



PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVE SUITE 808, DETROIT, MI 48226

HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

Application Number: HDC2025-00393

Effective Date: 08/19/25

Project Address: 301-321 Edmund Place

Issued to: Reid Mauti
36801 Woodward Ave
Birmingham, MI 48009

Historic District: Brush Park

Description of Work:

Erect mixed-use building with accessory parking lot per the submitted/attached application materials

With the Conditions that:

N/A

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

For the Commission:

Garrick Landsberg
Director of Staff, Historic District Commission

PSR: Jennifer

250819GL

Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.





HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00393

PROPERTY INFORMATION

ADDRESS(ES): 321 Edmund Place

HISTORIC DISTRICT: Brush Park

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|--|---|---|---|---|--------------------------------|
| ☐ Windows/
Doors | ☐ Walls/
Siding | ☐ Painting | ☐ Roof/Gutters/
Chimney | ☐ Porch/Deck/Balcony | ☐ Other |
| ☐ Demolition | ☐ Signage | ☒ New
Building | ☐ Addition | ☐ Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

The proposed projects is a mixed-use building at the corner of Edmund and Brush. Our goal is to create a distinguished building that compliments the site's rich history with human scaled elements, brick detailing, and landscaped buffers. We are striving for a form and aesthetic that is timeless yet not derivative. This will create a link between the beautiful historic homes and the dramatic, contemporary developments surrounding the site.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Architect/Engineer/Consultant

NAME: Reid Mauti

COMPANY NAME: Mcintosh Poris Architects

ADDRESS: 36801 Woodward Ave

CITY: Birmingham

STATE: MI

ZIP: 48009

PHONE: +1 (734) 934-3539

EMAIL: rmauti@mcintoshporis.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

DocuSigned by:

Reid Mauti

Mcintosh Poris Architects

Reid Mauti

06/13/2025

SIGNATURE

DATE

36801 Woodward Ave

Birmingham

MI

48009

+1 (734) 934-3539

rmauti@mcintoshporis.com

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION

Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

The existing condition of the site consists of 3 vacant lots at the Northwest corner of the Brush st. - Edmond pl. intersection.

2. PHOTOGRAPHS

Help us understand your project. Please attach photographs of all areas where work is proposed.



3. DESCRIPTION OF PROJECT

In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)

The project will be a 4 story, new construction, mixed-use building. There will be 57 units spread across the 3 floors. the ground floor will consist of a lobby and commercial space at the south end of the building with the rest of the floor being occupied by walk-up units.

4. DETAILED SCOPE OF WORK

In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

This is a new construction project so work will start with any remediation of the site that is necessary. The site should accommodate enough lay-down space for a fairly undistruptive construction process. The building will be constructed out of CFMF will composite decks floors and a masonry facade.

5. BROCHURES/CUT SHEETS

Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.

ADDITIONAL DETAILS





City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

HISTORIC DISTRICT COMMISSION ADDITIONAL INFORMATION REQUEST

Date: 06/17/25

Application Number: HDC2025-00393

APPLICANT & PROPERTY INFORMATION

NAME: Reid Mauti		COMPANY NAME: McIntosh Poris Architects	
ADDRESS: 36801 Woodward Ave	CITY: Birmingham	STATE: MI	ZIP: 48009
PROJECT ADDRESS: 321 Edmund Place			
HISTORIC DISTRICT: Brush Park			

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

This application is not complete. Please provide the following information:

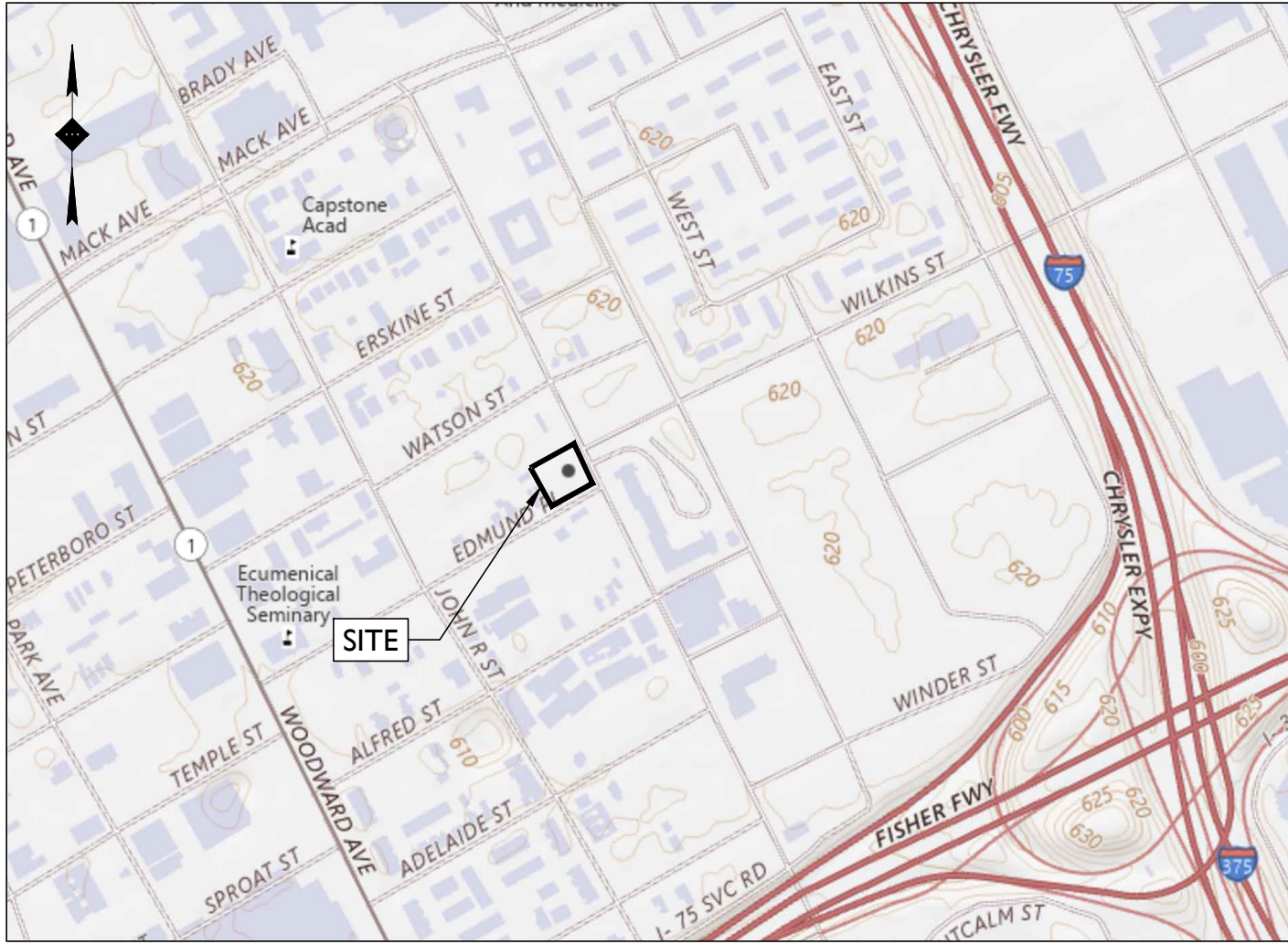
1. Dimensioned drawings (plans and elevations) for the new building which indicate the material of all exterior elements.
2. Dimensioned site plan for both parcels included in the project area. Landscape plan for both parcels included in the project area.
3. Dimensioned elevation drawings for all site elements to include trash enclosures, fencing, walls etc.
4. Product cutsheets for all exterior elements of the building and the site to include doors, windows, siding, railings, fencing, etc.
5. (optional) renderings which depict the new building within the context of the project areas historic surrounds

APPLICANT RESPONSE

Response Date: 06/24/2025



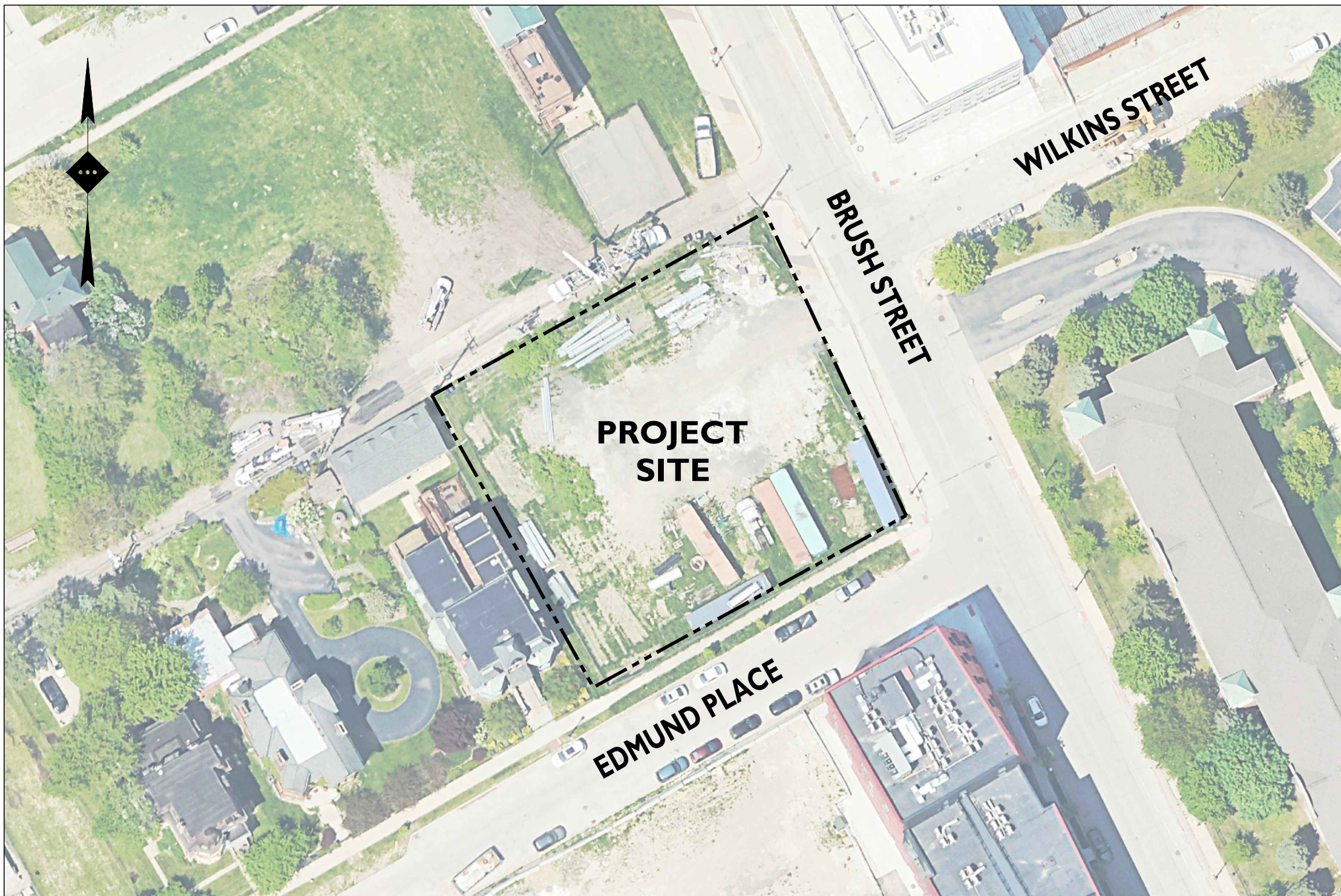
Requested documents have been uploaded



SOURCE: USGS TOPOGRAPHICAL MAPPER, DATE RETRIEVED 2/24/2025

LOCATION MAP

SCALE: 1" = 600'±



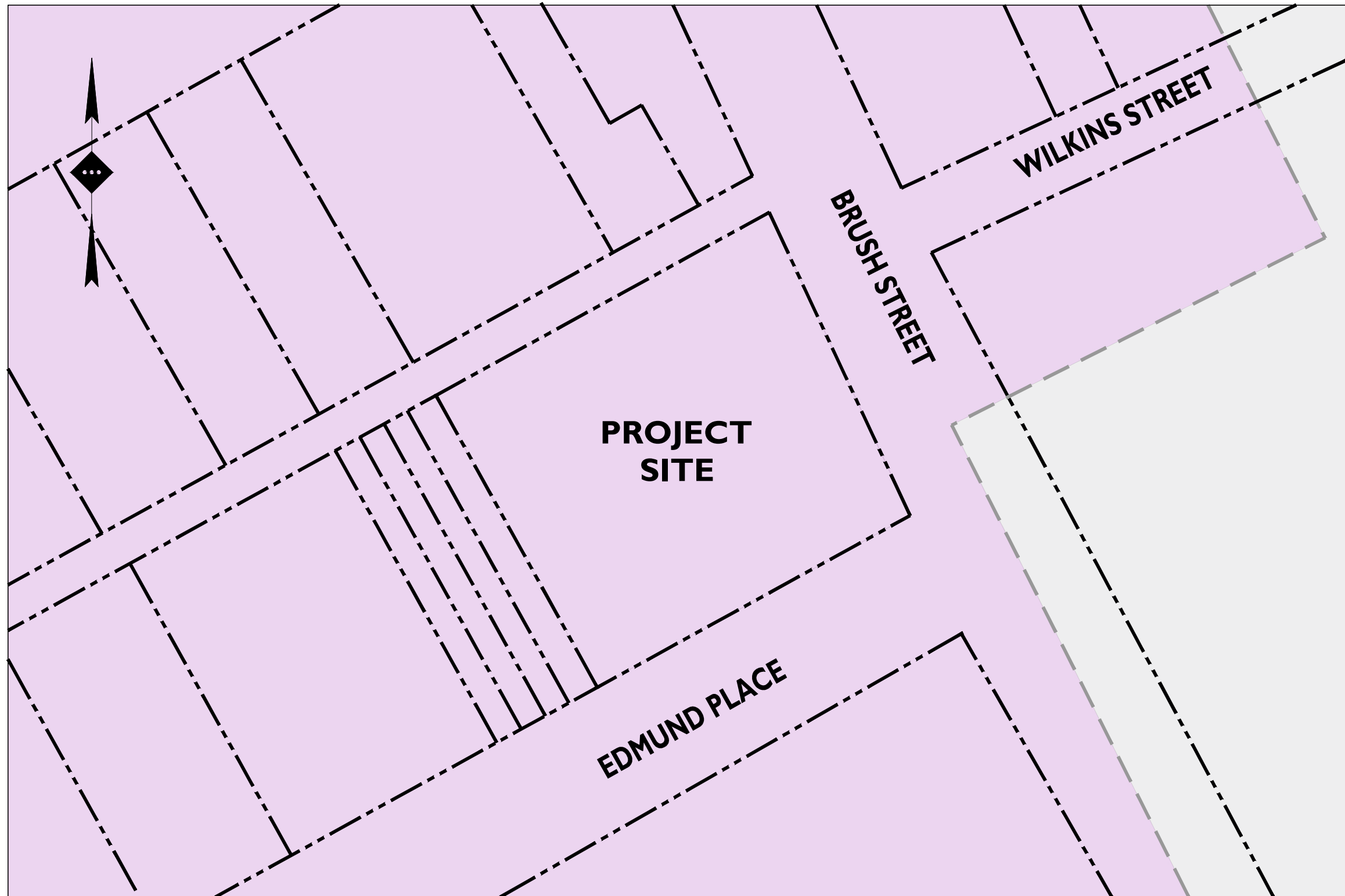
SOURCE: GOOGLE MAPS, DATE RETRIEVED 7/16/2024

AERIAL MAP

SCALE: 1" = 50'±

SITE DEVELOPMENT PLANS
FOR
EDMUND PLACE
PROPOSED MIXED-USE
DEVELOPMENT

PID: 01000725-30 & 01000724.
321 EDMUND PLACE
CITY OF DETROIT, WAYNE COUNTY, MICHIGAN



SOURCE: CITY OF DETROIT ZONING MAP

PLANNED DEVELOPMENT DISTRICT
W/ BUSH PARK HISTORIC OVERLAY (PD-H)
PLANNED DEVELOPMENT DISTRICT (PD)

ZONING MAP

SCALE: 1" = 50'±

APPLICANT

MCINTOSH PORIS ARCHITECTS
155 W. CONGRESS STREET STE. 503
DETROIT, MI 48266
O: 248-258-9346
INFO@MCINTOSHPORIS.COM

NOT APPROVED FOR CONSTRUCTION



STONEFIELD
engineering & design
Birmingham, MI · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Rutherford, NJ
www.stonefieldeng.com
555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

SITE DEVELOPMENT PLANS

EDMUND PLACE
PROPOSED MIXED-USE
DEVELOPMENT

PID: 01000725-30 & 01000724.
321 EDMUND PLACE
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

J. REID COOKSEY, P.E.
MICHIGAN LICENSE No. 6201069428
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: DET-240241

TITLE:

COVER SHEET

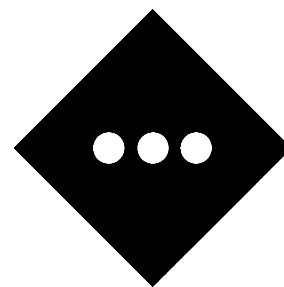
DRAWING:

C-I



Know what's below
Call before you dig.

