



PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVE SUITE 808, DETROIT, MI 48226

HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

Application Number: HDC2025-00198

Effective Date: 05/20/25

Project Address: 708 Pallister

Issued to: Timothy Flintoff Jr.

Historic District: New Center Area

2761 E. Jefferson Ave, Ste 302
Detroit, MI 48207

Description of Work:

Erect (alter) dormers, replace windows, in accordance with revised drawings

COA

With the Conditions that:

n/a

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

For the Commission:

Daniel Rieden
Senior Clerk to the Historic District Commission

PSR: 250523GL

Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.





April 21, 2025

708 Pallister St.,
Detroit, MI 48202

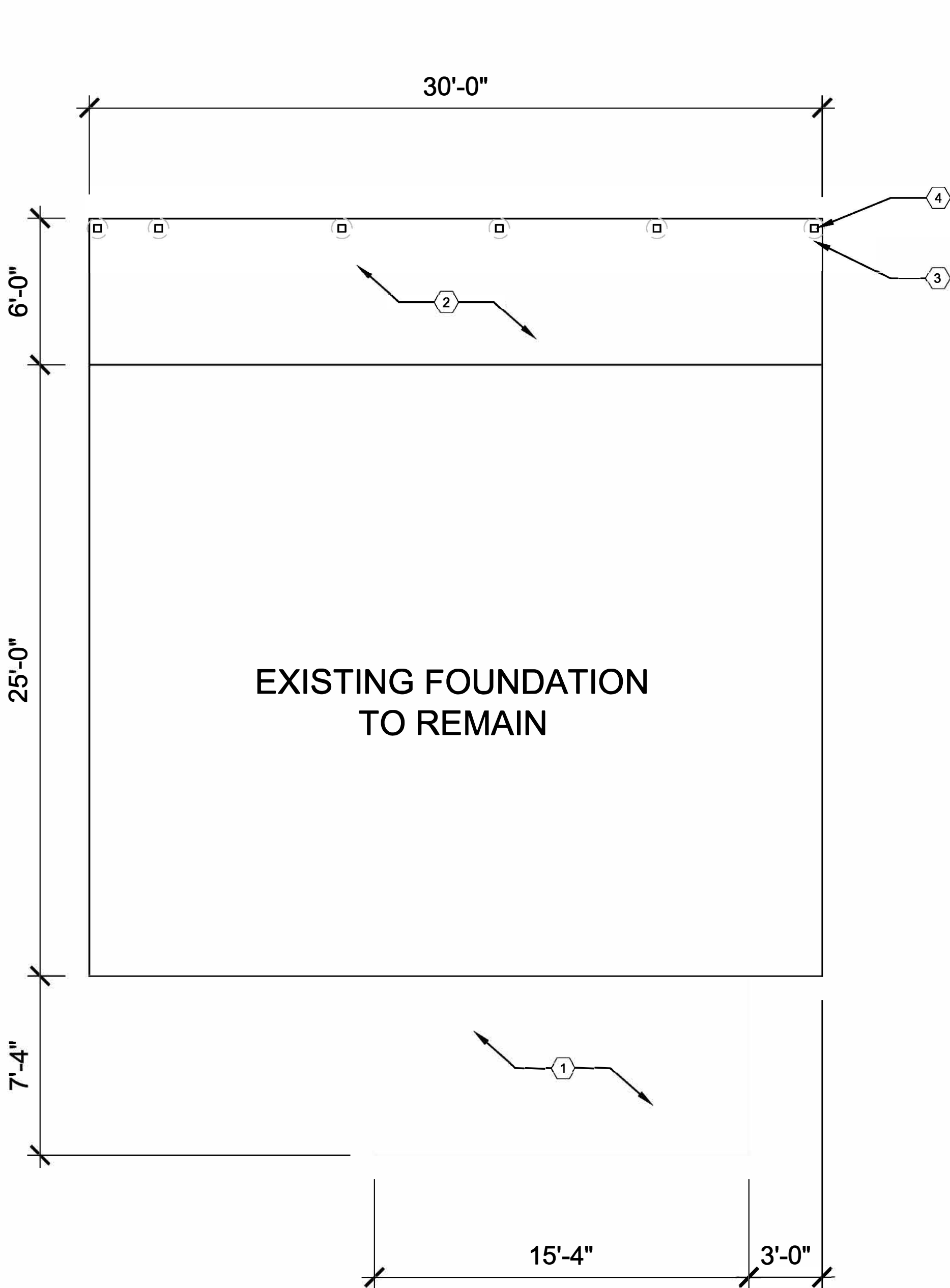
RE: 708 Pallister Exterior Renovations

Scope of Work

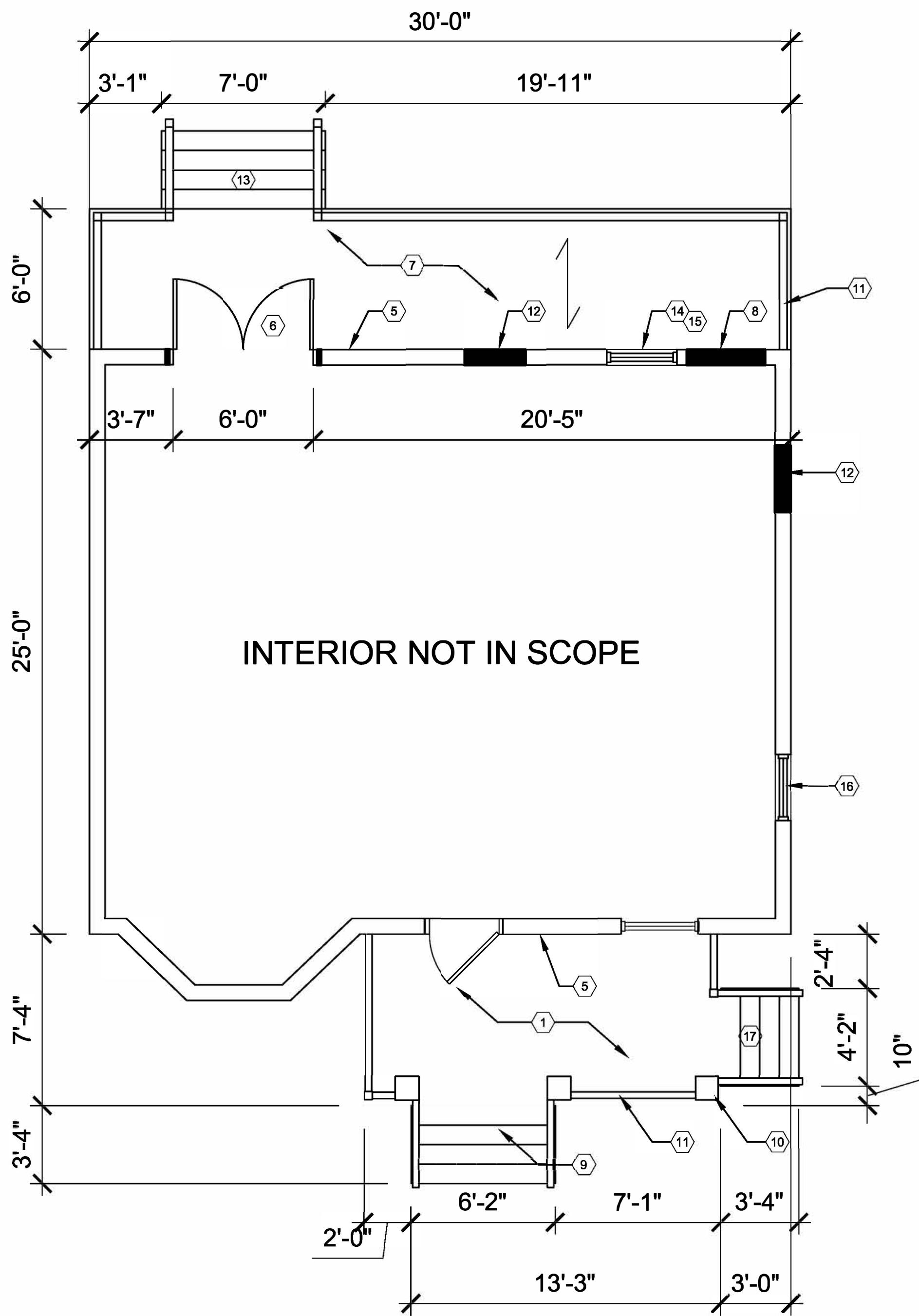
1. Demolish (2) new construction dormer roofs (east and west dormers)
2. Rebuild (2) dormer roofs as hipped roofs with 6 inch overhang
 - a. Lower eave by approximately 6 inches to align with existing dormer eaves
 - b. Eaves to be sloped to create individual dormer appearance (as opposed to one "roof" element) (approximately 6:12 slope)
 - c. Eaves and fascia to be wood, painted (to match existing)
3. (2) installed sliding windows in new dormers to be replaced with 8-lite, simulated divided lite vinyl-clad wood casement window units, painted black (Anderson 400 series) (style to match existing dormer)
4. Install 8-lite, simulated divided lite vinyl-clad wood casement window unit unit (Anderson 400 series) (style to match existing dormer) in east side dormer; paint window black
 - a. Drywall interior face of window
5. Remove composite shake siding from all dormers
6. Install wood shake siding and trim at all dormers; paint HDC approved color C:4 "Yellowish White" with Black trim
7. At new east elevation forward ground floor window, remove installed inset trim; replace with wood trim atop/pronounced from siding, to match existing window trim; trim size (WxD) to match existing
 - a. At new east elevation forward ground floor window, remove 'belt band' wood trim above window as required (where window extends into band), replace with continuous trim piece to match previously existing style; paint black
8. Replace east elevation second floor sliding window with 6-lite, simulated divided lite vinyl-clad wood awning window unit, painted black (Anderson 400 series); lite style to match previously existing window



9. Remaining 1st and 2nd floor windows have been replaced with vinyl-clad wood double hung window units, painted black (Anderson 400 series); simulated divided lites are to be added to replicate original window lite patterns
 - a. Front-facing windows to be replaced with aluminum-clad wood double-hung cottage style window units, painted black (Anderson E-Series) with simulated divided lites to match original window lite patterns
10. At east elevation, remove and reset (2) basement glass block windows
 - a. Glass block to be set in same plane as previously existing basement windows
 - b. Install window screen over each window, to match previously existing
11. Replace rear elevation ground floor sliding window with 12-lite, simulated divided lite vinyl-clad wood double-hung window unit, painted black (Anderson 400 series) (to match previously existing window)
12. Replace installed french door at rear elevation with aluminum-clad wood french door with 2/1 simulated divided lite pattern, painted black (to match previously existing windows at same location) (Anderson E series)
13. Install 3rd wood column at front porch, paint to match others already installed
14. Install 36" wood railing at front porch
15. Install "Trex Transcend Series" composite deck boards and 36" railing at rear deck
16. Install simulated divided lites into newly installed windows, lite style to match previously existing windows (see architectural drawings)
17. HVAC unit installed at west elevation: intended to remain
18. Brick veneer installed at front porch, painted to match existing: intended to remain



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

GENERAL FLOOR PLAN NOTES:

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
5. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.

PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 EXISTING MASONRY PORCH TO REMAIN
- 2 NEW DECK FOOTPRINT
- 3 10" SONOTUBE (TYP.), B.O.F. TO BE MIN. 42" BELOW GRADE
- 4 4x4 WOOD POST (TYP.)
- 5 LEDGER DECK TO HOUSE, USING STRUCTURAL EPOXY AS REQ'D, STAGGER BOLTS 12" T & B
- 6 INSTALL NEW FRENCH DOOR (WORK COMPLETED), SEE ELEVATIONS. INFILL WALL AS REQ'D.
- 7 TREX COMPOSITE DECKING ON 2x8 WOOD DECK JOISTS, MAX 16" O.C.
- 8 REMOVE AND INFILL EXISTING DOOR (WORK COMPLETED)
- 9 NEW MASONRY STAIR (WORK COMPLETED)
- 10 WOOD WRAPPED 4x4 WOOD POSTS, SEE ELEVATIONS
- 11 NEW HANDRAIL, MIN. 36" TALL. SEE ELEVATIONS.
- 12 EXISTING WINDOW REMOVED/INFILLED (WORK COMPLETED), SEE ELEVATIONS
- 13 NEW TREX COMPOSITE STAIR
- 14 EXISTING WINDOW REPLACED WITH VINYL-CLAD SLIDING WINDOW (WORK COMPLETED)
- 15 SLIDING WINDOW TO BE REMOVED, REPLACED WITH ALUMINUM-CLAD WOOD SINGLE-HUNG WINDOW (ANDERSON 400 SERIES) W/ SIMULATED DIVIDED LITES TO MATCH PREVIOUSLY EXISTING WINDOW; PAINTED BLACK
- 16 INSTALL NEW VINYL-CLAD WOOD SINGLE-HUNG WINDOW (ANDERSON 400 SERIES), PAINTED BLACK; SEE ELEVATIONS (WORK COMPLETED)
- 17 REPLACE DAMAGED MASONRY STAIR; NEW STAIR TO MATCH EXISTING (WORK COMPLETED)

ARCHITECT:	4545 architecture
2781 E. JEFFERSON AVE STE. 302 DETROIT, MI 48207 P. 313.454.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM	
CONSULTANT:	
Project :	708 PALLISTER HDC RENOVATION
Issued for :	HDC SUBMIT 04/21/2025
State of Michigan Seal	
Drawn by :	ANJ
Check by :	THF
Sheet Title :	FOUNDATION AND FIRST FLOOR PLANS
Project No. :	2024001
Sheet No. :	A1.1

[illegible]

This architectural drawing shows the front elevation of a house with the following dimensions and callouts:

- Overall Dimensions:**
 - Overall width: 11'-2"
 - Overall height: 9'-0"
 - Roof overhang (left): 2'-6"
 - Roof overhang (right): 2'-6"
 - Side wall height: 8'-4"
 - Front porch height: 8'-8"
 - Front porch width: 10'-9"
 - Front porch depth: 3'-4"
 - Front porch width (excluding stairs): 2'-10"
 - Front porch depth (excluding stairs): 3'-2"
 - Front porch depth (including stairs): 3'-4"
 - Front porch width (including stairs): 12'-8"
- Callouts:**
 - 5: Roofline (left)
 - 6: Roofline (right)
 - 7: Front porch railing
 - 8: TYP. (Typical) - Front porch railing
 - 9: Front porch railing
 - 10: Front porch railing
 - 11: Front porch railing
 - 12: Front porch railing
 - 13: Front porch railing
 - 14: TYP. (Typical) - Front porch railing
 - 15: Front porch railing
 - 16: Front porch railing
 - 17: Front porch railing
 - 18: Front porch railing
 - 19: Front porch railing
 - 20: Front porch railing
 - 21: Front porch railing
 - 22: Front porch railing
 - 23: Front porch railing
 - 24: Front porch railing
 - 25: Front porch railing
 - 26: Front porch railing
 - 27: Front porch railing

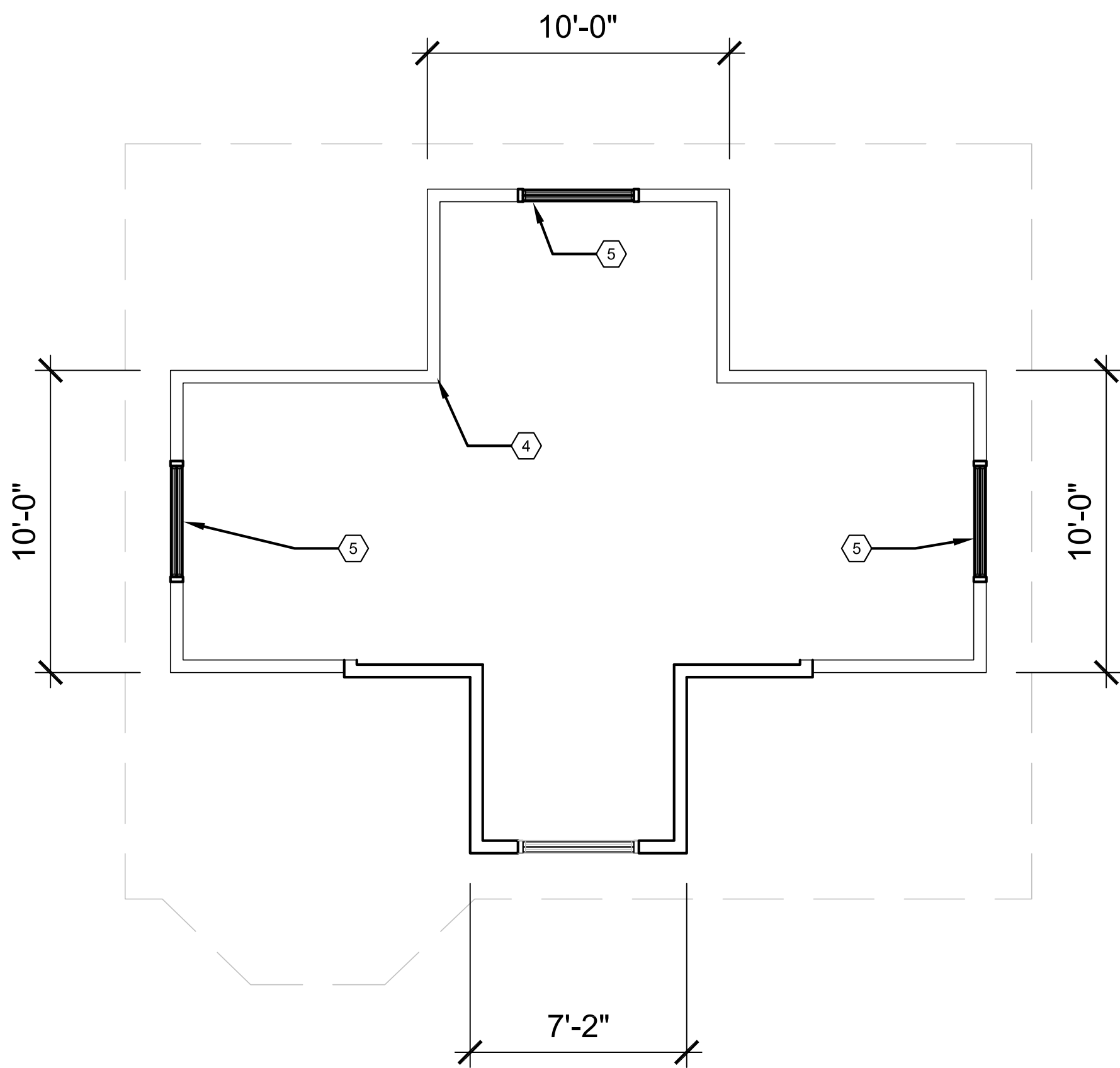
This architectural elevation drawing shows a two-story house with a gabled roof. The drawing includes several callouts for specific details:

- 1** A5.3: Points to a door with a transom window, shown with a dashed outline indicating a detail view.
- 1** A5.1 TYP.: Points to a large multi-paned window on the first floor.
- 17**: Points to the bottom corners of the large multi-paned windows on the first floor.
- 8** TYP.: Points to the roofline on the right side.
- 14** TYP.: Points to the roofline on the right side, slightly higher than callout 8.
- 5**: Points to a small window on the roof.
- 19**: Points to a small window on the roof.
- 20**: Points to a small window on the roof.
- 21**: Points to a small window on the roof.
- 24**: Points to a small window on the roof.
- 25**: Points to a small window on the roof.
- 9**: Points to a small window on the roof.
- 13**: Points to a small window on the roof.
- 6"**: Dimension line indicating the width of the roof.
- 10'-0"**: Dimension line indicating the width of the roof.

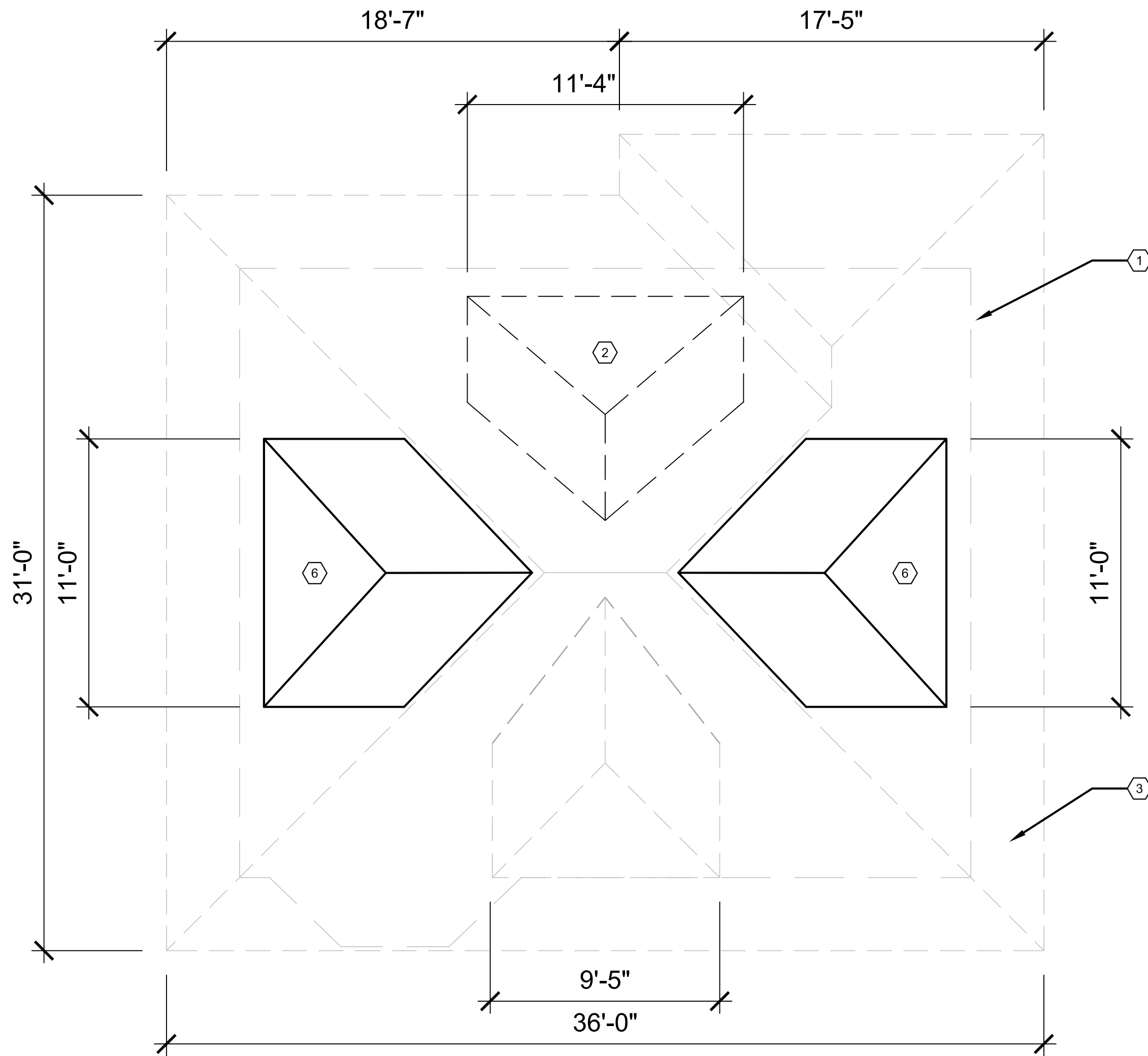
HOUSE TO BE PAINTED IN ACCORDANCE WITH HDC COLOR SYSTEM E
ALL SIDING TO BE C:4 YELLOWISH WHITE
ALL TRIM AND SASH TO BE B:19 BLACK
SEE A6.1 FOR COLOR RENDER

HDC SUBMIT 04/21/2025

A3.1



ROOF PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"

GENERAL FLOOR PLAN NOTES:

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5. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.

