPANCY DESIGNATION

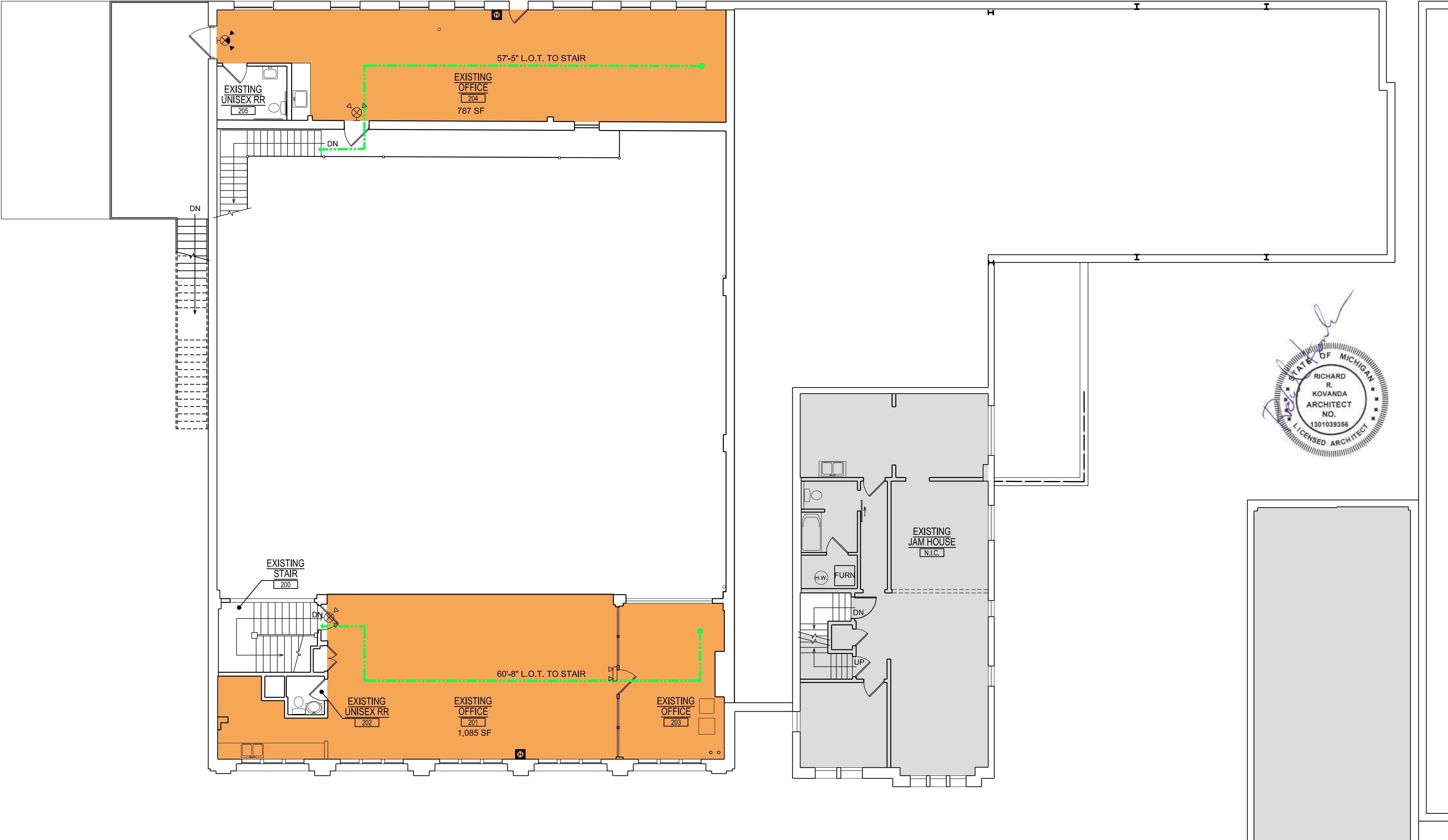
- "S" STORAGE
- "B" BUSINESS

JAM HANDY OCCUPANCY LOAD

SECOND FLOOR	2,114 SQ FT
SECOND FLOOR BUSINESS	100 SQ FT GROSS/ OCCUPANT 1,872 SQ FT/ 100 SQ FT PER OCCUP. =19 OCCUPANTS
TOTAL SECOND FLOOR OCCUPANCY	19 TOTAL OCCUPANTS
TOTAL BUILDING OCCUPANCY	109 TOTAL OCCUPANTS

EGRESS LEGEND

	NEW / RELOCATED EMERGENCY LT. W/ BATTERY PACK AUXILIARY POWER SOURCE EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.
	LITHONIA 6ELM-2P-SSB-H-1206 W/ 12W PAR36 HALOGEN LAMP OR EQUAL
	NEW / RELOCATED WALL MTD. EXIT LIGHT WITH BATTERY PACK AUXILIARY POWER SOURCE. DIRECTIONAL ARROWS AS INDICATED ON PLAN. EXIT & EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.
	NEW COMBINATION WALL MTD. EXIT LIGHT AND EMERGENCY LIGHT WITH BATTERY PACK AUXILIARY POWER SOURCE. DIRECTIONAL ARROWS AS INDICATED ON PLAN. EXIT & EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS. "LITHONIA" EDG.
	NEW FIRE HORN STROBE
	DENOTES DIRECTION AND LENGTH OF TRAVEL



SECOND FLOOR LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"

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JAM HANDY - RENOVATIONS

Job Title:

2900 E. GRAND BLVD
DETROIT, MI 48202

Sheet Title:

SECOND FLOOR
LIFE SAFETY PLAN

Project No.:

Sheet No.:

T-1.3

DEMOLITION LEGEND	
	EXISTING EXTERIOR AND INTERIOR WALLS TO BE REMOVED, PATCH & REPAIR ALL FLOORS, WALLS CEILING AS REQUIRED
	EXISTING DOOR AND DOOR FRAME TO BE REMOVED, PATCH AND REPAIR ALL WALLS AS REQUIRED (TYP.)
	EXISTING PLUMBING FIXTURES TO BE REMOVED
	EXISTING ELECTRICAL PANEL TO BE REMOVED AND RELOCATED
	EXISTING DUPLEX ELECTRICAL OUTLET TO BE REMOVED
	EXISTING QUADRUPEX ELECTRICAL OUTLET TO BE REMOVED

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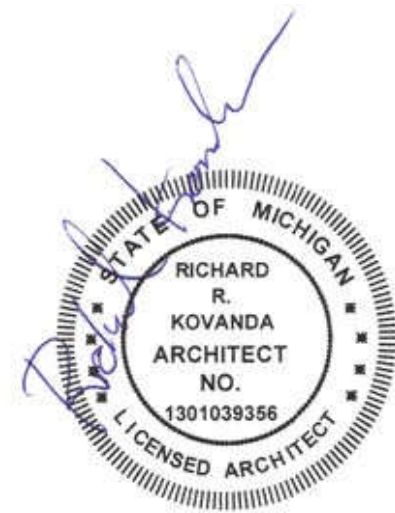
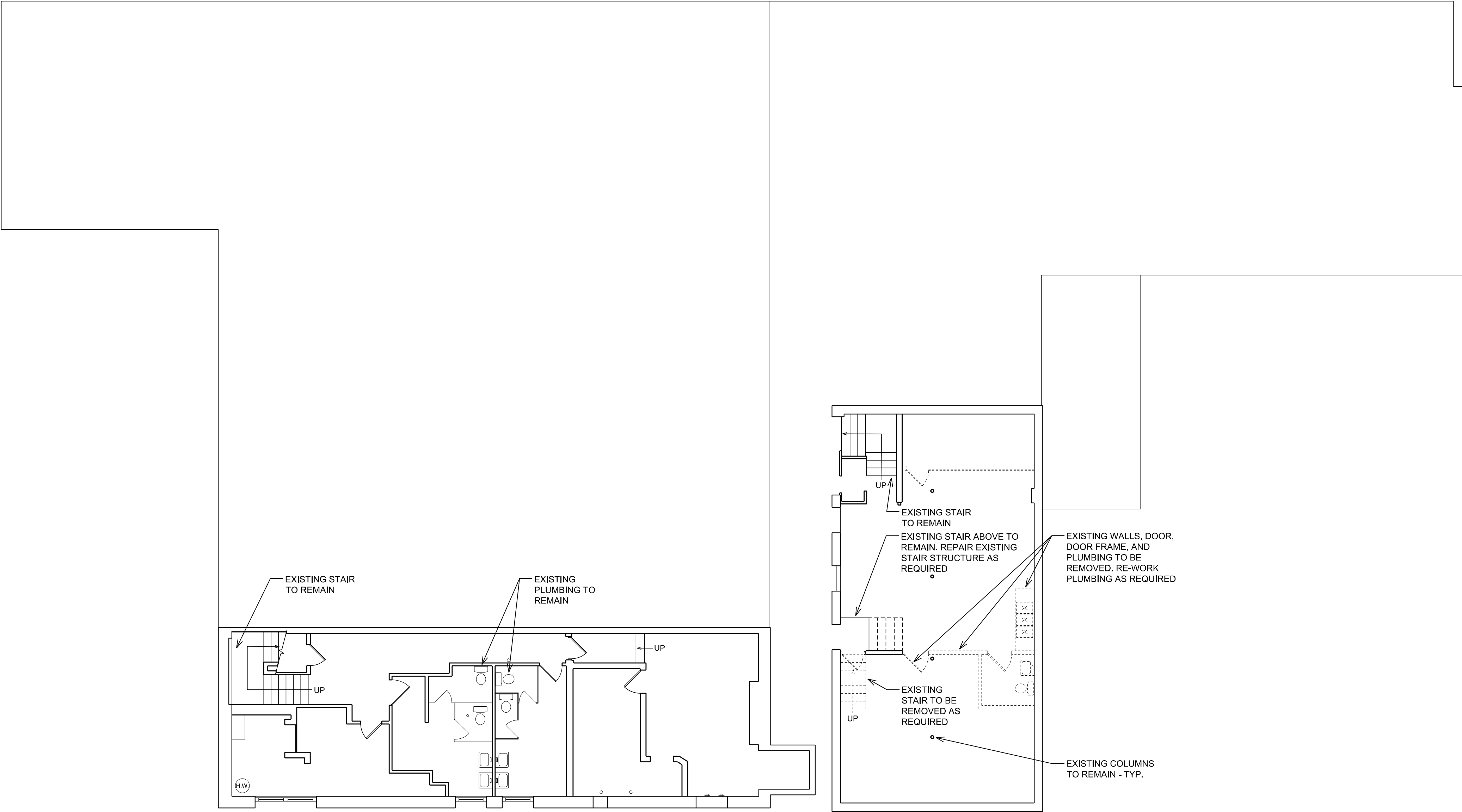
JAM HANDY - RENOVATIONS

Job Title:
2900 E. GRAND BLVD
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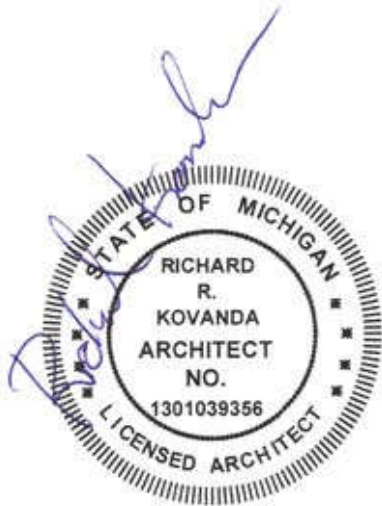
Sheet Title:
**BASEMENT
DEMOLITION PLAN**

Project No.:

Sheet No.:
A-1.0



DEMOLITION LEGEND	
	EXISTING EXTERIOR AND INTERIOR WALLS TO BE REMOVED. PATCH & REPAIR ALL FLOORS, WALLS CEILING AS REQUIRED
	EXISTING DOOR AND DOOR FRAME TO BE REMOVED, PATCH AND REPAIR ALL WALLS AS REQUIRED (TYP.)
	EXISTING PLUMBING FIXTURES TO BE REMOVED
	EXISTING ELECTRICAL PANEL TO BE REMOVED AND RELOCATED
	EXISTING DUPLEX ELECTRICAL OUTLET TO BE REMOVED
	EXISTING QUADRUPLUX ELECTRICAL OUTLET TO BE REMOVED



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Job Title: **JAM HANDY - RENOVATIONS**

2800 E. GRAND BLVD
DETROIT, MI 48202

Sheet Title:




**FIRST FLOOR
DEMOLITION PLAN**

Project No.:

Sheet No.:
A-1.1

 **SECOND FLOOR DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"

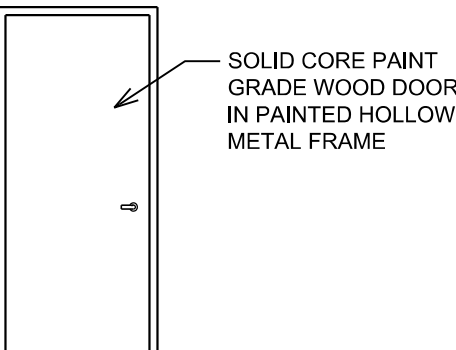
BASEMENT DOOR SCHEDULE								
NO.	SIZE	TYPE	DOOR		FRAME		HARDWARE	COMMENTS
			MATERIAL	FINISH	MATERIAL	FINISH		
011	3'-0" x 7'-0" x 1-3/4"	A	SOLID WOOD	PAINT	HM	PAINT	STORAGE	PROVIDE VENT IN DOOR
012	3'-0" x 7'-0" x 1-3/4"	A	SOLID WOOD	PAINT	HM	PAINT	PRIVACY	--
013	3'-0" x 7'-0" x 1-3/4"	A	SOLID WOOD	PAINT	HM	PAINT	--	--
014	3'-0" x 7'-0" x 1-3/4"	A	SOLID WOOD	PAINT	HM	PAINT	PRIVACY	--

BASEMENT PARTITION LEGEND	
	EXISTING PARTITION OR PERIMETER WALL TO REMAIN
	NEW PARTITION TO UNDERSIDE OF EXISTING STRUCTURE AT 7'-0" A.F.F. CONSTRUCT WITH 5/8" GYP. BD. ON EACH SIDE OF 25 GA. 3 5/8" METAL STUDS AT 16" O.C. WITH BATT INSULATION
	DENOTES NEW DOOR AND FRAME - SEE DOOR SCHEDULE

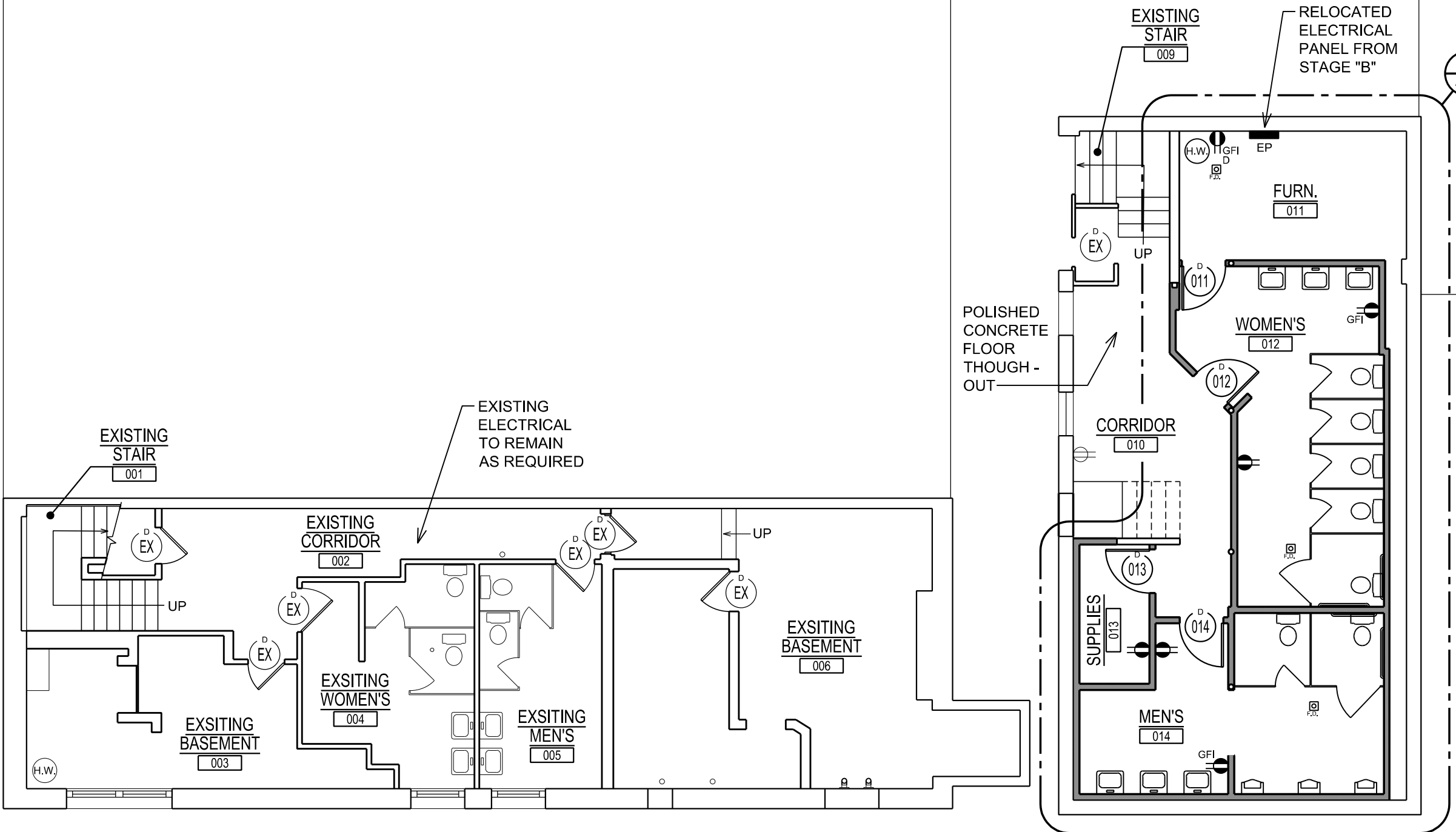
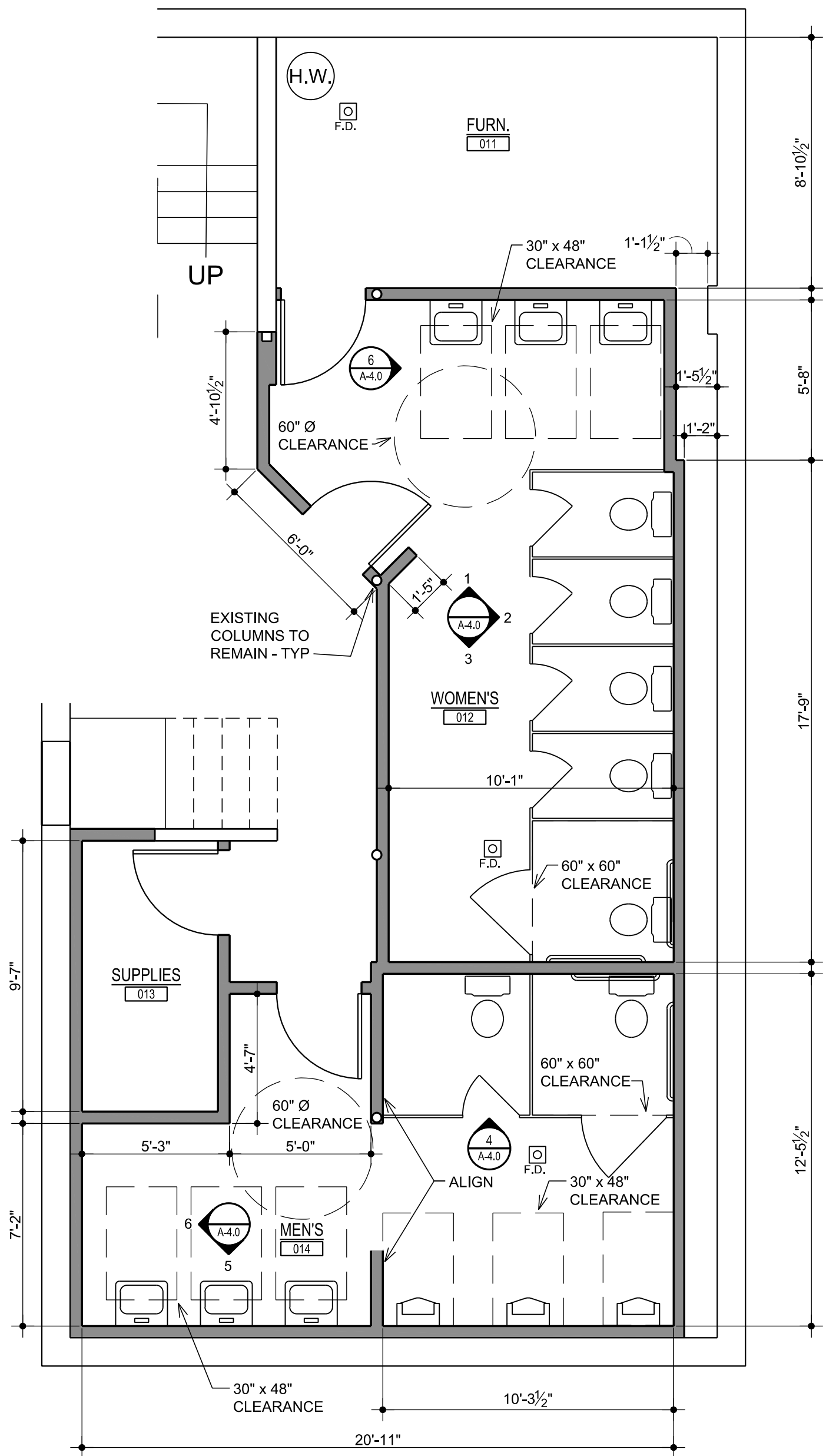
DOOR NOTES:

GENERAL:

- A. ROUGH ALL NEW DOOR OPENINGS WITH HEAVY GAUGE METAL OR NON-COMB WOOD STUDS
- B. ALL LEVERS & LOCK MECHANISMS SHALL MEET BARRIER FREE REQUIREMENTS.
- C. ALL HARDWARE TO BE STAINLESS STEEL FINISH
- D. ALL NEW SWING DOORS TO RECEIVE NEW WALL BUMPERS OR DOME STOPS.



A



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Job Title: **JAM HANDY - RENOVATIONS**

2900 E. GRAND BLVD
DETROIT MI 48202

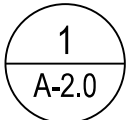
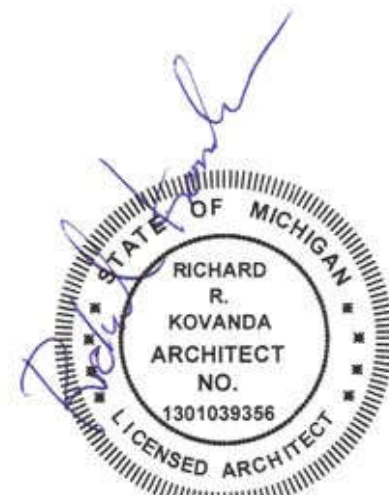
Sheet Title:

ARCHITECTURAL BASEMENT PLAN

Project No.:

Sheet No.:

A-2.0



ENLARGED RESTROOM PLAN

SCALE: 1/4" = 1'-0"

BASEMENT ARCHITECTURAL PLAN

SCALE: 1/8" = 1'-0"

A SOLID CORE PAINT GRADE WOOD DOOR IN PAINTED HOLLOW METAL FRAME

PAINTED HOLLOW METAL DOOR IN PAINTED HOLLOW METAL FRAME W/ CLOSER

B

C SOLID CORE PAINT GRADE WOOD DOOR WITH VISION LITE IN PAINTED HOLLOW METAL FRAME

CLEAR TEMPERED GLASS DOOR WITH BRUSHED STAINLESS STEEL FINISH

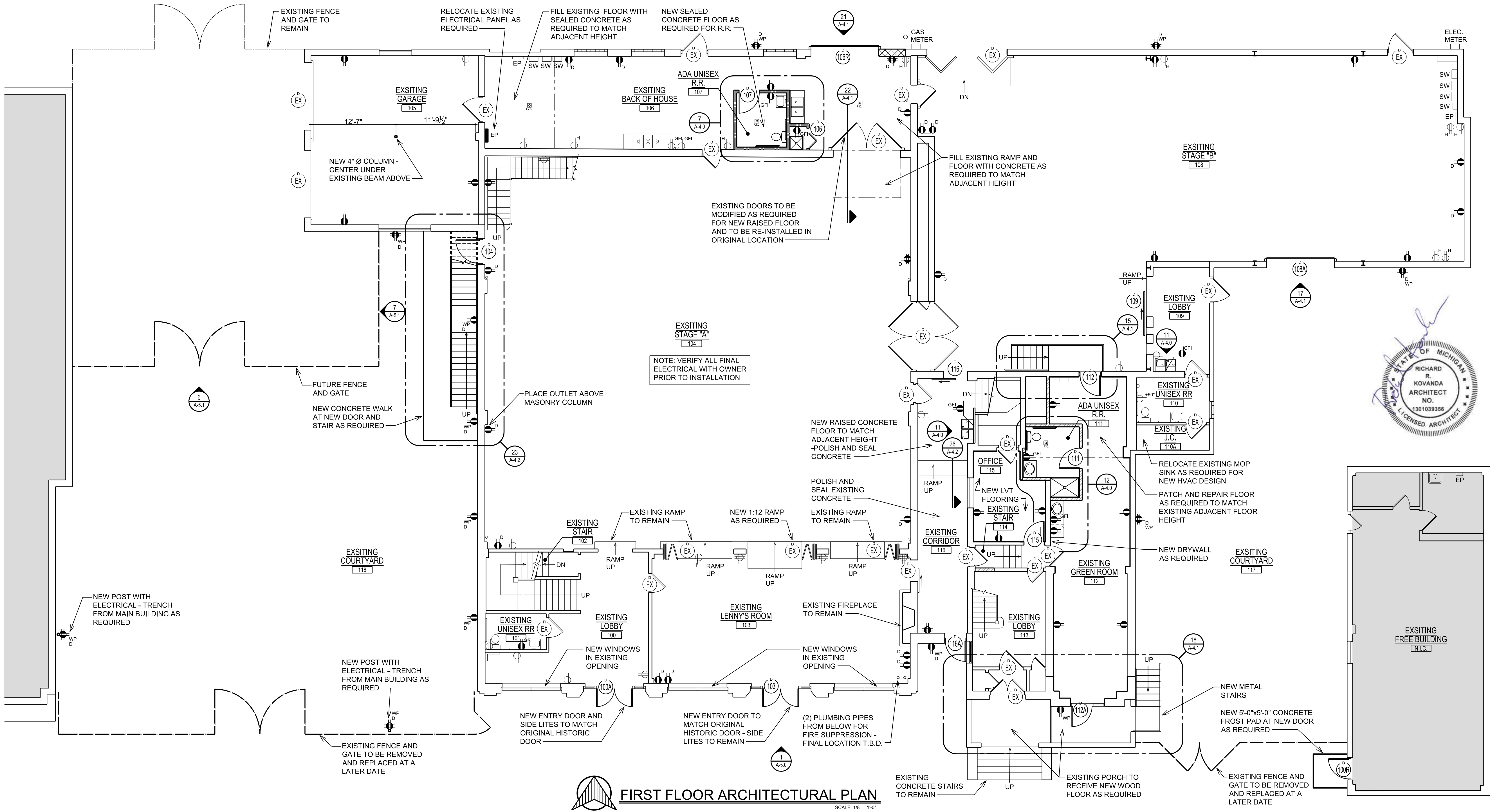
D

GENERAL:

- A. ROUGH ALL NEW DOOR OPENINGS WITH HEAVY GAUGE METAL OR NON-COMB WOOD STUDS
- B. ALL LEVERS & LOCK MECHANISMS SHALL MEET BARRIER FREE REQUIREMENTS.
- C. ALL HARDWARE TO BE STAINLESS STEEL FINISH
- D. ALL NEW SWING DOORS TO RECEIVE NEW WALL BUMPERS OR DOME STOPS.