PLANS PREPARED BY:



STONEFIELD
engineering & design

Birmingham, MI · Rutherford, NJ · New York, NY
Salem, MA · Princeton, NJ · Tampa, FL
www.stonefieldeng.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

PLAN REFERENCE MATERIALS:

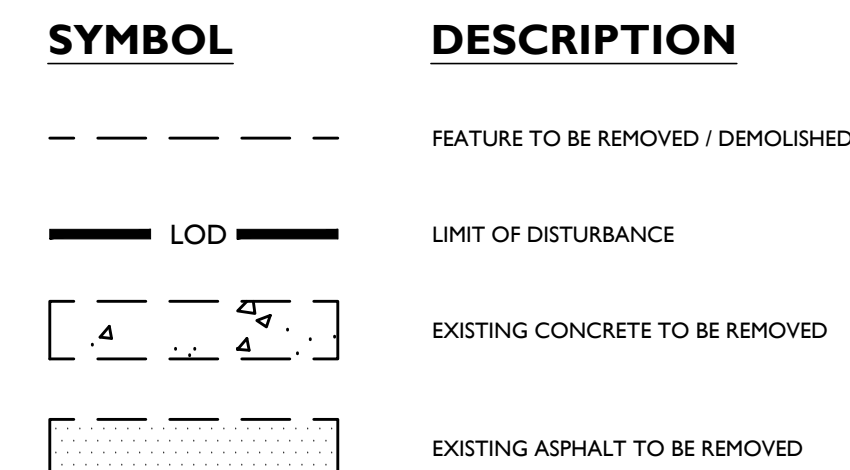
- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA/ACSM LAND TITLE & TOPOGRAPHIC SURVEYS PREPARED BY PEA GROUP, DATED 01/04/2023
 - ARCHITECTURAL PLANS PREPARED BY MCINTOSH PORIS ARCHITECTS, DATED 02/05/2025
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH, DATE RETRIEVED 07/16/2024
 - LOCATION MAP OBTAINED FROM USGS TOPOGRAPHICAL MAPPER, DATE RETRIEVED 02/24/2025
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
DEMOLITION PLAN	C-2
SITE PLAN	C-3
GRADING & STORMWATER MANAGEMENT PLAN	C-4
UTILITY PLAN	C-5
LIGHTING PLAN	C-6
LANDSCAPING PLAN	C-7
LANDSCAPING DETAILS	C-8
CONSTRUCTION DETAILS	C-9

ADDITIONAL SHEETS

DRAWING TITLE	SHEET #
ALTA / ACSM LAND TITLE SURVEY	I OF I
TOPOGRAPHIC SURVEY	I OF I



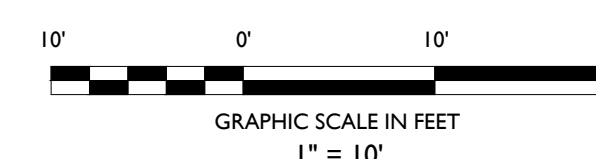
ALL SITE FEATURES WITHIN THE LIMIT OF
DISTURBANCE INDICATED ON THIS PLAN ARE TO
BE REMAIN UNLESS OTHERWISE NOTED. THE
CONTRACTOR SHALL NOTIFY STONEFIELD
ENGINEERING & DESIGN, LLC. IF SIGNIFICANT
DISCREPANCIES ARE DISCERNED BETWEEN THIS
PLAN AND FIELD CONDITIONS



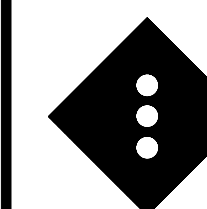
Know what's **below**
Call before you dig.

DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN, SET AND ASSOCIATED SPECIFICATIONS AND REQUIREMENTS. INCLUDING DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE DIVISION AND THE APPLICABLE GOVERNING AGENCY IS OBTAINED BEFORE THE START OF ANY EXPLOSIVE DEMOLITION. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL APPLICABLE CODES AND REGULATIONS IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL MATERIALS ASSIGNED TO BE REMOVED SHALL BE PROPERLY HANDLED, REMOVED TAKES SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING ALL DEMOLITION ACTIVITIES TO MONITOR THE REMOVAL OF ALL BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL MATERIALS GENERATED FROM THE DEMOLITION SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

[illegible]

NOT APPROVED FOR CONSTRUCTION



STONEFIELD
engineering & design

Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonfieldeng.com

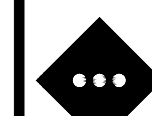
SITE DEVELOPMENT PLANS

EDMUND PLACE

PROPOSED MIXED-USE DEVELOPMENT

PID: 01000725-30 & 01000724.
321 EDMUND PLACE
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

J. REID COOKSEY, P.E.
MICHIGAN LICENSE No. 6201069428
LICENSED PROFESSIONAL ENGINEER



STONEFIELD
engineering & design

SCALE:	1" = 10'	PROJECT ID: DET-240241
--------	----------	------------------------

TITLE:

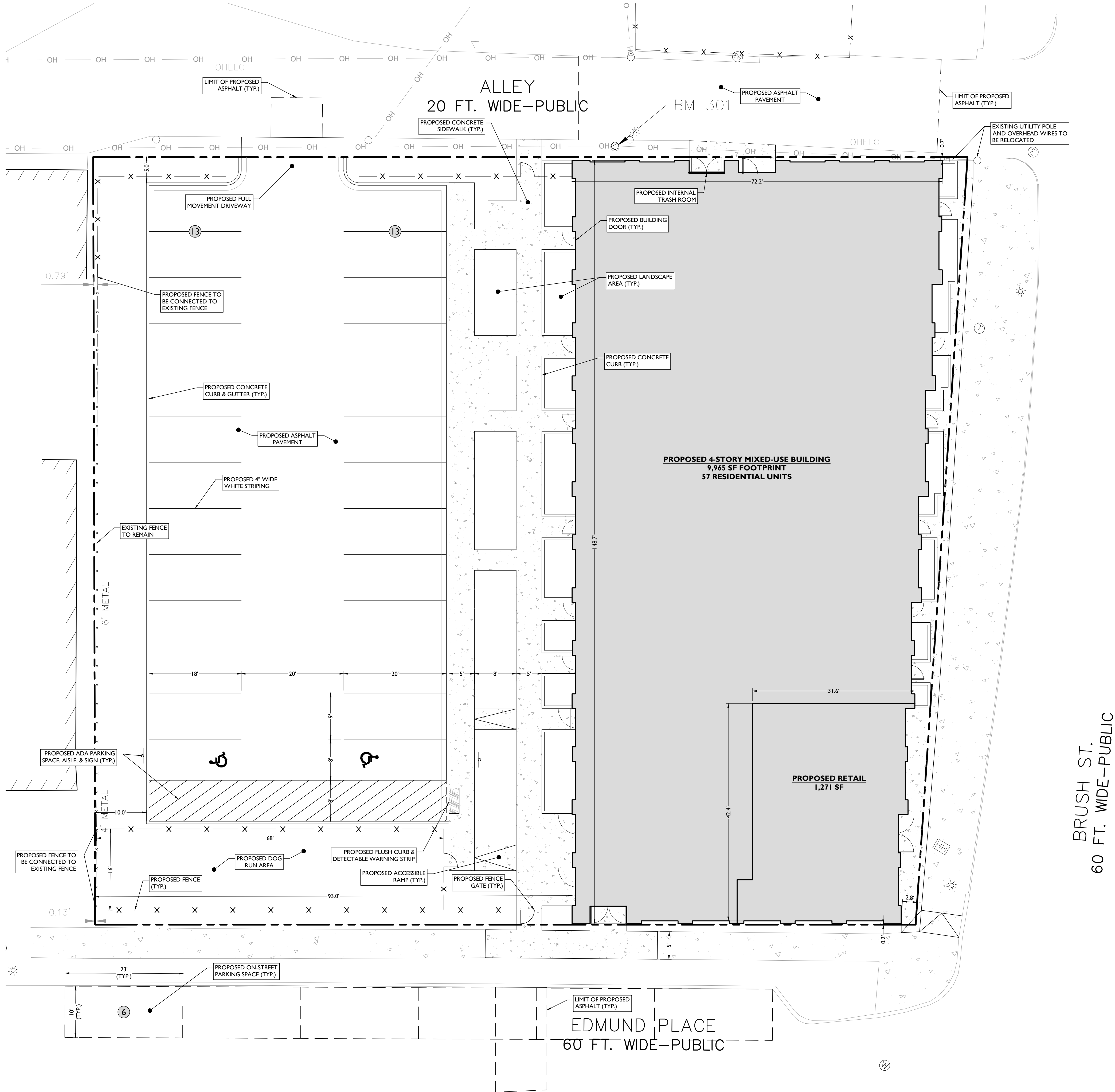
DEMOLITION PLAN

DRAWING:

C-2

DETROIT MICADOPILOTSPR-02.DEMO.DWG
MCINTOSH PORIS ASSOCIATES, 321 EDMUND PLACE
DETROIT 48201

\\VOT02\0405724041\PROJECTS\0405724041\EDMUND PLACE DETROIT\HCA\0405724041\DET-240241.DWG



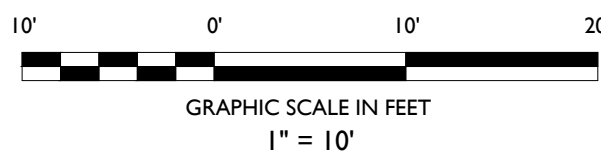
SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED BUILDING DOORS
	PROPOSED CONCRETE CURB & GUTTER
	PROPOSED CONCRETE CURB
	PROPOSED FLUSH CURB
	PROPOSED SIGNS / BOLLARDS
	PROPOSED FENCE

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 61-14-24	MULTIPLE-FAMILY DWELLING MINIMUM: 0.5 SPACES PER UNIT (57 UNITS)(0.5 SPACES / UNIT) = 29 SPACES RETAIL: N/A ⁽¹⁾	26 OFF-STREET SPACES 6 ON-STREET SPACES TOTAL: 32 SPACES
§ 61-14-24	MULTIPLE-FAMILY DWELLING MAXIMUM: 1.5 SPACES PER UNIT (57 UNITS)(1.5 SPACES / UNIT) = 86 SPACES	31 SPACES
§ 61-14-24	REQUIRED LOADING AREA: 12 FT X 35 FT FOR MULTIPLE FAMILY DWELLING	PROVIDED IN ALLEY

(1) PER §50-14-57 OF THE CITY OF DETROIT'S ZONING ORDINANCE, RETAIL SALES AND SERVICE IN MULTIPLE-RESIDENTIAL STRUCTURES DO NOT HAVE A MINIMUM OFF-STREET PARKING SPACE REQUIREMENT.

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefielddesign.com
555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

SITE DEVELOPMENT PLANS

EDMUND PLACE
PROPOSED MIXED-USE DEVELOPMENT

PID: 01000725-30 & 01000724.
321 EDMUND PLACE
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

J. REID COOKSEY, P.E.
MICHIGAN LICENSE No. 6201069428
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 10' PROJECT ID: DET-240241