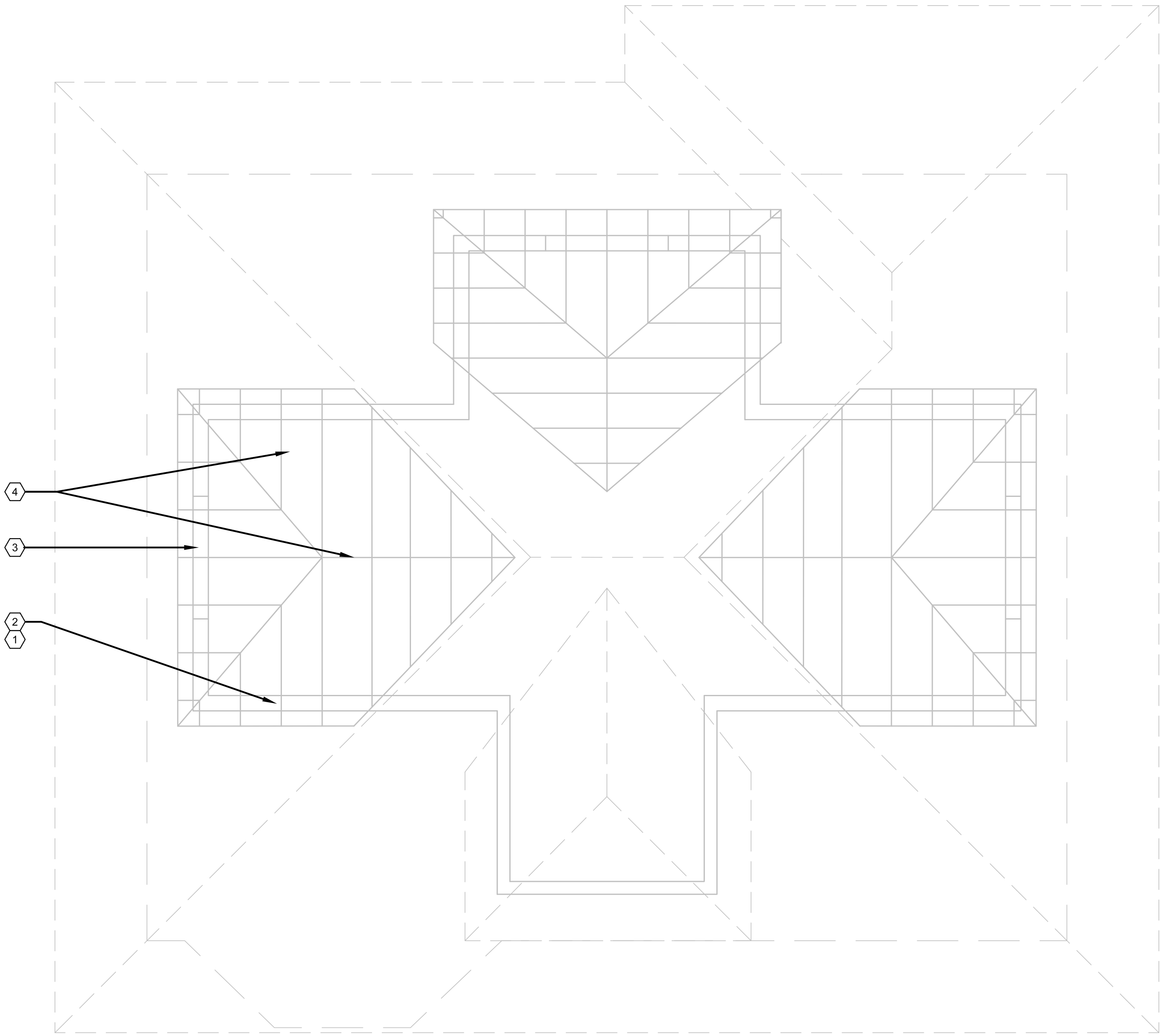
PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 LINE OF WALLS BELOW
- 2 NEW DORMER ROOF TO REMAIN
- 3 EXISTING ROOF TO BE REPAIRED WITH IN-KIND MATS. AS REQ'D (TYP.) SHINGLES TO BE REPLACED WITH CERTAINTED LANDMARK PRO ROOF SHINGLES IN CINDER BLACK
- 4 FINAL LAYOUT OF INTERIOR KNEE WALLS TO BE DETERMINED BY EXISTING CONDITIONS AND OWNER INTERIOR CONFIGURATIONS, COORDINATE WITH OWNER (WORK COMPLETED)
- 5 NEW WINDOW, SEE ELEVATIONS
- 6 DORMER ROOF TO BE REMOVED, REPLACED WITH COORDINATING GABLE ROOF, SEE ELEVATIONS

GENERAL NOTE: SEE A4.1 FOR ROOF FRAMING PLAN

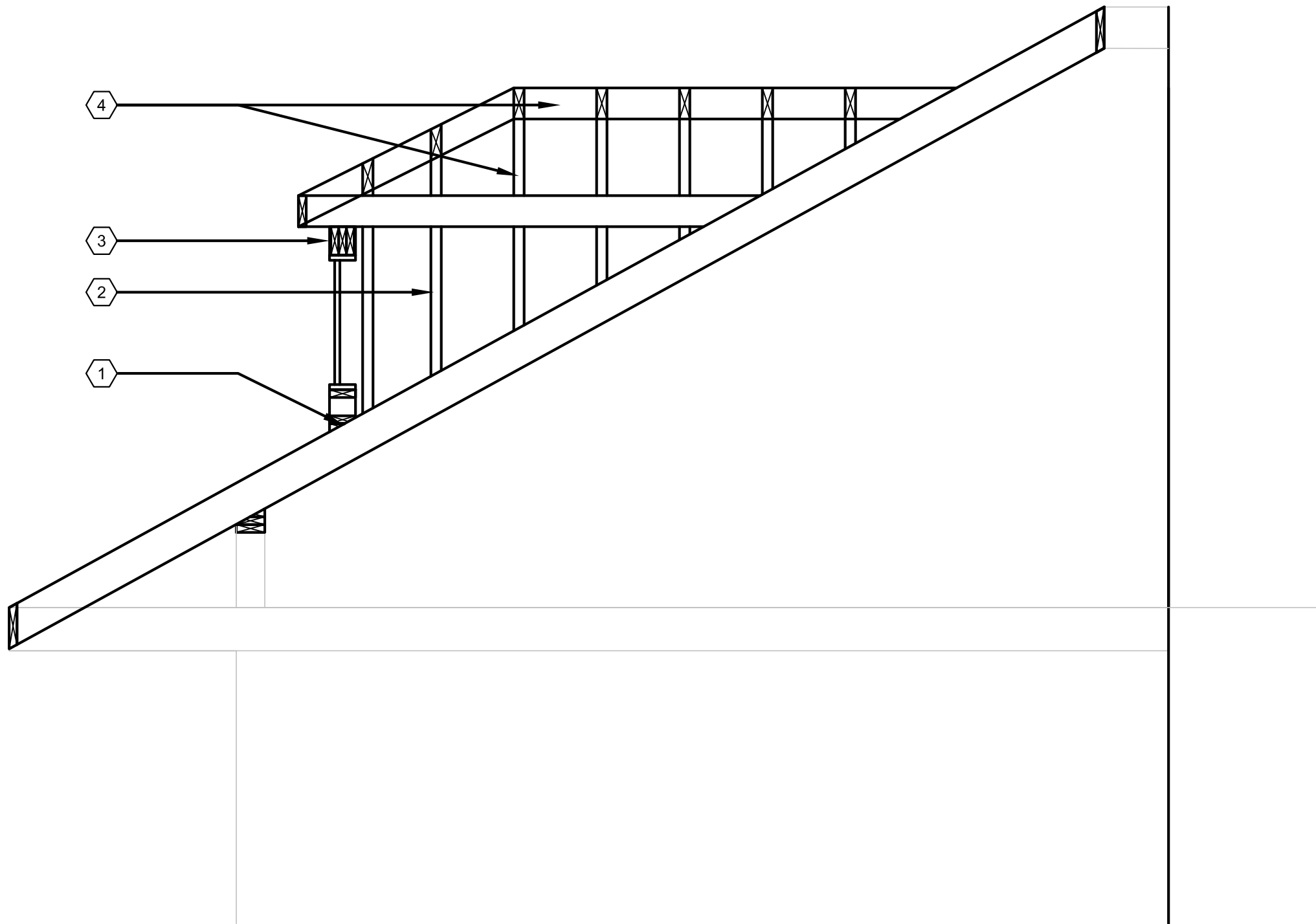
ARCHITECT:
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CONSULTANT:
Project :
708 PALLISTER HDC RENOVATION
Issued for :
HDC SUBMIT 04/21/2025
Drawn by :
ANJ
Check by :
TRF
Sheet Title :
3RD FLOOR AND ROOF PLAN
Project No. :
2024001
Sheet No. :
A1.2



1 DORMER FRAMING PLAN
A4.1 SCALE: 1/2" = 1'-0"

PLAN KEY NOTES:
(TYPICAL THIS SHEET ONLY)

- 1 SISTER SIMILAR 2x
- 2 2x6 WOOD STUD WALL
- 3 2x6 DOUBLE HEADER
- 4 2x6 RIDGE BEAM AND RAFTERS



2 DORMER FRAMING SECTION
A4.1 SCALE: 1/2" = 1'-0"

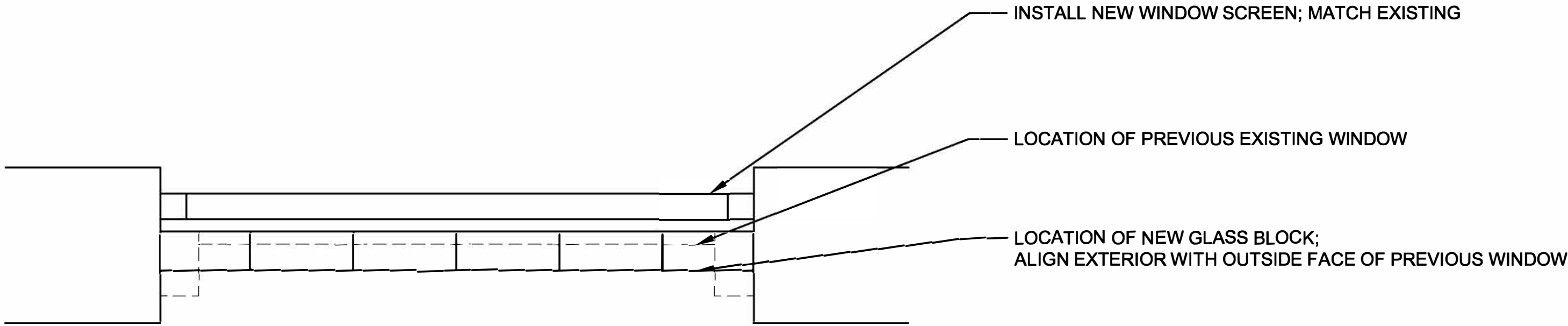
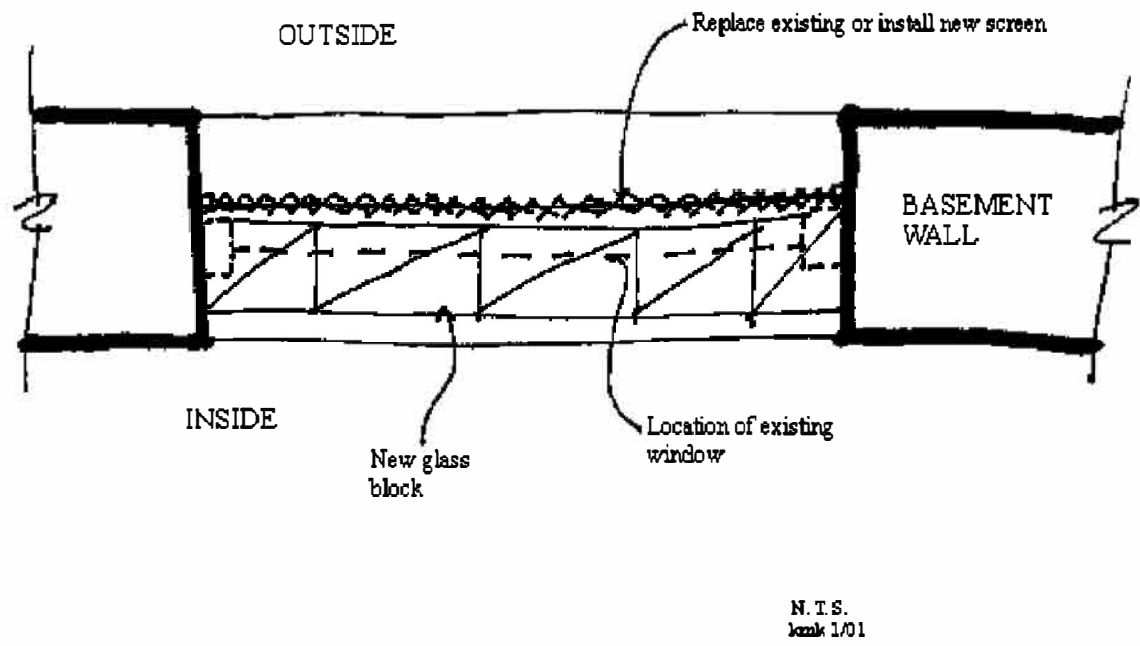
ARCHITECT:	4545 architecture
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CONSULTANT:	
Project :	708 PALLISTER HDC RENOVATION
Issued for :	HDC SUBMIT 04/21/2025
Drawn by :	ANJ
Check by :	TRF
Sheet Title :	DORMER FRAMING DETAILS
Project No. :	2024001
Sheet No. :	A4.1