FIRST FLOOR DOOR SCHEDULE								
NO.	SIZE	TYPE	DOOR		FRAME		HARDWARE	COMMENTS
			MATERIAL	FINISH	MATERIAL	FINISH		
100R	3'-0" x 7'-0" x 1-3/4"	-	EXISTING	EXISTING	EXISTING	EXISTING	-	--
100A	(2) 2'-8" x 6'-8" x 1-3/4"	-	ALUM.	PAINT	ALUM.	PAINT	ENTRY	VERIFY OPENING IN FIELD NEW DOOR TO MATCH ORIGINAL HISTORIC ENTRY DOOR
103	(2) 2'-8" x 6'-8" x 1-3/4"	-	ALUM.	PAINT	ALUM.	PAINT	ENTRY	VERIFY OPENING IN FIELD NEW DOOR TO MATCH ORIGINAL HISTORIC ENTRY DOOR
104	3'-6" x 7'-0" x 1-3/4"	B	METAL	PAINT	HM	PAINT	ENTRY	DOOR BY OWNER
106	BH-FOLD 3'-0" x 7'-0" x 1-3/4"	-	SOLID WOOD	PAINT	-	-	BH-FOLD	--
106R	O.H. 10'-0" x 11'-9"	-	EXISTING	EXISTING	EXISTING	EXISTING	-	--
107	3'-0" x 7'-0" x 1-3/4"	A	SOLID WOOD	PAINT	HM	PAINT	PRIVACY	--
108A	O.H. 10'-0" x 11'-9"	-	GLASS	--	HM	PAINT	--	--
109	SLIDING 6'-0" x 7'-9" x 1-3/4"	-	SOLID WOOD	STAIN	HM	PAINT	--	VERIFY FINAL SIZE IN FIELD
111	3'-0" x 7'-0" x 1-3/4"	A	SOLID WOOD	PAINT	HM	PAINT	PRIVACY	--
112	3'-0" x 7'-0" x 1-3/4"	C	SOLID WOOD	PAINT	HM	PAINT	PASSAGE	WITH VISION LITE
112A	3'-0" x 7'-0" x 1-3/4"	D	GLASS	-	HM	PAINT	ENTRY	--
115	3'-0" x 7'-0" x 1-3/4"	A	SOLID WOOD	PAINT	HM	PAINT	OFFICE	--
116	SLIDING 3'-7" x 7'-4" x 1-3/4"	-	SOLID WOOD	STAIN	HM	PAINT	--	VERIFY FINAL SIZE IN FIELD
116A	3'-0" x 7'-0" x 1-3/4"	B	METAL	PAINT	HM	PAINT	ENTRY	--

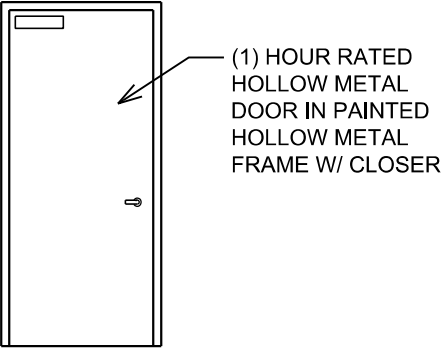
	EXISTING PARTITION OR PERIMETER WALL TO REMAIN
	NEW PARTITION TO UNDERSIDE OF CEILING AT 8'-11" A.F.F. CONSTRUCT WITH 5/8" GYP. BD. ON EACH SIDE OF 25 GA. 3 5/8" METAL STUDS AT 16" O.C. WITH BATT INSULATION
	NEW PARTITION TO 9'-0" A.F.F. CONSTRUCT WITH 5/8" GYP. BD. ON EACH SIDE OF 25 GA. 3 5/8" METAL STUDS AT 16" O.C. WITH BATT INSULATION
	DENOTES NEW DOOR AND FRAME - SEE DOOR SCHEDULE



NEW OUTLET LEGEND	
	NEW DUPLEX ELECTRICAL OUTLET @ 1'-6" A.F.F., TO < UNLESS NOTED OTHERWISE
	NEW GFCI DUPLEX ELECTRICAL OUTLET @ 44" A.F.F., TO < UNLESS NOTED OTHERWISE
	NEW DUPLEX ELECTRICAL OUTLET ON SEPARATE CIRCUIT @ 1'-6" A.F.F., U.N.O.
	NEW WATER PROOF DUPLEX ELECTRICAL OUTLET ON SEPARATE CIRCUIT @ 1'-6" A.F.F., U.N.O.
	NEW QUADRUPLUX ELECTRICAL OUTLET @ 1'-6" A.F.F., TO < UNLESS NOTED OTHERWISE
	NEW WATER PROOF QUADRUPLUX ELECTRICAL OUTLET ON SEPARATE CIRCUIT @ 1'-6" A.F.F., TO < UNLESS NOTED OTHERWISE
	NEW ELECTRICAL PANEL
	EXISTING DUPLEX ELECTRICAL OUTLET TO REMAIN
	EXISTING DUPLEX ELECTRICAL OUTLET ABOVE 8'-0" TO REMAIN
	EXISTING GFCI DUPLEX ELECTRICAL OUTLET TO REMAIN
	EXISTING QUADRUPLUX ELECTRICAL OUTLET TO REMAIN

SECOND FLOOR DOOR SCHEDULE							
NO.	SIZE	TYPE	DOOR		FRAME		COMMENTS
			MATERIAL	FINISH	MATERIAL	FINISH	
200	2'-8" x 7'-0" x 1-3/4"	A	METAL	PAINT	HM	PAINT	ENTRY (1) HOUR FIRE RATED

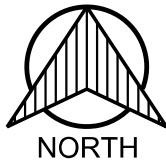
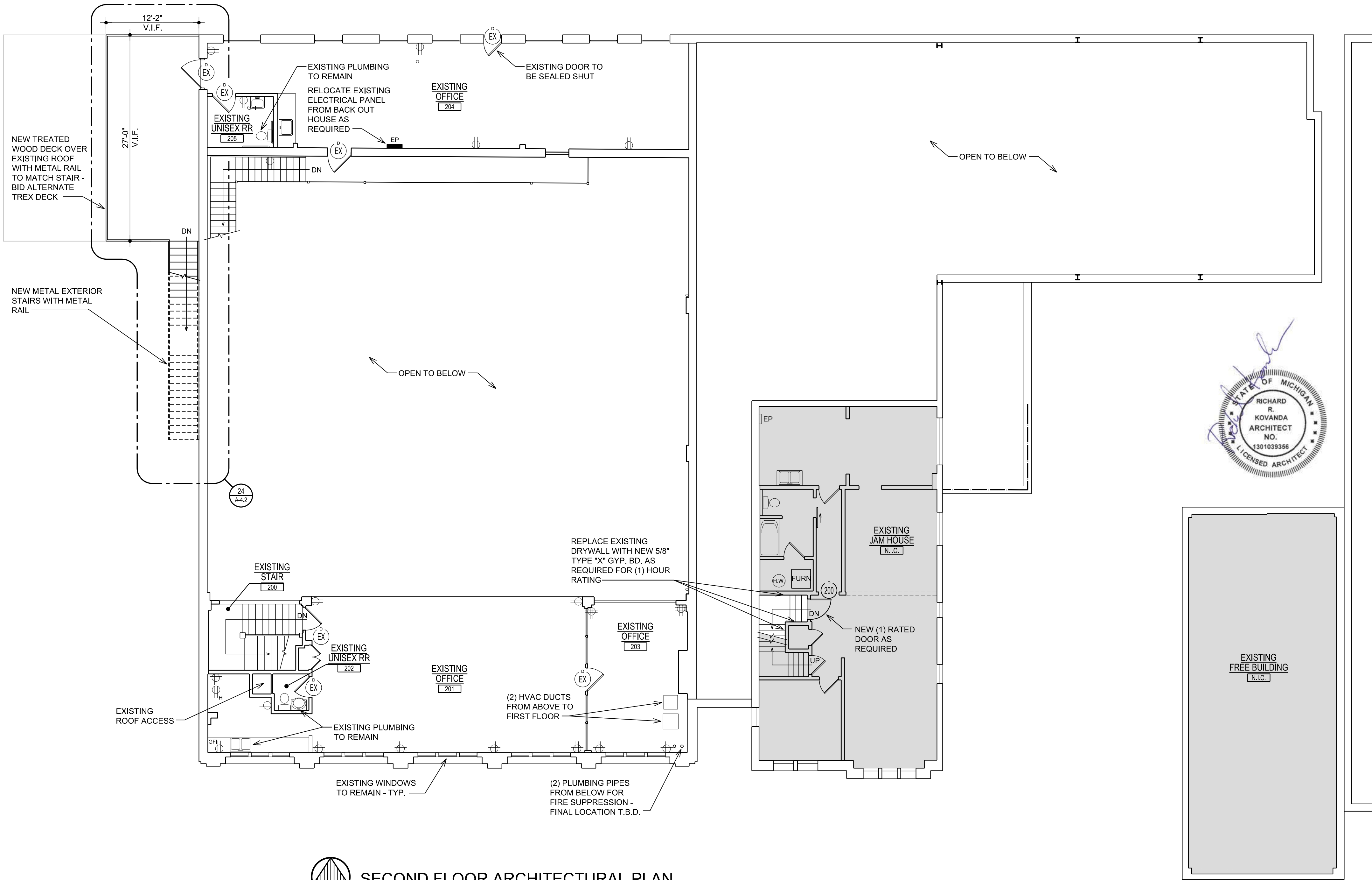
DOOR TYPES:



A

DOOR NOTES:

- GENERAL:
- A. ROUGH ALL NEW DOOR OPENINGS WITH HEAVY GAUGE METAL OR NON-COMB WOOD STUDS
 - B. ALL LEVERS & LOCK MECHANISMS SHALL MEET BARRIER FREE REQUIREMENTS.
 - C. ALL HARDWARE TO BE STAINLESS STEEL FINISH
 - D. ALL NEW SWING DOORS TO RECEIVE NEW WALL BUMPERS OR DOME STOPS.



SECOND FLOOR ARCHITECTURAL PLAN

SCALE: 1/8" = 1'-0"

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Job Title: JAM HANDY - RENOVATIONS

2900 E. GRAND BLVD
DETROIT, MI 48202

Sheet Title:

SECOND FLOOR
ARCHITECTURAL
PLAN

Project No.:

Sheet No.:

A-2.2

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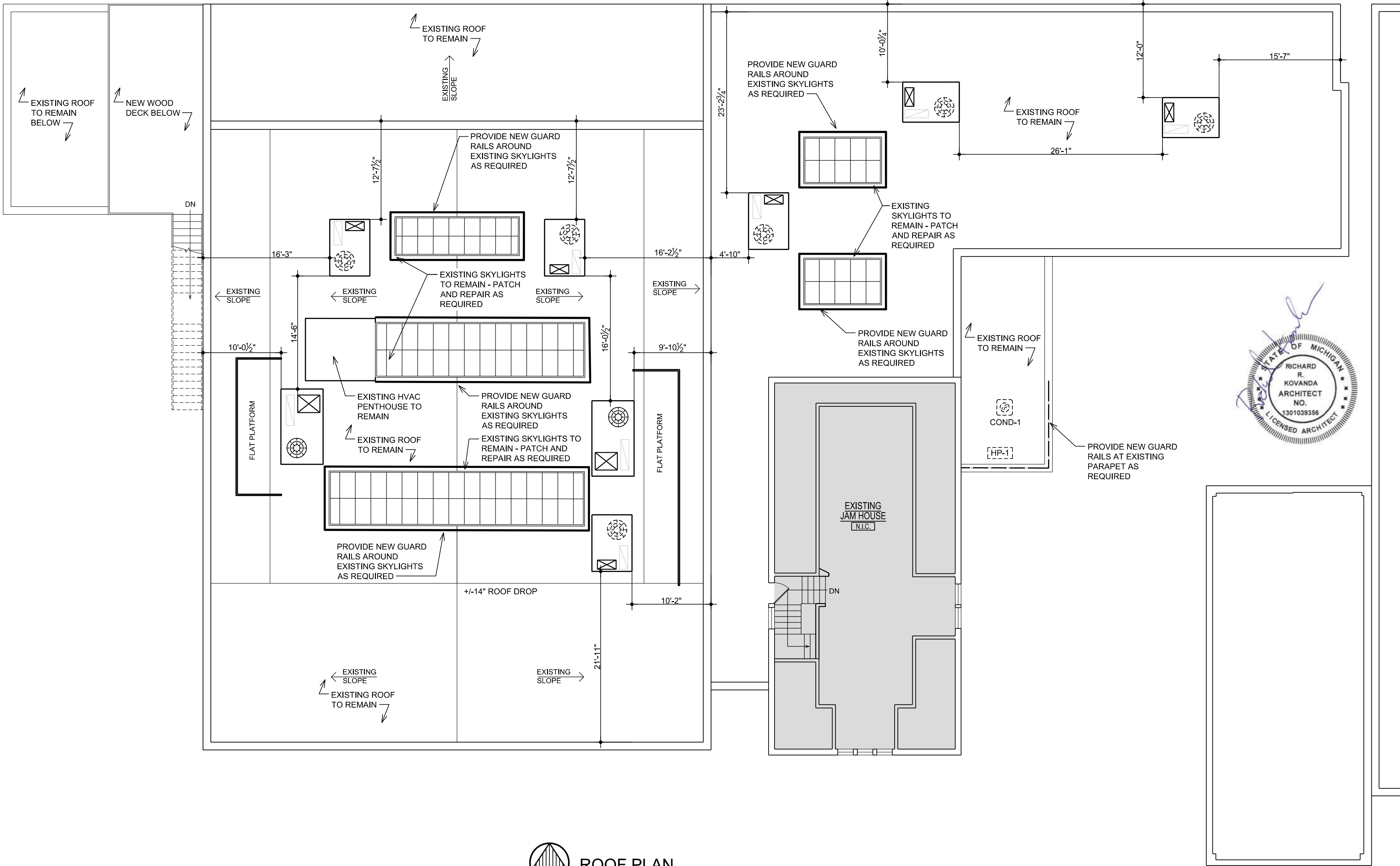
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DETROIT, MI 48202

Sheet Title:
ROOF PLAN

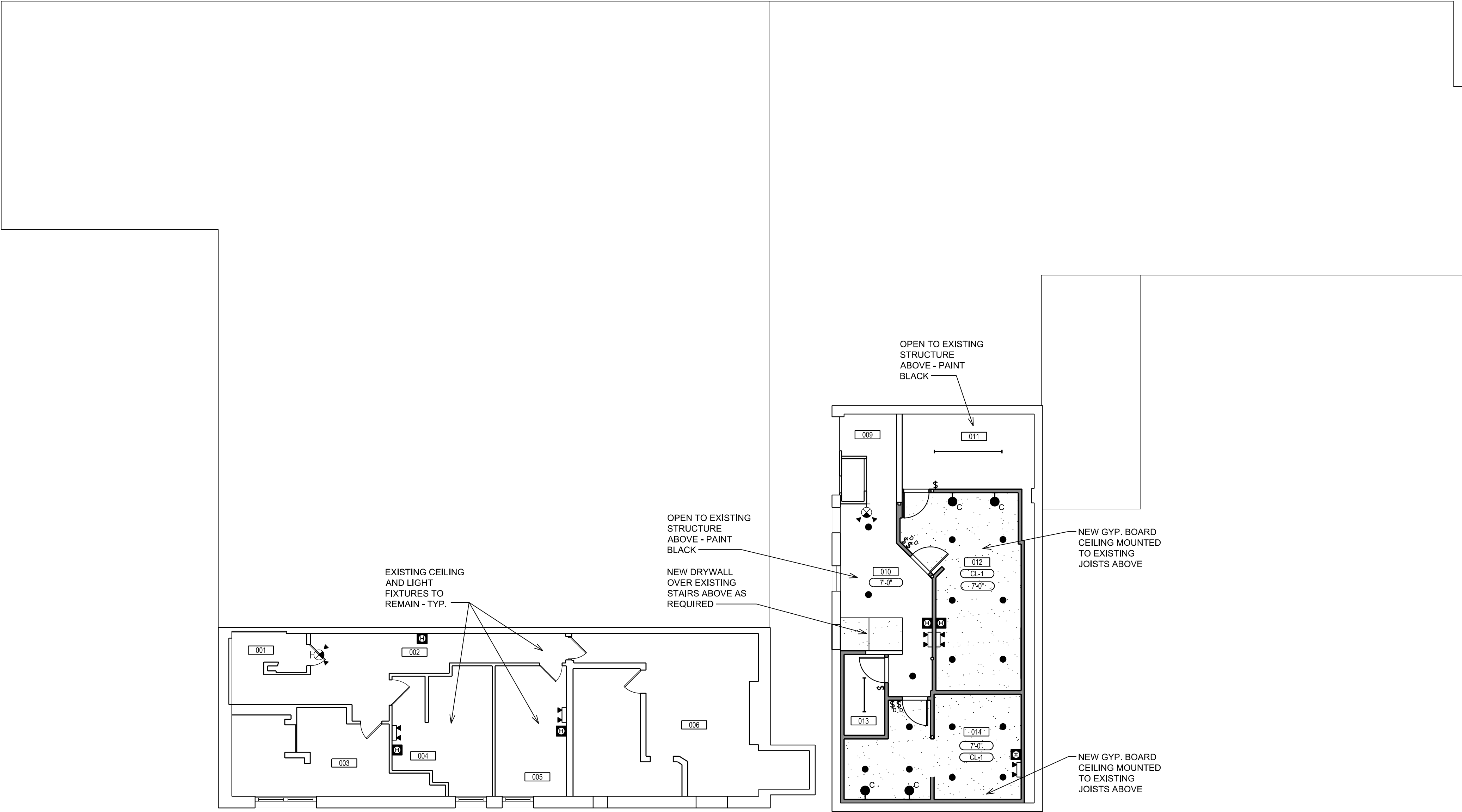
Project No.:

Sheet No.:
A-2.3



ROOF PLAN
SCALE: 1/8" = 1'-0"
NORTH

NEW REFLECTED CEILING LEGEND			
	NEW 2X2 CEILING GRID AND TILES TO BE INSTALLED		NEW LED LIGHT WALL PACK
	NEW GYP. BD. CEILING AS NOTED ON PLANS		NEW / RELOCATED WALL MTD. EXIT LIGHT WITH BATTERY PACK AUXILIARY POWER SOURCE. DIRECTIONAL ARROWS AS INDICATED ON PLAN. EXIT & EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.
	NEW 5/8" TYPE "X" GYP. BD. CEILING AS NOTED ON PLANS		NEW COMBINATION WALL MTD. EXIT LIGHT AND EMERGENCY LIGHT WITH BATTERY PACK AUXILIARY POWER SOURCE. DIRECTIONAL ARROWS AS INDICATED ON PLAN. EXIT & EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS. "LITHONIA" EDG.
	NEW 6"Ø LED RECESSED DOWNLIGHT - TYPE T.B.D.		NEW / RELOCATED CEILING MTD. EXIT LIGHT WITH BATTERY PACK AUXILIARY POWER SOURCE. DIRECTIONAL ARROWS AS INDICATED ON PLAN. EXIT & EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.
	NEW 4'-0" CEILING HUNG LED LIGHT FIXTURE - TYPE T.B.D.		NEW SWITCH AT BLDG. STD. HEIGHT, STAINLESS STEEL COVERPLATE & WHITE DEVICE
	NEW 8'-0" CEILING HUNG LED LIGHT FIXTURE - TYPE T.B.D.		NEW 3-WAY SWITCH AT BLDG. STD. HEIGHT, STAINLESS STEEL COVERPLATE & BROWN DEVICE TO MATCH EXISTING.
	NEW SURFACE MTD. DOWNLIGHT		NEW DIMMER SWITCH AT BLDG. STD. HEIGHT, STAINLESS STEEL COVERPLATE & BROWN DEVICE TO MATCH EXISTING.
	NEW EXTERIOR "UP AND DOWN" WALL MTD. SCONCE LIGHT		EXISTING CEILING MTD. LIGHT FIXTURE TO REMAIN
	NEW EXTERIOR WALL MTD. LIGHT		EXISTING RECESSED DOWNLIGHT TO REMAIN
	NEW INTERIOR WALL MTD. LIGHT		EXISTING WALL MTD. LIGHT TO REMAIN
	NEW EXHAUST FAN		EXISTING THERMOSTAT TO REMAIN
	NEW THERMOSTAT		EXISTING EMERGENCY LIGHT TO REMAIN
	NEW FIRE HORN STROBE		EXISTING WALL MTD. EXIT LIGHT TO REMAIN
	NEW / RELOCATED EMERGENCY LT. W/ BATTERY PACK AUXILIARY POWER SOURCE. EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.		EXISTING SWITCH TO REMAIN
	LITHONIA 6ELM-2P-SSB-H-1206 W/ 12W PAR36 HALOGEN LAMP OR EQUAL		EXISTING DUPLEX ELECTRICAL OUTLET TO REMAIN



BASEMENT REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

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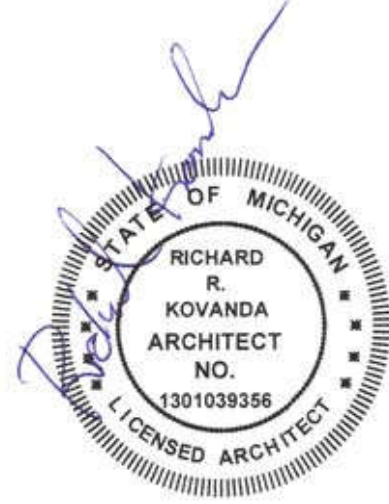
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04.01.2025 PERMITS

Job Title: **JAM HANDY - RENOVATIONS**
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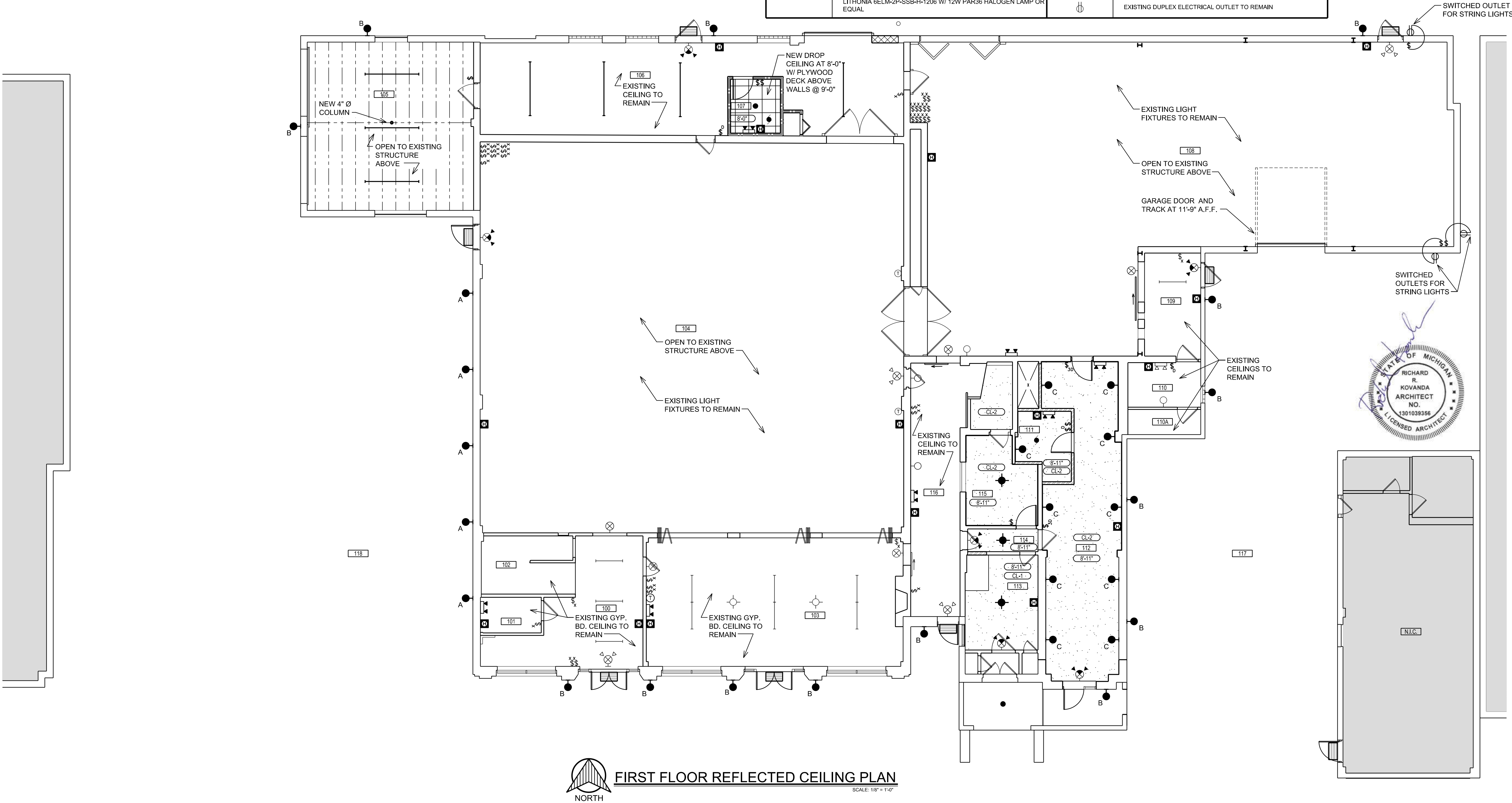
Sheet Title:
BASEMENT REFLECTED CEILING PLAN

Project No.:

Sheet No.:
A-3.0



NEW REFLECTED CEILING LEGEND			
	NEW 2X2 CEILING GRID AND TILES TO BE INSTALLED		NEW LED LIGHT WALL PACK
	NEW GYP. BD. CEILING AS NOTED ON PLANS		NEW / RELOCATED WALL MTD. EXIT LIGHT WITH BATTERY PACK AUXILIARY POWER SOURCE. DIRECTIONAL ARROWS AS INDICATED ON PLAN. EXIT & EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.
	NEW 5/8" TYPE "X" GYP. BD. CEILING AS NOTED ON PLANS		NEW COMBINATION WALL MTD. EXIT LIGHT AND EMERGENCY LIGHT WITH BATTERY PACK AUXILIARY POWER SOURCE. DIRECTIONAL ARROWS AS INDICATED ON PLAN. EXIT & EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS. "LITHONIA" EDG.
	NEW 6"Ø LED RECESSED DOWNLIGHT - TYPE T.B.D.		NEW / RELOCATED CEILING MTD. EXIT LIGHT WITH BATTERY PACK AUXILIARY POWER SOURCE. DIRECTIONAL ARROWS AS INDICATED ON PLAN. EXIT & EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.
	NEW 4'-0" CEILING HUNG LED LIGHT FIXTURE - TYPE T.B.D.		NEW SWITCH AT BLDG. STD. HEIGHT, STAINLESS STEEL COVERPLATE & WHITE DEVICE
	NEW 8'-0" CEILING HUNG LED LIGHT FIXTURE - TYPE T.B.D.		NEW 3-WAY SWITCH AT BLDG. STD. HEIGHT, STAINLESS STEEL COVERPLATE & BROWN DEVICE TO MATCH EXISTING.
	NEW SURFACE MTD. DOWNLIGHT		NEW DIMMER SWITCH AT BLDG. STD. HEIGHT, STAINLESS STEEL COVERPLATE & BROWN DEVICE TO MATCH EXISTING.
	NEW EXTERIOR "UP AND DOWN" WALL MTD. SCONCE LIGHT		EXISTING CEILING MTD. LIGHT FIXTURE TO REMAIN
	NEW EXTERIOR WALL MTD. LIGHT		EXISTING RECESSED DOWNLIGHT TO REMAIN
	NEW INTERIOR WALL MTD. LIGHT		EXISTING WALL MTD. LIGHT TO REMAIN
	NEW EXHAUST FAN		EXISTING THERMOSTAT TO REMAIN
	NEW THERMOSTAT		EXISTING EMERGENCY LIGHT TO REMAIN
	NEW FIRE HORN STROBE		EXISTING WALL MTD. EXIT LIGHT TO REMAIN
	NEW / RELOCATED EMERGENCY LT. W/ BATTERY PACK AUXILIARY POWER SOURCE. EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.		EXISTING SWITCH TO REMAIN
	LITHONIA 6ELM-2P-SSB-H-1206 W/ 12W PAR36 HALOGEN LAMP OR EQUAL		EXISTING DUPLEX ELECTRICAL OUTLET TO REMAIN



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JAM HANDY - RENOVATIONS

Job Title:

RICHARD R. KOVANDA
ARCHITECT
NO. 1301039356
LICENSED ARCHITECT

2900 E. GRAND BLVD
DETROIT, MI 48202

Sheet Title:

FIRST FLOOR
REFLECTED
CEILING PLAN

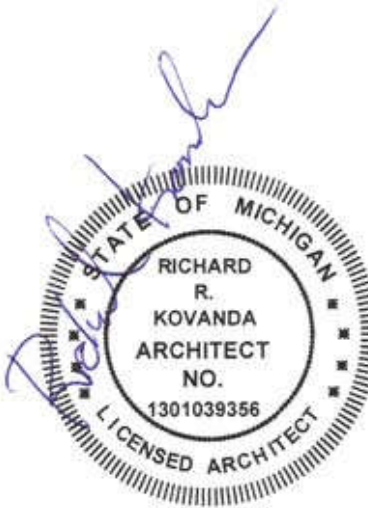
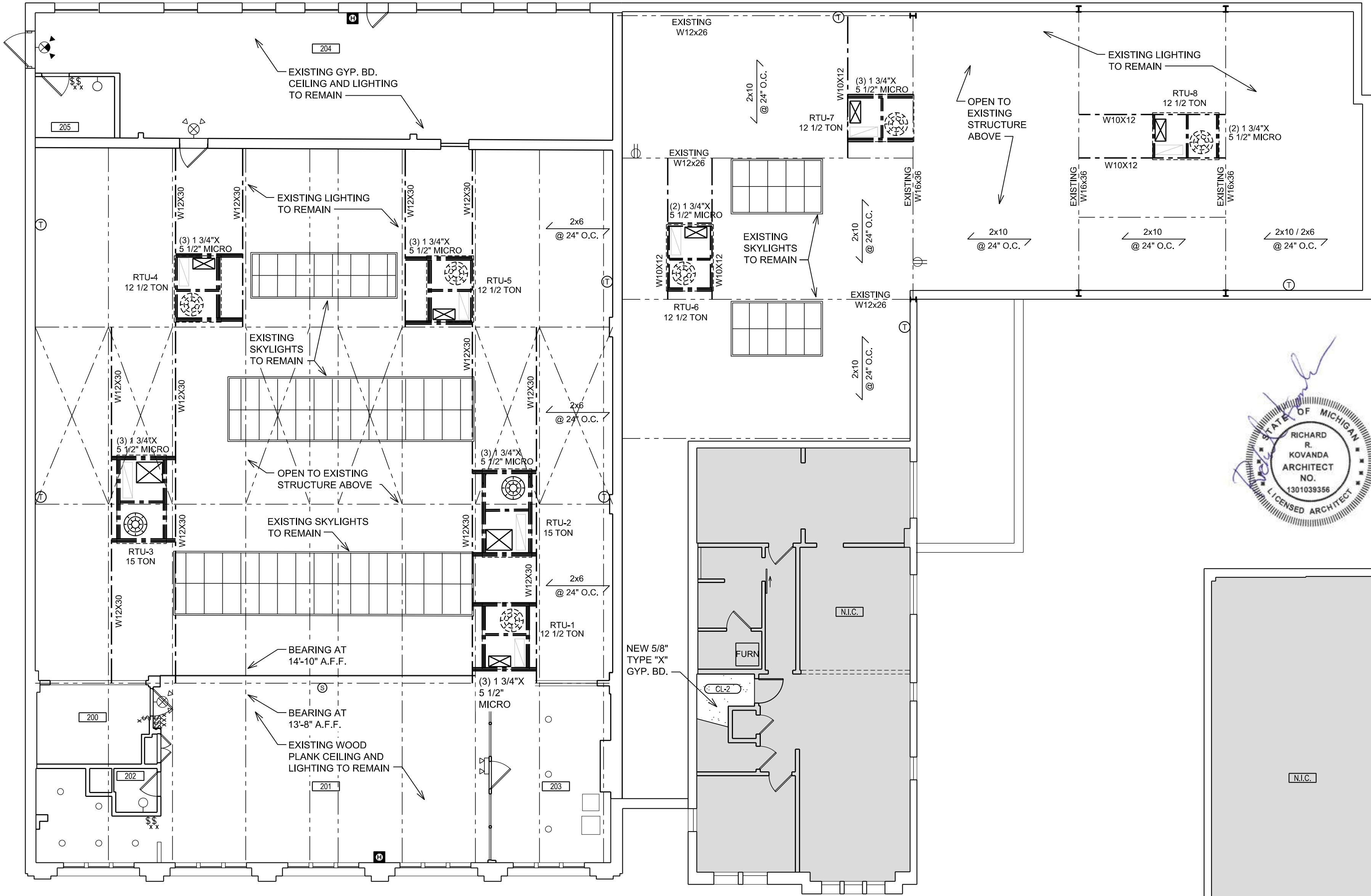
Project No.:

Sheet No.:

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NEW REFLECTED CEILING LEGEND			
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	NEW GYP. BD. CEILING AS NOTED ON PLANS		NEW / RELOCATED WALL MTD. EXIT LIGHT WITH BATTERY PACK AUXILIARY POWER SOURCE. DIRECTIONAL ARROWS AS INDICATED ON PLAN. EXIT & EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.
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	NEW EXTERIOR "UP AND DOWN" WALL MTD. SCONCE LIGHT		EXISTING CEILING MTD. LIGHT FIXTURE TO REMAIN
	NEW EXTERIOR WALL MTD. LIGHT		EXISTING RECESSED DOWNLIGHT TO REMAIN
	NEW INTERIOR WALL MTD. LIGHT		EXISTING WALL MTD. LIGHT TO REMAIN
	NEW EXHAUST FAN		EXISTING THERMOSTAT TO REMAIN
	NEW THERMOSTAT		EXISTING EMERGENCY LIGHT TO REMAIN
	NEW FIRE HORN STROBE		EXISTING WALL MTD. EXIT LIGHT TO REMAIN
	NEW / RELOCATED EMERGENCY LT. W/ BATTERY PACK AUXILIARY POWER SOURCE. EMERGENCY CIRCUITS SHALL BE IDENTIFIED & SHALL HAVE LOCK OPEN DEVICE ON BREAKERS PROTECTING THESE CIRCUITS.		EXISTING SWITCH TO REMAIN
	LITHONIA 6ELM-2P-SSB-H-1206 W/ 12W PAR36 HALOGEN LAMP OR EQUAL		EXISTING DUPLEX ELECTRICAL OUTLET TO REMAIN

STRUCTURAL NOTE:
REPAIR ALL EXISTING CROSS
BRACING AND LOOSE BOLT
CONNECTIONS



SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

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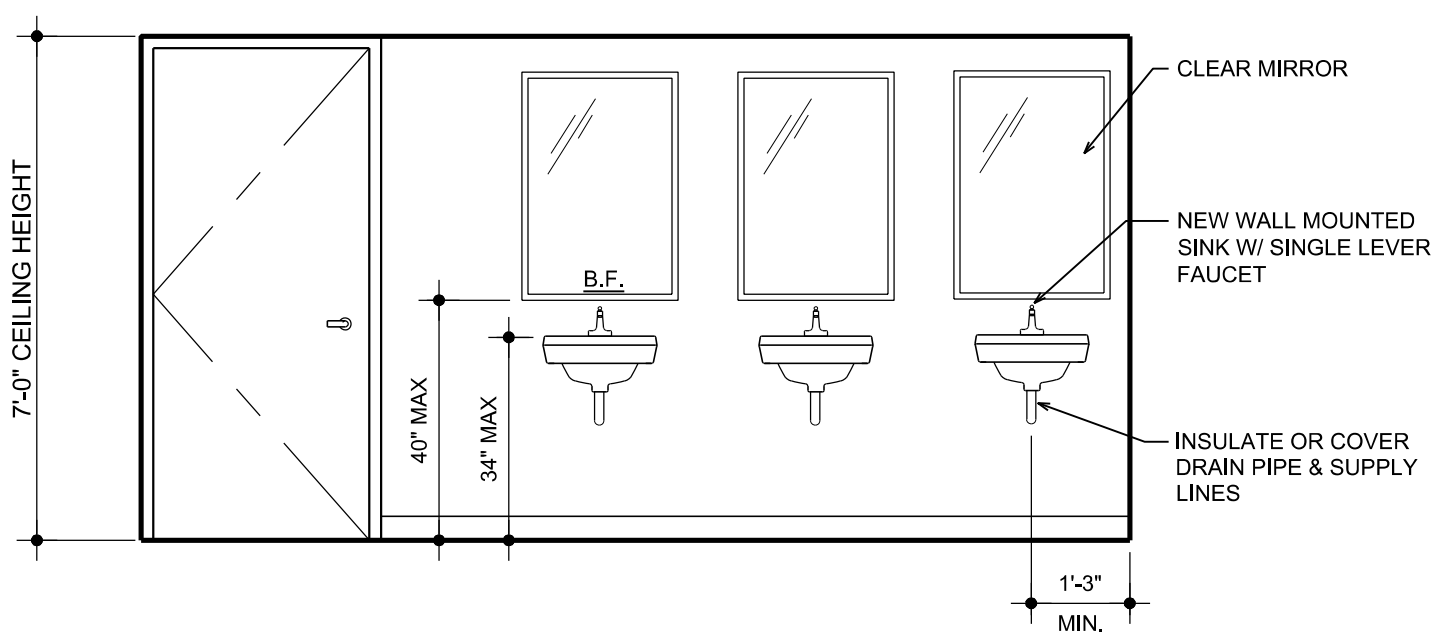
Job Title: JAM HANDY - RENOVATIONS

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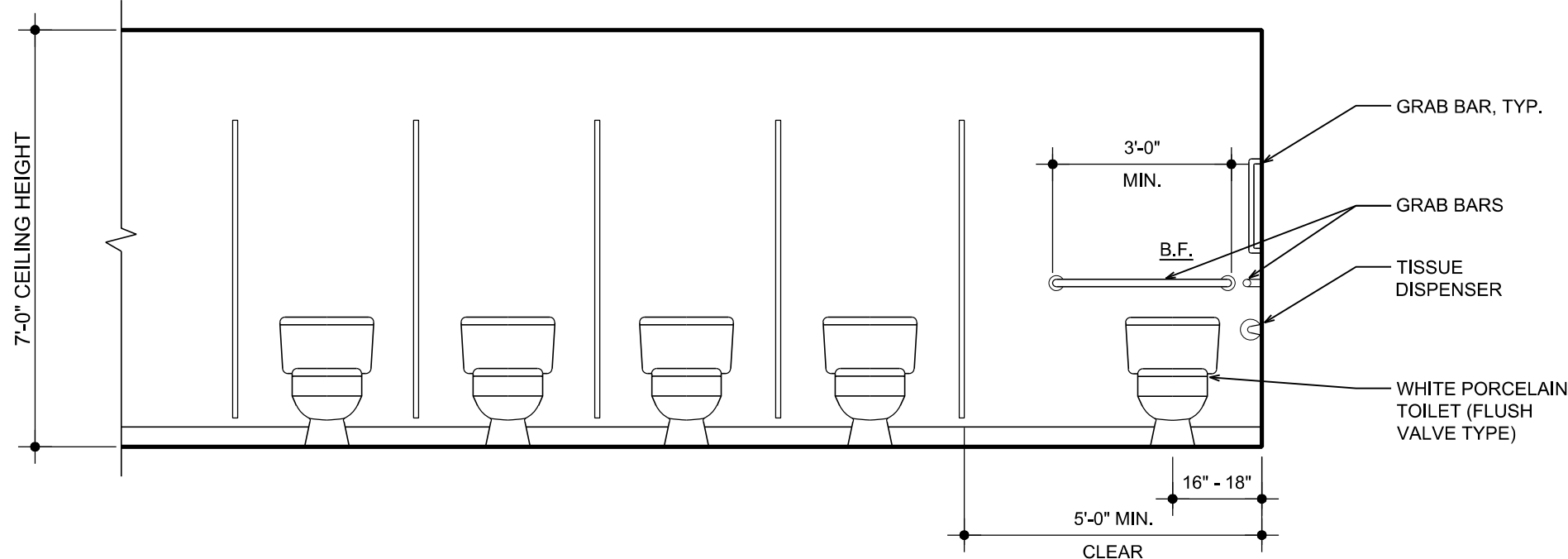
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SECOND FLOOR
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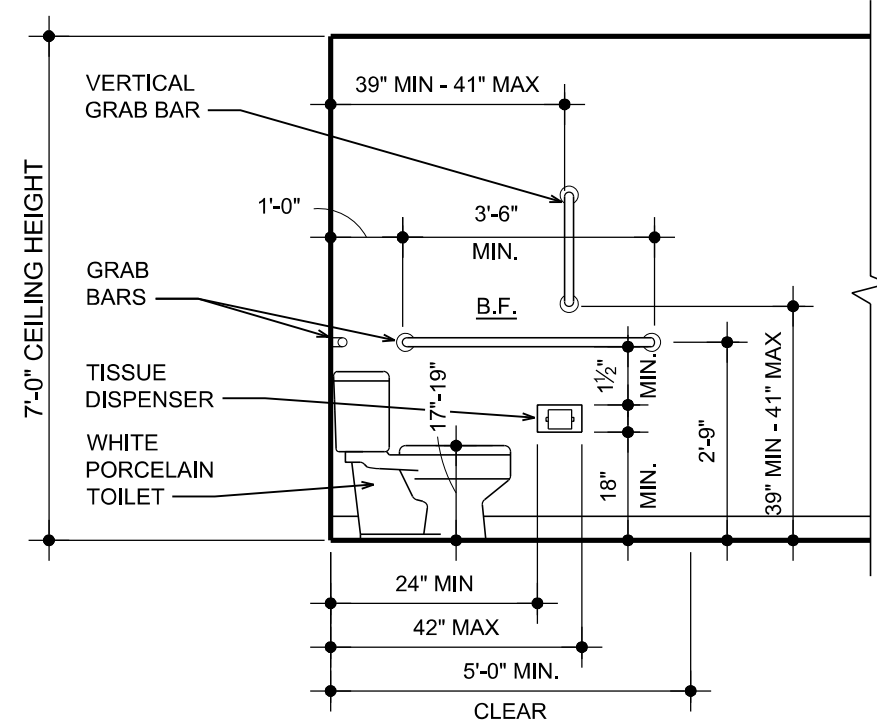
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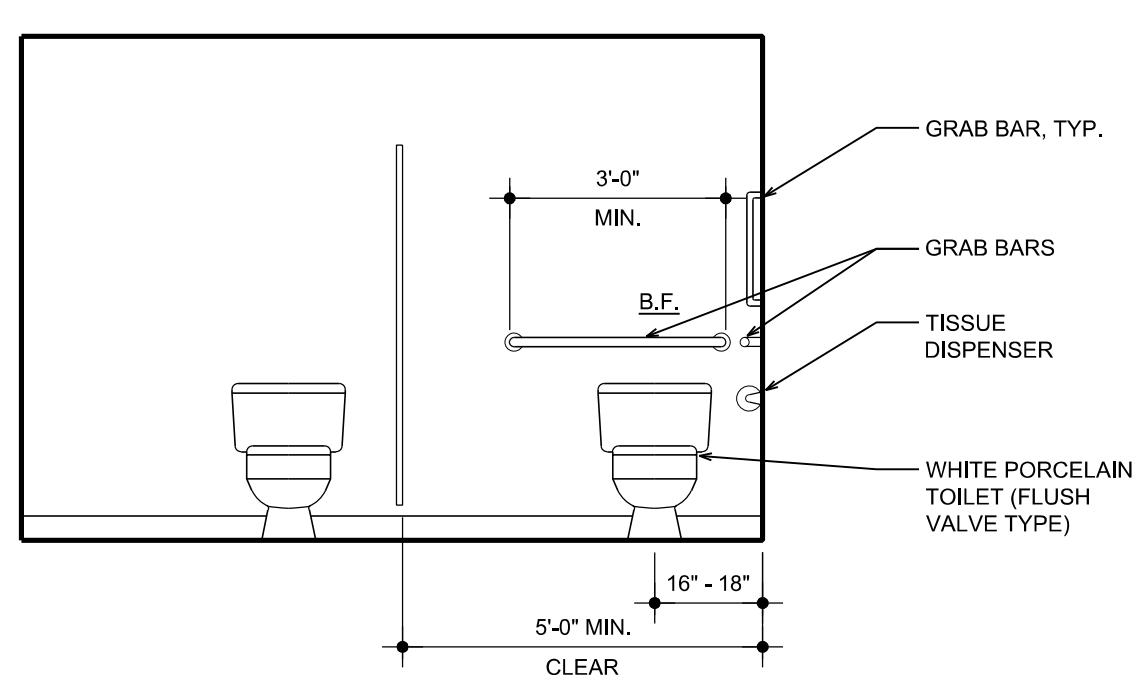
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A-2.0
WOMEN'S 012 - ELEVATION
SCALE: 3/8" = 1'-0"



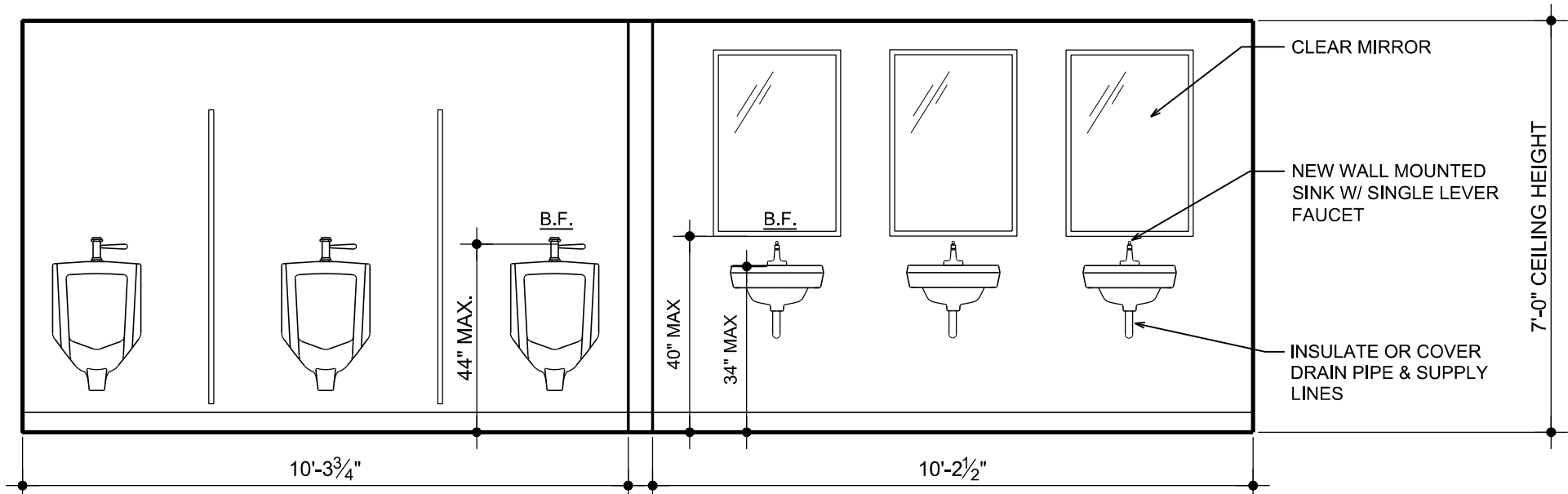
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WOMEN'S 012 - ELEVATION
SCALE: 3/8" = 1'-0"



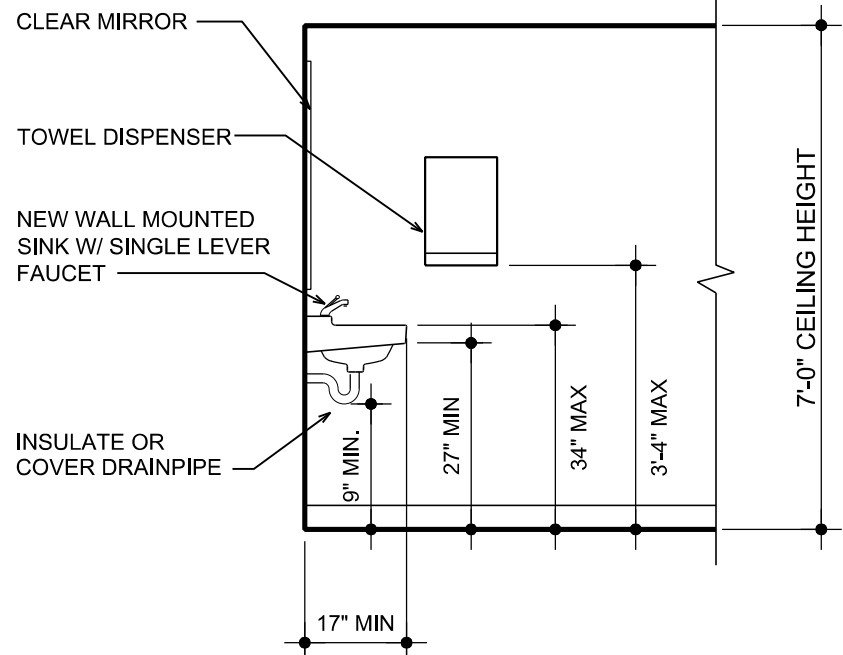
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WOMEN'S 012 - ELEVATION
SCALE: 3/8" = 1'-0"



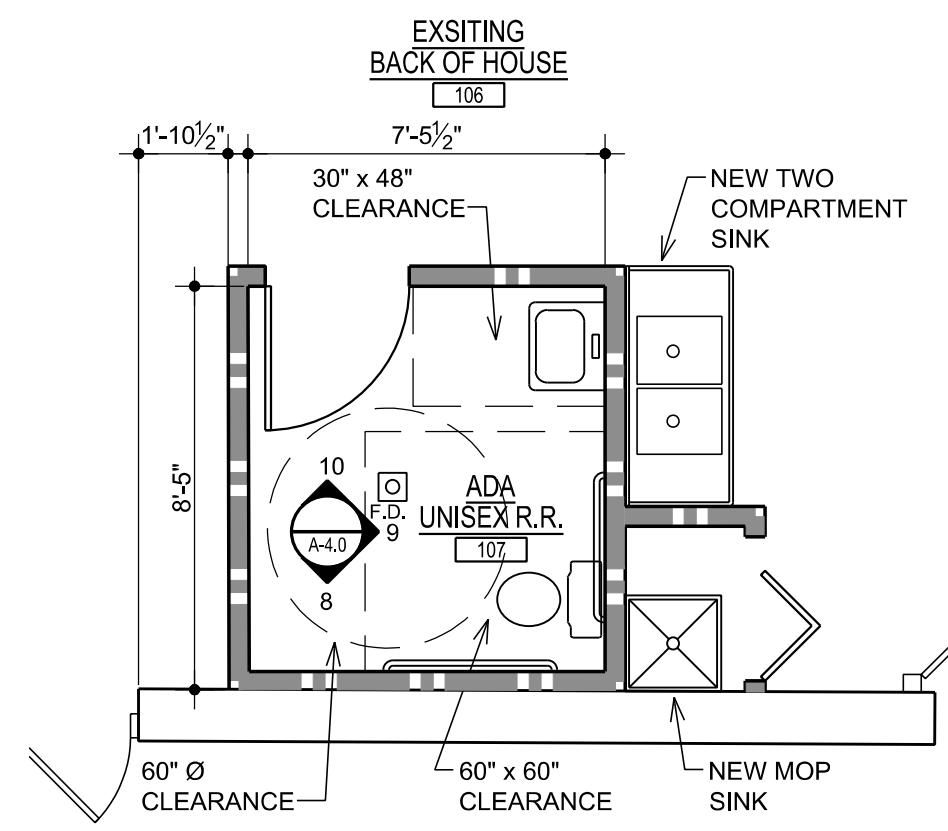
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MEN'S 014 - ELEVATION
SCALE: 3/8" = 1'-0"



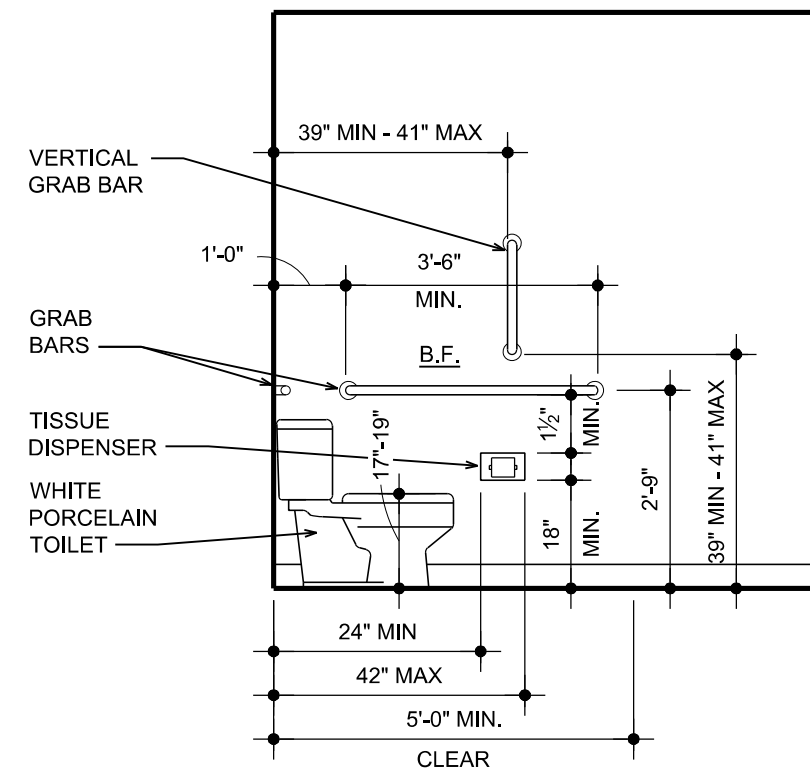
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MEN'S 014 - ELEVATION
SCALE: 3/8" = 1'-0"



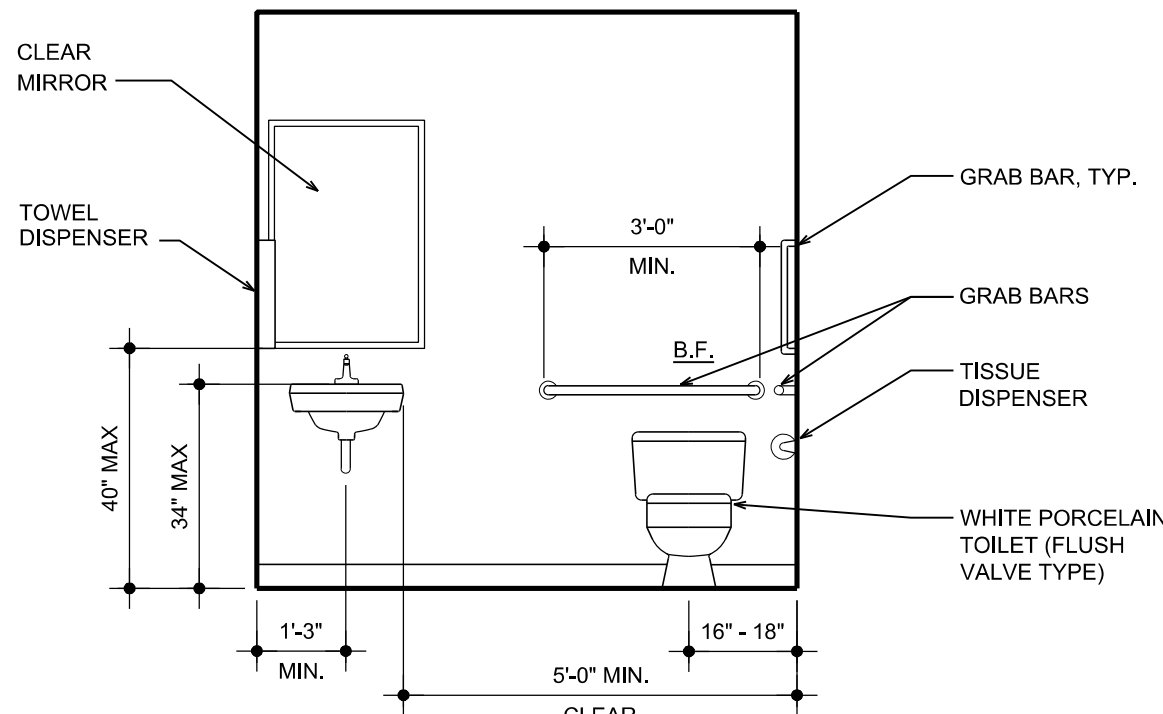
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WOMEN'S 014 - ELEVATION
SCALE: 3/8" = 1'-0"



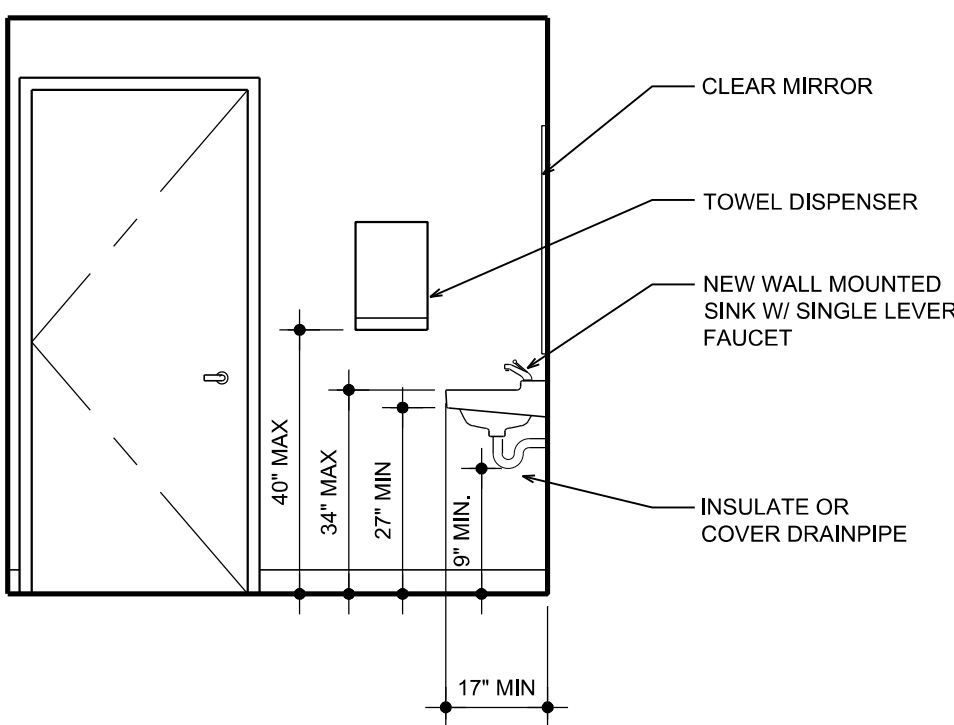
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ENLARGED RESTROOM PLAN
SCALE: 1/4" = 1'-0"