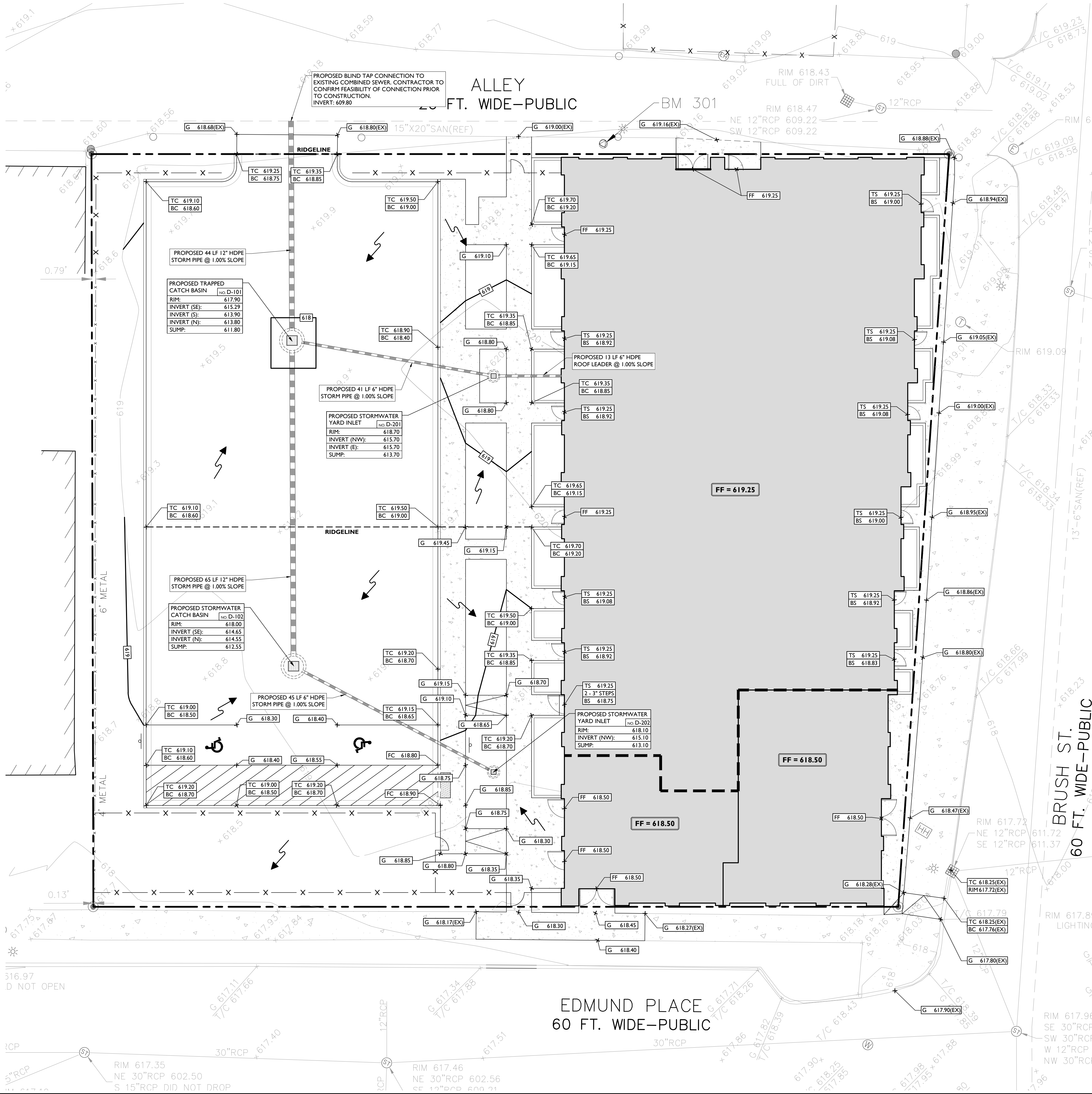
TITLE:

SITE PLAN

DRAWING:

C-3

NOTES: 1. DETROIT PUBLIC WORKS ASSOCIATES - 31 EDMUND PLACE DETROIT, MICHIGAN 48226-4000
2. DETROIT PUBLIC WORKS ASSOCIATES - 31 EDMUND PLACE DETROIT, MICHIGAN 48226-4000
3. DETROIT PUBLIC WORKS ASSOCIATES - 31 EDMUND PLACE DETROIT, MICHIGAN 48226-4000



BENCHMARKS (GPS DERIVED - NAVD88)

BM #300
ARROW ON TOP OF HYDRANT, 1' FROM BACK OF
WEST CURB OF BRUSH ST AND 34' FROM BACK OF
SOUTH CURB OF EDMOND PL.
ELEV. - 620.72

BM #301
BENCH TIE IN WEST SIDE OF POWER POLE, 1' SOUTH
OF ASPHALT ALLEY AND 32' FROM BACK OF WEST
CURB OF BRUSH ST.
ELEV. - 620.71

SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
	PROPOSED GRADE SPOT SHOT
	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
	PROPOSED FLUSH CURB SPOT SHOT
	PROPOSED FINISHED FLOOR SPOT SHOT
	PROPOSED TOP OF STEP / BOTTOM OF STEP SPOT SHOT
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING

PER DIVSD POST CONSTRUCTION
STORMWATER ORDINANCE, STORMWATER
MANAGEMENT IS NOT REQUIRED AS NEW
HARD SURFACE IS LESS THAN 0.50 AC

PROPOSED IMPERVIOUS AREA: 0.45 AC

GRADING NOTES

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE
DISPOSED OF IN ACCORDANCE WITH LOCAL STATE AND FEDERAL
REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES
SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED
PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL
NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED
GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE
CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF
ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR
PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION
ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO
ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND
STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7
INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE
CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO
STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND
APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY
COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE
PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY
APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY
AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS
FOLLOWS:
 - CURB CUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL
BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE
FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD
ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS
RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE
LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS
ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL
CONSTRUCTION METHODS SHALL BE UTILIZED AND
REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF
SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED
DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL
FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN
ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS
AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL
ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING
SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS
WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR
THE LOCATION OR THE ACCESSIBLE PATH). THE CONTRACTOR IS
RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36
INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN
THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING
SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS
ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB
RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF
A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR
ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE
GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE
TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6
INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH
OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL
CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP
AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A
LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL
ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE
ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES
VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE
A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS,
CONTRACTOR SHALL ENSURE THAT THE TOP 1/2 INCH CHANGE IN
LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT
VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR
HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL
NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO
CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF
EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS.
SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY
NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
- CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT
THE LOWEST INVERT AND WORK UP GRADIENT.
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE
AUTHORITY FOR NOTICE OF CONSTRUCTION EXCAVATION AND
UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN
ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO
CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES
IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD
LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN
SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD
ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE
AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND
INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY
DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE
LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE
PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED
GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE
DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS
BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL
EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE
GEOTECHNICAL ENGINEER OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR
ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE A
SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL
SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD
ENGINEERING & DESIGN, LLC. AND THE OWNER PRIOR TO THE START
OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN
EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE
WITH THE LATEST OSHA REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN
AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED
IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED
PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER
DISPOSAL.

SITE DEVELOPMENT PLANS

**EDMUND PLACE
PROPOSED MIXED-USE
DEVELOPMENT**

J. REID COOKSEY, P.E.
MICHIGAN LICENSE No. 6201069428
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 10' PROJECT ID: DET-240241

TITLE:

**GRADING &
STORMWATER
MANAGEMENT PLAN**

DRAWING:

C-4

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115



Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rochester, NY

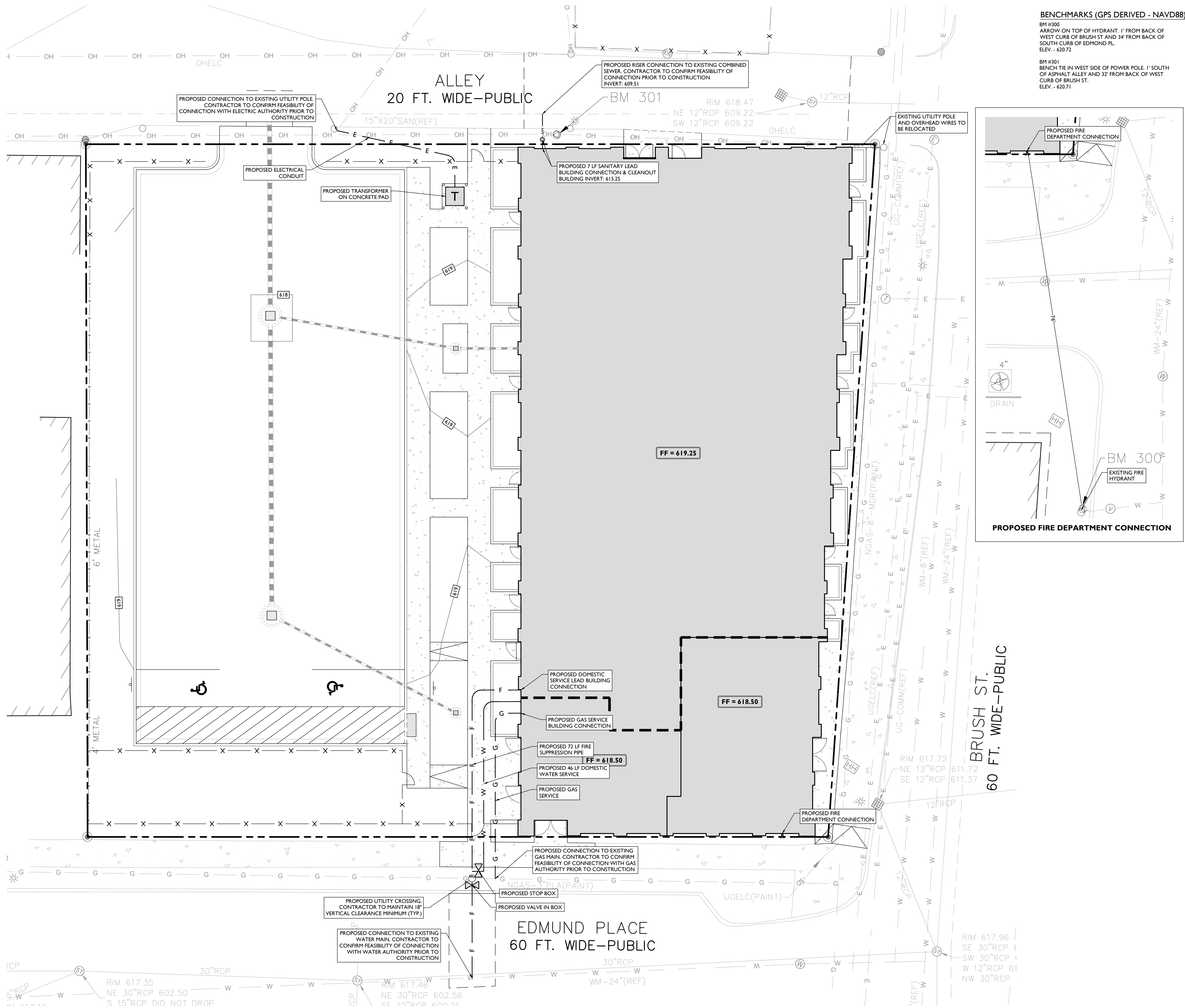
www.stonefielddesign.com

FOR SITE PLAN APPROVAL
FOR CLIENT REVIEW

DATE
BY
ISSUE

DESCRIPTION

NOTED: 1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. 2. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. 3. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.

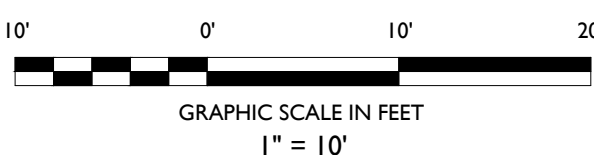


BENCHMARKS (GPS DERIVED - NAVD88)
BM #300
ARROW ON TOP OF HYDRANT, 1' FROM BACK OF WEST CURB OF BRUSH ST AND 34' FROM BACK OF SOUTH CURB OF EDMOND PL.
ELEV. - 620.72
BM #301
BENCH TIE IN WEST SIDE OF POWER POLE, 1' SOUTH OF ASPHALT ALLEY AND 32' FROM BACK OF WEST CURB OF BRUSH ST.
ELEV. - 620.71

SYMBOL	DESCRIPTION
---	PROPERTY LINE
SAN	PROPOSED SANITARY LATERAL
W	PROPOSED DOMESTIC WATER SERVICE
F	PROPOSED FIRE SUPPRESSION LINE
E	PROPOSED ELECTRIC CONDUITS
G	PROPOSED GAS LINE
X	PROPOSED VALVE
+	PROPOSED FIRE DIRECT CONNECTION (FDC)
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



STONEFIELD
engineering & design

Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefielddesign.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

EDMUND PLACE
PROPOSED MIXED-USE DEVELOPMENT

PID: 01000725-30 & 01000724.
321 EDMUND PLACE
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

J. REID COOKSEY, P.E.
MICHIGAN LICENSE No. 6201069428
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 10' PROJECT ID: DET-240241

TITLE:

UTILITY PLAN

DRAWING:

C-5

[illegible]

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 50-14-236.(1)	ILLUMINATION: BETWEEN 2.0 - 5.0 FC MEASURED AT 5 FT ABOVE GRADE	3.11 FC
§ 50-14-590.(1)	GLARE STANDARD: 0.5 FC MAXIMUM ONTO NEIGHBORING PROPERTIES	0.3 FC



1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNPREDICTABLE FACTORS SUCH AS: VOLTAGE, WIRE VOLTAGE DROP, SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
3. FOR ALL EXISTING ELEMENTS WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
4. THE CONTRACTOR SHALL NOTIFY STONFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH ANY PROPOSED DESIGN UTILITIES OR EXISTING UTILITIES.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF THE WORK AND PROVIDE IT TO THE OWNER AND STONFIELD ENGINEERING & DESIGN, LLC.

NOT APPROVED FOR CONSTRUCTION



Birmingham, MI • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefieldeng.com

SITE DEVELOPMENT PLANS

EDMUND PLACE

PROPOSED MIXED-USE DEVELOPMENT

PID: 01000725-30 & 01000724.
321 EDMUND PLACE
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

J. REID COOKSEY, P.E.
MICHIGAN LICENSE No. 6201069428
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 10' PROJECT ID: DET-24024

TITLE:

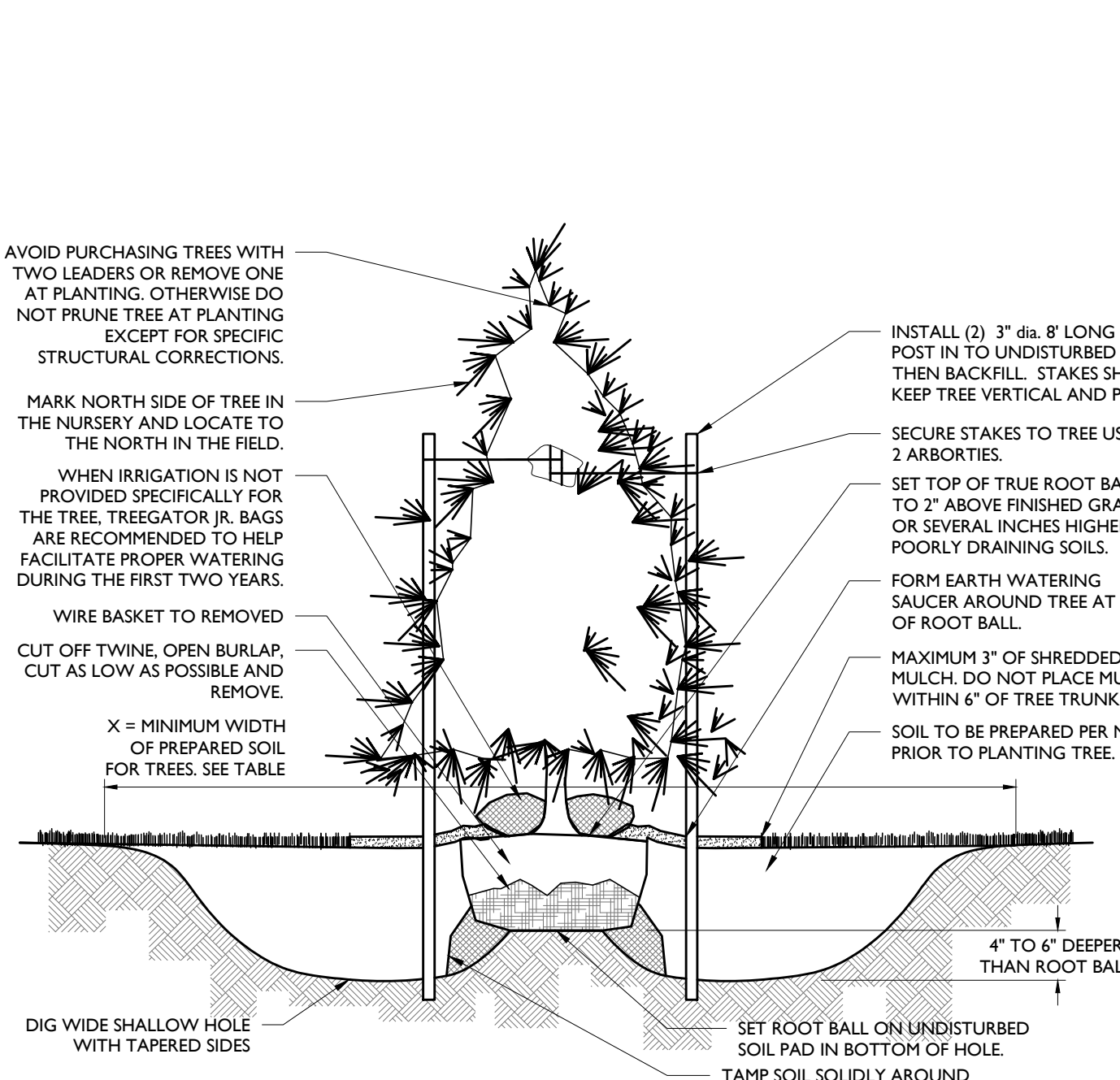
LIGHTING PLAN

DRAWING:

C-6

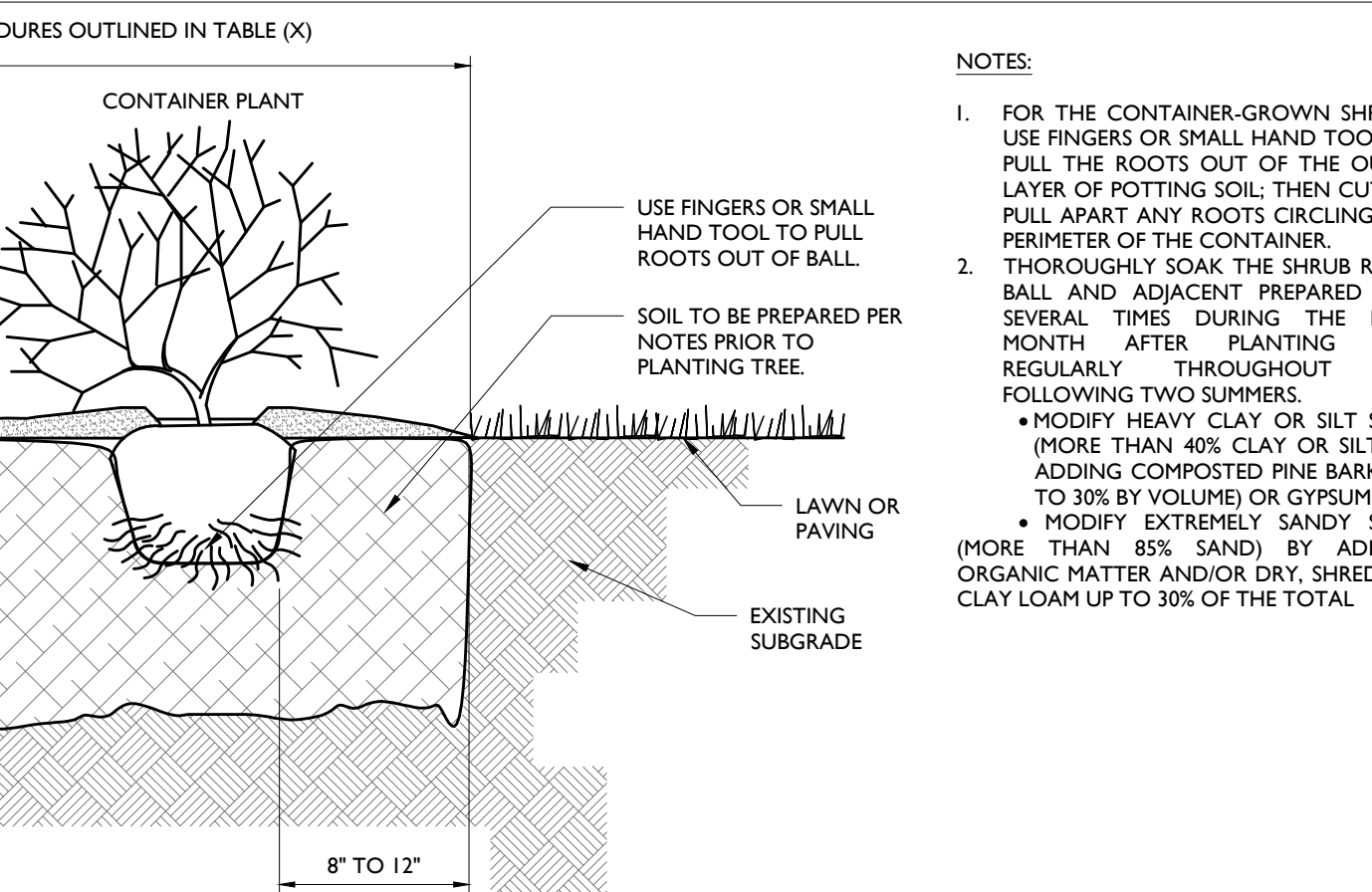
NOTES

2. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF THE POTTING SOIL; THEN CUT OR PRUNE APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
3. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
4. SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



CONIFEROUS TREE PLANTING DETAIL

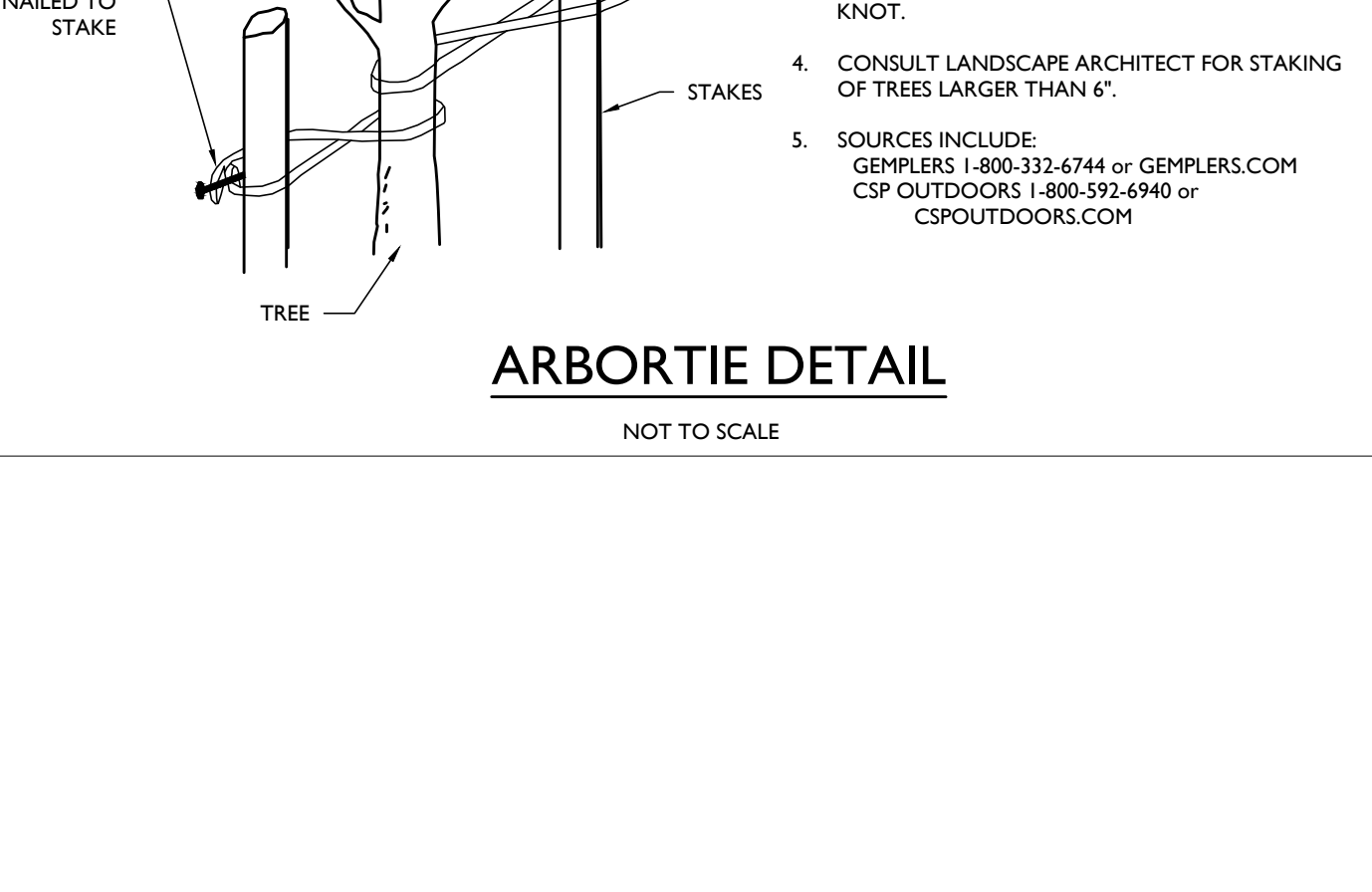
NOT TO SCALE



PLANTING DETAIL

NOT TO SCALE

-
- ARBOR TIE
- INSTALLATION GUIDELINES:
1. LOOP TIE AROUND TREE AND NAIL TO CEDAR STAKE.
 2. REMOVE ALL STAKING AND TIES AT END OF FIRST GROWING SEASON.
 3. HOLD TIES AS SUPPORTIVE ONLY, DO NOT STAKE



NOT TO SCALE

4

- ### PLANT QUALITY AND HANDLING NOTES

2. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z600-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
3. IN CASES OF BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
4. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN ROOT NUMBER, BRANCHES, COMPACTNESS AND SYMMETRY.
5. ALL PLANTS MUST HAVE HEALTHY, VIGOROUS, WELL DEVELOPED BARK. VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEMS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
6. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR BREAKS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT BEEN COMPLETELY CALLOUSED SHALL BE REJECTED.
7. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
8. ALL PLANTS SHALL BE WELL PROVIDED WITH FIRBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELLS-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
9. ALL PLANTS DESIGNATED BALL AND BURLAP ((BB)) SHALL BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH. THE BALLS OF EARTH SHALL BE SUFFICIENT IN SIZE TO ENCOMPASS THE FIRBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN.
10. PREPARATORY TO OR DURING THE PROCESS OF PLANTING, THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS SHALL BE HANDLED CAREFULLY TO PREVENT DAMAGE TO THE GROUND AND COVERING. PLANTS SHALL BE COVERED WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
11. ALL PLANTS SHALL BE SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF ADEQUATE PROTECTION FOLLOWING LOADING, DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPERFECT HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
12. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING

WITH SOIL OR MULCH AND THEN WATERING

8. PLANTS TRANSPORTED TO A PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPIS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE USED TO TRANSPORT PLANTS TO THE PROJECT. PLANTS LOADED OR UNLOADED FROM VEHICLES SHALL BE PROTECTED FROM DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD IN WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
9. ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND A PLANTING DETAILS.
10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE DELIVERED TO THE PROJECT AND NOT IMMEDIATELY INSTALLED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, WHERE POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE KEPT MOIST AT ALL TIMES. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEADED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
12. PLANTS WITH ROOT CUTS OR BRANCH CUTS SHALL BE PRUNED PRIOR TO PLANTING UNLESS SHARP CUTS. ONLY HEALTHY, DISEASED OR INJURED PLANTS SHALL BE REMOVED.
13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR REMOVE PLANTS OR BRITS OR CUTS SHALL BE TAKEN FROM THE CONTRACT.
14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
PLANTS (MARCH 15 - DECEMBER 15)
LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO PLANTING SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON.

ABIES CONCOLOR CORNUS VA

- ACER FREEMANII
ACER RUBRUM
ACER SACHALINENSE
BETULA VARIETIES
CARPINUS VARIETIES
CEDRUS DEODARA
CELTIS VARIETIES
CERATOPHYLLUM VARIETIES
CERCIS CANADENSIS
CORNUS VARIETIES
CRATAEGUS VARIETIES
CUPRESSOCYPRIS LEYLANDII
FAGUS VARIETIES
GINKGO BILOBA
ILEX X FOSTER
LILIE NELLIE STEVENS
LILIE OPACA
JUNIPERUS VIRGINIANA
KOELEUTARIA PANCULATA
LIQUIDAMBAR VARIETIES
LIRIODENDRON VARIETIES
MALUS IN LEAF
NYSSA SYLVATICA
PLATANUS VARIETIES
POTANUS VARIETIES
QUERCUS VARIETIES
PERUS VARIETIES
PYRUS VARIETIES (NOT Q. PALUSTRIS)
SALIX WEEPING VARIETIES
SILVER PINE VARIETIES
TAXODIUM VARIETIES
TAXUS B REPENDENS
TILIA TOMENTOSA VARIETIES
ULMUS PARVIFOLIA VARIETIES
ZELKOVA VARIETIES
17. IF A PROPOSED PLANT IS UNAVAILABLE OR ON THE FALL DISEQUILIBRIUM HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL BEFORE ORDERING.
18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
19. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
20. A 90 DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALLY PLACED, AND REPAIRING OR REPLACING MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
22. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE GRASS IS HEAVY, GRASS SHOULD BE MOWED IN TWO PASSES TO PREVENT DESTRUCTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
23. GRASS AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
24. SKEWER THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OF A WATER TRUCK OR OTHER ACCEPTABLE MEANS.
26. THE QUANTITY OF WATER APPLIED AT EACH WATERING SHALL BE SUFFICIENT TO SATURATE THE SOIL TO A MINIMUM OF SIX INCHES (6") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT CRACKING OF THE SOIL.

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE PROJECT OWNER. ANY LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

1. SEED MIXTURE SHALL BE FRESH-LEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION".
3. SEEDING LANDSCAPE PLAN FOR AREAS TO BE SEEDING OR SOD.
4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION".
5. PROTECT NEW LAWN AREAS AGAINST TRAMPLE WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRAMPLE, EROSION, OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

TABLE NOTES:

1. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO THE WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.

2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISH THREE TO FOUR MONTHS PER INCH TRUNK CALIPER, NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.

3. WHEN IRRIGATION FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

TABLE NOTES:
1. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.

2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
3. WHEN IRRIGATION FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

[illegible]

• Sales performance

New York
Florida, FL

on. N

B

ס-כ

ΣΖ

2009

10

CENSE NO.
 OFFESSIONAL

Engineering &

RING

10

—0—

S:\PROJECTS\2022-2023-2024\EDMUND PLACE\SURVEY\20220313A.DWG PLOT DATE: 1/6/2023 1:58 PM BY: Daniel Cole

SURVEYOR'S NOTES

Table A Items

- the subject property is monument as shown on the survey map.
- The subject property is identified as:
Parcel 1
321 Edmond Pl.
TAX ID: 01000725-30
Parcel 2
301 Edmond Pl.
TAX ID: 01000724
- By graphic plotting, subject parcel is in "Zone X" (Areas determined to be outside of 0.2% annual chance floodplain) Flood Insurance Rate Map Numbers 26163C0285F, bearing an Effective Date of October 21, 2021.
- The surveyed property covers approximately
Parcel 1 - 0.38 Acres (16,502 square feet) of land
Parcel 2 - 0.19 Acres (8,229 square feet) of land
Overall - 0.57 Acres (24,731 square feet) of land
- 1 foot contour based on construction plans.
- Substantial features observed in the process of conducting the fieldwork are shown on the survey map and are depicted as observed
- No pavement striping for parking were observed in the process of conducting the fieldwork.