Glass Block

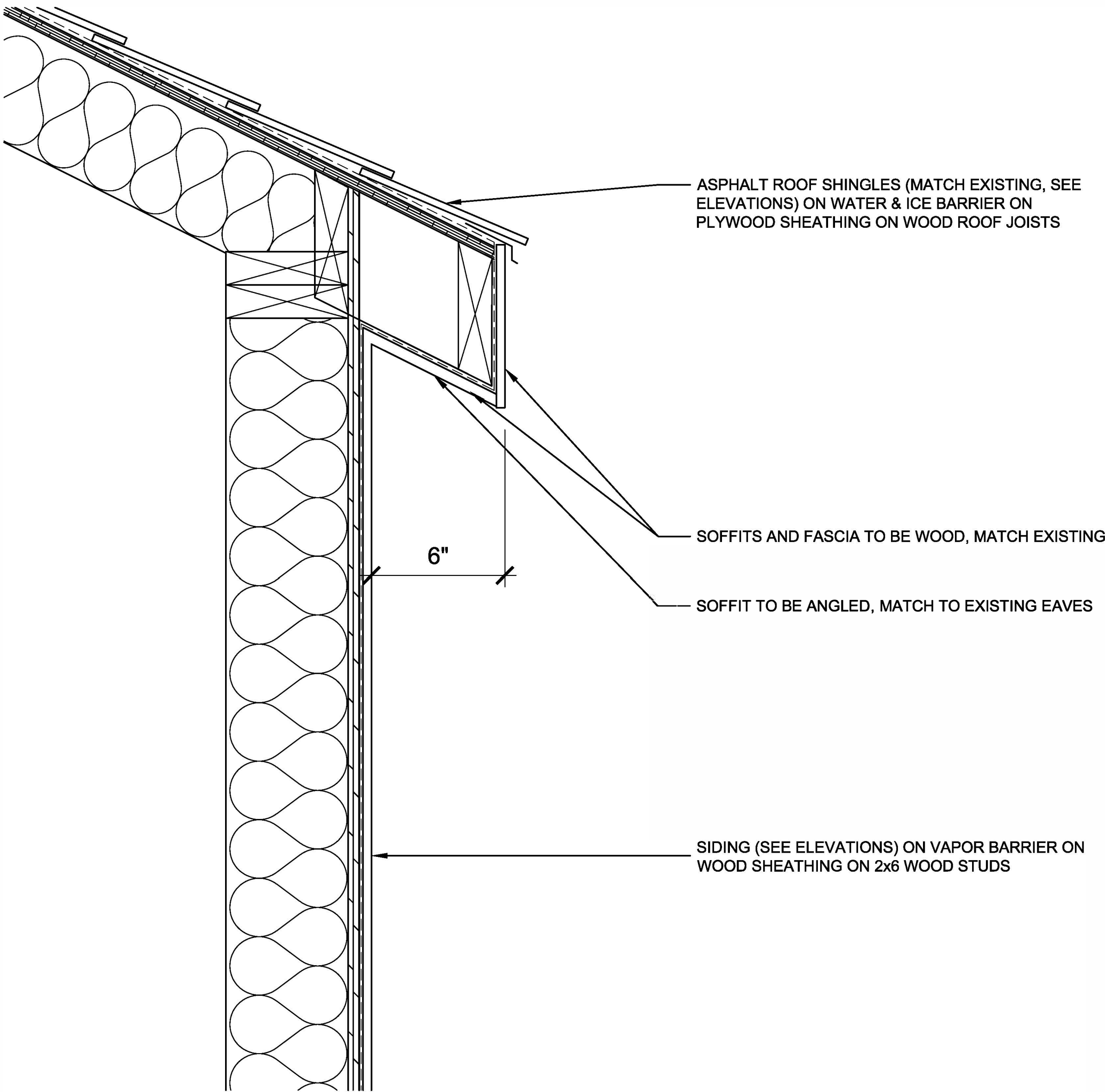
The Detroit Historic District Commission ("Commission") realizes that safety and energy concerns results in the desire to install glass block in basement window openings. While this treatment is not recommended, it may be acceptable provided certain conditions are met.

The installation of glass block in historic districts is work that is regulated by the City of Detroit's Historic District Ordinance No. 181-H. Any proposal for the installation of glass block in a historic district shall meet the following applicable conditions:

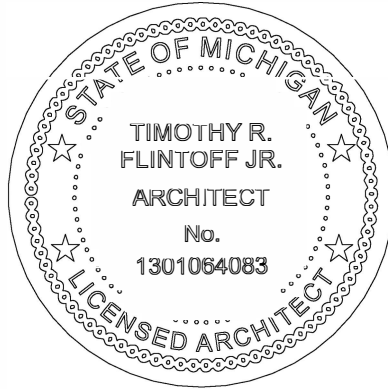
- A. The glass block shall be located at the same plane as the existing historic window, set back from the face of the building wall.
- B. The glass block shall be covered with the historic screen placed back in the window or with a new screen.
- C. Glass block will only be permitted in basement window openings.
- D. Openings with glass block that are on the front or visible from a side street shall be screened with foundation plantings that cover the windows.
- E. All glass block installations require a permit and Commission approval
- F. See the drawing below for more information.



1 GLASS BLOCK WINDOW DETAIL
SCALE: 1-1/2" = 1'-0"



2 DORMER SOFFIT DETAIL
SCALE: 3" = 1'-0"

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CONSULTANT:
Project :
708 PALLISTER HDC RENOVATION
Issued for :
HDC SUBMIT 04/21/2025

Drawn by : ANJ
Check by : THE
Sheet Title : DETAIL DRAWINGS
Project No. : 2024001
Sheet No. : A5.1

'BELT BAND' 1x BOARD TO BE PARTIALLY REMOVED, REPLACED TO MAINTAIN CONSISTENT LINEAR FORM

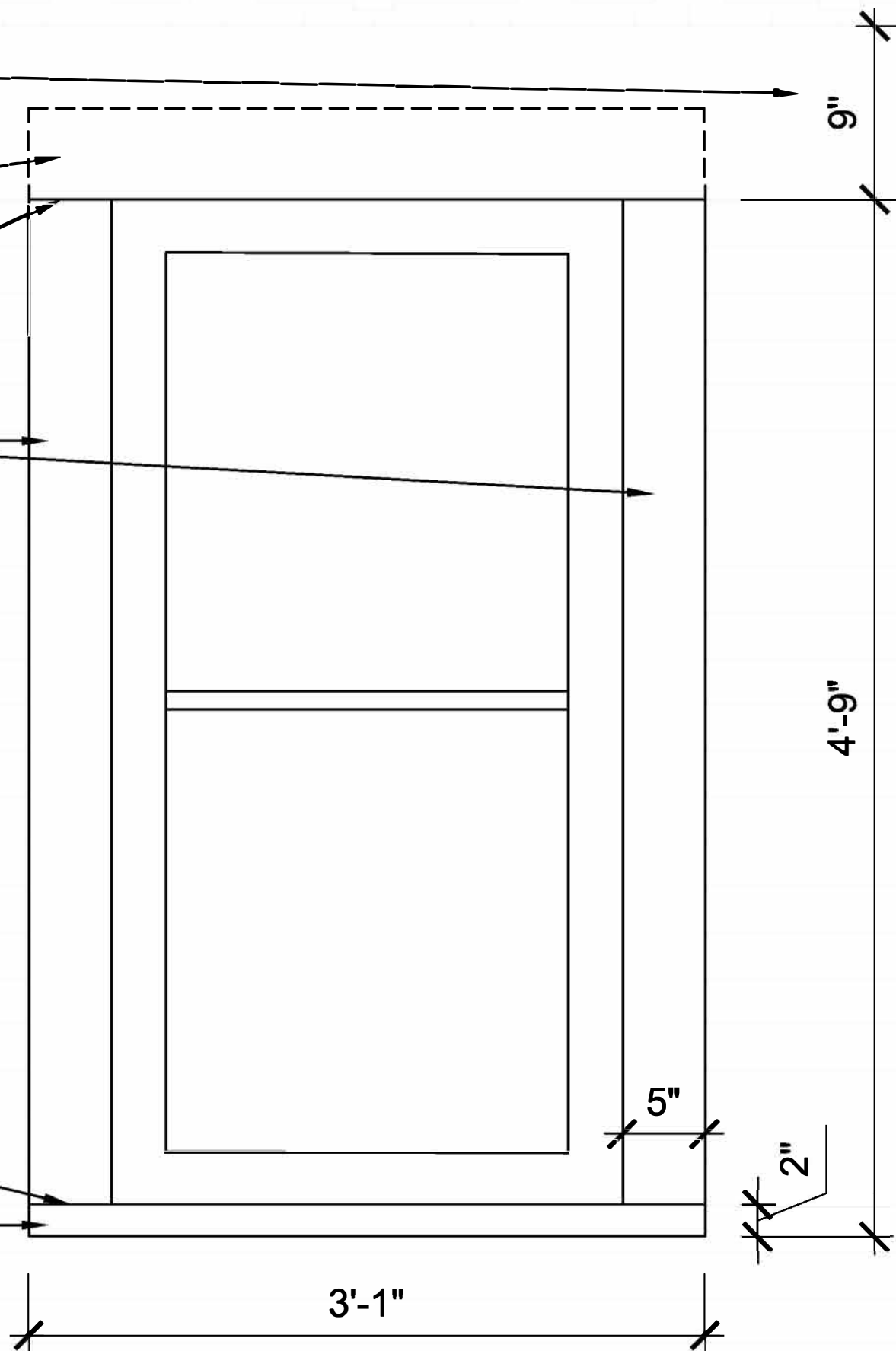
REMOVE EMBEDDED TRIM (TYP.)

NEW WINDOW TRIM TO TERMINATE AT BOTTOM OF 'BELT BAND' BETWEEN FIRST AND SECOND STORIES

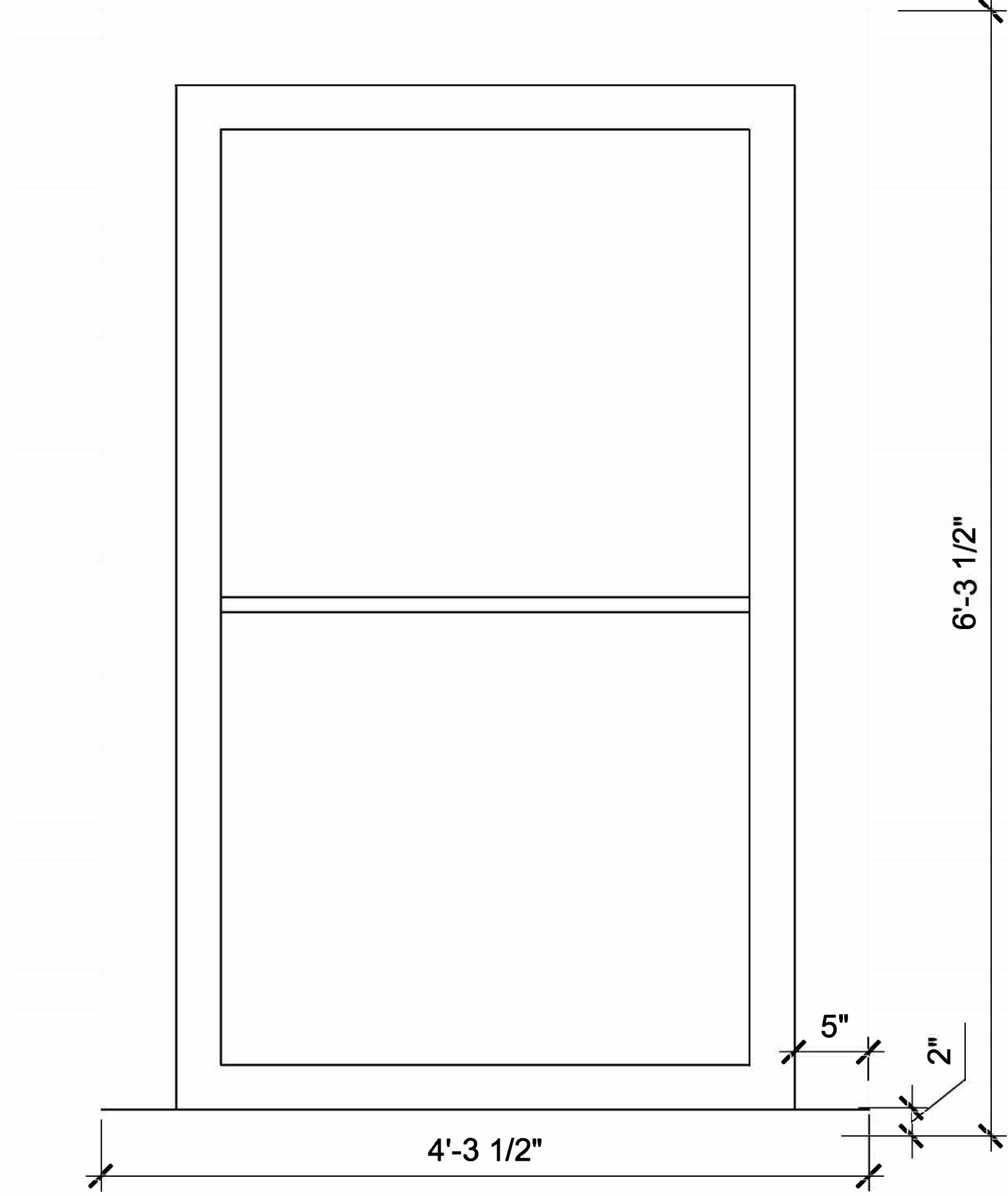
.75"x4.5" WOOD TRIM, TO BE SET ON TOP OF SIDING TO MATCH EXISTING

MATCH CORNER JOINTS TO EXISTING

1-3/4" (DEPTH) WOOD TRIM, SET FLAT TO MIMIC SILL, TO MATCH EXISTING



1 NEW WINDOW FRAMING DETAIL
SCALE: 1-1/2" = 1'-0"



4 FRONT ELEVATION EXISTING WINDOW FRAMING DETAIL
SCALE: 1-1/2" = 1'-0"



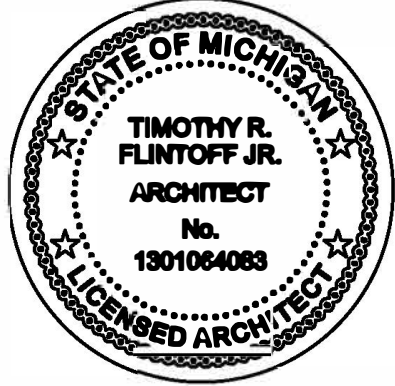
2 PREVIOUS WINDOW FRAMING DETAIL
(INFILLED WINDOW AT EAST ELEVATION)