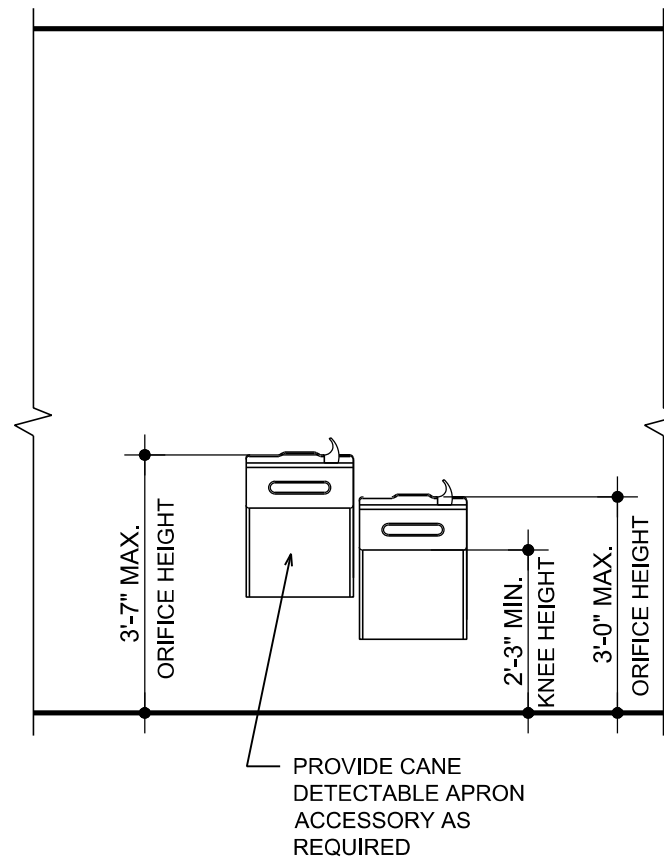
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TYPICAL ADA RESTROOM ELEVATION
SCALE: 3/8" = 1'-0"



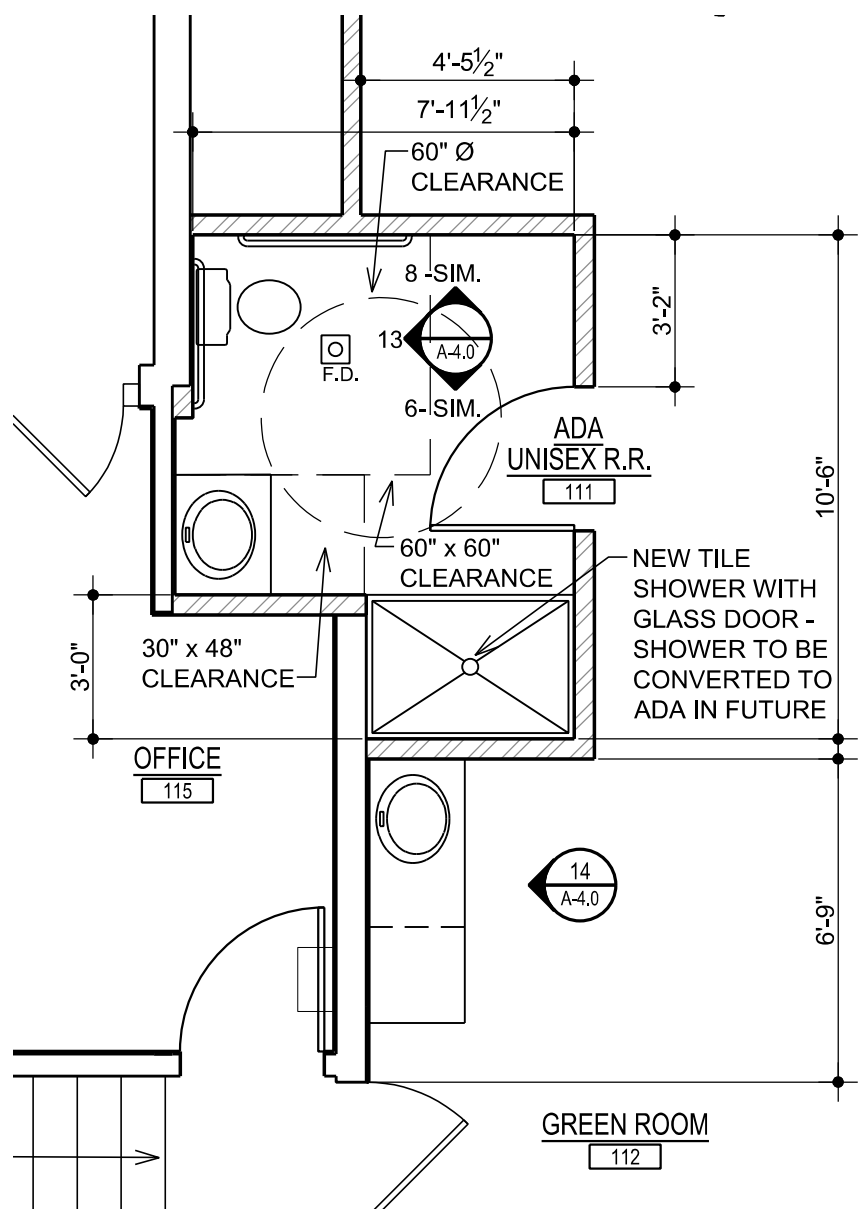
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TYPICAL ADA RESTROOM ELEVATION
SCALE: 3/8" = 1'-0"



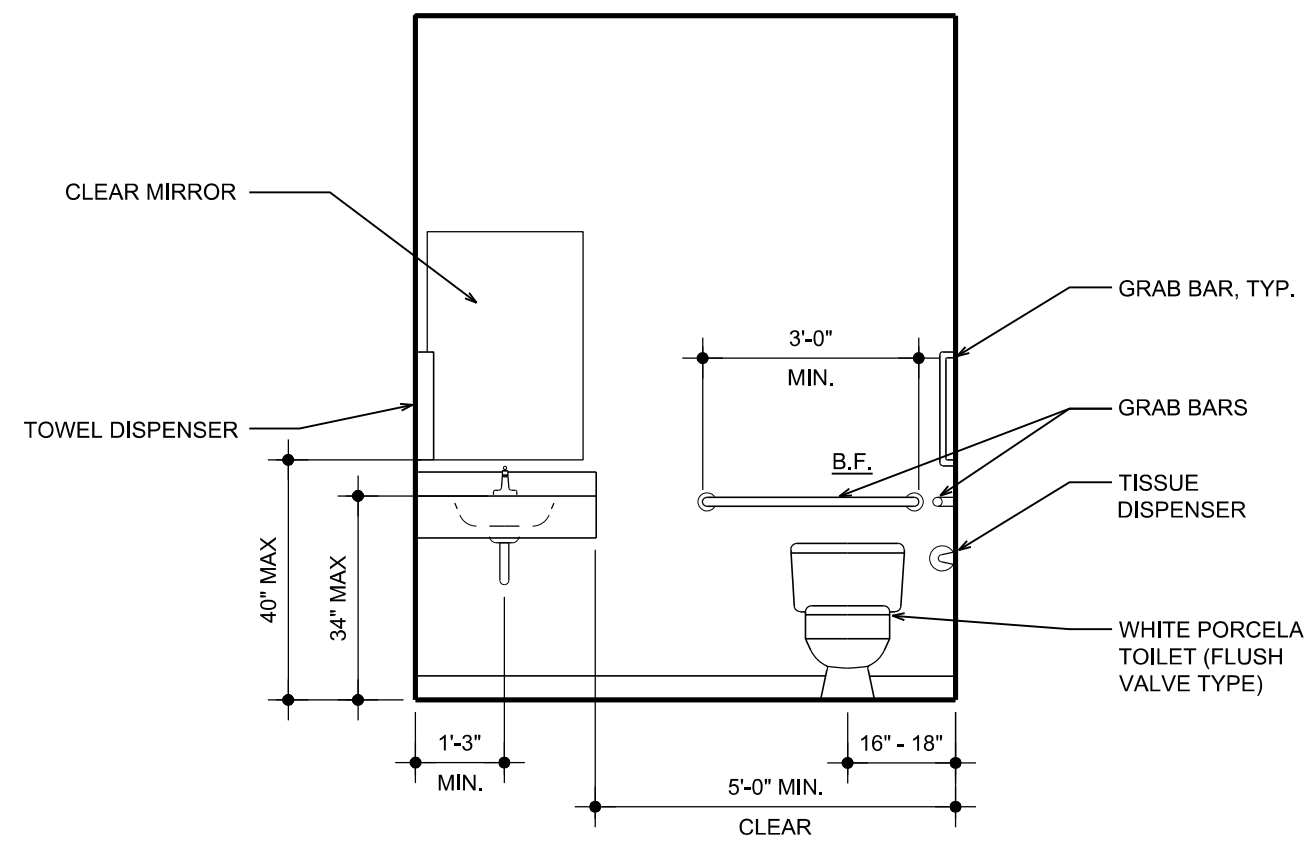
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TYPICAL ADA RESTROOM ELEVATION
SCALE: 3/8" = 1'-0"



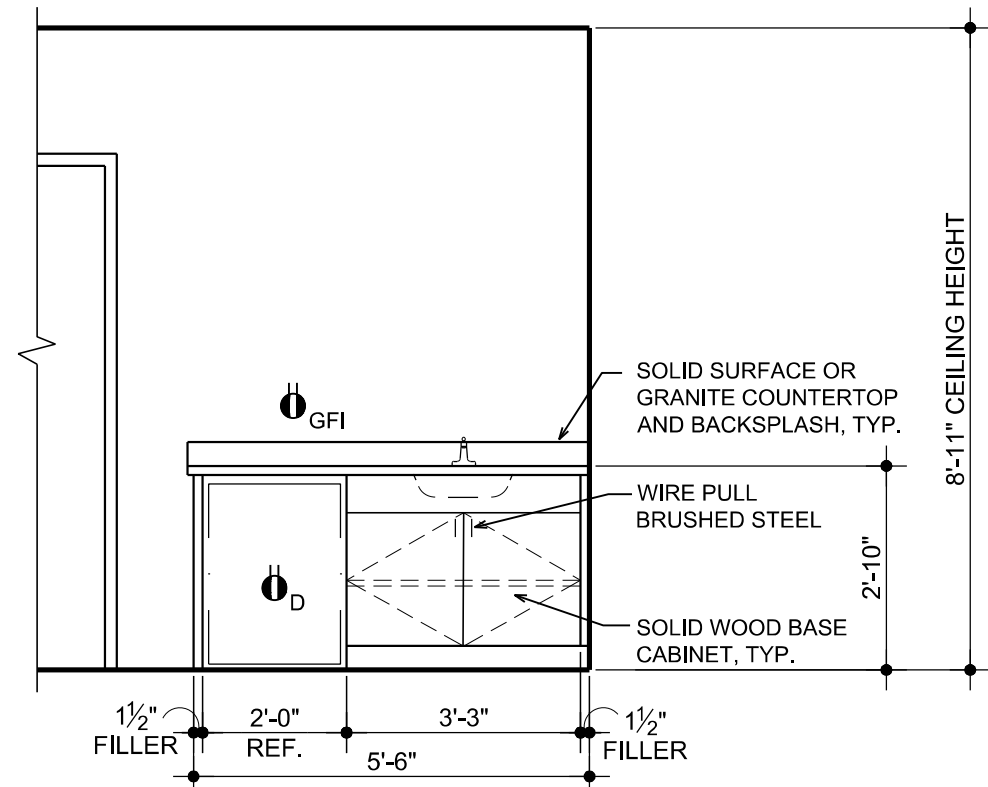
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TYP. HI-LOW ELEVATION
SCALE: 3/8" = 1'-0"



12
A-2.1
ADA UNISEX R.R. 111 - ENLARGED PLAN
SCALE: 1/4" = 1'-0"



13
A-4.0
ADA UNISEX R.R. 111 - ELEVATION
SCALE: 3/8" = 1'-0"



14
A-4.0
GREEN ROOM 112 - ELEVATION
SCALE: 3/8" = 1'-0"

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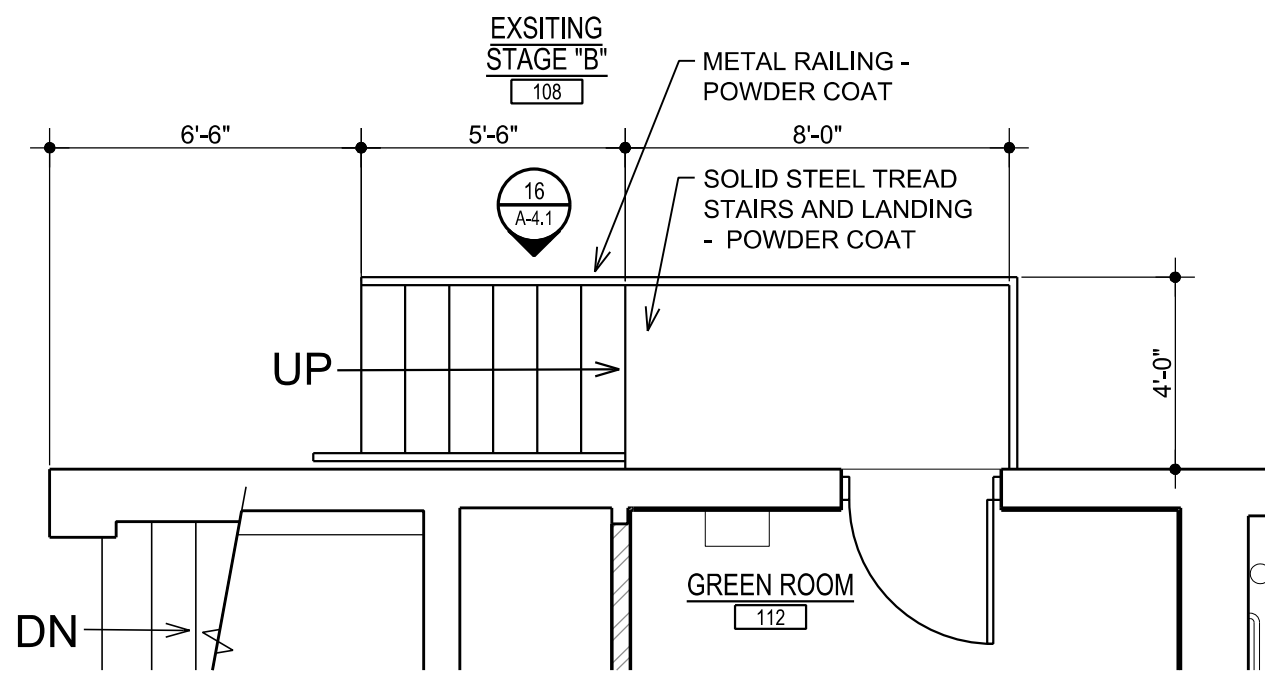
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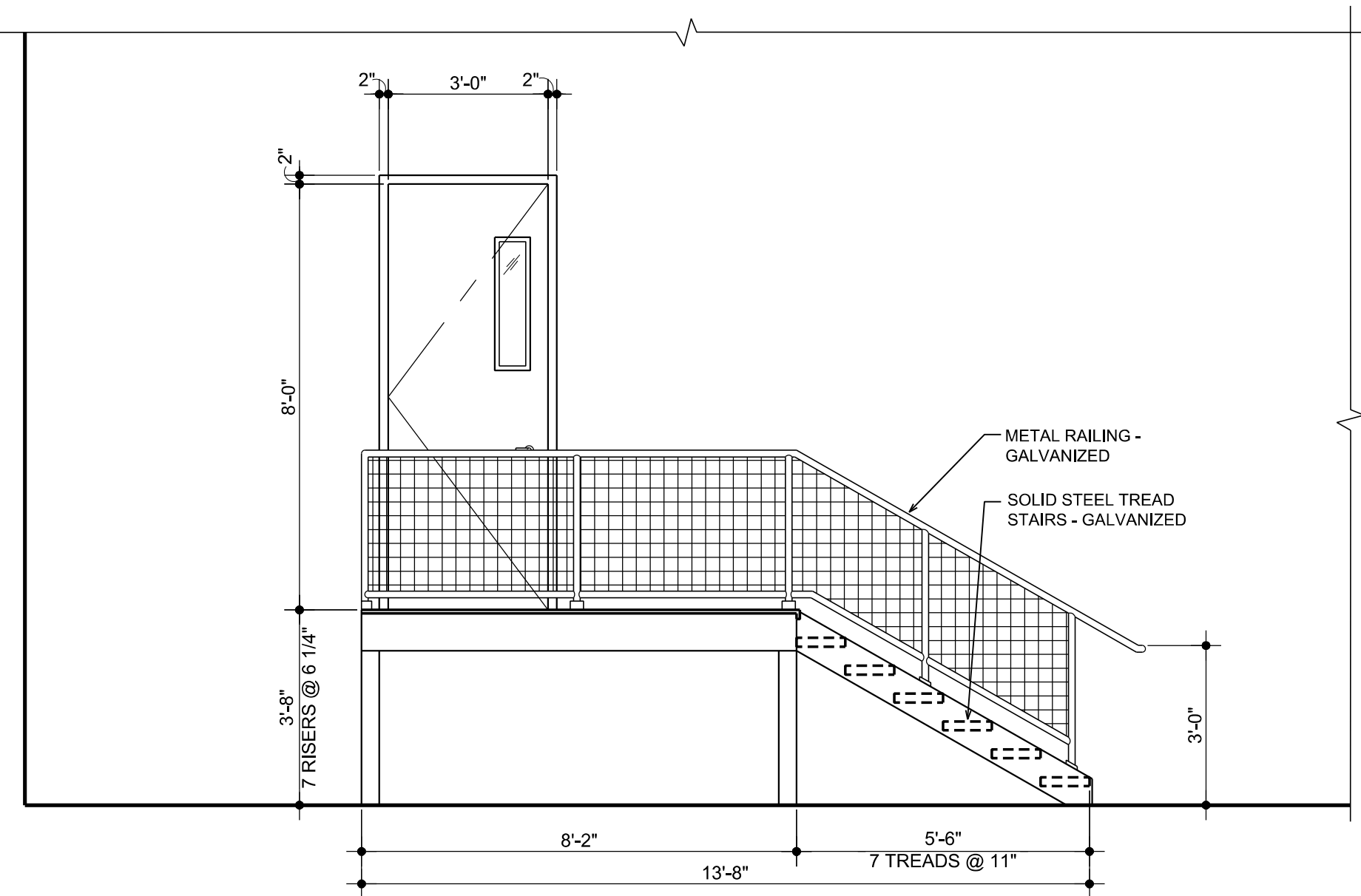
Sheet Title:
**ENLARGED PLANS
& INTERIOR
ELEVATIONS**

Project No.:

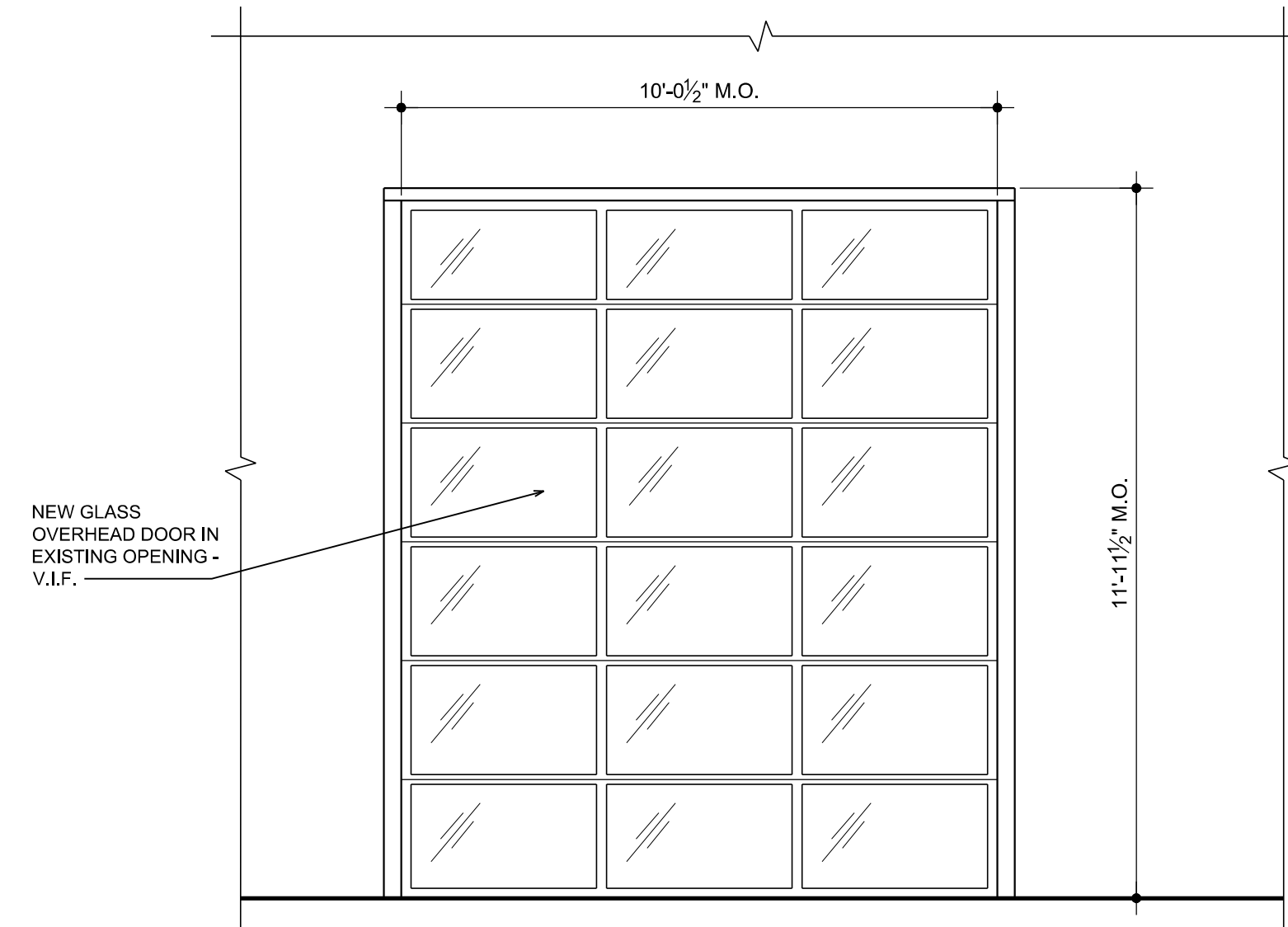
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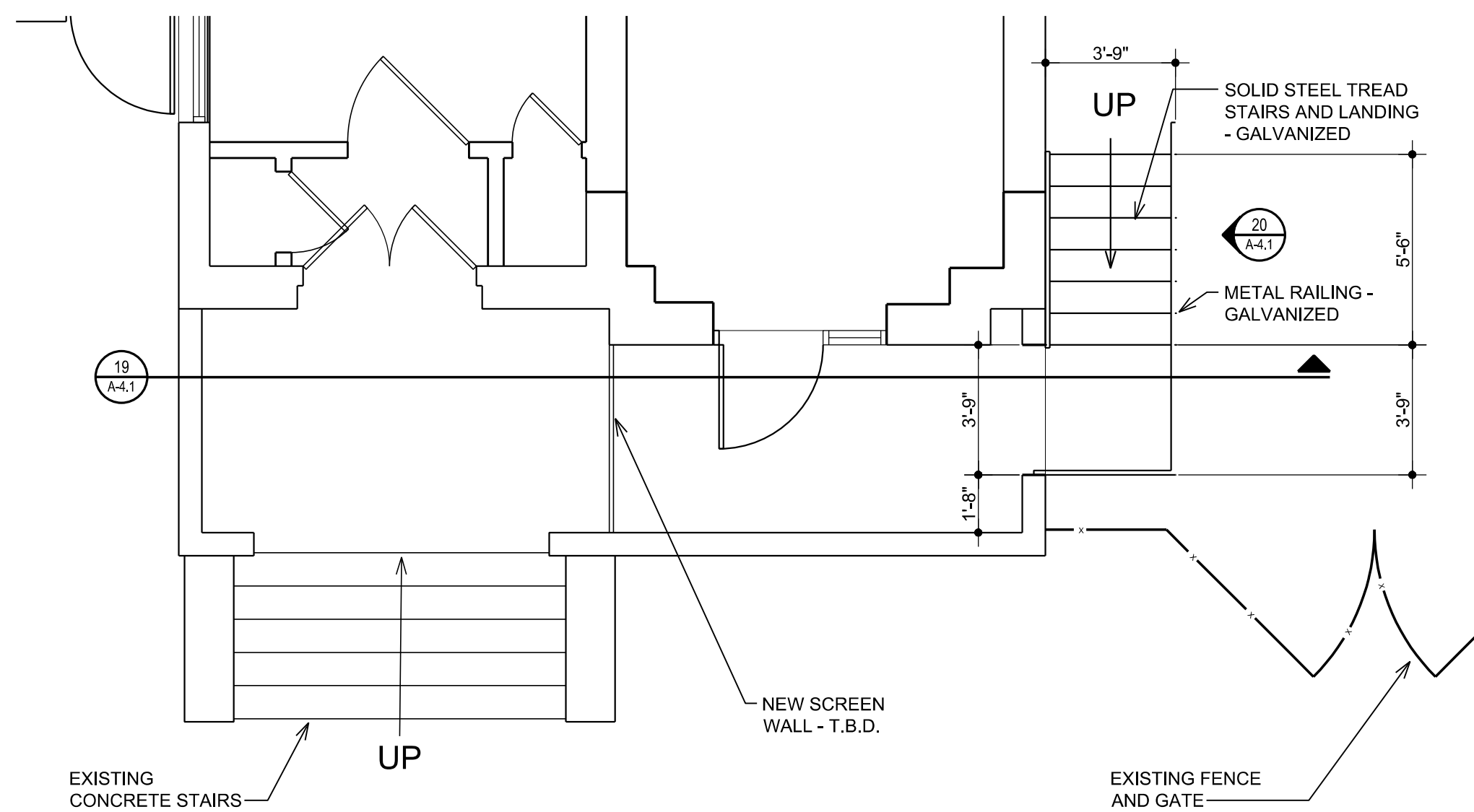
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NEW INTERIOR STAIR - ENLARGED PLAN
SCALE: 1/4" = 1'-0"



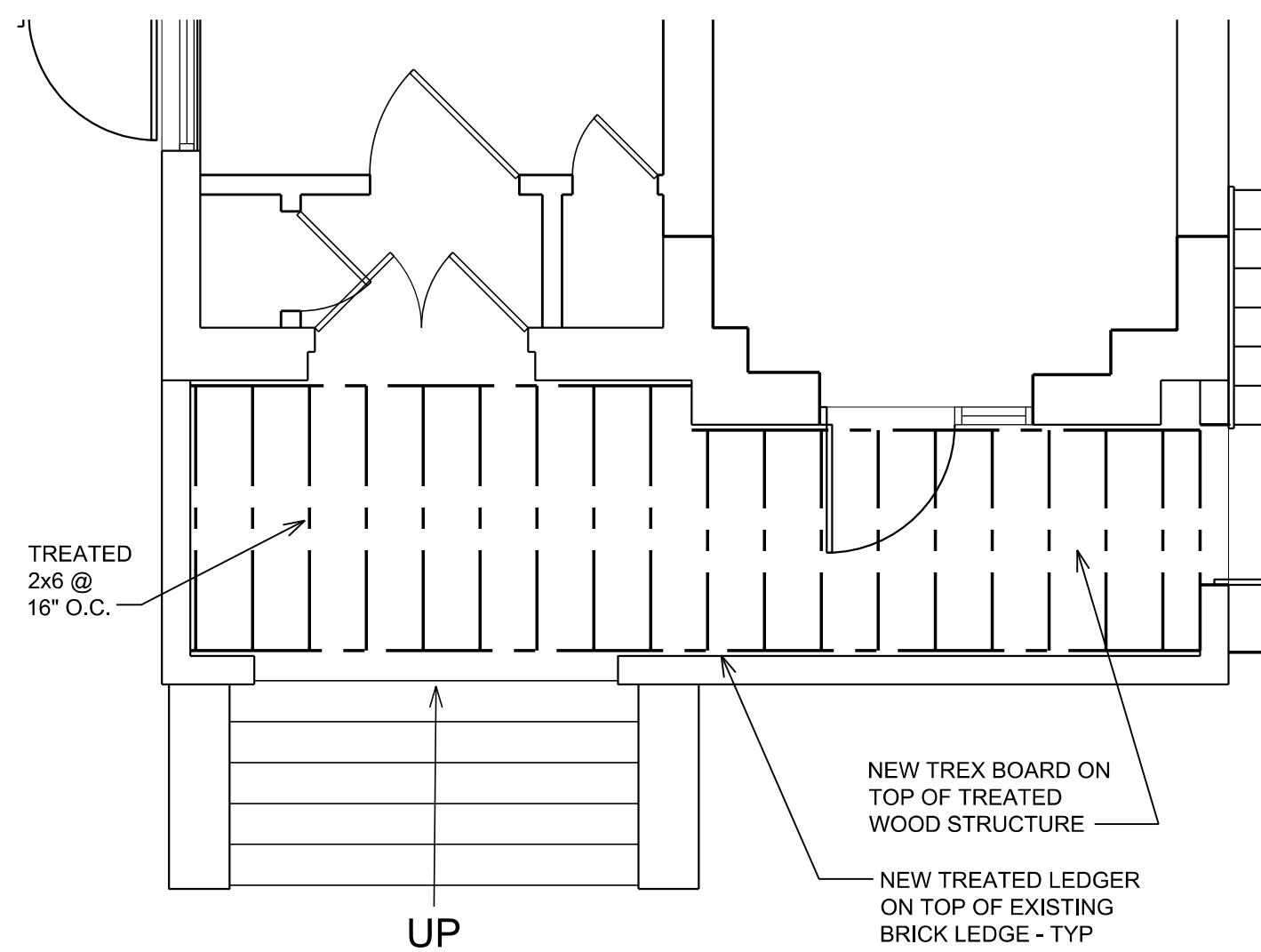
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NEW INTERIOR STAIR - ELEVATION
SCALE: 3/8" = 1'-0"