SURVEYOR'S NOTES

Table A Items

- (a) Evidence of underground utilities existing on or serving the surveyed Property. plans not provided by Client.
- Names of adjoining owners according to current tax records are noted and shown on the survey map.
- No evidence of recent earth moving work, building construction, or building additions were observed in the process of conducting the fieldwork.
- Parts of the east side of Bush St. and south side of Edmund Place has evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

Other Notes:

- Bearings established from BRUSH SUBDIVISION OF PART OF PARK LOTS 14 AND 15 AND PART OF BRUSH FARM ADJOINING according to the plat thereof recorded in Liber 2 of Plats, Page 25 of Wayne County Records.
- There was no observable evidence of cemeteries, burial grounds, or individual grave sites on the subject property.
- Fence runs over parcel 2 (as shown)
- Subject property is use as a staging area for off-site construction at the time of the survey.

EXHIBIT A - PROPERTY DESCRIPTION

First American Title Insurance Company
Commitment Number: 981925
Property Address: 301 & 321 Edmund Place, Detroit, MI 48201
Commitment Date: November 14, 2022

The Land referred to herein below is situated in the City of Detroit, County of Wayne, State of Michigan, and is described as follows:

PARCEL 1:

Lot(s) 1 and East 45 feet of Lot(s) 2, Block 7 of BRUSH SUBDIVISION OF PART OF PARK LOTS 14 AND 15 AND PART OF BRUSH FARM ADJOINING according to the plat thereof recorded in Liber 2 of Plats, Page 25 of Wayne County Records.

PARCEL 2:

Lot(s) 3 and West 5 feet of Lot(s) 2, Block 7 of BRUSH SUBDIVISION OF PART OF PARK LOTS 14 AND 15 AND PART OF BRUSH FARM ADJOINING according to the plat thereof recorded in Liber 2 of Plats, Page 25 of Wayne County Records.

SCHEDULE B-II (EXCEPTIONS)

First American Title Insurance Company
Commitment Number: 981925
Property Address: 301 & 321 Edmund Place, Detroit, MI 48201
Commitment Date: November 14, 2022

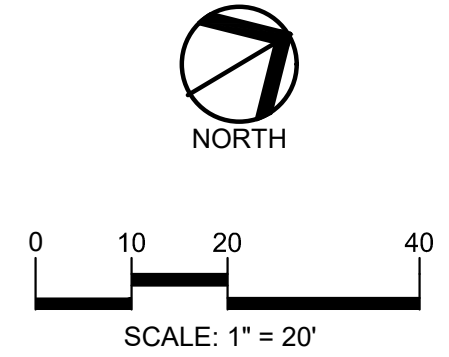
Items 1 through 6, and 19 through 24, are not plottable land survey matters.

- Interest of Central Brush Park, LLC, as disclosed by Quit Claim Deed recorded in Liber 45397, page 1633.
[SUBJECT PROPERTY IS INCLUDED IN EXHIBIT A BUT THERE IS NO PLOTTABLE SURVEY MATTERS.]
- Claim of Interest by City of Detroit, a Municipal corporation by its Department of Public Works as evidenced by instrument dated February 13, 1974, recorded March 8, 1974, in Liber 18745, page 682, Register No. J300795, as to lot 2.
[PART OF SUBJECT PROPERTY IS INCLUDED THEREIN BUT THERE IS NO PLOTTABLE SURVEY MATTERS.]
- Claim of Interest by City of Detroit, a Municipal corporation by its Department of Public Works as evidenced by instrument dated April 22, 1974, recorded May 8, 1974, in Liber 18796, page 596, Register No. F908697, as to Parcel 2.
[PART OF SUBJECT PROPERTY IS INCLUDED THEREIN BUT THERE IS NO PLOTTABLE SURVEY MATTERS.]
- Interest of Greater Detroit Resource Recovery Authority, a Michigan public authority and body corporate, Lessee, and Terms, Conditions and Provisions of Lease, as evidenced by Lease, dated April 4, 1986, recorded May 5, 1986, in Liber 22760, page 908, as to Lot 1 of Parcel 1.
[SUBJECT PROPERTY IS INCLUDED IN EXHIBIT B BUT THERE IS NO PLOTTABLE SURVEY MATTERS.]
- Terms and Conditions contained in Regulatory Agreement with Respect to Housing Development Fund Grant as disclosed by instrument recorded in Liber 19045, page 535, Register No. J365777.
[SUBJECT PROPERTY IS INCLUDED THEREIN BUT THERE IS NO PLOTTABLE SURVEY MATTERS.]
- Terms and Conditions contained in Ordinance as disclosed by instrument recorded in Liber 20782, page 634, Register No. G481677. Affidavit of Historic Designation Restrictions recorded in Liber 21244, page 693, Register No. G615454.
[SUBJECT PROPERTY IS INCLUDED THEREIN BUT THERE IS NO PLOTTABLE SURVEY MATTERS.]
- Oil, gas, mineral, and aboriginal antiquities reserved by the State of Michigan, and the terms, covenants and provisions contained in instrument recorded in Liber 21572, page 532, Register No. G715922, as to Parcel 1. This exception does not constitute a statement as to the ownership of this interest or right. There may be leases, grants, exceptions or reservations of such interests that are not listed.
[PARCEL 1 OF SUBJECT PROPERTY IS INCLUDED THEREIN BUT THERE IS NO PLOTTABLE SURVEY MATTERS.]
- Terms and Conditions contained in Ordinance as disclosed by instrument recorded in Liber 28459, page 602.
Ordinance recorded in Liber 29551, page 1900.
Ordinance recorded in Liber 40535, page 209.
[SUBJECT PROPERTY IS INCLUDED THEREIN BUT THERE IS NO PLOTTABLE SURVEY MATTERS.]
- Terms and Conditions contained in Quit Claim Deed as disclosed by instrument recorded in Liber 45397, page 1633.
[SUBJECT PROPERTY IS INCLUDED IN EXHIBIT A BUT THERE IS NO PLOTTABLE SURVEY MATTERS. SAME AS EXCEPTION 7.]
- Terms, covenants, conditions, restrictions and other provisions but omitting restrictions, if any, based on race, color, religion, sex, handicap, familial status or national origin as disclosed by Quit Claim Deed recorded in Liber 51007, page 197, as to Parcel 2.
[PARCEL 2 OF SUBJECT PROPERTY IS INCLUDED THEREIN BUT THERE IS NO PLOTTABLE SURVEY MATTERS.]
- Reversionary interest of Raymond J. Wojtowicz, Treasurer of the Charter County of Wayne as disclosed by Quit Claim Deed dated September 3, 2013 and recorded September 3, 2013 in Liber 51007, page 197, as to Parcel 2.
[PARCEL 2 OF SUBJECT PROPERTY IS INCLUDED THEREIN BUT THERE IS NO PLOTTABLE SURVEY MATTERS. SAME AS EXCEPTION 16.]
- Terms and Conditions contained in Quit Claim Deed as disclosed by instrument recorded in Liber 52333, page 252, as to Parcel 1.
[PARCEL 1 OF SUBJECT PROPERTY IS INCLUDED THEREIN BUT THERE IS NO PLOTTABLE SURVEY MATTERS.]

LEGEND:

- OH-ELEC-W-O- EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV- EX. U.G. CABLE TV & PEDESTAL
- UG-COMM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- - - - - EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- - - - - EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- - - - - EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN & LIGHTPOLE
- EX. FENCE
- EX. GUARD RAIL
- EX. SPOT ELEVATION
- EX. CONTOUR
- EX. WETLAND
- IRON FOUND / SET
- NAIL FOUND / NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND / SET
- SECTION CORNER FOUND
- RECORDED / MEASURED / CALCULATED
- CONCRETE
- ASPHALT

PEA GROUP
t: 844.813.2949
www.peagroup.com



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT

WOODWARD CAPITAL
3977 SECOND AVENUE
DETROIT, MI 48201

PROJECT TITLE

EDMUND PLACE
301 EDMUND PLACE
DETROIT, MI

REVISIONS

ORIGINAL ISSUE DATE:

January 04, 2023

DRAWING TITLE

ALTA/ACSM
LAND TITLE
SURVEY

PEA JOB NO. 2022-0533

P.M. DLC

DN. JSH

DES.

DRAWING NUMBER:

SURVEYOR'S CERTIFICATE

To:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALT A/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 8, 9, 11, 13, 16, and 17 of Table A thereof. The fieldwork was completed on December 02, 2022.

Daniel L. Cole, P.S.
Michigan Professional Surveyor No. 4001059791
Agent for PEA Group

Date

\\pea\apps\projects\2022\2022-0531 EDMUND PLACE\DWG\MAN\220531-TOPOGRAPHIC.dwg PLOT DATE: 12/9/2022
BY: JSH

LEGAL DESCRIPTION
(Per Wayne County GIS)

PARCEL ID 01000725-30

N EDMUND PL E 45 FT OF 2 1 BLK 7 BRUSH SUB OF PT OF PK LOTS 14 & 15 L2 P25
PLATS W C R 1/43 105 IRREG

PARCEL ID 01000724

N EDMUND PL 3 W 5 FT OF 2 BLK 7 BRUSH SUB L2 P25 PLATS, WCR 1/43 55 X150

BENCHMARKS

(GPS DERIVED - NAVD83)

BM #300

ARROW ON TOP OF HYDRANT, 1' FROM BACK OF
WEST CURB OF BRUSH ST AND 34' FROM BACK
OF SOUTH CURB OF EDMOND PL

ELEV. - 620.72

BM #301

BENCH TIE IN WEST SIDE OF POWER POLE. 1'
SOUTH OF ASPHALT ALLEY AND 32' FROM BACK
OF WEST CURB OF BRUSH ST.

ELEV. - 620.71

LEGEND:

- OH-ELEC—W—O—< EX. OH. ELEC. POLE & GUY WIRE
—UG-CATV— EX. U.G. CABLE TV & PEDESTAL
—UG-COMM—B—O— EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
—UG-ELEC—B—E— EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
— EX. GAS LINE
⊗ EX. GAS VALVE & GAS LINE MARKER
⊠ EX. TRANSFORMER & IRRIGATION VALVE
— EX. WATER MAIN
⊗ EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊗ EX. WATER VALVE BOX & SHUTOFF
— EX. SANITARY SEWER
⊗ EX. SANITARY CLEANOUT & MANHOLE
⊗ EX. COMBINED SEWER MANHOLE
--- EX. STORM SEWER
⊗ EX. CLEANOUT & MANHOLE
⊗ EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
⊗ EX. YARD DRAIN & ROOF DRAIN
⊗ EX. UNIDENTIFIED STRUCTURE
⊗ EX. MAILBOX, SIGN & LIGHTPOLE
X EX. FENCE
— EX. GUARD RAIL
— EX. SPOT ELEVATION
— EX. CONTOUR
— EX. WETLAND

- ⊗ IRON FOUND / SET
● ⊗ NAIL FOUND / NAIL & CAP SET
● ⊗ BRASS PLUG SET
● ⊗ MONUMENT FOUND / SET
● ⊗ SECTION CORNER FOUND
R M C RECORDED / MEASURED / CALCULATED

REFERENCE DRAWINGS

- BRUSH'S SUBDIVISION OF PART OF PARK LOTS 15, 16 & 17 AND PART OF BRUSH FARM ADJOINING
- | | |
|-------------|--|
| WATER MAIN | GLWA, DWSD MAP 20-K
DWSD MAP (EMAIL DATED 01/02/2020) |
| STORM SEWER | GLWA, DWSD MAP S-29-A
DWSD MAP (EMAIL DATED 01/02/2020) |
| CABLE | AT&T MAP A1, DATED 12/30/2019 (EMAIL DATED 12/31/2019) |
| GAS | DTE GAS COMPANY MAP DATED JANUARY 02, 2020 |
| FIBER | COMCAST MAP (EMAIL DATED 01/13/2020) |
| ELECTRIC | HAVE NOT RECEIVED AS OF JANUARY 14, 2020 |

PEA
GROUP

t: 844.813.2949
www.peagroup.com

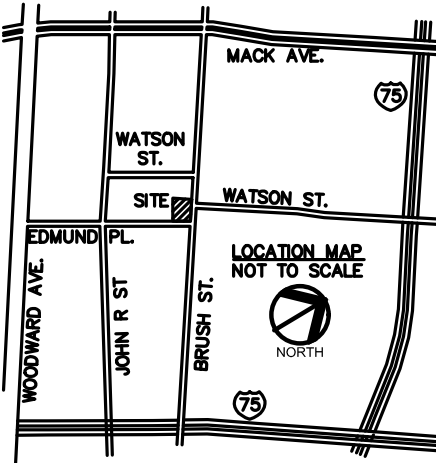


0 10 20 40
SCALE: 1" = 20'



CAUTION!!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT

**WOODWARD
CAPITAL**
3977 SECOND AVENUE
DETROIT, MI 48201

PROJECT TITLE

EDMUND PLACE
301 EDMUND PLACE
DETROIT, MI

REVISIONS

ORIGINAL ISSUE DATE:
DECEMBER 06, 2022

DRAWING TITLE

**TOPOGRAPHIC
SURVEY**

PEA JOB NO. 2022-0533

P.M. DLC

DN. JSH

DES. XXX

DRAWING NUMBER:

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X1' AREA
DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE
FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER
28163C0285F DATED OCTOBER 21, 2021.

NOT FOR CONSTRUCTION

1 OF 1

EDMUND PLACE

HDC PRESENTATION | 06.24.2025

Project Narrative

Edmund Place is a 4 story, new construction, mixed-use building located in the Brush Park Historic District. The proposed project will occupy 301 and 321 Edmond Place at the Northwest corner of Edmond and Brush.

There will be 57 units spread across the 4 floors. The ground floor will consist of a lobby and commercial space at the south end of the building with the rest of the floor being occupied by walk-up units.

The building will have a masonry facade on all 4 sides with regular bays. These bays step out going north along Brush to accommodate the angle of the street. The regularity of these bays is broken up by opaque panels that are placed between the large windows. Horizontal cast stone elements will be introduced at window sills and the parapet

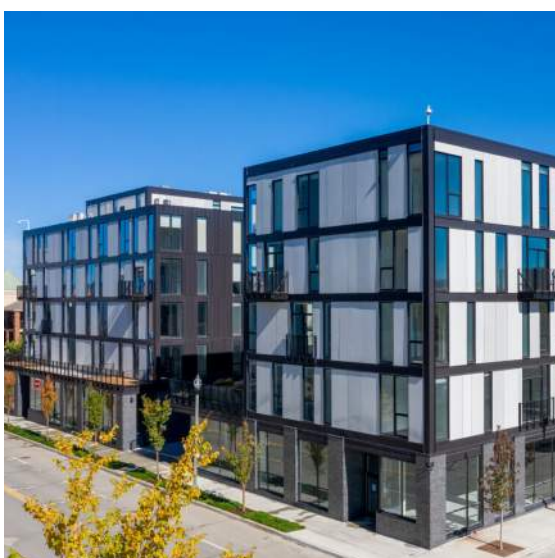
The proposed building occupies the East portion of the site along Brush while the rest of the site is occupied by a linear private park separating the building from parking along the West side of the property. This parking will be accessed from the alley to avoid additional curb cuts along Edmond. .