3 NEW WINDOW PHOTO
TAKEN NOVEMBER 26, 2024

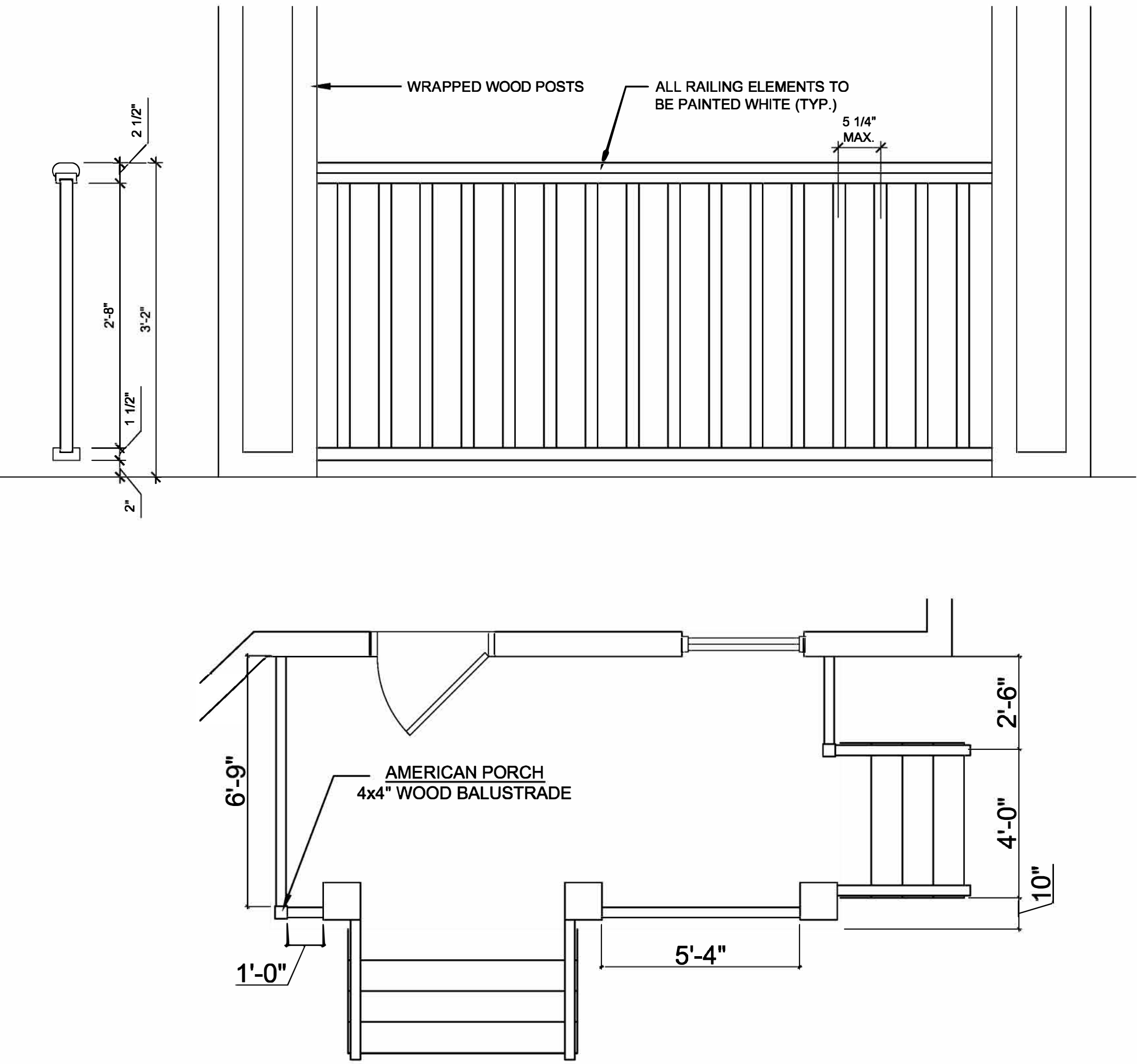
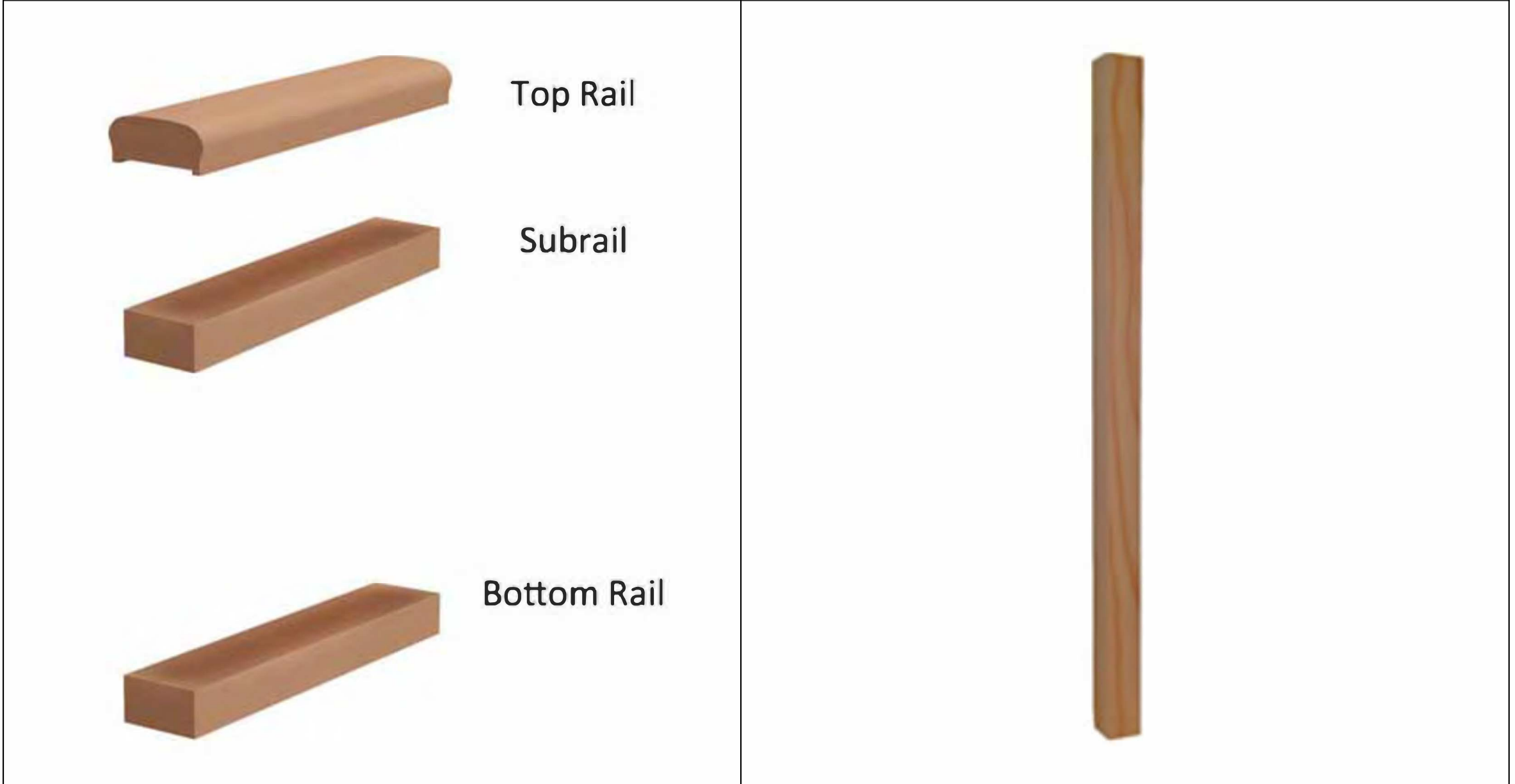


5 FRONT ELEVATION EXISTING WINDOW PHOTO
TAKEN NOVEMBER 26, 2024

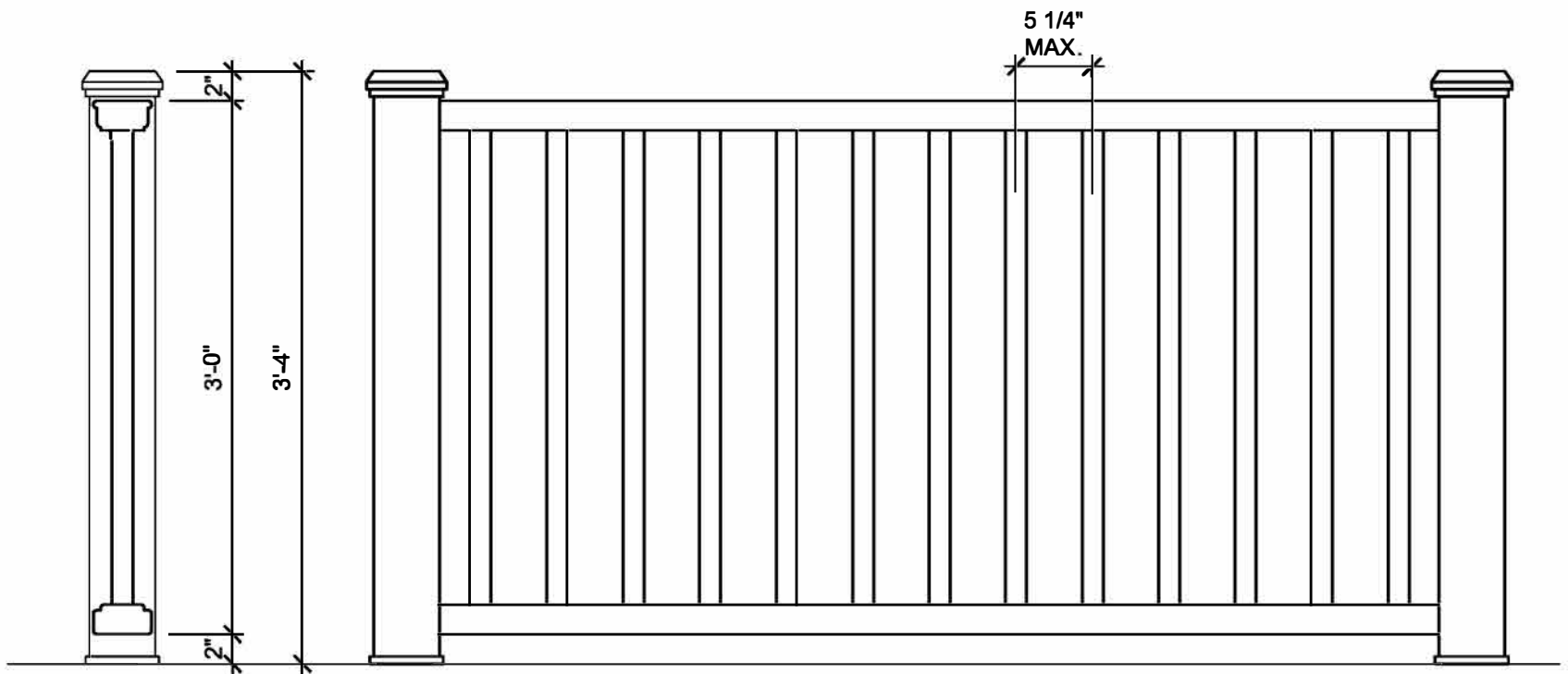
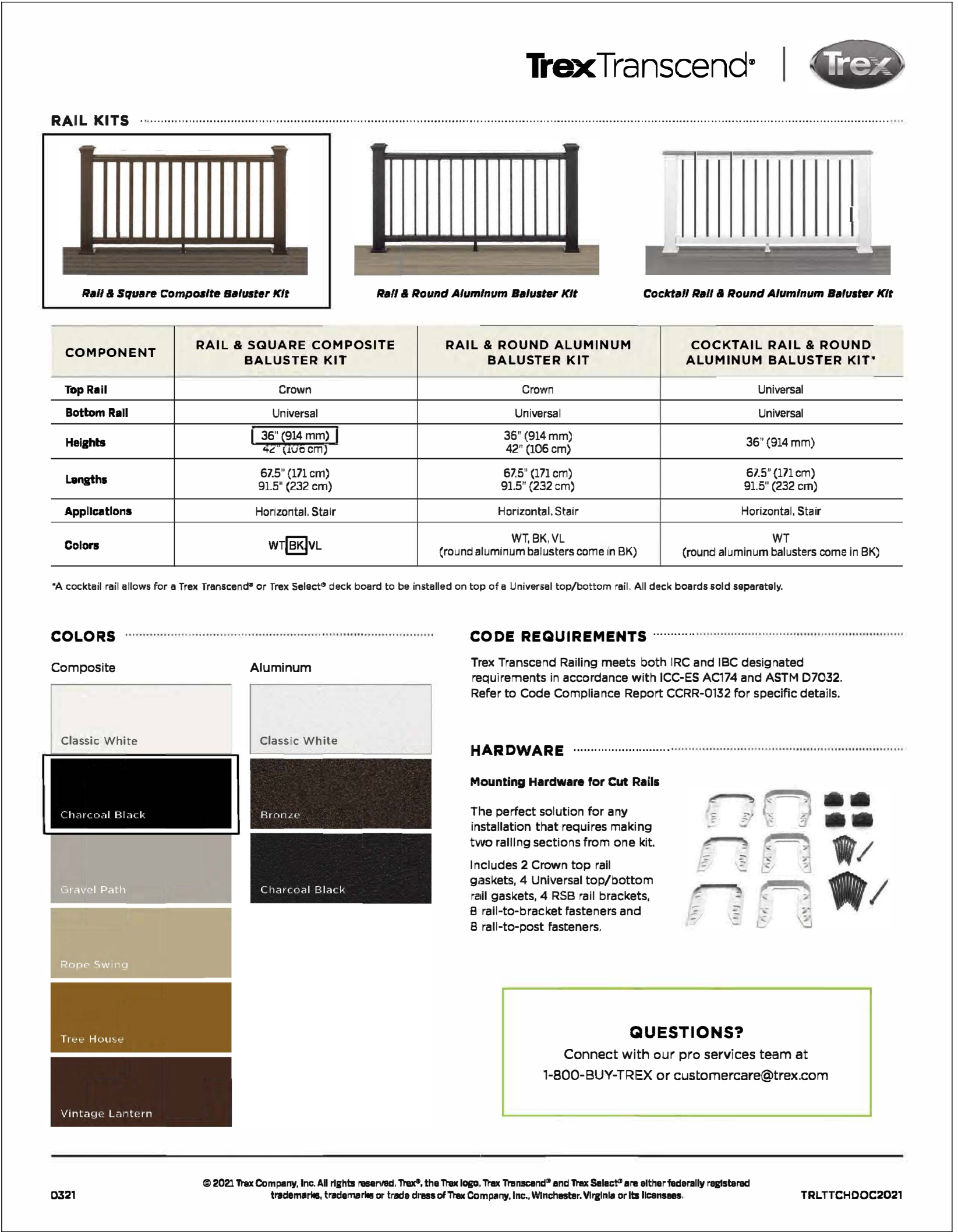
ARCHITECT:	4545 architecture
2781 E. JEFFERSON AVE STE. 302 DETROIT, MI 48207 P. 313.454.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM	
CONSULTANT:	
Project : 708 PALLISTER HDC RENOVATION	
Issued for : HDC SUBMIT 04/21/2025	
	