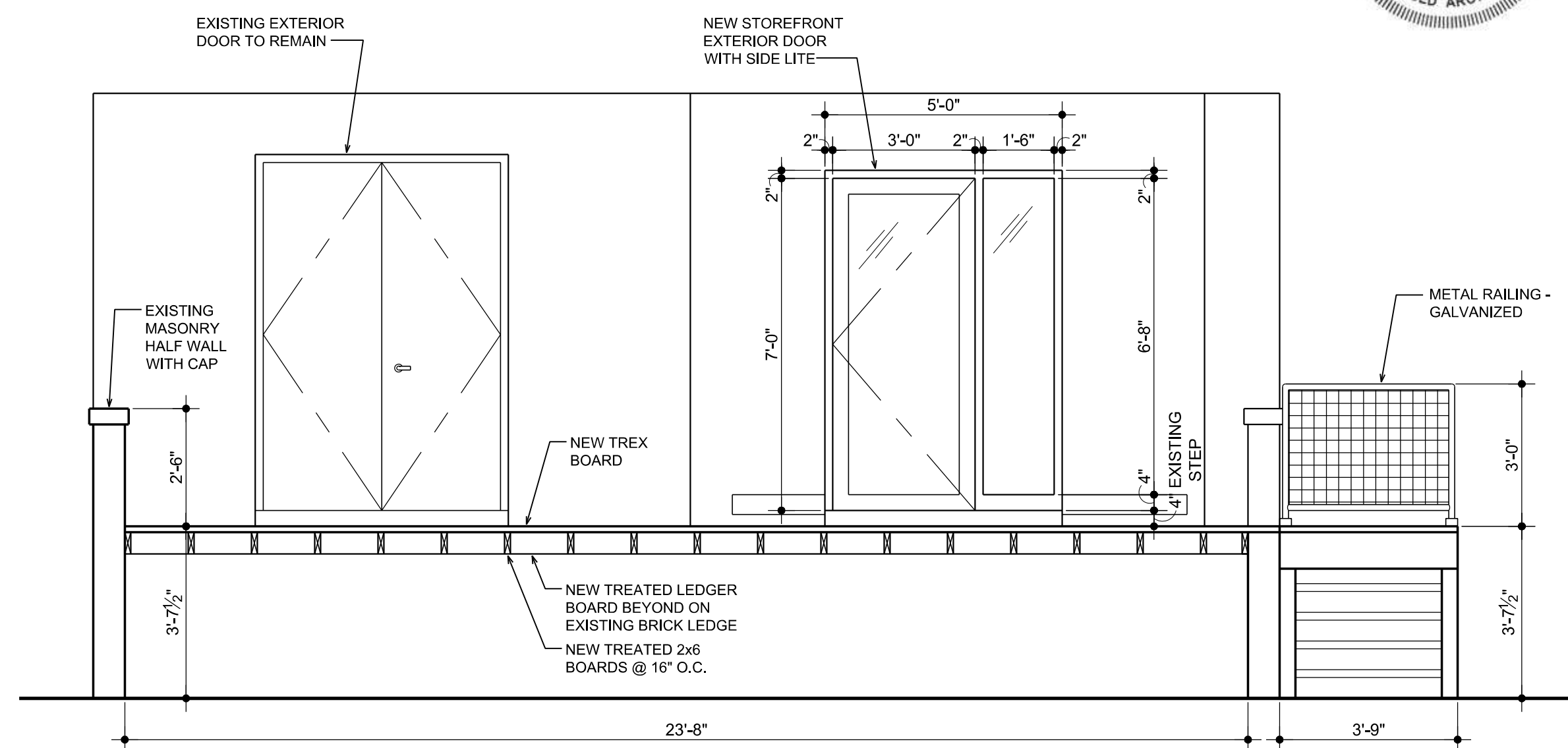
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NEW OVERHEAD DOOR 108A - ELEVATION
SCALE: 3/8" = 1'-0"



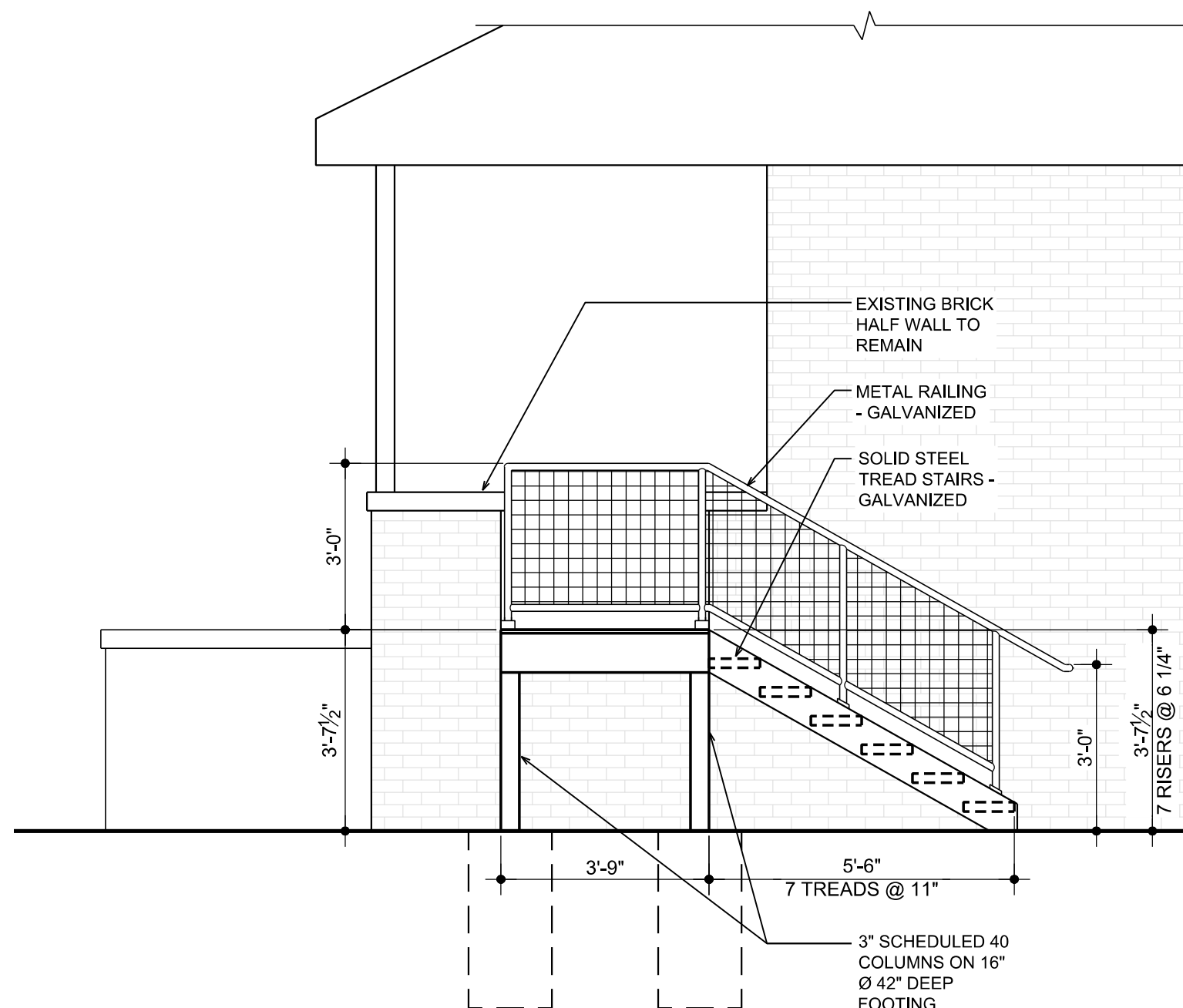
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NEW EXTERIOR STAIR - ENLARGED PLAN
SCALE: 1/4" = 1'-0"



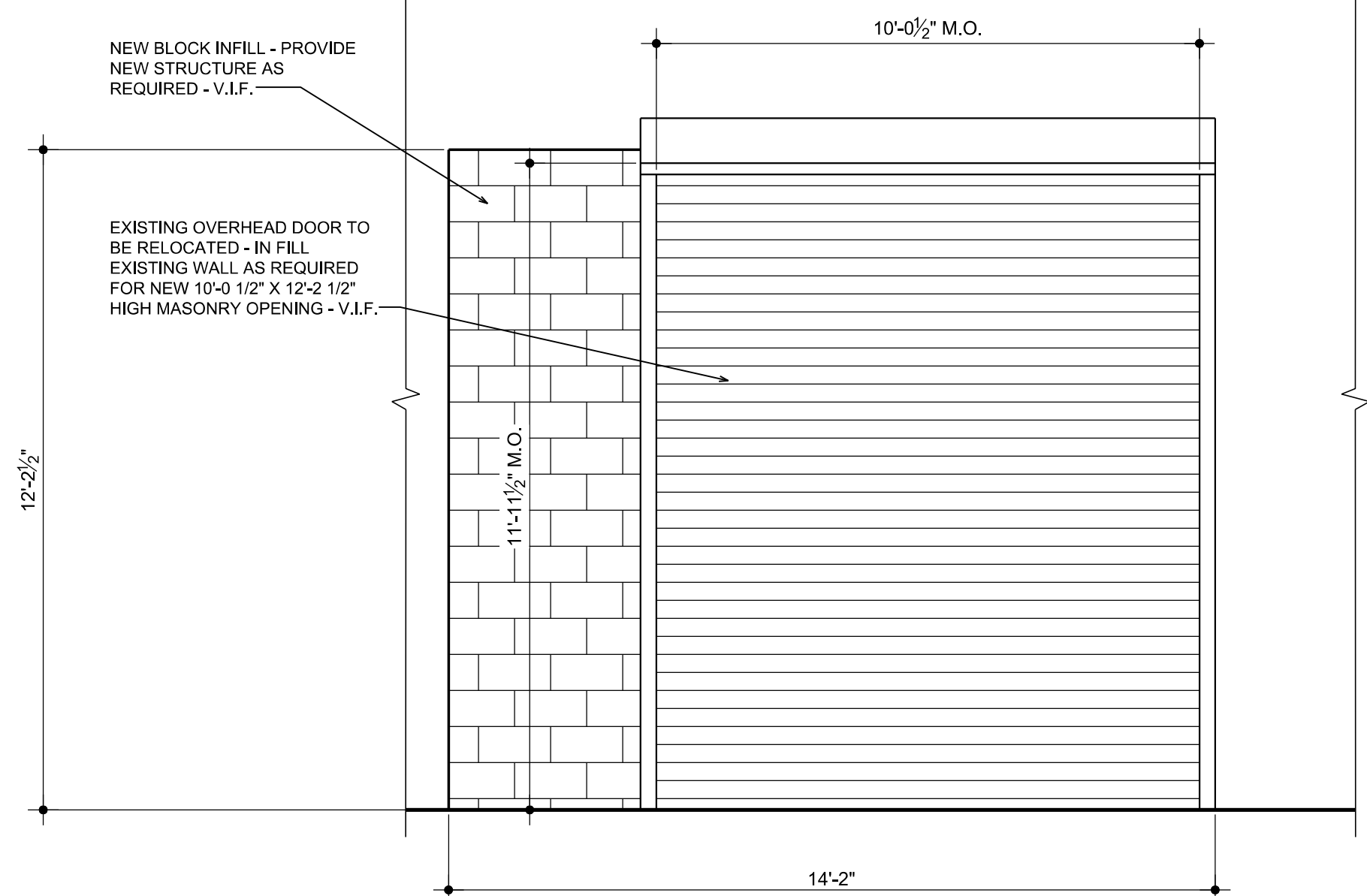
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NEW EXTERIOR STAIR - STRUCTURE PLAN
SCALE: 1/4" = 1'-0"



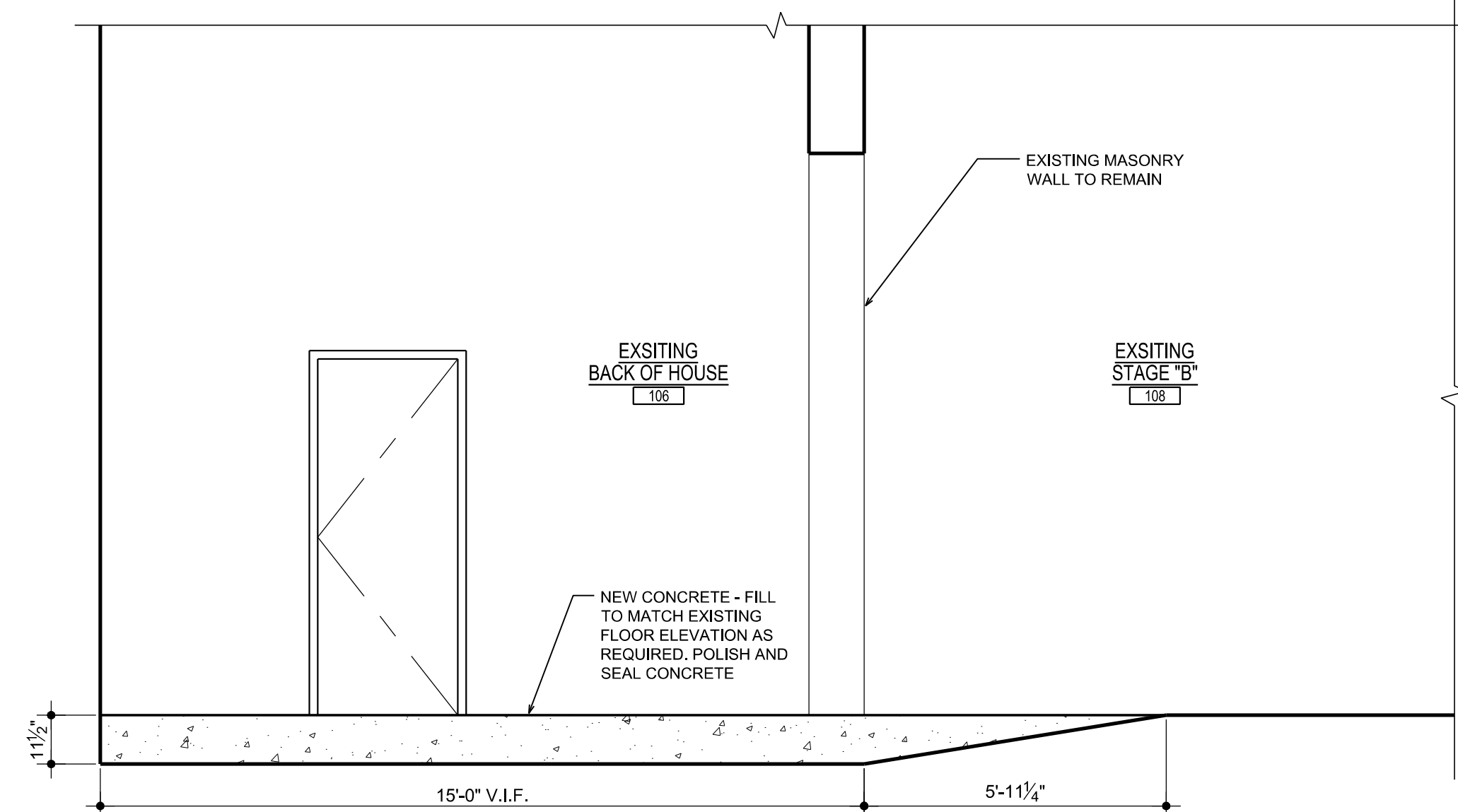
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NEW EXTERIOR STAIR - SECTION
SCALE: 3/8" = 1'-0"



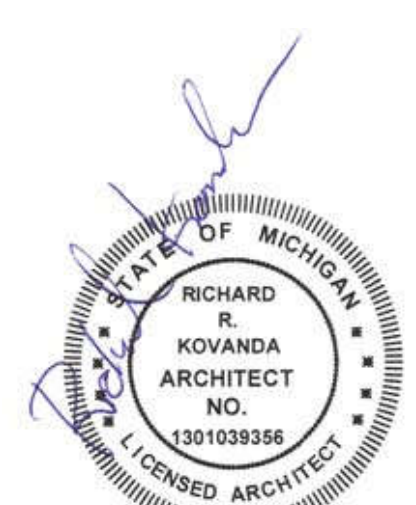
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A-4.1
NEW EXTERIOR STAIR - ELEVATION
SCALE: 3/8" = 1'-0"



21
A-2.1
RELOCATED OVERHEAD DOOR 106R - ELEVATION
SCALE: 3/8" = 1'-0"



22
A-2.1
EXISTING BACK OF HOUSE 106 - SECTION
SCALE: 3/8" = 1'-0"



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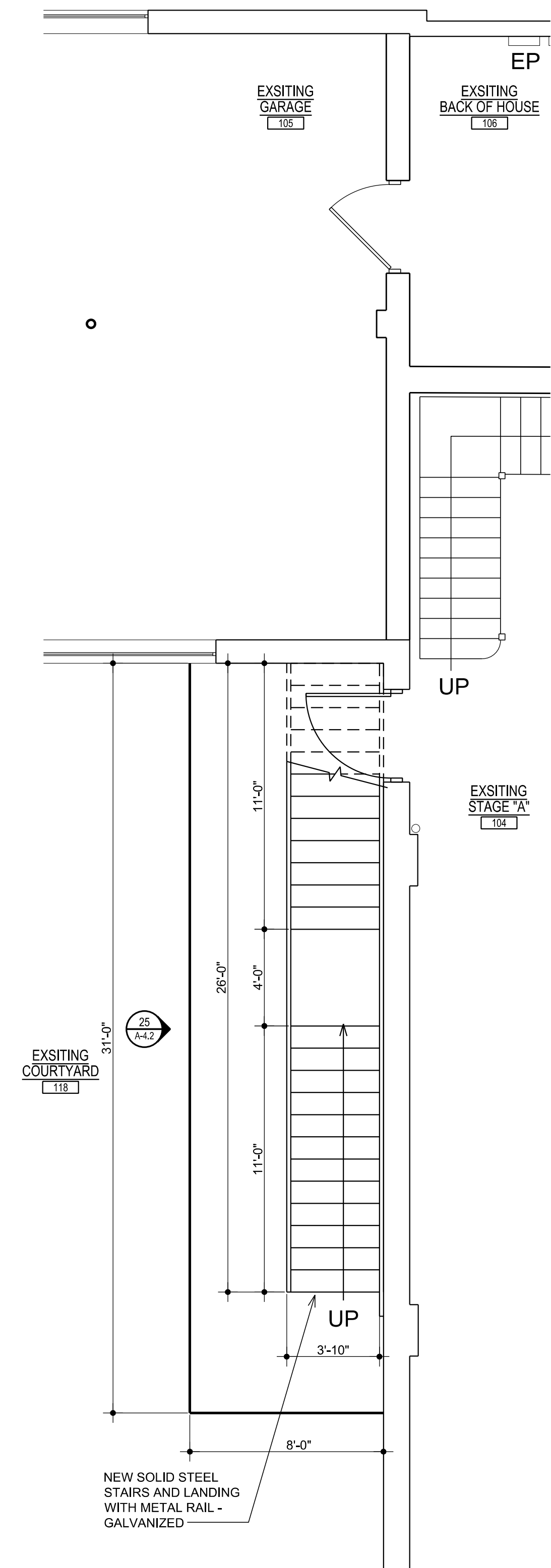
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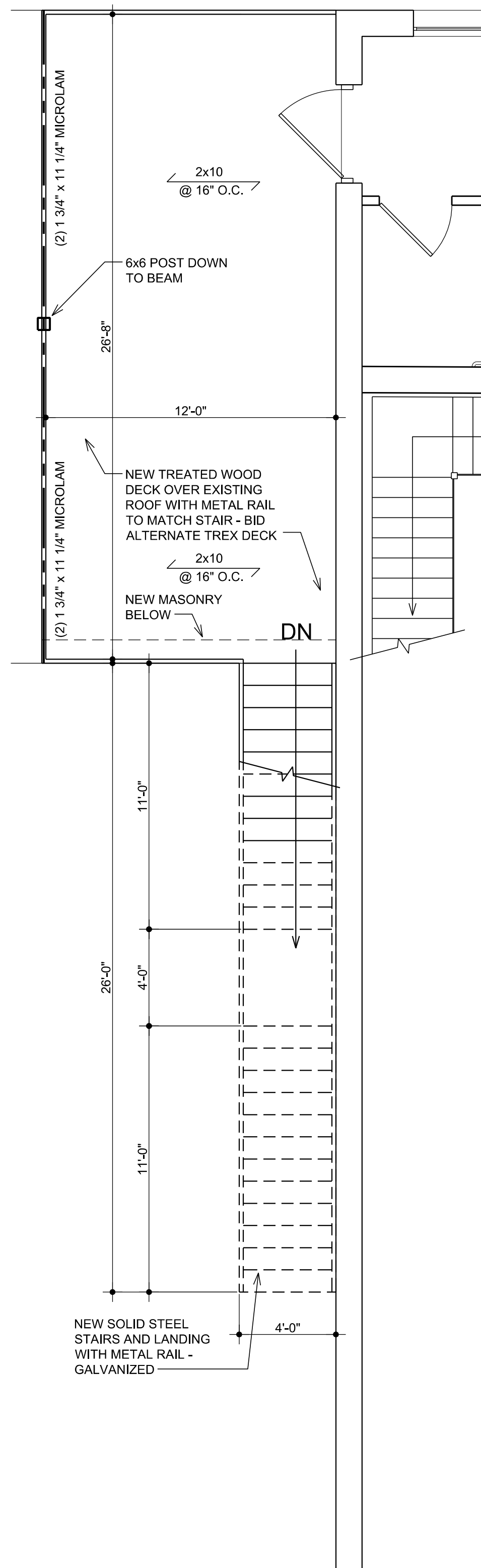
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**ENLARGED PLANS
& INTERIOR
ELEVATIONS**

Project No.:

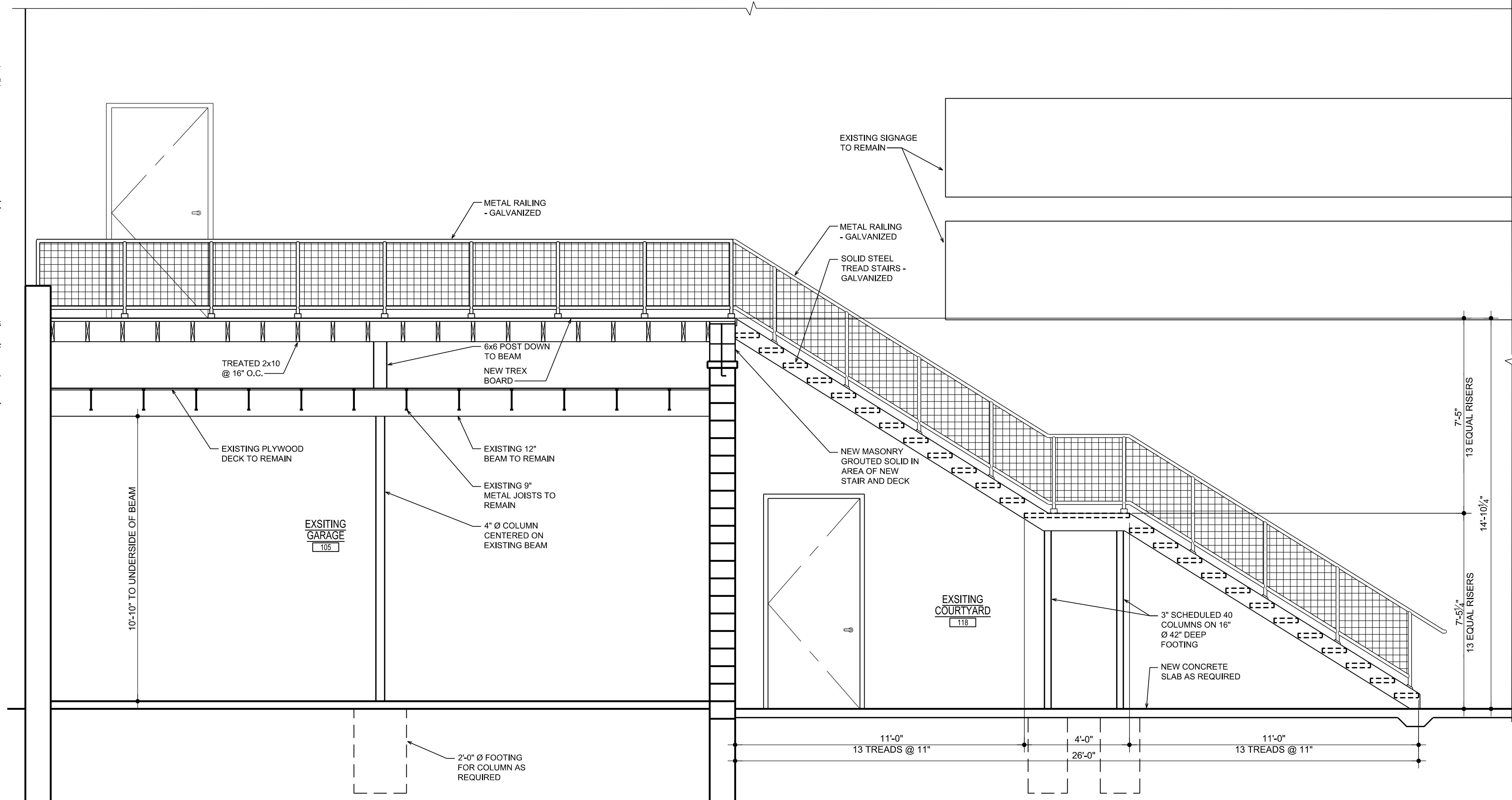
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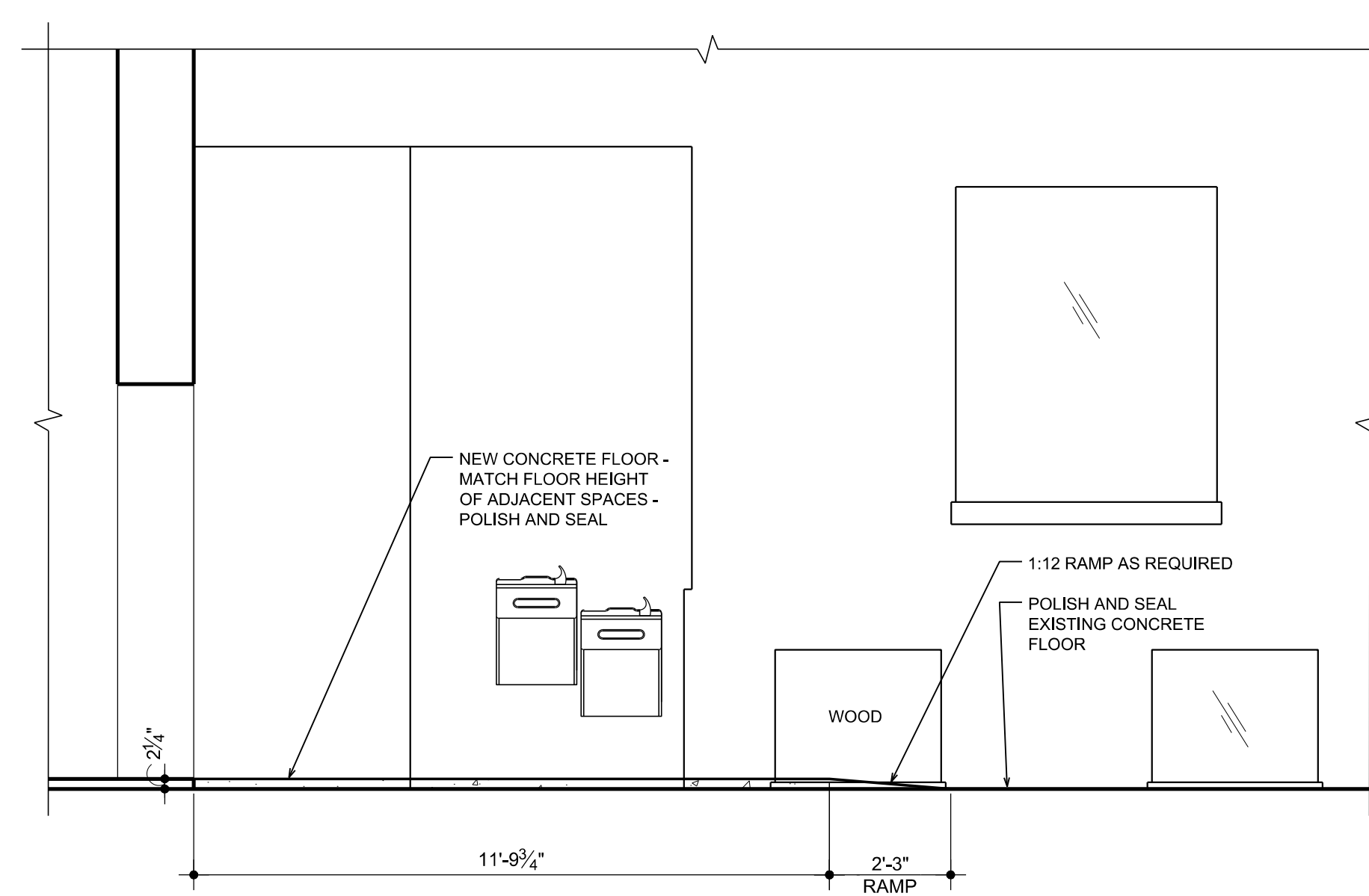
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A-2.1
**NEW EXTERIOR STAIR -
ENLARGED FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"