**MCINTOSH
PORIS
ARCHITECTS**

-  PROJECT SITE
-  THOROUGHFARES
-  BRUSH PARK





(1) Height.

The apartment building consists of 4 stories of residential with a lobby and small commercial space along the south at the corner of Edmund and Brush. The architectural articulation of the apartment building breaks up the visual massing of the project, creating a gradation in scale. The elements of design note that the height of buildings in the district vary from 1 to 11 stories. The report also notes that later redevelopment in the district included "Apartment buildings not more than four stories tall, most often located on Brush." This situates the proposed development well in the context of the overall neighborhood at the street it has the largest frontage on.

(2) Proportion of building's front facades.

Due to the nature of the corner site, the building has 2 front facades. The elements of design note that buildings are typically taller than they are wide, which is the case for this building on it's shorter face along Edmund. Along Brush, the building is wider to fill out the block but the stepped massing breaks up this length with a series of appropriately proportioned volumes

(3) Proportion of openings within the facade.

The building has a consistent proportion of openings along all facades besides the northern facade facing the alley. This elevation is consistent with the rest of the building except for the ground floor which is more opaque to do it's proximity to the alley. The percent open on the building varies between 35% and 37% which is at the higher end of the range listed in the elements of design (15%-35%). We feel it is harmonious with the rest of the district. The openings are taller than they are wide which is also consistent with the elements of design.

(4) Rhythm of solids to voids in the front facades.

This building looks to situate itself somewhere in between the elements of design description of facade rhythm. The bays are very regular but they are broken open by an opaque panel that provides variation in the rigor of the openings.

(5) Rhythm of spacing of buildings on streets.

This project occupies 3 lots while the lot furthest to the West will be used for parking. This is consistent with noted irregular spacing and size of lots in the district. The Building's facade along Brush helps restore the street wall on the block providing a context similar to when Brush was lined with apartment buildings.

(6) Rhythm of entrance and/or porch projections.

While there are no enclosed projections, the walk-up units on the ground floor along Brush provide reference to the entrances of the Victorian homes and create a similar language to many of the townhomes built in the district recently

(7) Relationship of materials.

The elements of design note that overwhelmingly the most prevalent material in the district is common brick. This building follows that direction with all four elevations being predominantly brick. Cast stone sills and parapet compliment the brick

(8) Relationship of textures.

The elements of design state that "the most common relationship of textures in the district is the low-relief pattern of mortar joints in brick contrasted to the smoother or rougher surfaces of stone or wood trim." The brick facade on th is building is broken up by a hierarchy of bays. There is a primary bay which is most clear on the East facade along Brush as it steps out going North. Each of these steps comprises two bays. The intermediate bay is recessed between each floor line to provide hierarchy and a small shadow line. The brick and ,mortar is broken up by horizontal cast stone elements providing a contrast in texture.

(9) Relationship of colors.

The building will be clad in a natural brick blend ranging from light to dark tones of warm gray/ brown This is complimented by the cast stone detailing

(10) Relationship or architectural details.

The architectural details of this building emphasize the detailing around openings with the solid panels that break-up the regularity of the windows. The case stone sills provide a shadow line, and the intermediate pilaster provides a hierarchy of vertical elements. This is in reference to the Victorian homes emphasizing openings as described in the elements of design.

(11) Relationship of roof shapes.

While many of the Victorian homes have elaborate pitched roofs, the apartment and commercial buildings that followed were predominately design with flat roofs. This building follows that pattern to be consistent with the building typology in the district.

(12) Walls of continuity.

The apartment building abuts the front and side property lines, creating a wall on continuity consistent with what is described in the elements of design: " On John R. and Brush, and east of Brush, buildings are typically placed at or near the sidewalk with little or no front yard. Where buildings are continuous, a wall of continuity is created. " The stepping of the building along Brush provides the wall of continuity while breaking down the mass of the building to a scale more similar to the historic homes of the district.

(13) Relationship of significant landscape features and surface treatments.

The elements of design mainly note the amount of vacant land in the district. The lack of curb cuts for drive aisles is also mentioned. This project follows that pattern by providing parking access via the alley. The parking is offset from Edmund to provide the required landscape buffer and allow for a pleasant street frontage.

(14) Relationship of open space to structures.

This project looks to contribute to building out of the large amount of opens space noted in the elements of deign. By holding the corner at Brush and Edmund, it helps reintroduce the street wall. Where there is open space on the site, it is landscaped to provide an intentional green space and respite from development

(15) Scale of Facades and Facade Elements

The elements of design note a large variety in how different buildings approach this relationship. This building strikes a balance between a cohesive overall massing that is broken down into different scales. There is the vertical brick pilasters that step back on Brush. The bays and window openings provide regularity while the opaque panels within in the window bays breaks this up. Horizontal banding helps provide shadow lines and breaks of the monolithic brick wall to provide scale.

(16) Directional expression of front elevation.

The elements of design note that the vast majority of buildings in the district have vertical expressed front facades. This is project follows that direction with it's shorter facade along Edmund. The longer facade on Brush is broken up by stepping to help emphasize verticality as well

(16) Rhythm of building setbacks.

This building abuts the sidewalk which is consistent with the other buildings that are on a corner lot.

(17) Relationship of lot coverage.

The elements of design note the difference between the single family home lot coverage compared to the apartment buildings. This project is more consistent with the older buildings in the district by occupying less than half of the lot.

(19) Degree of complexity within the facades.

This district is characterized by Victorian homes with a high degree of complexity and apartment buildings that have more classic, simpler ornamentation. This building looks to provide a reference to ornamentation but still be of it's time. Brick insets at secondary bays, cast stone sills, and horizontal elements, as well as deep inset windows provide a rich level of detail while remaining contemporary

(20) Orientation, vistas, overviews.

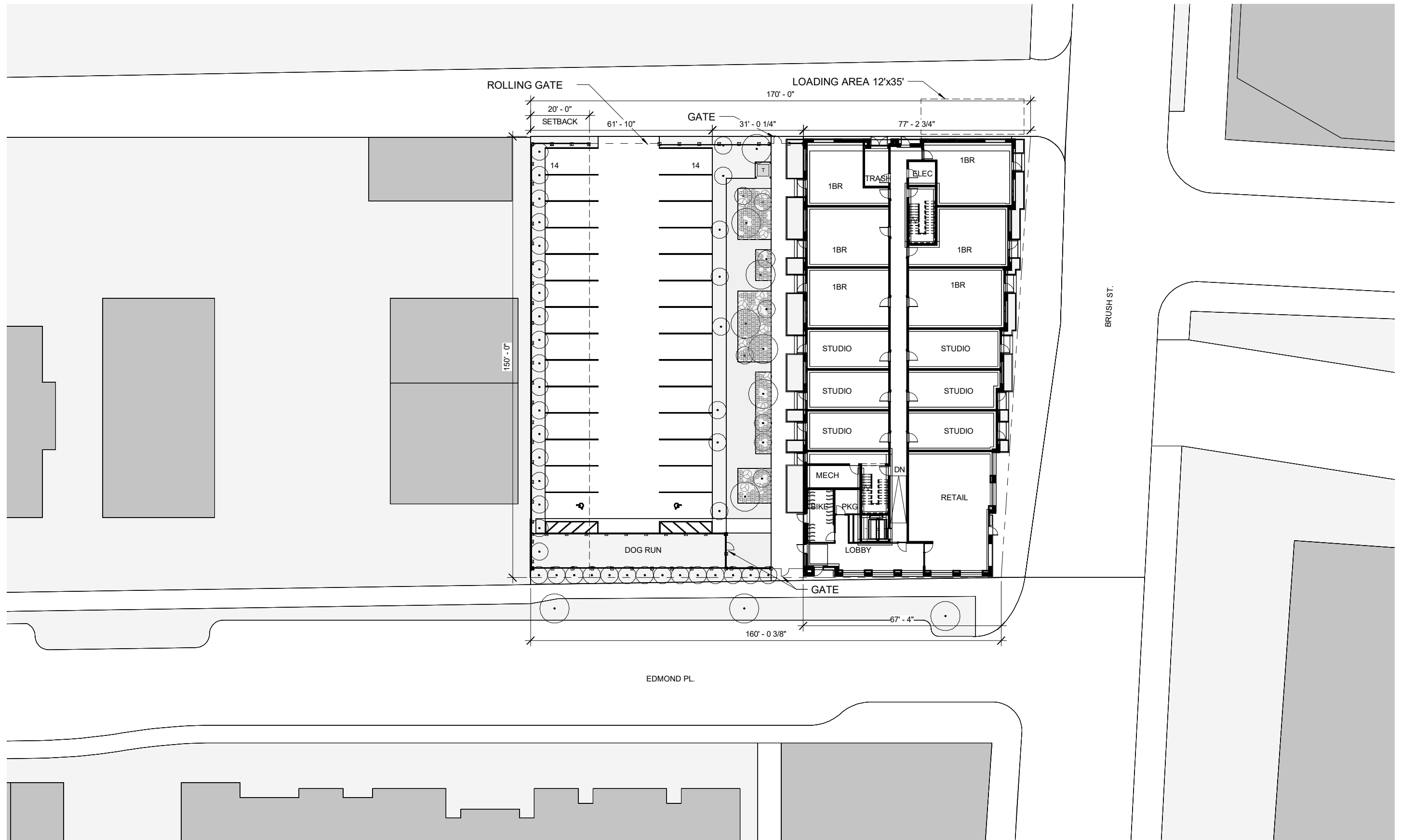
The building is oriented to both Edmund and Brush as it is on a corner lot. The main entrance to the building is off of Edmund while walk-up entries to units line the Brush frontage.

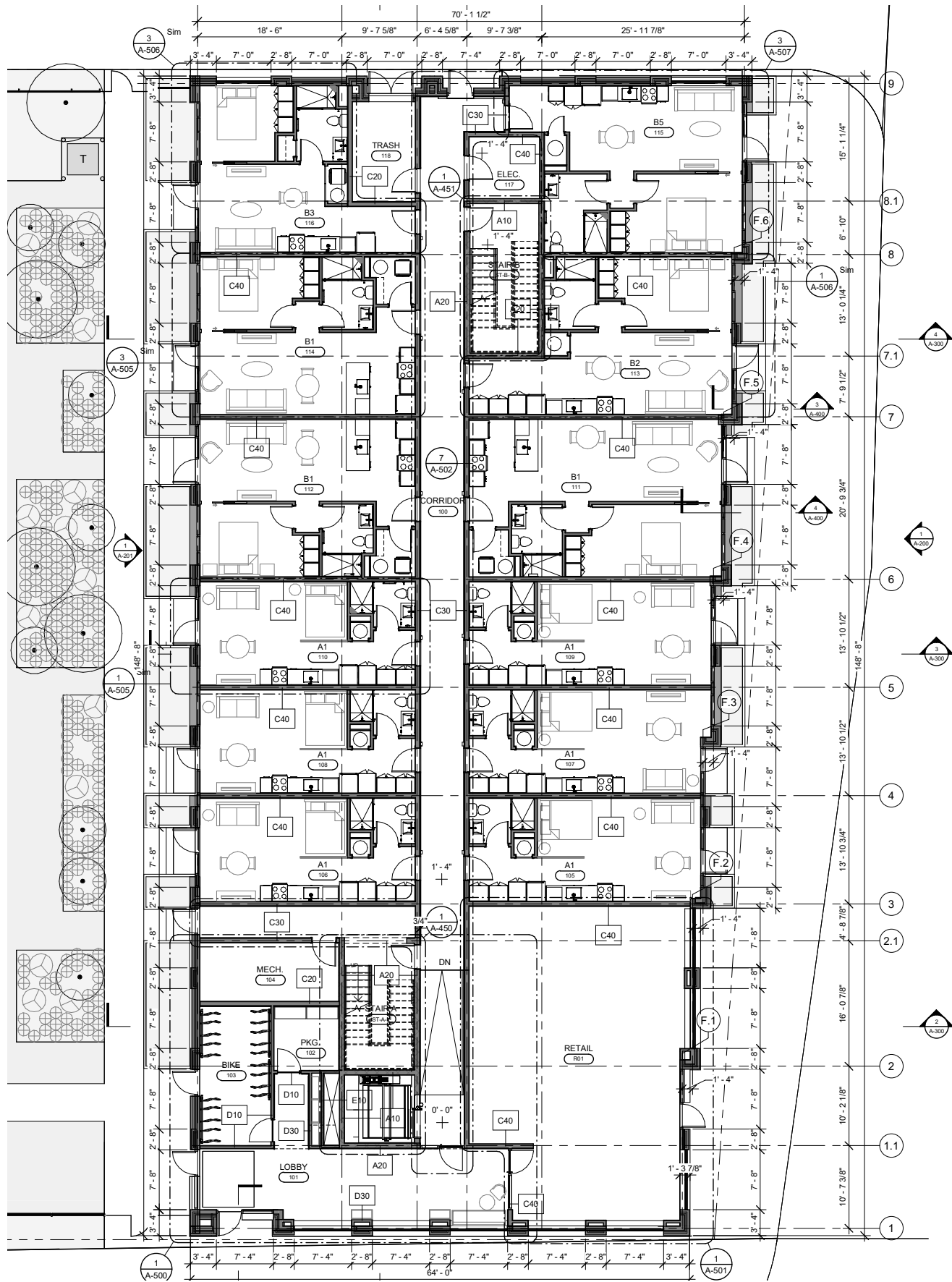
(21) Symmetric or asymmetric appearance.

This building provides an generally symmetrical, regular appearance that has sub-elements to break up the rigor of pure symmetry. This is consistent with the elements of design that note; "Asymmetrical but balanced compositions are common".