Drawn by : ANJ	Check by : THE
Sheet Title : WINDOW TRIM DETAILS	
Project No. : 2024001	
Sheet No. : A5.3	

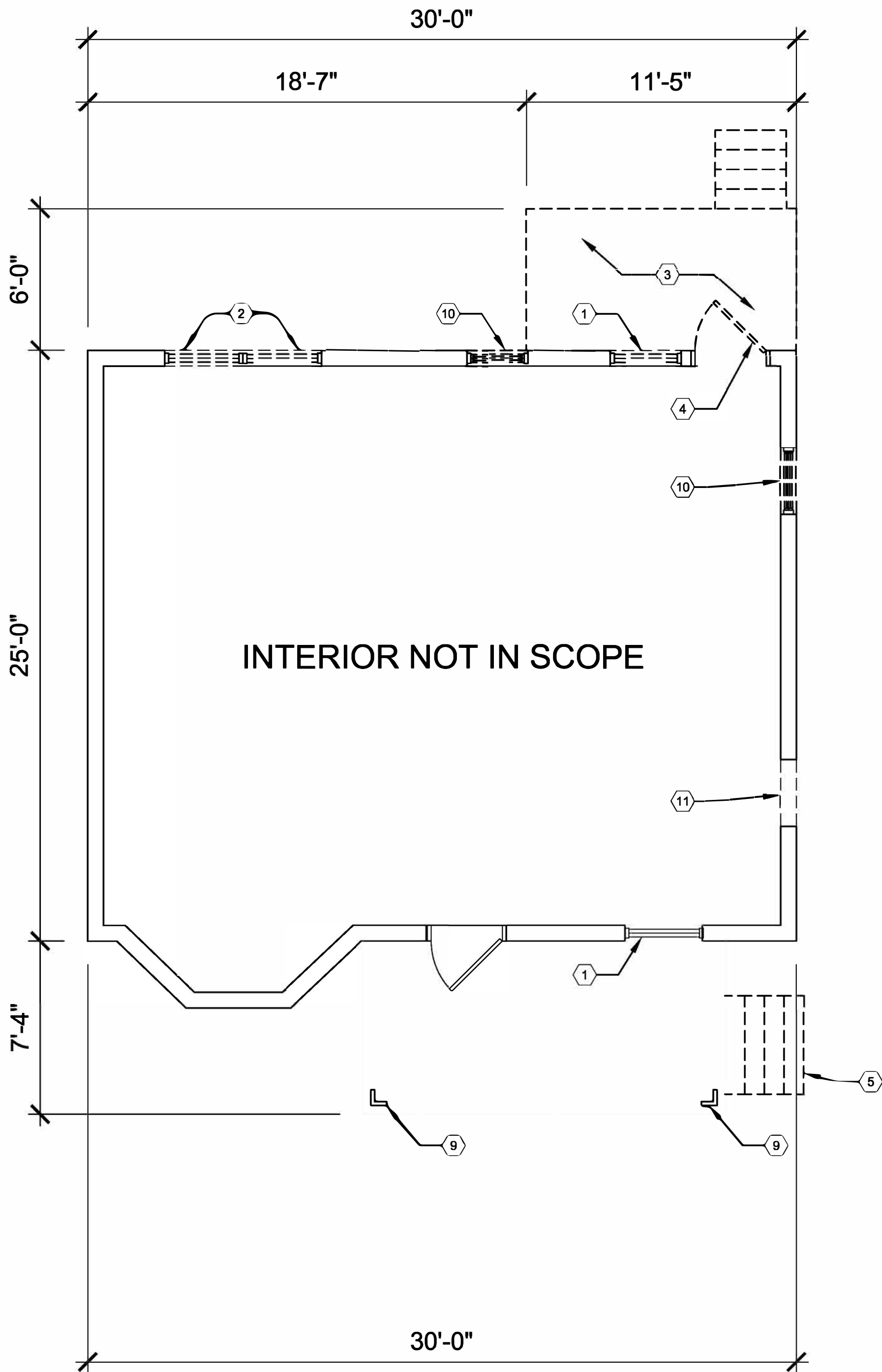
DO NOT SCALE DRAWINGS | ©2024 Timothy Flintoff Architect, PLLC

AMERICAN PORCH
4" 3 PC.PORCH RAIL SYSTEM,
CEDAR
WITH BOTTOM RAIL

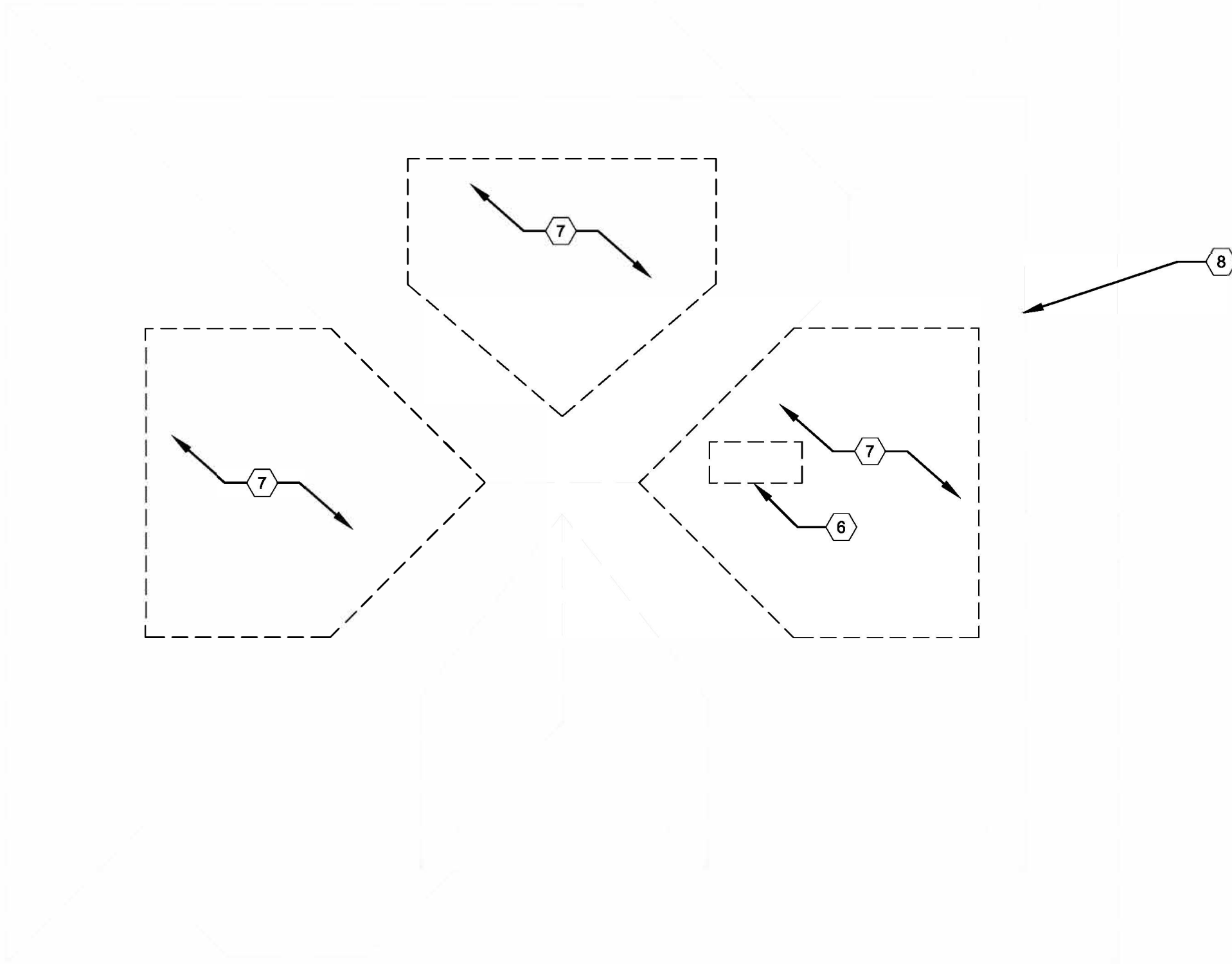


REAR DECK RAILING





DEMO FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



DEMO ROOF PLAN
SCALE: 1/4"=1'-0"

GENERAL FLOOR PLAN NOTES:

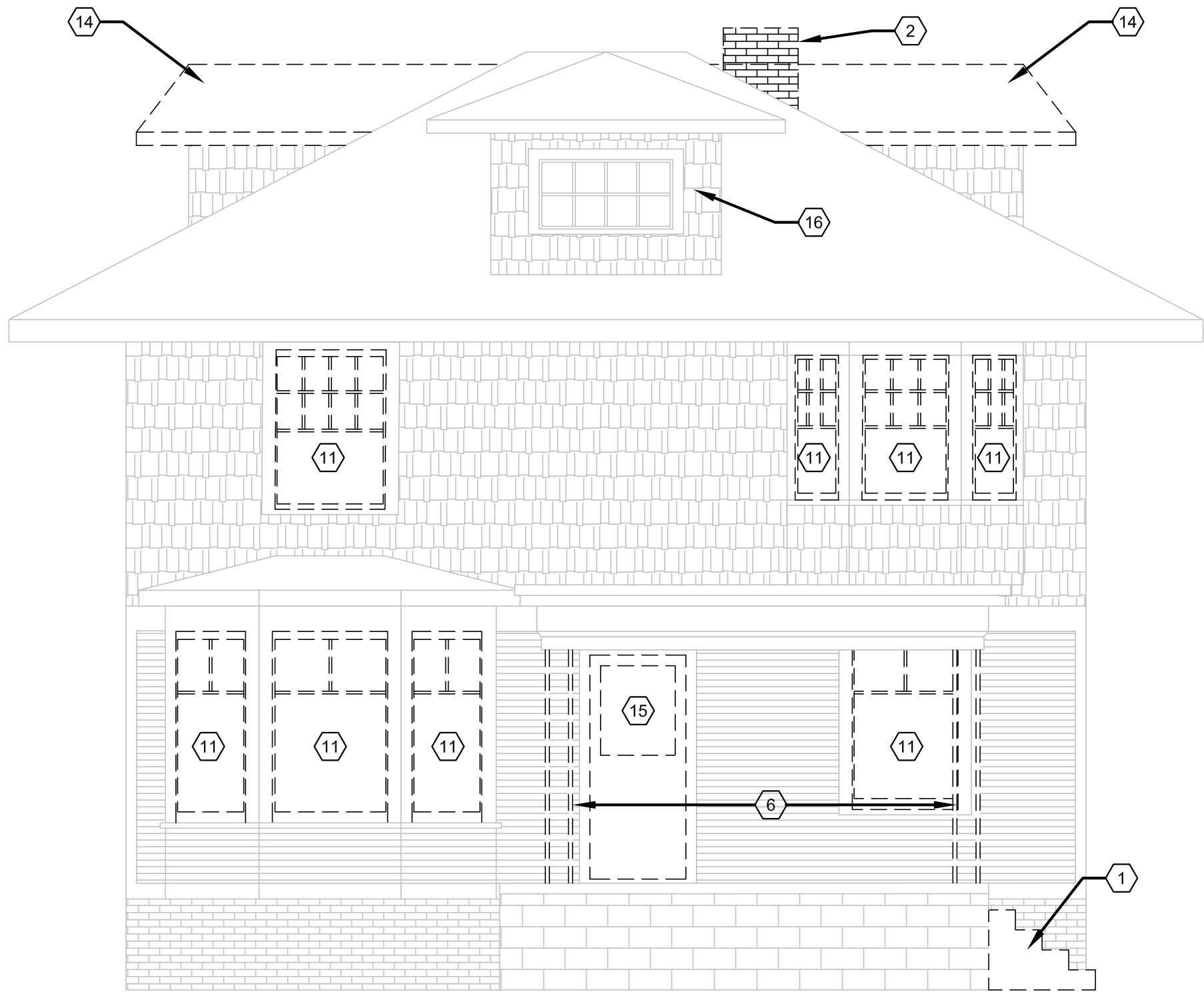
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3. WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
5. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.