24
A-2.1
**NEW EXTERIOR STAIR -
ENLARGED SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"



25
A-4.2
NEW EXTERIOR STAIR - ELEVATION
SCALE: 3/8" = 1'-0"



26
A-4.2
EXISTING CORRIDOR 116 - SECTION
SCALE: 3/8" = 1'-0"

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**ENLARGED PLANS
& INTERIOR
ELEVATIONS**

Project No.:

Sheet No.:

A-4.2

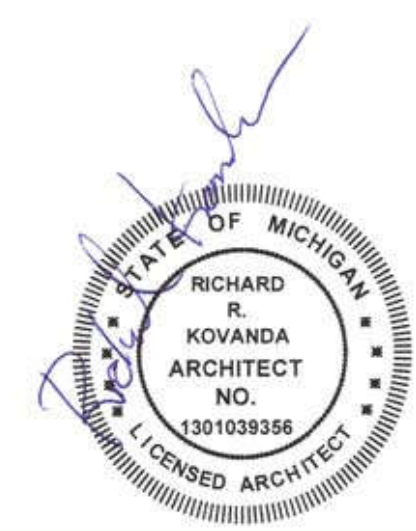
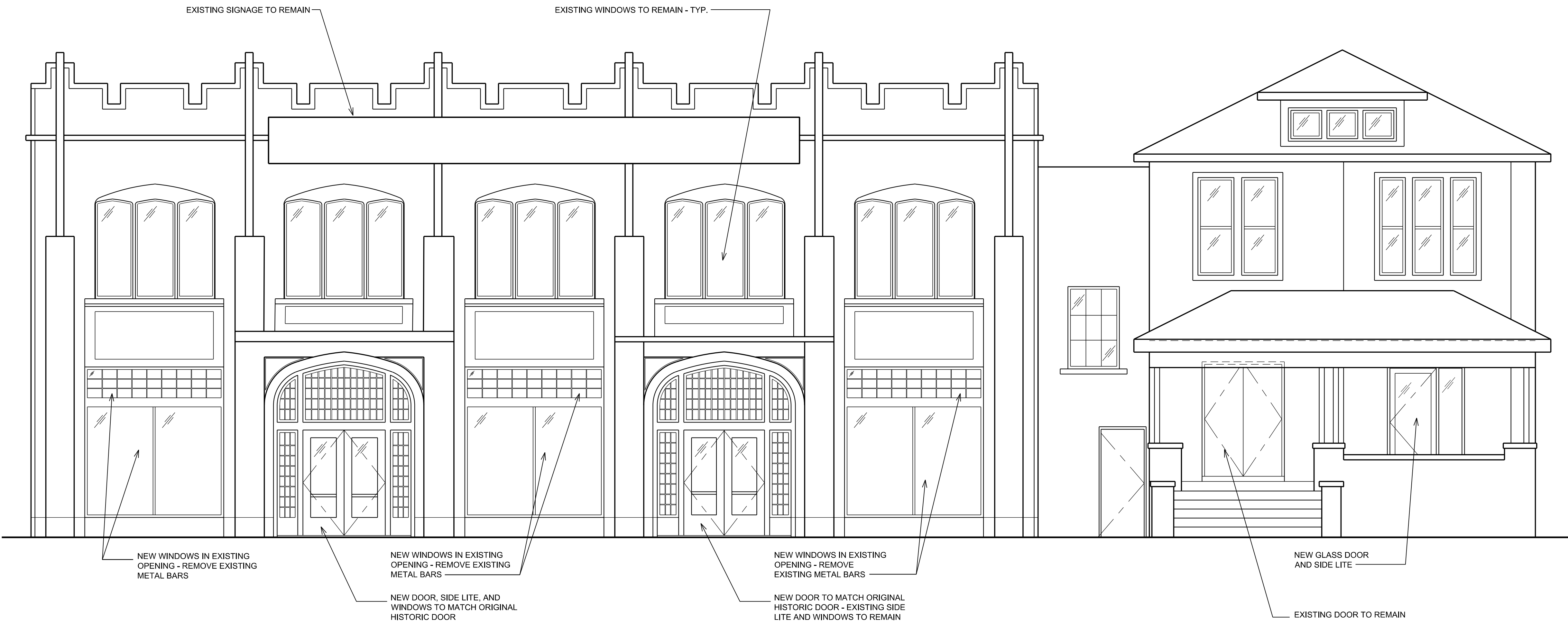


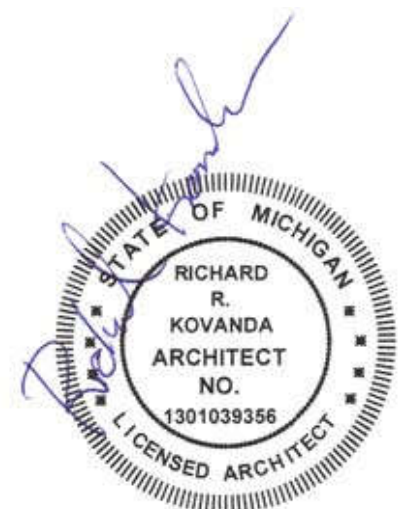


IMAGE OF HISTORIC FRONT ELEVATION

NOT TO SCALE



1 FRONT ELEVATION
A-2.1
SCALE: 1/4" = 1'-0"



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Sheet Title:
EXTERIOR ELEVATIONS

Project No.:

Sheet No.:
A-5.0

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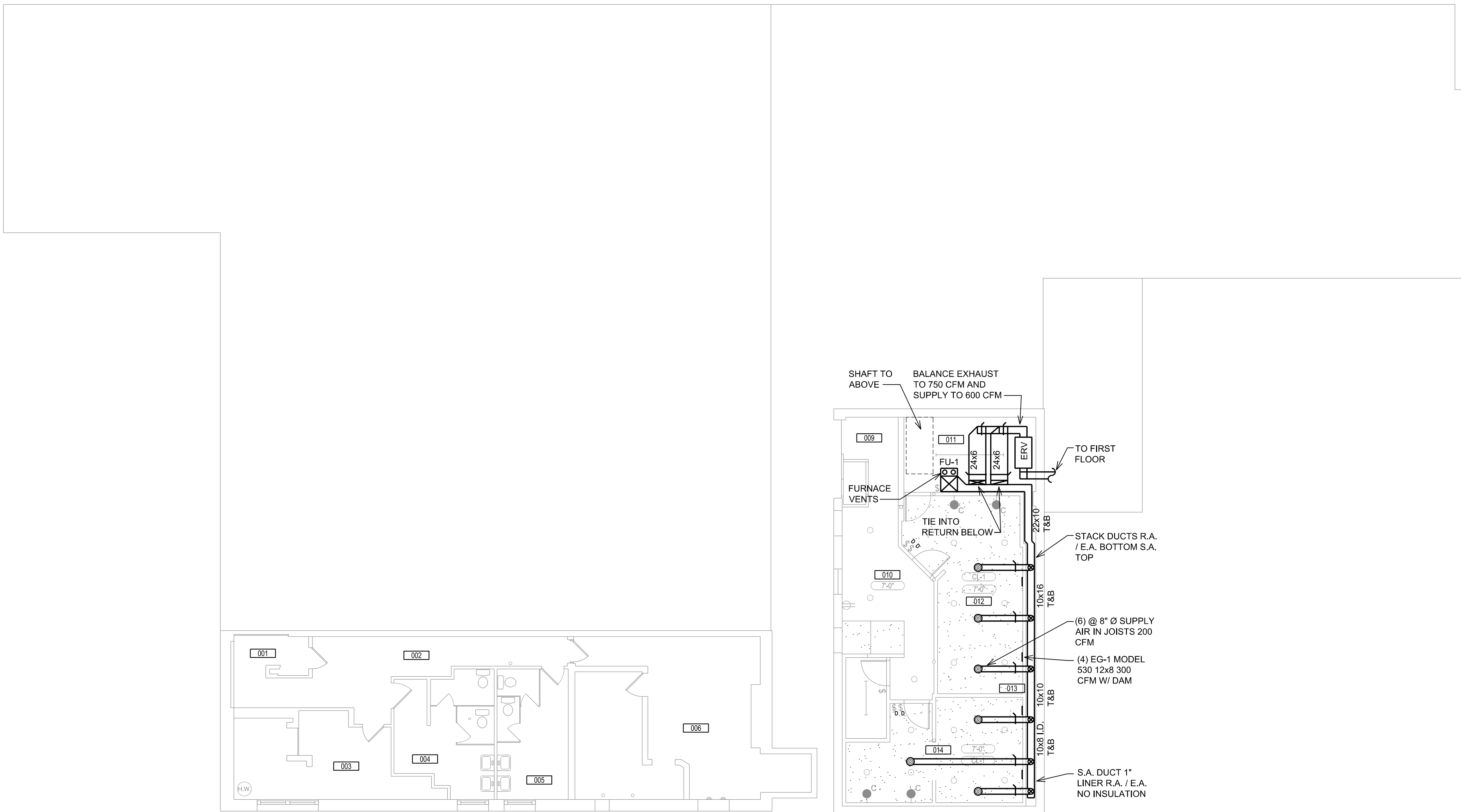
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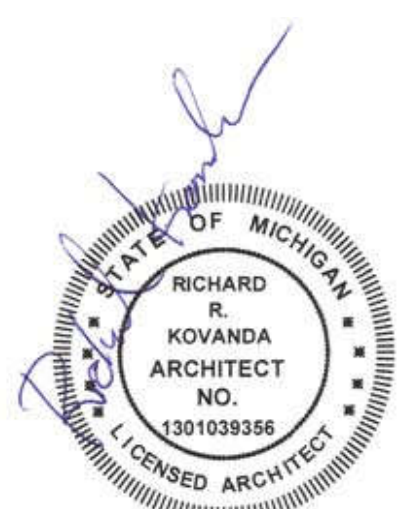
Sheet Title:
BASEMENT MECHANICAL HVAC FLOOR PLAN

Project No.:

Sheet No.:
M-1.0



BASEMENT MECHANICAL FLOOR PLAN
SCALE: 1/8" = 1'-0"
NORTH



ARK-TEC L.L.C.
ARCHITECTS

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JAM HANDY - RENOVATIONS

Job Title:
2900 E. GRAND BLVD
DETROIT, MI 48202

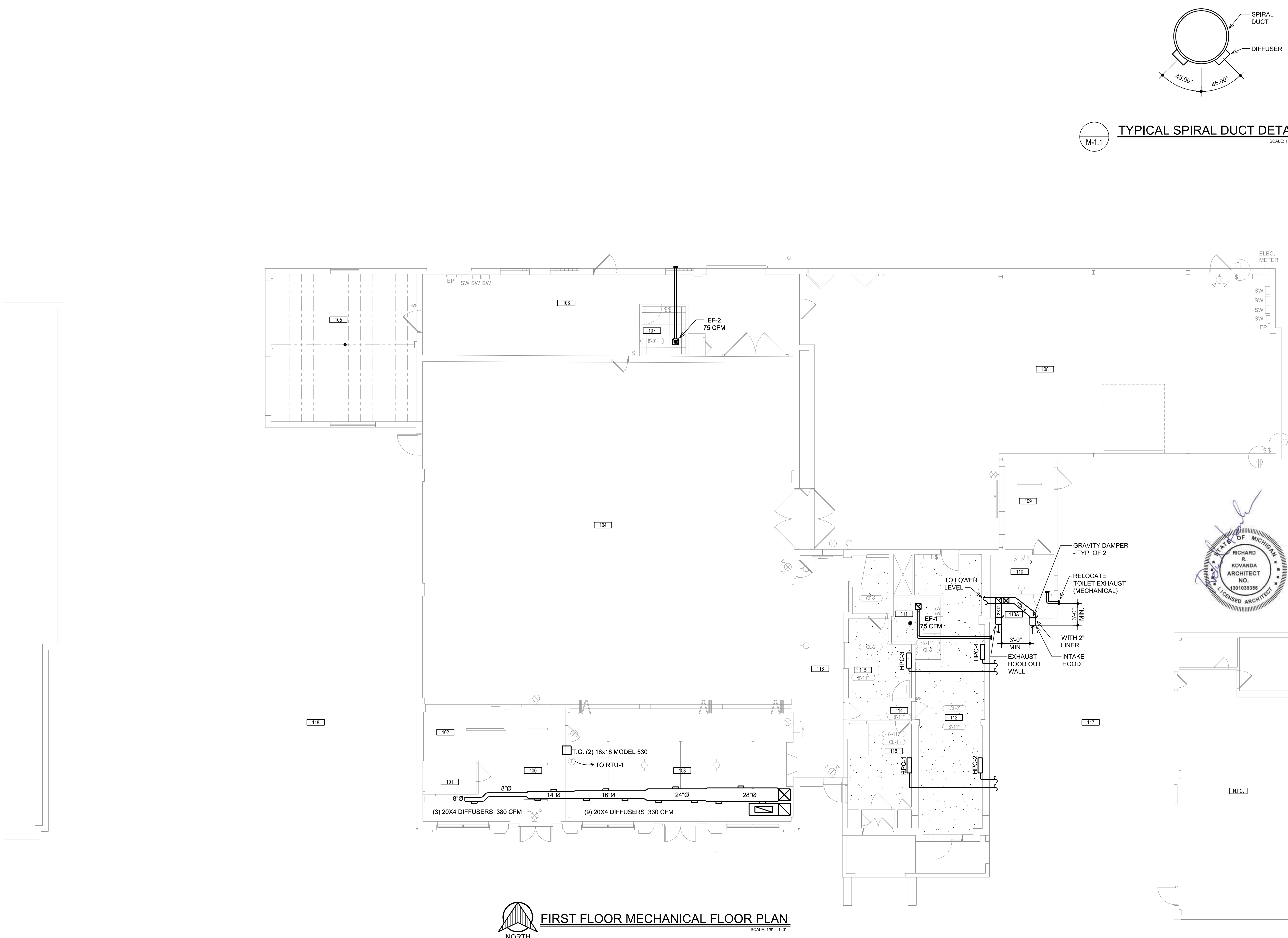
Sheet Title:

FIRST FLOOR
MECHANICAL
HVAC FLOOR PLAN

Project No.:

Sheet No.:

M-1.1



FIRST FLOOR MECHANICAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

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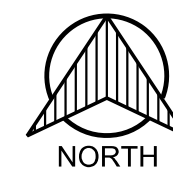
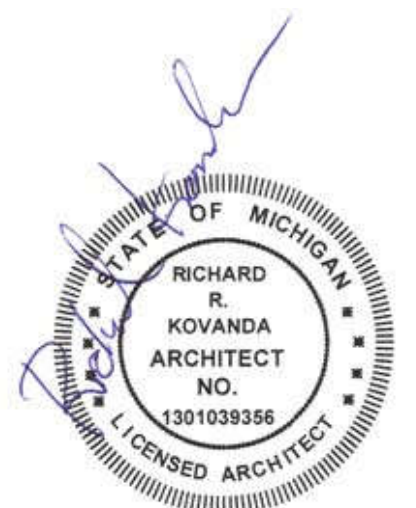
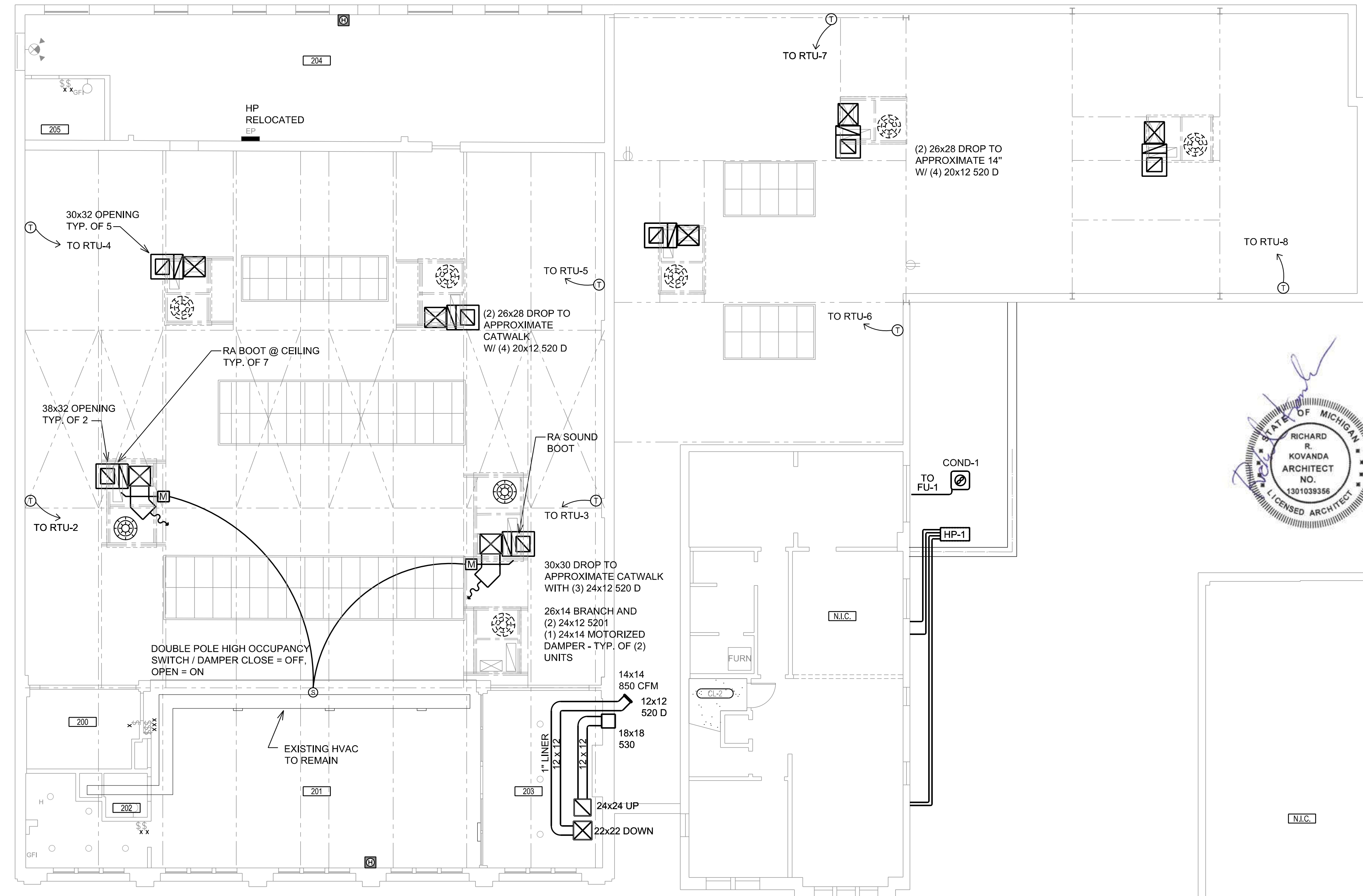
Job Title: **JAM HANDY - RENOVATIONS**

2900 E. GRAND BLVD
DETROIT, MI 48202

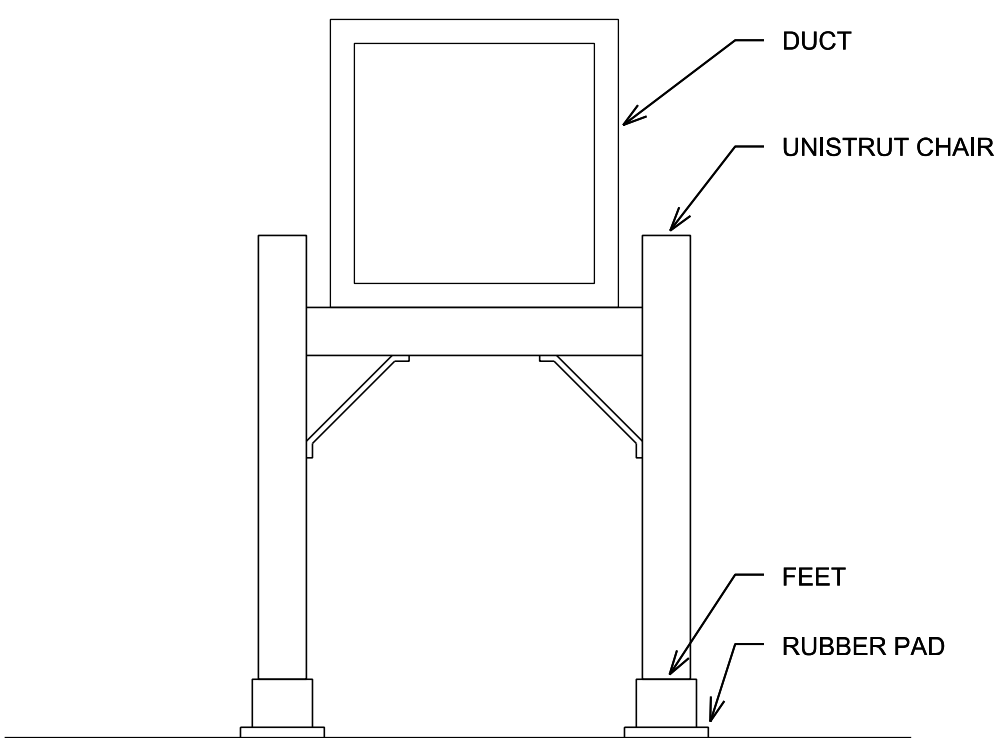
Sheet Title:
**SECOND FLOOR
MECHANICAL
HVAC FLOOR PLAN**

Project No.:

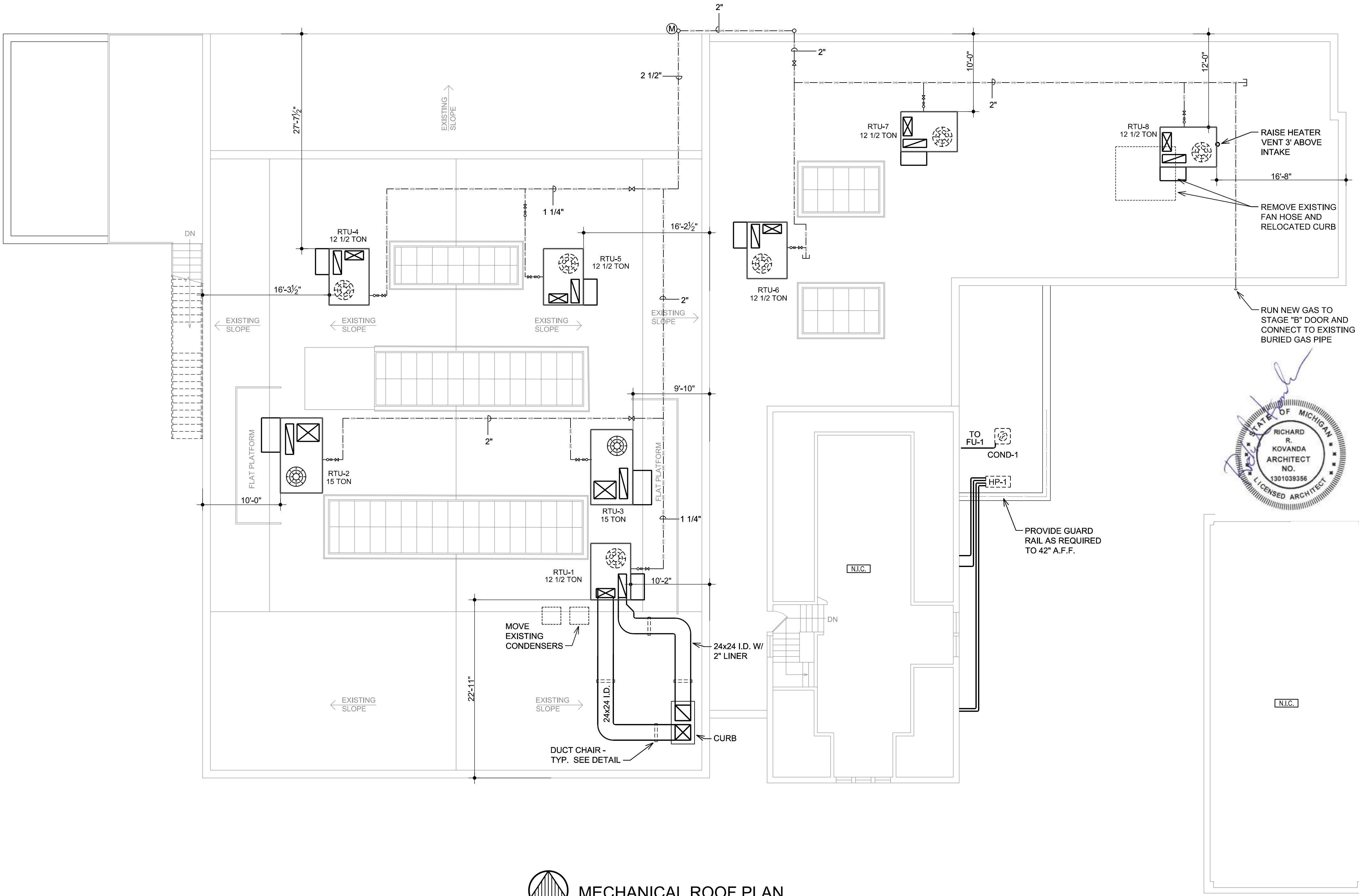
Sheet No.:
M-1.2



SECOND FLOOR MECHANICAL FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 DUCT CHAIR DETAIL
M-1.3 SCALE: 3/4" = 1'-0"



MECHANICAL ROOF PLAN
NORTH SCALE: 1/8" = 1'-0"

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Job Title: **JAM HANDY - RENOVATIONS**
2900 E. GRAND BLVD
DETROIT, MI 48202

Sheet Title:
MECHANICAL HVAC ROOF PLAN

Project No.:

Sheet No.:
M-1.3

Date: 1/31/2025
Project Number: 0-187786
Project Name: Jam Handy 927TA4806/17
Unit Tag: erv-1
Model: HE10-JNH-S15EE-GNT-L
Qty: 1



HE10ERV shown

Specifications

Ventilation Type: Static plate: heat and humidity transfer

Typical Airflow Range: 250-1,100 CFM

AHRI 1060 Certified Core: One L125-G5

OA Filters: Total Qty. 1. MERV 8: 20" x 20" x 2"

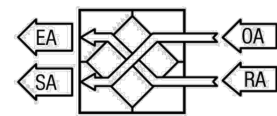
RA Filters: Total Qty. 1. MERV 8: 20" x 20" x 2"

Unit Weight: 204 lbs

Configuration


Unit Tag: erv-1
Model: HE10-JHE0
Core Type: UJ G5
Installation Location: IN Indoor Unit
Airflow Orientation: H Orientation H
Wall: U11 208-230V / 1 Phase / 60 HZ
Electrical Service: E1 ECM - Direct Drive Motorized Impeller
Fresh Air Motor: E1 ECM - Direct Drive Motorized Impeller
Exhaust Air Motor: E1 ECM - Direct Drive Motorized Impeller
Flow Control: L1 No Dampers (Standard)
Unit Control: G1 Terminal Strip For IC Motors
Disconnect: H1 Non-Fused (Standard)
Control Option: F1 Transformer with Isolation Relay (Standard)
Filter Monitor: L1 None
Paint: L1 None
Safety Listing: L1 Listed

Airflow Orientation




Unit Accessories and Service Parts

No accessories for this unit



SUMMER



WINTER

	Outdoor Air	Return Air	Supply Air	Outdoor Air	Return Air	Supply Air
Standard Flow Rate SCFM	760*	750	750	760*	750	750
Actual Flow Rate ACFM	816*	780	788	683*	771	742
Dry Bulb °F	90.7	75.0	79.7	5.2	70.0	50.5
Wet Bulb °F	73.4	62.5	68.2	3.5	54.2	41.5
Enthalpy (H) BTU/lb	37.3	26.3	32.8	1.9	22.9	16.0
Moisture Ratio (MR) grains/lb	98.8	66.2	87.4	4.4	38.9	25.3
Supply Air - External Static Pressure in w.g.	0.50			0.50		
Exhaust Air - External Static Pressure in w.g.	0.50			0.50		
Sensible effectiveness %	70.0			70.0		
Total effectiveness %	50.2			67.5		
Enthalpy Recovery Ratio (ERR) %	50.1			67.5		
Sensible Energy Recovery Ratio %	70.0			70.0		
Moisture removed grains/lb	11.4			20.9		
Original load BTUH (Tons)	12729 (1.1)	17567 (1.5)	30295 (2.5)	52536	18234	70770
Load with Renewable BTUH (Tons)	3824 (0.3)	11290 (0.9)	15114 (1.3)	15783	7252	23034
Total energy saved BTUH (Tons)	8905 (0.7)	6277 (0.5)	15181 (1.3)	36753	10983	47736

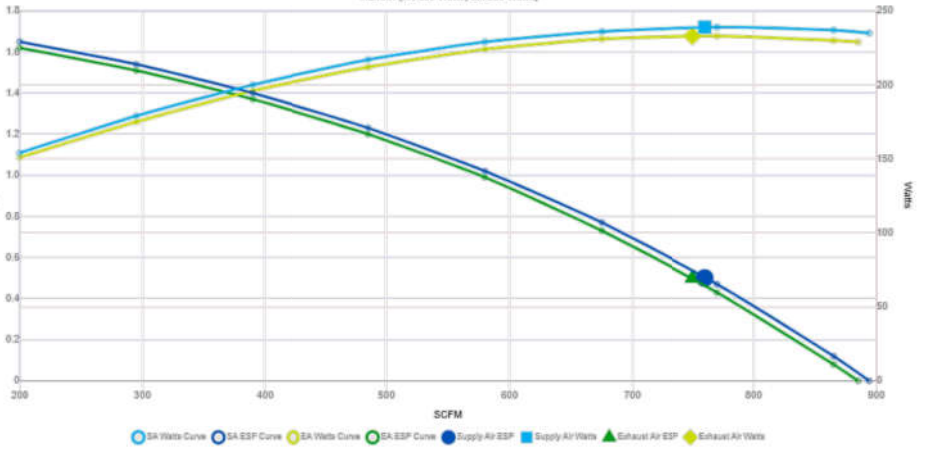
*Note: OA Flow Rate values are gross airflow, all others are net airflow.
Note: For full certified ERV performance, please see AHRI 1060 Report.
Note: Sensible cooling design conditions were used for the summer performance results.