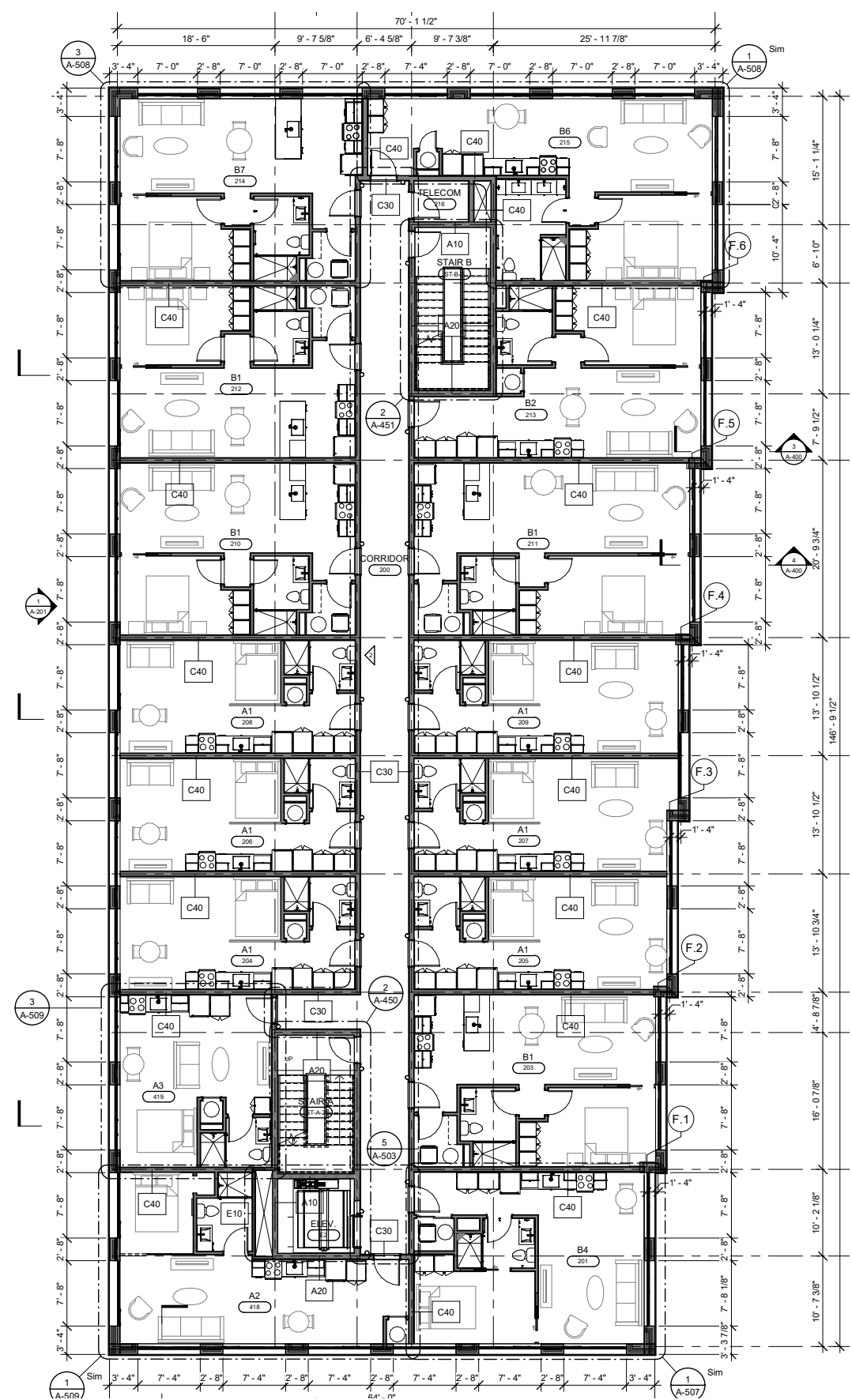
(22) General Environmental character.

The elements of design state "The environmental character is of an old urban neighborhood which has undergone, and is undergoing, considerable change." This considerable change has drastically increased in the recent years of development in the district. We are striving for a building that is timeless yet not derivative. This will create a link between the beautiful historic homes and the dramatic, contemporary developments in the district.

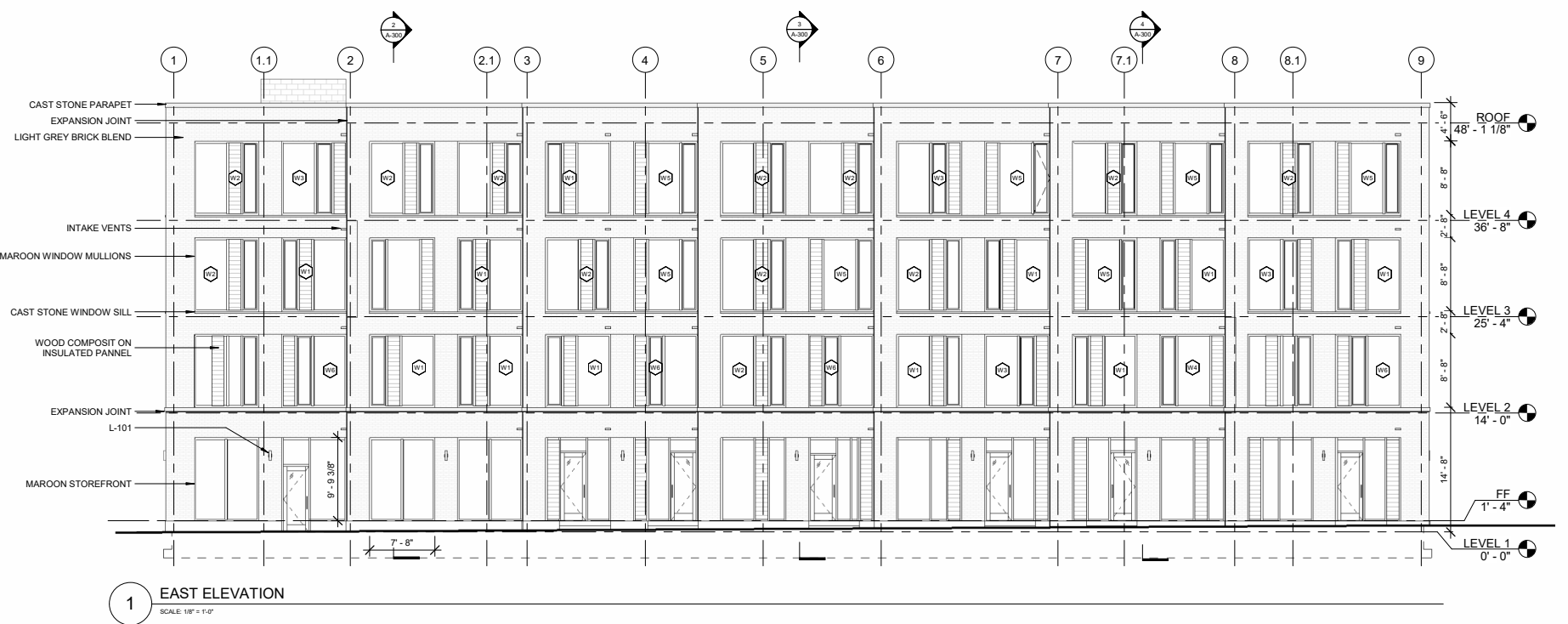
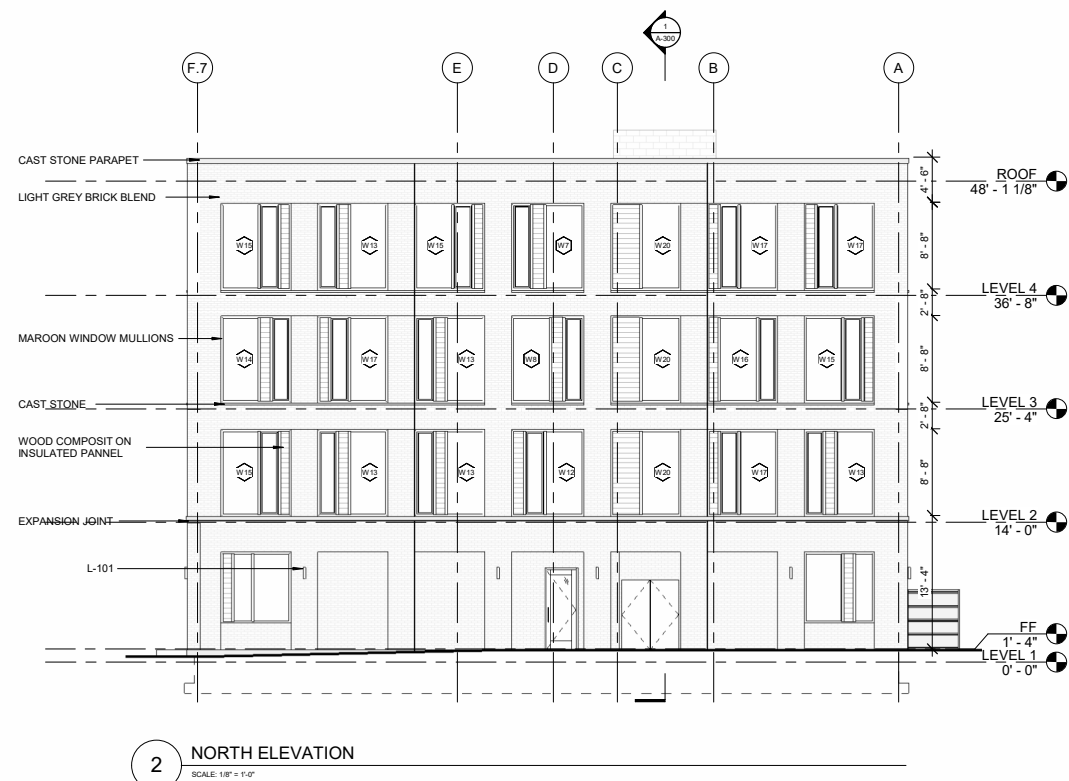
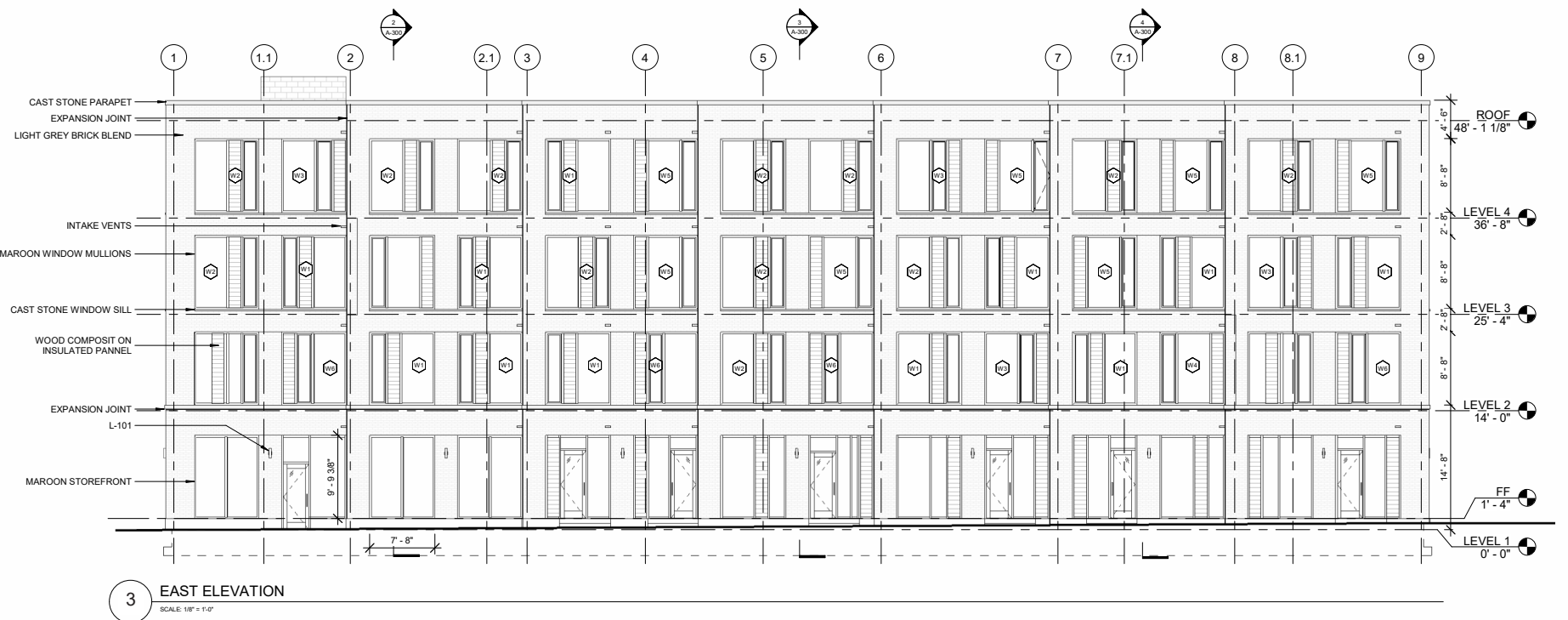
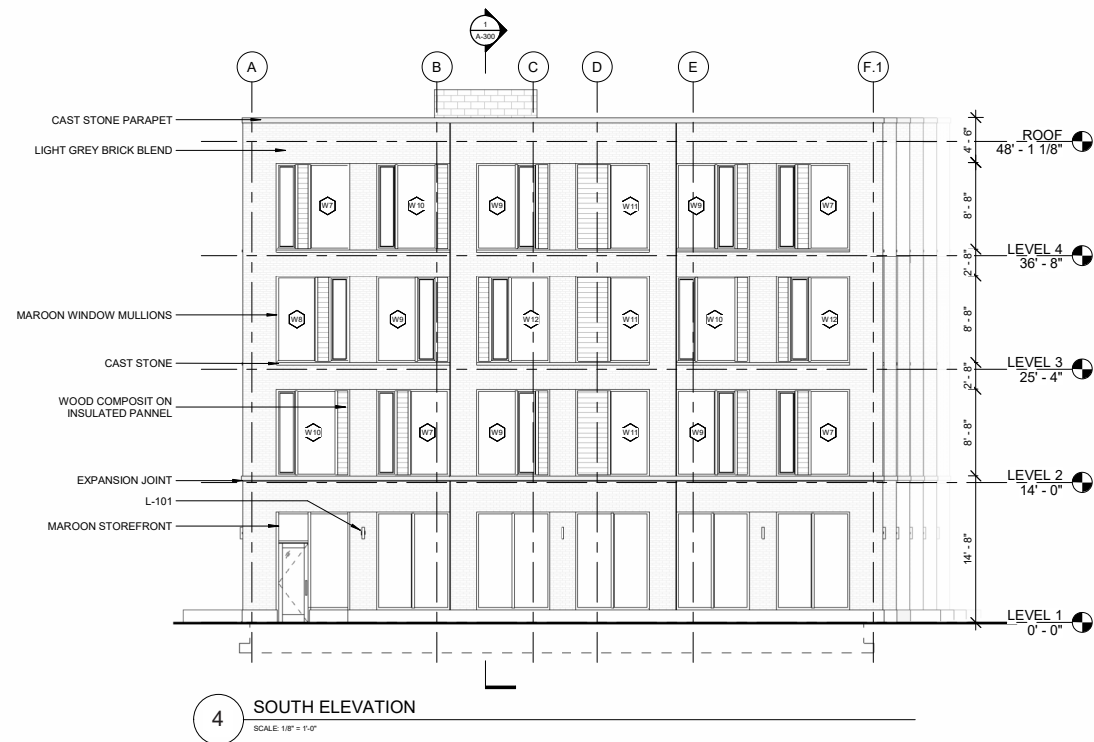