DEMO PLAN KEY NOTES:

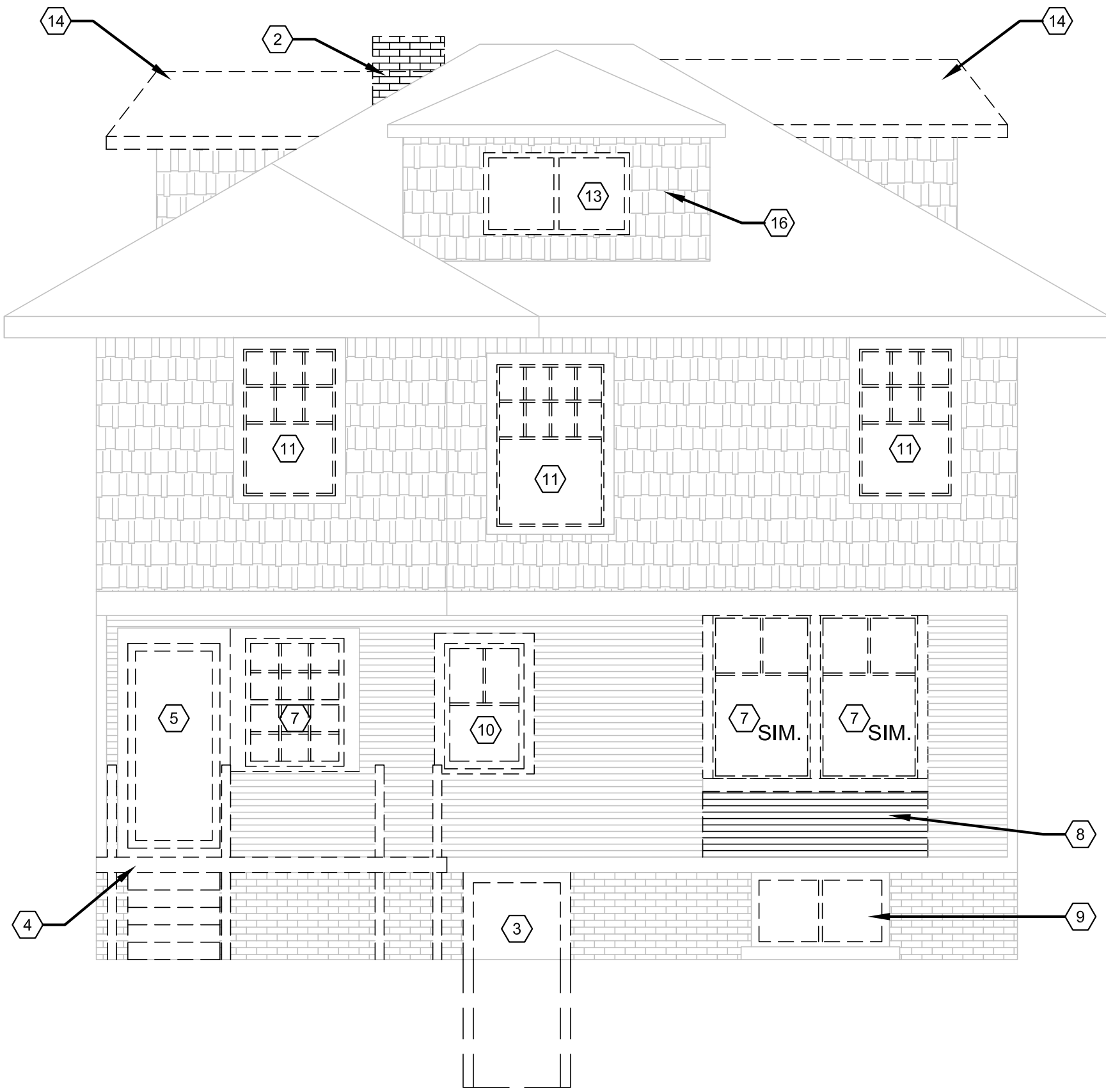
(TYPICAL THIS SHEET ONLY)

- 1 WINDOW REMOVED AND REPLACED, SEE ELEVATIONS
- 2 WINDOW REMOVED AND REPLACED WITH DOOR, SEE ELEVATIONS
- 3 DEMOLISHED EXISTING REAR DECK AND STAIR
- 4 REMOVED AND INFILLED REAR DOOR, SEE ELEVATIONS
- 5 DEMOLISHED & REPLACED EXISTING MASONRY STAIR
- 6 DEMOLISHED CHIMNEY
- 7 REMOVED ROOF AS REQ'D FOR NEW DORMER
- 8 LINE OF WALLS BELOW
- 9 EXISTING COLUMNS REMOVED, REPLACED (SEE ELEVATIONS)
- 10 WINDOW REMOVED, WALL INFILLED
- 11 WALL DEMOLISHED AS REQ'D FOR NEW WINDOW

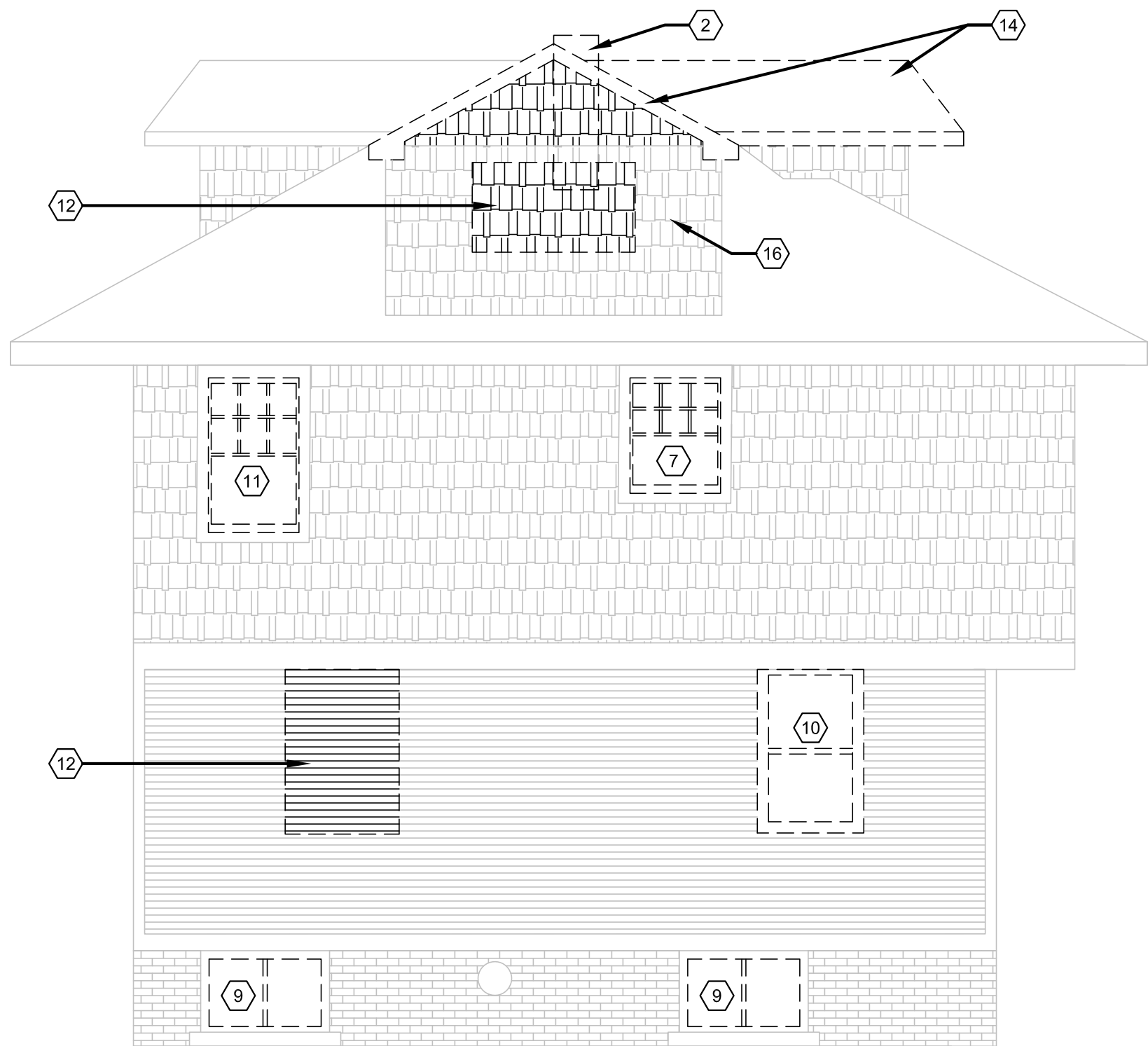
ARCHITECT:	4545 architecture
2781 E. JEFFERSON AVE STE. 302 DETROIT, MI 48207 P. 313.454.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM	
CONSULTANT:	
Project :	708 PALLISTER HDC RENOVATION
Issued for :	HDC SUBMIT 04/21/2025
State of Michigan TIMOTHY R. FLINTOFF JR. ARCHITECT No. 1301064083 LICENSED ARCHITECT	
Drawn by :	ANJ
Check by :	THF
Sheet Title :	DEMO PLANS
Project No. :	2024001
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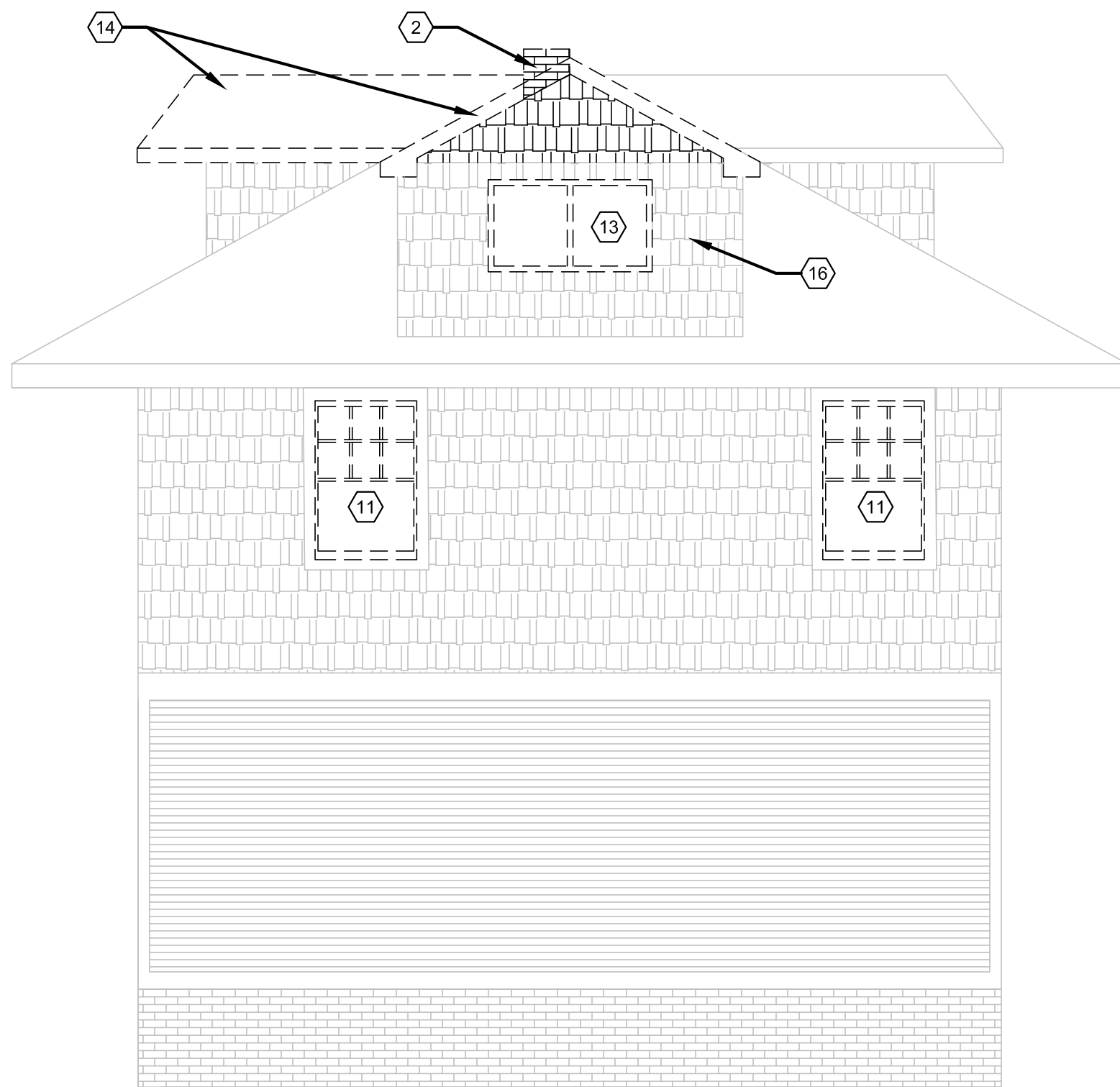
1 SOUTH ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
A1.1 SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 MASONRY STAIRS REMOVED, REPLACED
- 2 CHIMNEY DEMOLISHED
- 3 EXISTING BASEMENT DOOR REMOVED, WALL INFILLED; USE IN-KIND MATERIALS FOR EXTERIOR CLADDING. EARTH TO BE INFILLED
- 4 REAR DECK AND STAIR DEMOLISHED
- 5 DOOR REMOVED, WALL INFILLED; USE IN-KIND MATERIALS FOR EXTERIOR CLADDING
- 6 EXISTING COLUMNS TO BE REMOVED AND REPLACED; SHORE ROOF AS REQ'D
- 7 EXISTING WINDOW REMOVED AND REPLACED, SEE EXTERIOR ELEVATIONS
- 8 WALL REMOVED FOR NEW DOOR, SEE EXTERIOR ELEVATIONS
- 9 BASEMENT WINDOWS REMOVED, REPLACED WITH GLASS BLOCK; SEE EXTERIOR ELEVATIONS
- 10 WINDOW REMOVED, WALL INFILLED; SEE EXTERIOR ELEVATIONS
- 11 EXISTING SINGLE-HUNG WINDOW REMOVED, REPLACED W/ VINYL-CLAD WOOD SINGLE-HUNG WINDOW (ANDERSON 400 SERIES) (WORK COMPLETED); TO BE PAINTED BLACK
- 12 WALL DEMOLISHED AS REQ'D FOR NEW WINDOW
- 13 SLIDING WINDOW TO BE REMOVED, REPLACED (SEE EXTERIOR ELEVATIONS)
- 14 DORMER ROOF TO BE REMOVED, REPLACED (SEE EXTERIOR ELEVATIONS)
- 15 ENTRY DOOR REMOVED, REPLACED
- 16 REMOVE INSTALLED COMPOSITE SIDING