Fans	Gross CFM	ESP	Filters	Fan Speed (RPM)	Watts	Elevation	Motors Protected by Motor Starters	Motors Protected by VFDs		
							Qty @ W	FLA	Qty @ W	FLA
OA	760	0.50"	2" MERV-8	2175	239	627	2@370	1.73	None	-
RA	750	0.50"	2" MERV-8	2156	233					

Unit Electrical Data

Volts	Hertz	Phase	MCA	MOP
208-230	60	1	3.9	15

Fan Curve



System Fan Efficacy

CFM/Watt	Watt/CFM
1.59	0.63

ERV SUBMITTAL

RTU EQUIPMENT SCHEDULE																								
BASIS OF DESIGN UNIT INFORMATION										ELECTRICAL				AIR FLOW				HEATING		MAX COOLING @ 95 AMBIENT				
MARK	NOMINAL SIZE	LOCATION	SERVES	MAKE	UNIT DESCRIPTION	Accessories	Model	IEER	VOLTS	PH	MOCP	MCA	SP " WC	SUPPLY CFM	RETURN CFM	OSA CFM	HIGH INPUT MBH	LOW INPUT MBH	EWB	EDB	SENSIBLE MBH	LATENT MBH	TOTAL MBH	
RTU-1	12.5-ton	ROOF	LENNY'S, LOBBY 1, LOBBY 2	BRYANT	PACKAGE ROOF TOP UNIT	A, B, C, D, G, P, R	582LP14M224A3A0AA	15.0	208	3	80	69.0	1.00	5000	4150	850	224	181	65	78	105,210	39,850	145,060	
RTU-2	15-ton	ROOF	STAGE 'A' SOUTHWEST	BRYANT	PACKAGE ROOF TOP UNIT	A, B, C, D, H, J, P, R	582LP16M350A3A0AA	15.0	208	3	100	74.0	0.25	6000	5040	960	350	284	65	78	118,050	54,740	172,790	
RTU-3	15-ton	ROOF	STAGE 'A' SOUTHEAST	BRYANT	PACKAGE ROOF TOP UNIT	A, B, C, D, H, J, P, R	582LP16M350A3A0AA	15.0	208	3	100	74.0	0.25	6000	5040	960	350	284	65	78	118,050	54,740	172,790	
RTU-4	12.5-ton	ROOF	STAGE 'A' NORTHWEST	BRYANT	PACKAGE ROOF TOP UNIT	A, B, C, D, H, J, P, R	582LP14M224A3A0AA	15.0	208	3	80	69.0	0.25	5000	4200	800	224	181	65	78	105,210	39,850	145,060	
RTU-5	12.5-ton	ROOF	STAGE 'A' NORTHEAST	BRYANT	PACKAGE ROOF TOP UNIT	A, B, C, D, H, J, P, R	582LP14M224A3A0AA	15.0	208	3	80	69.0	0.25	5000	4200	800	224	181	65	78	105,210	39,850	145,060	
RTU-6	12.5-ton	ROOF	STAGE 'B' SOUTHWEST	BRYANT	PACKAGE ROOF TOP UNIT	A, B, C, D, H, J, P, R	582LP14M224A3A0AA	15.0	208	3	80	69.0	0.25	5000	4150	850	224	181	65	78	105,210	39,850	145,060	
RTU-7	12.5-ton	ROOF	STAGE 'B' NORTHWEST	BRYANT	PACKAGE ROOF TOP UNIT	A, B, C, D, H, J, P, R	582LP14M224A3A0AA	15.0	208	3	80	69.0	0.25	5000	4150	850	224	181	65	78	105,210	39,850	145,060	
RTU-8	12.5-ton	ROOF	STAGE 'B' EAST	BRYANT	PACKAGE ROOF TOP UNIT	A, B, C, D, H, J, P, R	582LP14M224A3A0AA	15.0	208	3	80	69.0	0.25	5000	4150	850	224	181	65	78	105,210	39,850	145,060	
													TOTAL			6,920								

- A. 18" CURB

B. ALUMINIZED HX

C. 2 STAGES COOLING

D. ECONOMIZER
- E. LOW AMBIENT

F. 18" HIGH BASE

G. HORIZONTAL

H. VERTICAL
- J. CONCENTRIC

K. MEDIUM STATIC

L. SINGLE STAGE COOLING

M. SINGLE STAGE HEATING
- N. DDC CONTROL SEE OPERATION NOTE BELOW

P. VARIABLE SPEED FAN CONTROL

Q. HIGH STATIC

R. 2 STAGES HEATING

FURNACE EQUIPMENT SCHEDULE																						
BASIS OF DESIGN UNIT INFORMATION								ELECTRICAL				AIR FLOW CFM				HEATING		MAX COOLING @ 95 AMBIENT				
MARK	NOMINAL SIZE	LOCATION	SERVES	MAKE	UNIT DESCRIPTION	ACCESSORIES	MODEL	VOLTS	PH	MOCP	MCA	TOTAL	SP " WC	SUPPLY CFM	RETURN CFM	MAX OSA CFM	HIGH INPUT	EWB	EDB	SENSIBLE MBH	LATENT MBH	TOTAL MBH
F-1	2 1/2-TON	BASEMENT	BASEMENT TOILET	BRYANT	SPLIT GAS FURNACE AND DX AC	A, B, C, D, E, F, G	916SA48060M17	120	1	15	10.3	1200	0.375	1200	450	750	60 MBH	64	77	23.40	6.60	30.00

- A. Cased Coil (3-ton for humidity)

B. Programmable Thermostat

C. TXV

D. Fresh Air Intake
- E. Line Set

F. Condensate Pump

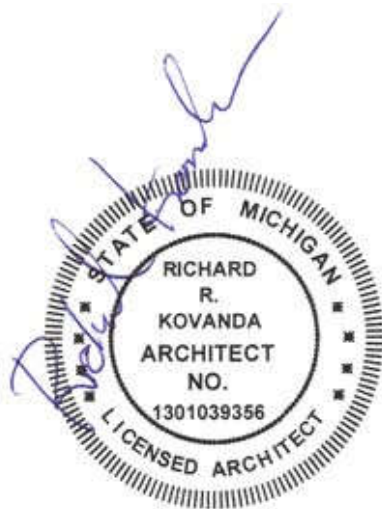
G. Interlock with ERV

CONDENSER EQUIPMENT SCHEDULE																			
BASIS OF DESIGN UNIT INFORMATION								ELECTRICAL				AIR FLOW CFM		MAX COOLING @ 95 AMBIENT					
MARK	NOMINAL SIZE	LOCATION	SERVES	MAKE	UNIT DESCRIPTION	ACCESSORIES	MODEL	VOLTS	PH	MOCP	MCA	TOTAL	HP	REFRIG	EWB	EDB	SENSIBLE MBH	LATENT MBH	TOTAL MBH
ACC-1	2 1/2-TON	ADJACENT TOILET ROOM	BASEMENT TOILET	BRYANT	SPLIT DX AC CONDENSER	A, B	134SAN030000N	208-230	1	25	15.6	2500	1/10 HP	410A	67	80	23.40	6.60	30.00

- A. Base

B. 3/4" - 3/8" Line Set

AIR BALANCE SCHEDULE																
			SQ FT	CODE OCC.					Vbz		Voz	ROOM	OUTSIDE			EXHAUST
ROOM NO.	ROOM NAME	OCC. CLASS	Az	Pz	Rp	Ra	RpPz	RaAz	RpRz + RaAz	Ez	Vbz/Ez	AIRFLOW	AIRFLOW PERCENT			CFM
012	MENS	TOILET	NA	NA	NA	NA	NA	NA	NA	NA	NA	600				-375
014	WOMENS	TOILET	NA	NA	NA	NA	NA	NA	NA	NA	NA	600				-375
ERV-1 AND FUR-1													TOTAL EXHAUST ERV			-750
													FRESH AIR FROM ERV			600
													FRESH AIR FROM HALL VIA RTU-1			100
													TO MAINTAIN TOILET NEGATIVE			-50
100	LOBBY 1	LOBBY	276	8.3	7.5	0.06	62	17	79	0.8	98	750	13.1%			
103	LENNY'S	MULTIPURPOSE ASSEMBLY	703	84.4	5	0.06	422	42	464	0.8	580	3420	17.0%			
116	CORRIDOR	LOBBY	304	9.1	7.5	0.06	68	18	87	0.8	108	700	15.5%			
009	STAIRS	CORRIDOR	50	NA	NA	0.06	NA	3	3	0.8	4	25	15.0%			
010	CORRIDOR	CORRIDOR	150	NA	NA	0.06	NA	9	9	0.8	11	75	15.0%			
RTU-1													4970	SET RTU-1 AT 17% OSA		
		MULTIPURPOSE ASSEMBLY														
104	STAGE 'A'	MULTIPURPOSE ASSEMBLY	3654	438.5	5	0.06	2192	219	2412	0.8	3015	19000	15.9%			
201	PRIVATE LOUNGE	PREFUNCTION	1050	31.5	7.5	0.06	236	63	299	0.8	374	3000	12.5%			
RTU-2, RTU-3, RTU-4, AND RTU-5													22000	SET RTU-2 THRU 5 AT 16%		
109	BACK LOBBY	LOBBY	144	4.3	7.5	0.06	32	9	41	0.8	51	300	17.1%			
108	STAGE 'B'	MULTIPURPOSE ASSEMBLY	2952	354.2	5	0.06	1771	177	1948	0.8	2435	14650	16.6%			
RTU-6, RTU-7, AND RTU-8													14950	SET RTU-6 THRU 8 AT 17%		
ROOM NUMBERS NOT LISTED ARE EXISTING AND NOT PART OF THIS SCOPE																



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PERMITS

JAM HANDY - RENOVATIONS

Job Title:

JAM HANDY - RENOVATIONS

2900 E. GRAND BLVD
DETROIT, MI 48202

Sheet Title:

MECHANICAL SCHEDULES

Project No.:

Sheet No.:

M-2.0

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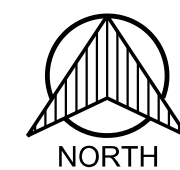
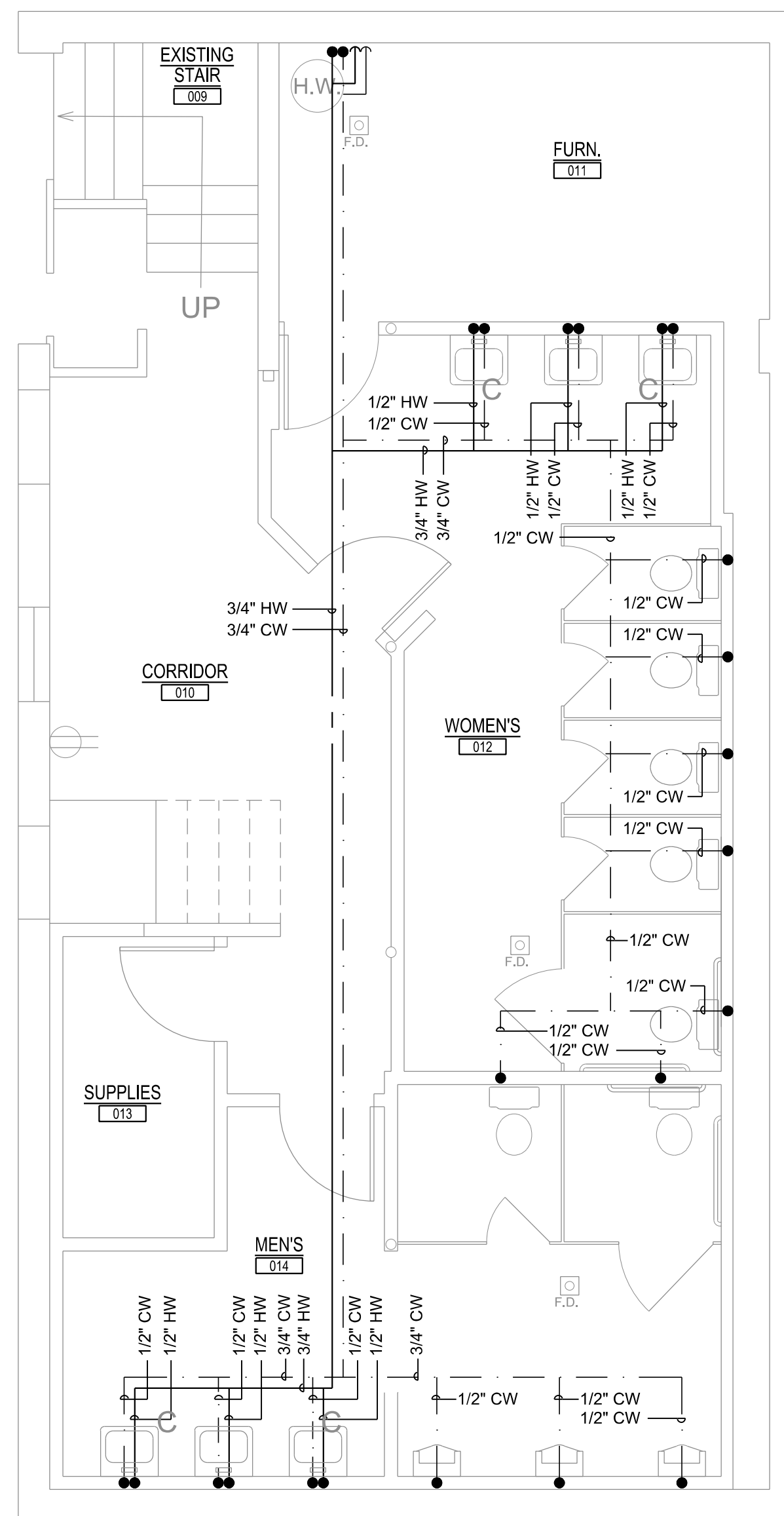
Job Title: **JAM HANDY - RENOVATIONS**

2900 E. GRAND BLVD
DETROIT, MI 48202

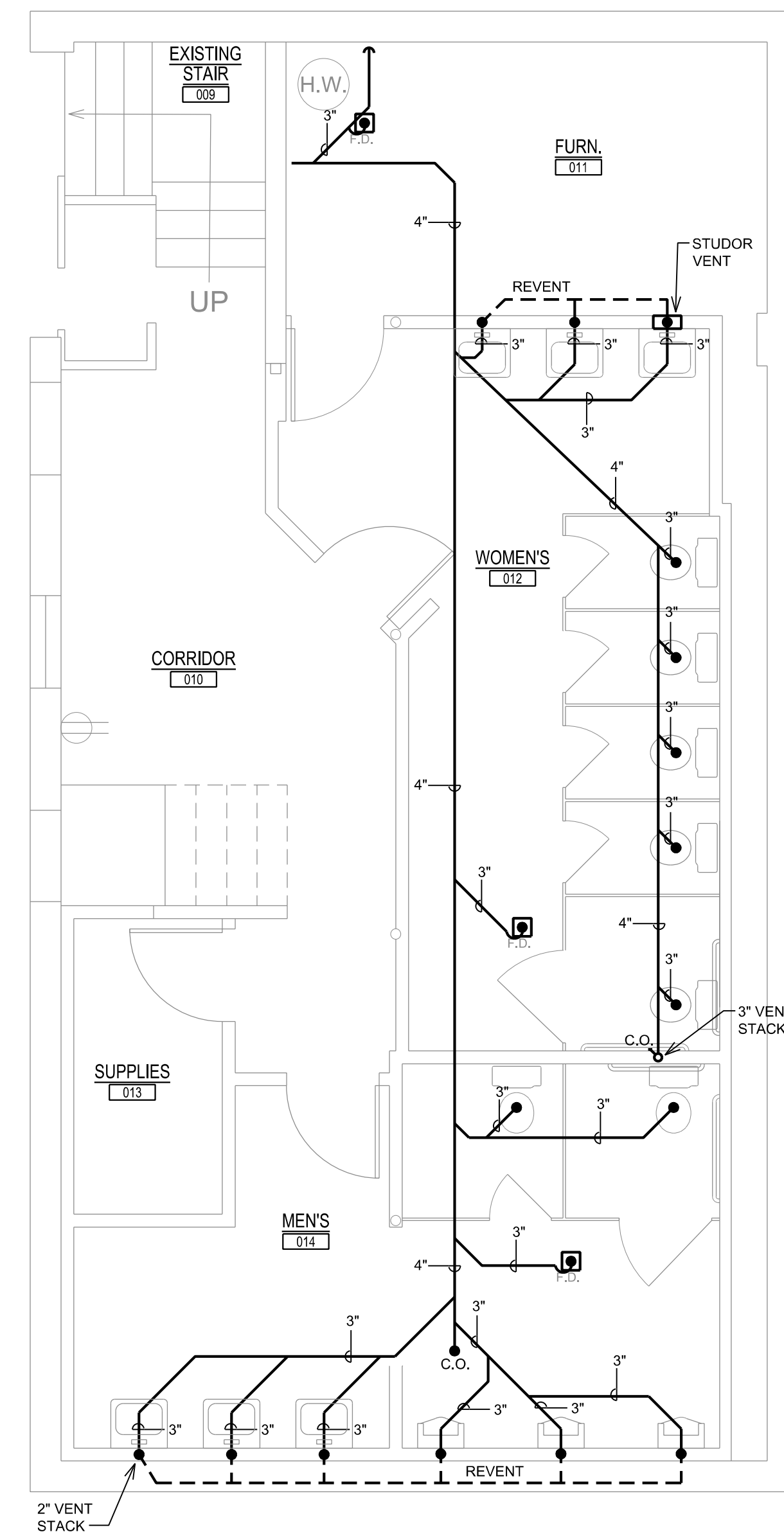
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BASEMENT PLUMBING PLANS

Project No.:

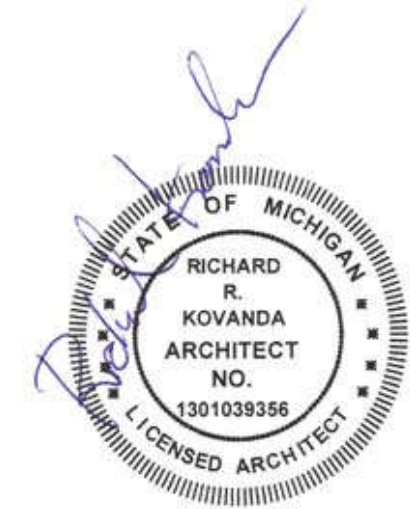
Sheet No.:
P-1.0



BASEMENT WATER PLUMBING PLAN
SCALE: 1/4" = 1'-0"



BASEMENT SANITARY PLUMBING PLAN
SCALE: 1/4" = 1'-0"



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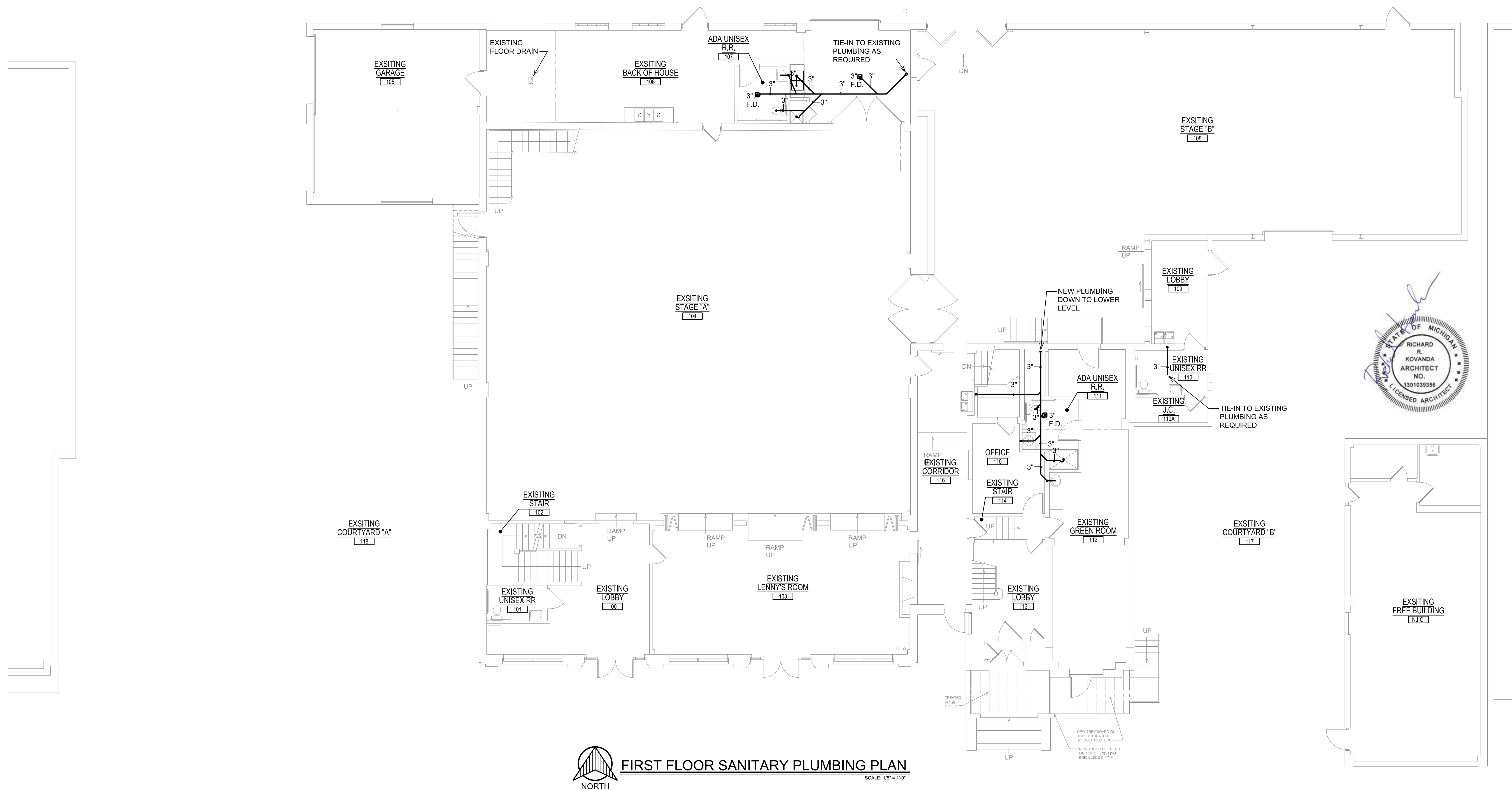
Job Title: **JAM HANDY - RENOVATIONS**

2900 E. GRAND BLVD
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Sheet Title:
**FIRST FLOOR
SANITARY
PLUMBING PLAN**

Project No.:

Sheet No.:
P-2.0



FIRST FLOOR SANITARY PLUMBING PLAN

SCALE: 1/8" = 1'-0"

Sheet No.: **E-1.0**

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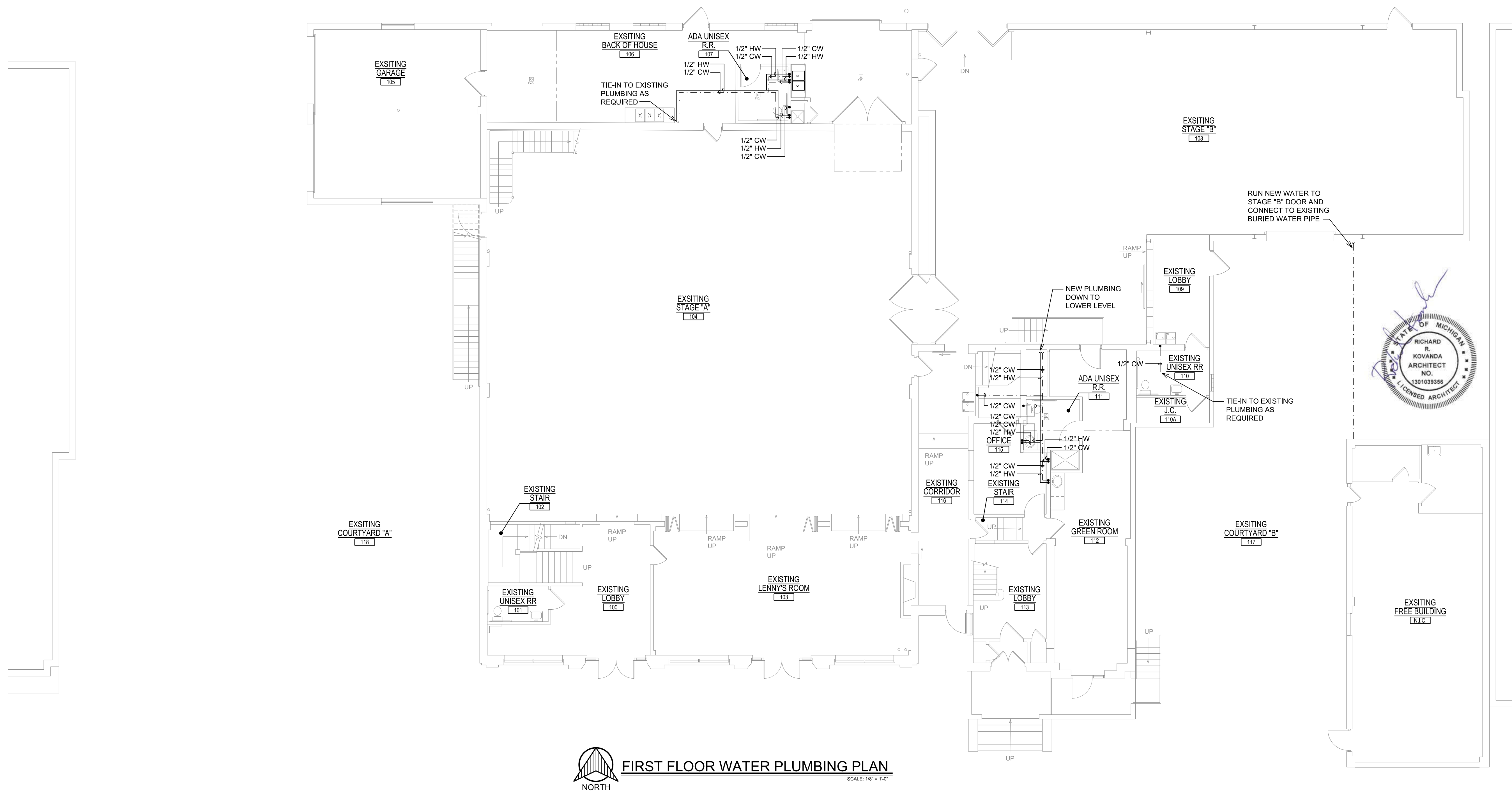
Sheet Title:

FIRST FLOOR
WATER
PLUMBING PLAN

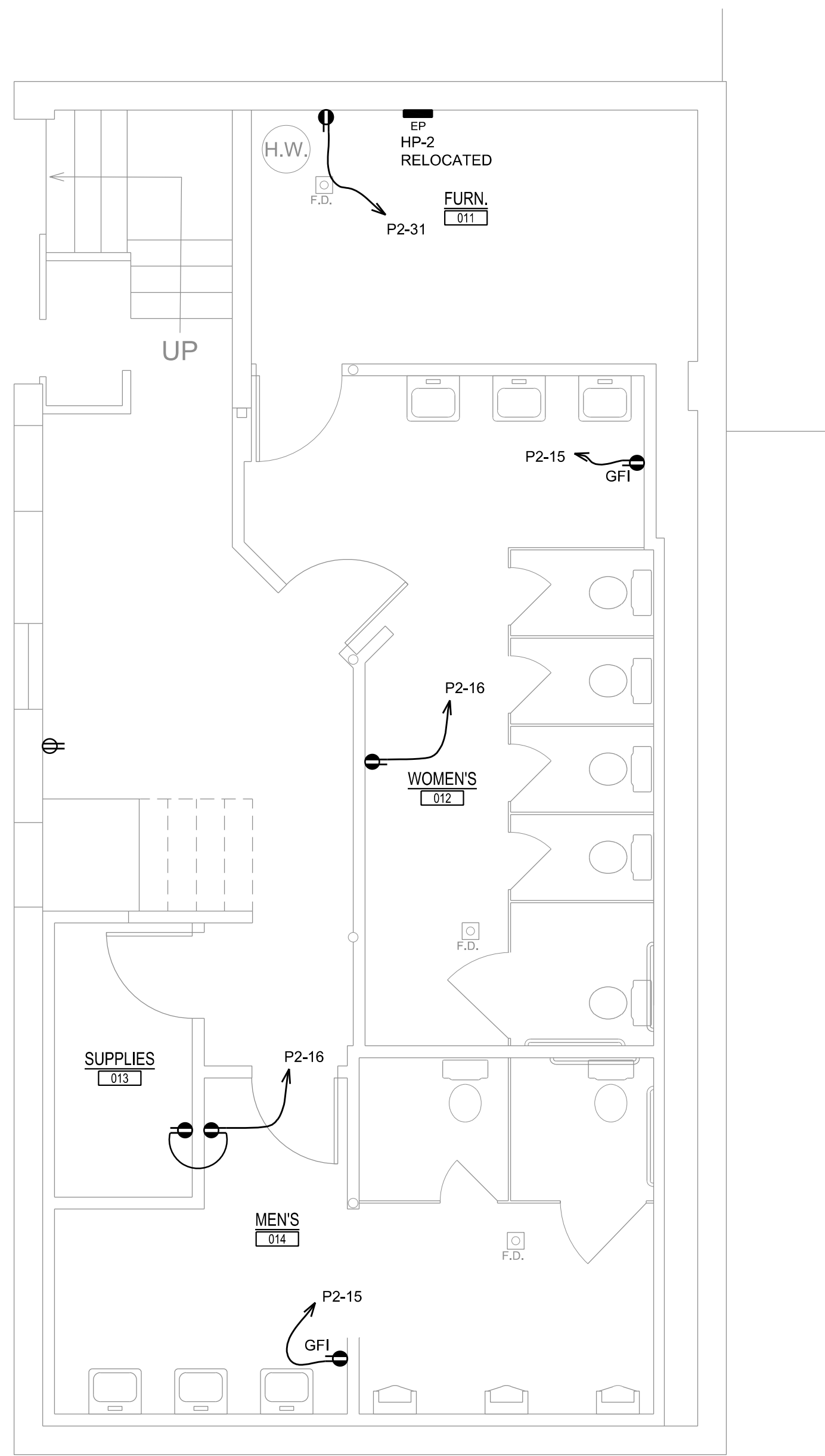
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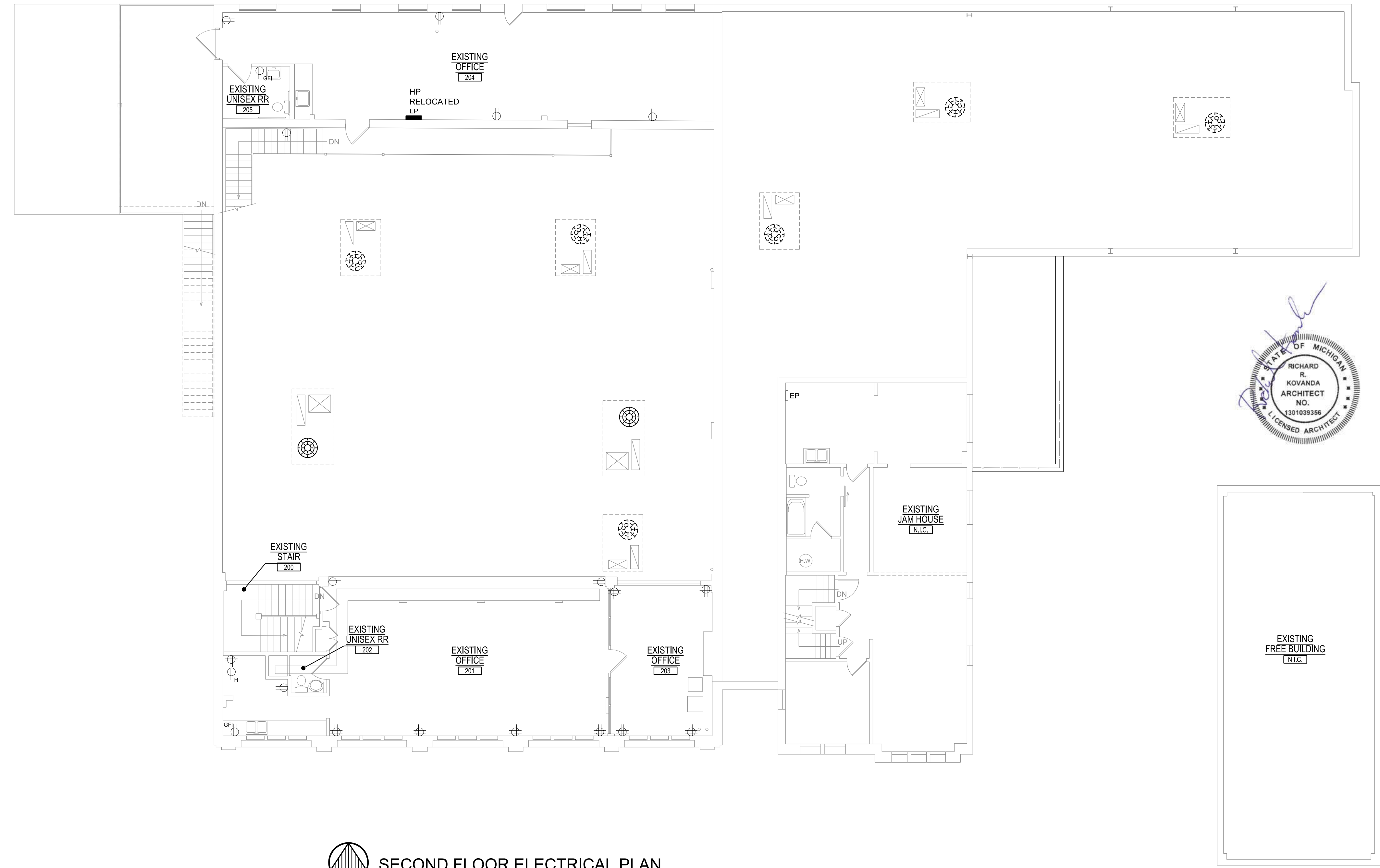
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FIRST FLOOR WATER PLUMBING PLAN
SCALE: 1/8" = 1'-0"



 **BASEMENT RESTROOM ELECTRICAL PLAN**
SCALE: 1/4" = 1'-0"



 **SECOND FLOOR ELECTRICAL PLAN**
SCALE: 1/8" = 1'-0"

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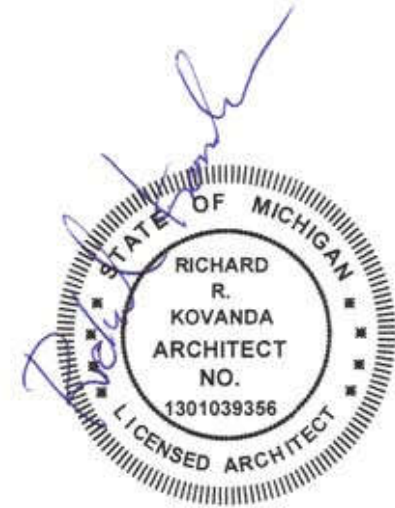
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04.01.2025	PERMITS

Job Title: **JAM HANDY - RENOVATIONS**
2900 E. GRAND BLVD
DETROIT, MI 48202

Sheet Title:
LOWER LEVEL & SECOND FLOOR ELECTRICAL PLANS

Project No.:

Sheet No.:
E-1.1



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Job Title: **JAM HANDY - RENOVATIONS**
2900 E. GRAND BLVD
DETROIT, MI 48202

Sheet Title:
ELECTRICAL SCHEDULES

Project No.:

Sheet No.:
E-3.0

PANELBOARD: P2															
LOCATION: WALL					VOLTS: 120/208					A.I.C. RATING: 200A					
SUPPLY FROM: CT					PHASES: 3					MAINS TYPE: MCB					
MOUNTING: SURFACE					WIRES: 4					MAINS RATING: XXX					
ENCLOSURE: TYPE 1					IN KW BELOW					MCB RATING: XXX					
RMK	CKT	CIRCUIT DESCRIPTION	TRIP	POLES	A	B	C	A	B	C	POLES	TRIP	CIRCUIT DESCRIPTION	CKT	RMK
	1	STAGE "B"	20 A	1	.5			.15			1	20 A	RR / DF	2	GFI
	3	STAGE "B"	20 A	1		.5			.5		1	20 A	OFFICE / GREEN ROOM	4	
	5	STAGE "B"	20 A	1			.5			.5	1	20 A	GREEN ROOM	6	
	7	STAGE "B"	20 A	1	.5			1			1	20 A	COURTYARD "B"	8	WP
	9	STAGE "B"	20 A	1		.5			1		1	20 A	COURTYARD "B"	10	WP
	11	STAGE "B"	20 A	1			.5			.25	1	20 A	ENTRY	12	WP
	13	CORRIDOR	20 A	1	.25			.5			1	20 A	EXTERIOR	14	WP
	15	LOWER LEVEL RR	20 A	1		.5			.25		1	20 A	LOWER LEVEL RR	16	
	17	LIGHTING STAGE "B"	20 A	1			.25			1.25	1	20 A	OUTLETS ON SWITCHES	18	WP
	19	EXTERIOR LIGHTING	20 A	1	.1			.25			1	20 A	WALL LIGHTS	20	
	21	LOWER LEVEL LTS	20 A	1		.35			.16		1	20 A	LIGHTING	22	
	23	LOWER LEVEL LTS	20 A	1			.15			0	1	20 A	SPARE	24	
	25	SPARE	20 A	1	0			0			1	20 A	SPARE	26	
	27	SPARE	20 A	1		0			0		1	20 A	SPARE	28	
	29	SPARE	20 A	1			0			0			SPACE	30	
GFI	31	WATER HEATER OUTLET	20 A	1	.12			0					SPACE	32	
	33	SPACE				0			0				SPACE	34	
	35	SPACE					0			0			SPACE	36	
	37	SPACE			0			0					SPACE	38	
	39	SPACE				0			0				SPACE	40	
	41	SPACE					0			0			SPACE	42	
TOTAL LOAD:					3.37		3.76		3.4						
LOAD CLASSIFICATION															
CONNECTED LOAD					DEMAND FACTOR			ESTIMATED DEMAND			PANEL TOTALS				
LIGHTING					2.51			125%			3.14			TOTAL CONN. LOAD: 10.53 KW	
POWER					.12			80%			.1			TOTAL EST. DEMAND: 11.14 KW	
RECEPTACLE					7.9			100% TO 10KW			7.9			TOTAL CONN. CURRENT: 29.25 A	
														TOTAL EST. DEMAND... 31 A	
L = BREAKER WITH LOCK ON DEVICE															
R# = CIRCUIT CONTROLLED BY RELAY															
* = DEDICATED CIRCUIT WITH AN ISOLATED GROUND															
CIRCUIT BREAKER RATINGS:															
ALL CIRCUIT BREAKERS ARE 1P/20A SWITCHING DUTY BOLT-ON, UNLESS NOTED OTHERWISE															
ALL CIRCUIT BREAKERS FOR HVAC EQUIPMENT SHALL BE "HACR" TYPE															







Communication...

Training...

MAKE CLEAR
*Objectives and
Instructions*







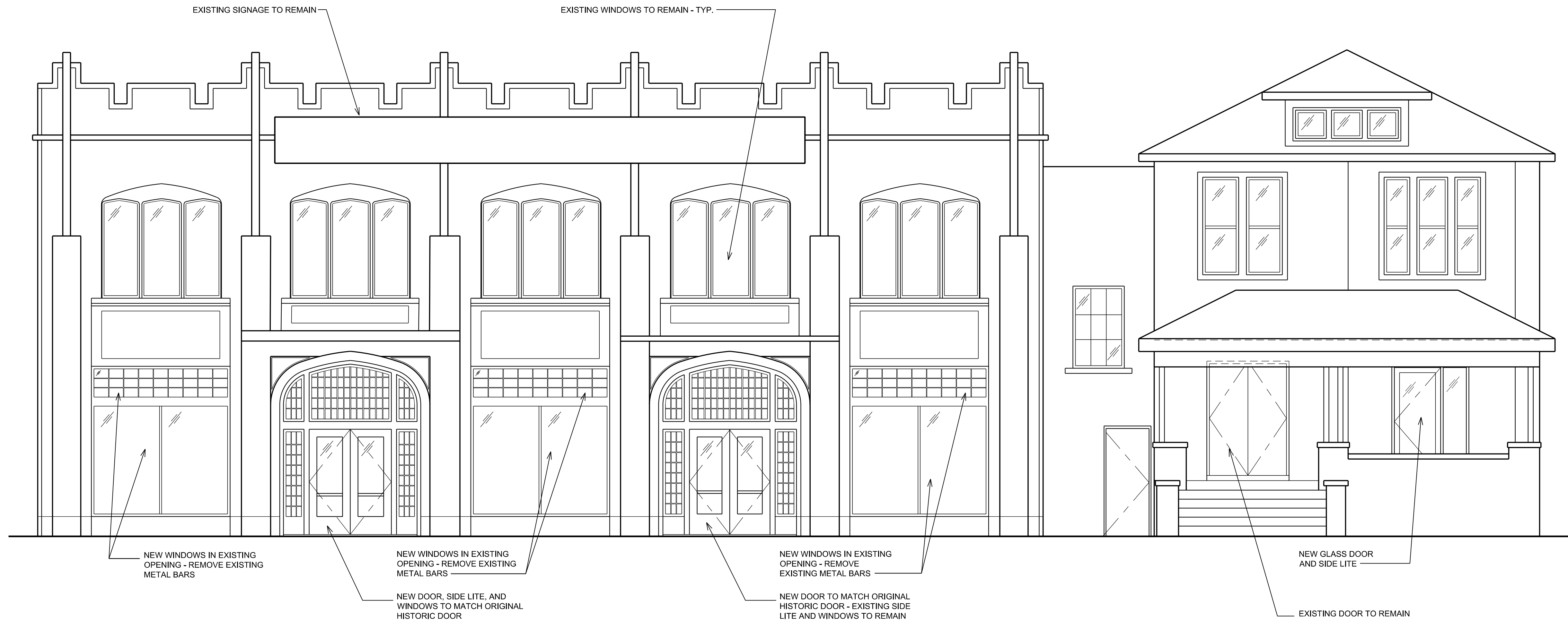




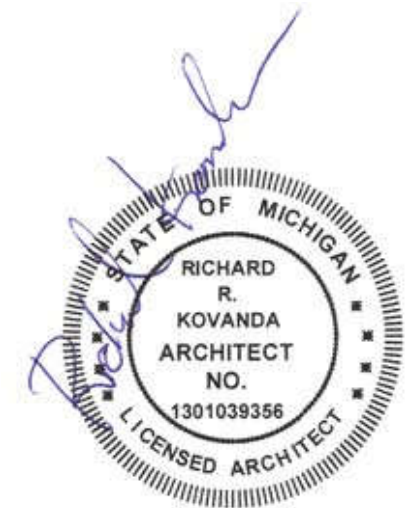


IMAGE OF HISTORIC FRONT ELEVATION

NOT TO SCALE



1
A-2.1
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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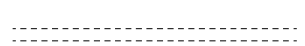
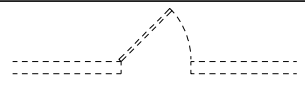




Job Title: **JAM HANDY - RENOVATIONS**

2900 E. GRAND BLVD
DETROIT, MI 48202

Sheet Title:
**EXTERIOR
ELEVATIONS**

Project No.:

Sheet No.:
A-5.0

DEMOLITION LEGEND	
	EXISTING EXTERIOR AND INTERIOR WALLS TO BE REMOVED, PATCH & REPAIR ALL FLOORS, WALLS CEILING AS REQUIRED
	EXISTING DOOR AND DOOR FRAME TO BE REMOVED, PATCH AND REPAIR ALL WALLS AS REQUIRED (TYP.)
	EXISTING PLUMBING FIXTURES TO BE REMOVED
	EXISTING ELECTRICAL PANEL TO BE REMOVED AND RELOCATED
	EXISTING DUPLEX ELECTRICAL OUTLET TO BE REMOVED
	EXISTING QUADRUPEX ELECTRICAL OUTLET TO BE REMOVED

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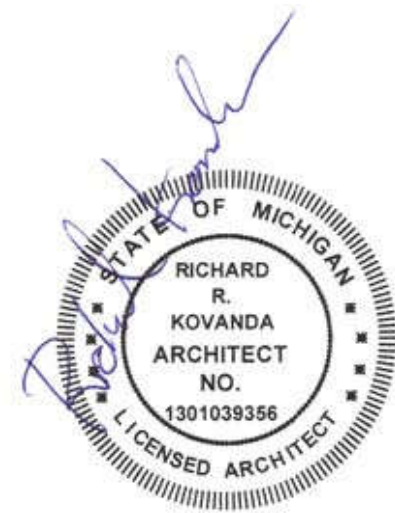
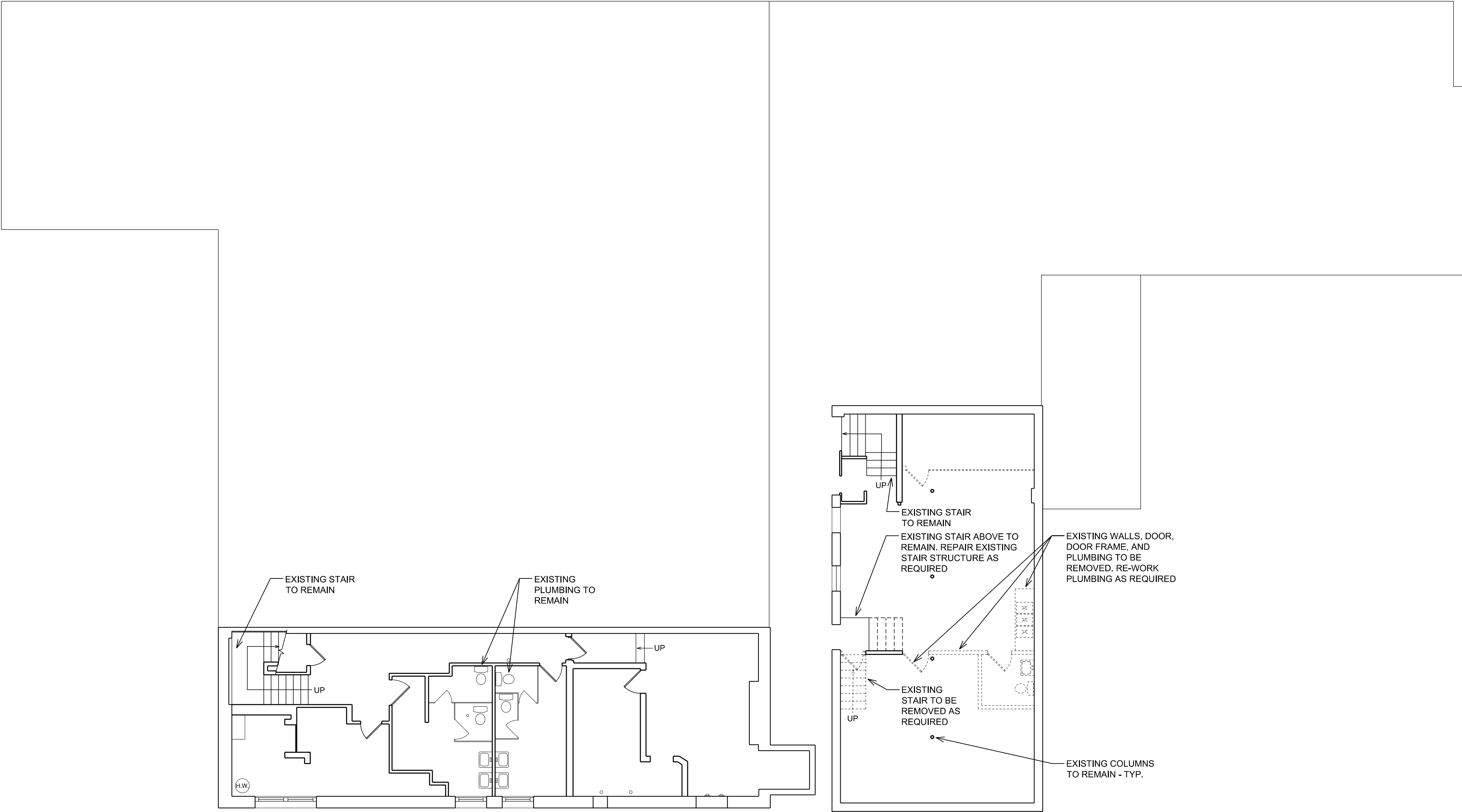
JAM HANDY - RENOVATIONS

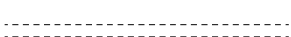
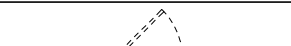




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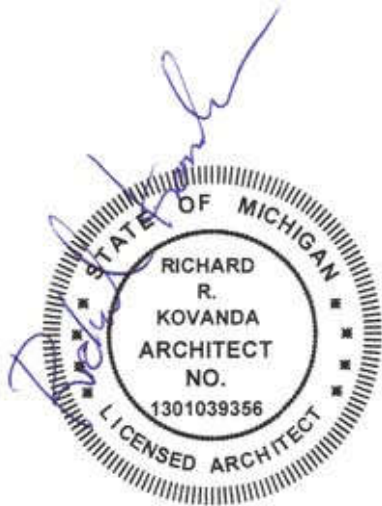
Sheet Title:
**BASEMENT
DEMOLITION PLAN**

Project No.:

Sheet No.:
A-1.0



DEMOLITION LEGEND	
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	EXISTING DOOR AND DOOR FRAME TO BE REMOVED, PATCH AND REPAIR ALL WALLS AS REQUIRED (TYP.)
	EXISTING PLUMBING FIXTURES TO BE REMOVED
 EP	EXISTING ELECTRICAL PANEL TO BE REMOVED AND RELOCATED
	EXISTING DUPLEX ELECTRICAL OUTLET TO BE REMOVED
	EXISTING QUADRUPLUX ELECTRICAL OUTLET TO BE REMOVED



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Job Title: **JAM HANDY - RENOVATIONS**

2800 E. GRAND BLVD
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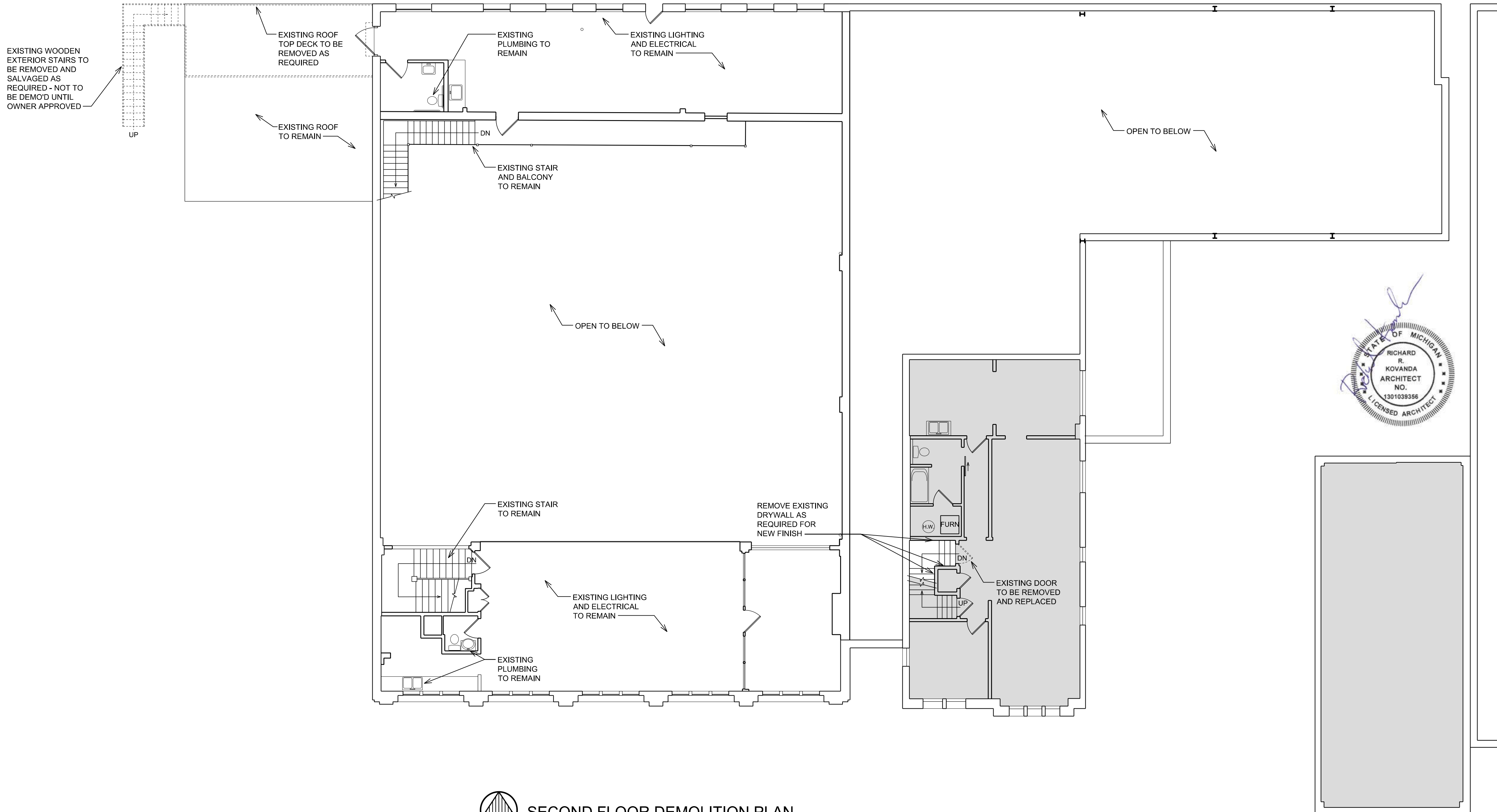
Sheet Title:

**FIRST FLOOR
DEMOLITION PLAN**

Project No.:

Sheet No.: **A-1.1**

DEMOLITION LEGEND	
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	EXISTING DOOR AND DOOR FRAME TO BE REMOVED, PATCH AND REPAIR ALL WALLS AS REQUIRED (TYP.)
	EXISTING PLUMBING FIXTURES TO BE REMOVED
	EXISTING ELECTRICAL PANEL TO BE REMOVED AND RELOCATED
	EXISTING DUPLEX ELECTRICAL OUTLET TO BE REMOVED
	EXISTING QUADRUPEX ELECTRICAL OUTLET TO BE REMOVED



SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

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Sheet Title:
**SECOND FLOOR
DEMOLITION PLAN**

Project No.:

Sheet No.:
A-1.2