GROUND FLOOR



2-4



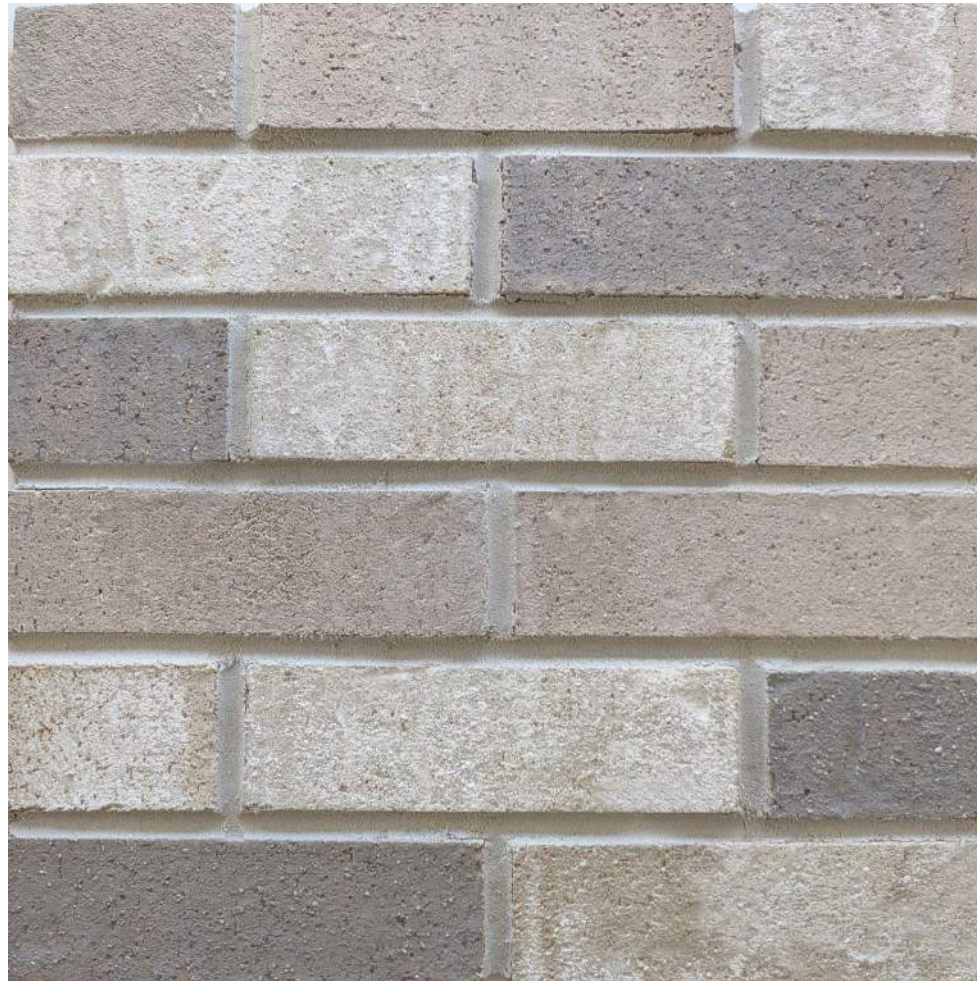




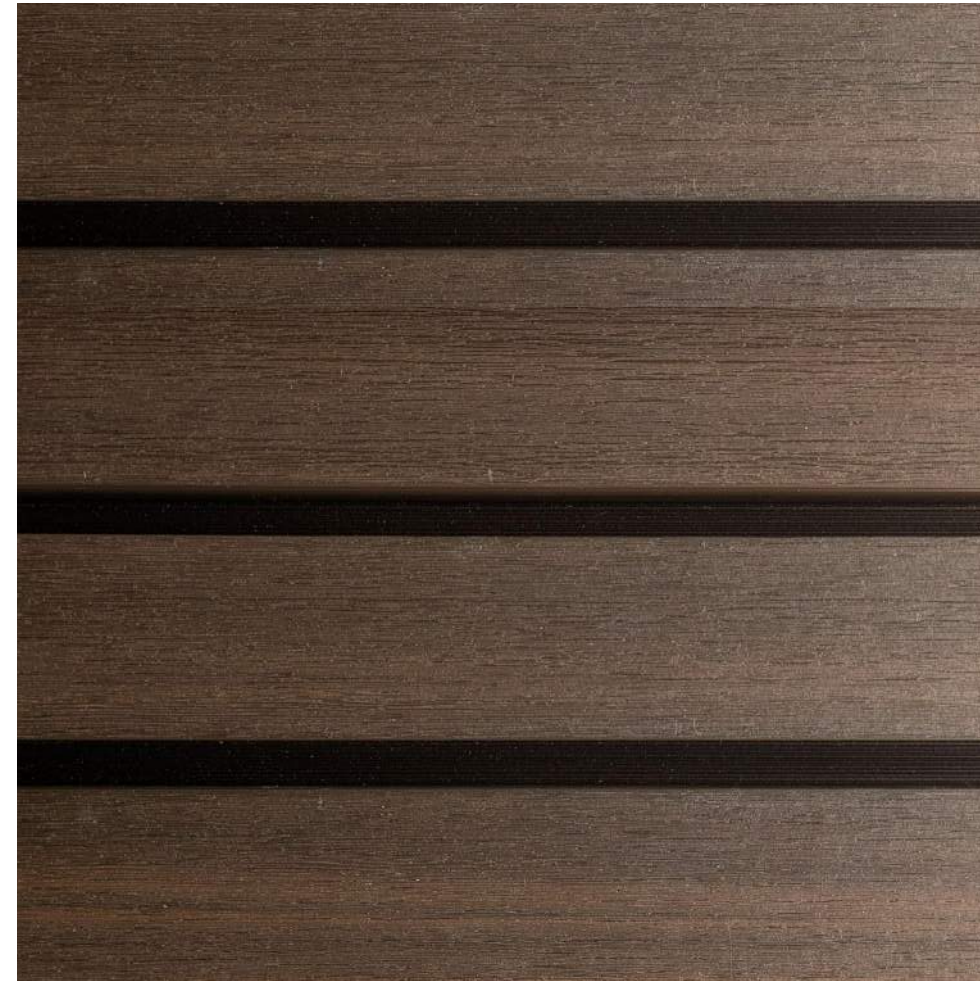








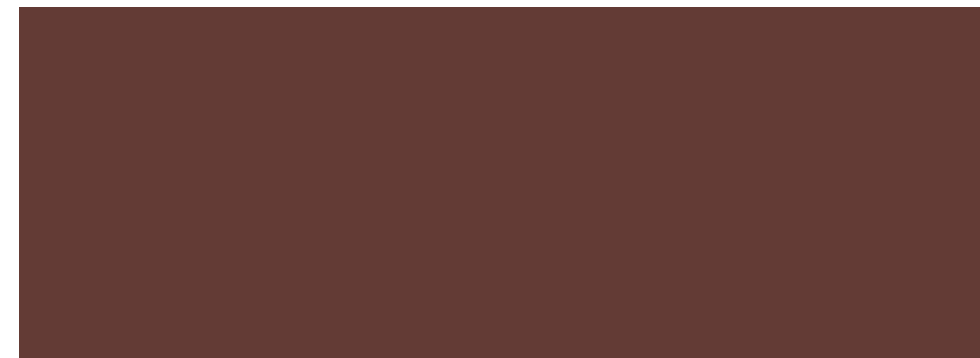
BRICK BLEND - WINTER MIST



FAUX-WOOD INFILL PANEL - BRAZILIAN IPE



CAST STONE SILLS - STANDARD BUFF

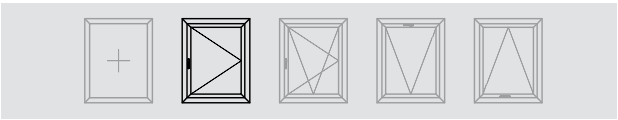


WINDOW MULLION RAL - 8015



SIMPLE, BUT ALL YOU NEED!

- Category: Windows
- System: Supera CW
- Operation Type: Casement
- Glazing: Double, argon gas filled
- Spacers: Warm edge with dessicant
- Glass: Guardian® Glass
- Reinforcement: Steel



FEATURES

1 tree planted for every window/door sold

Price to quality ratio

Top-selling product

NFRC	Intertek	PHI	PHIUS	LEED	NetZero	STC/OITC
Tested	Tested	Not Certified	Not Certified	Up to 44 points	Capable	Tested

Insulated Glass Unit Options

Thickness (in.)

5/32 – 25/64

Glass Types

Annealed

Tempered

High Altitude

Low-E Coating

Premium SunGuard® ClimaGuard®

Extras

Laminated

Ceramic Enamel

Frosted

Sound Glazing

Bird Safe Glazing

Performance Grade							
CW40	CW50	CW60	CW70	AW40	AW50	AW60	AW70
✓	✓	✓	✓	✗	✗	✗	✗



WINDOWS AND DOORS

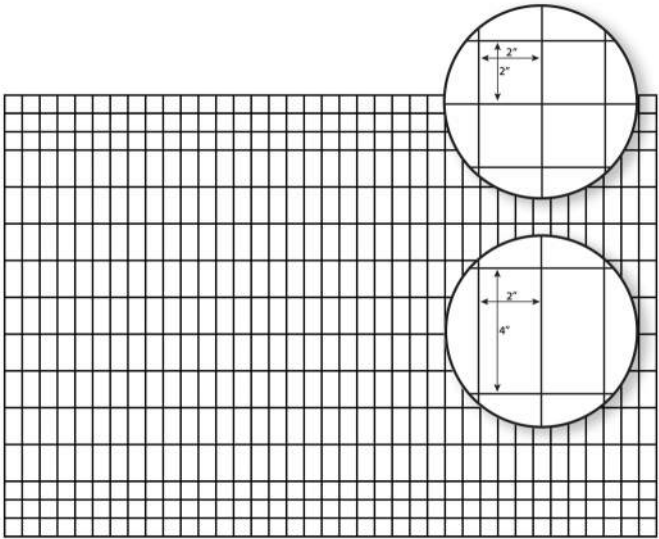


Residential Deco Steel Fencing Specifications Chart

PANELS
Material: Galvanized Q195 Steel
Horizontal/Vertical Grid: 4.0mm Steel Rod (approx. 9 gauge)
Grid Spacing: 2" x 2" top and bottom grid spacing, 2" x 4" middle grid spacing
Available Heights: 48", 60" and 72"
Available Colors: Black
Finish: Black Powder Coating
Warranty: 10-Year Limited Warranty
Welded grid construction
Standard Packaging: 1 panel per carton

Posts:
Material: Galvanized Q195 Steel
Universal Posts: 0.059" wall thickness
Available Standard Heights: 74", 86", and 98"
Available Flange Heights: 50", 62", and 74"
Available Colors: Black
Finish: Black Powder Coating
Warranty: 10-Year Limited Warranty
All posts are pre-punched to accept Euro Clip Kits
Standard Packaging: 6 posts per carton
Post Spacing: 72" center to center, 70" post edge to post edge.

Gates:
Material: Galvanized Q195 Steel Frame: 1.57" square x 0.059" thick
Grid Spacing: 2" x 2" top and bottom grid spacing, 2" x 4" middle grid spacing
Welded frame and grid construction
Available Heights: 48", 60" and 72"
Available Widths: 4' and 5'
Available Colors: Black
Finish: Black Powder Powder Coating
Warranty: 10-Year Limited Warranty
Standard Packaging: 1 gate per carton



6 ft. Deco Grid Install

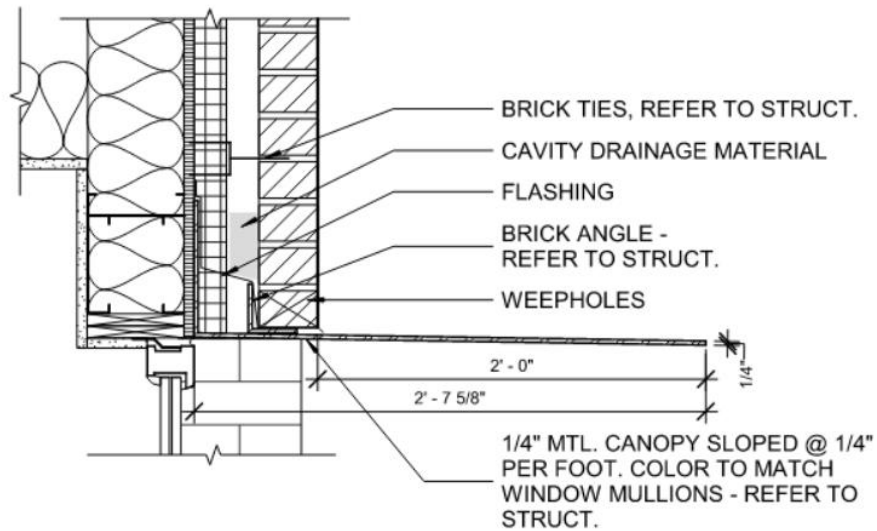
Note: Clamps and Hardware are inside posts. Remove parts from the bottom of post.

Required Tools for Deco Grid System Install:
Hammer, tape measure, chalk or marker, shovel, post hole digger, wheel barrow, adjustable wrench, 3/8 hex key, back saw, rotary cutting tool or bob cutting tool, electric drill, 1/16 in., 5/16 in. & 3/8 in. drill bits.
Heavy drill bits, anchor and additional hardware may be needed to install flange post.

- 1. Install Posts**
Dig post holes to the required depth. Place the post in the hole and use the provided hardware to secure it. The post should be set at least 1/2 inch from the edge of the property.
- 2. Measure Gate Opening**
Measure the distance between the two posts. This will determine the length of the gate panel.
- 3. Post Offset**
The post should be set at a 1/2 inch offset from the edge of the property. This will ensure the gate is properly aligned.
- 4. Install First Panel**
Place the first panel against the post. Use the provided hardware to secure it. The panel should be set at least 1/2 inch from the edge of the property.
- 5. Continue Installing Panels**
Continue to install the remaining panels, securing each one with the provided hardware.
- 6. Corner Installation**
For corner installations, use the provided corner hardware to secure the panels. The corner hardware should be set at least 1/2 inch from the edge of the property.
- 7. Cut Panel**
If the panel is too long, use the provided cutting tool to cut it to the correct length. The cut should be made at least 1/2 inch from the edge of the property.
- 8. Installing Acute Angle Corners**
For acute angle corners, use the provided acute angle hardware to secure the panels. The acute angle hardware should be set at least 1/2 inch from the edge of the property.
- 9. Installing Obtuse Angle Corners**
For obtuse angle corners, use the provided obtuse angle hardware to secure the panels. The obtuse angle hardware should be set at least 1/2 inch from the edge of the property.
- 10. Gate Panel**
For gate panels, use the provided gate hardware to secure the panels. The gate hardware should be set at least 1/2 inch from the edge of the property.
- 11. Latch Install**
For latches, use the provided latch hardware to secure the panels. The latch hardware should be set at least 1/2 inch from the edge of the property.
- 12. Stepped Installation Grade**
For stepped installation, use the provided stepped hardware to secure the panels. The stepped hardware should be set at least 1/2 inch from the edge of the property.

FENCING





1 SECTION DETAIL - RETAIL CANOPY
SCALE: 1 1/2" = 1'-0"