ARCHITECT:
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Project :
708 PALLISTER HDC RENOVATION
Issued for :
HDC SUBMIT 04/21/2025
Drawn by :
TRF
Check by :
Sheet Title :
DEMO EXTERIOR ELEVATIONS
Project No. :
2024001
Sheet No. :
D3.1

708 PALLISTER RENOVATION

EXTERIOR RENOVATION
708 PALLSITER STREET,
DETROIT, MI. 48202

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PROJECT DATA	
BUILDING CODE AUTHORITY: CITY OF DETROIT, MICHIGAN	BUILDING DATA: LOT SIZE: 5,800 GSF EXIST. BUILDING FOOTPRINT: 770 GSF STORIES: 3 SPRINKLERED: NO
OWNER: THOMAS TYPINKSKI 708 PALLISTER ST., DETROIT, MI 48202	
APPLICABLE CODES: BUILDING CODE ALSO KNOWN AS THE "MICHIGAN RESIDENTIAL CODE" 2015 MICHIGAN RESIDENTIAL CODE (MRC) AS AMENDED APPENDIX J. EXISTING BUILDING AND STRUCTURES	BUILDING CODE INFORMATION: OCCUPANCY/USE R-2 RESIDENTIAL - SINGLE FAMILY
MECHANICAL CODE ALSO KNOWN AS THE "MICHIGAN MECHANICAL CODE" 2021 MICHIGAN MECHANICAL CODE AS AMENDED	CONSTRUCTION TYPE: V-B (EXISTING AND PROPOSED)
PLUMBING CODE ALSO KNOWN AS THE "MICHIGAN PLUMBING CODE" 2021 MICHIGAN PLUMBING CODE AS AMENDED	REQUIRED EXITS: DWELLING UNIT: 1 EXIT + 1 EMERGENCY WINDOW EGRESS PER UNIT
ELECTRICAL CODE ALSO KNOWN AS THE "MICHIGAN ELECTRICAL CODE" 2023 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN AMMENDMENTS PART 8.	PROVIDED EXITS: DWELLING UNIT: 2 EXTERIOR EXITS + 1 EMERGENCY WINDOW EXIT
ENERGY CODE 2015 UNIFORM ENERGY CODE	
BARRIER FREE REQUIREMENTS AMERICANS WITH DISABILITIES ACT (ADA) MBC-2015, CHAPTER 11 ICC / ANSI 117.1 - 2010, EXCEPT SECTION 611 & 707	



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SYMBOL LEGEND		ABBREVIATION	
	DARKENED ARROW INDICATES ELEVATED SECTION	@	ACOUST.
	ELEVATION NUMBER	A.C.T.	ACOUSTICAL
	SHEET NUMBER WHERE ELEVATION IS LOCATED	ADJAC.	ACOUSTIC CEILING TILE
	ELEVATION NUMBER	A.F.F.	ADJACENT
	SHEET NUMBER WHERE ELEVATION IS LOCATED	ALUM.	ABOVE FINISH FLOOR
	DETAIL REFERENCE NUMBER	ANOD.	ALUMINUM
	SHEET NUMBER WHERE DETAIL IS LOCATED	BD.	ANODIZED
	DETAIL NUMBER	B.D.	BOARD
	DETAIL NAME	BLOG.	BUILDING
	DRAWING SCALE	BLK.	BLOCK
	SHEET NUMBER WHERE DETAIL IS REFERENCED	BLOCKG.	BLOCKING
	HEIGHT ABOVE FINISHED FLOOR	CEM.	CEMENT
	REFERENCE POINT OF ELEVATION	C.J.	CONTROL JOINT
	HEIGHT ABOVE FINISHED FLOOR	CLG.	CEILING
	NOTE: DATUM SYMBOL INDICATES A SPECIFIC REFERENCE HEIGHT OF MATERIAL INDICATED	CL.	CENTER LINE
	ROOM NAME	C.O.	CLEAN OUT
	ROOM NUMBER	COL.	COLUMN
	NUMBERS DESIGNATE VERTICAL COLUMN LINES	CONC.	CONCRETE
	LETTERS DESIGNATE HORIZONTAL COLUMN LINES	C.G.	CORNER GUARD
	CIRCLES REPRESENT NEW COLUMN LINES	CONST.	CONSTRUCTION
	DASHED CIRCLES REPRESENT EXISTING COLUMNS	CONT.	CONTINUOUS
	EXISTING DOOR SYMBOL	CORR.	CORRUGATED
	NEW DOOR SYMBOL	CPT.	CARPET
	DOOR DESIGNATION	C.T.	CERAMIC TILE
	WALL TYPE DESIGNATION NUMBER - COORDINATE WITH SCHEDULE	DET.	DETAIL
	EQUIPMENT DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES	DIA.	DIAMETER
	KEY NOTE DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES	DM.	DIMENSION
	ADDENDUM DESIGNATION NUMBER	DN.	DOWN
	BULLETIN DESIGNATION NUMBER	D.O.	DOOR OPENING
	MATCH LINE REF: A3	DR.	DOOR
	SHEET REFERENCE FOR DRAWING CONTINUATION	DWG.	DRAWING
MATERIAL LEGEND		EA.	EACH
	ACOUSTICAL CEILING	ELEV.	ELEVATION



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**TITLE SHEET,
SHEET INDEX, AND
CODE INFORMATION**
Project No. :
2024001
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TS1.1

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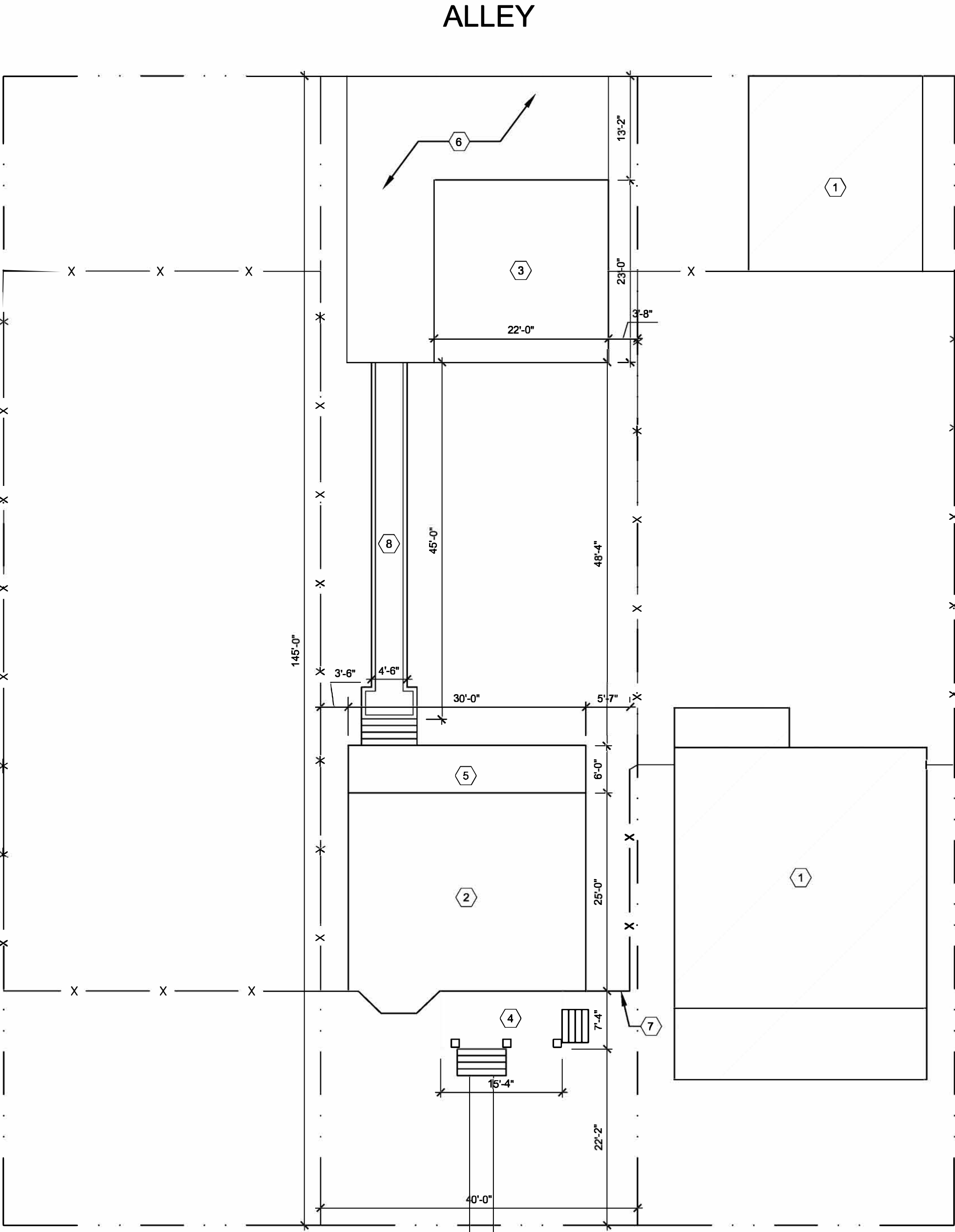
GENERAL SITE PLAN NOTES:

- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE 1A (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
- ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.

SITE PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- EXISTING BUILDING NOT IN SCOPE
- EXISTING HOUSE
- EXISTING GARAGE
- EXISTING FRONT PORCH
- NEW REAR DECK
- EXISTING CONCRETE PARKING PAD
- NEW WOOD FENCE WITH GATE
- NEW PAVED WALKWAY



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